



# Town of Knightdale

## Staff Report Cover Sheet

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Title: ZMA-10-20: Eastgate 540 Industrial Park Building #7

Staff: Kevin Lewis, Senior Planner

Date: June 16, 2021

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### **PURPOSE**

- The purpose of this staff report is to provide an overview of a Zoning Map Amendment request for the 20.21 acres at the end of Spectrum Drive and south of Interstate-87. The parcels are identified by the Wake County PINs 1743-34-4527, 1743-44-1236, 1743-44-4263, 1743-34-7185, 1743-44-6261, and 1743-34-4527. The Conditional District Zoning Map Amendment request is to rezone the property from Rural Transition (RT) to Manufacturing & Industrial Conditional District (MI-CD) to allow for the construction of a 204,000 +/- square foot warehouse.

### **STRATEGIC PLAN PRIORITY AREA(S)**

- Sustainable

### **GENERAL STATUTE REFERENCE(S), if applicable**

- N.C.G.S. 160A-381

### **TYPE OF PUBLIC HEARING, if applicable**

- Legislative

### **FUNDING SOURCE(S), if applicable**

- N/A

### **ATTACHMENT(S)**

- Staff Report
- Land Use Classifications & Reasonable Conditions
- Neighborhood Meeting Information
- Site Plan
- Elevations

### **STAFF RECOMMENDATION**

- Motion to approve ZMA-10-20 and adopt the recommended advisory statement describing plan consistency and reasonableness of action
- Adopt ORD #21-06-16-001

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*Knightsdale Strategic Priorities*



Safe



Connected & Inclusive



Sustainable



Active & Healthy



Organizational Excellence



# Town of Knightdale

## Staff Report

Title: Eastgate 540 Industrial Park  
Building #7 Conditional District Zoning  
Map Amendment

Staff: Kevin Lewis, Senior Planner

Date: June 16, 2021

Director Signature: CH

Asst. Town Manger Signature:

Town Manager Signature:

### **I. REQUEST:**

ParkerPoe LLP, on behalf of Trinity Capital Advisors, has submitted an application requesting a Zoning Map Amendment to rezone approximately 20 acres at the end of Spectrum Drive and south of Interstate-87, identified by Wake County PINs 1743-34-4527, 1743-44-1236, 1743-44-4263, 1743-34-7185, and 1743-44-6261, from Rural Transition (RT) to Manufacturing & Industrial Conditional District (MI-CD) to allow for the construction of a 204,000 +/- square foot warehouse.

### **II. PROJECT PROFILE:**

PROPERTY LOCATION:	Spectrum Drive
WAKE COUNTY PIN:	1743-34-4527, 1743-44-1236, 1743-44-4263, 1743-34-7185, and 1743-44-6261
CURRENT ZONING DISTRICT	Rural Transition (RT)
PROPOSED ZONING DISTRICT:	Manufacturing & Industrial Conditional District (MI-CD)
NAME OF PROJECT:	Eastgate 540 Industrial Park Building #7
APPLICANT:	ParkerPoe LLP
PROPERTY OWNER:	Deborah Jane Tart, Melton E Tart Jr, Joyce C Liles, James Earl Richardson, Graham Edward Richardson
DEVELOPER:	Trinity Capital Advisors
PROPERTY SIZE:	20.21 acres
CURRENT LAND USE:	Vacant/Undeveloped
PROPOSED LAND USE:	204,000 +/- square foot warehouse
PROPOSED PARKING:	209 spaces

### **III. BACKGROUND INFORMATION:**

The Conditional District (ZMA-CD) rezoning process provides a procedure for the re-zoning of property based upon the recognition that certain types of zoning districts would be inappropriate at particular locations in the absence of special conditions. This process affords a degree of certainty in land use decisions not possible when re-zoning to a general category allowing many different uses.

When the develop first reached out to Town Staff, discussions revolved around how their desired uses and designs fit within Knightdale's UDO. It was determined that the Conditional District rezoning process allowed for the applicant to propose a site-specific development proposal while achieve their goals in accordance with the UDO and Comprehensive Plan.



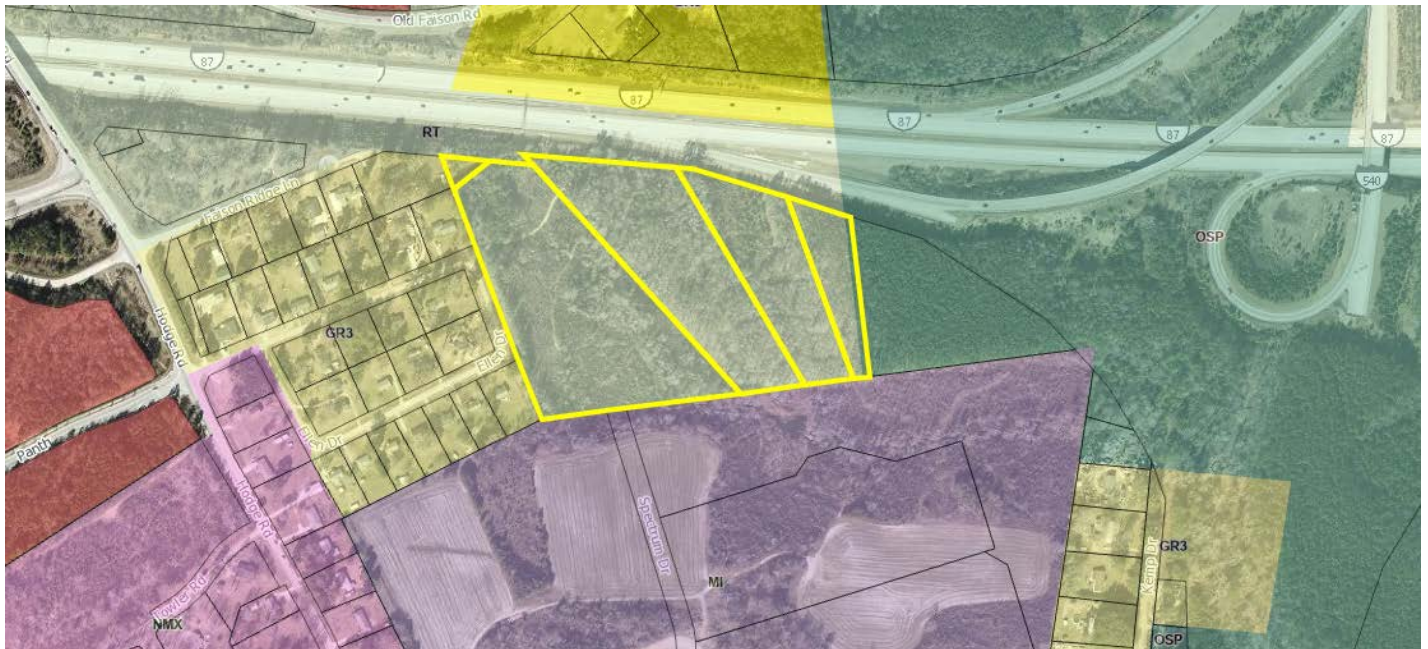
# Town of Knightdale

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### **IV. PROJECT SETTING – SURROUNDING ZONING DISTRICTS AND LAND USES:**

The proposed rezoning includes four (4) parcels, located directly at the end of Spectrum Drive and south of Interstate-87. The parcels are located within the Town's Extra Territorial Jurisdiction and requires annexation into Corporate Limits, if approved.

<b>DIRECTION</b>	<b>LAND USE</b>	<b>ZONING</b>
North	Interstate-87	RT
South	Eastgate 540 Industrial Park	MI
East	Vacant, future I-540 ROW	OSP
West	Residential	GR3







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### **V. CONDITIONAL DISTRICTS:**

The Conditional District (ZMA-CD) re-zoning process provides a procedure for the re-zoning of property based upon the recognition that certain types of zoning districts would be inappropriate at particular locations in the absence of special conditions. This process affords a degree of certainty in land use decisions not possible when re-zoning to a general category allowing many different uses.

All standards and requirements of the corresponding General District shall be met, except to the extent that the conditions imposed are more restrictive than those standards. Within an approved Conditional District, no use shall be permitted except pursuant to the conditions imposed on the Conditional District in the approval of the re-zoning.

The Master Plan, as a site-specific Conditional Zoning Plan, is itself a condition of the ZMA-CD. In addition to the Master Plan, the applicant shall provide the exact land use classifications proposed for the Conditional District, detailed in **Section VII**. Such use classifications may be selected from any of the uses, whether permitted by right or special use, allowed in the General District upon which the Conditional District is based. Uses not otherwise permitted within the General District shall not be permitted within the Conditional District.



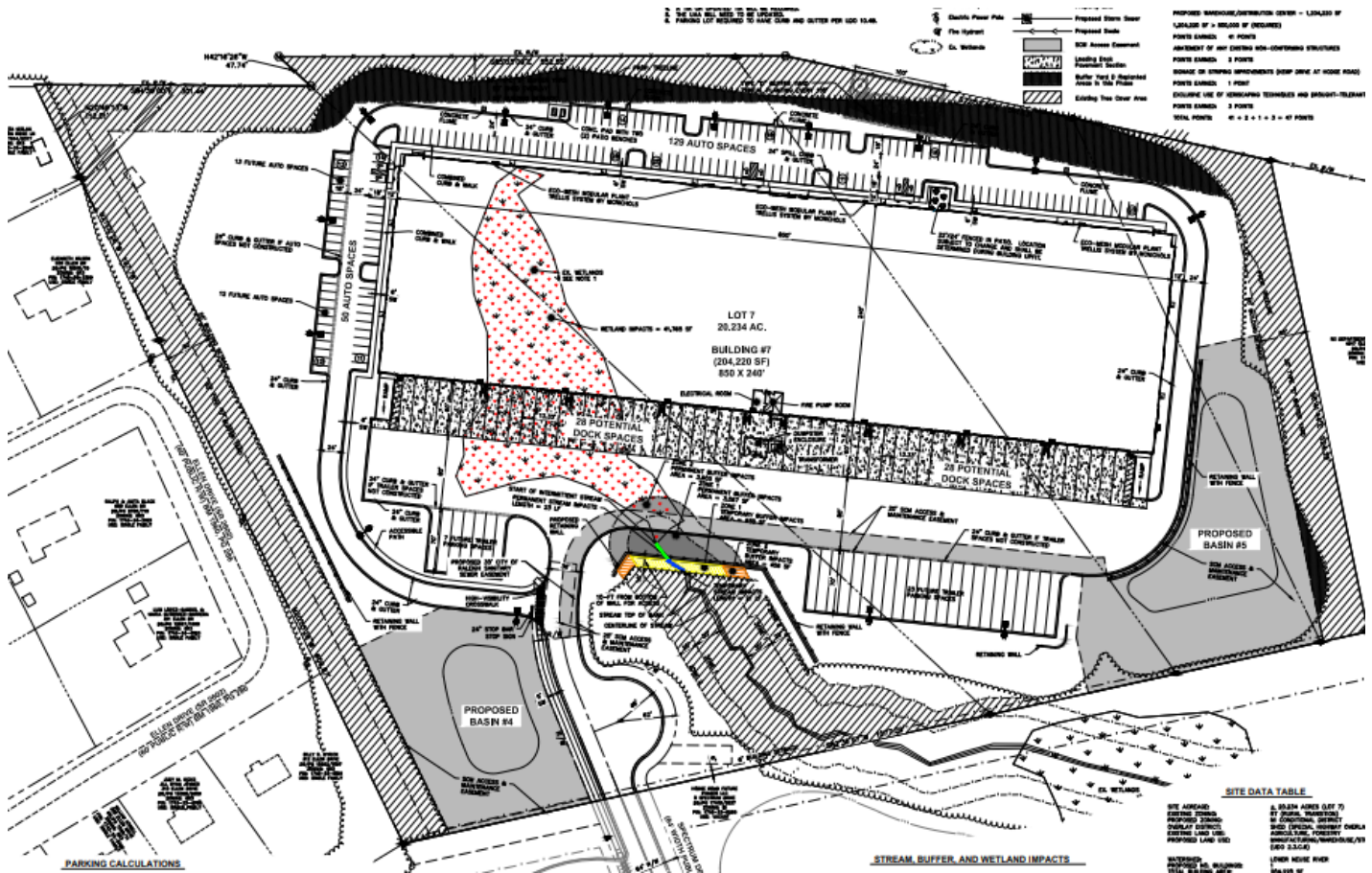


# Town of Knightdale

## Staff Report

### VI. PROPOSED MASTER PLAN:

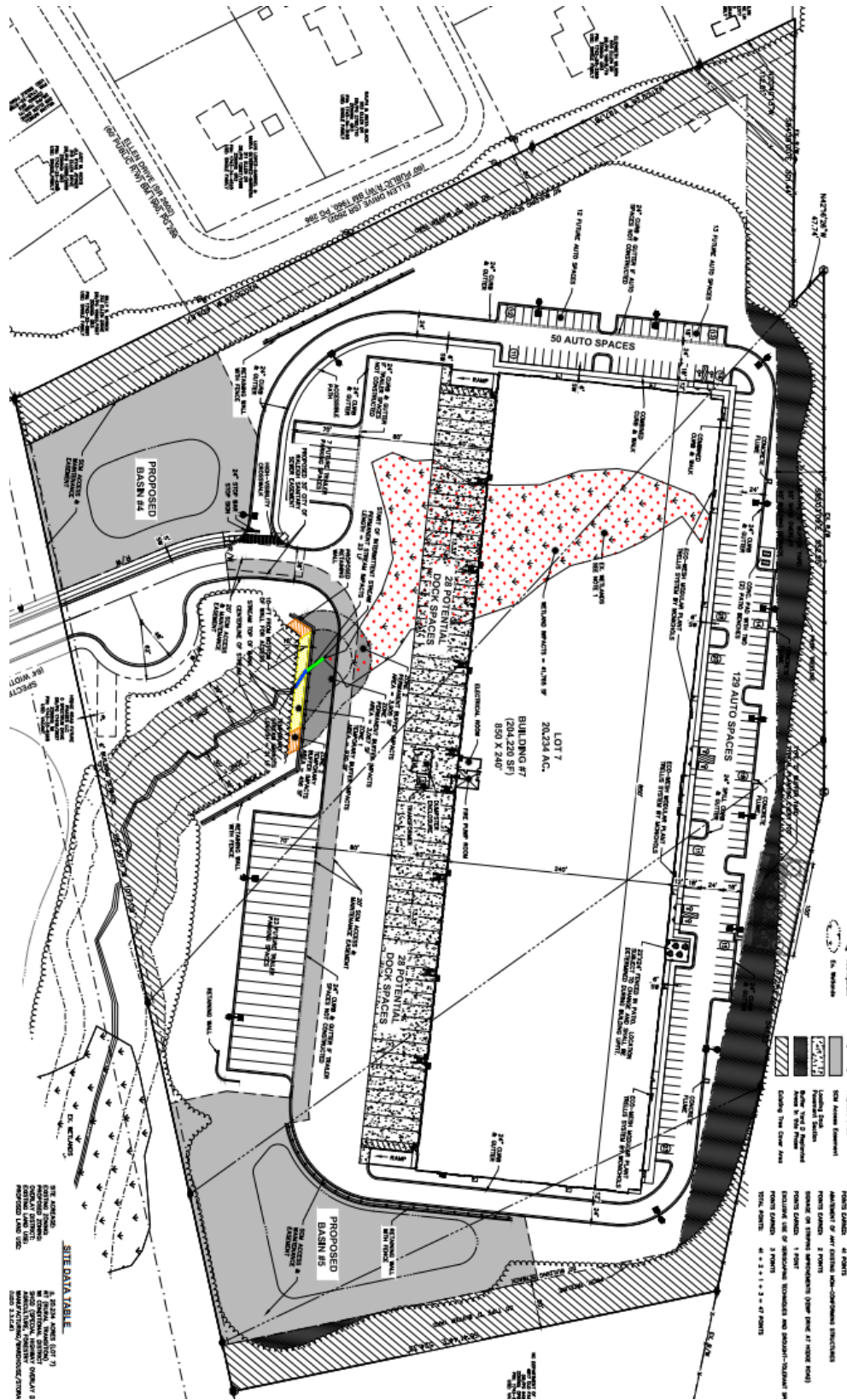
The applicant has submitted a full Master Plan in accordance Section 16.6 of the UDO. The applicant is proposing a 204,00 +/- square foot warehouse with 209 parking spaces. These parking spaces include parking for tractor trailers and other large vehicles on-site. The plan shows a 50-foot wide Type D buffer along the northern, eastern, and western borders of the property, as required by the UDO. Additional elements required include the extension of Spectrum Drive onto the site, sidewalks providing pedestrian connection to the existing industrial park, parking lot landscaping and pedestrian plazas to provide shade and refuge for employees and visitors.





# Town of Knightdale

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# Town of Knightdale

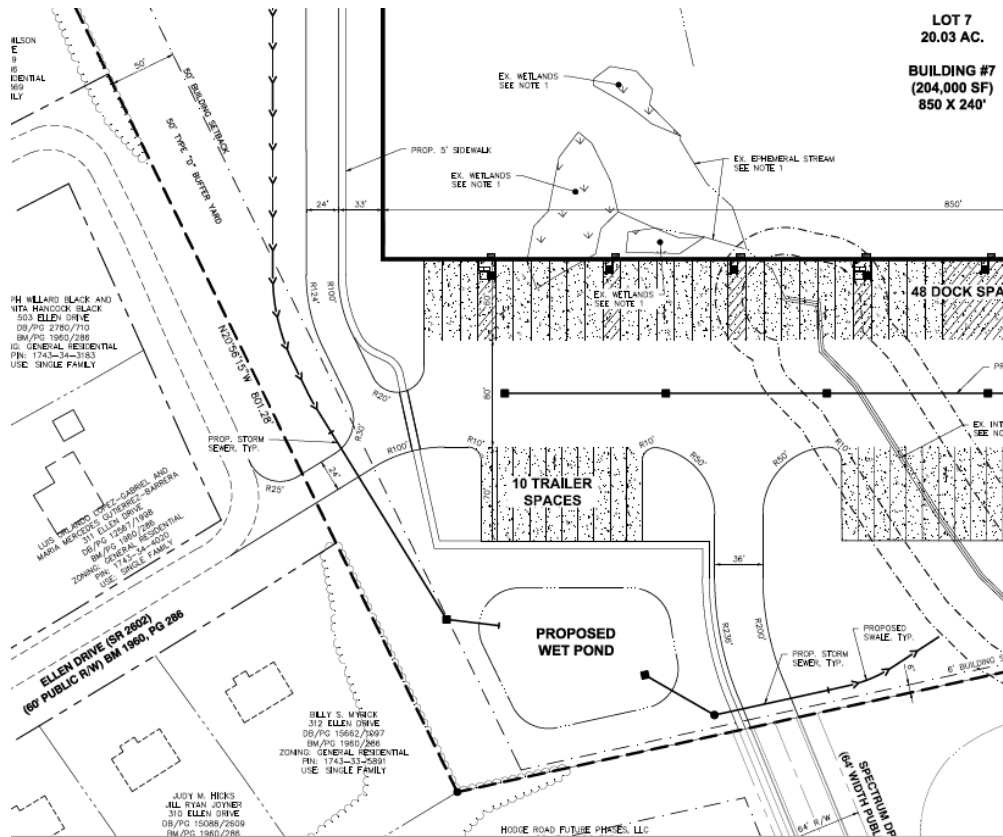
## Staff Report

### STAFF SITE PLAN ANALYSIS:

Staff has reviewed the plan for consistency with the UDO and found the site plan to generally be in compliance with the provisions found within. The following items are being highlighted for Council review and further discussion.

### Site Access

Early iterations of the plan showed access not only from Spectrum Drive, but also Ellen Drive to the west, through the existing residential neighborhood. After conferring with Police and Fire, staff suggested removing the western driveway to eliminate the potential for cut-through traffic through the neighborhood.





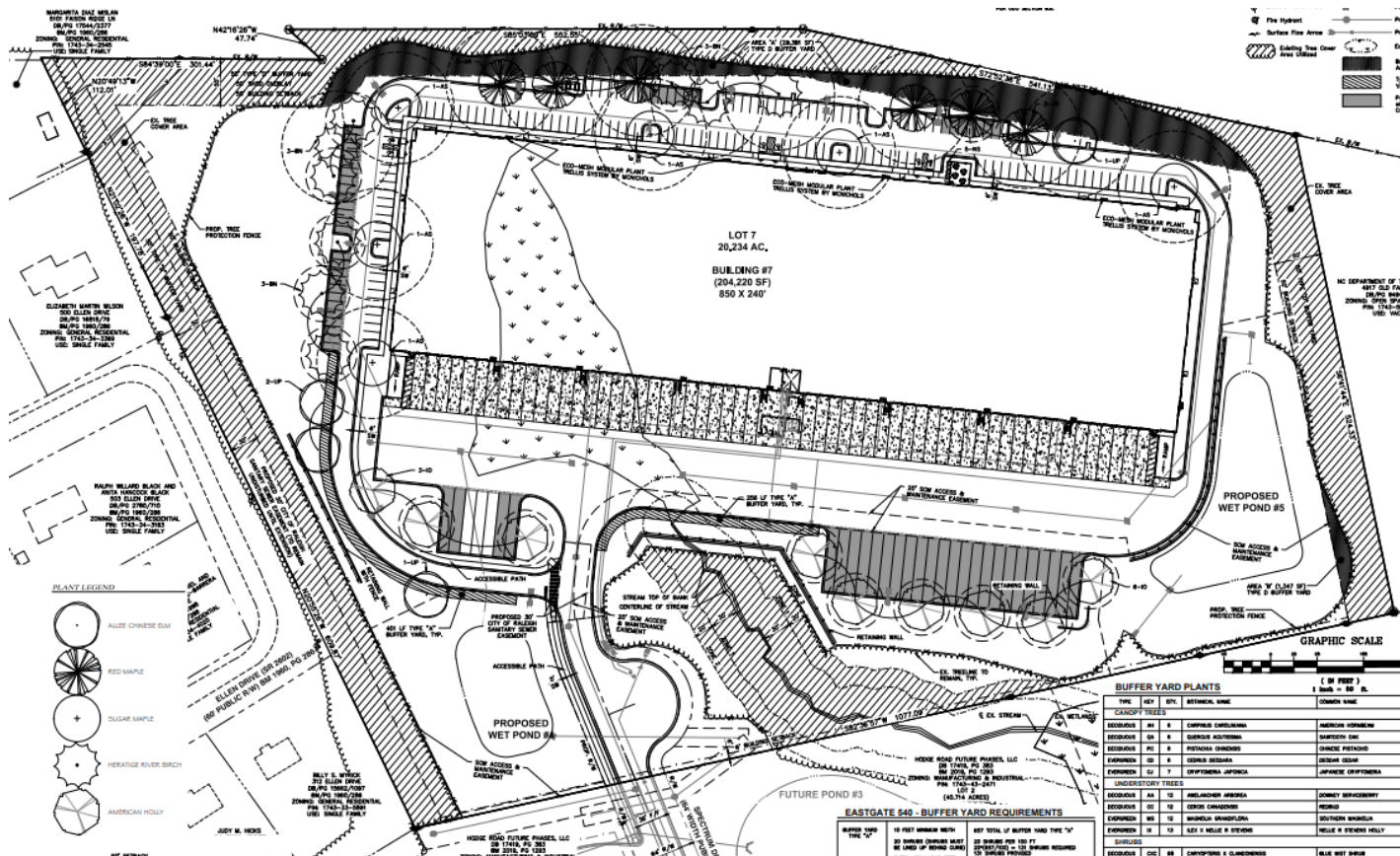


# Town of Knightdale

## Staff Report

### Landscape Plan/Additional Landscaping

Due to the proposed zoning and that of the adjacent parcels, a 50-foot Type D Buffer along the northern, eastern, and western property lines is required. On the landscape plan below, the buffer is shaded in gray. Additional screening is provided along the parking lot and drive aisles in accordance with UDO Section 8.7. Canopy trees are provided along the western drive to provide shade for pedestrians accessing the site.



