

KNIGHT'S COURT

SENIOR APARTMENTS

LYNNWOOD ROAD KNIGHTDALE, NC 27545



BUILDING TYPE "I"



DEVELOPER BEACON MANAGEMENT CORPORATION

BUILDING TYPE "II"

NOT FOR CONSTRUCTION

CIVIL

STOCKS ENGINEERING 801 EAST WASHINGTON ST. NASHVILLE, NC 27856 252.459.8196 kvarnell@stocksengineering.com

LANDSCAPE

STOCKS ENGINEERING 801 EAST WASHINGTON ST. NASHVILLE, NC 27856 252.459.8196 kvarnell@stocksengineering.com

ARCHITECTURAL

MOORE HOCUTT ARCHITECTS, PLLC 3300 BATTLEGROUND AVE. SUITE 306 GREENSBORO, NC 27410 336.897.0305 mmoore@mharchitects.us

STRUCTURAL

DR J ENGINEERING, LLC 6300 ENTERPRISE LANE MADISON, WI 53719 608.310.6715 ehemueller@drjengineering.org

STRUCTURAL

TENDON SYSTEMS, LLC 7340 MCGINNIS FERRY RD SUITE 100 SUWANEE, GA 30024 678.934.0961 kbontreger@tendonllc.com

PLUMBING

EFINCIA ENGINEERING, PC 603-A EASTCHESTER DR. HIGH POINT, NC 27282 336.886.0081 eric.dickinson@efincia.net

MECHANICAL

EFINCIA ENGINEERING, PC 603-A EASTCHESTER DR. HIGH POINT, NC 27282 336.886.0081 eric.dickinson@efincia.net

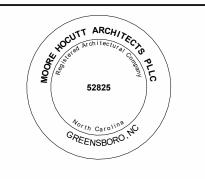
ELECTRICAL

EFINCIA ENGINEERING. PC 603-A EASTCHESTER DR. HIGH POINT, NC 27282 336.886.0081 eric.dickinson@efincia.net

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FOR REVIEW

REVISIONS Checked By 03/11/22 Date MHA-P21-17

COVER SHEET

Project No.

TITLE

G100

DRAWING SHEET INDEX

GENERAL SHEET SHEET NAME

COVER SHEET G101 DRAWING INDEX G107 PROJECT DATA

ARCHITECTURAL INFORMATION ACCESSIBILITY INFORMATION

CIVIL SHEET SHEET NAME

SKETCH PRELIMINARY PLAN

LIFE SAFETY SHEET SHEET NAME

ARCHITECTURAL

ENLARGED UNITS

ENLARGED UNITS

FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")

FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")

FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

FLOOR PLAN LEVEL 1 (BUILDING III)

FLOOR PLAN LEVEL 2 (BUILDING III)

FLOOR PLAN LEVEL 3 (BUILDING III)

A103

A104

A107

A109

A112

A114

A201

A202

A301

A302

A303

STRUCTURAL SHEET SHEET NAME SHEET SHEET NAME FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I") FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I") FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")

PLUMBING SHEET SHEET NAME

MECHANICAL SHEET SHEET NAME

ELECTRICAL SHEET SHEET NAME

FIRE ALARM SHEET SHEET NAME

MOORE HOCUTT

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FOR REVIEW

JRT SENIOR APARTME

No.	Description	Date
Des	signed By	MLM
Dra	wn By	-
Che	ecked By	JRH
Dat	e	03/11/22
	_	MHA-P21-17

DRAWING INDEX

	UNIT INFORMATION	UNIT SQUAI	RE FOOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			BUILDING TYPE I	
UNIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF
1BDR "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	753	817	1	753	817	0	0	0	0	0	0	1	753	817
1BDR "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	817	0	0	0	0	0	0	1	753	817	1	753	817
1BDR "B"	1 BEDROOM, 1 BATH, TYPE "B" WITH TUB	753	817	1	753	817	2	1506	1634	1	753	817	4	3012	3268
2BDR "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	921	998	1	921	998	0	0	0	0	0	0	1	921	998
2BDR "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	998	0	0	0	1	921	998	0	0	0	1	921	998
2BDR "B1"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	5	4605	4990	5	4605	4990	6	5526	5988	16	14736	15968
					0	0		0	0		0	0	0	0	0
			UNIT TOTALS	8	7032	7622	8	7032	7622	8	7032	7622	24	21096	22866
													48	42192	45732
	COMMON/AMENITY SPACE					3169			3169			3169			19014
	EXTERIOR ROOF AREAS		1594												3188
													BUI	LDING GROSS TOTAL	67934

BUILDING TYPE II

	UNIT INFORMATION	UNIT SQUAF	E FOOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			BUILDING TYPE II	
UNIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF
1BDR "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	753	817	1	753	817	1	753	817	0	0	0	2	1506	1634
1BDR "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	817	0	0	0	0	0	0	0	0	0	0	0	0
1BDR "B"	1 BEDROOM, 1 BATH, TYPE "B" WITH TUB	753	817	3	2259	2451	3	2259	2451	4	3012	3268	10	7530	8170
2BDR "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	921	998	1	921	998	0	0	0	1	921	998	2	1842	1996
2BDR "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	998	0	0	0	1	921	998	1	921	998	2	1842	1996
2BDR "B1"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	5	4605	4990	5	4605	4990	4	3684	3992	14	12894	13972
2BDR "B2"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	2	1842	1996	2	1842	1996	2	1842	1996	6	5526	5988
			UNIT TOTALS	12	10380	11252	12	10380	11252	12	10380	11252	36	31140	33756
													36	31140	33756
	COMMON/AMENITY SPACE					4348			4348			4348			13044
	EXTERIOR ROOF AREAS		1790												1790
													BU	LDING GROSS TOTAL	48590

NCHFA PROJECT AMENITIES

OUTDOOR SITTING AREAS (REQUIRED)

MULTI-PURPOSE ROOM (REQUIRED)

GAZEBO (REQUIRED)

COVERED DROP-OFF (ELECTIVE)

COVERED PICNIC AREA (ELECTIVE)

RESIDENT COMPUTER CENTER (ELECTIVE)

PROJECT TOTALS

BUILDING I	48	42192	67934
BUILDING II	36	31140	48590
TOTAL	84	73332	116524

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FOR REVIEW

KNIGHT'S COURT SENIOR APARTMENTS

RE	REVISIONS							
No.	Description	Date						
Des	igned By	MLM						
Dra	wn By							
2.5	2,	-						
Che	ecked By	JRH						
Dat	е	03/11/22						
Pro	ject No.	MHA-P21-17						
		<u> </u>						

PROJECT DATA

COUNTER

CLEAN OUT

COMMON

COLUMN, (COLOR)

CONCRETE MASONRY UNIT

COMBUSTION, COMBASTABLE

COMMERCIAL, (COMMUNICATION)

FIRE HOSE CABINET

FIRE HOSE STATION

FIRE HOSE RACK

FINISH

FIXTURE

FLUSH JOINT

FIRE HYDRANT, FLAT HEAD

FIBER GLASS

KITCHEN

KICK PLATE

LABARATORY

KNOCKOUT PANEL

KOP

PL GL

PLAM

PLAS

PHARMACY

PLATE GLASS

PLASTER

PLASTIC LAMINATE

PERPENDICULAR

POST INDICATING VALVE

PROPERTY LINE, PLATE

NOT USED

STAINLESS STEEL

STAGGERED

STANDARD

STIFFENER

STEEL

STONE

SOLID SURFACE(ING)

