

NCHFA LIHTC SUBMITTAL
2023 QUALIFIED ALLOCATION PLAN (QAP)

KNIGHT'S COURT

SENIOR LIVING APARTMENTS

LYNWOOD ROAD
KNIGHTDALE, NC 27545



BUILDING TYPE "I"



BUILDING TYPE "II"



BUILDING TYPE "III"

DEVELOPER

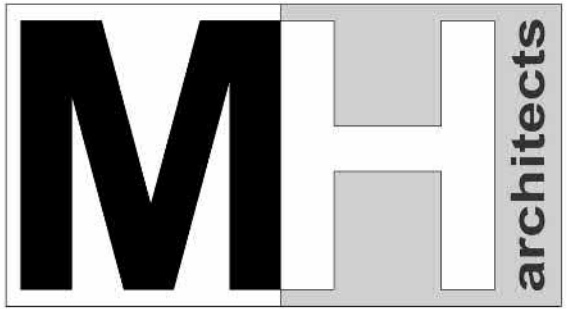
BEACON MANAGEMENT
CORPORATION

DESIGN SUBMITTAL LEGEND

DATE	SUBMITTAL
01/16/23	NCHFA PRELIMINARY APPLICATION SUBMITTAL

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION

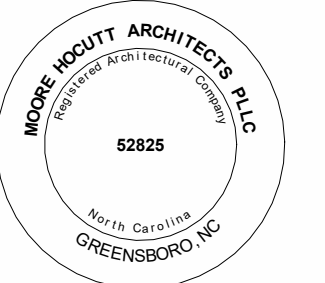
01/16/2023



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Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



**FOR
REVIEW**

REVISIONS		
No.	Description	Date

Designed By MLM
Drawn By BG
Checked By JRH
Date 01/16/2023
Project No. MHA-21-17

TITLE

COVER SHEET

G100

CIVIL

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LANDSCAPE

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DRAWING SHEET INDEX

GENERAL

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE
G100	COVER SHEET	-		
G101	DRAWING SHEET INDEX	-		
G103	PROJECT DATA	-		
G104	PROJECT DATA	-		
G105	ARCHITECTURAL INFORMATION	-		
G106	ACCESSIBILITY INFORMATION	-		

ARCHITECTURAL

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE
A101	FLOOR PLAN LEVEL 1	-		
A102	FLOOR PLAN LEVEL 2	-		
A103	FLOOR PLAN LEVEL 3	-		
A106	FLOOR PLAN LEVEL 1	-		
A107	FLOOR PLAN LEVEL 2	-		
A108	FLOOR PLAN LEVEL 3	-		
A111	FLOOR PLAN LEVEL 1	-		
A112	FLOOR PLAN LEVEL 2	-		
A113	FLOOR PLAN LEVEL 3	-		
A200	ENLARGED UNITS	-		
A201	ENLARGED UNITS	-		
A202	ENLARGED UNITS	-		
A300	EXTERIOR ELEVATIONS	-		
A301	EXTERIOR ELEVATIONS	-		
A302	EXTERIOR ELEVATIONS	-		
A303	EXTERIOR ELEVATIONS	-		
A304	EXTERIOR ELEVATIONS	-		

STRUCTURAL FOUNDATION

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

MECHANICAL

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

CIVIL

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

STRUCTURAL FRAMING

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

ELECTRICAL

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

LIFE SAFETY

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

PLUMBING

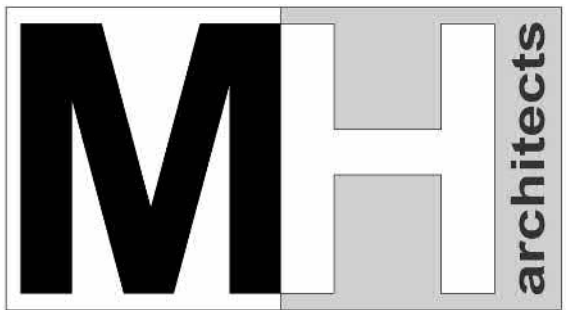
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FIRE ALARM

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FIRE PROTECTION

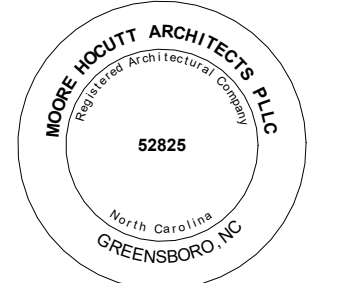
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**DRAWING SHEET
INDEX**

G101

NCHFA PRE-APPLICATION
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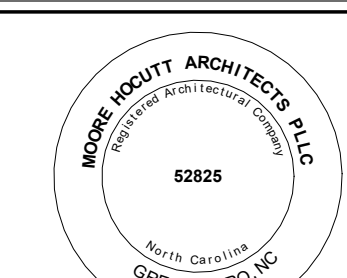
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ABBREVIATIONS

SYMBOL DENOTES ABBREVIATION IN TEXT OR KEYNOTES. SOME ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.