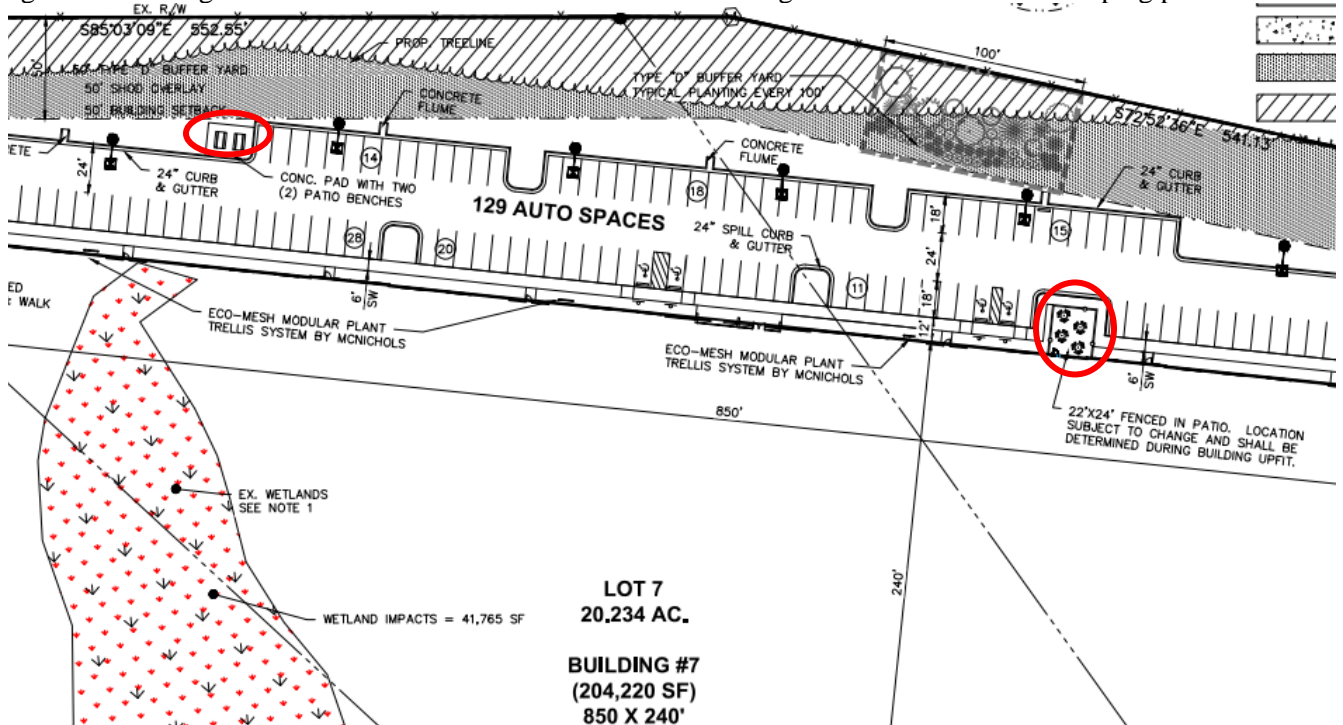


# Town of Knightdale

## Staff Report

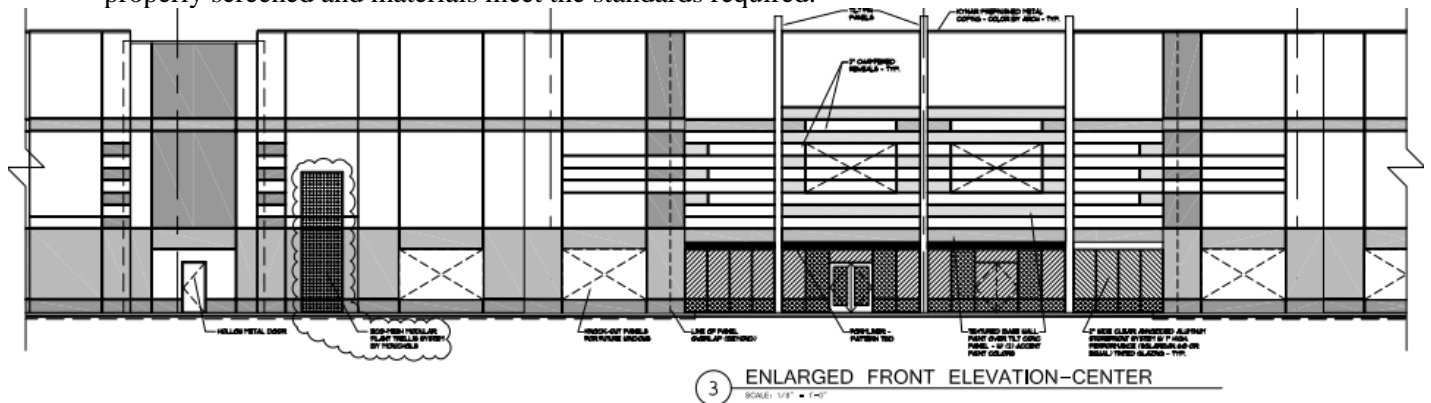
### Pedestrian Plazas

Staff request the addition of pedestrian plazas near each building entrance for use by employees and visitors. The applicant has provided remote a pedestrian plaza and outdoor break area, highlighted below. The applicant has agreed to moving these closer to the main entrances and enhancing the amenities and landscaping provided.



### Elevations

The proposed elevations and materials are generally compliant with UDO standards found in Chapter 5, as well as the existing character of the industrial park. Trellis' are proposed to provide green walls once vegetation reaches maturity. Additional information is needed to help clarify concerns regarding roof top HVAC units will be properly screened and materials meet the standards required.





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### **VII. LEGISLATIVE CASE PROCEDURES:**

Staff met with the development team in July 2020 to discuss the potential of a project at this location and worked with them through several preliminary sketch plan details. A Conditional District rezoning is a legislative public hearing, which requires certain application procedures including having a pre-application meeting with staff and holding a neighborhood meeting with any property owners within 200 feet of the outer boundaries of the subject development. Below is a timeline of the required elements.

- Pre-application meeting: July 21, 2020
- Neighborhood Meeting Notices Mailed: December 29, 2020
- Neighborhood Meeting: January 14, 2021

The virtual neighborhood meeting was held via Zoom on January 14, 2021. One interested neighbor attended the meeting and inquired about traffic impacts, future development potential, buffers, and timeline. No one spoke in opposition to the project. A copy of the mailed notice, list of recipients, and summary of the meeting are attached as part of the application packet.

Additionally, the Town of Knightdale followed public hearing notice requirements as prescribed in the North Carolina state statutes.

- First Class Letters Mailed: May 4, 2021
- Sign Posted on Property: May 4, 2021
- Legal Ad Published in the Wake Weekly: May 7 & 14, 2021

Following the formal submittal and review of the proposed master plan, the applicant met with the Development Review Committee (DRC) on April 8, 2021 to discuss the technical comments and details associated with the proposed subdivision plan. Staff discussed with the applicant concerns involving parking, buffers, landscaping, pedestrian plazas, and elevations. The DRC requested that the applicant provide a revised copy of the Master Plan, which is shown above.

The DRC voted unanimously to **continue** the Eastgate 540 Industrial Park Building #7 proposal pending the applicant addressing the review comments and Town Council approving the Rezoning request.

### **VIII. PROPOSED CONDITIONAL DISTRICT REZONING:**

In accordance with Section 15.6.C of the UDO, all standards and requirements of the corresponding General District shall be met. Staff has reviewed the major site elements and found the majority to be in compliance with all requirements of the Highway Business zoning district and UDO. Major site elements and their compliance statements are listed below.

- A. **Zoning:** The subject property is currently zoned RT. The proposed use does not require a Conditional District rezoning, however Staff and the applicant agreed this would provide flexibility to achieve the applicant's goals while meeting the spirit and intent of the UDO and Comprehensive Plan. Therefore, the applicant is requesting approval for a Conditional District Rezoning to rezone the property to MI-CD.

As noted above the applicant has provided the exact land use classifications proposed for the Conditional District. The following uses are permitted by right in the MI zoning district and are proposed to remain permitted (P):

- Storage-Warehouse, indoor storage
- Wholesaling and Distribution
- Agribusiness





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- Laboratory - medical, analytical, research & development
- Manufacturing, Light
- Manufacturing, Neighborhood
- Media Production
- Research and Development

All other uses otherwise permitted in the MI Zoning District shall be prohibited.

- B. **Dimensional Standards:** The applicant is not proposing any deviations from the dimensional standards as found in Section 2.13 of the UDO for the MI Zoning District.
- C. **Parking:** The applicant is not proposing any deviations from the parking requirements as found in Section 10.3 of the UDO. Specifically, the applicant is proposing 209 car spaces, which include 55 future spaces for personal automobiles and tractor trailers, should they be warranted. While the UDO generally permits a maximum of 143 spaces, the applicant is providing additional tree canopy coverage in the parking lot and has designed the SCMs on site to reduce nitrogen in stormwater runoff. The UDO allows these providing for exceeding the parking space maximum to encourage better site design.
- D. **Public Utilities/Water Allocation Policy:** The applicant is proposing to connect to public water and sewer. The proposal is an extension of an existing development which has already met the requirements of the Water Allocation Policy.
- E. **Stormwater Management:** The applicant is proposing to construct two stormwater ponds, both shown on the southern portion of the site. The design of the stormwater management system will ensure that stormwater is treated in accordance with all UDO requirements.
- F. **Lighting:** The applicant is not proposing any deviations from the lighting standards as found in Section 11.4 of the UDO.
- G. **Signage:** All site signage will be reviewed under a separate zoning review; however, the applicant is not proposing any deviations from the standards as found in Section 12 of the UDO for the MI Zoning District.

### **IX. TRANSPORTATION ANALYSIS**

As required by the UDO, a Traffic Impact Analysis (TIA) is necessary for any development proposal, as determined by the number of trips generated by the proposed use.

The TIA was reviewed by Town Staff and the Town's consulting engineer AMT and it meets all Town standards for level of service at all intersections. The proposal anticipates adding roughly 50 peak hour trips during the morning and evening rush hour times. While the current and anticipated Level of Service (LOS) for intersections along Hodge Road falls below the minimum threshold required by the UDO, this proposal will be contributing to less than 2% of new trips. Future intersection improvements by adjacent developments will improve the LOS along Hodge Road in the coming years. Additionally, recent transportation improvements made by the Eastgate 540 Industrial Park include the signalization of Spectrum Drive and Hodge Road, widening of Hodge Road, and extending the turn lane to access the westbound on-ramp onto Interstate-87. Therefore, the TIA does not recommend or require additional improvements to existing roadways or intersections.



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### X. COMPREHENSIVE PLAN:

#### **A. Growth Framework Map**

The Comprehensive Plan features the Growth Framework Map, a high-level tool for assisting in the decision-making process for development proposals. The intent is to prioritize development proposals based how well it fits within the existing conditions of the surrounding area. The map designates this area as a Target Investment Area, which defines areas more suitable for new development due to existing, nearby public infrastructure. This proposal is consistent with this element of the comprehensive plan.



#### **B. Growth & Conversation Map**

The Growth & Conversation Map designates parcels in Knightdale into different place type categories based on their current state and the anticipated pattern of development. The subject property is designated as “Business Office” as a place type.

#### PLACETYPE CATEGORIES

Preserved Open Space	Business Office
Rural Living	Light Industrial
Recreation Open Space	Heavy Industrial
Single Family Neighborhood	Civic & Institutional
Mixed-Density Neighborhood	Old Town
Multifamily Community	Mixed-Use Center
Neighborhood Node	Mixed-Use Center (Suburba
Retail	Transit-Oriented Developme
	Regional Mixed-Use Center



The “Business Office” place type is defined

as:

Business office districts provide opportunities to concentrate employment in the Town on normal workdays. They include both largescale buildings with employees for one business and areas with one or more buildings for multiple businesses that support and serve one another. They are buffered from



# Town of Knightdale

## Staff Report

surrounding development by transitional uses or landscaped areas and are often located in close proximity to major highways or thoroughfares.

The parcel, combined with the surrounding areas, meet the definition of a Business Office place type. The Eastgate 540 Industrial Park currently comprises of just under one million square feet of industrial, manufacturing, distribution, and storage uses. This is the final phase of the park which features six other warehouse type buildings.

The Place Type Transect, seen below, builds off the Growth & Conservation Map and helps to illustrate how developments should blend as Knightdale grows. The “Business Office” Place Type falls into the Districts category.







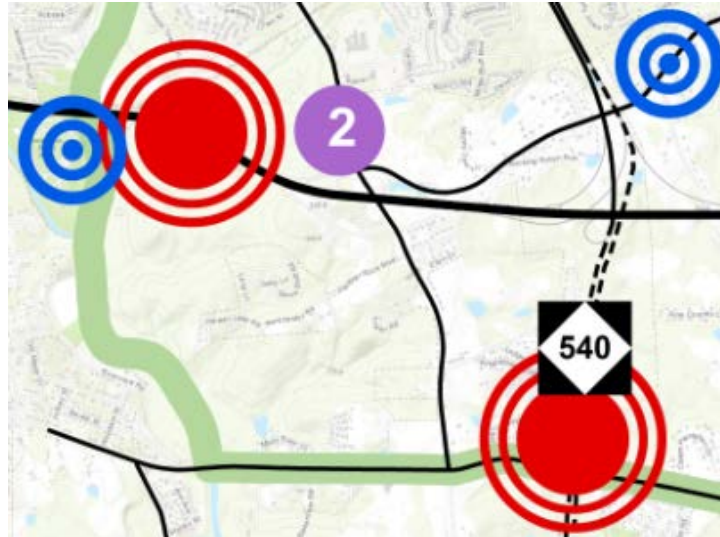
# Town of Knightdale

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### A. Gateway Entrances Map

Gateways help those traveling into Knightdale easily identify their entrance into Town. There are no proposed gateways along the section of Hodge Road where the Eastgate 540 Industrial Park is located.



### B. Trails and Greenways Map

The Trails & Greenway Map provides the general alignment of greenways in Knightdale. These trails should connect to the existing Town infrastructure or provide new recreational opportunities for residents. There are no greenway connections in the vicinity of the Eastgate 540 Industrial Park.





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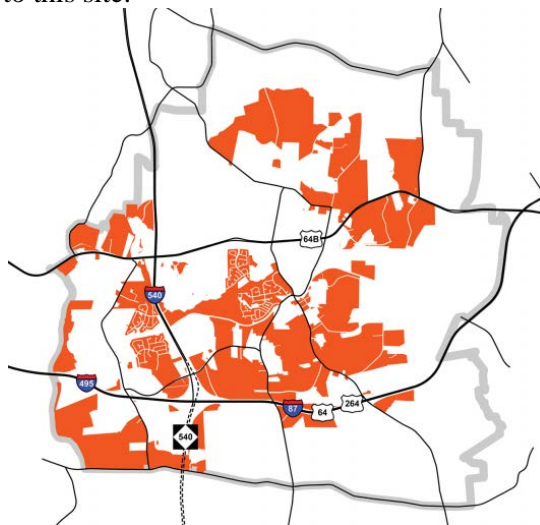
### C. Street Network Map

The Street Network Map provides the general alignment of future road connections to help build a connected transportation network. The proposed site plan includes the extension of Spectrum Drive, however no new street connections are called for in this area.



### D. Focus Area Studies

The Comprehensive Plan developed conceptual plans with the intent to guide development proposals in certain areas of Knightdale and build off the place type categories defined by the Growth & Conservation Map. There are no Focus Areas which apply to this site.





# Town of Knightdale

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### **CONSISTENCY WITH THE COMPREHENSIVE PLAN:**

North Carolina General Statute 160A-383 requires that **prior to** adoption or rejecting any zoning amendment, the governing board shall adopt a statement describing whether its action is consistent with an adopted comprehensive plan and explaining why the board considers the action to be reasonable and in the public interest.

It is staff's opinion that the proposed development is consistent with the KnightdaleNext 2035 Comprehensive Plan, and the following guiding principle category would be applicable to this request.

### **ECONOMIC VITALITY**



Promote a healthy and sustainable business environment by investing actively in infrastructure, providing favorable incentives, and building a community that is attractive to employers and their workers. Continue to promote Knightdale as a vibrant place, and build a competitive advantage to attract knowledge-based businesses to the area. Investment and recruitment initiatives should realize "triple bottom-line" benefits for Town residents by seeking to improve the tax base, promote economic vitality for local shops and businesses, and increase access to employment opportunities in the Town.

### **PROPOSED WRITTEN ADVISORY STATEMENT REGARDING PLAN CONSISTENCY:**

*"The proposed Zoning Map Amendment is consistent with the KnightdaleNext 2035 Comprehensive Plan as it supports the economic vitality of Knightdale. Further, it is consistent with the General Growth Framework Map as a Target Investment Area. The proposal is consistent with the Growth & Conservation Map's designation as a "Business Office" Place Type and falls within the "Districts" transect. The request is reasonable and in the public interest as it aids in developing a vibrant, sustainable, and safe community design in which people not only desire to visit, but to also live, work, and play."*

### **XI. JOINT PUBLIC HEARING SUMMARY:**

A joint public hearing with the Land Use Review Board and Town Council was held at the May 20, 2021 Town Council meeting. The Town did not receive any comments during the public comment period. Council discussed permitted uses, pedestrian plazas, ways to protect the natural habitat on site, and opportunities to utilize the roof for renewable energy or stormwater management purposes. Staff will continue to work with the applicant on these items moving forward.

### **XII. LAND USE REVIEW BOARD SUMMARY**

The Land Use Review Board is scheduled to consider this case at their meeting Monday evening, June 14. This staff report will be updated prior to the Town Council meeting on June 16 with their recommendation.

### **XII. STAFF RECOMMENDATION:**

It is staff's recommendation that Town Council approves the request to rezone 20.23 acres of property identified by Wake County PINs 1743-44-1236, 1743-44-4263, 1743-34-7185, and 1743-44-6261, from Rural Transition (RT) to Manufacturing & Industrial Conditional District (MI-CD) to allow for the construction of a 204,000 +/- square foot warehouse, adopts the advisory statement seen below from staff regarding Comprehensive Plan consistency, and adopts Ordinance #21-06-16-001.



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*“The proposed Zoning Map Amendment is consistent with the KnightdaleNext 2035 Comprehensive Plan as it supports the economic vitality of Knightdale. Further, it is consistent with the General Growth Framework Map as a Target Investment Area. The proposal is consistent with the Growth & Conservation Map’s designation as a “Business Office” Place Type and falls within the “Districts” transect. The request is reasonable and in the public interest as it aids in developing a vibrant, sustainable, and safe community design in which people not only desire to visit, but to also live, work, and play.”*



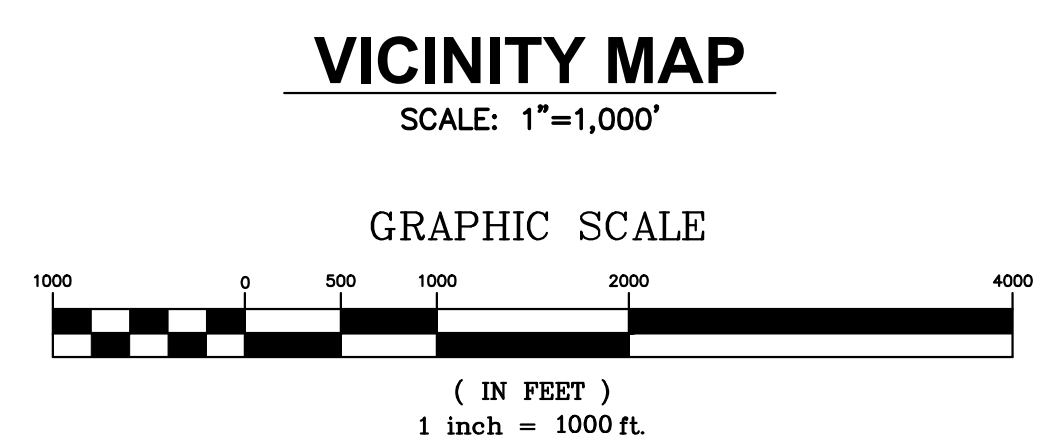
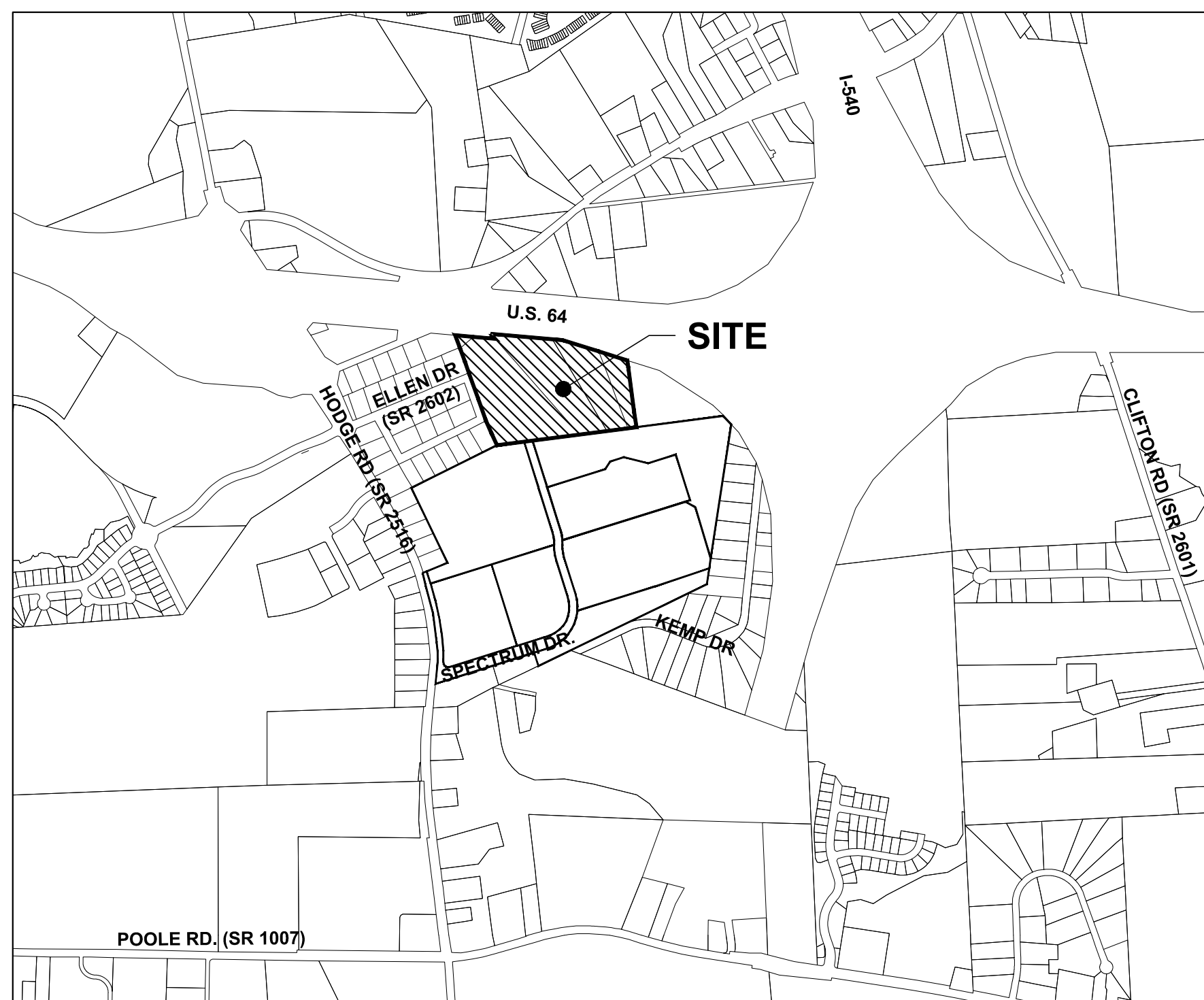
# MASTER PLAN

# EASTGATE 540

## SPECTRUM DRIVE

## KNIGHTDALE, NORTH CAROLINA

## ZMA-10-20



<p style="text-align: center;">DEVELOPER</p> <p style="text-align: center;"><b>HODGE ROAD FUTURE PHASES, LLC</b></p> <p style="text-align: center;">440 S. CHURCH STREET SUITE 800 CHARLOTTE, NC 28202 PHONE (704) 295-0455</p>	<p style="text-align: center;">ENGINEER/SURVEYOR</p> <p style="text-align: center;"><b>ADVANCED CIVIL DESIGN, INC.</b></p> <p style="text-align: center;">51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511 PHONE (919) 481-6290 FAX (919) 336-5127</p>
<p style="text-align: center;">OWNER</p> <p style="text-align: center;"><b>JOYCE C. LILES</b></p> <p style="text-align: center;">4040 CLIFTON ROAD KNIGHTDALE, NC 27545 PHONE (919) 266-0303</p>	<p style="text-align: center;">OWNER</p> <p style="text-align: center;"><b>DEBORAH JANE TART &amp; MELTON E. TART JR.</b></p> <p style="text-align: center;">4325 OLD FAISON ROAD KNIGHTDALE, NC 27545 PHONE (919) 266-2237</p>
<p style="text-align: center;">OWNER</p> <p style="text-align: center;"><b>JAMES EARL RICHARDSON &amp; GRAHAM EDWARD RICHARDSON</b></p> <p style="text-align: center;">5829 COFFEY STREET RALEIGH, NC 27604</p>	<p style="text-align: center;">OWNER</p> <p style="text-align: center;"><b>DEBORA T KEITH &amp; MILTON E KEITH</b></p> <p style="text-align: center;">PO BOX 1358 KNIGHTDALE, NC 27545</p>

### INDEX OF DRAWINGS

COVER SHEET	C.1.0
EXISTING CONDITIONS PLAN	C.2.0
OVERALL SITE PLAN	C.3.0
SITE PLAN	C.3.1
UTILITY PLAN	C.4.0
GRADING AND DRAINAGE PLAN	C.5.0
LANDSCAPE PLAN	C.6.0
LIGHTING PLAN	C.7.0
OVERALL FLOOR PLAN	A101
ENLARGED ELEVATIONS	A201
WALL SECTIONS	A301
WALL SECTIONS	A302
WALL SECTIONS	A303
WALL SECTIONS	A304

- ### GENERAL NOTES
- THIS PROJECT IS AN ADDENDUM TO THE PREVIOUSLY APPROVED MASTER PLANS TITLED "MASTER PLAN HODGE ROAD BUSINESS PARK" (ZCP-15-15) WHICH WAS APPROVED BY TOWN COUNCIL ON OCTOBER 15, 2015.
  - THIS PROJECT WILL AMEND THE EXISTING UTILITY ALLOCATION AGREEMENT (DB 16530, PG 1938) TO INCLUDE THIS SITE.
  - THE FOLLOWING MODIFICATIONS MADE DURING PREPARATION OF THE CONSTRUCTION AND/OR BUILDING PERMIT PLANS THAT DO DIFFER FROM THE APPROVED MASTER PLAN SHALL NOT REQUIRE THE MASTER PLAN TO BE AMENDED BY SUBMITTED TO THE TOWN FOR APPROVAL.
    - NUMBER AND LOCATION OF DOCK DOORS
    - NUMBER AND LOCATION OF PARKING SPACES
    - NUMBER AND LOCATION OF TRAILER PARKING SPACES
    - LOCATION OF SITE AND BUILDING INGRESS AND EGRESS

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PLAN PREPARED FOR:

51 Kilmayne Drive, Suite 105  
Cary, North Carolina 27511  
ph 919.481.6290  
fax 919.336.5127

**ADVANCED CIVIL DESIGN**  
ENGINEERS SURVEYORS

PLAN PREPARED BY:

O Ellen Drive, Knightdale, NC 27545 - Wake County

**TRINITY CAPITAL**

HODGE ROAD BUSINESS PARK

HODGE ROAD BUSINESS PARK

**MASTER PLAN SUBMITTAL**

FOR

**TRINITY CAPITAL ADVISORS, LLC**

**COVER SHEET**

COVER SHEET

Issue Dates:

**PRELIMINARY**

04/15/2021

01/25/2021 - MASTER PLAN SUBMITTAL #1

03/22/2021 - MASTER PLAN SUBMITTAL #2

04/15/2021 - MASTER PLAN SUBMITTAL #3

Date: 04/15/2021

Scale: 1" = 1,000'