SSURF

STAGG

STIFF

STL

STN

ABBR DESCRIPTION

DESCRIPTION

"(X)"		COMPT	COMPARTMENT	FLASH	FLASHING	LAD	LADDER	PLAT	PLATFORM	STOR	STORAGE
"(X)" #	DENOTES FIRST LETTER IN THE GROUP NUMBER	CONC COND	CONCRETE CONDITION, CONDENSATE	FLDG FLEX	FOLDING FLEXIBLE	LAM LAU	LAMINATE(D)(ION) LAUNDRY	PLK PLYWD	PLANK PLYWOOD	STR STRUCT	STRINGER STRUCTURAL
# &	AND	CONF	CONDITION, CONDENSATE CONFERENCE	FLEX	FLORING	LAV	LAVATORY	PLYWD	PANEL	STWY	STAIRWAY
+/-	APPROXIMATELLY	CONN	CONNECT, CONNECTION	FLR	FLOOR	LB	POUND	PNT	PAINT(D)	SUB FL	SUBFLOOR
@	AT	CONSTR	CONSTRUCTION	FLR PL	FLOOR PLATE	LBL	LABEL	POL	POLISHED	SUPP	SUPPORT
L	ANGLE	CONT	CONTINUE, CONTINUOS	FLUOR	FLUORESCENT	LBR	LUMBER	PORC	PORCELAIN	SURF	SURFACE
Ø	DIAMETER	CONTR	CONTRACTOR	FM	FLOOR MAT	LDG	LOADING, LANDING	PORT	PORTABLE	SUSP	SUSPENDED
/Λ\		COORD CORR	COORDINATE CORRIDOR	FN FOC	FENCE FACE OF CONCRETE	LG LH	LENGTH LEFT HAND(ED)	PP PL PR	PUSH / PULL PLATE PAIR	SV SW	SHEET VINYL SIDEWALK, SWITCH
A/C UNIT	AIR CONDITIONING UNIT	CPT	CARPET	FOF	FACE OF CONCRETE FACE OF FINISH	LIN	LINEAR	PRE-W	PRE-ENGINEERED WALL	SYM	SYMBOL SYMBOL
AB	ANCHOR BOLT	CRCMF	CIRCUMREFERENCE	FOM	FACE OF MASONRY	LKR	LOCKER	PREFAB	PREFABRICATE(D)	SYMM	SYMMETRICAL
ABV	ABOVE	CRES	CORROSIVE RESISTANCE STEEL	FOS	FACE OF STUD	LLD	LEAD-LINED DOOR	PREFIN	PREFINISHED	SYS	SYSTEM
ACC	ACCESSIBLE	CRS	COURSE(S)	FOW	FACE OF WOOD / WALL	LLH	LONG LEG HORIZONTAL	PREFMD	PREFORMED		
ACI	AMERICAN CONCRETE INSTITUTE	CS	CAST STONE	FP	FIRE PARTITION, FIREPROOF	LLO	LONG LEG OUT	PRELIM	PRELIMINARY	(T)	TOUGHT AND ODGOVE
ACPL ACS DR	ACOUSTICAL PLASTER ACCESS DOOR	CSK CSMT	COUNTERSUNK CASEMENT	FPRF FR	FIREPROOF(ED)(ING) FIRE RESISTANT. FRAME	LLV LNTL	LONG LEG VERTICAL LINTEL	PRKG PRM	PARKING PRIMER(ED)	T&G TAN	TONGUE AND GROOVE TANGENT
ACS DIX	ACCESS PANEL	CT	CERAMIC TILE	FRMG	FRAMING	LONG	LONGITUDINAL	PROJ	PROJECT	TB	TOWEL BAR
ACT	ACOUSTICAL CEILING TILE	CTP	CERAMIC TILE PANEL	FRP	FIBERGLASS REINFORCED PLASTIC	LR	LIVING ROOM	PT	PRESSURE TREATED, POINT	TEL	TELEPHONE
ADA	AMERICANS W/ DISABILITIES ACT	CTR	CENTER	FRT	FIRE RETARDANT	LS	LOWN SPRINKLER	PTD	PAPER TOWEL DISPENSER	TEMP	TEMPERED, TEMPORARY
ADDM	ADDENDUM	CTS	COUNTER SINK	FS	FULL SIZE	LT	LIGHT	PTN	PARTITION	TER	TERRAZZO
ADH	ADHESIVE	CUB	CUBICLE	FSF	FIRE SAFETY	LT WT	LIGHTWEIGHT	PTR	PAPER TOWEL RECEPTICLE	TH	TRUSS HEAD
ADJ ADMIN	ADJACENT, ADJOINING ADMINISTRATION	CV CVH	CEILING VENT CONDUCTIVE VINYL HOMOGENEOUS	FSP FSTNR	FIRE STAND PIPE FASTEN(ER)	LTG LTNG	LIGHTING LIGHTNING	PVC PVMT	POLYVINYL CHLORIDE PAVEMENT	THK THRES	THICK(NESS) THRESHOLD
ADO	AUTOMATIC DOOR OPERATOR	CW	CASEWORK	FT	FEET	LVR	LOUVER	PW	PASS WINDOW	TO	TOP OF
AFF	ABOVE FINISHED FLOOR	CYL	CYLINDER	FTG	FOOTING	LWC	LIGHTWEIGHT CONCRETE			TOB	TOP OF BEAM
AGGR	AGGREGATE			FURG	FURRING			(Q)		TOC	TOP OF CURB, (CONCRETE)
AHU	AIR HANDLING UNIT	(D)		FURN	FURNITURE	(M)		QT	QUERY TILE	TOF	TOP OF SLAB
AIB	AIR INFILTRATION BARRIER	D	DEPTH	FUT	FUTURE	M	MEN'S	QTR OTY	QUARTER	TOIL	TOLET
ALT ALUM	ALTERNATE ALUMINUM	a DAT	PENNY (AS IN NAIL-10d) DATUM	FW FWC	FIRE WATER FABRIC WALL COVERING	MACH MAINT	MACHINE MAINTENANCE	QTY	QUANTITY	TOL TOP	TOLERANCE TOP OF PEDESTAL, (PARAPET)
ANOD	ANODIZE(D)	DBL	DOUBLE	1 440	I ADMIC WALL GOVERNING	MAS	MASONRY	(R)		TOPO	TOPOGRAPHY
APPD	APPROVED		DOUBLE ACTING DOOR	(G)		MATL	MATERIAL(S)	R	RADIUS, RANGE	TOS	TOP OF STEEL, (SLAB)
APPROX	APPROXIMATE	DEG	DEGREE	GA	GAGE	MAX	MAXIMUM	RAB	RABBETED	TOW	TOP OF WALL
ARCH	ARCHITECTURAL, ARCHITECT	DEMO	DEMOLITION	GALV	GALVANIZED	MB	MARKER BOARD, MACHINE BOLTS	RB	RUBBER BASE, RESILIENT BASE	TPD	TOILET PAPER DISPENSER
ASB	ASBESTOS	DEPR	DEPRESSION DEPARTMENT	GALV STL	GALVANIZED STEEL	MC I	MEDICAL CABINET	RBR	RUBBER	TPTN TP	TOILET PARTITION
ASC ASPH	ABOVE SUSPENDED CEILING ASPHALT	DEPT DET	DEPARTMENT DETAIL	GB GC	GRAB BAR GENERAL CONTRACTOR	MCJ MCO	MASONRY CONTROL JOINT METAL-CASED OPENING	RCP RD	REFLECTED CEILING PLAN ROOF DRAIN	TR TRANS	TOILET ROOM TRANSOM, (TRANSVERSE)
ASPH	ACOUSTICAL TILE CEILING	DET	DRINKING FOUNTAIN	GCSB	GYPSUM CORE SHEATING BOARD	MDF	MEDIUM DENSITY FIBERBOARD	RDGE	RIDGE	TRANS	TRANSOM, (TRANSVERSE) TREATED
AVG	AVERAGE	DH	DOUBLE HUNG	GEN	GENERAL	MDS	METAL DIVIDER STRIP	REC	RECESSED	TS	TAPPED & SANDED, TUBE STEEL
AWT	ACOUSTICAL WALL TREATMENT	DIA	DIAMETER	GFE	GOVERNMENT FURN. EQUIPMENT	MECH	MECHANICAL	REC RM	RECREATIONAL ROOM	TSTAT	THERMOSTAT
		DIAG	DIAGONAL	GFE/CI	GFE CONTRACTOR INSTALLED	MECH RM	MECHANICAL ROOM	REF	REFERENCE	TT	TERRAZZO TILE RESINOUS MATRIX
(B)		DIM	DIMENSION	GFR CONC	GLASS FIBER REINFORCED CONC.	MED	MEDIUM	REFL	REFLECT	TV	TELEVISION
BALC	BALCONY	DISP	DISPENSER	GFR GYP	GLASS FIBER REINFORCED GYPSUM	MEMB	MEMBRANE METAL EDGE STRIP	REFR	REFRIGERATION REGISTER, REGLECT	TYP	TYPICAL
BATT INSUL BD	BATT INSULATION BOARD	DIST DIV	DISTRIBUTION, DISTANCE DIVISION	GIP GKT	GALVANIZED IRON PIPE GASKET(ED)	MES MEZ	METAL EDGE STRIP MEZZANINE	REG REINF	REGISTER, REGLECT REINFORCE(D)(ING)(MENT)	(U)	
BDRY	BOUNDARY	DMPF	DAMPPROOFING	GL	GLASS	MFG	MANUFACTURING	REM	REMOVE(ABLE)	UCNTR	UNDERCOUNTER
BEV	BEVEL	DMT	DEMOUNTABLE	GL BLK	GLASS BLOCK	MFR	MANUFACTURER	REQD	REQUIRED	UL	UNDERWRITERS LABARATORIES
BG	BUMPER GUARD	DN	DOWN	GLF	GLASS FIBER	MGT	MATTE-GLAZED TILE	RESIL	RESILIENT	UNFIN	UNFINISHED
BHMA	BUILDER'S HARDW. MFG'S ASSOC.	DR	DOOR, DRAIN	GLZ	GLAZING	MH	MANHOLE	REST RM	RESTROOM	UNO	UNLESS NOTED OTHERWISE
BITUM	BITUMINOUS	DR CL	DOOR CLOSER	GLZ CMU	GLAZED CONC. MASONRY UNITS	MIN	MINIMUM	RET .	RETURN	UR	URINAL
BJT BKR	BED JOINT BACKER	DRB DS	DRAIN BOARD DOWNSPOUT, DOUBLE STRENGT	GND GOVT	GROUND GOVERNMENT	MIRR MISC	MIRROR MISCELLANEOUS	REV RFG	REVISION ROFFING	UTIL	UTILITY
BLDG	BUILDING	DT	DRAIN TILE	GPL	GYPSUM LATH	ML	METAL LATH, MONOLITHIC	RGH	ROUGH	(V)	
BLKG	BLOCKING	DWG(S)	DRAWING(S)	GPT	GYPSUM TILE	MLDG	MOULDING	RH	ROOF HATCH, RIGHT HAND	VAB	VAPOR BARRIER