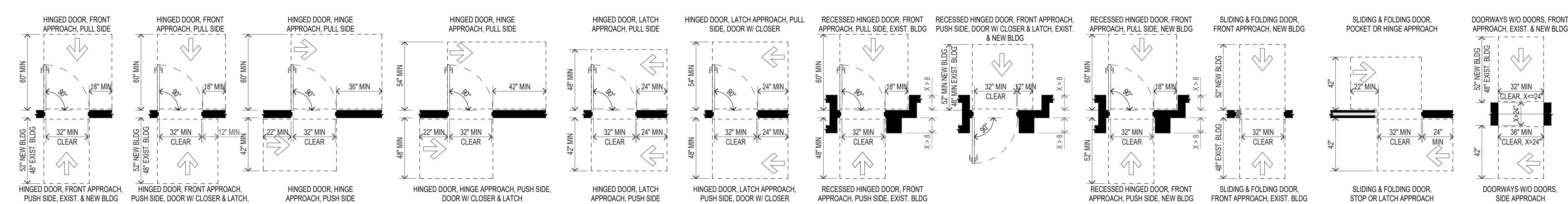
ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION
"(X)"		CONC	CONCRETE	FLG	FLORING	LBL	LABEL	PORT	PORTABLE	SV	SHEET VINYL
"(X)"	DENOTES FIRST LETTER IN THE GROUP	COND	CONDITION, CONDENSATE	FLR	FLOOR	LBR	LUMBER	PP PL	PUSH / PULL PLATE	SW	SIDEWALK, SWITCH
#	NUMBER	CONF	CONFERENCE	FLR PL	FLOOR PLATE	LDG	LOADING, LANDING	PR	PAIR	SYMM	SYMBOL
&	AND	CONN	CONNECT, CONNECTION	FLUOR	FLUORESCENT	LH	LENGTH	PRE-W	PRE-ENGINEERED WALL	SYMM	SYMMETRICAL
+/-	APPROXIMATELY	CONSTR	CONSTRUCTION	FM	FLOOR MAT	LG	LEFT HAND(ED)	PREFAB	PREFABRICATE(D)	SYS	SYSTEM
@	AT	CONT	CONTINUE, CONTINUOUS	FN	FENCE	LIN	LINER	PREFIN	PREFINISHED	(T)	
L	ANGLE	CONTR	CONTRACTOR	FOC	FACE OF CONCRETE	LKR	LOCKER	PREFMD	PREFORMED	T&G	TONGUE AND GROOVE
Ø	DIAMETER	COORD	COORDINATE	FOF	FACE OF FINISH	LLD	LEAD-LINED DOOR	PRELIM	PRELIMINARY	TAN	TANGENT
(A)		CORR	CORRIDOR	FOM	FACE OF MASONRY	LLH	LONG LEG HORIZONTAL	PRKG	PARKING	TB	TOWEL BAR
A/C UNIT	AIR CONDITIONING UNIT	CPT	CARPET	FOS	FACE OF STUD	LLO	LONG LEG OUT	PRM	PRIMER(ED)	TEL	TELEPHONE
AB	ANCHOR BOLT	CRCMF	CIRCUMREFERENCE	FOW	FACE OF WOOD / WALL	LLV	LONG LEG VERTICAL	PROJ	PROJECT	TEMP	TEMPERED, TEMPORARY
ABV	ABOVE	CRES	CORROSIVE RESISTANCE STEEL	FP	FIRE PARTITION, FIREPROOF	LNTL	LINTEL	PT	PRESSURE TREATED, POINT	TER	TERRAZZO
ACC	ACCESSIBLE	CRS	COURSE(S)	FPFR	FIREPROOFED(ING)	LONG	LONGITUDINAL	PTD	PAPER TOWEL DISPENSER	TH	TRUSS HEAD
ACI	AMERICAN CONCRETE INSTITUTE	CS	CAST STONE	FR	FIRE RESISTANT, FRAME	LR	LIVING ROOM	PTN	PARTITION	THK	THICK(NESS)
ACPL	ACOUSTICAL PLASTER	CSK	COUNTERSUNK	FRMG	FRAMING	LS	LOWN SPRINKLER	PTR	PAPER TOWEL RECEPTICLE	THRES	THRESHOLD
ACS DR	ACCESS DOOR	CSMT	CASEMENT	FRP	FIBERGLASS REINFORCED PLASTIC	LT	LIGHT	PVC	POLYVINYL CHLORIDE	TO	TOP OF
ACS PNL	ACCESS PANEL	CT	CERAMIC TILE	FRT	FIRE RETARDANT	LT WT	LIGHTWEIGHT	PVMT	PAVEMENT	TOB	TOP OF BEAM
ACT	ACOUSTICAL CEILING TILE	CTP	CERAMIC TILE PANEL	FS	FULL SIZE	LTG	LIGHTING	PW	PASS WINDOW	TOC	TOP OF CURB, (CONCRETE)
ADA	AMERICANS W/ DISABILITIES ACT	CTR	CENTER	FSF	FIRE SAFETY	LTMG	LIGHTNING	(Q)		TOF	TOP OF SLAB
ADDM	ADDENDUM	CTS	COUNTER SINK	FSP	FIRE STAND PIPE	LVR	LOUVER	QT	QUERY TILE	TOL	TOLERANCE
ADH	ADHESIVE	CUB	CUBICLE	FTNTR	FASTEN(ER)	LWC	LIGHTWEIGHT CONCRETE	QTR	QUARTER	TOP	TOP OF PEDESTAL, (PARAPET)
ADJ	ADJACENT, ADJOINING	CV	CEILING VENT	FTG	FOOTING	(M)		QTY	QUANTITY	TOPO	TOPOGRAPHY
ADMIN	ADMINISTRATION	CVH	CONDUCTIVE VINYL HOMOGENEOUS	FURG	FURRING	MACH	MACHINE	(R)		TOS	TOP OF STEEL, (SLAB)
ADO	AUTOMATIC DOOR OPERATOR	CW	CASEWORK	FURN	FURNITURE	MAINT	MAINTENANCE	R	RADIUS, RANGE	TOW	TOP OF WALL
AFB	ABOVE FINISHED FLOOR	CYL	CYLINDER	FUTR	FUTURE	MAS	MASONRY	RAB	RABBETED	TPD	TOILET PAPER DISPENSER
AGGR	AGGREGATE	(D)		FW	FIRE WATER	MATL	MATERIAL(S)	RB	RUBBER BASE, RESILIENT BASE	TPTN	TOILET PARTITION
AHU	AIR HANDLING UNIT	D	DEPTH	FWC	FABRIC WALL COVERING	MAX	MAXIMUM	RBR	RUBBER	TR	TOILET ROOM
AIB	AIR INFILTRATION BARRIER	d	PENNY (AS IN NAIL-10d)			MB	MARKER BOARD, MACHINE BOLTS	RCP	REFLECTED CEILING PLAN	TRANS	TRANSOM, (TRANSVERSE)
ALT	ALTERNATE	DAT	DATUM			MC	MEDICAL CABINET	RD	ROOF DRAIN	TRTD	TREATED
ALUM	ALUMINIUM	DBL	DOUBLE	(G)	GAGE	MCJ	MASONRY CONTROL JOINT	RDCG	RIDGE & SANDED, TUBE STEEL	TS	TERRAZZO
ANOD	ANODIZE(D)	DBL ACT DR	DOUBLE ACTING DOOR	GALV	GALVANIZED	MCO	METAL CASED OPENING	REC	RECESSED	TSTAT	THERMOSTAT
APPD	APPROVED	DEG	DEGREE	GB	GRAB BAR	MDF	MEDIUM DENSITY FIBERBOARD	REC RM	RECREATIONAL ROOM	TV	TERRAZZO TILE RESINOUS MATRIX
APPROX	APPROXIMATE	DEM	DEMOLITION	GC	GENERAL CONTRACTOR	MDS	METAL DIVIDER STRIP	REF	REFERENCE	TT	TELEVISION
ARCH	ARCHITECTURAL, ARCHITECT	DEPR	DEPRESSION	GCSB	GYPSPUM CORE SHEATING BOARD	MECH	MECHANICAL	REFL	REFLECT	TYP	TYPICAL
ASB	ASBESTOS	DEPT	DEPARTMENT	GEN	GENERAL	MECH RM	MECHANICAL ROOM	REFR	REFRIGERATION	(U)	
ASC	ABOVE SUSPENDED CEILING	DET	DETAIL	GFE	GOVERNMENT FURN. EQUIPMENT	MED	MEDIUM	REG	REGISTER, REGLECT	UNCTR	UNDERCOUNTER
ASPH	ASPHALT	DH	DOUBLE HUNG	GFE/CI	GFE CONTRACTOR INSTALLED	MEMB	MEMBRANE	REINF	REINFORCE(D)(ING)(MENT)	UL	UNDERWRITERS LABORATORIES
ATC	ACOUSTICAL TILE CEILING	DIA	DIAMETER	GFR CONC	GLASS FIBER REINFORCED CONC.	MES	METAL EDGE STRIP	REM	REMOVE(ABLE)	UNFIN	UNFINISHED
AVG	AVERAGE	DIAG	DIAGONAL	GFR GYP	GLASS FIBER REINFORCED GYPSPUM	MEZ	MEZZANINE	REQD	REQUIRED	UNO	UNLESS NOTED OTHERWISE
AWT	ACOUSTICAL WALL TREATMENT	DIM	DIMENSION	GIP	GALVANIZED IRON PIPE	MFG	MANUFACTURING	RESIL	RESILIENT	UR	URINAL
(B)		DISP	DISPENSER	GIP	GASKET(ED)	MFR	MANUFACTURER	REST RM	RESTROOM	UTIL	UTILITY
BALC	BALCONY	DIST	DISTRIBUTION, DISTANCE	GL	GLASS	MGT	MATTE-GLAZED TILE	RET	RETURN	(V)	
BATT INSUL	BATT INSULATION	DIV	DIVISION	GL BLK	GLASS BLOCK	MH	MANHOLE	REV	REVISION	VAB	VAPOR BARRIER
BD	BOARD	DMPF	DAMP/PROOFING	GLF	GLASS FIBER	MIN	MINIMUM	RFG	ROFFING	VAR	VARIES, VARNISH
BDRY	BOUNDARY	DMT	DEMOUNTABLE	GLZ	GLAZING	MIRR	MIRROR	RGH	ROUGH	VBR	VINYL BASE
BEV	BEVEL	DN	DOWN	GLZ CMU	GLAZED CONC. MASONRY UNITS	MISC	MISCELLANEOUS	RH	ROOF HATCH, RIGHT HAND	VCT	VINYL COMPOSITION TILE
BG	BUMPER GUARD	DR	DOOR, DRAIN	GND	GROUND	ML	METAL LATH, MONOLITHIC	RHR	RIGHT HAND REVERSE	VB	VENTILATOR(TION)
BHMA	BUILDER'S HARDW. MFG'S ASSOC.	DR CL	DOOR CLOSER	GGOVT	GOVERNMENT	MLDGG	MOLDING	RK	RACK	VCT	VINYL COMPOSITION TILE
BITUM	BITUMINOUS	DRB	DRAIN BOARD	GPL	GYPSPUM LATH	MLWK	MILLWORK	RLG	RAILING	VENT	VERTICAL
BJT	BED JOINT	DS	DOWNSPOUT, DOUBLE STRENGT	GPT	GYPSPUM TILE	MO	MASONRY OPENING	RM	ROOM	VERT	VERTICAL
BKR	BACKER	DT	DRAIN TILE	GR LN	GRADE LINE	MOD	MODULAR, MODIFY, MODIFIED	RND	ROUND	VEST	VESTIBULE
BLDG	BUILDING	DWG(S)	DRAWING(S)	GRAN	GRANITE	MRB	MARBLE	RO	ROUGH OPENING	VF	VINYL FABRIC
BLKG	BLOCKING	DWLS	DOWELS	GRTG	GRATING	MRD	METAL ROOF DECKING	ROW	RIGHT OF WAY	VG	VERTICAL GRAIN
BLW	BELOW	DWR	DRAWER	GT	GROUT	MT	METAL TRESHOLD, MOUNT	RP	RETRACTABLE PARTITION	VH	VINYL HOMOGENEOUS, (SEAMLESS)
BM	BEAM, BENCH MARK	DWTR	DUMBWAITER	GUT	GUTTER	MTD	MOUNTED	RPRT	RAISED PATTERN RUBBER TILE	VIF	VERIFY IN FIELD
BO	BOTTOM OF	DX	DIRECT EXPANSION	GVL	GRAVEL	MTRF	METAL FURRING	RS	RESILIENT SHEET	VIN	VINYL
BOT	BOTTOM	(E)		GWT	GYPSPUM WALL TILE	MTL	METAL	RSR	RISER	VJ	V-JOINT(ED)
BR	BEDROOM	E	EAST	GYP	GYPSPUM	MULL	MULLION	RT	RESILIENT TILE	VOL	VOLUME
BRCG	BRACING	EA	EACH	GYP BD	GYPSPUM BOARD	MVBL	MOVABLE	RTF	RUBBER TILE FLOOR	VP	VENEER PLASTER
BRG PL	BEARING PLATE	EB	EXPANSION BOLT	GYP PLAS	GYPSPUM PLASTER	MWF	MEMBRANE WALL FLASHING	RUBB	RUBB(ED) CONCRETE	VS	VENT STACK
BRK	BRICK	EF	EACH FACE	(H)		(N)		RVS	REVERSE	VT	VINYL TILE
BRKT	BRACKET	EIFS	EXTERIOR INSUL. & FINISH SYSTEM	HC	HOSE BIB	N	NORTH	RVT	RIVET	VTR	VENT THRU ROOF
BS	BOTH SIDES	EJ	EXPANSION JOINT	HB	HOLLOW CORE	NREQD	NOT REQUIRED	RWC	RAINWATER CONDUCTOR	VWC	VINYL WALL COVERING
BSMT	BASEMENT	EL	ELEVATION GRADE OR BUILDING	HCP	HANDICAPPED	NA	NOT APPLICABLE	(S)		(W)	
BTWN	BETWEEN	ELEV	ELEVATOR, ELEVATION BUILDING	HD	HEAD, HEAVY DUTY	NAT	NATURAL	S	SOUTH	W	WEST, WATT
BUR	BUILT-UP ROOFING	EMBMT	EMBEDMENT	HDBD	HARDBOARD	NFFPA	NATIONAL FIRE PROT. ASSOCIATION	SAFB	SOUND ATTENUATION FIBRE	WS	WOMEN'S
BW	BOTH WAYS	EMER	EMERGENCY	HDJT	HEAD JOINT	NIC	NOT IN CONTRACT	SAN	SANITARY	W	WITH
(C)		ENCL	ENCLOSE(URE)	HDPE	HIGH DENSITY POLYETHYLENE	NL	NAILABLE	SB	SPLASH BLOCK	WC	WHEELCHAIR
C/C	CENTER TO CENTER	ENGR	ENGINEER(ING)	HDR	HEADER	NO	NUMBER, NORMALLY OPEN	SC	SOLID CORE	W/O	WITHOUT
CAB	CABINET	ENTR	ENTRANCE, ENTERING	HDW	HARDWARE	NOM	NOMINAL	SCHED	SCHEDULE	WWW	WALL TO WALL
CB	CATCH BASIN, CONTROL BOX	EP	ELECTRIC PANEL BOARD	HDWD	HARDWOOD	NSF	NET SQUARE FEET	SCR	SCREW	WBL	WOOD BLOCKING
CBB	CEMENTITIOUS (BACKER) BOARD	EPRF	EXPLOSION PROOF	HES	HIGH EARLY-STRENGTH CEMENT	NTS	NOT TO SCALE	SCRN	SCREEN	WC	WATER CLOSET
CBP	COMPOSITE BUILDING PANEL	EPY	EPOXY COATING	HGT	HEIGHT	(O)		SCRT	STRUCTURAL CLAY TILE	WCO	WOOD CASED OPENING
CD	CONSTRUCTION DOCUMENTS	EQ	EQUAL	HK	HOOK(S)	OBSC	OBSCURE	SCUT	SCUTTLE	WD	WOOD, WOOD DOOR
CDR	CARD READER	EQUIP	EQUIPMENT	HM	HOLLOW METAL	OC	ON CENTER	SD	STORM DRAIN, SMOKE DETECTOR	WDSP	WASTE DISPOSER
CEM	CEMENT	ESCAL	ESCALATOR	HNDRL	HANDRAIL	OD	OUTSIDE DIAMETER	SECT	SECTION	WDW	WINDOW
CEM PLAS	CEMENT PLASTER	EST	ESTIMATE(D)	HORIZ	HORIZONTAL	OF	OUTSIDE FACE	SECY	SECRETARY	WF	WIRE FLANGE, WIDE FLANGE
CER	CERAMIC	EW	EACH WAY	HR	HOUR	OFI	OWNER FURN. CONTR. INSTALLED	SFG	SAFETY GLASS	WH	WALL HUNG
CFE	CONTRACTOR FURN. EQUIPMENT	EWC	ELECTRIC-WATER COOLER	HS	HIGH STRENGTH	OFD	OWNER FURN. CONTR. INSTALLED	SG	SHEET GLASS	WH	WALL HUNG
CFI	CONTRACTOR FURN. & INSTALLED	EXC	EXCAVATE	HSGYP	HIGH STRENGTH GYPSPUM PLASTER	OFF	OFFICE	SGL	SINGLE	WKSHP	WORK SHOP
CFL	CONDUCTIVE FLOORING	EXD	EXIT DEVICE	HSKPG	HOUSEKEEPING	OFI	OFFICE	SHR	SHOWER	WM	WIRE MESH, WALK OFF MAT
CFLG	COUNTERFLASHING	EXIST	EXISTING	HT	HEIGHT	OFI	OWNER FURNISHED & INSTALLED	SHT	SHEET	WP	WEATHERPROOF(ING), WALL PROTECTION
CG	CORNER GUARD	EXP	EXPANSION	HVAC	HEATING, VENTIL. & AIR CONDIT.	OH	OVERHEAD	SHTHG	SHEATHING	WR	WASTE RECEPTACLE
CH BD	CHALKBOARD	EXP BT	EXPANSION BOLT	HWH	HOT WATER HEATER	OJ	OPEN-WEB JOIST	SHV	SHELVING	WRB	WARDROBE
CHFR	CHAMFER	EXT	EXTERIOR	(I)		OPH	OPPOSITE HAND	SIM	SIMILAR	WSC	WAINSCOT
CHIM	CHIMNEY	EXTR	EXTRUDED	IBC	INTERNATIONAL BUILDING CODE	OPNG	OPENING	SKLT	SKYLIGHT	WT	WEIGHT, WINDOW TREATMENT
CHK	CHECK	IC	INTERCOM	IN	INSIDE DIAMETER	OPP	OPPOSITE	SLNT	SEALANT	WTH	WIDTH
CIP	CAST-IN-PLACE	ID	INSIDE DIAMETER	IN	INCH	OPQ	OPAQUE	SLV	SLEEVE	WWF	WELDED WIRE FABRIC
CIRC	CIRCULAR, CIRCULATION	IN	INCH	(P)		SM	SHEET METAL	SP FIN	SPECIAL FINISH	WMM	WOVEN WIRE MESH
CJ	CONTROL, (CONSTRUCTION) JOINT	INCL	INCLUDED	P	POLE	SP	SPECIAL FINISH	SPC	SPACER	(X)	
CKD	CHECKERED	INSF	INSULATING FILL	PAR	PARAPET, PARALLEL	SPCL	SPECIAL(TIES)	SPCL	SPECIAL(TIES)	XFMR	TRANSFORMER
CL RM	CLASSROOM	INSUL	INSULATION (INSULATED)	PASS	PASSAGE, PASSENGER	SPD	SOUNDPROOF DOOR	SPD	SOUNDPROOF DOOR	(Y)	
CL C/L	CENTER LINE	INT	INTERIOR	PBS	PANIC BAR	SPEC	SPECIFICATION	SPE	SOUNDPROOF	YD	YARD
CLG	CEILING	INV	INVERT	PBD	PARTICLE BOARD	SFP	SPACE HEATER	SFH	SPACE HEATER	YD	YARD DRAIN
CLG HT	CEILING HEIGHT	IP	IRON PIPE	PCC	PIECE	SPKR	SPEAKER	SPK	SPEAKER		
CLGL	CLEAR GLASS	(J)		PC	PRECAST CONCRETE	SPR	SQUARE	SS	SERVICE SINK, STANDING SEAM	(Z)	
CLKG	CALLKING	J-BOX	JUNCTION BOX	PCP	PORTLAND CEMENT PLASTER	SS	SERVICE SINK, STANDING SEAM	SST	STAINLESS STEEL	Z	NOT USED
CLL	CONTRACT LIMIT LINE	JF	JANITOR'S CLOSET	PERF	PERFORATE(D)	SSURF	SOLID SURFACE(ING)	STAGG	STAGGERED		
CLO	CLOSET	JST	JOINT FILLER	PERP	PERPENDICULAR	STAGG	STAGGERED	STD	STANDARD		
CLOS	CLOSURE	JT	JOINT	PH	PHASE	STG	STANDARD	STG	STANDARD		
CLR	CLEAR(ANCE)	(K)		PHAR	PHARMACY	STG	POST INDICATING VALVE	STG	STANDARD		
CLWG	CLEAR WIRED GLASS	KIT	KITCHEN	PIV	POST INDICATING VALVE	PL	PROPERTY LINE, PLATE	STIF	STIFFENER		
CMP	CORRUGATED METAL PIPE	KOP	KNOCKOUT PANEL	PL	PLATE GLASS	PL GL	PLATE GLASS	STN	STONE		
CMPST	COMPOSITE	KPL	KICK PLATE	PLAM	PLASTIC LAMINATE	PLAS	PLASTER	STOR	STORAGE		
CMPTR	COMPUTER	(L)		PLAT	PLATFORM	PLAT	PLATFORM	STR	STRINGER		
CMT	CERAMIC MOSAIC (TILE)	LAB	LABARATORY	PLK	PLANK	PLYWD	PLYWOOD	STRUCT	STRUCTURAL		
CMU	CONCRETE MASONRY UNIT	LAD	LADDER	LAM	LAMINATE(D)(ION)	PNT	PAINT(D)	STWY	STAIRWAY		
CNR	CORNER	LAM	LAMINATE(D)(ION)	LAV	LAUNDRY	POL	POLISHED	SUB FL	SUBFLOOR		
CNTR	COUNTER	LAU	LAUNDRY	LAV	LAVATORY	PORC	PORCELAIN	SUPP	SUPPORT		
CO	CLEAN OUT	LAV	LAVATORY	LB	POUND			SURF	SURFACE		
COL	COLUMN, (COLOR)	FLEX	FLEXIBLE					SUSP	SUSPENDED		
COM	COMMON										
COMB	COMBUSTION, COMBASTABLE										
COMM	COMMERCIAL, (COMMUNICATION)										

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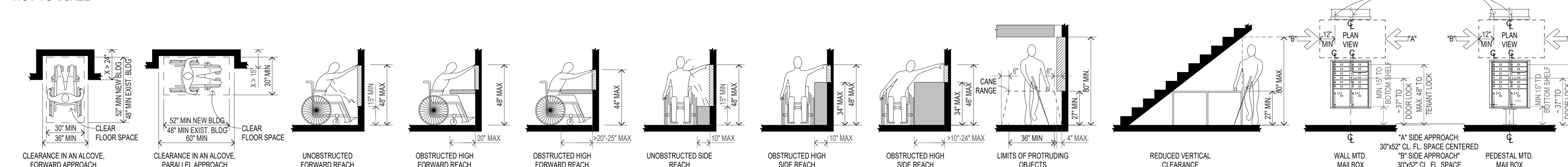