Drawn By: JLB

Checked By: CMR

Project Number:

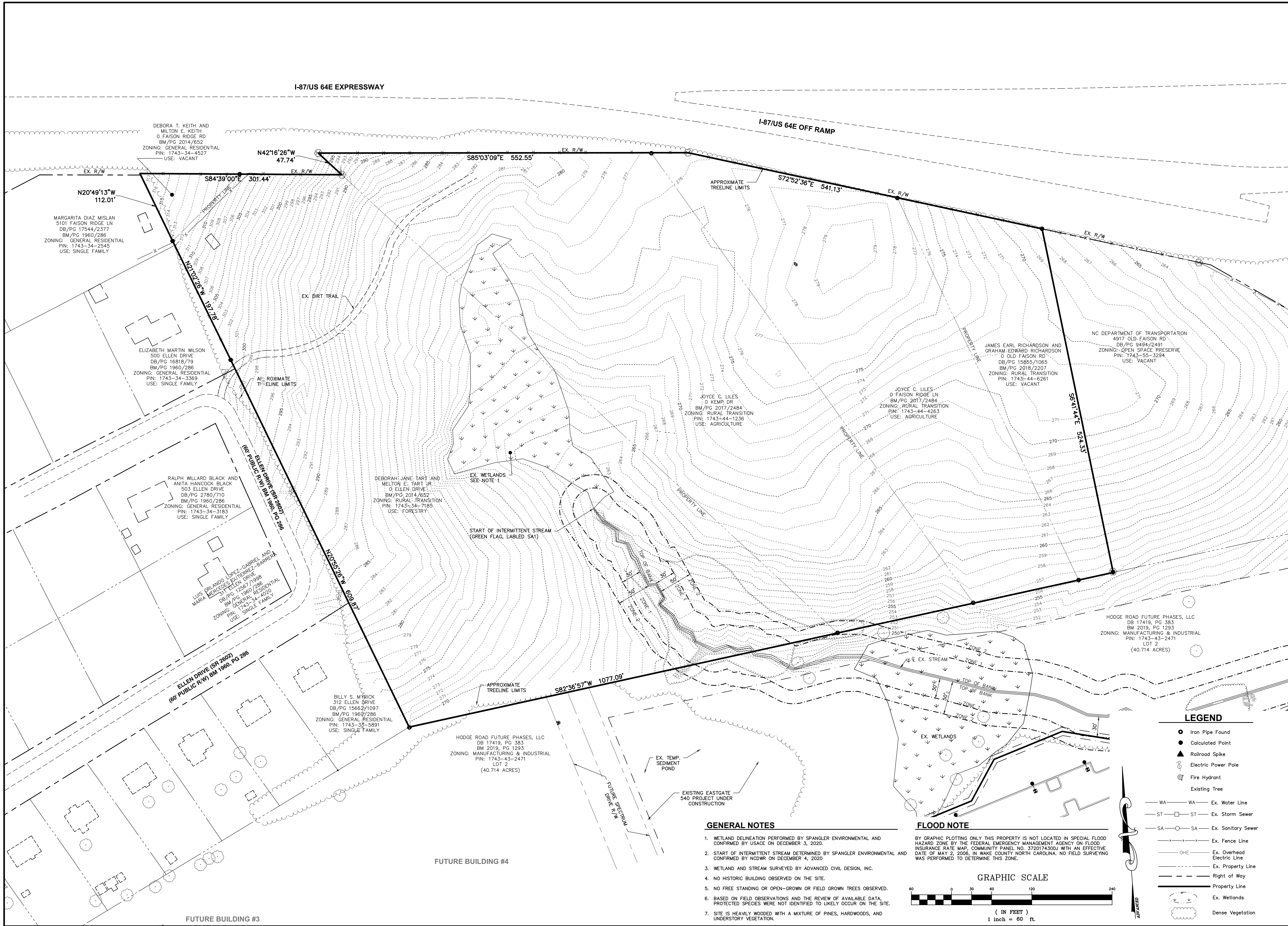
19-0001-988

Drawing Number:

**C.1.0**



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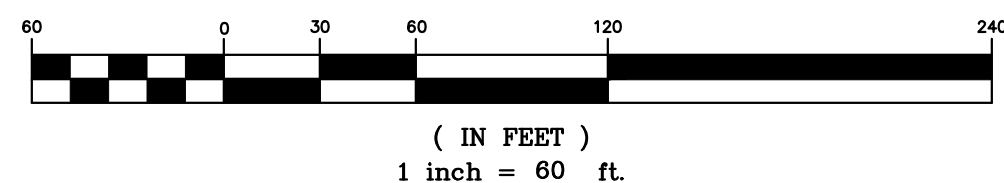
**GENERAL NOTES**

1. WETLAND DELINEATION PERFORMED BY SPANGLER ENVIRONMENTAL AND CONFIRMED BY USACE ON DECEMBER 3, 2020.
2. START OF INTERMITTENT STREAM DETERMINED BY SPANGLER ENVIRONMENTAL AND CONFIRMED BY NCDWR ON DECEMBER 4, 2020
3. WETLAND AND STREAM SURVEYED BY ADVANCED CIVIL DESIGN, INC.
4. NO HISTORIC BUILDING OBSERVED ON THE SITE.
5. NO FREE STANDING OR OPEN-GROWN OR FIELD GROWN TREES OBSERVED.
6. BASED ON FIELD OBSERVATIONS AND THE REVIEW OF AVAILABLE DATA, PROTECTED SPECIES WERE NOT IDENTIFIED TO LIKELY OCCUR ON THE SITE.
7. SITE IS HEAVILY WOODED WITH A MIXTURE OF PINES, HARDWOODS, AND UNDERSTORY VEGETATION.

**FLOOD NOTE**

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174300J WITH AN EFFECTIVE DATE OF MAY 2, 2006, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

**GRAPHIC SCALE**



**LEGEND**

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- ⊕ Existing Tree
- WA — WA — Ex. Water Line
- ST — ST — Ex. Storm Sewer
- SA — SA — Ex. Sanitary Sewer
- — — — — Ex. Fence Line
- OHE — — — — — Ex. Overhead Electric Line
- — — — — Ex. Property Line
- — — — — Right of Way
- — — — — Property Line
- ⊕ Ex. Wetlands
- ⊕ Dense Vegetation

PLAN PREPARED BY:  
51 Kilmegon Drive, Suite 105  
Cary, North Carolina 27511  
ph 919.461.6590  
fax 919.336.5127  
**ADVANCED CIVIL DESIGN**  
ENGINEERS SURVEYORS

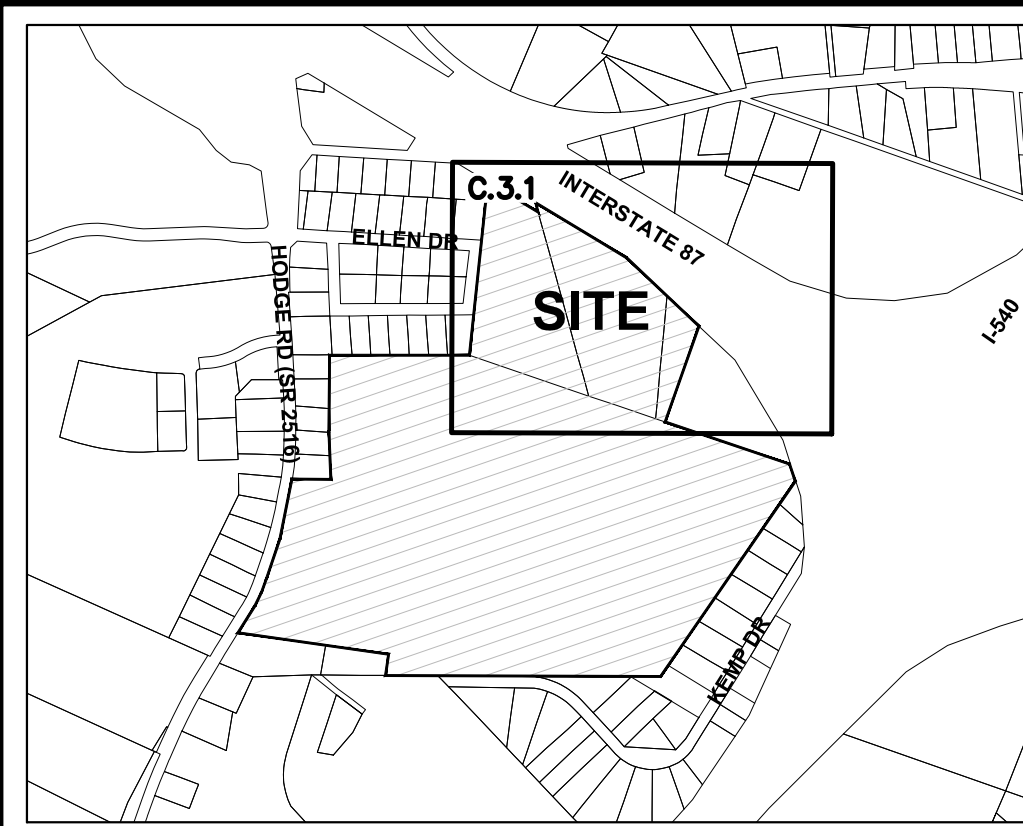
PLAN PREPARED FOR:  
**TRINITY CAPITAL**

O Ellen Drive, Knightdale, NC 27545 — Wake County  
**HODGE ROAD BUSINESS PARK**  
**MASTER PLAN SUBMITTAL**  
FOR  
**TRINITY CAPITAL ADVISORS, LLC**  
**EXISTING CONDITIONS PLAN**

**PRELIMINARY**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
ST. MICHAEL'S  
BRON M. RICE  
04/15/2021

Issue Dates:	Date: 04/15/2021
01/25/2021 — MASTER PLAN SUBMITTAL #1	Scale: 1" = 60'
03/22/2021 — MASTER PLAN SUBMITTAL #2	Drawn By: JLB
04/15/2021 — MASTER PLAN SUBMITTAL #3	Checked By: CMR
Project Number: <b>19-0001-988</b>	
Drawing Number: <b>C.2.0</b>	





**SHEET INDEX MAP**  
SCALE: 1" = 1,000'

**LEGEND**

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊙ Fire Hydrant
- ⊕ Existing Tree
- ⊕ Dense Vegetation
- ⊕ Existing Tree Cover Area Utilized
- ⊕ Type B Buffer Yard (UDO 8.7.A.2)
- Ex. Fence Line
- OHE Ex. Overhead Electric Line
- Ex. Property Line
- Right of Way
- Property Line
- Ex. Wetlands
- Proposed Additional Space For Tree Area
- Type A Buffer Yard (UDO 8.7.A.1)

**FLOOD NOTE**

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174300J WITH AN EFFECTIVE DATE OF MAY 2, 2006. IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

**GENERAL NOTES**

- BOUNDARY INFORMATION PLOTTED USING RECORDS OBTAINED FROM THE WAKE COUNTY REGISTER OF DEEDS.
- TOPOGRAPHIC SURVEY PROVIDED BY WAKE COUNTY GIS.
- PRELIMINARY WETLAND LOCATIONS PROVIDED BY SPANGLER ENVIRONMENTAL.
- BUFFER DETERMINATION PER SURFACE WATER DETERMINATION LETTER NBRRO#14-384 DATED NOVEMBER 4, 2014.
- PROTECTED SPECIES HABITAT ASSESSMENT REPORT PROVIDED BY SPANGLER ENVIRONMENTAL.

**TREE COVER AREA CALCULATIONS**

PERIMETER OF SITE: 7,858 FEET  
 REQUIRED TREE COVER AREA: 7,858 FT X 20 FT = 157,160 SF  
 REQUIRED AREA % OF TOTAL LOT AREA: 157,160 SF / 3,425,599 SF = 4.59%  
 4.59% OF TOTAL LOT AREA (< 10% MAX)  
 EXISTING TREE COVER AREA TO BE UTILIZED: 96,628 SF  
 ADDITIONAL SPACE REQUIRED: 157,160 SF - 96,628 SF = 60,532 SF  
 RE-PLANTED AREA REQUIRED: 125% OF CALCULATED ADDITIONAL SPACE  
 125% X 60,532 SF = 75,665 SF  
 RE-PLANTED AREA PROVIDED: 260,216 SF  
 260,216 SF > 75,665 SF

**TOWN OF KNIGHTDALE WATER ALLOCATION POLICY**

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW:  
 PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,181,066 SF  
 1,181,066 SF > 500,000 SF (REQUIRED)  
 POINTS EARNED: 41 POINTS  
 ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES  
 POINTS EARNED: 2 POINTS  
 SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)  
 POINTS EARNED: 1 POINT  
 EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES  
 POINTS EARNED: 3 POINTS  
 TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS

**SITE DATA TABLE**

TOTAL SITE ACREAGE: 98.875 ACRES  
 ZONED: M1 (MANUFACTURING & INDUSTRIAL)  
 EXISTING LAND USE: SINGLE FAMILY, AGRICULTURE  
 PROPOSED LAND USE: STORAGE - WAREHOUSE, INDOOR STORAGE  
 \*PER THE TOWN OF KNIGHTDALE UDO CHAPTER 2 SECTION 2.3.C THE PROPOSED LAND USE IS PERMITTED SUBJECT TO ADDITIONAL STANDARDS IN CHAPTER 3 SECTION 3.3.QQ  
 WATERSHED: LOWER NEUSE RIVER  
 PROPOSED NO. BUILDINGS: 7  
 TOTAL BUILDING AREA: 1,181,066 SF  
 FRONT SETBACK (MIN.) \*\*: 10 FT  
 SIDE SETBACK (MIN.) \*\*: 6 FT  
 CORNER SIDE SETBACK (MIN.) \*\*: 10 FT  
 REAR SETBACK (MIN.) \*\*: 10 FT  
 MAXIMUM HEIGHT: 5 STORIES  
 \*\* FRONT, REAR, SIDE SETBACKS FROM OSP, RR, GR, UR, RMX, NMX, TC, AND HB DISTRICTS SHALL BE A MINIMUM OF 50 FT.

**PARKING CALCULATIONS**

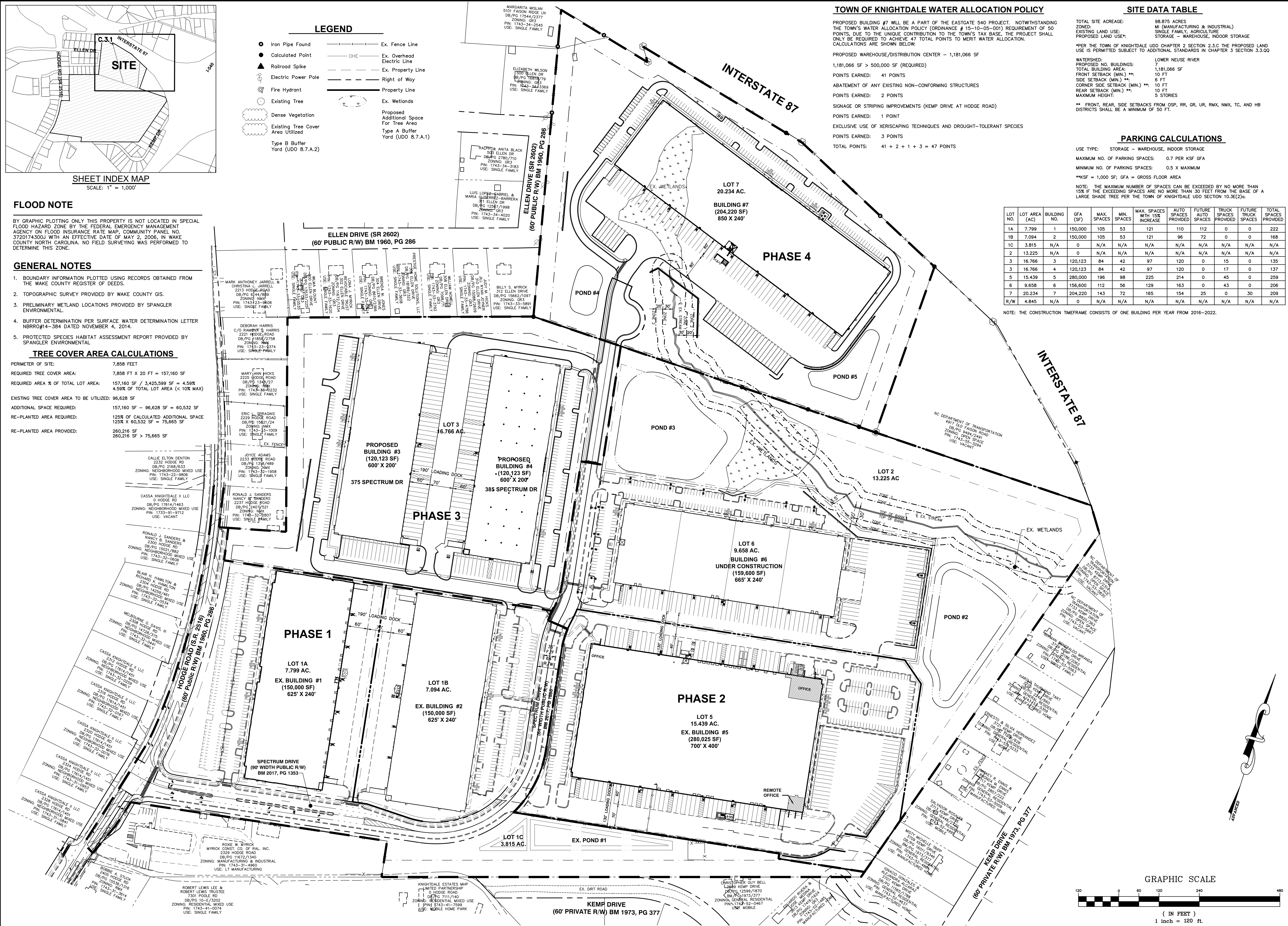
USE TYPE: STORAGE - WAREHOUSE, INDOOR STORAGE  
 MAXIMUM NO. OF PARKING SPACES: 0.7 PER KSF GFA  
 MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM  
 \*\*KSF = 1,000 SF; GFA = GROSS FLOOR AREA

NOTE: THE MAXIMUM NUMBER OF SPACES CAN BE EXCEEDED BY NO MORE THAN 15% IF THE EXCEEDING SPACES ARE NO MORE THAN 30 FEET FROM THE BASE OF A LARGE SHADE TREE PER THE TOWN OF KNIGHTDALE UDO SECTION 10.3E(2).

LOT NO.	LOT AREA (AC)	BUILDING NO.	GFA (SF)	MAX. SPACES	MIN. SPACES	MAX. SPACES WITH 15% INCREASE	AUTO SPACES PROVIDED	FUTURE AUTO SPACES	TRUCK SPACES PROVIDED	FUTURE TRUCK SPACES	TOTAL SPACES PROVIDED
1A	7.799	1	150,000	105	53	121	110	112	0	0	222
1B	7.094	2	150,000	105	53	121	96	72	0	0	168
1C	3.815	N/A	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
2	13.225	N/A	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
3	16.766	3	120,123	84	42	97	120	0	15	0	135
3	16.766	4	120,123	84	42	97	120	0	17	0	137
5	15.439	5	280,000	196	98	225	214	0	45	0	259
6	9.658	6	156,600	112	56	129	163	0	43	0	206
7	20.234	7	204,220	143	72	165	154	25	0	30	209
R/W	4.845	N/A	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

NOTE: THE CONSTRUCTION TIMEFRAME CONSISTS OF ONE BUILDING PER YEAR FROM 2016-2022.

C:\19-0001-988BNC\DWG\Production Drawings\MASTER PLANS\Building 7\0001-988mp03.0.dwg OVERALL SITE PLAN Apr 14, 2021 5:15:08pm crice



PLAN PREPARED BY:  
 51 Kimmey Drive, Suite 105  
 Cary, North Carolina 27511  
 PH 919-461-6990  
 FAX 919-336-5127  
**ADVANCED CIVIL DESIGN**  
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:  
**TRINITY CAPITAL**

0 Ellen Drive, Knightdale, NC 27545 - Wake County  
**HODGE ROAD BUSINESS PARK**  
**MASTER PLAN SUBMITTAL**  
 FOR  
**TRINITY CAPITAL ADVISORS, LLC**  
**OVERALL SITE PLAN**

**PRELIMINARY**  
 04/15/2021

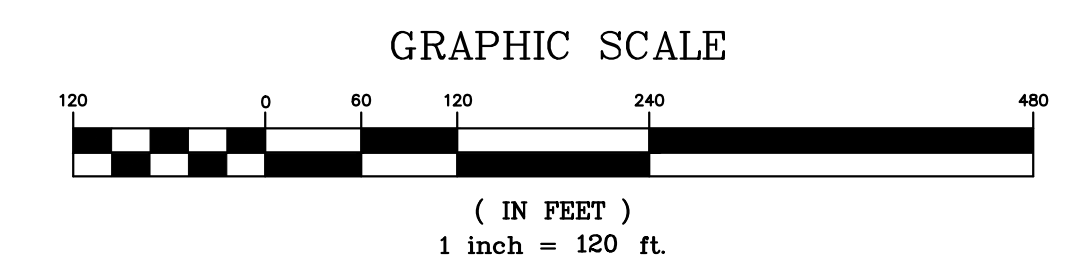
Issue Dates:  
 01/25/2021 - MASTER PLAN SUBMITTAL #1  
 03/22/2021 - MASTER PLAN SUBMITTAL #2  
 04/15/2021 - MASTER PLAN SUBMITTAL #3

Date: 04/15/2021  
 Scale: 1" = 120'

Drawn By: JLB  
 Checked By: CMR

Project Number:  
**19-0001-988**

Drawing Number:  
**C.3.0**





**GENERAL NOTES**

1. THE APPROVED 404 USAGE INDIVIDUAL PERMIT (SAW-2014-02127) SHALL BE REVISED TO INCLUDE IMPACTS TO BUFFERS, STREAMS, AND WETLANDS FOR THIS PROJECT.
2. PROJECT SHALL BE COMPLIANT WITH SECTIONS 8.5-8.11 OF THE UDO.
3. OUTDOOR STORAGE IS NOT PERMITTED.
4. A TIA OR UPDATED TIA WILL BE REQUIRED.
5. THE UAA WILL NEED TO BE UPDATED.
6. PARKING LOT REQUIRED TO HAVE CURB AND GUTTER PER UDO 10.4B.

**LEGEND**

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Spike Pole
- ⊕ Fire Hydrant
- ⊕ Ex. Wetlands
- Ex. Fence Line
- Ex. Property Line
- Property Line
- Proposed Storm Sewer
- Proposed Swale
- SCM Access Easement
- Loading Dock Pavement Section
- Buffer Yard D Replanted Areas in this Phase
- Existing Tree Cover Area

**TOWN OF KNIGHTDALE WATER ALLOCATION POLICY**

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW:

PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,204,220 SF  
 1,204,220 SF > 500,000 SF (REQUIRED)

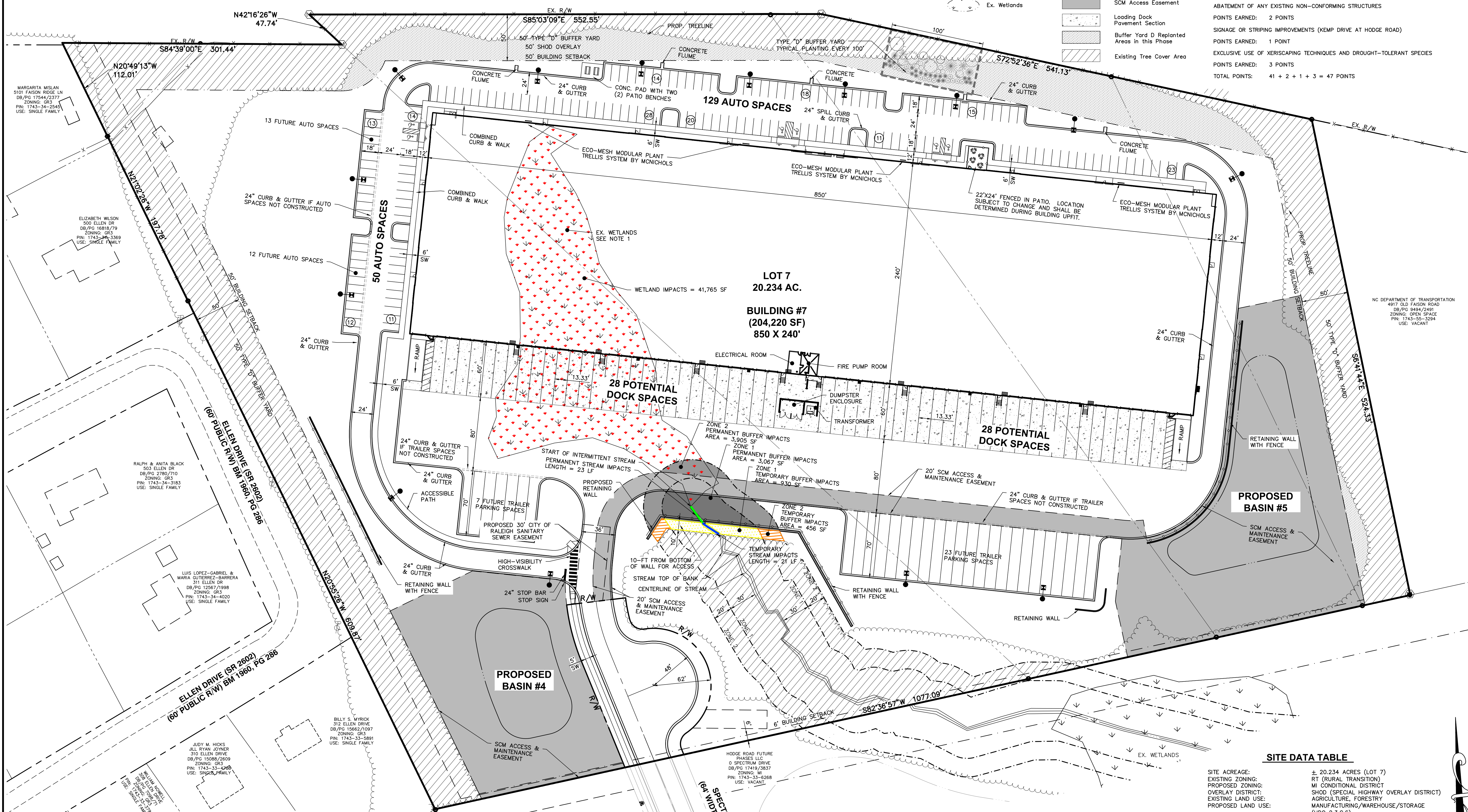
POINTS EARNED: 41 POINTS

ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES  
 POINTS EARNED: 2 POINTS

SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)  
 POINTS EARNED: 1 POINT

EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES  
 POINTS EARNED: 3 POINTS

TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS



**PARKING CALCULATIONS**

USE TYPE: STORAGE - WAREHOUSE, INDOOR STORAGE

MAXIMUM NO. OF PARKING SPACES: 0.7 PER KSF GFA

MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM

\*\*KSF = 1,000 SF; GFA = GROSS FLOOR AREA

NOTE: THE PROVIDED SPACES EXCEED THE MAXIMUM NUMBER OF SPACES. FUTURE LANDSCAPE PLANS WILL SHOW THE EXCEEDING SPACES ARE NO MORE THAN 30 FEET FROM THE BASE OF A LARGE SHADE TREE PER UDO SECTION 10.3E(2)g.