BLW	BELOW	DWLS	DOWELS	GR LN	GRADE LINE	MLWK	MILLWORK	RHR	RIGHT HAND REVERSE	VAR	VARIES, VARNISH
BM	BEAM, BENCH MARK	DWR	DRAWER	GRAN	GRANITE	MO	MASONRY OPENING	RK	RACK	VB	VINYL BASE
ВО	BOTTOM OF	DWTR	DUMBWAITER	GRTG	GRATING	MOD	MODULAR, MODIFIY, MODIFIED	RLG	RAILING	VCT	VINYL COMPOSITION TILE
BOT	BOTTOM	DX	DIRECT EXPANSION	GT	GROUT	MRB	MARBLE	RM	ROOM	VENT	VENTILATOR(TION)
BR BRCG	BEDROOM BRACING	(E)		GUT GVL	GUTTER GRAVEL	MRD MT	METAL ROOF DECKING METAL TRESHOLD, MOUNT	RND RO	ROUND ROUGH OPENING	VERT VEST	VERTICAL VESTIBULE
BRG PL	BEARING PLATE	(L) E	EAST	GWT	GYPSUM WALL TILE	MTD	MOUNTED	ROW	RIGHT OF WAY	VEST	VINYL FABRIC
BRK	BRICK	EA	EACH	GYP	GYPSUM	MTFR	METAL FURRING	RP	RETRACTABLE PARTITION	VG	VERTICAL GRAIN
BRKT	BRACKET	EB	EXPANSION BOLT	GYP BD	GYPSUM BOARD	MTL	METAL	RPRT	RAISED PATTERN RUBBER TILE	VH	VINYL HOMOGENEOUS, (SEAMLESS)
BS	BOTH SIDES	EF	EACH FACE	GYP PLAS	GYPSUM PLASTER	MULL	MULLION	RS	RESILIENT SHEET	VIF	VERIFY IN FIELD
BSMT	BASEMENT	EIFS	EXTERIOR INSUL. & FINISH SYSTEM	(1.1)		MVBL	MOVABLE	RSR	RISER	VIN	VINYL
BTWN	BETWEEN BUILT LID POOFING	EJ	EXPANSION JOINT	(H)	HOSE BIB	MWF	MEMBRANE WALL FLASHING	RT	RESILIENT TILE	VJ	V-JOINT(ED)
BUR BW	BUILT-UP ROOFING BOTH WAYS	EL ELEV	ELEVATION GRADE OR BUILDING ELEVATOR, ELEVATION BUILDING	HB HC	HOLLOW CORE	(N)		RTF RUBB	RUBBER TILE FLOOR RUBB(ED) CONCRETE	VOL VP	VOLUME VENEER PLASTER
DVV	BOTH WATS	EMBMT	EMBEDMENT	HCP	HANDICAPPED	(N) N	NORTH	RVS	REVERSE	VF VS	VENT STACK
(C)		EMER	EMERGENCY	HD	HEAD, HEAVY DUTY	N'REQD	NOT REQUIRED	RVT	RIVET	VT	VINYL TILE
C/C	CENTER TO CENTER	ENCL	ENCLOSE(URE)	HDBD	HARDBOARD	NA	NOT APPLICABLE	RWC	RAINWATER CONDUCTOR	VTR	VENT THRU ROOF
CAB	CABINET	ENGR	ENGINEER(ING)	HDJT	HEAD JOINT	NAT	NATURAL			VWC	VINYL WALL COVERING
	CATCH BASIN, CONTROL BOX	ENTR	ENTRANCE, ENTERING	HDPE	HIGH DENSITY POLYETHYLENE	NFPA	NATIONAL FIRE PROT. ASSOCIATION	(S)	20171	0.0	
CBB CBP	CEMENTITIOUS (BACKER) BOARD COMPOSITE BUILDING PANEL	EP EPRF	ELECTRIC PANEL BOARD EXPLOSION PROOF	HDR HDW	HEADER HARDWARE	NIC NL	NOT IN CONTRACT NAILABLE	S SAFB	SOUTH SOUND ATTENUATION FIRE BLANKET	(W) W	WEST, WATT
CBP	COMPOSITE BUILDING PANEL CONSTRUCTION DOCUMENTS	EPKF	EPOXY COATING	HDWD	HARDWOOD	NL NO	NUMBER, NORMALLY OPEN	SAFB	SOUND ATTENUATION FIRE BLANKET SANITARY	W W'S	WEST, WATT WOMEN'S
CDR	CARD READER	EQ	EQUAL EQUAL	HES	HIGH EARLY-STRENGTH CEMENT	NOM	NOMINAL	SB	SPLASH BLOCK	W/	WITH
CEM	CEMENT	EQUIP	EQUIPMENT	HGT	HEIGHT	NSF	NET SQUARE FEET	SC	SOLID CORE	W/C	WHEELCHAIR
CEM PLAS	CEMENT PLASTER	ESCAL	ESCALATOR	HK	HOOK(S)	NTS	NOT TO SCALE	SCHED	SCHEDULE	W/O	WITHOUT
CER	CERAMIC	EST	ESTIMATE(D)	HM	HOLLOW METAL			SCR	SCREW	W/W	WALL TO WALL
CFE	CONTRACTOR FURN. EUIQPMENT	EW	EACH WAY	HNDRL	HANDRAIL	(0)	ODGGUPS.	SCRN	SCREEN	WBL	WOOD BLOCKING
CFI	CONTRACTOR FURN. & INSTALLED CONDUCTIVE FLOORING	EWC	ELECTRIC-WATER COOLER	HORIZ	HORIZONTAL	OBSC	OBSCURE ON CENTER	SCIT	STRUCTURAL CLAY TILE	WC	WATER CLOSET
CFL CFLG	CONDUCTIVE FLOORING COUNTERFLASHING	EXC EXD	EXCAVATE EXIT DEVICE	HR HS	HOUR HIGH STRENGTH	OC OD	ON CENTER OUTSIDE DIAMETER	SCUT SD	SCUTTLE STORM DRAIN. SMOKE DETECTOR	WCO WD	WOOD CASED OPENING WOOD, WOOD DOOR
CFLG	COUNTERFLASHING CORNER GUARD	EXIST	EXISTING	нs HSGYP	HIGH STRENGTH HIGH STRENGTH GYPUM PLASTER	OF OF	OUTSIDE DIAMETER OUTSIDE FACE	SECT	SECTION	WDSP	WASTE DISPOSER
CH BD	CHALKBOARD	EXP	EXPANSION	HSKPG	HOUSEKEEPING	OFCI	OWNER FURN. CONTR. INSTALLED	SECY	SECRETARY	WDW	WINDOW
CHFR	CHAMFER	EXP	EXPOSED	HT	HEIGHT	OFD	OVERFLOW DRAIN	SFGL	SAFETY GLASS	WF	WIRE FLANGE, WIDE FLANGE
CHIM	CHIMNEY	EXP BT	EXPANSION BOLT	HVAC	HEATING, VENTIL. & AIR CONDIT.	OFF	OFFICE	SG	SHEET GLASS	WG	WIRE GLASS
CHK	CHECK	EXT	EXTERIOR	HWH	HOT WATER HEATER	OFOI	OWNER FURNISHED & INSTALLED	SGL	SINGLE	WH	WALL HUNG
CIPC	CAST-IN-PLACE	EXTR	EXTRUDED	(1)		OH	OVERHEAD OPEN-WEB JOIST	SHR SHT	SHOWER SHEET	WKSH	WORK SHOP
CIRC CJ	CIRCULAR, CIRCULATION CONTROL, (CONSTRUCTION) JOINT	(F)		(I) IBC	INTERNATIONAL BUILDING CODE	OJ OPH	OPEN-WEB JOIST OPPOSITE HAND	SHTHG	SHEET SHEATHING	WM WP	WIRE MESH, WALK OFF MAT WEATHERPROOF(ING), WALL PROTECTION
CK'D	CHECKERED	(F) F BRK	FIRE BRICK	IC IC	INTERNATIONAL BUILDING CODE INTERCOM	OPH	OPPOSITE HAND OPENING	SHV	SHELVING	WP WR	WASTE RECEPTACLE
CL RM	CLASSROOM	FA	FIRE ALARM, FRESH AIR	ID	INSIDE DIAMETER	OPP	OPPOSITE	SIM	SIMILAR	WRB	WARDROBE
CL, C/L	CENTER LINE	FAAP	FIRE ALARM ANNUNCIATOR PANEL	IN	INCH	OPQ	OPAQUE	SKLT	SKYLIGHT	WSCT	WAINSCOT
CLG	CEILING	FAC	FIRE APPARATUS CLOSET	INCL	INCLUDED			SLNT	SEALANT	WT	WEIGHT, WINDOW TREATMENT
CLG HT	CEILING HEIGHT	FBD	FIBERBOARD	INSF	INSULATING FILL	(P)	POLE	SLV	SLEEVE	WTH	WIDTH
CLGL	CLEAR GLASS	FBO	FURNISHED BY OTHERS	INSUL	INSULATION (INSULATED)	Р	POLE	SM SD EIN	SHEET METAL	WWF	WELDED WIRE FABRIC
CLKG	CAULKING CONTRACT LIMIT LINE	FC BRK	FACE BRICK FLOOR CONSTRUCTION JOINT	INT INV	INTERIOR INVERT	PAR PASS	PARAPET, PARALLEL PASSAGE, PASSENGER	SP FIN SPC	SPECIAL FINISH SPACER	WWM	WOVEN WIRE MESH
CLL CLO	CLOSET	FCJ FCO	FLOOR CONSTRUCTION JOINT FLOOR CLEANOUT	INV IP	INVERT IRON PIPE	PASS PB	PASSAGE, PASSENGER PANIC BAR	SPCL	SPACER SPECIAL(TIES)	(X)	
CLOS	CLOSURE	FCO FD	FLOOR CLEANOUT FLOOR DRAIN	11	ACT II E	PBD	PARTICLE BOARD	SPD	SOUNDPROOF DOOR	(^) XFMR	TRANSFORMER
CLR	CLEAR(ANCE)	FDTN	FOUNDATION	(J)		PBS	PUSH BUTTON STATION	SPEC	SPECIFICATION		
CLWG	CLEAR WIRED GLASS	FE	FIRE EXTINGUISHER	J-BOX	JUNCTION BOX	PC	PIECE	SPF	SOUNDPROOF	(Y)	
CMP	CORRUGATED METAL PIPE	FEB	FIRE EXTINGUISHER BRACKET	JAN CLO	JANITOR'S CLOSET	PCC	PRECAST CONCRETE	SPH	SPACE HEATER	YD	YARD
CMPST	COMPOSITE	FEC	FIRE EXTINGUISHER CABINET	JF	JOINT FILLER	PCP	PORTLAND CEMENT PLASTER	SPKR	SPEAKER	YD	YARD DRAIN
CMPTR	COMPUTER	FF	FACTORY FINISH	JST	JOIST	PERF	PERFORATE(D)	SQ	SQUARE	/ \	
CMT	CERAMIC MOSAIC (TILE)	FF ¹	FINISH FLOOR	IT.	JOINT	PERIM	PERIMETER	SS	SERVICE SINK, STANDING SEAM	(Z)	