FOR REVIEW

KNIGHT'S COURT
 SENIOR LIVING APARTMENTS
 LYNWOOD ROAD
 KNIGHTDALE, NC 27545

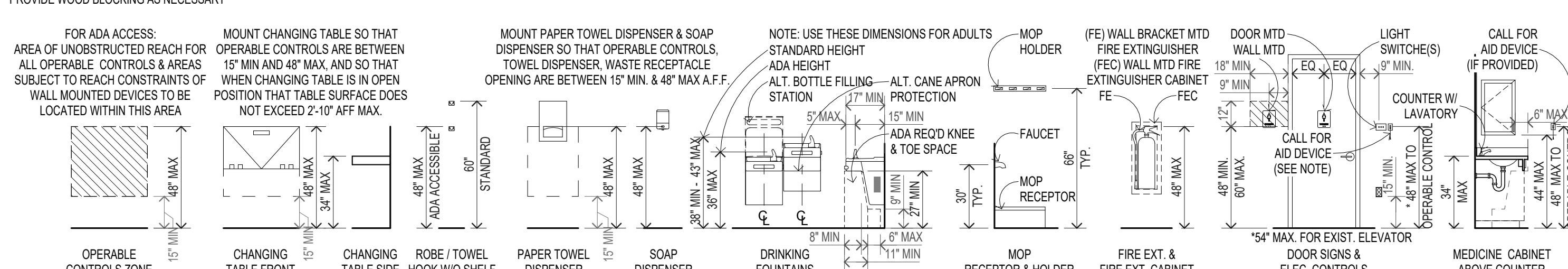


ACCESSIBLE ROUTES - OPENINGS
 NOT TO SCALE



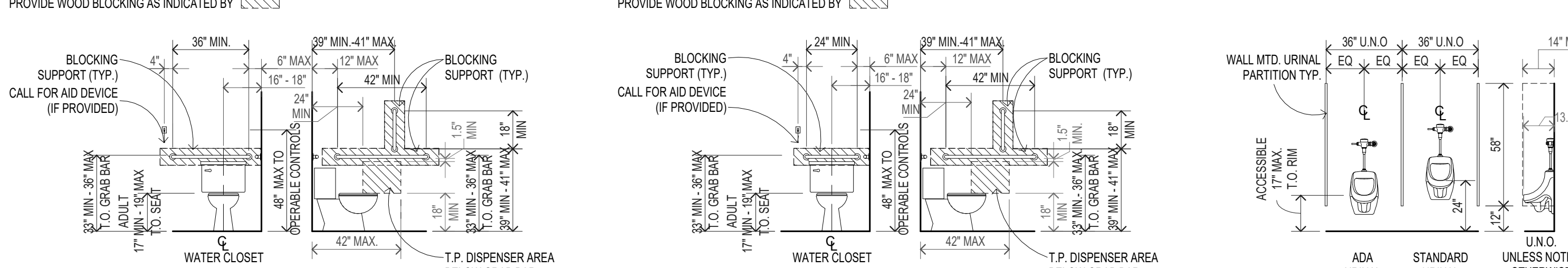
MANUEVERING SPACE & REACH RANGES
 NOT TO SCALE

NOTE: PROVIDE WOOD BLOCKING AS NECESSARY



MOUNTING HEIGHTS TYP.
 NOT TO SCALE

NOTE: PROVIDE WOOD BLOCKING AS INDICATED BY [Symbol]



TOILET FLOOR MTD. W/ TANK
 NOT TO SCALE

TOILET FLOOR MTD. W/ FLUSH, 2' GB
 NOT TO SCALE

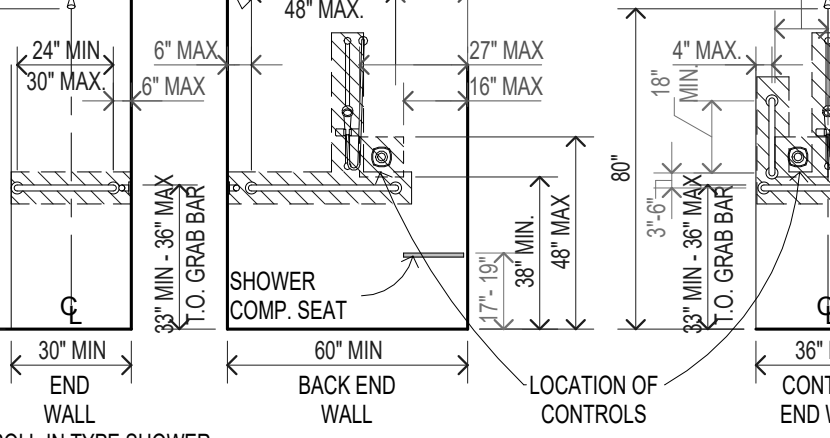
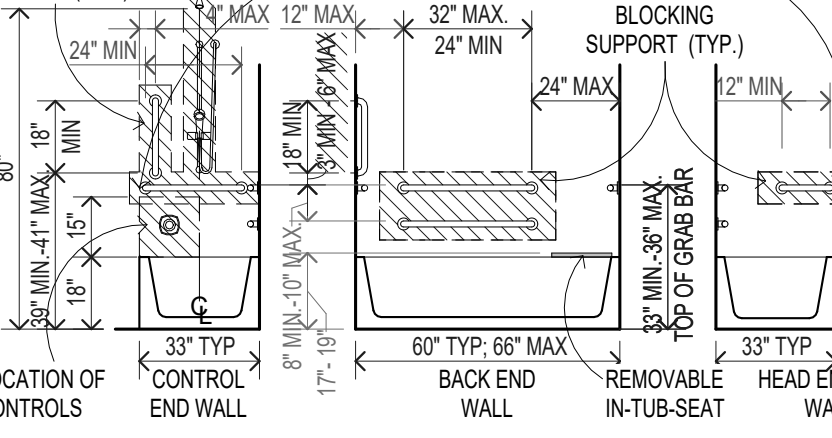
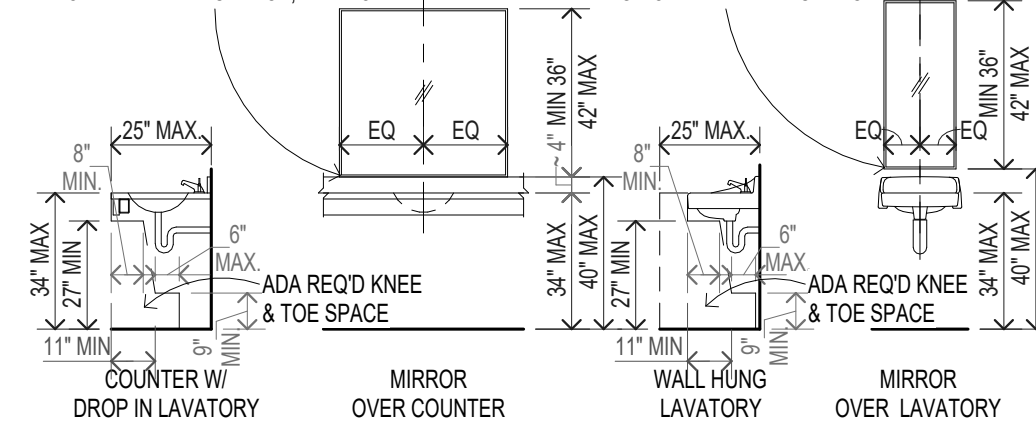
URINAL & SCREEN TYP.
 NOT TO SCALE

SHELVING HEIGHTS TYP.
 NOT TO SCALE

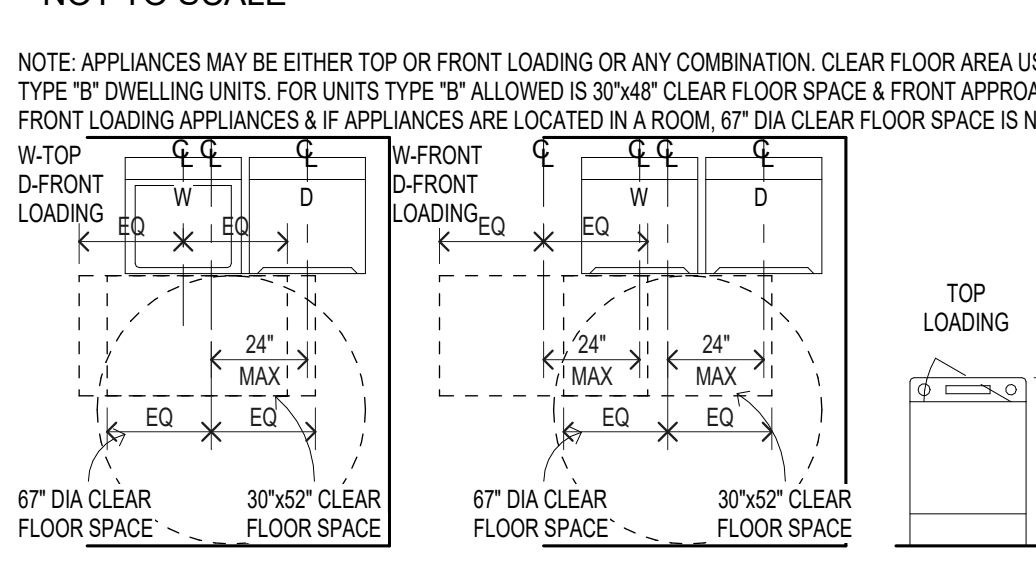
VANITY SINK & LAVATORY TYP.
 NOT TO SCALE

BATHTUB TYP.
 NOT TO SCALE

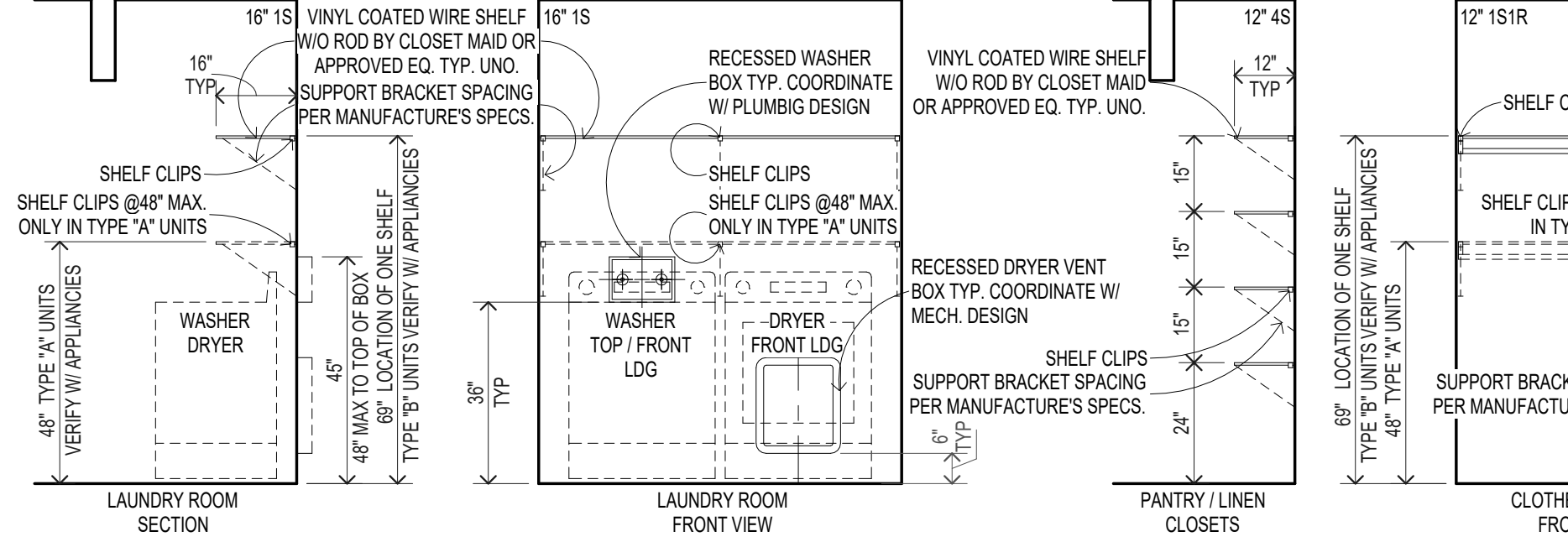
SHOWER TYP.
 NOT TO SCALE



LAUNDRY ROOM TYP.
 NOT TO SCALE



NOTE: PROVIDE BLOCKING SUPPORT (TYP.) PER MANUFACTURER'S REQ'S. TAG (16" IS) REPRESENTS DEPTH & NUMBER OF SHELVES TYP. SEE ENL. FLOOR PLANS. TAG (12" IS) REPRESENTS DEPTH & NUMBER OF SHELVES W/ RODS TYP. SEE ENL. FLOOR PLANS.



GENERAL ACCESSIBILITY NOTES

- AS PER CURRENT ICC A117.1, ALL PRIMARY ENTRY DOORS AND OTHER DOORS INTENDED FOR USER PASSAGE WITHIN A FULLY ACCESSIBLE UNIT (TYPE 'A') AND TYPE 'B' ENTRY DOORS MUST HAVE 18" CLEAR ON THE PULL SIDE OF THE DOOR. DOORS TO HABITABLE ROOMS MUST HAVE A MIN. 3'-0" DOOR & INCLUDE LEVER HARDWARE.
- IN TYPE 'A' (HC) UNITS, WHERE OPERABLE WINDOWS ARE PROVIDED IN THE LIVING ROOM, DINING ROOM AND BEDROOMS, ALL OPERABLE WINDOW IN EACH AREA MUST BE ACCESSIBLE WITH OPERATING CONTROLS AT 48" MAX AFF PER PER CURRENT ICC A117.1. WINDOW SILLS MUST BE 24" AFF WHERE OVER 72" DROP TO AREA BELOW.
- ALL OPERABLE PARTS (SWITCHES, OUTLETS, CONTROLS) IN TYPE 'A' & TYPE 'B', ACCESSIBLE DWELLING UNITS SHALL COMPLY WITH CURRENT ICC A117.1. SWITCHES AND OUTLETS ARE PROVIDED AT SIDE WALLS AND/OR BASE CABINET FRONTS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES & SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES & SINKS.
- EXPOSED PIPES UNDER SINK SHALL BE PROTECTED OR INSULATED AGAINST CONTACT. NO SHARP OR ABRASIVE SURFACES ALLOWED.
- FLUSH VALVE CONTROLS & FLUSH TANK CONTROLS POSITION SHALL BE ON THE OPEN SIDE OF THE WATER CLOSET.
- HAND OPERATED METERING FAUCETS AT LAVATORIES & SINKS SHALL REMAIN OPEN FOR MIN. 10 SECONDS.