PROPOSED POND IS A WET POND AND PROVIDES A 30% REDUCTION IN TOTAL NITROGEN PER UDO SECTION 10.3E(2)h(iii).

LOT NO.	LOT AREA (AC)	BUILDING NO.	GFA (SF)	MAX. SPACES	MIN. SPACES	MAX. SPACES WITH 15% INCREASE	AUTO SPACES PROVIDED	FUTURE AUTO SPACES	TRUCK SPACES PROVIDED	FUTURE TRUCK SPACES	TOTAL SPACES PROVIDED
7	20.234	7	204,220	143	72	165	154	25	0	30	209

**STREAM, BUFFER, AND WETLAND IMPACTS**

SYMBOL	DESCRIPTION	QUANTITY
	STREAM - PERMANENT	23 LF
	STREAM - TEMPORARY	21 LF
	WETLAND - PERMANENT	41,765 SF
	ZONE 1 BUFFER - PERMANENT	3,067 SF
	ZONE 2 BUFFER - PERMANENT	3,905 SF
	ZONE 1 BUFFER - TEMPORARY	930 SF
	ZONE 2 BUFFER - TEMPORARY	456 SF

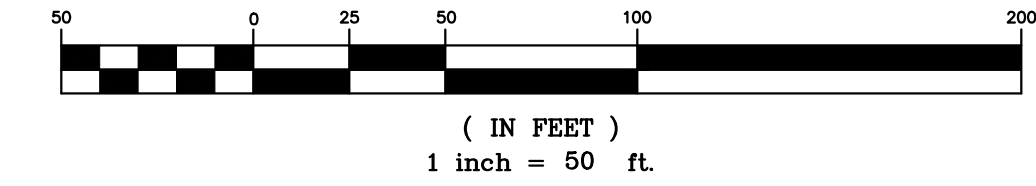
**SITE DATA TABLE**

SITE ACREAGE: ± 20.234 ACRES (LOT 7)  
 EXISTING ZONING: RT (RURAL TRANSITION)  
 PROPOSED ZONING: MI (CONDITIONAL DISTRICT)  
 OVERLAY DISTRICT: SHOD (SPECIAL HIGHWAY OVERLAY DISTRICT)  
 EXISTING LAND USE: AGRICULTURE, FORESTRY  
 PROPOSED LAND USE: MANUFACTURING/WAREHOUSE/STORAGE (UDO 2.3.C.6)

WATERSHED: LOWER NEUSE RIVER  
 PROPOSED NO. BUILDINGS: 1  
 TOTAL BUILDING AREA: 204,220 SF  
 FRONT SETBACK (MIN.) \*\*: 10 FT  
 SIDE SETBACK (MIN.) \*\*: 6 FT  
 CORNER SIDE SETBACK (MIN.) \*\*: 10 FT  
 REAR SETBACK (MIN.) \*\*: 10 FT  
 MAXIMUM HEIGHT: 5 STORIES

\*\* FRONT, REAR, AND SIDE SETBACKS FROM OSP, RR, GR, UR, RMX, NMX, TC, AND HB DISTRICTS SHALL BE A MINIMUM OF 50 FT.

**GRAPHIC SCALE**



PLAN PREPARED BY:  
 51 Kimmage Drive, Suite 105  
 Cary, North Carolina 27511  
 ph 919.484.6990  
 fax 919.336.5127  
**ADVANCED CIVIL DESIGN**  
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0 Ellen Drive, Knightdale, NC 27545 - Wake County  
**HODGE ROAD BUSINESS PARK**  
**MASTER PLAN SUBMITTAL**  
 FOR  
**TRINITY CAPITAL ADVISORS, LLC**  
**SITE PLAN**

**PRELIMINARY**  
 NORTH CAROLINA PROFESSIONAL SEAL  
 STANLEY R. RICE  
 04/15/2021

Issue Dates:  
 01/25/2021 - MASTER PLAN SUBMITTAL #1  
 03/22/2021 - MASTER PLAN SUBMITTAL #2  
 04/15/2021 - MASTER PLAN SUBMITTAL #3

Date: 04/15/2021  
 Scale: 1" = 50'

Drawn By: JLB  
 Checked By: CMR

Project Number:  
**19-0001-988**

Drawing Number:  
**C.3.1**



I-87/US 64E EXPRESSWAY (R/W VARIES)

ESTIMATED WATER & SEWER AVERAGE DAILY DEMAND = 588 GPD

WATER & SEWER

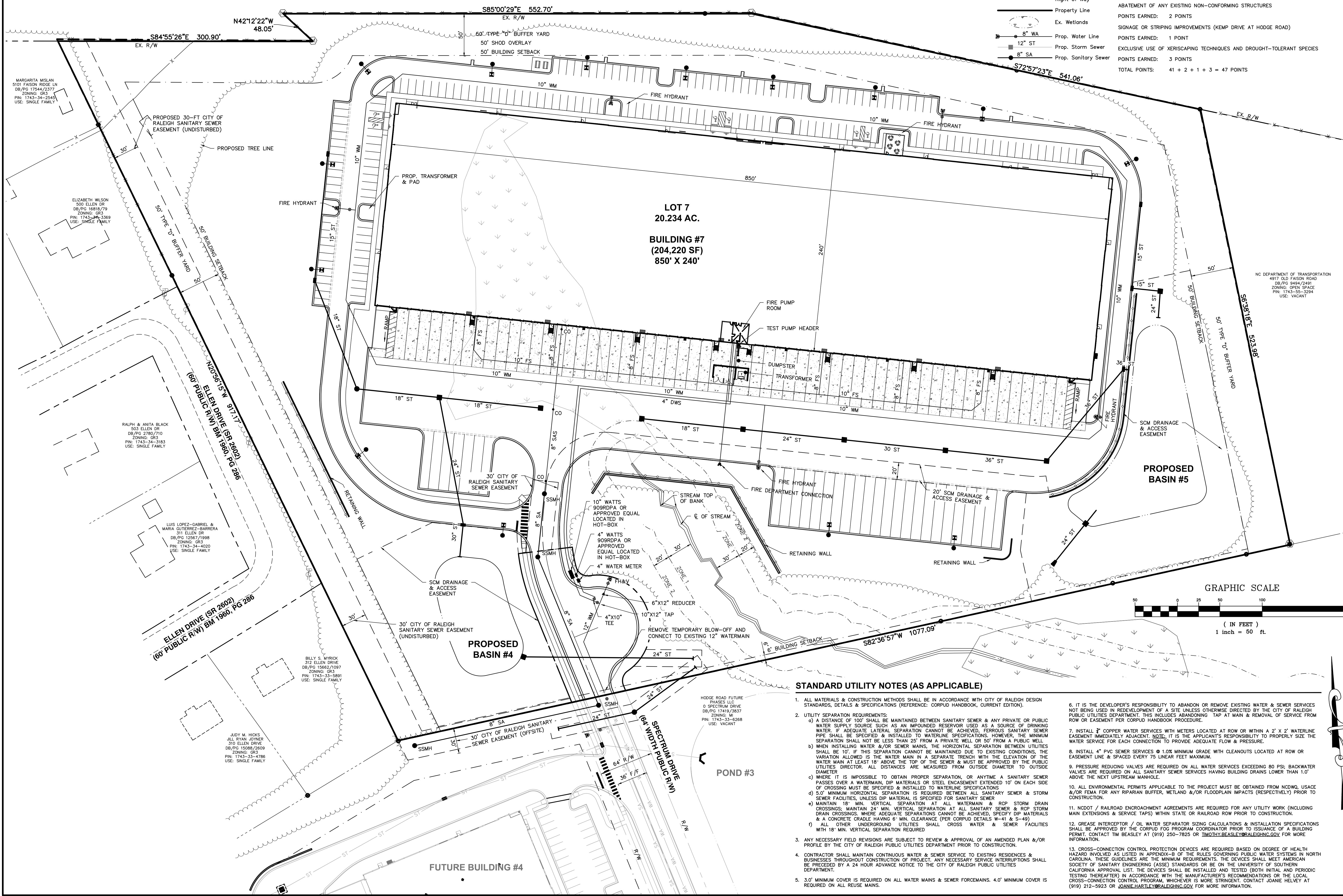
- 1. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
2. BUILDING WILL BE CONNECTED TO THE CITY OF RALEIGH WATER AND SANITARY SEWER SYSTEMS.
3. ALL SANITARY SEWER AND WATER LOCATED OUTSIDE THE PROPOSED STREET RIGHT-OF-WAY SHALL PROVIDED WITH STANDARD EASEMENT WIDTHS AS PER CITY OF RALEIGH REQUIREMENTS AND SHALL DEDICATED TO THE CITY OF RALEIGH ON THE FINAL PLAT.
4. NO SERVICES SHALL BE BENT OR INSTALLED IN SUCH A WAY THAT DOES NOT COMPLY WITH CITY STANDARDS.

LEGEND

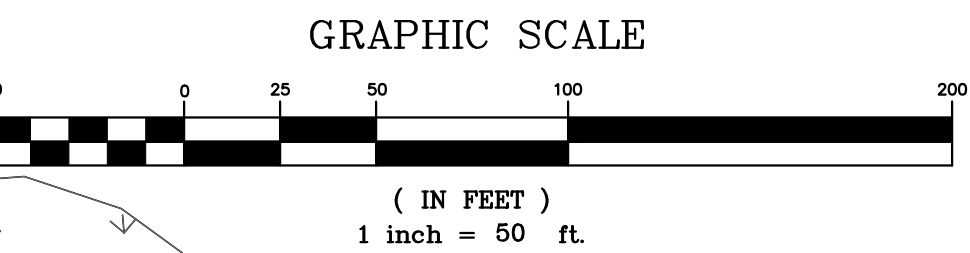
- Iron Pipe Found
Calculated Point
Railroad Spike
Electric Power Pole
Fire Hydrant
Ex. Fence Line
WA - Ex. Water Line
GAS - Ex. Gas Line
OHE - Ex. Overhead Electric Line
Ex. Property Line
Right of Way
Property Line
8" WA - Prop. Water Line
12" ST - Prop. Storm Sewer
8" SA - Prop. Sanitary Sewer

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW.
PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,204,000 SF
1,204,000 SF > 500,000 SF (REQUIRED)
POINTS EARNED: 41 POINTS
ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES
POINTS EARNED: 2 POINTS
SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)
POINTS EARNED: 1 POINT
EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES
POINTS EARNED: 3 POINTS
TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS



LOT 7
20.234 AC.
BUILDING #7
(204,220 SF)
850' X 240'



STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49)
f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOO PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 250-7825 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 212-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
PLAN PREPARED FOR: TRINITY CAPITAL
HODGE ROAD BUSINESS PARK
MASTER PLAN SUBMITTAL FOR TRINITY CAPITAL ADVISORS, LLC
UTILITY PLAN
PRELIMINARY
Date: 04/15/2021
Scale: 1" = 50'
Project Number: 19-0001-988
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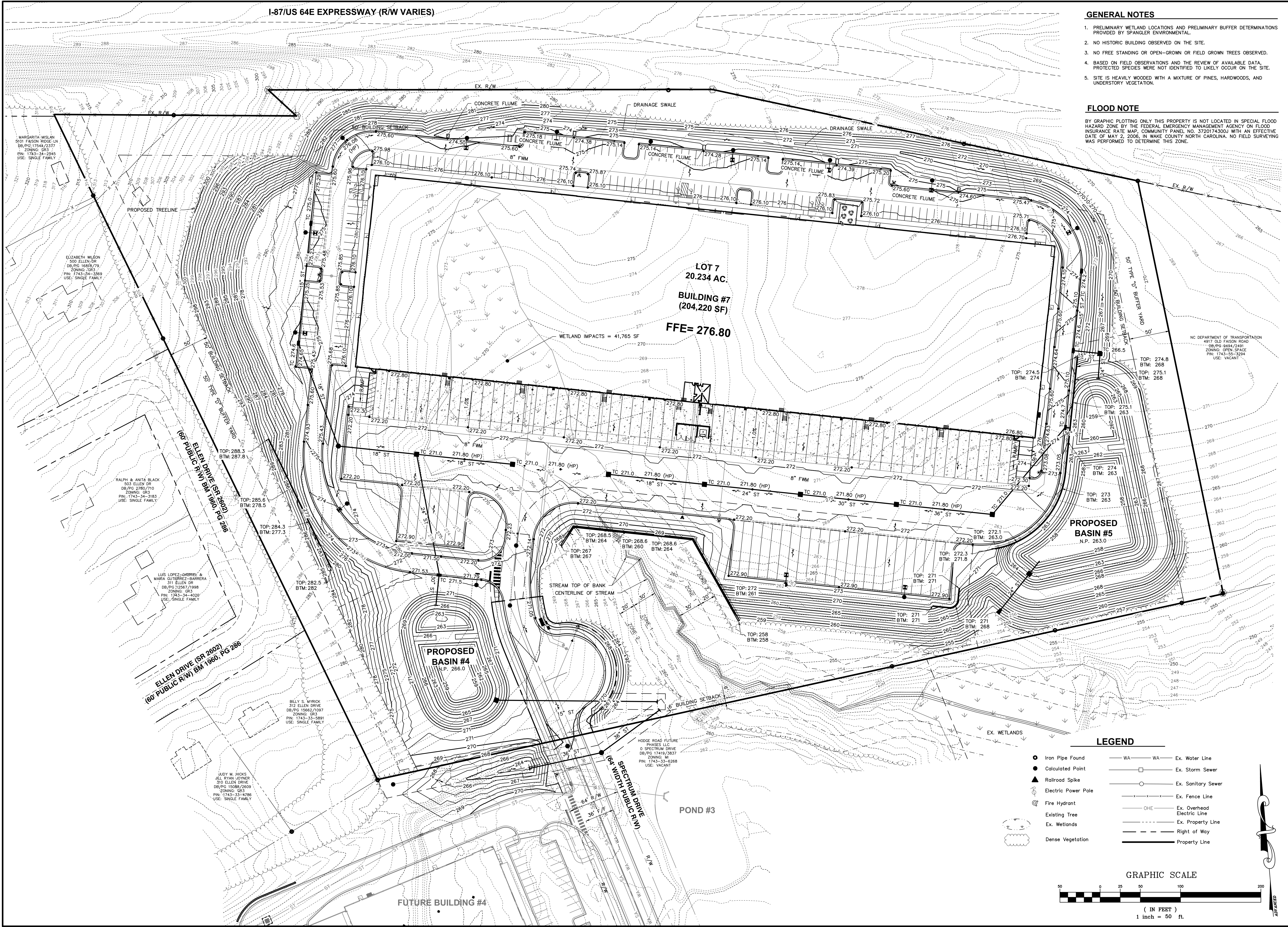


GENERAL NOTES

1. PRELIMINARY WETLAND LOCATIONS AND PRELIMINARY BUFFER DETERMINATIONS PROVIDED BY SPANGLER ENVIRONMENTAL.
2. NO HISTORIC BUILDING OBSERVED ON THE SITE.
3. NO FREE STANDING OR OPEN-GROWN OR FIELD GROWN TREES OBSERVED.
4. BASED ON FIELD OBSERVATIONS AND THE REVIEW OF AVAILABLE DATA, PROTECTED SPECIES WERE NOT IDENTIFIED TO LIKELY OCCUR ON THE SITE.
5. SITE IS HEAVILY WOODED WITH A MIXTURE OF PINES, HARDWOODS, AND UNDERSTORY VEGETATION.

FLOOD NOTE

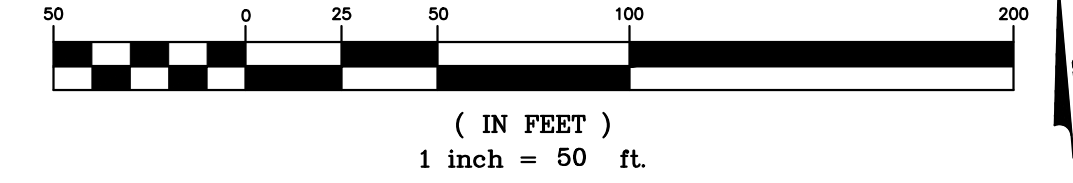
BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 372014300J WITH AN EFFECTIVE DATE OF MAY 2, 2006, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- ⊕ Existing Tree
- ⊕ Ex. Wetlands
- ⊕ Dense Vegetation
- WA — WA — Ex. Water Line
- □ — Ex. Storm Sewer
- ○ — Ex. Sanitary Sewer
- — — Ex. Fence Line
- — — Ex. Overhead Electric Line
- · · · Ex. Property Line
- — — Right of Way
- — — Property Line

GRAPHIC SCALE



PLAN PREPARED BY:

ADVANCED CIVIL DESIGN  
ENGINEERS SURVEYORS

51 Kimmage Drive, Suite 105  
Cary, North Carolina 27511  
ph 919.461.6990  
fax 919.336.5127

PLAN PREPARED FOR:

TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 — Wake County

**HODGE ROAD BUSINESS PARK**

**MASTER PLAN SUBMITTAL**

FOR

**TRINITY CAPITAL ADVISORS, LLC**

**GRADING AND DRAINAGE PLAN**

NORTH CAROLINA PROFESSIONAL ENGINEER

PRELIMINARY

BRON M. RICE

04/15/2021

Issue Dates:

- 01/25/2021 — MASTER PLAN SUBMITTAL #1
- 03/22/2021 — MASTER PLAN SUBMITTAL #2
- 04/15/2021 — MASTER PLAN SUBMITTAL #3

Date: 04/15/2021  
Scale: 1" = 50'

Drawn By: JLB  
Checked By: CMR

Project Number:  
**19-0001-988**

Drawing Number:  
**C.5.0**

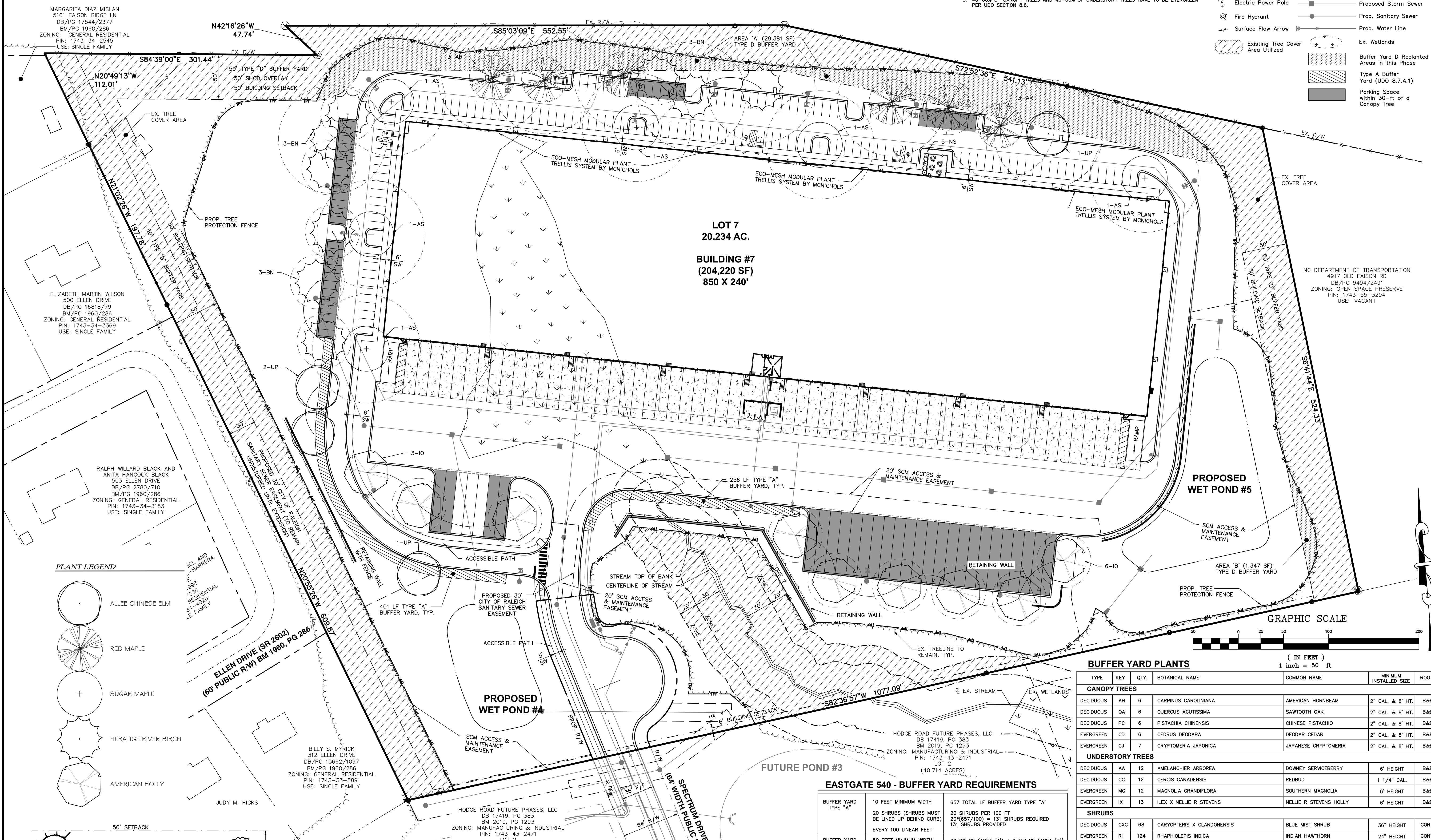


LANDSCAPE NOTES

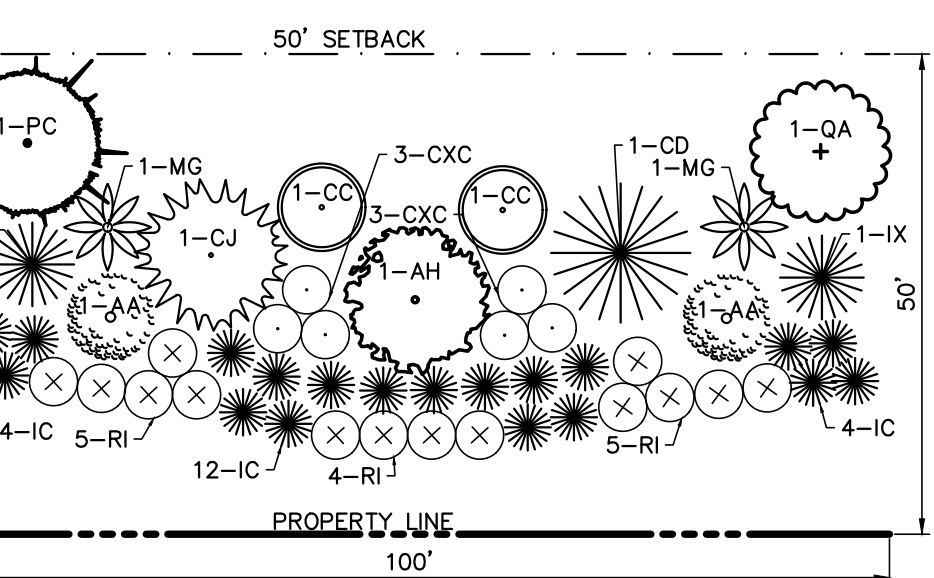
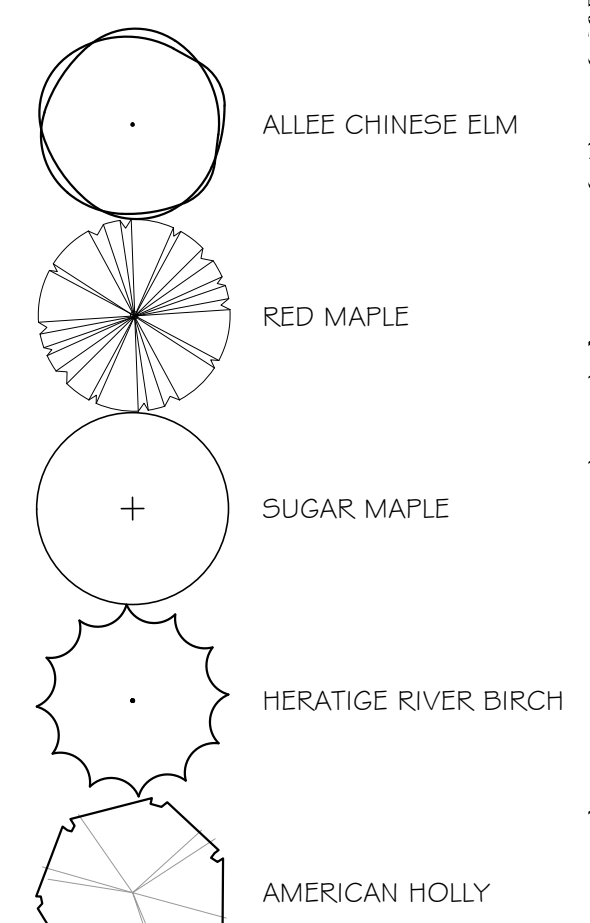
1. AT TIME OF INSTALLATION, CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND 8' IN HEIGHT; UNDERSTORY TREES SHALL BE A MINIMUM OF 1 1/4" CALIPER AND 6' IN HEIGHT; AND SHRUBS SHALL BE AT LEAST 18" IN HEIGHT AND A 3 GALLON CONTAINER SIZE.
2. ANY ABOVE GROUND UTILITIES HAVE TO BE SCREENED IN ACCORDANCE WITH UDO SECTION 8.7.
3. 40-60% OF CANOPY TREES AND 40-60% OF UNDERSTORY TREES HAVE TO BE EVERGREEN PER UDO SECTION 8.6.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- Surface Flow Arrow
- Existing Tree Cover Area Utilized
- Ex. Fence Line
- Ex. Property Line
- Property Line (Not Surveyed)
- Proposed Storm Sewer
- Prop. Sanitary Sewer
- Prop. Water Line
- Ex. Wetlands
- Buffer Yard D Replanted Areas in this Phase
- Type A Buffer Yard (UDO 8.7.A.1)
- Parking Space within 30'-ft of a Canopy Tree



PLANT LEGEND



TREE COVER AREA CALCULATIONS

PERIMETER OF SITE: 3,964 FEET  
 REQUIRED TREE COVER AREA: 3,964 FT X 20 FT = 79,280 SF  
 PROVIDED TREE COVER AREA: 33,016 SF (STREAM BUFFER)  
 PROVIDED TREE COVER AREA: > 79,280 (50-FT TYPE A BUFFER)  
 TOTAL PROVIDED TREE COVER AREA: > 79,280 SF

NOTE: CHANGES TO TREE COVERAGE AREAS ASSOCIATED WITH CONSTRUCTION PLANS SHALL NOT REQUIRE THE PROJECT TO GO THROUGH ANOTHER CONDITION REZONING APPROVAL PROCESS.