DESCRIPTION

DESCRIPTION

GENERAL CONSTRUCTION NOTES

DESCRIPTION

DESCRIPTION

- 1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DIMENSION IN QUESTION SHALL BE CLARIFIED BY ARCHITECT.
- 2. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, AND LABOR NECESSARY TO AFFECT ALL INSTALLATIONS INDICATED ON THE DRAWINGS. THE WORK SHALL ALSO INCLUDE ALL MATERIALS, DETAILS, AND LABOR NECESSARY FOR THE SUCCESSFUL INSTALLATION OF WORK AS DESCRIBED HEREIN.
- 3. INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- 4. ALL WORK PERFORMED AND MATERIAL INSTALLED SHALL BE IN STRICT ACCORDANCE AS A MINIMUM STANDARD WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH U.L. LISTED OR F.M. APPROVED MATERIALS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
- DETAILS ARE INTENDED TO SHOW END RESULT OR DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK UNDER THIS CONTRACT.
- 3. CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. THE WORK OF EACH TRADE SHALL CONFORM TO ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE
- CONTRACTOR SHALL PROVIDE AT THE JOBSITE A FULL SET OF CONSTRUCTION DOCUMENTS ANNOTATED WITH THE LATEST REVISIONS AND CLARIFICATIONS FOR THE USE BY ALL.
- 10. THE DRAWINGS AND GENERAL NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. WORK SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- 11. THE ARCHITECT HAS MADE EVERY EFFORT TO SET FORTH IN THE CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS AND DISCREPANCIES IN THE DRAWINGS SHALL NOT EXCUSE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 12. SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS, PREPARED BY THE CONTRACTOR, SUBCONTRACTOR SUPPLIER, OR DISTRIBUTOR. REPRODUCTION OF DRAWINGS CONTAINED IN THE CONTRACT DOCUMENTS SHALL NOT BE PREMITTED.
- 13. SHOP DRAWINGS SHALL CONTAIN THE CONTRACTOR'S STAMP CERTIFYING: (A) HIS REVIEW PRIOR TO SUBMITTAL AND, (B) VERIFICATION OF PRODUCTS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA, AND COORDINATION WITH ASSOCIATED AREAS OF WORK.



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FOR REVIEW

ANIGHTS COURT

RE	REVISIONS							
No.	Description	Date						
Des	signed By	MLM						
Dra	wn By	-						
Che	ecked By	JRH						
Dat	e	03/11/22						
Pro	ject No.	MHA-P21-17						
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ARCHITECTURAL INFORMATION

G108

IN TYPE "A" (HC) UNITS, WHERE OPERABLE WINDOWS ARE PROVIDED IN THE LIVING ROOM, DINING ROOM AND BEDROOMS, ALL OPERABLE WINDOW IN EACH AREA MUST BE ACCESSIBLE WITH OPERATING CONROLS AT 48" MAX AFF PER ICC ANSI 117.1 2009 SECTION 308. WINDOW SILLS MUST BE 24" AFF WHERE OVER 72" DROP TO AREA BELOW.