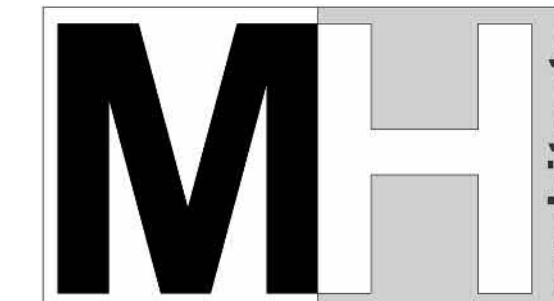
REVISIONS		
No.	Description	Date

Designed By: JRH
 Drawn By: BG
 Checked By: JRH
 Date: 01/16/2023
 Project No.: MHA-21-17

ACCESSIBILITY INFORMATION

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

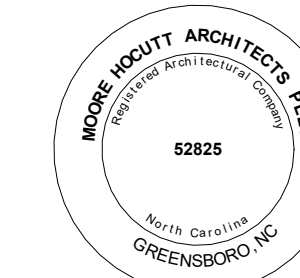
G106



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FOR REVIEW

KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

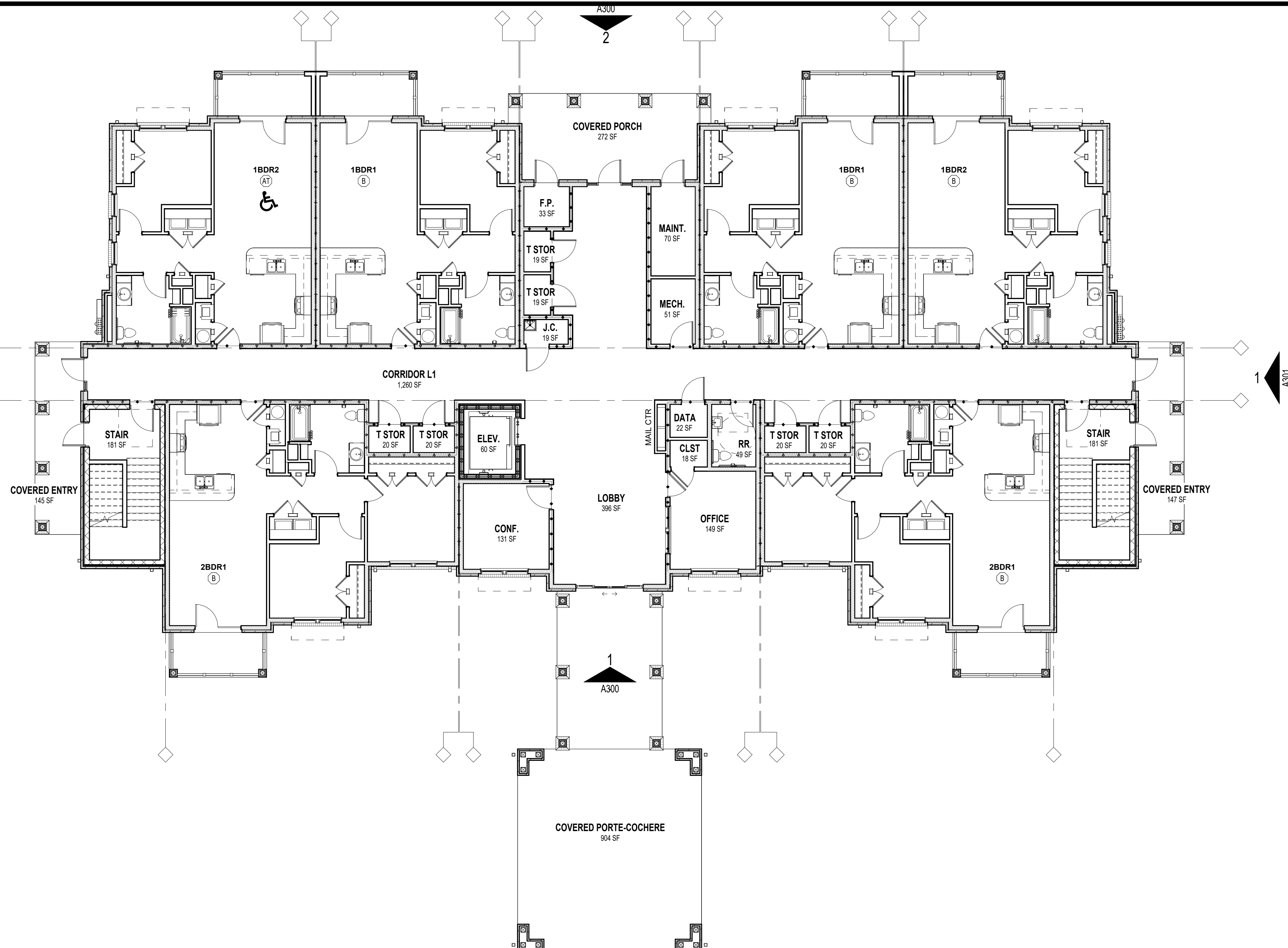
TITLE

**FLOOR PLAN
LEVEL 1**

(BUILDING TYPE "I")

A101

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
01/16/2023

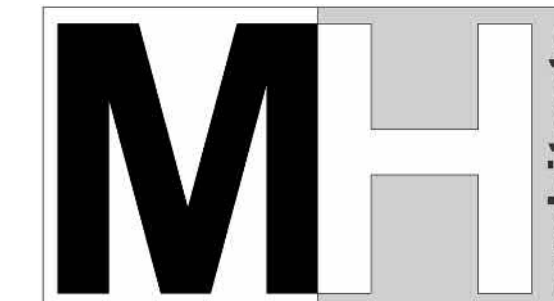


1
A101 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
- INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL-MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS REQUIRED FOR PROPER MOUNTING.
- GC TO VERIFY DIMENSIONS AND CONNECTIONS OF ALL APPLIANCES WITH THE MANUFACTURER BEFORE CASEWORK INSTALLATION.
- CASEWORK SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOE MOLD AT CABINETS TO MATCH THE COLOR OF THE CABINETS.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNO.
- ALL DOORS SHALL BE 4-1/2" OF NEAREST CORNER OR CENTERED ON PARTITION, UNO.
- ALL FINISH AND COLOR SELECTION SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT.
- MAX. THRESHOLD HEIGHT SHALL BE 1/2" TO MEET ACCESSIBILITY INCLUDING THRESHOLD.
- REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.
- WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS AND OTHER DETAILED INFORMATION IN THOSE AREAS.
- ALL INTERIOR PARTITIONS ARE NON-RATED 2x4 WOOD STUDS AT 16" O.C., UNO.
- ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
- SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
- WINDOWS MUST BE AT LEAST 4'-0" AWAY FROM 2HR. RATED FIREWALL.
- EXTERIOR WALL SHEATHING SHALL BE THE 7/16" ZIP SYSTEM, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, U.N.O. (7/16" OSB AND AIRWEATHER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, MAY BE SUBSTITUTED FOR THE "ZIP SYSTEM"). SEE STRUCTURAL DRAWINGS FOR FASTENERS AND PATTERN.
- ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

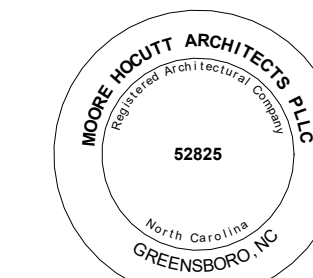
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KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

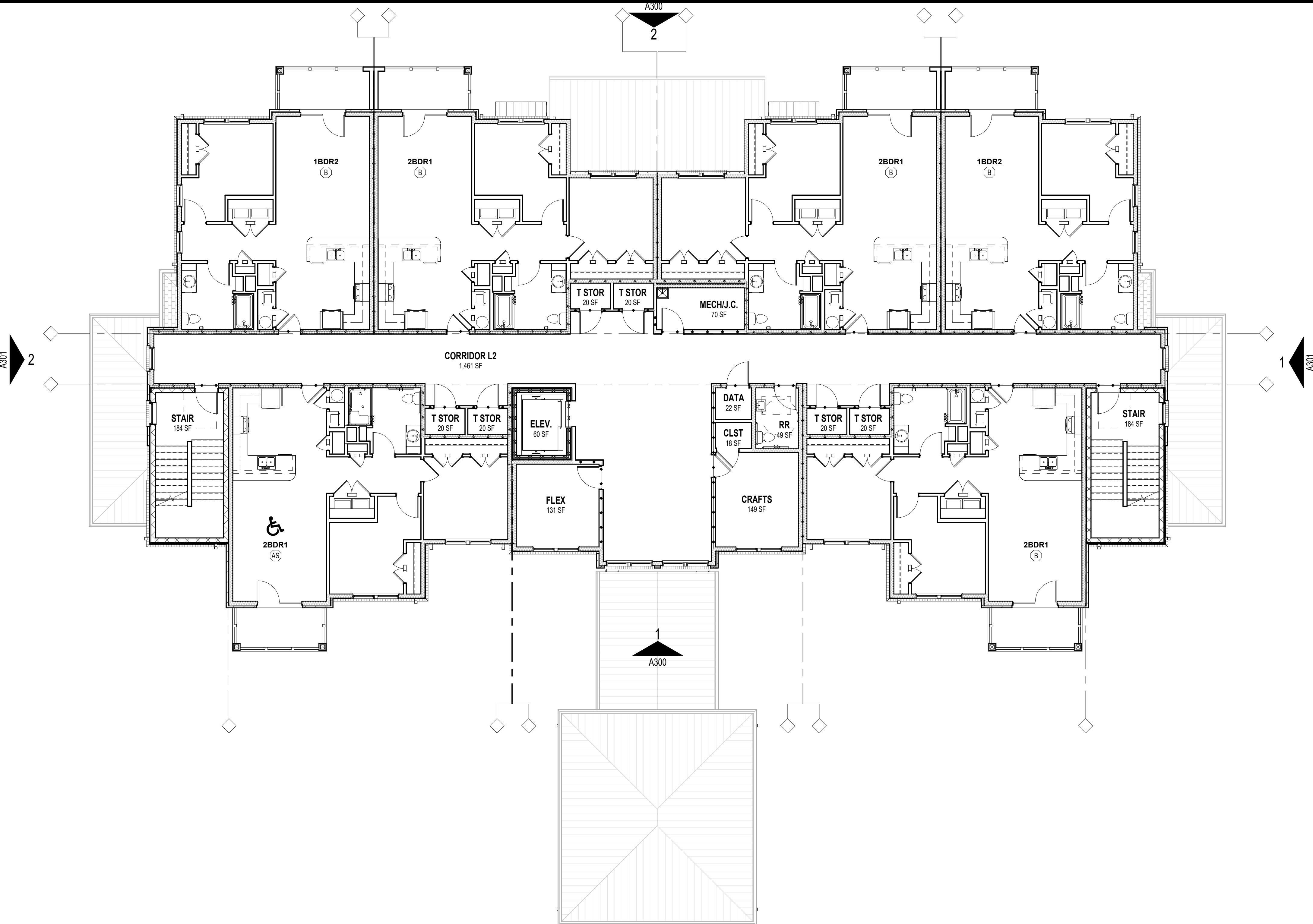
REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
FLOOR PLAN
LEVEL 2
 (BUILDING TYPE "I")

A102

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
01/16/2023

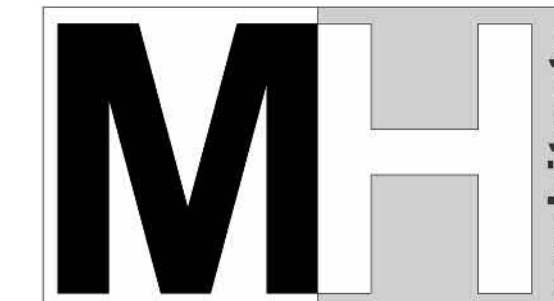


1 FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")
 A102 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
- INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL-MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS REQUIRED FOR PROPER MOUNTING.
- GC TO VERIFY DIMENSIONS AND CONNECTIONS OF ALL APPLIANCES WITH THE MANUFACTURER BEFORE CASEWORK INSTALLATION.
- CASEWORK SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOE MOLD AT CABINETS TO MATCH THE COLOR OF THE CABINETS.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNO.
- ALL DOORS SHALL BE 4-1/2" OF NEAREST CORNER OR CENTERED ON PARTITION, UNO.
- ALL FINISH AND COLOR SELECTION SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT.
- MAX. THRESHOLD HEIGHT SHALL BE 1/2" TO MEET ACCESSIBILITY INCLUDING THRESHOLD.
- REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.
- WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS AND OTHER DETAILED INFORMATION IN THOSE AREAS.
- ALL INTERIOR PARTITIONS ARE NON-RATED 2x4 WOOD STUDS AT 16" O.C., UNO.
- ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
- SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
- WINDOWS MUST BE AT LEAST 4'-0" AWAY FROM 2HR. RATED FIREWALL.
- EXTERIOR WALL SHEATHING SHALL BE THE 7/16" ZIP SYSTEM, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, U.N.O. (7/16" OSB AND AIRWEATHER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, MAY BE SUBSTITUTED FOR THE "ZIP SYSTEM"). SEE STRUCTURAL DRAWINGS FOR FASTENERS AND PATTERN.
- ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

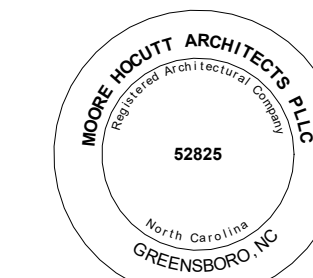
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KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