EASTGATE 540 - BUFFER YARD REQUIREMENTS

BUFFER YARD TYPE	MINIMUM WIDTH	REQUIREMENTS
TYPE "A"	10 FEET	657 TOTAL LF BUFFER YARD TYPE "A" 20 SHRUBS (SHRUBS MUST BE LINED UP BEHIND CURB) EVERY 100 LINEAR FEET
TYPE "D"	50 FEET	29,381 SF (AREA "A") + 1,347 SF (AREA "B") = 30,728 TOTAL SF IN BUFFER YARD TYPE "D" 5 CANOPY TREES 8 UNDERSTORY TREES 40 SHRUBS EVERY 100 LINEAR FEET

BUFFER YARD PLANTS

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
<b>CANOPY TREES</b>						
DECIDUOUS	AH	6	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL. & 8' HT.	B&B
DECIDUOUS	QA	6	QUERCUS ACUTISSIMA	SAWTOOTH OAK	2" CAL. & 8' HT.	B&B
DECIDUOUS	PC	6	PISTACHIA CHINENSIS	CHINESE PISTACHIO	2" CAL. & 8' HT.	B&B
EVERGREEN	CD	6	CEDRUS DEODARA	DEODAR CEDAR	2" CAL. & 8' HT.	B&B
EVERGREEN	CJ	7	CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA	2" CAL. & 8' HT.	B&B
<b>UNDERSTORY TREES</b>						
DECIDUOUS	AA	12	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6" HEIGHT	B&B
DECIDUOUS	CC	12	CEROS CANADENSIS	REDBUD	1 1/4" CAL.	B&B
EVERGREEN	MG	12	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6" HEIGHT	B&B
EVERGREEN	IX	13	ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	6" HEIGHT	B&B
<b>SHRUBS</b>						
DECIDUOUS	CXC	68	CARYOPTERIS X CLANDONENSIS	BLUE MIST SHRUB	36" HEIGHT	CONT.
EVERGREEN	RI	124	RHAPHIOLIS INDICA	INDIAN HAWTHORN	24" HEIGHT	CONT.
EVERGREEN	IC	185	ILEX CORNUTA 'BURFORDII'	BURFORD HOLLY	18" HEIGHT	CONT.
<b>PARKING LOT/STREET TREES</b>						
TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
DECIDUOUS	UP	3	ULMUS PARVIFOLIA	ALLEE CHINESE ELM	2" CAL. & 8' HT.	B&B
DECIDUOUS	AR	6	ACER RUBRUM	RED MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	AS	6	ACER SACCHARUM	SUGAR MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	BN	9	BETULA NIGRA	HERITAGE RIVER BIRCH	2" CAL. & 8' HT.	B&B
EVERGREEN	IO	9	ILEX OPACA	AMERICAN HOLLY	2" CAL. & 8' HT.	B&B
<b>MISCELLANEOUS SHRUBS</b>						
TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
DECIDUOUS	IX	5	ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	6" HEIGHT	B&B



PLAN PREPARED BY: TRINITY CAPITAL

PLAN PREPARED FOR: HODGE ROAD BUSINESS PARK

MASTER PLAN SUBMITTAL FOR TRINITY CAPITAL ADVISORS, LLC

LANDSCAPE PLAN

0 Ellen Drive, Knightdale, NC 27545 - Wake County

DATE: 04/15/2021

Issue Dates: 01/25/2021 - MASTER PLAN SUBMITTAL #1, 03/22/2021 - MASTER PLAN SUBMITTAL #2, 04/15/2021 - MASTER PLAN SUBMITTAL #3

Drawn By: JLB, Checked By: CMR

Project Number: 19-0001-988

Drawing Number: C.6.0

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

51 Kimmage Drive, Suite 105, Cary, North Carolina 27511, ph 919.461.6990, fax 919.336.5127



**STREET LIGHTING STANDARDS**

1. NUMERICAL POINT-BYPOINT FC GRID MAXIMUM 25 FOOT BY 25 FOOT THAT INDICATES THE MINIMUM, MAXIMUM, AND AVERAGE FC LEVELS WITHIN THE LIGHTED AREA OF THE SITE AND THE AVERAGE TO MINIMUM RATIO FOR THE DETERMINATION OF UNIFORMITY.
2. PUBLIC STREET LIGHTING IS EXEMPT OF MAXIMUM ALLOWABLE LIGHT LEVELS AT THE PROPERTY LINE.
3. FIXTURE TO BE FULL CUTOFF.
4. FIXTURE SHALL BE LED WITH A MINIMUM COLOR RENDERING INDEX (CRI) VALUE OF 70 OR BETTER.
5. FIXTURE SHALL HAVE A "WHITE LIGHT" CORRELATED COLOR TEMPERATURE NOT EXCEEDING 4,000K (DEGREES KELVIN).
6. POLE/FIXTURE SHALL BE LOCATED OUTSIDE LANDSCAPE ISLANDS.
7. FIXTURE MOUNTING HEIGHT NO GREATER THAN 37 FEET ABOVE GRADE.
8. AVERAGE MAXIMUM SPACING BETWEEN STREET LIGHTS SHALL BE 300 FT.
9. MINIMUM INITIAL DELIVERED LUMEN LEVELS SHALL BE 28,500 LUMENS.
10. BUG RATING SHALL NOT EXCEED B3, U3, AND G3.
11. LIGHTS SHALL BE ALTERNATELY STAGGERED ON EACH SIDE OF THE STREET.
12. LIGHTING SHALL BE PLACED AT ALL STREET INTERSECTIONS, IN STREET CURVES, AND AT THE END OF ANY STREET.

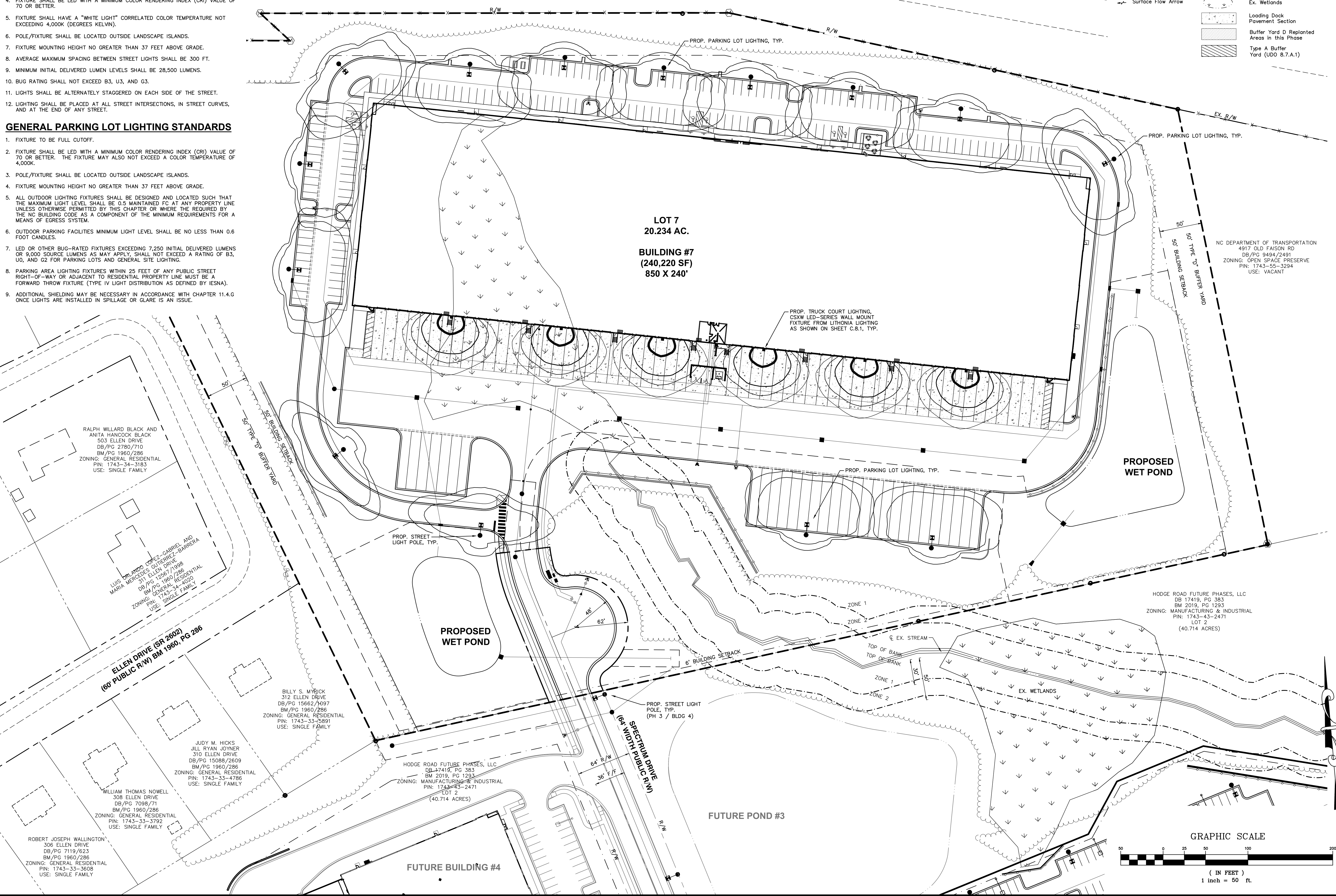
**GENERAL PARKING LOT LIGHTING STANDARDS**

1. FIXTURE TO BE FULL CUTOFF.
2. FIXTURE SHALL BE LED WITH A MINIMUM COLOR RENDERING INDEX (CRI) VALUE OF 70 OR BETTER. THE FIXTURE MAY ALSO NOT EXCEED A COLOR TEMPERATURE OF 4,000K.
3. POLE/FIXTURE SHALL BE LOCATED OUTSIDE LANDSCAPE ISLANDS.
4. FIXTURE MOUNTING HEIGHT NO GREATER THAN 37 FEET ABOVE GRADE.
5. ALL OUTDOOR LIGHTING FIXTURES SHALL BE DESIGNED AND LOCATED SUCH THAT THE MAXIMUM LIGHT LEVEL SHALL BE 0.5 MAINTAINED FC AT ANY PROPERTY LINE UNLESS OTHERWISE PERMITTED BY THIS CHAPTER OR WHERE THE REQUIRED BY THE NC BUILDING CODE AS A COMPONENT OF THE MINIMUM REQUIREMENTS FOR A MEANS OF EGRESS SYSTEM.
6. OUTDOOR PARKING FACILITIES MINIMUM LIGHT LEVEL SHALL BE NO LESS THAN 0.6 FOOT CANDLES.
7. LED OR OTHER BUG-RATED FIXTURES EXCEEDING 7,250 INITIAL DELIVERED LUMENS OR 9,000 SOURCE LUMENS AS MAY APPLY, SHALL NOT EXCEED A RATING OF B3, U0, AND G2 FOR PARKING LOTS AND GENERAL SITE LIGHTING.
8. PARKING AREA LIGHTING FIXTURES WITHIN 25 FEET OF ANY PUBLIC STREET RIGHT-OF-WAY OR ADJACENT TO RESIDENTIAL PROPERTY LINE MUST BE A FORWARD THROW FIXTURE (TYPE IV LIGHT DISTRIBUTION AS DEFINED BY IESNA).
9. ADDITIONAL SHIELDING MAY BE NECESSARY IN ACCORDANCE WITH CHAPTER 11.4.G ONCE LIGHTS ARE INSTALLED IN SPILLAGE OR GLARE IS AN ISSUE.

**I-87/US 64E EXPRESSWAY (R/W VARIES)**

**LEGEND**

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- Surface Flow Arrow
- Ex. Fence Line
- Ex. Property Line
- Property Line (Not Surveyed)
- Proposed Storm Sewer
- Proposed Swale
- Ex. Wetlands
- ▨ Loading Dock Pavement Section
- ▨ Buffer Yard D Replanted Areas in this Phase
- ▨ Type A Buffer Yard (UDO 8.7.A.1)



PLAN PREPARED BY:  
51 Kilmegon Drive, Suite 105  
Cary, North Carolina 27511  
ph 919.464.6990  
fax 919.336.5127  
**ADVANCED CIVIL DESIGN**  
ENGINEERS SURVEYORS

PLAN PREPARED FOR:  
**TRINITY CAPITAL**

0 Ellen Drive, Knightdale, NC 27545 - Wake County  
**HODGE ROAD BUSINESS PARK**  
MASTER PLAN SUBMITTAL  
FOR  
TRINITY CAPITAL ADVISORS, LLC  
LIGHTING PLAN

**PRELIMINARY**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
SEAL OF BRON M. RICE  
04/15/2021

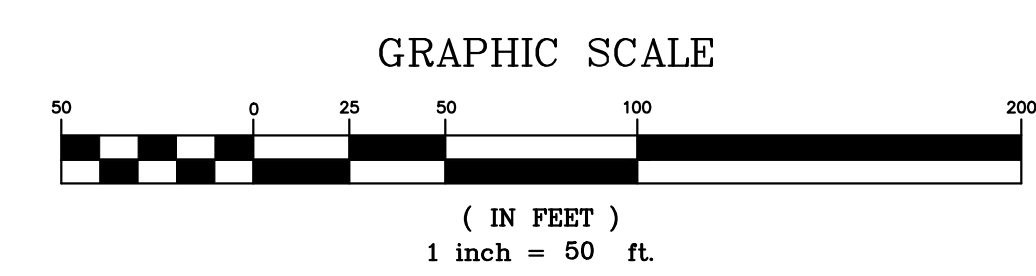
Issue Dates:  
01/25/2021 - MASTER PLAN SUBMITTAL #1  
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Date: 04/15/2021  
Scale: 1" = 50'

Drawn By: JLB  
Checked By: CMR

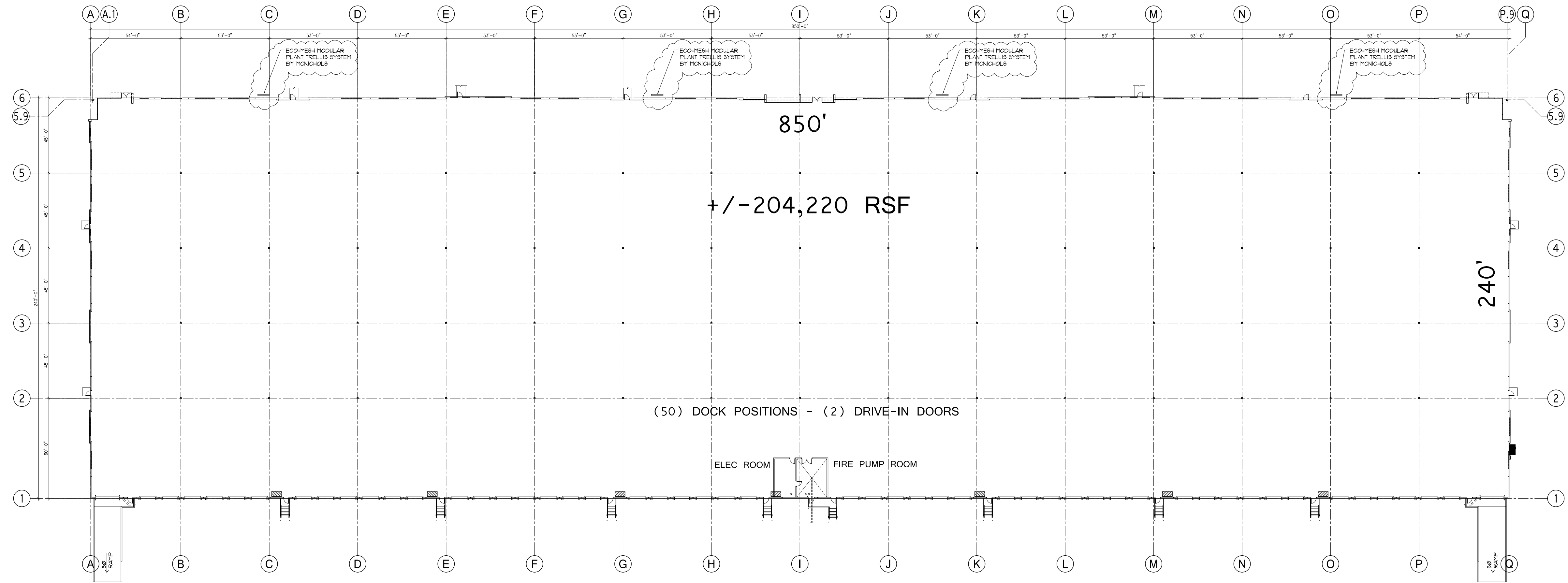
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**19-0001-988**

Drawing Number:  
**C.7.0**

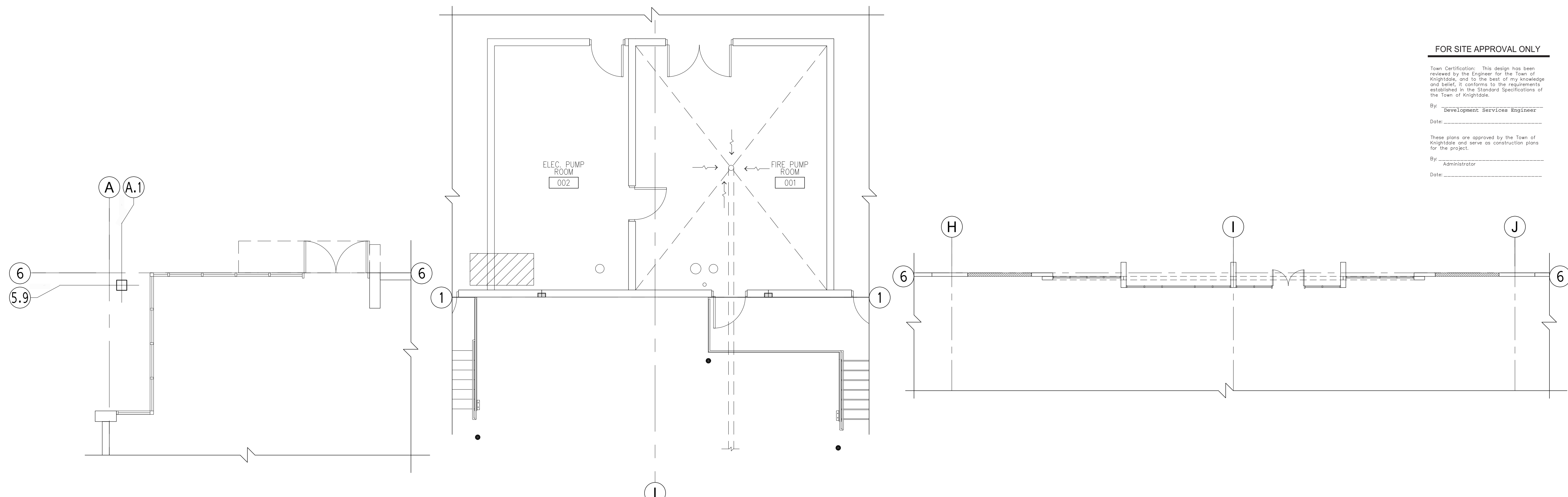
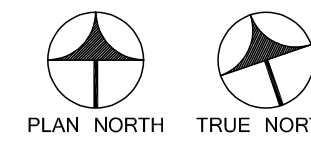


C:\19-0001-988\NC\Production Drawings\MASTER PLANS\Building 7\0001-988mp007.0.dwg LIGHTING PLAN Apr 14, 2021 - 5:16:52pm crice





1 OVERALL FLOOR PLAN  
SCALE: 1" = 30'-0"



2 ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0" (OPPOSITE CORNER SIM. & MIRRORRED)

3 PUMP ROOM / ELECTRICAL ROOM  
SCALE: 1/4" = 1'-0"

4 ENLARGED FLOOR PLAN  
SCALE: 1/8" = 1'-0"

FOR SITE APPROVAL ONLY

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_  
Development Services Engineer  
Date: \_\_\_\_\_

These plans are approved by the Town of Knightdale and serve as construction plans for the project.

By: \_\_\_\_\_  
Administrator  
Date: \_\_\_\_\_

PRELIMINARY  
04/14/2021

SPECULATIVE INDUSTRIAL BUILDING  
EASTGATE 540 LOT 7  
TRINITY CAPITAL ADVISORS  
HODGE ROAD  
KNIGHTDALE, NC

DRAWING STATUS :  
● PRELIMINARY  
○ NOT FOR CONSTRUCTION  
○ ISSUED FOR BIDDING  
○ ISSUED FOR CONSTRUCTION

OWNER / CLIENT SIGNATURE :  
DATE :

PRELIMINARY  
04/14/2021

FILE NAME :  
PROJECT NO. :  
C20165

SHEET TITLE :  
OVERALL FLOOR PLAN

SHEET :  
**A101**

MIN. 32' CLEAR UNDER STRUCTURE - TYP.