HINGED DOOR, FRONT

APPROACH, PULL SIDE

HINGED DOOR, FRONT

APPROACH, PULL SIDE,

HINGED DOOR, HINGE

APPROACH, PULL SIDE

HINGED DOOR, HINGE

APPROACH, PULL SIDE

HINGED DOOR, LATCH

APPROACH, PULL SIDE

HINGED DOOR, LATCH APPROACH, PULL

SIDE, DOOR PROVIDED WITH CLOSER

HINGED DOOR, FRONT

APPROACH, PULL SIDE,

HINGED DOOR, FRONT

APPROACH, PULL SIDE,

FOLDING DOOR,

FRONT APPROACH

SLIDING DOOR,

POCKET OR HINGE APPROACH

SLIDING DOOR,

STOOP OR LATCH APPROACH

DOORWAY W/O DOOR,

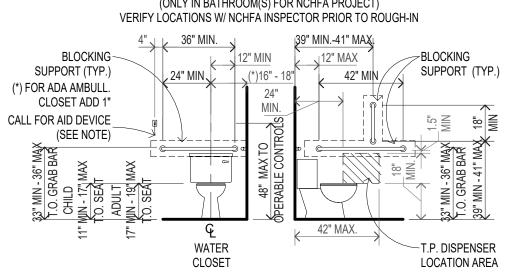
SIDE APPROACH

DOORWAY W/O DOOR,

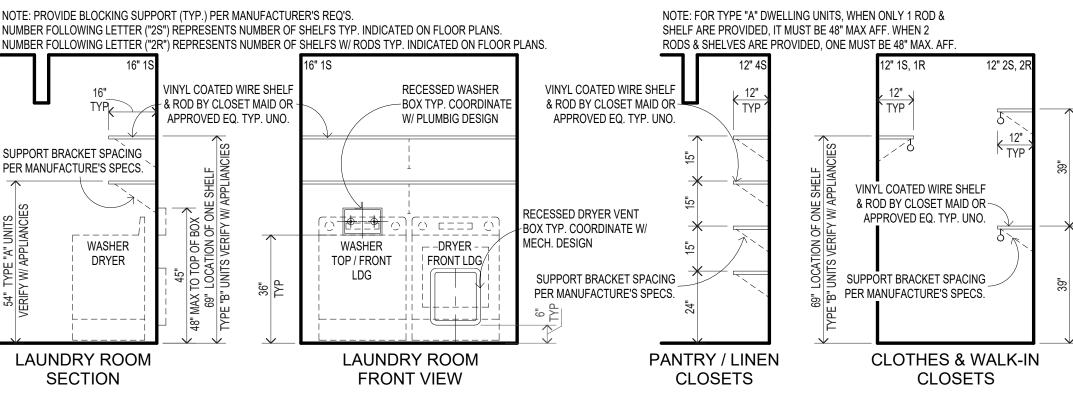
FRONT APPROACH

- ALL OPERABLE PARTS (SWITCHES, OUTLETS, CONTROLS) IN TYPE "A" ACCESSIBLE DWELLING UNITS SHALL COMPLY WITH SECTION 1003.9 & TYPE "B" ACCESSIBLE UNITS SHALL COMPLY WITH SECTION 1004.9 OF THE ICC/ANSI A117.1-2009. SWITCHES AND OUTLETS ARE PROVIDED AT SIDE WALLS AND/OR BASE CABINET
- FRONTS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS. TYPE "A" UNIT OVENS - THE LOCATION OF THE CONTROLS SHALL
- NOT REQUIRE REACHING ACROSS BURNERS. HOOD LIGHT & VENT TO BE ON SEPARATE SWITCHES WITHIN ACCESSIBLE REACH
- WORKSPACES IN TYPE "A" KITCHENS TO BE 34" AFF MEASURED FROM THE FLOOR TO THE COUNTER OR SINK RIM, WHICHEVER IS
 - ALL DOOR HARDWARE IS TO BE LEVER TYPE AND CABINET HARDWARE TO BE LOOP OR D SHAPE HANDLES.
- SOME ABBREVIATIONS, SYMBOLS OR CONDITIONS SHOWN ON THIS 19. SHEET MAY NOT APPLY TO THIS PROJECT.
- GRAB BAR REINFORCEMENT MUST BE SUFFICIENT TO PERMIT THE INSTALLATION OF REAR AND SIDE WALL GRAB BARS THAT FULLY MEET ALL ADA REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, REQ'D LENGTH, INSTALLATION HEIGHT, AND STRUCTURAL

- SURFACES UNDER LAVATORIES & SINKS.
- FLUSH VALVE CONTROLS & FLUSH TANK CONTROLS POSITION SHALL BE ON THE OPEN SIDE OF THE WATER CLOSET.
- WASHING MACHINES & DRYERS: TOP LOADING MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 36" MAX. A.F. FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED MIN 15" & MAX. 36" A.F. FLOOR.
- TYPE "B" KITCHENS TO MEET ICC/ANSI A117.1-2009 SECTION 1004.12. STANDARD CABINETS AND STANDARD APPLIANCES MAY BE USED 14.
- IN TYPE "B" UNITS. TYPE "A" ACCESSIBLE KITCHENS TO MEET ICC/ ANSI A117.1 2009
- SECTION 1003.12. EXPOSED PIPES UNDER SINK SHALL BE PROTECTED OR INSULATED
- AGAINST CONTACT. NO SHARP OR ABRASIVE SURFACES ALLOWED. PROVIDE RANGE / OVEN WITH FRONT PANEL CONTROLS.
- REFRIGERATOR / FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE WITHIN 54" MAX. AFF.
- CABINETRY SHALL BE PERMITTED UNDER SINK PROVIDED IT CAN BE REMOVED WITHOUT REMOVING THE SINK; THE FLOOR FINISH EXTENDS UNDERNEATH & THE WALLS BEHIND & SURROUNDING THEM ARE FINISHED. (PER ICC A117.1 2009 1003.12.4.1 EXCEPTION 2)

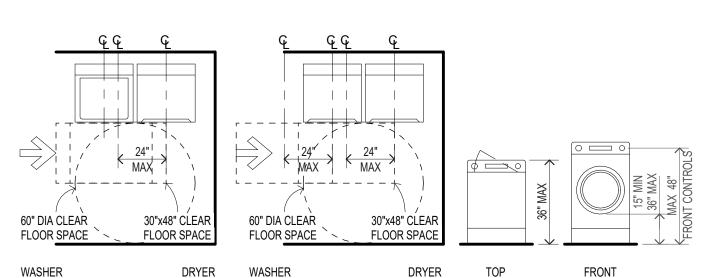


TOILET FLOOR MTD. W/ TANK



NOT TO SCALE

WASHER AND DRYER MAY BE EITHER TOP LOADING, FRONT LOADING OR ANY COMBINATION. USE HEIGHT REQUIREMNTS AS SHOWN HEREIN. DOOR LOCKING TO BE PUSH BUTTON OR LEVER TYPE. CLEAR FLOOR AREA USED FOR TYPE "A" AND TYPE "B" DWELLING UNITS.



TOP LOADING FRONT LOADING FRONT LOADING FRONT LOADING WASHER / DRYER PLAN WASHER / DRYER ELEV. WASHER / DRYER PLAN

LAUNDRY ROOM TYP. NOT TO SCALE

NOT FOR CONSTRUCTION

LOADING

LOADING

MOORE HOCUTT

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WEAVERCOOKE

FOR

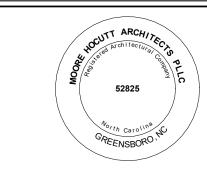
REVIEW

Project No.