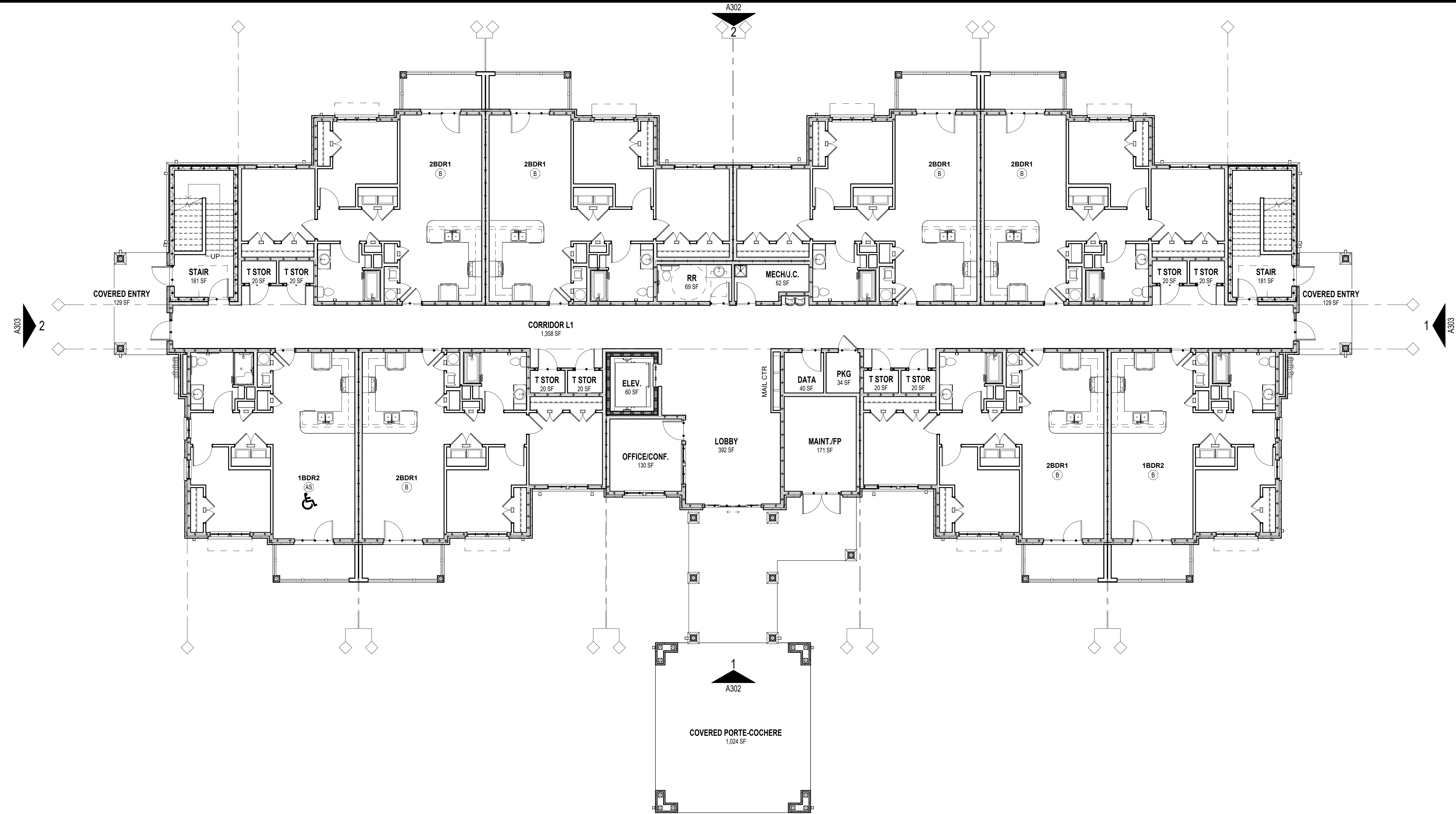
REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
FLOOR PLAN
LEVEL 1
 (BUILDING TYPE "II")

A106

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
01/16/2023

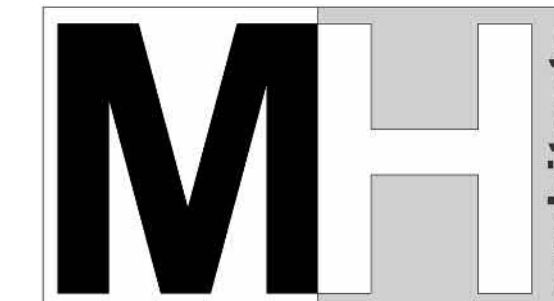


1 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")
 A106 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
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- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
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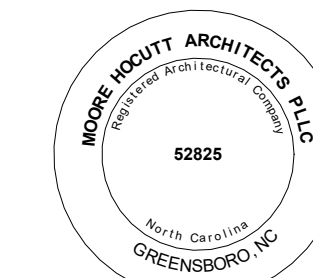
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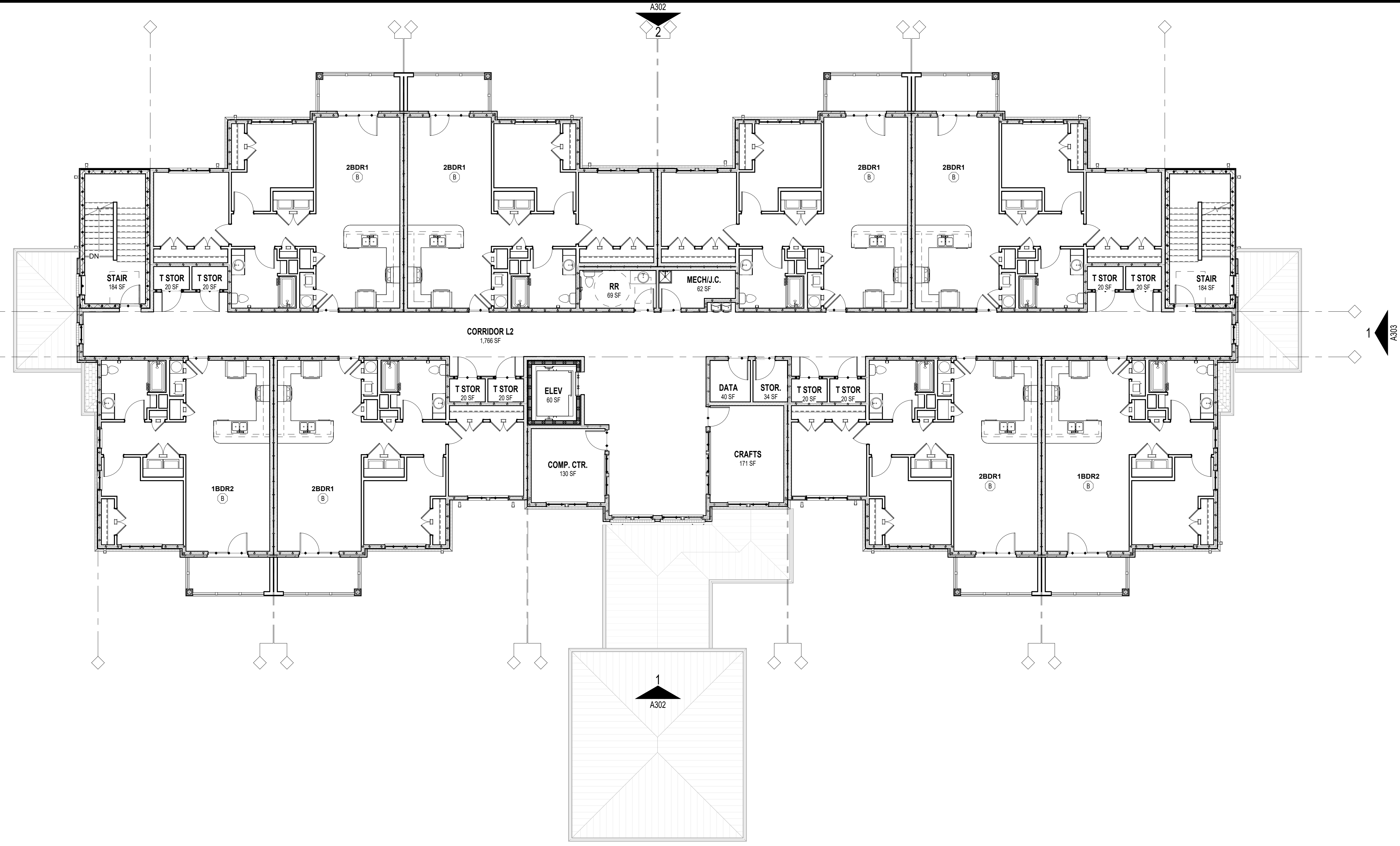
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FOR REVIEW

KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545



1 FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")
A107 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

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- ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

REVISIONS		
No.	Description	Date

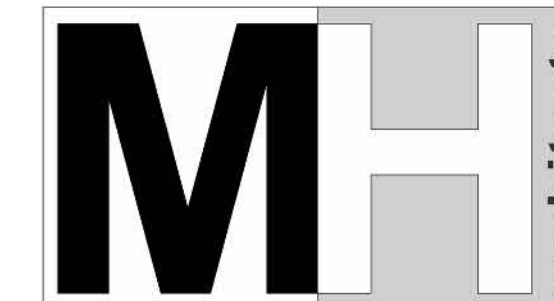
Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
FLOOR PLAN
LEVEL 2
 (BUILDING TYPE "II")

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

A107

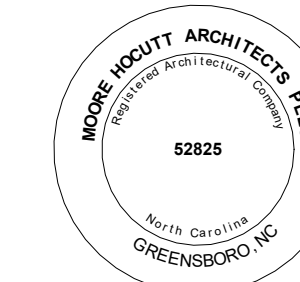
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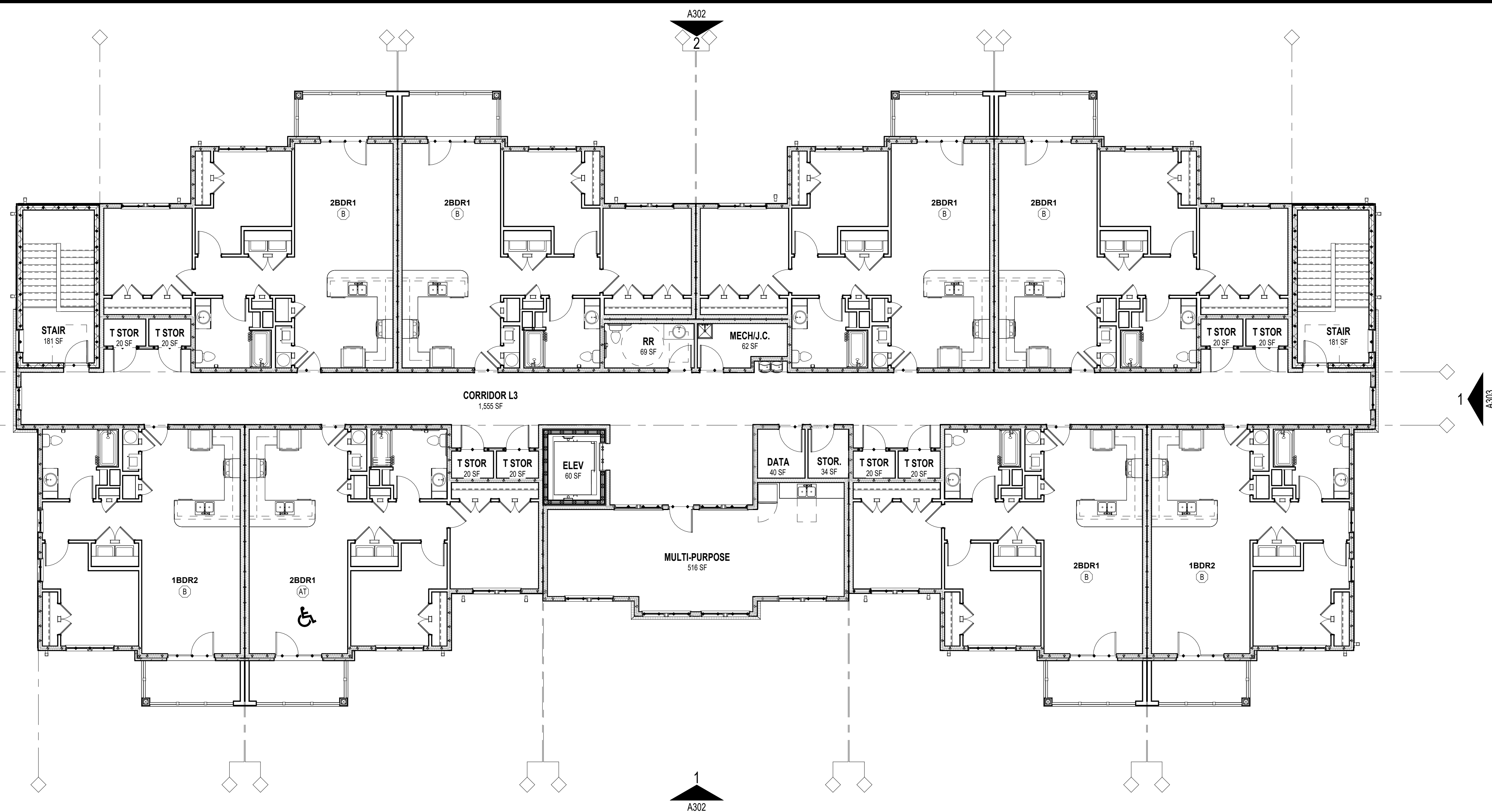
Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545



1 FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")
A108 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
- INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL-MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS REQUIRED FOR PROPER MOUNTING.
- GC TO VERIFY DIMENSIONS AND CONNECTIONS OF ALL APPLIANCES WITH THE MANUFACTURER BEFORE CASEWORK INSTALLATION.
- CASEWORK SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOE MOLD AT CABINETS TO MATCH THE COLOR OF THE CABINETS.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNO.
- ALL DOORS SHALL BE 4-1/2" OF NEAREST CORNER OR CENTERED ON PARTITION, UNO.
- ALL FINISH AND COLOR SELECTION SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT.
- MAX. THRESHOLD HEIGHT SHALL BE 1/2" TO MEET ACCESSIBILITY INCLUDING THRESHOLD.
- REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.
- WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS AND OTHER DETAILED INFORMATION IN THOSE AREAS.
- ALL INTERIOR PARTITIONS ARE NON-RATED 2x4 WOOD STUDS AT 16" O.C., UNO.
- ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
- SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
- WINDOWS MUST BE AT LEAST 4'-0" AWAY FROM 2HR. RATED FIREWALL.
- EXTERIOR WALL SHEATHING SHALL BE THE 7/16" ZIP SYSTEM, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, U.N.O. (7/16" OSB AND AIRWEATHER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, MAY BE SUBSTITUTED FOR THE "ZIP SYSTEM"). SEE STRUCTURAL DRAWINGS FOR FASTENERS AND PATTERN.
- ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