PRELIMINARY  
 04/14/2021

SPECULATIVE INDUSTRIAL BUILDING  
 EASTGATE 540 LOT 7  
 TRINITY CAPITAL ADVISORS  
 HODGE ROAD  
 KNIGHTDALE, NC

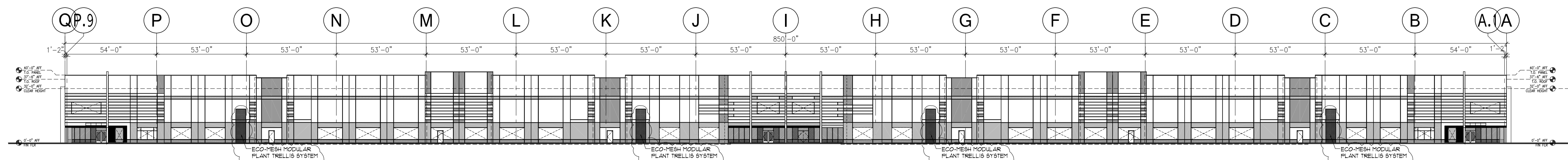
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 NOT FOR CONSTRUCTION  
 ○ ISSUED FOR  
 BIDDING  
 ○ ISSUED FOR  
 CONSTRUCTION

OWNER / CLIENT SIGNATURE:  
 DATE:

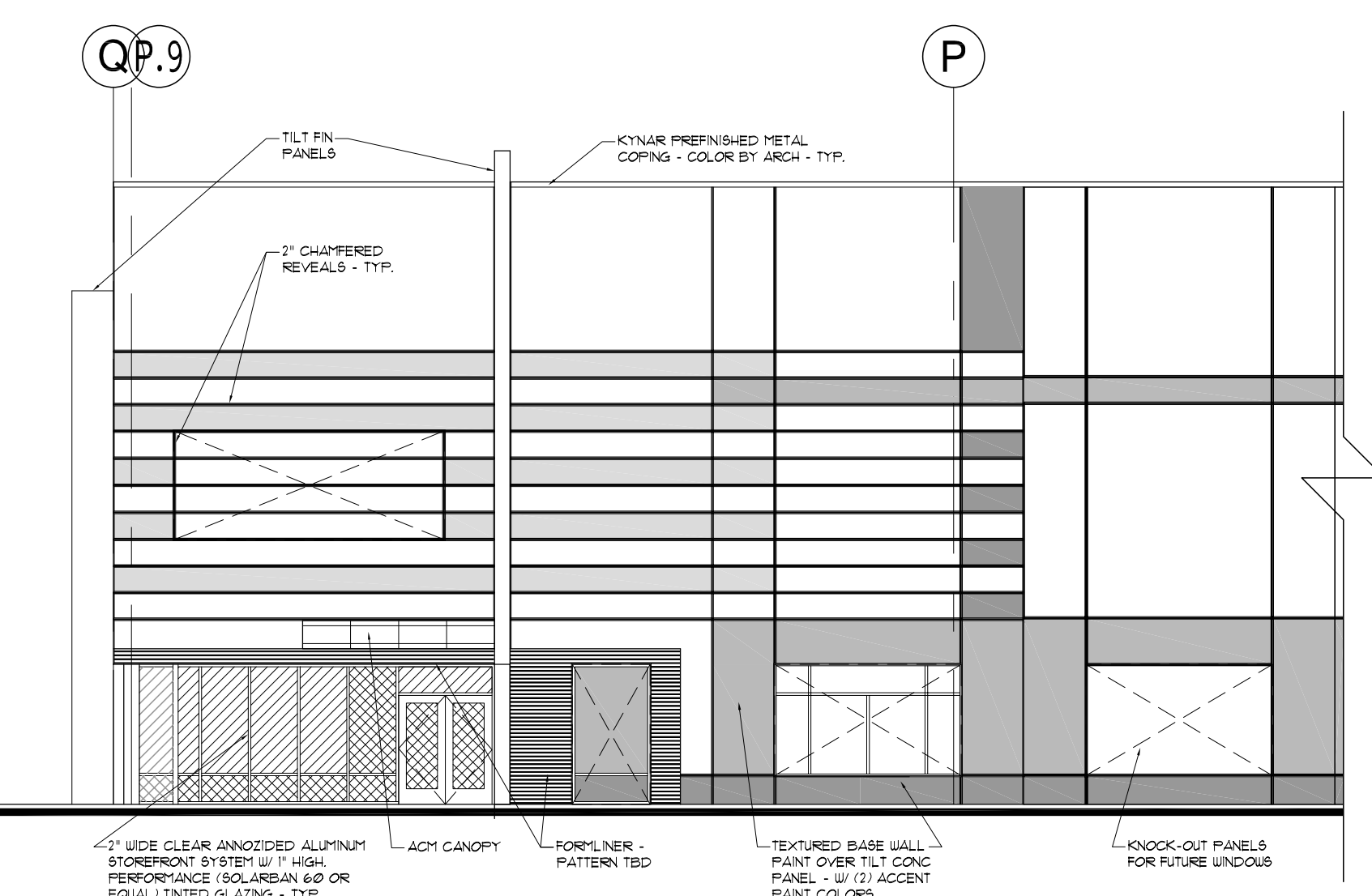
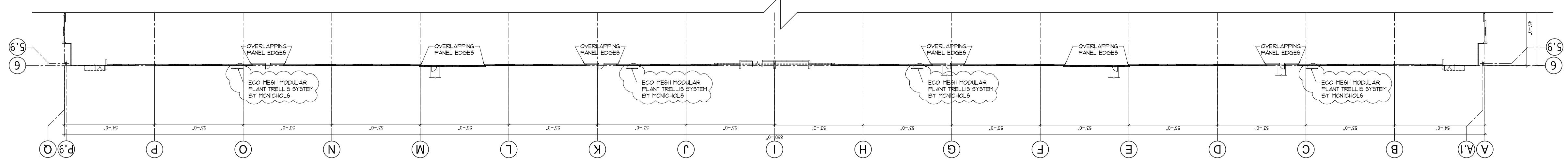
PRELIMINARY  
 04/14/2021

FILE NAME:  
 PROJECT NO.:  
 C20165  
 SHEET TITLE:  
 ENLARGED  
 ELEVATIONS

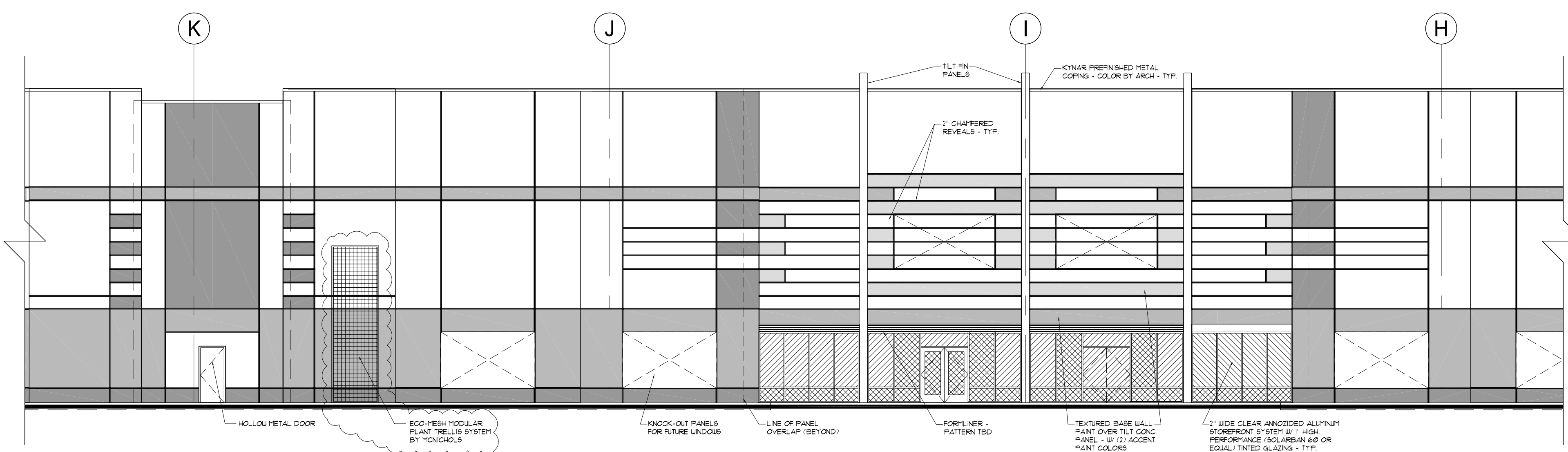
SHEET:  
**A201**



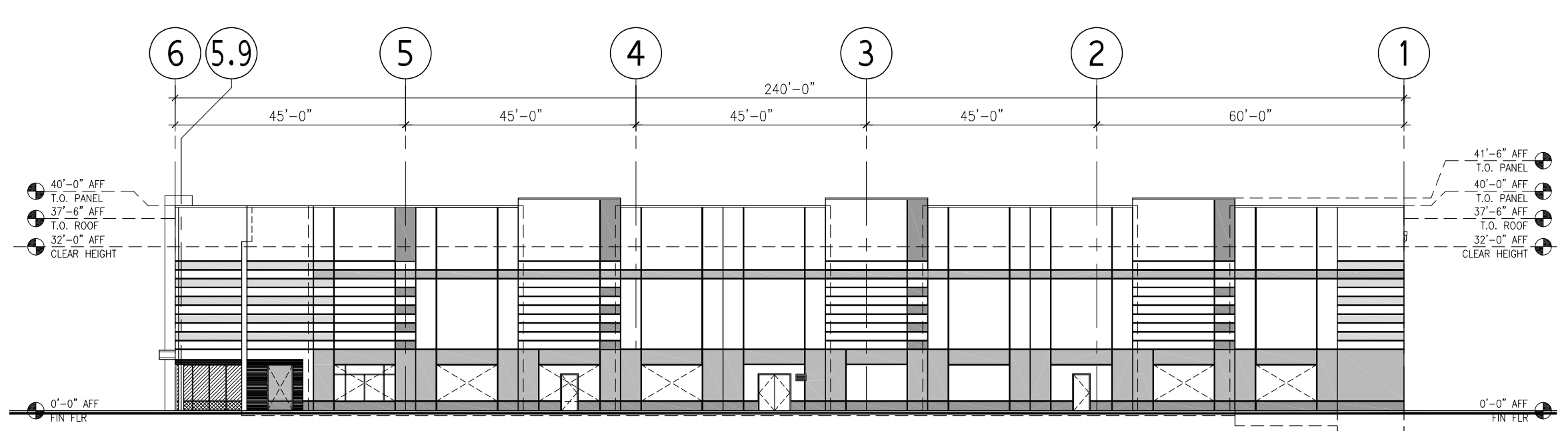
**1 FRONT ELEVATION**  
 SCALE: 1" = 30'-0"



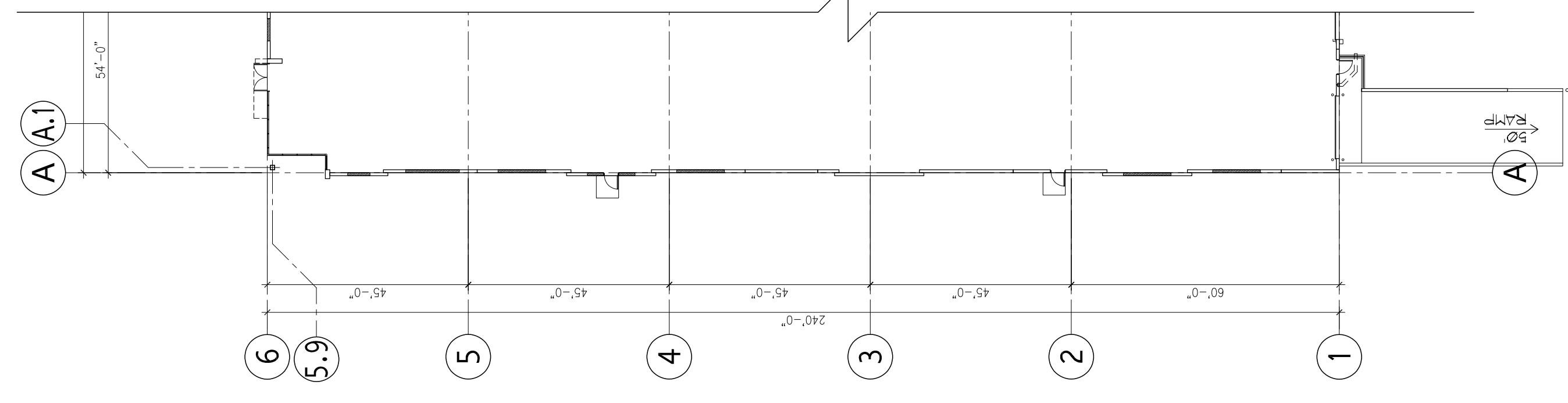
**2 ENLARGED FRONT ELEVATION- CORNER**  
 SCALE: 1/8" = 1'-0"



**3 ENLARGED FRONT ELEVATION-CENTER**  
 SCALE: 1/8" = 1'-0"



**4 SIDE ELEVATION**  
 SCALE: 1" = 20'-0"

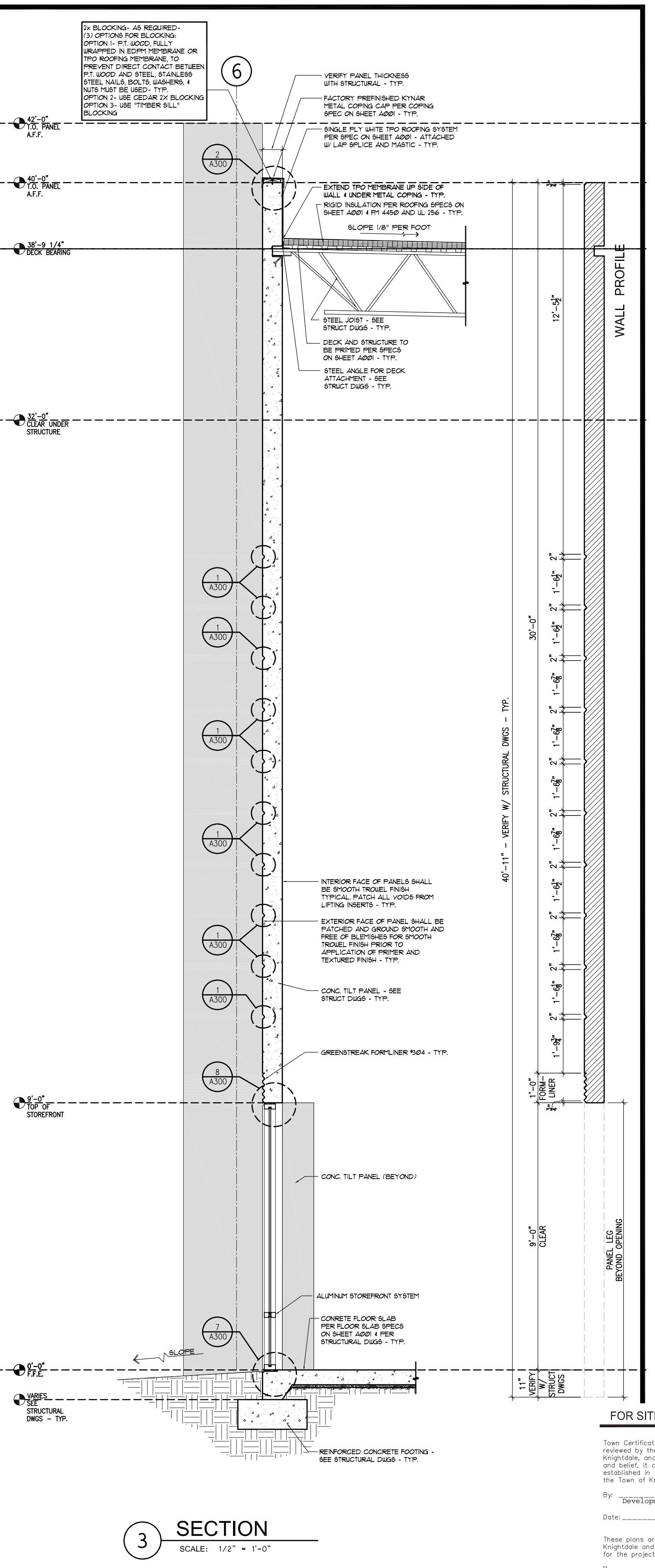
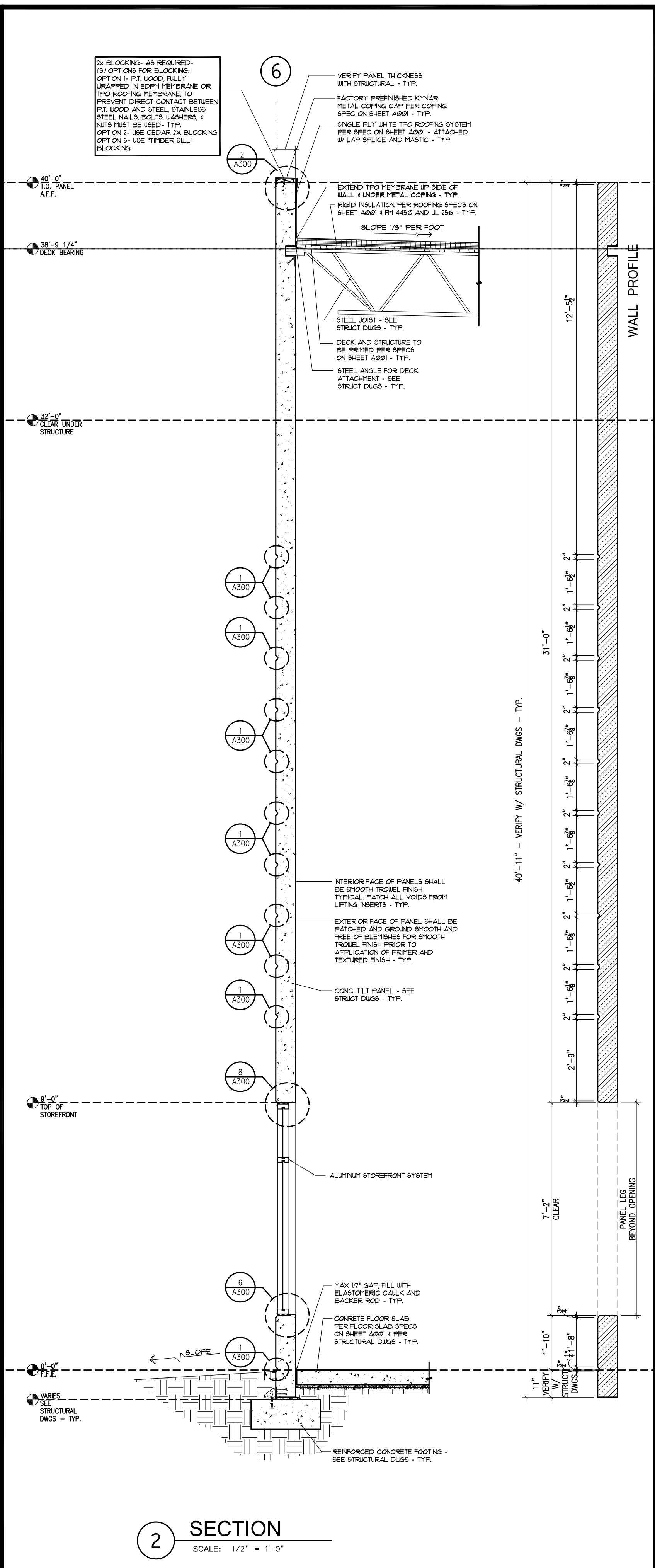
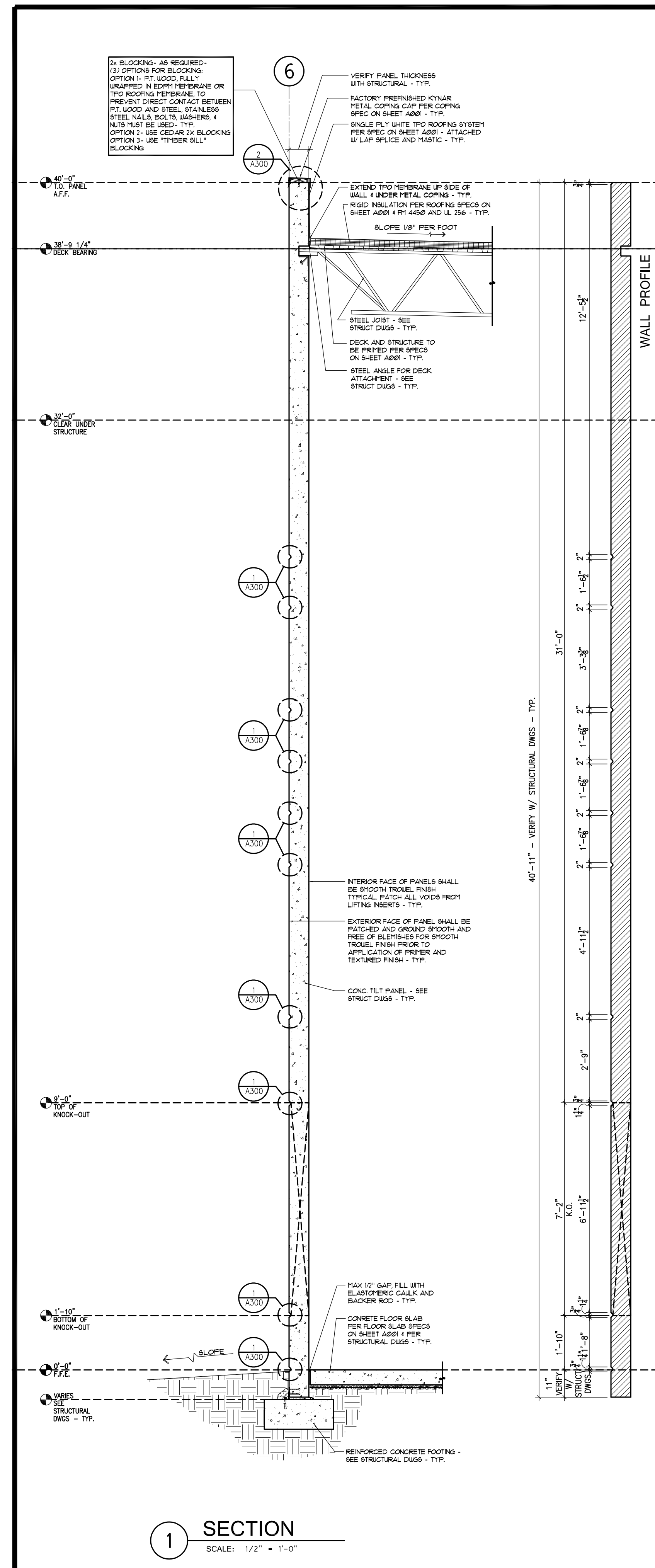


**FOR SITE APPROVAL ONLY**

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: Development Services Engineer  
 Date: \_\_\_\_\_  
 These plans are approved by the Town of Knightdale and serve as construction plans for the project.  
 By: Administrator  
 Date: \_\_\_\_\_

MIN. 32' CLEAR UNDER STRUCTURE - TYP.





MIN. 32' CLEAR UNDER STRUCTURE - TYP.

FOR SITE APPROVAL ONLY



SPECULATIVE INDUSTRIAL BUILDING EASTGATE 540 LOT 7 TRINITY CAPITAL ADVISORS HODGE ROAD KNIGHTDALE, NC

DRAWING STATUS: PRELIMINARY NOT FOR CONSTRUCTION

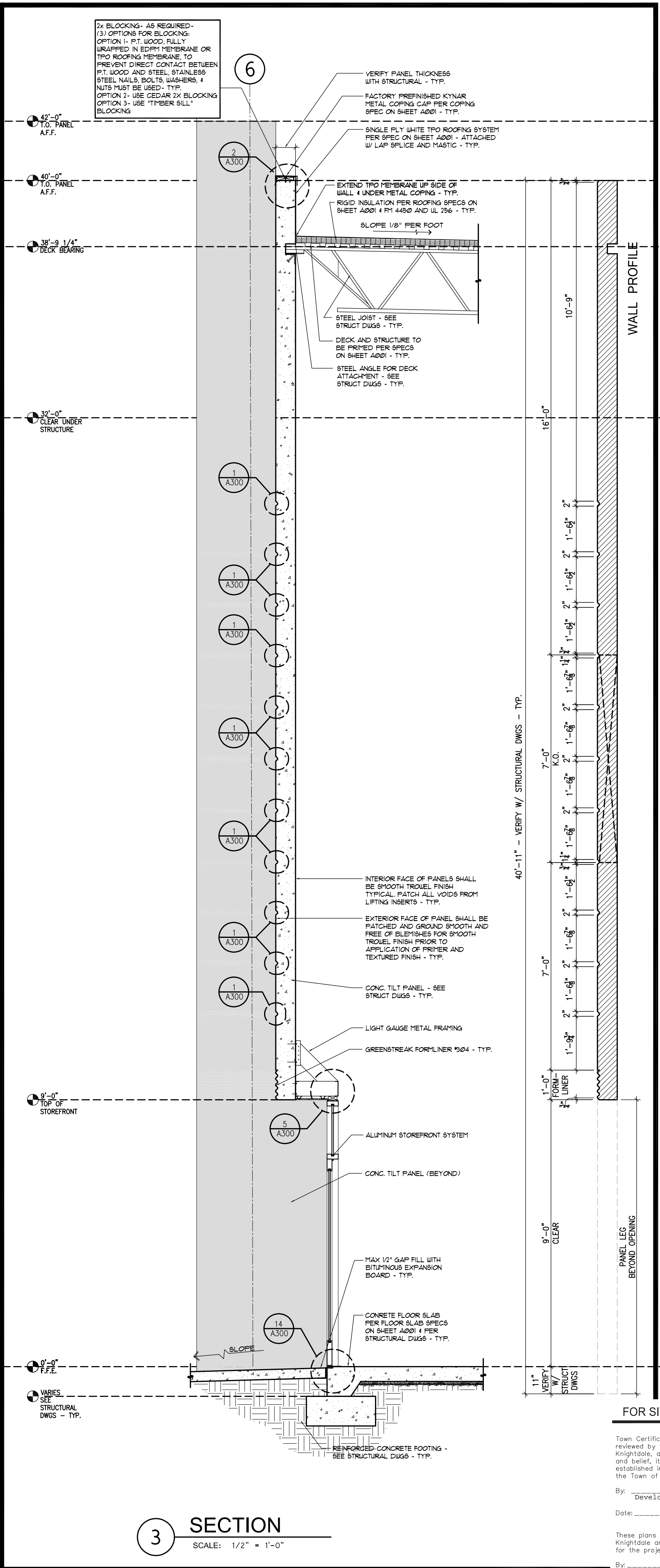
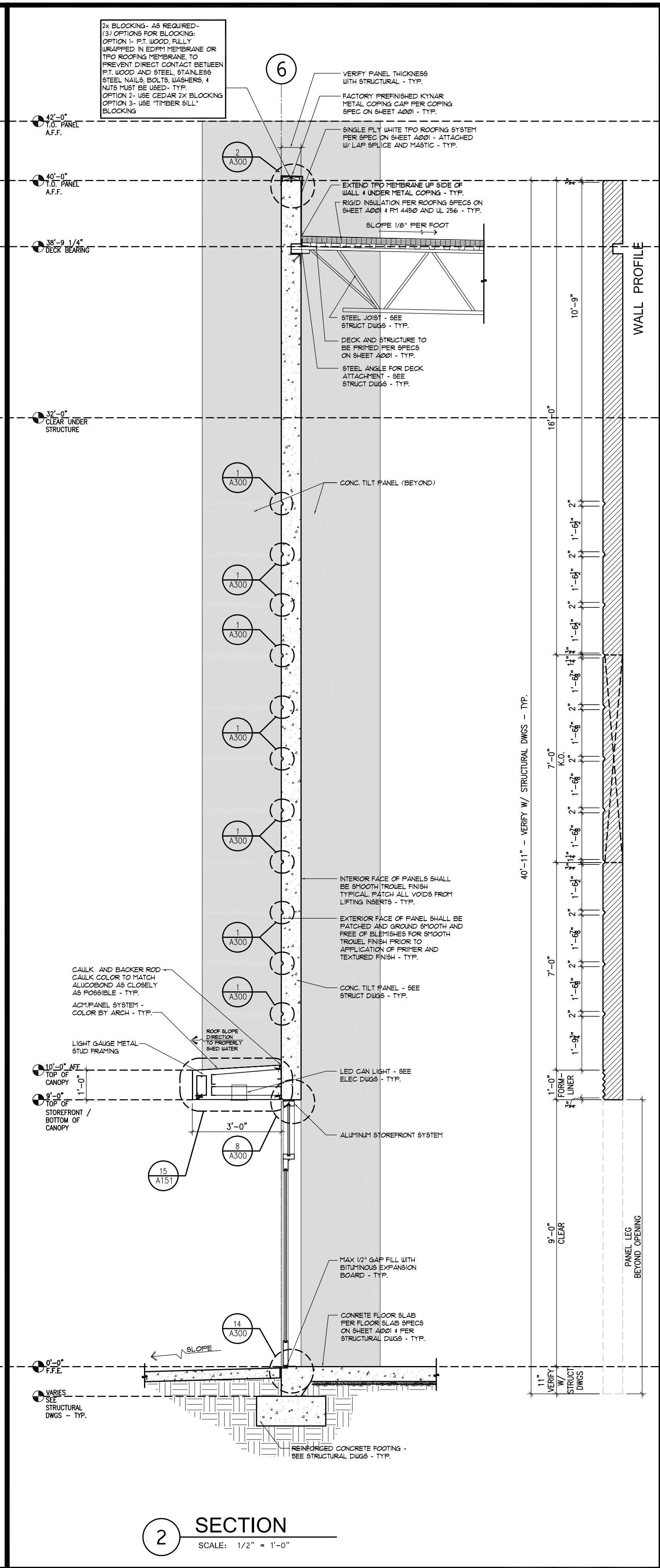
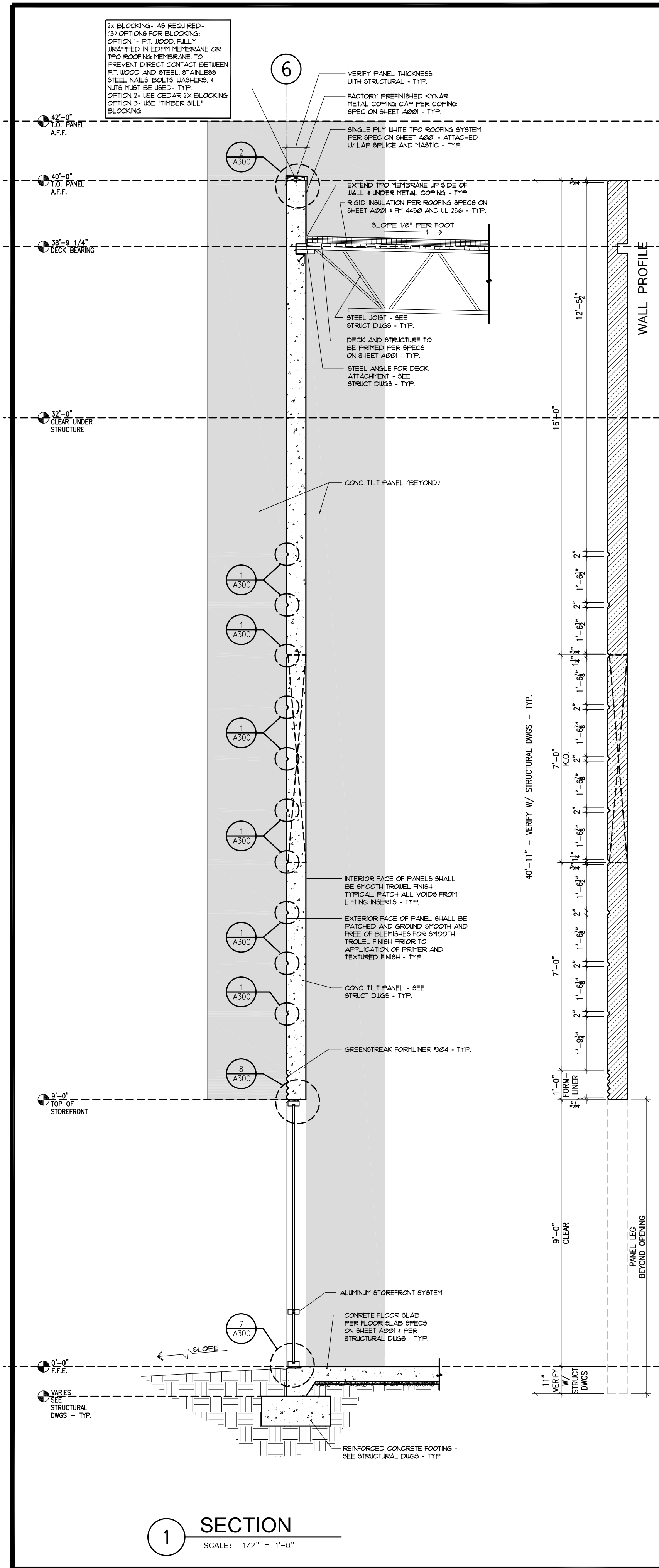
OWNER / CLIENT SIGNATURE: DATE:

PRELIMINARY 03/16/2021

FILE NAME: PROJECT NO. C20165

SHEET TITLE: WALL SECTIONS

SHEET: A302



FOR SITE APPROVAL ONLY

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

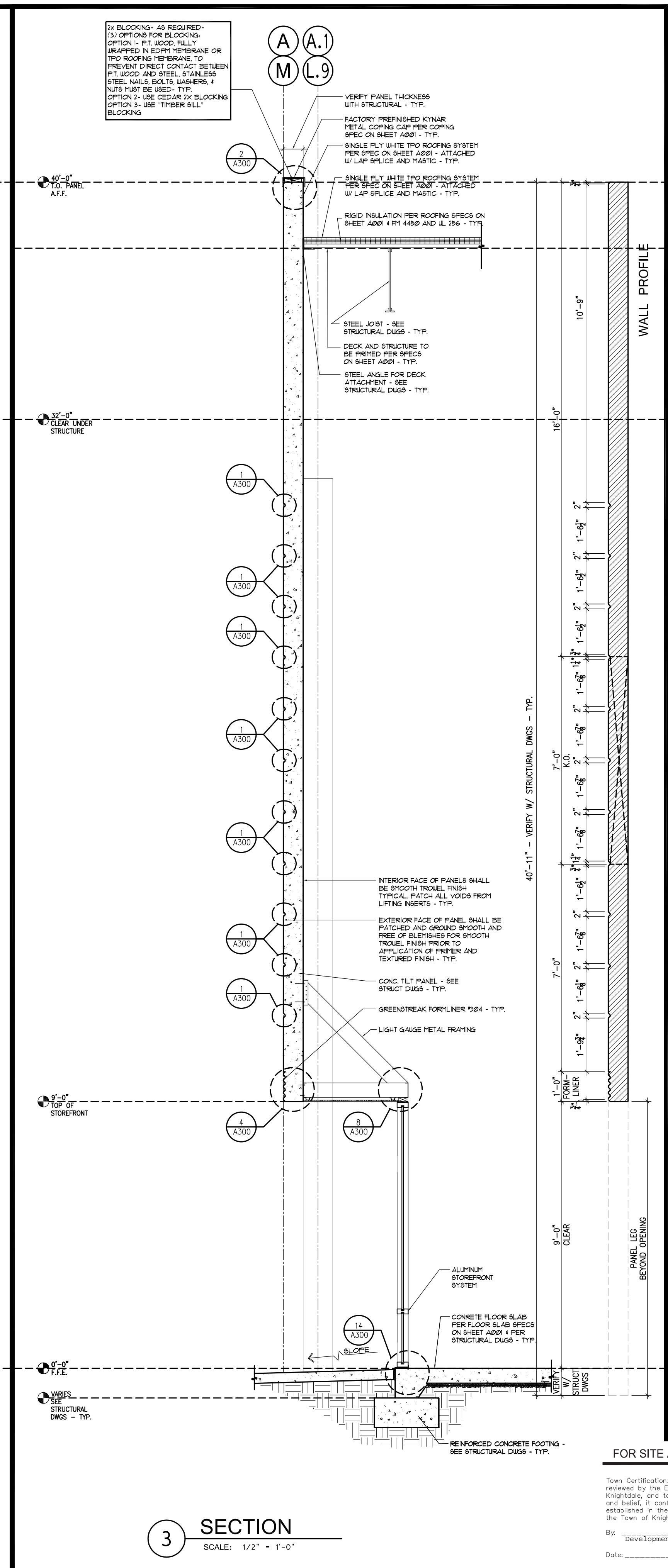
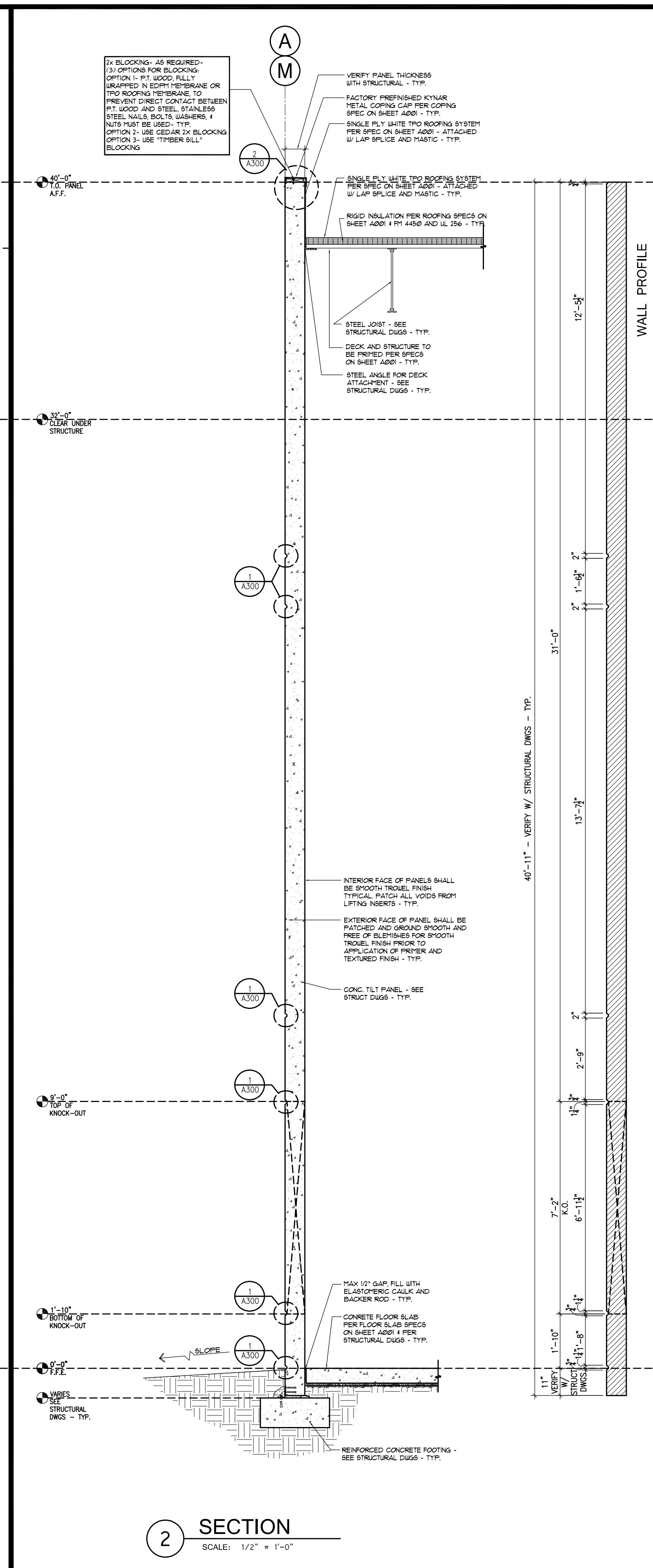
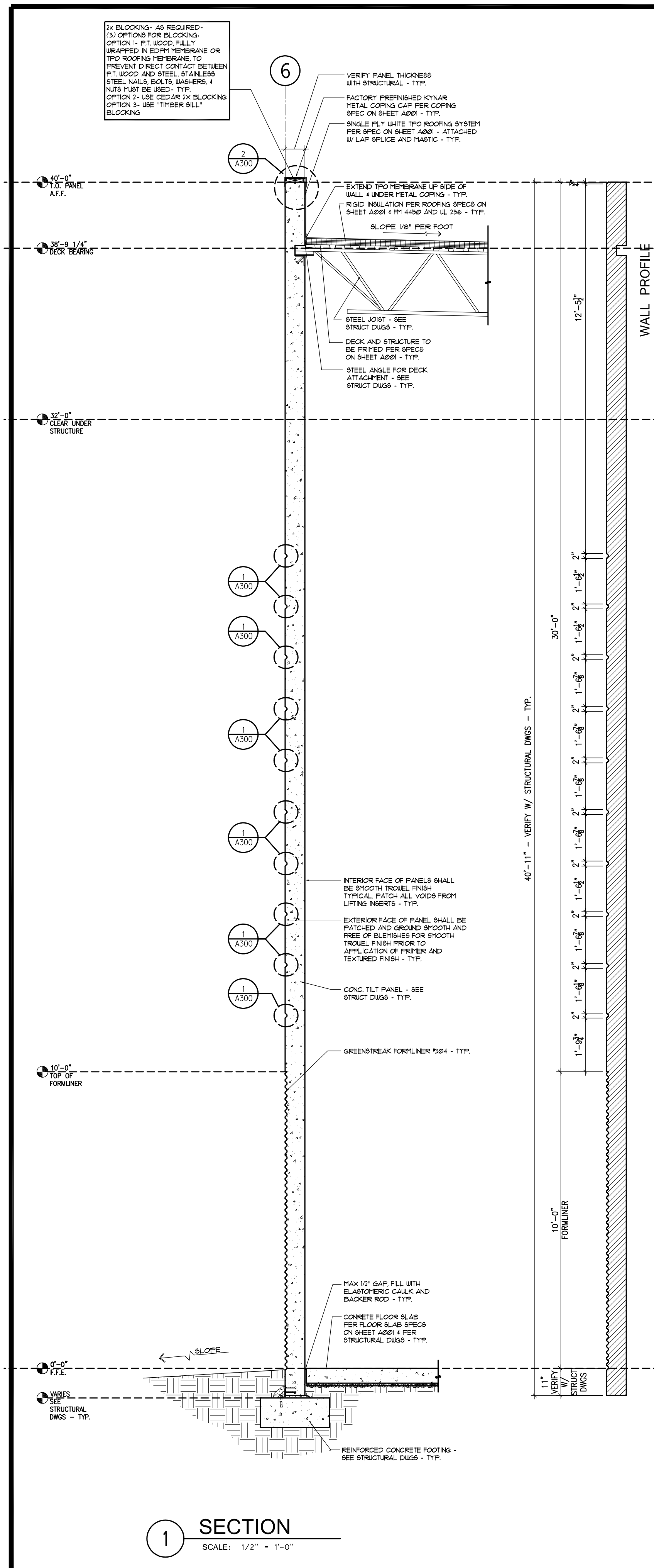
By: Development Services Engineer Date:

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By: Administrator Date:

MIN. 32' CLEAR UNDER STRUCTURE - TYP.





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By: \_\_\_\_\_  
Development Services Engineer

Date: \_\_\_\_\_

These plans are approved by the Town of Knightdale and serve as construction plans for the project.

By: \_\_\_\_\_  
Administrator

Date: \_\_\_\_\_

MIN. 32' CLEAR UNDER STRUCTURE - TYP.



SPECULATIVE INDUSTRIAL BUILDING  
 EASTGATE 540 LOT 7  
 TRINITY CAPITAL ADVISORS  
 HODGE ROAD  
 KNIGHTDALE, NC

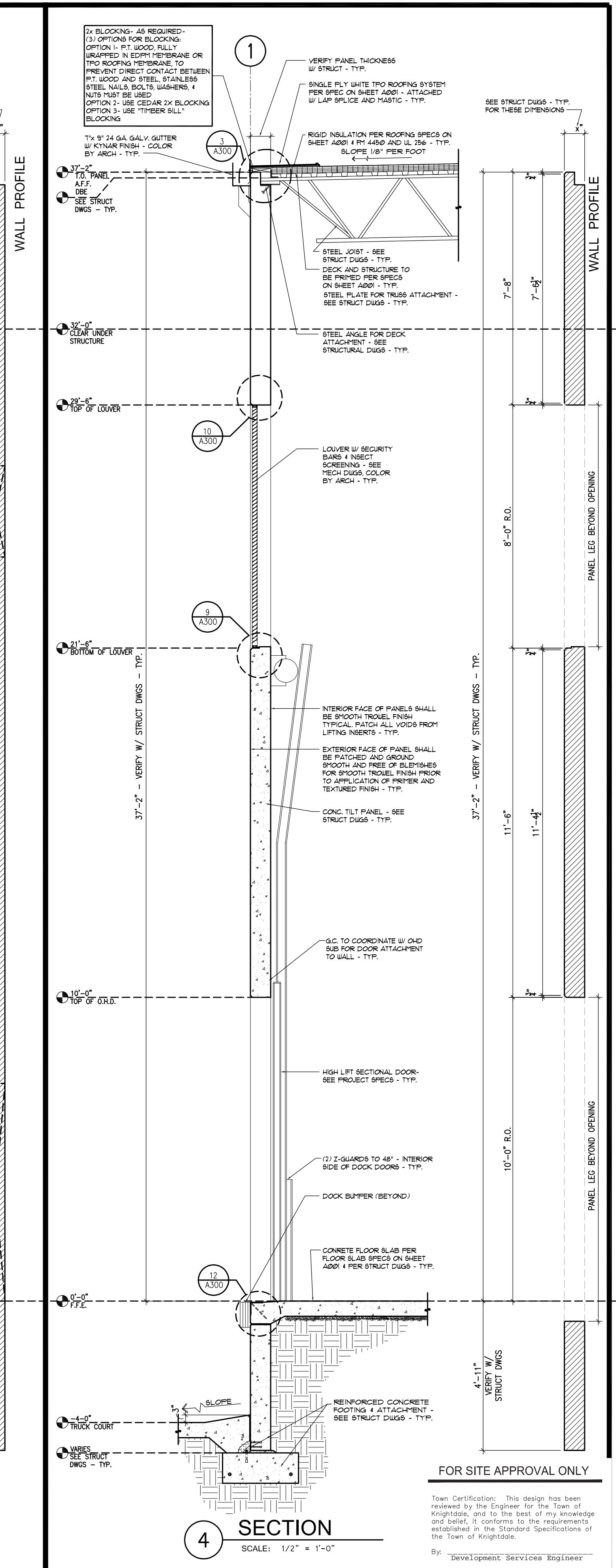
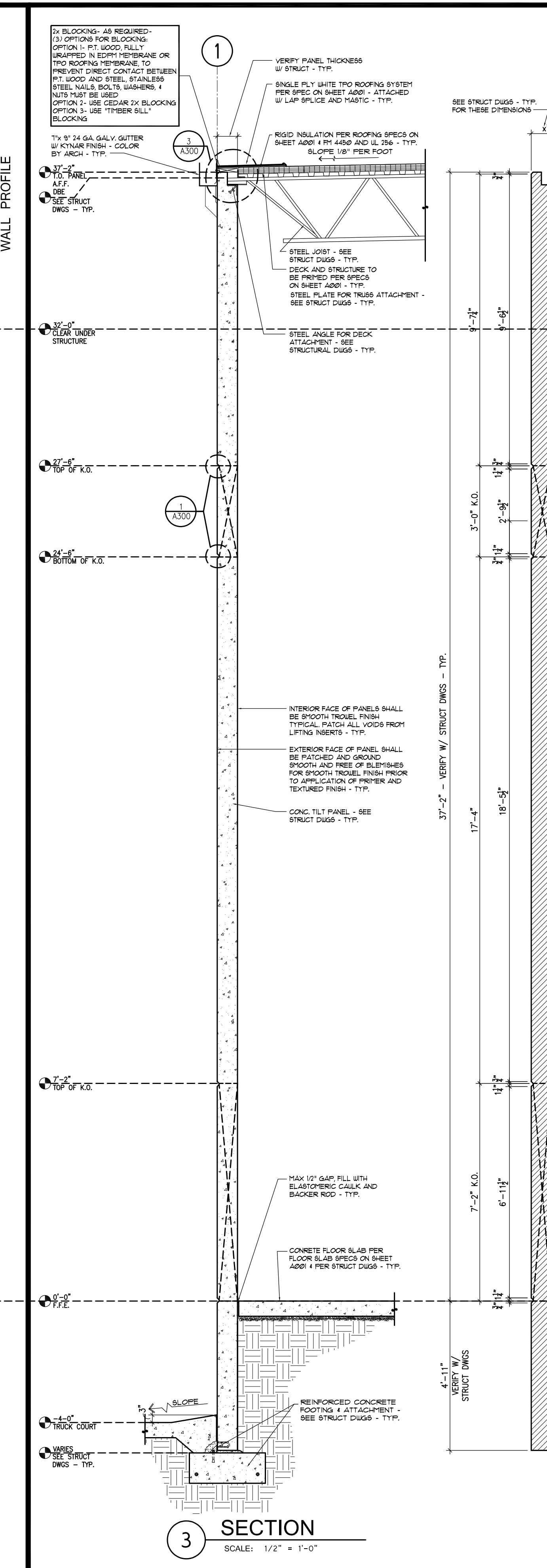
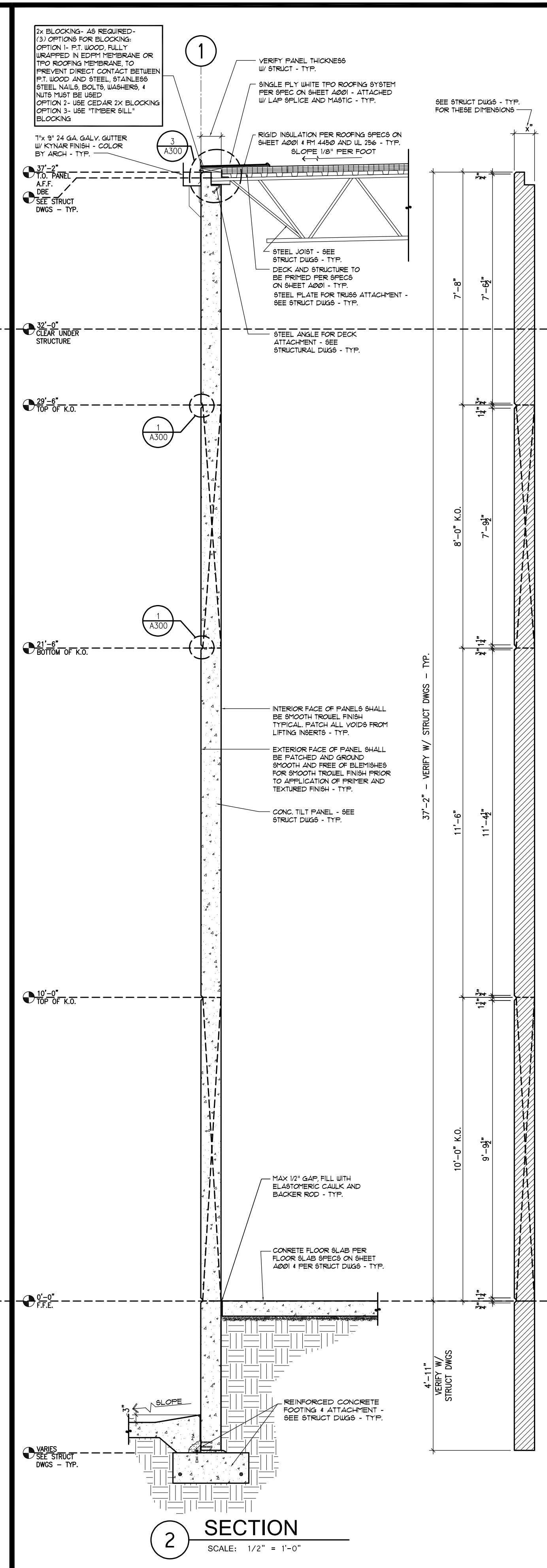
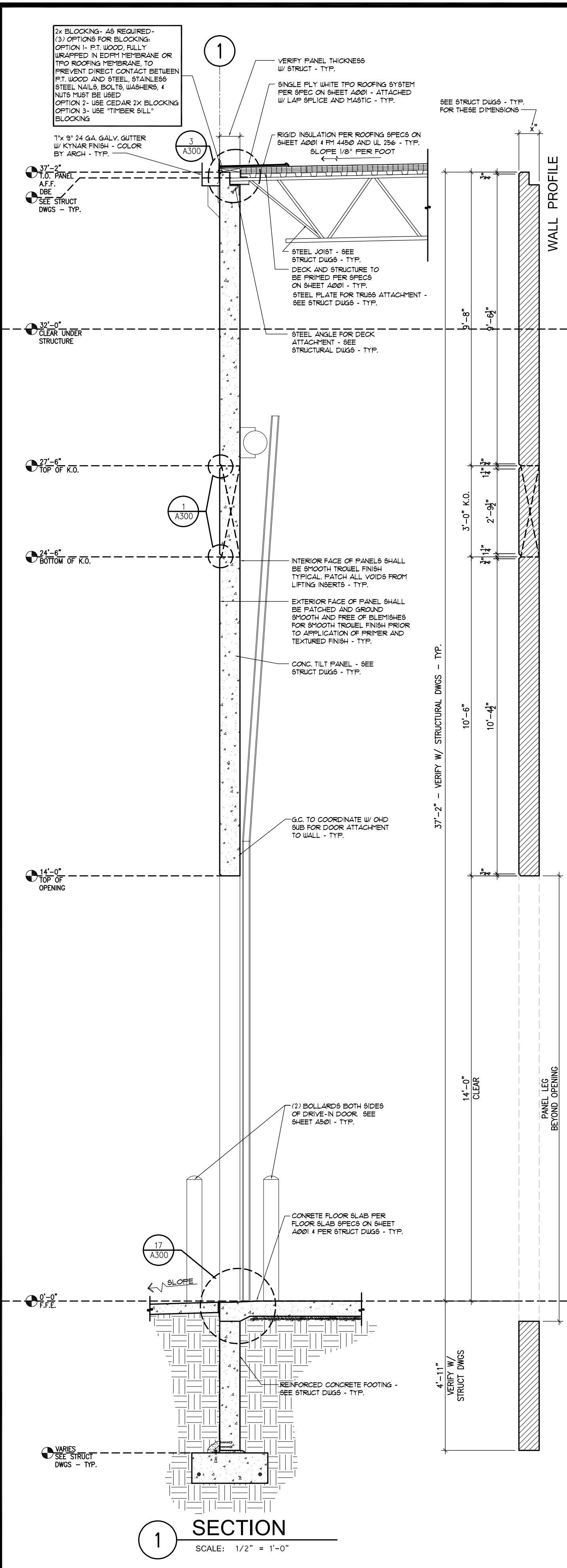
DRAWING STATUS:  
 ● PRELIMINARY  
 ○ NOT FOR CONSTRUCTION  
 ○ ISSUED FOR BIDDING  
 ○ ISSUED FOR CONSTRUCTION

OWNER / CLIENT SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PRELIMINARY  
 03/16/2021

FILE NAME: \_\_\_\_\_  
 PROJECT NO.: C20165  
 SHEET TITLE: WALL SECTIONS

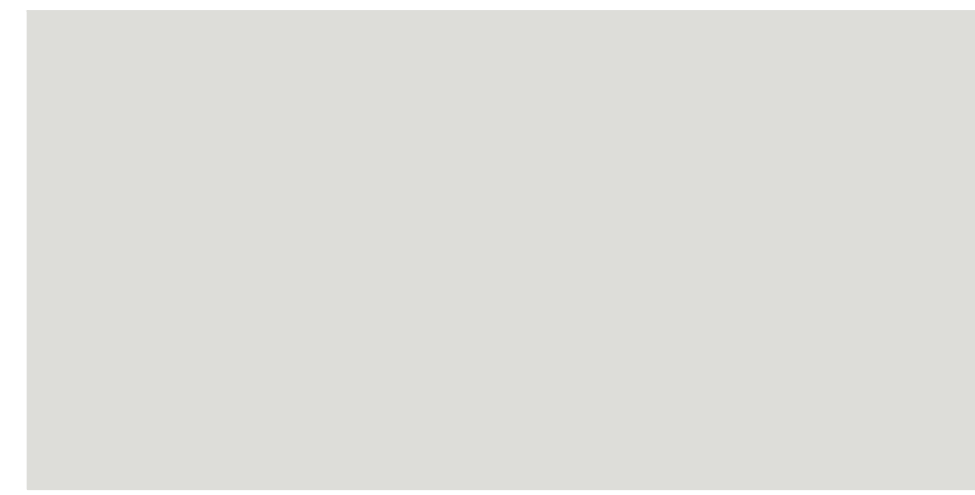
SHEET: **A304**



FOR SITE APPROVAL ONLY  
 Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: "Development Services Engineer"  
 Date: \_\_\_\_\_  
 These plans are approved by the Town of Knightdale and serve as construction plans for the project.  
 By: Administrator  
 Date: \_\_\_\_\_

MIN. 32' CLEAR UNDER STRUCTURE - TYP.