SUITE 306 GREENSBORO, NC 27410 P 336.897.0305 www.mharchitects.us

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WEAVERCOOKE



FOR REVIEW

SENIOR APARTME KNIGHT'S

RE	REVISIONS							
No.	Description	Date						
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Des	signed By	MLN						
Dra	wn By	-						
Che	ecked By	JRH						
Dat	e	03/11/22						
	ject No.	MHA-P21-17						

FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")

A102

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SENIOR APARTME **KNIGHT'S**

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No.	Description	Date
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Des	igned By	MLM
Dra	wn By	-
Che	ecked By	JRH
Date	e	03/11/22
Droi	ect No.	MHA-P21-17

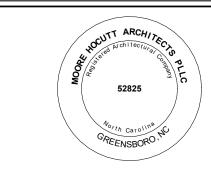
FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")

A103

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Ⅲ WEAVERCOOKE



FOR REVIEW

KNIGHT'S COURT
SENIOR APARTMENTS

 REVISIONS

 No.
 Description
 Date

 Designed By
 MLM

 Drawn By
 _

 Checked By
 JRH

 Date
 03/11/22

 Project No.
 MHA-P21-17

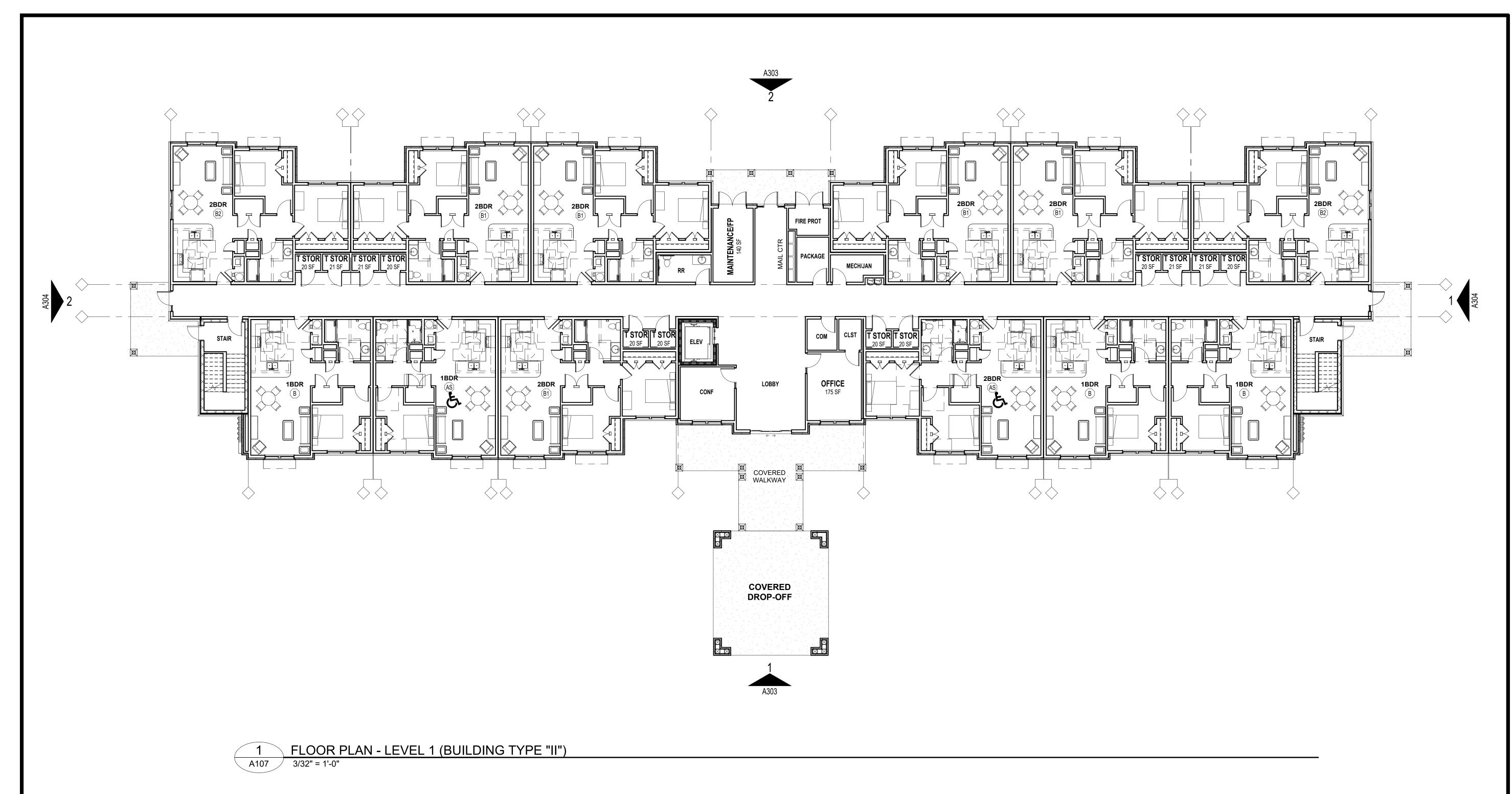
FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")

A104

FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")

FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")

A107



MOORE HOCUTT 3300 BATTLEGROUND AVE.

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Checked By 03/11/22 MHA-P21-17

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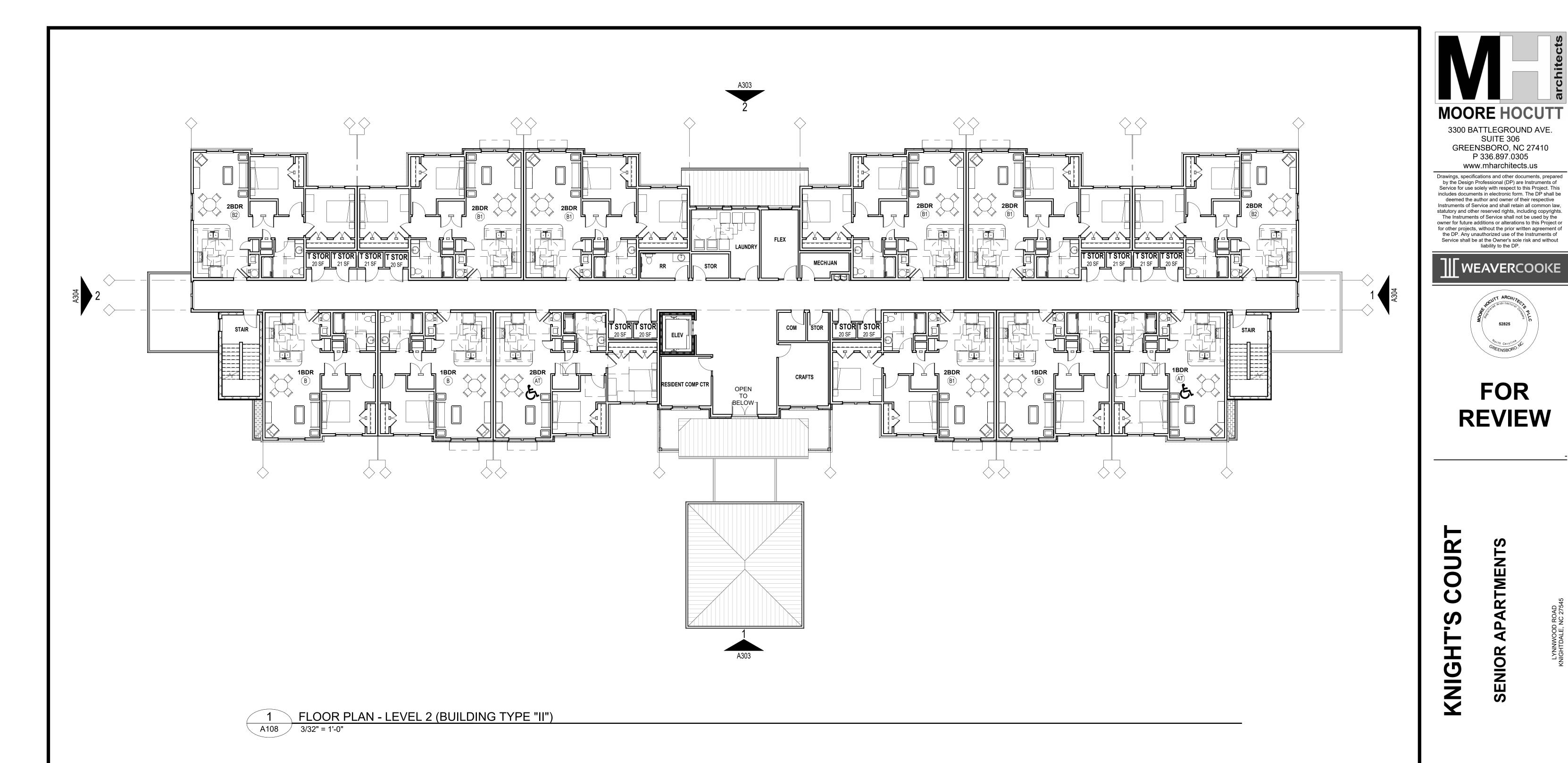
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A108