REVISIONS		
No.	Description	Date

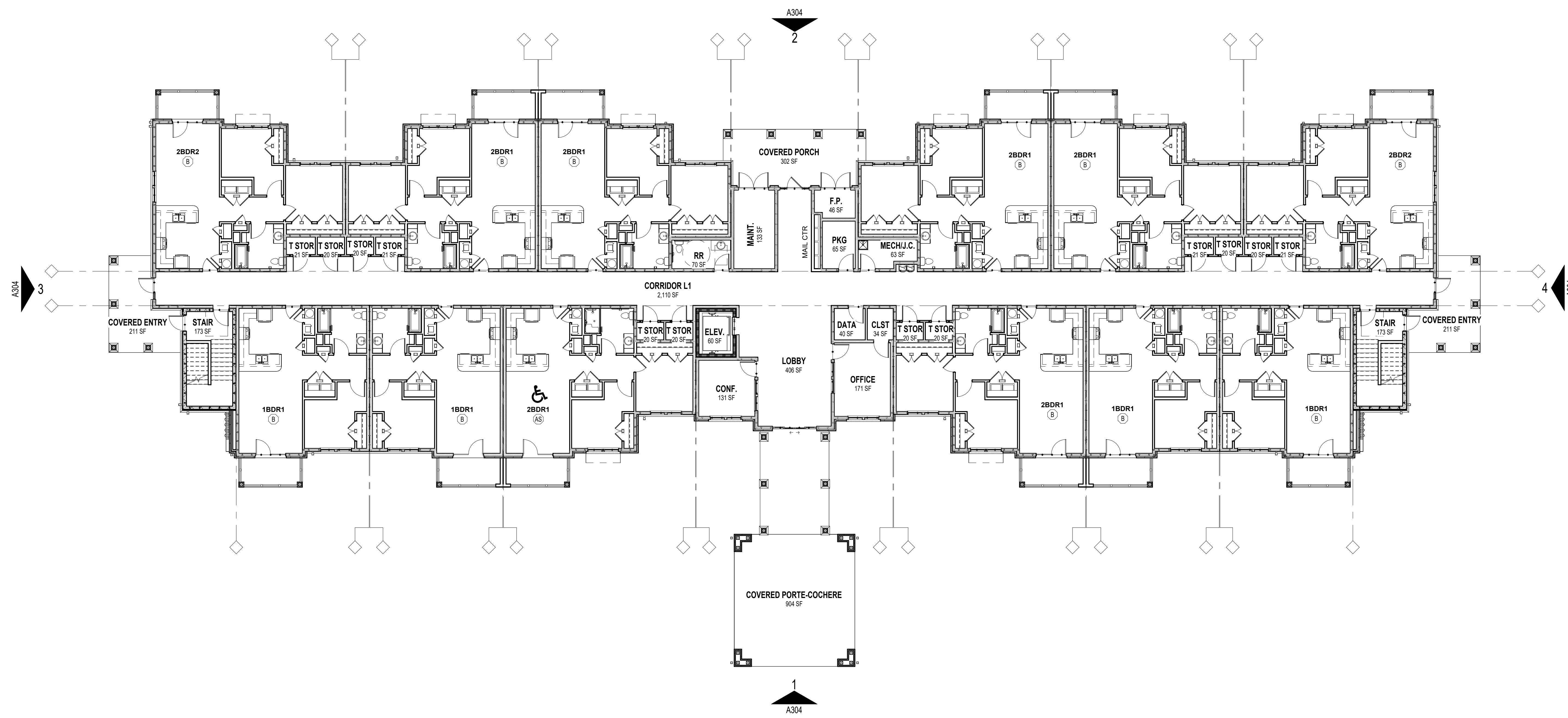
Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
FLOOR PLAN
LEVEL 3
 (BUILDING TYPE "II")

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

A108

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1 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "III")
A111 3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
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- INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
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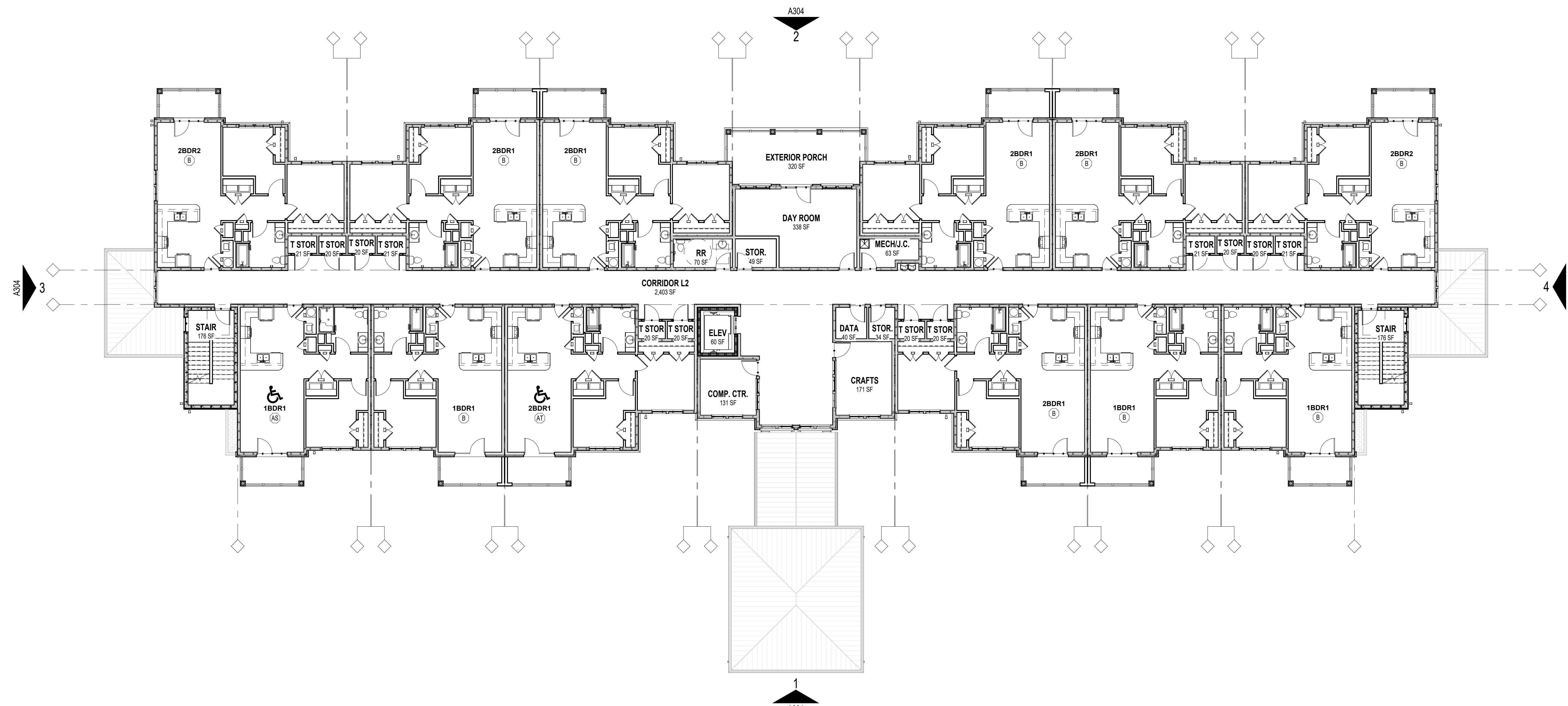
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 Project No. MHA-21-17

TITLE
FLOOR PLAN
LEVEL 1
 (BUILDING TYPE "III")

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

A111



1 FLOOR PLAN - LEVEL 2 (BUILDING TYPE "III")
A112 3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES

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- REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.
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- ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
- SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
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- ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

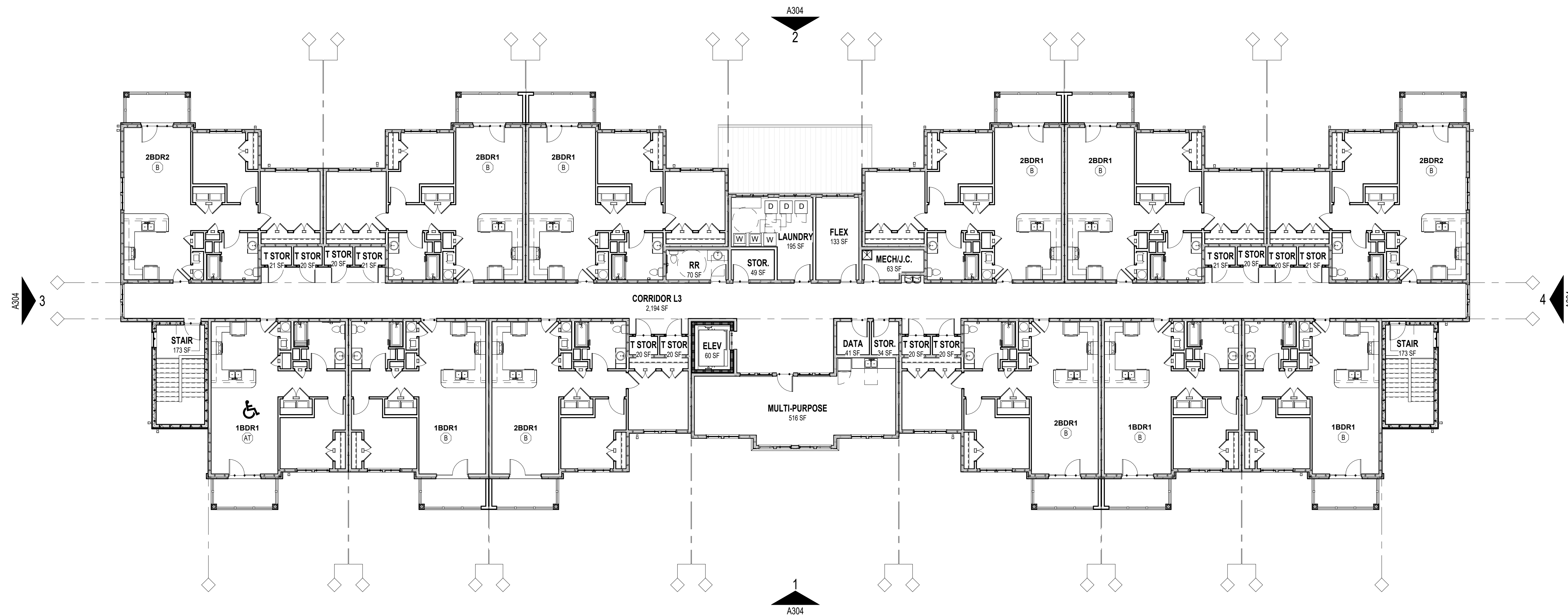
REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
FLOOR PLAN
LEVEL 2
 (BUILDING TYPE "III")

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

A112



1 FLOOR PLAN - LEVEL 3 (BUILDING TYPE "III")
A113 3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
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- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
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No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
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TITLE
FLOOR PLAN
LEVEL 3
 (BUILDING TYPE "III")

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

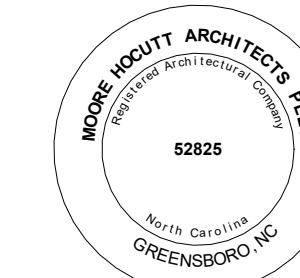
A113



MOORE HOCUTT

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FOR REVIEW

KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

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13. DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
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15. ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
16. CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
17. INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILING AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
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ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

- 01 WHERE TUB/SHOWER FIXTURES ARE INSTALLED ADJACENT TO A RATED WALL, TYPE "X" GWB, SHALL BE INSTALLED PRIOR TO TUB/SHOWER INSTALLATION. ONCE TUB/SHOWER ARE INSTALLED CONTRACTOR SHALL INSTALL A FINISH LAYER OF GWB.
- 02 CALL FOR AID STATION.
- 03 PASS - THRU GRILLE ABOVE DOOR (8"x4"). MOUNT @ 7'-6" AFF TO CENTERLINE
- 04 PASS - THRU GRILLE ABOVE DOOR (14"x8"). MOUNT @ 7'-6" AFF TO CENTERLINE.
- 05 12" CLOSET SHELF AND ROD
- 06 16" LAUNDRY SHELF
- 07 (4) 12" CLOSET SHELVES
- 08 (4) 20" PANTRY SHELVES
- 09 AIR HANDLER. (SEE MECHANICAL FOR EXACT LOCATION)
- 10 WATER HEATER. (SEE PLUMBING FOR EXACT LOCATION)
- 11 WASHER CONNECTION BOX. MOUNT @ 36" AFF TO BOTTOM OF BOX.
- 12 DRYER VENT BOX. MOUNT @ 2" FROM BOTTOM OF BOX FROM FINISH FLOOR.
- 13 MEDICINE CABINET