SW 7666 FLEUR DE SEL



SW 7668 MARCH WIND



SW 7673 PEWTER CAST

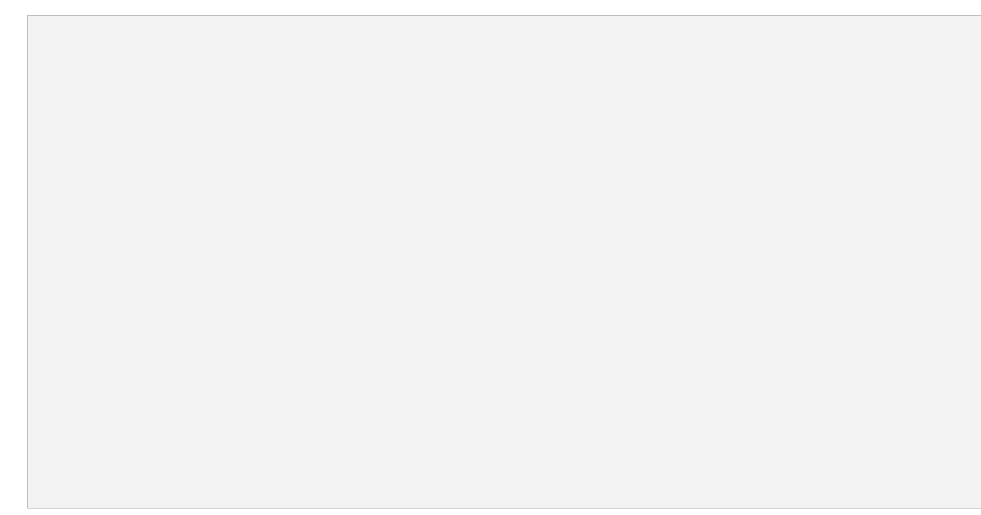


SW 7674 PEPPERCORN



**DOORS**

NOTE:  
SHALL BE CLEAR ANODIZED ALUMINUM



\*YS1N Clear



**WINDOW FRAMES**

NOTE:  
SHALL BE CLEAR ANODIZED ALUMINUM



**Color Board**

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**December 29, 2020**

Dear Knightdale Area Property Owner:

You are invited to a neighborhood meeting to learn more about a proposed project adjacent to or near your property. A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback. This is the very beginning of the rezoning process prior to submitting an application to the Town. Following this meeting, the next steps include possible revisions to the plan based on comments received, application submittal, a Town Council Joint Public Hearing, a Land Use Review Board meeting, and finally the Town Council decision.

Meeting Date: January 14, 2021

Meeting Time: 6:00 – 8:00 pm

Meeting Location: The meeting will be held virtually. You can participate online via Zoom or by telephone.

To participate in the Zoom online meeting:

Visit:	<a href="https://zoom.us/join">https://zoom.us/join</a>
Enter the following meeting ID:	852 0087 1098
Enter the following passcode:	860052

To participate by telephone:

Dial:	1 929 436 2866
Enter the following meeting ID:	852 0087 1098 #
Enter the Participant ID:	#
Enter the following passcode:	110431 #

Application Type: Conditional district rezoning

Approving Authority: Town Council Legislative Approval

Address/PIN: 0 Ellen Rd (PIN 1743347185)  
0 Kemp Dr (PIN 1743441236)  
0 Faison Ridge Ln (PIN 1743444263)  
0 Old Faison Rd (PIN 1743446261)

Description of Proposal: The applicant is requesting to rezone four parcels of land in order to build an addition to the Eastgate 540 warehouse development located directly to the south. The land is currently zoned Rural Transition (RT) and is proposed to be rezoned to Manufacturing and Industrial Conditional District (MICD), with the Special Highway Overlay District (SHOD) along the northern property line bordering Interstate 87. The proposed use is storage (warehouse, indoor storage) with one building approximately 200,000 square feet.



Estimated Submittal Date: January 25, 2021

Enclosed is a map showing the location of the properties being considered for this proposal. Additional materials and information may be available at the meeting. Please see the Development Services 2021 Meeting and Submittal Schedule for future public meetings dates ([https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal\\_and\\_meeting\\_schedule\\_2020\\_2.pdf](https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2020_2.pdf)).

If you have any questions, comments, or concerns about the proposal prior to the meeting you may contact me at (919) 835-4023 or via email at [markfrederick@parkerpoe.com](mailto:markfrederick@parkerpoe.com). These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact the Town of Knightdale Development Services Department at (919) 217-224X.

Thank you,

Mark Frederick

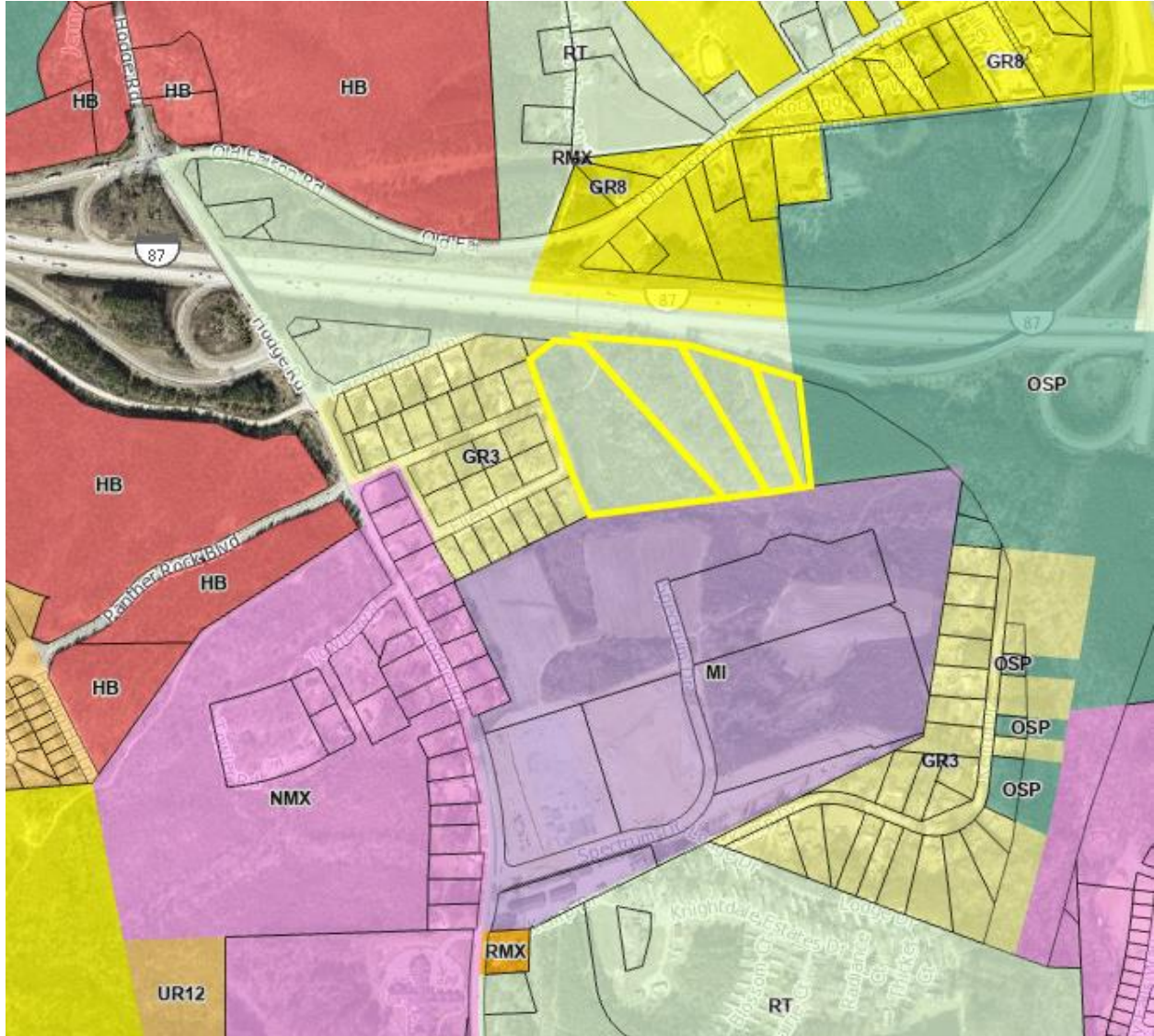
Cc: Town of Knightdale Development Services Department

#### Meeting Agenda

1. Applicant presentation: applicant will describe the nature of this rezoning request.
2. Public questions: applicant will field any questions from the public.



Vicinity Map w/ Current Knightdale Zoning







### Project Contact Information

**Project Name:** Eastgate 540 Lot 7 **Proposed Zoning:** Manufacturing and Industrial Conditional District

**Location:** 0 Ellen Rd, 0 Kemp Dr, 0 Faison Ridge Ln, 0 Old Faison Rd

**Property PIN(s):** 1743347185, 1743441236, 1743444263, 1743446261 **Acreage/Square Feet:** 20.03 acres total

**Property Owner:** Trinity Capital Aquisitions, LLC (under contract)

**Address:** 3020 Carrington Mill Boulevard, Suite 425

**City:** Morrisville **State:** NC **Zip:** 27560

**Phone:** 704-295-0455 **Email:** sls@trinitycapitaladvisors.com

**Developer:** Trinity Capital Advisors, LLC

**Address:** 440 S. Church Street, Suite 800

**City:** Charlotte **State:** NC **Zip:** 28202

**Phone:** 704-295-0455 **Email:** sls@trinitycapitaladvisors.com

**Engineer:** Advanced Civil Design

**Address:** 51 Kilmayne Drive, Suite 105

**City:** Cary **State:** NC **Zip:** 27511

**Phone:** \_\_\_\_\_ **Email:** \_\_\_\_\_

**Builder (if known):** Frampton Construction

**Address:** 4500 Cameron Valley Parkway, Suite 220

**City:** Charlotte **State:** NC **Zip:** 28211

**Phone:** \_\_\_\_\_ **Email:** \_\_\_\_\_



## Electronic Neighborhood Meeting Guidelines

In response to the COVID-19 pandemic, the Town of Knightdale Development Services Department has established this set of guidelines for compliance with [UDO Section 15.3.C](#) regarding Neighborhood Meetings. An Electronic Neighborhood Meeting is only permitted during times of limited group gatherings, as a means of compliance with UDO regulations, and to ensure proposals remain on a relatively normal timeline.

### Why are Neighborhood Meetings required?

UDO Section 15.3.C requires a Neighborhood meeting prior to the submittal of any Zoning Map Amendment or Special Use Permit. The goal is to solicit feedback from neighboring residents to assist in bettering the proposal prior to the required public hearing. Applications for proposals must be submitted within six (6) months of the meeting (Sec 15.3.C.1); failure to submit within this time will require a subsequent meeting.

### Roles and Responsibilities

All stakeholders will be given the opportunity to speak and provide constructive comments, ask clarifying questions, and make realistic suggestions to contribute to the development of Knightdale. The conversation should remain respectful; disruptive behavior will not be allowed. The roles of all participants are defined below.

- Facilitator – Assistant Town Manager
    - Ensures meeting efficiency and maintains order
    - Ensures accurate description of proposal
    - Allows for constructive comments/questions
    - Receives and documents questions for staff and/or developer
  - Staff Liaison – Development Services Staff Member
    - Listens to and records comments/questions
    - Answers process and ordinance related question
  - Developer – Applicant and Development Team
    - Presents the project accurately
    - Listens to and records comments/questions
    - Answers general questions
  - Community – Residents, Property Owners, Business Owners
    - Receives project details
    - Asks productive questions
    - Provides practical comments
-



## Instructions for Applicants

Applicants shall coordinate the scheduling of meetings with Town staff prior to sending notifications. The applicant will select an electronic meeting platform (Zoom, Microsoft Teams, WebEx, GoToWebinar, etc.) which is accessible to and intuitive for the general public. The meeting shall be scheduled Tuesdays or Thursdays, between 5:00 p.m. to 7:00 p.m., and accessible during that entire window of time. The meeting cannot be held on Town observed holidays.

The following guidelines are required for the applicant to be considered in compliance. Failure to adhere to these guidelines will require the applicant to hold a new neighborhood meeting.

### **Mailed Notice Requirements:**

- According to UDO Section 15.3.C.1, the applicant shall send written notices of the meeting via first-class mail at least 10 days prior to the meeting to property owners within 200 feet of the proposed project. See attached template.
- The applicant will be required to include in the attached mailed notice (on applicant letterhead), a vicinity map which contains the existing zoning and a map of the proposed development and zoning.
- The attached "Project Contact Information" sheet (on applicant letterhead).
- An agenda for the meeting shall be included with the mailed notice, including an explanation of the process for which the meeting is being held, an explanation of next steps (possible revisions to the plan based on comments received, Town Council Joint Public Hearing, Land Use Review Board meeting, Town Council decision), and an overview of development proposal.
- Include these guidelines (pages 1 and 2) with the mailed notices to property owners.

### **Submittal Document Requirements:**

- The attached "Summary of Electronic Neighborhood Meeting Discussion" sheet filled out, consisting of questions or concerns by attendees, responses from the applicant, any questions or concerns received prior to the meeting, and a description of how the applicant proposes to respond to neighborhood concerns or changes made as a result of the meeting.
- The attached "Electronic Neighborhood Meeting Attendance" sheet.
- The attached "Affidavit of Conducting an Electronic Neighborhood Meeting and Issues/Responses Submittal".
- All the above items listed under "Mailed Notice Requirements" sent to applicable property owners.

### **Additional requirements:**

- Should any attendee request follow up information, the applicant will be required to maintain communication and inform town staff.



***NEIGHBORHOOD MEETING***  
***JANUARY 14, 2021***

Eastgate 540, Lot 7 Rezoning



# ***OVERVIEW***

- I. Purpose
- II. Roles
- III. Introductions
- IV. Project
- V. Timeline
- VI. Q&A



# ***PURPOSE***

- Who received notification?
  - Property owners within 200 feet of the proposal
- Why we're holding the meeting?
  - Unified Development Ordinance requirement to meet with property owners & residents
  - To have an opportunity before the Town Council Public Hearing to receive feedback
  - To improve the proposal with that feedback
- How will we do that?
  - Following tonight's meeting, the applicant & Town staff will discuss your comments
  - Look for ways to improve the proposal using your comments



# ROLES

- Property Owner/Resident:
  - Learn about the proposal
  - Provide feedback
  - Engage in improving Knightdale
- Developer:
  - Share the proposal
  - Hear concern
  - Improve the plan
- Town Staff
  - Moderate the conversation
  - Document concern
  - Answer process related questions



# PROJECT DEVELOPMENT TIMELINE

Neighborhood Meeting



```
graph TD; A[Neighborhood Meeting] --> B[Special Use Permit/Master Plan & ZMA Application Submitted]; B --> C[DRC Review]; C --> D[Town Council Joint Public Hearing]; D --> E[LURB Recommendation]; E --> F[Town Council Decision];
```

The flowchart illustrates a seven-step project development timeline. The steps are: 1. Neighborhood Meeting (highlighted with a yellow border), 2. Special Use Permit/Master Plan & ZMA Application Submitted, 3. DRC Review, 4. Town Council Joint Public Hearing, 5. LURB Recommendation, and 6. Town Council Decision. Each step is contained within a white rectangular box, and the boxes are connected by downward-pointing arrows. The first arrow is yellow, while the others are grey.

Special Use Permit/Master Plan & ZMA Application Submitted

DRC Review

Town Council Joint Public Hearing

LURB Recommendation

Town Council Decision



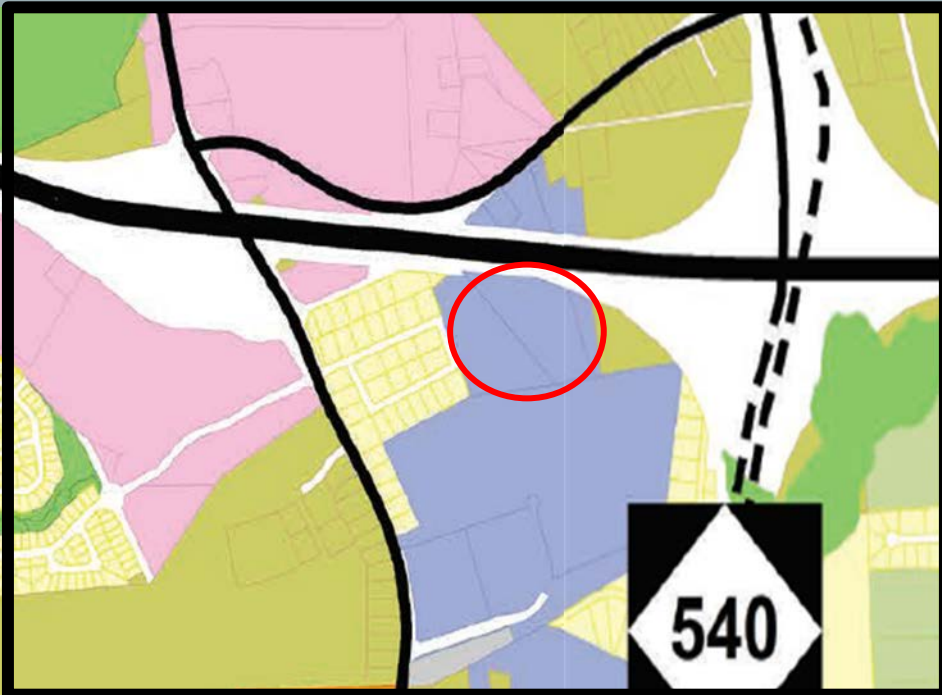
# INTRODUCTION

- Developer/Development Team
- Town Staff
- Residents/Property Owners



# PROJECT DETAILS

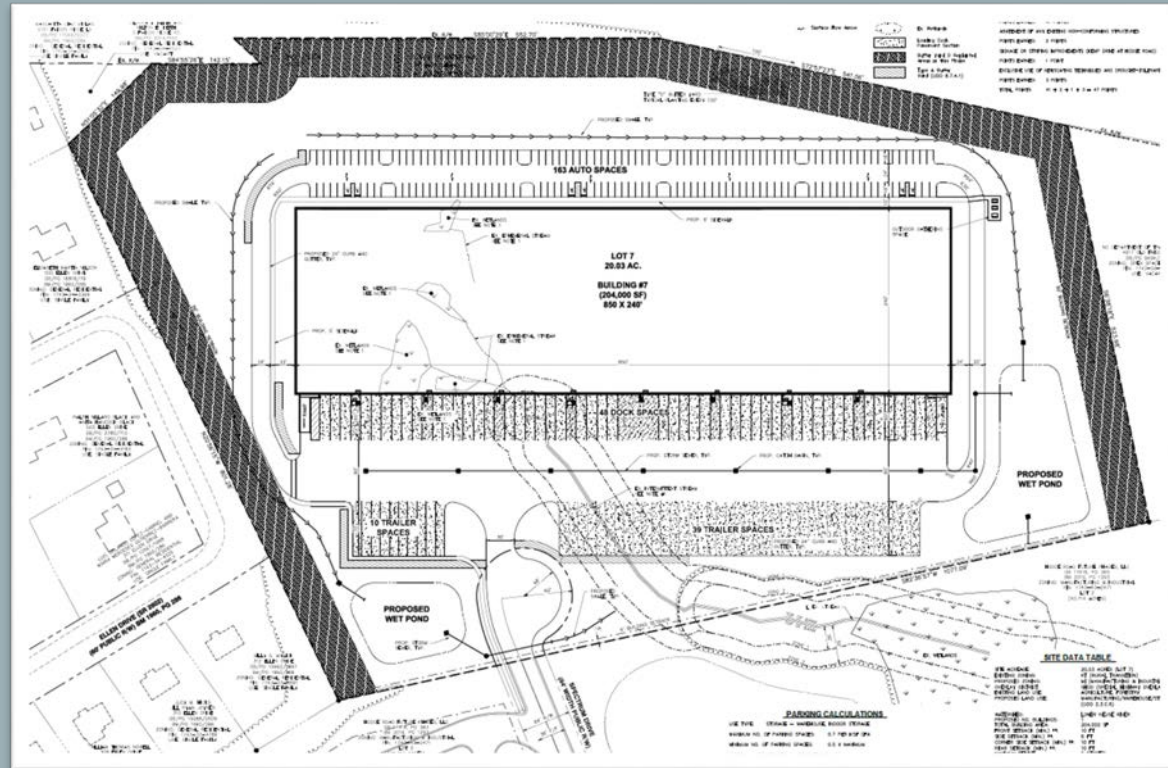
Current Zoning/Use



Knightdale Growth  
and Conservation Map



# PROJECT DETAILS/SITE PLAN



# ***PROJECT DEVELOPMENT TIMELINE***

- Neighborhood Meeting Date: January 14, 2021
- Anticipated Application Submittal Date: January 25, 2021
- Anticipated Town Council Joint Public Hearing: March 17, 2021
- Anticipated Land Use Review Board Recommendation: April 12, 2021
- Anticipated Town Council Decision: April 21, 2021



# Q&A

- Developer Representative: Mark Frederick (Parker Poe)
  - 919-835-4023
  - markfrederick@parkerpoe.com
- Development Case Manager (Town): Kevin Lewis
  - 919-217-2243
  - Kevin.lewis@knightdalenc.gov

**Neighborhood Meeting Summary**  
**For ZMA-10-20 Eastgate 540 Building 7**

1. Date: 1/14/21
  2. Location: Zoom
  3. Applicants Present: Sherrie Chaffin, Trinity Capital Partners; Mark Fredricks, ParkerPoe; Russell Killen, ParkerPoe; Cameron Rice, Advanced Civil Design
  4. Staff Present: Chris Hills, Development Services Director; Kevin Lewis, Senior Planner
  5. Number of Citizens in Attendance: 1
  6. Start time: 6:00 pm
  7. End time: 7:00 pm
  8. Process Guide
    - a. Public Hearing Meeting: May 19, 2021
    - b. LURB Meeting: June 14, 2021
    - c. Town Council Action: June 16, 2021
  9. Summary of Questions and Concerns by Citizens:
    - a. Will there be any buffers or existing vegetation maintained on the site? A 50' wide Type D buffer is required, with existing vegetation to remain in as many places as possible.
    - b. What will the impacts to traffic along Hodge Road look like? At the time of the neighborhood meeting, the TIA is still under development. The applicant anticipates minimal impact due to the limited scope of the proposal.
    - c. Are there any future plans for additional development in Eastgate? This is the last logical phase of the industrial park, much of the surrounding land is either residential in nature and already developed, or future ROW for the extension of I-540.
-



Owner	Mail Address 1	Mail Address 2	Mail Address 3
BLACK, RALPH WILLARD BLACK, ANITA H	503 ELLEN DR	KNIGHTDALE NC 27545-9745	
HICKS, JUDY M JOYNER, JILL RYAN	2725 HODGE RD	KNIGHTDALE NC 27545-9393	
HODGE ROAD FUTURE PHASES LLC	TRINITY CAPITAL ADVISORS LLC	440 S CHURCH ST STE 800	CHARLOTTE NC 28202-2075
KEITH, DEBORA T KEITH, MILTON E	PO BOX 1358	KNIGHTDALE NC 27545-1358	
LILES, JOYCE C	4040 CLIFTON RD	KNIGHTDALE NC 27545-9120	
LOPEZ-GABRIEL, LUIS ORLANDO GUTIERREZ-BARRERA, MARIA MERCEDES	311 ELLEN DR	KNIGHTDALE NC 27545-9743	
MISLAN, MARGARITA DIAZ	5101 FAISON RIDGE LN	KNIGHTDALE NC 27545-9195	
MYRICK, BILLY S	3120 HODGE RD	KNIGHTDALE NC 27545-8700	
NC DEPARTMENT OF TRANSPORTATION	815 STADIUM DR	DURHAM NC 27704-2713	
PEREZ, JOSE SALOMON MELO MORALES, TERESA LARA	1121 OAKGROVE DR	KNIGHTDALE NC 27545-9299	
RICHARDSON, JAMES EARL RICHARDSON, GRAHAM EDWARD	5829 COFFET ST	RALEIGH NC 27604	
TART, DEBORAH JANE TART, MELTON E JR	4325 OLD FAISON RD	KNIGHTDALE NC 27545-9179	
WILSON, ELIZABETH MARTIN	8420 POOLE RD	KNIGHTDALE NC 27545-9154	