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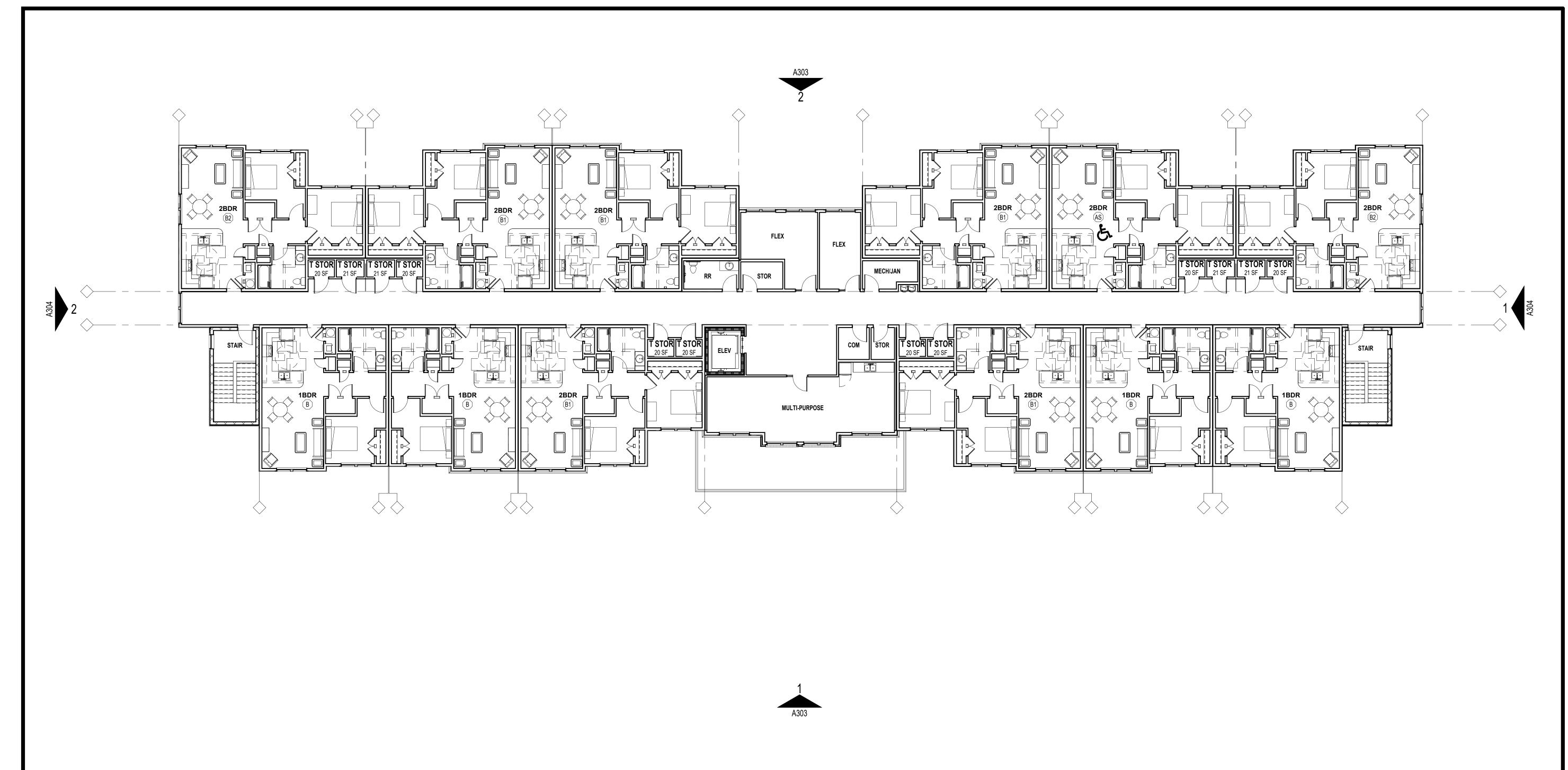
WEAVERCOOKE

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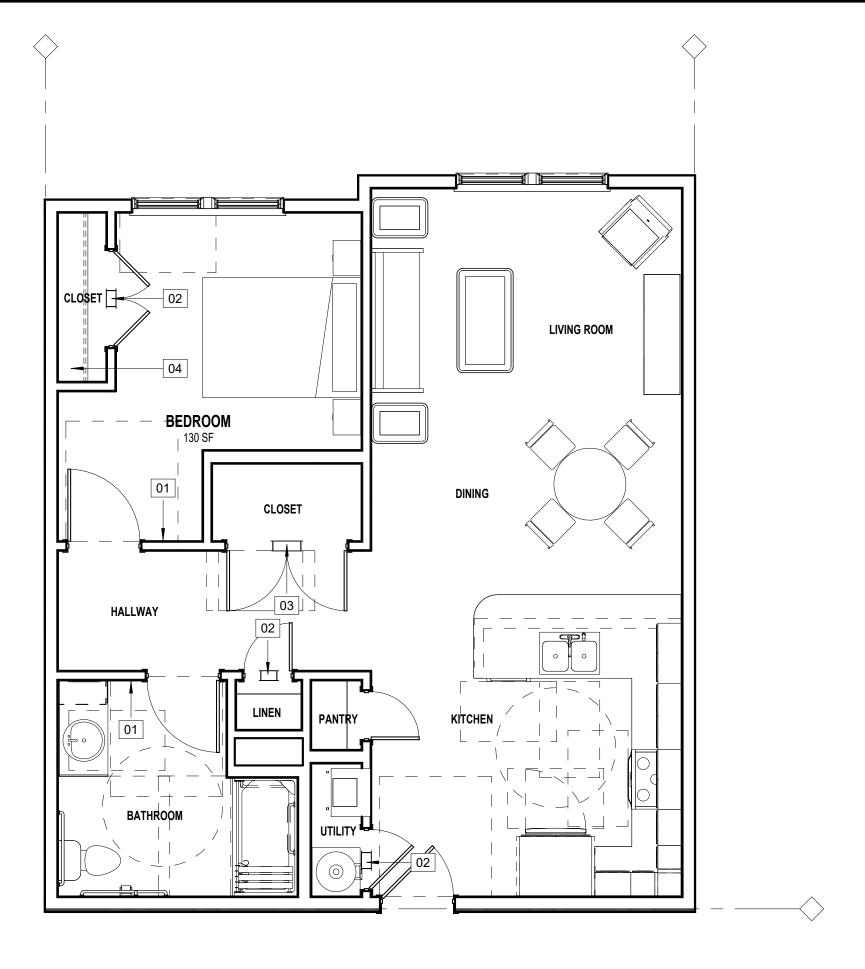
FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")

A109



FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II") A109 3/32" = 1'-0"

ONE BEDROOM UNIT - TYPE "B"



2 ONE BEDROOM UNIT - TYPE "AT" & 1/4" = 1'-0"

ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

01 CALL FOR AID STATION.

TRANSFER GRILLE (8"x4").
TRANSFER GRILLE (14"x8").
CLOSET SHELF AND ROD (MIN. 7LF).

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FOR REVIEW

KNIGHT'S COURT SENIOR APARTMENTS

REVISIONS							
No.	Description	Date					
Des	signed By	MLM					
Dra	wn By	-					
Che	ecked By	JRH					
Dat	e	03/11/22					
Pro	ject No.	MHA-P21-17					

ENLARGED UNITS

A201

A202

MARK KEYNOTE

- 01 CALL FOR AID STATION.
- 02 TRANSFER GRILLE (8"x4").
- 03 TRANSFER GRILLE (14"x8"). 04 CLOSET SHELF AND ROD (MIN. 7LF).