REVISIONS		
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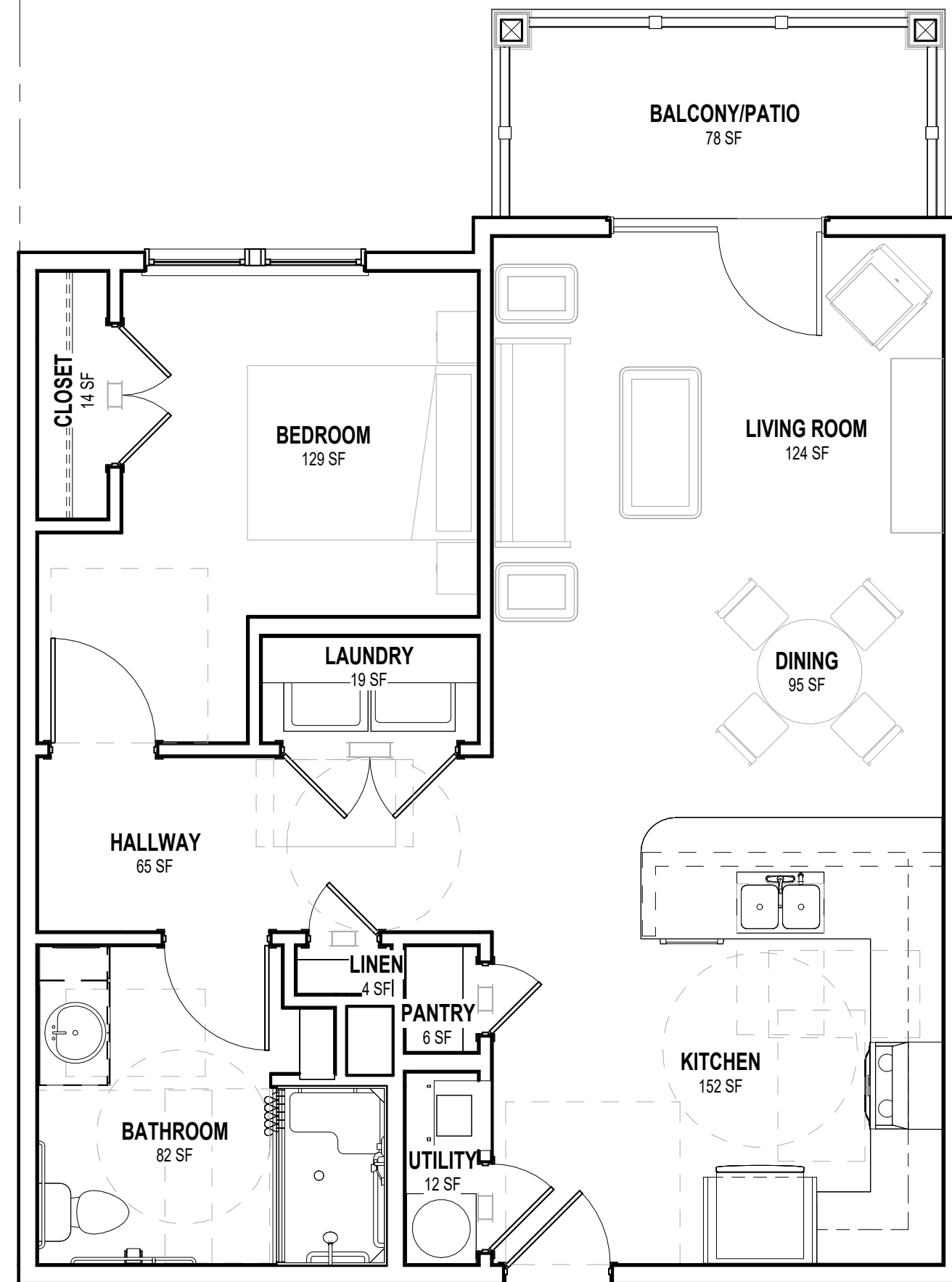
TITLE

ENLARGED UNITS

A200

**NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION**

01/16/2023

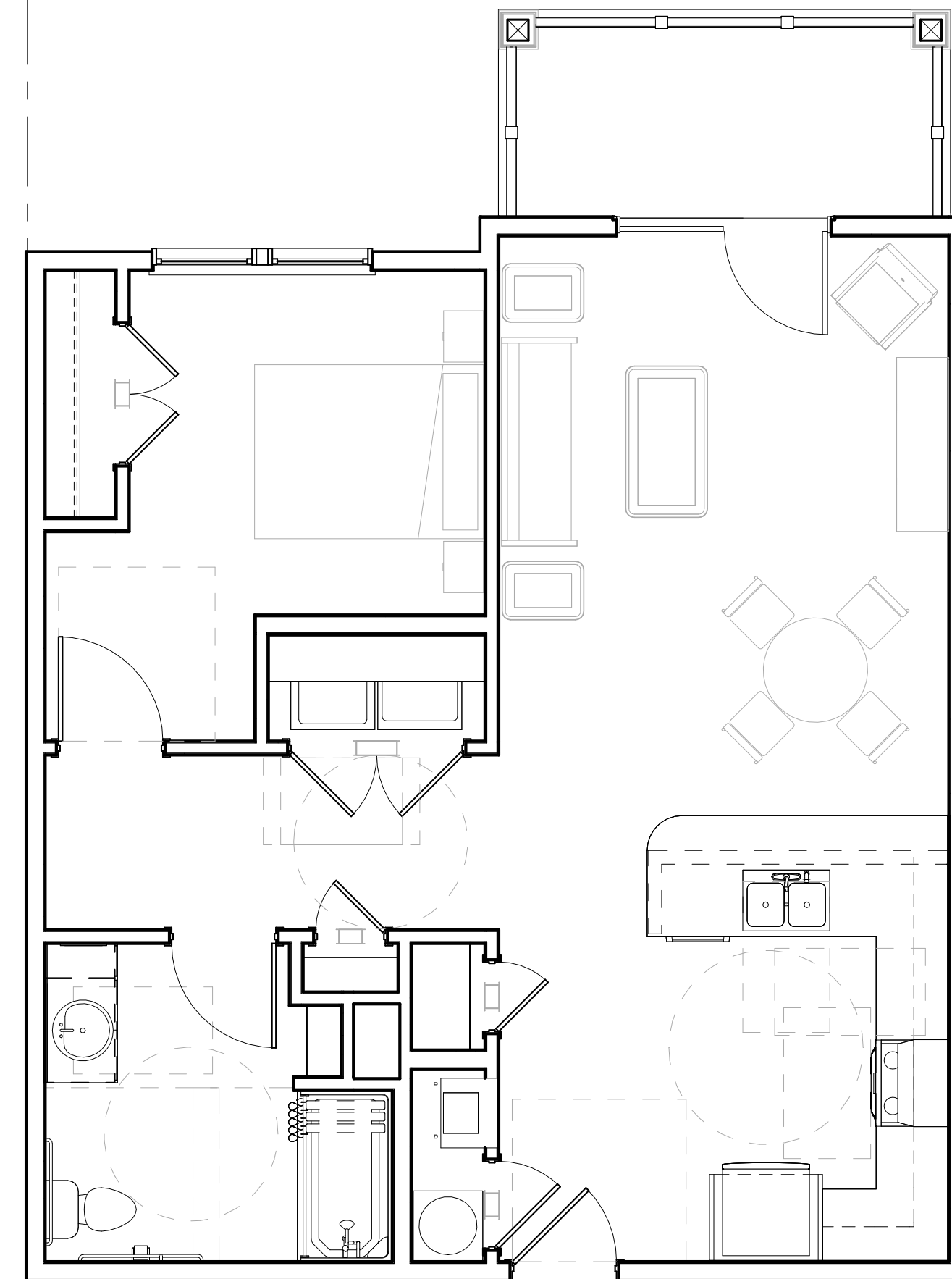


ONE BEDROOM UNIT (1BDR1) - TYPE "AS"
AUDIO VISUAL UNIT (AV)

1

A200

1/4" = 1'-0"

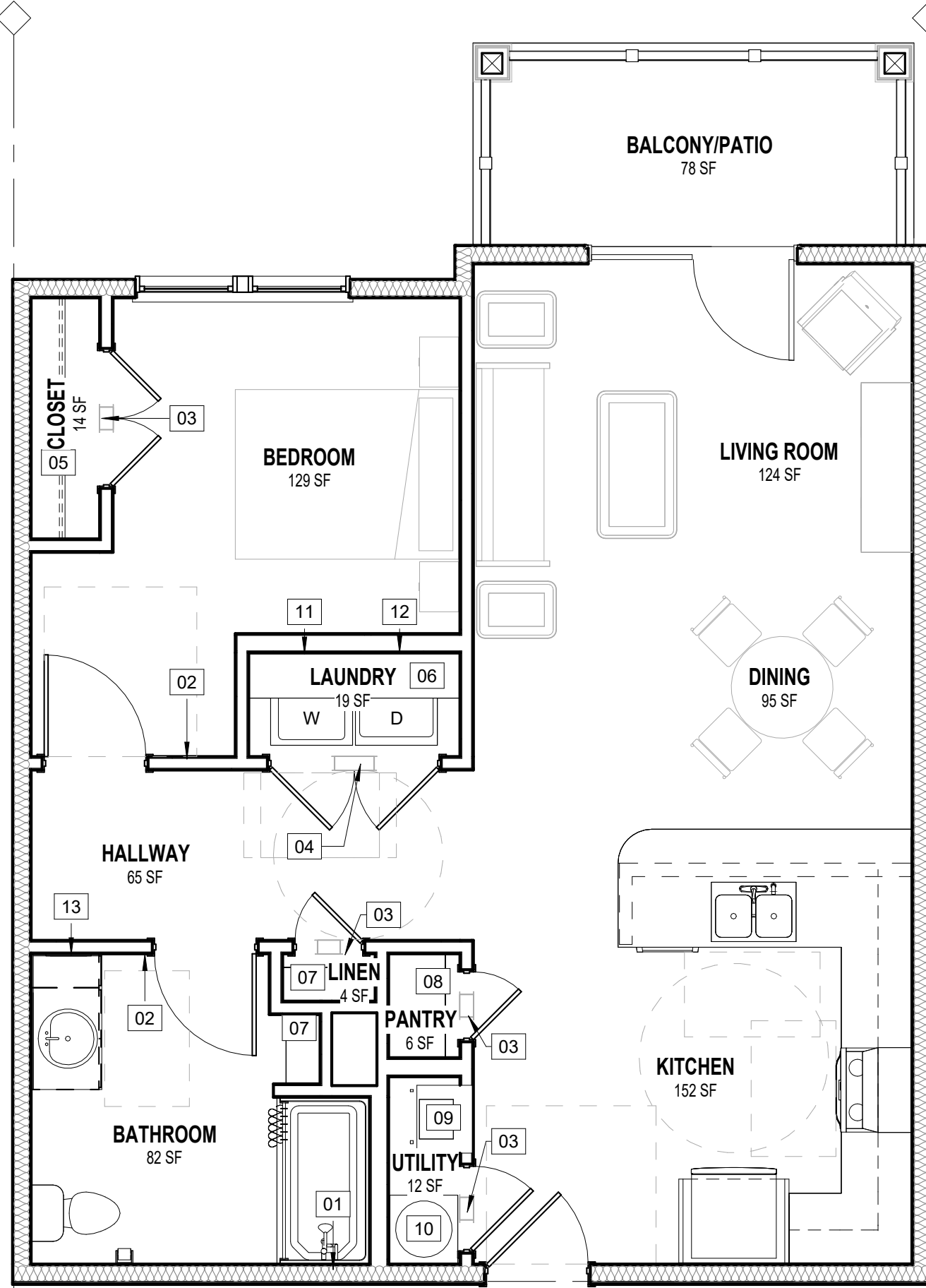


ONE BEDROOM UNIT (1BDR1) - TYPE "AT"

2

A200

1/4" = 1'-0"

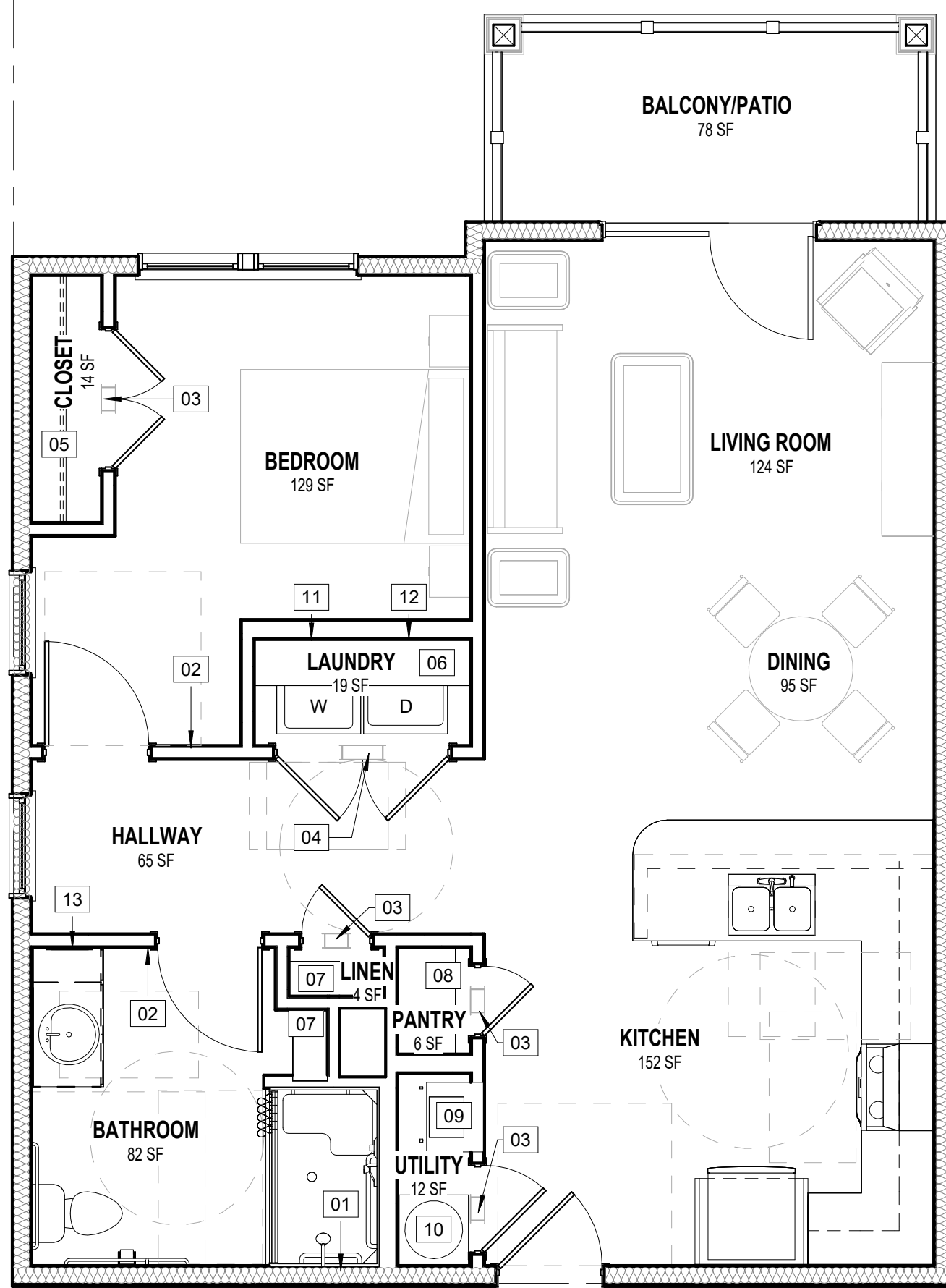


ONE BEDROOM UNIT (1BDR1) - TYPE "B"