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Dat	e	03/11/22					
Pro	ject No.	MHA-P21-17					

ENLARGED UNITS

A202





SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET MARK KEYNOTES

- 01 FIBER CEMENT CLAPBOARD SIDING.
- FIBER CEMENT VERTICAL BOARD BATTEN SIDING. FIBER CEMENT TRIM.
- PVC COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
- BRICK VENEER WITH ROWLOCK. BRICK ROWLOCK WINDOW SILL.
- BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES.
- STANDING SEAM METAL ROOF. VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
- VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
- 13 ALUMINUM STOREFRONT DOOR.
- 14 STEEL DOOR.

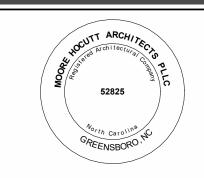
- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER. COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE
- SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL
- NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION. EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO. ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO. PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S
- STANDARDS. PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

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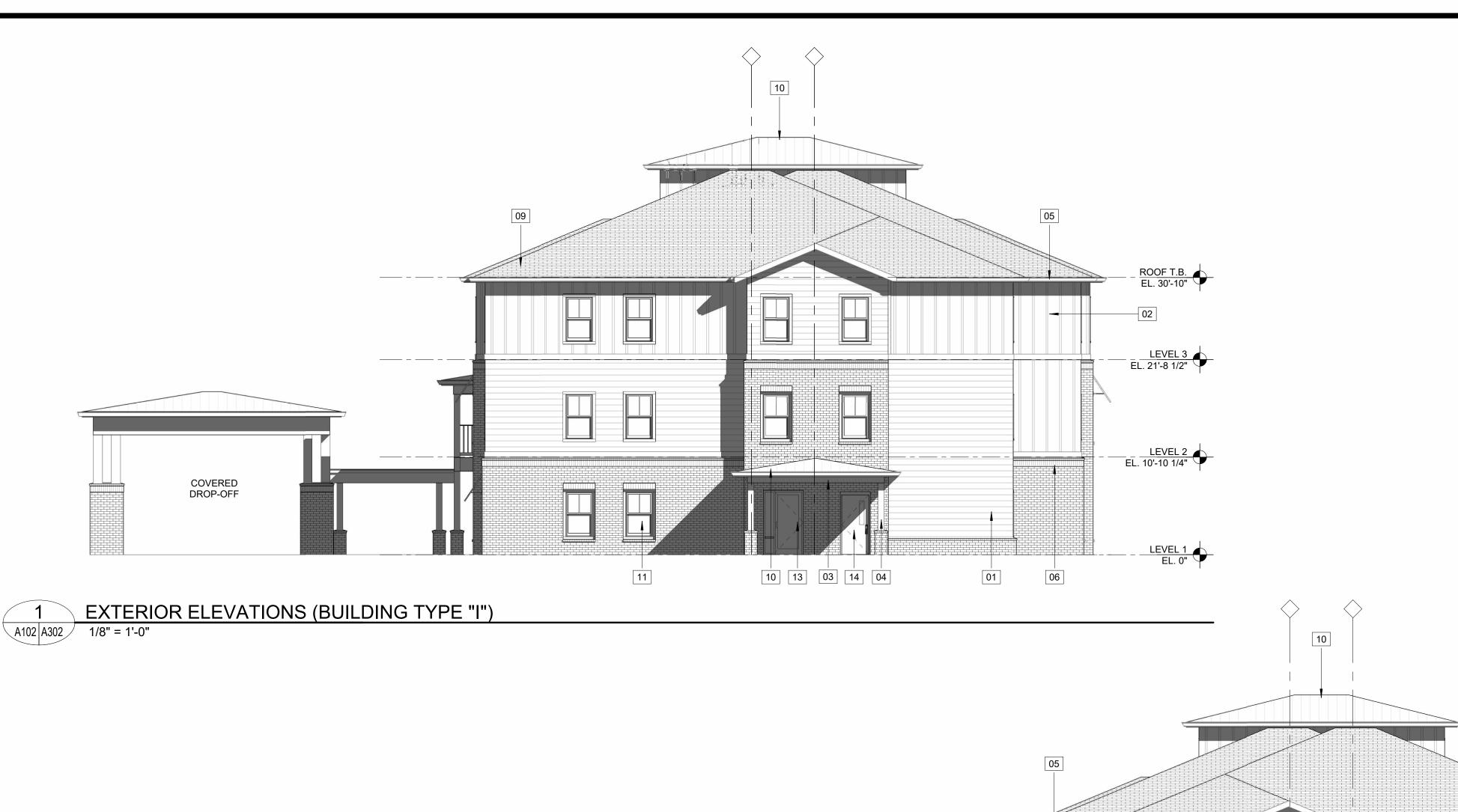


FOR REVIEW

JRI ARTME 00 KNIGHT SENIOR

No.	Description	Date
Des	signed By	MLM
Dra	iwn By	_
Che	ecked By	JRH
Dat	e	03/11/22

EXTERIOR ELEVATIONS (BUILDING TYPE "I")



A102 A302 1/8" = 1'-0"



KEYNOTES - EXTERIOR ELEVATIONS SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK KEYNOTES

- FIBER CEMENT CLAPBOARD SIDING. FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
- FIBER CEMENT TRIM.
- PVC COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER. BRICK VENEER WITH ROWLOCK.
- BRICK ROWLOCK WINDOW SILL.
- BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES. STANDING SEAM METAL ROOF.
- VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
- 12 VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
- 13 ALUMINUM STOREFRONT DOOR.
- 14 STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM
- DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY. SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION. EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH
- ADJACENT SURFACE, UNO. WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO. ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO. PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING
- CREATING POSITIVE DRAINAGE. INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S
- STANDARDS. PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

MOORE HOCUTT 3300 BATTLEGROUND AVE.

SUITE 306 GREENSBORO, NC 27410 P 336.897.0305 www.mharchitects.us

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FOR REVIEW

KNIGHT SENIOR

RE	REVISIONS			
No.	Description	Date		
Des	signed By	MLM		
Dra	wn By			
Che	ecked By	JRH		
Dat	е	03/11/22		
Dro	ject No.	MHA-P21-17		

EXTERIOR ELEVATIONS (BUILDING TYPE "I")







EXTERIOR ELEVATIONS (BUILDING TYPE "II") A107 A303 3/32" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET MARK KEYNOTES

- FIBER CEMENT CLAPBOARD SIDING.
- FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
- FIBER CEMENT TRIM. PVC COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
- BRICK VENEER WITH ROWLOCK. BRICK ROWLOCK WINDOW SILL.
- BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES.
- STANDING SEAM METAL ROOF. VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
- VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
- ALUMINUM STOREFRONT DOOR. STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM
- DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY. SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO. WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO. ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE. ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING
- CREATING POSITIVE DRAINAGE. INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK,
- WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

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FOR REVIEW

RTME

SENIOR

0 KNIGHT

REVISIONS			
No.	Description	Date	
Des	signed By	MLM	
Drawn By		-	
Checked By		JRH	
Date		03/11/22	
Project No.		MHA-P21-17	

EXTERIOR ELEVATIONS (BUILDING TYPE "II")



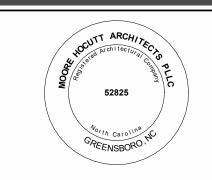
EXTERIOR ELEVATIONS (BUILDING TYPE "II") A107 A304 3/32" = 1'-0"

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FOR REVIEW

JRT

REVISIONS Designed By Checked By 03/11/22 Date MHA-P21-17

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

KEYNOTES - EXTERIOR ELEVATIONS SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

- MARK KEYNOTES
- FIBER CEMENT CLAPBOARD SIDING. FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
- FIBER CEMENT TRIM. PVC COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
- BRICK VENEER WITH ROWLOCK.
- BRICK ROWLOCK WINDOW SILL. BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES. STANDING SEAM METAL ROOF.
- VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
- VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT). 13 ALUMINUM STOREFRONT DOOR.
- 14 STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM
- DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY. SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT
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- STANDARDS. PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.