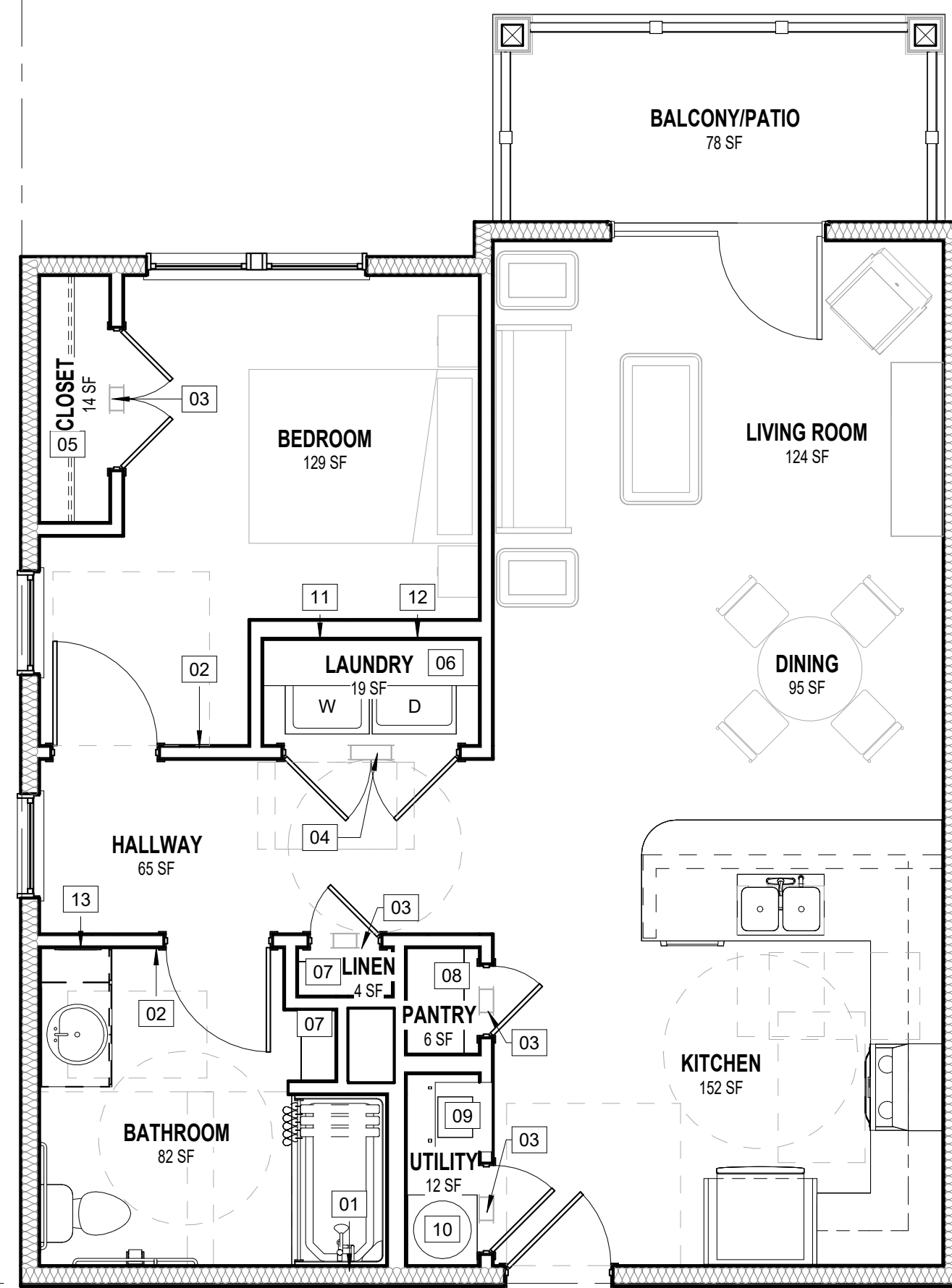
3

A200

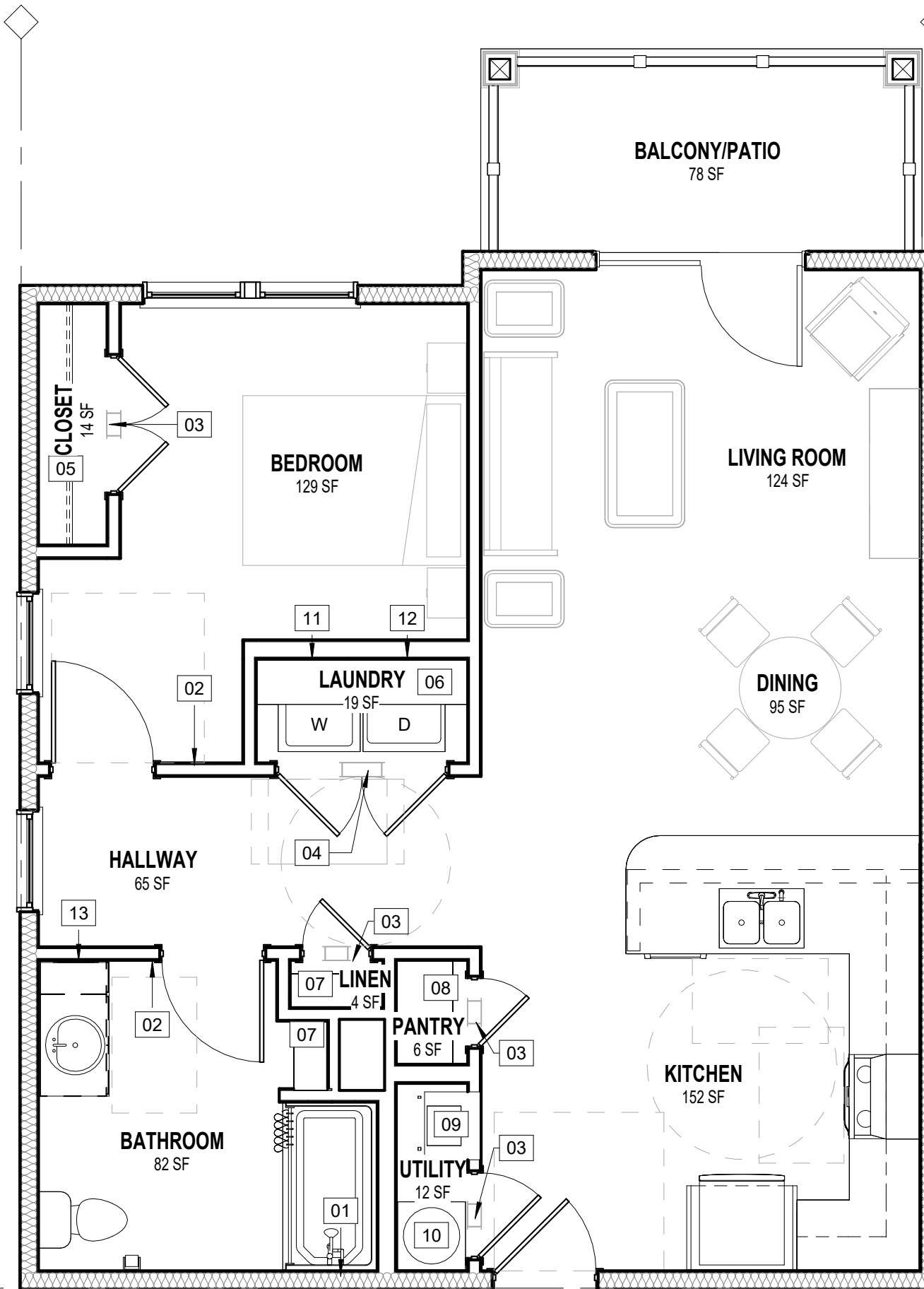
1/4" = 1'-0"



1 ONE BEDROOM UNIT (1BDR2) - TYPE "AS"
 A201 1/4" = 1'-0"



2 ONE BEDROOM UNIT (1BDR2) - TYPE "AT"
 A201 1/4" = 1'-0"



3 ONE BEDROOM UNIT (1BDR2) - TYPE "B"
 A201 1/4" = 1'-0"

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ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

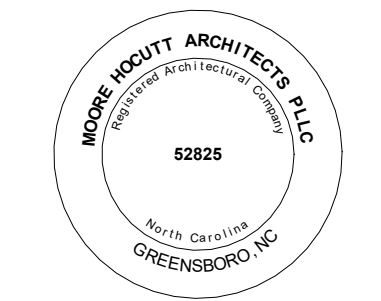
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 P 336.897.0305
 www.mharchitects.us

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FOR REVIEW

KNIGHT'S COURT
 SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
 KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
ENLARGED UNITS

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023

A201

C:\Users\Briana\Documents\REVIT LOCAL FILES\KNIGHTS COURT CENTRAL 01-06-23_bgagneFKUJH.rvt

1/17/2023 9:19:26 AM

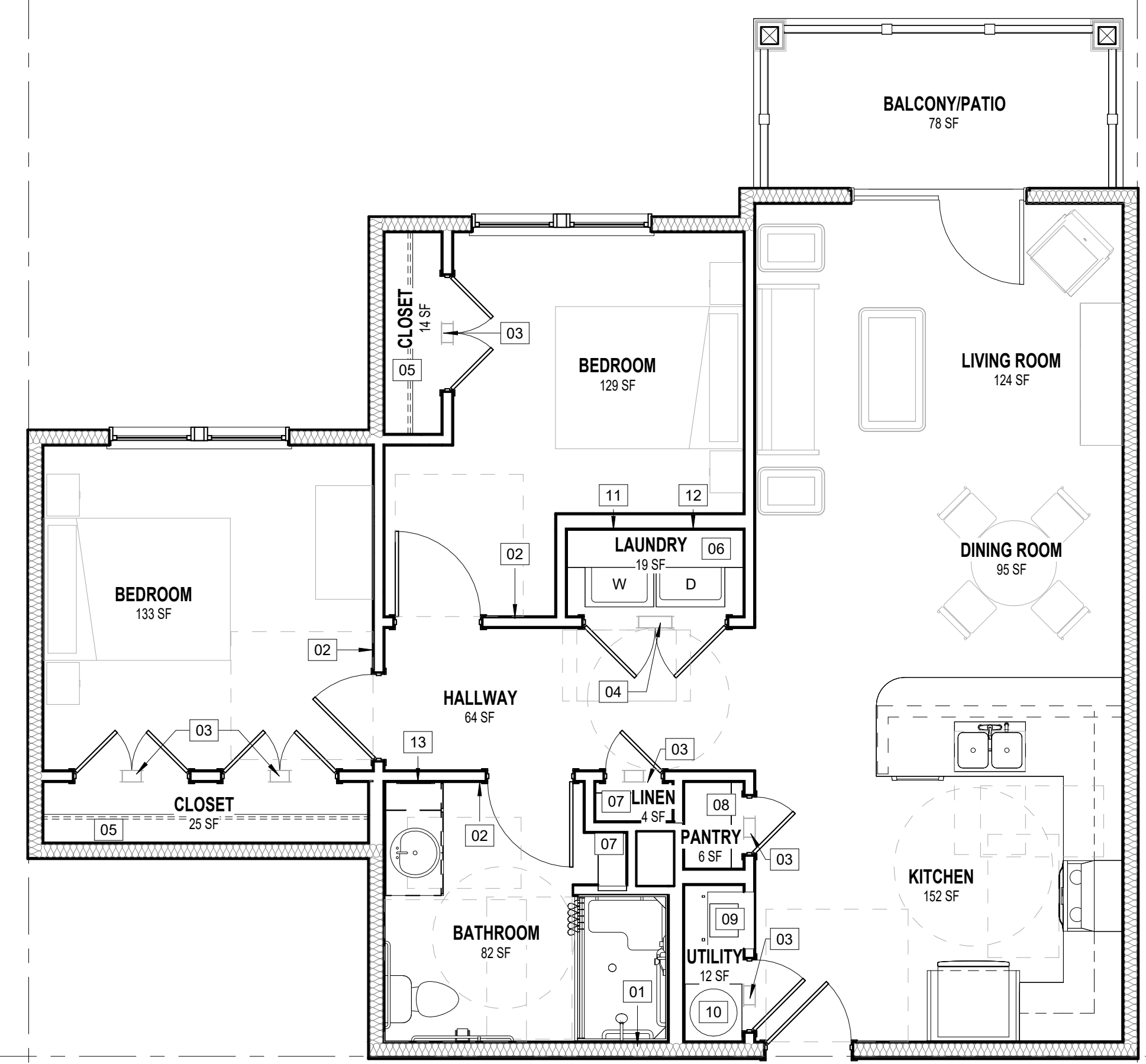
FLOOR PLAN GENERAL NOTES

- FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
- INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL-MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS REQUIRED FOR PROPER MOUNTING.
- GC TO VERIFY DIMENSIONS AND CONNECTIONS OF ALL APPLIANCES WITH THE MANUFACTURER BEFORE CASEWORK INSTALLATION.
- CASEWORK SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOE MOLD AT CABINETS TO MATCH THE COLOR OF THE CABINETS.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNO.
- ALL DOORS SHALL BE 4-1/2" OF NEAREST CORNER OR CENTERED ON PARTITION, UNO.
- ALL FINISH AND COLOR SELECTION SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT.
- MAX. THRESHOLD HEIGHT SHALL BE 1/2" TO MEET ACCESSIBILITY INCLUDING THRESHOLD.
- REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.
- WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS AND OTHER DETAILED INFORMATION IN THOSE AREAS.
- ALL INTERIOR PARTITIONS ARE NON-RATED 2x4 WOOD STUDS AT 16" O.C., UNO.
- ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
- SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP) ROOM, AND BEHIND KITCHEN SINK BASE.
- WINDOWS MUST BE AT LEAST 4'-0" AWAY FROM 2HR. RATED FIREWALL.
- EXTERIOR WALL SHEATHING SHALL BE THE 7/16" ZIP SYSTEM, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, U.N.O. (7/16" OSB AND AIR/WEATHER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, MAY BE SUBSTITUTED FOR THE "ZIP SYSTEM"). SEE STRUCTURAL DRAWINGS FOR FASTENERS AND PATTERN.
- ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

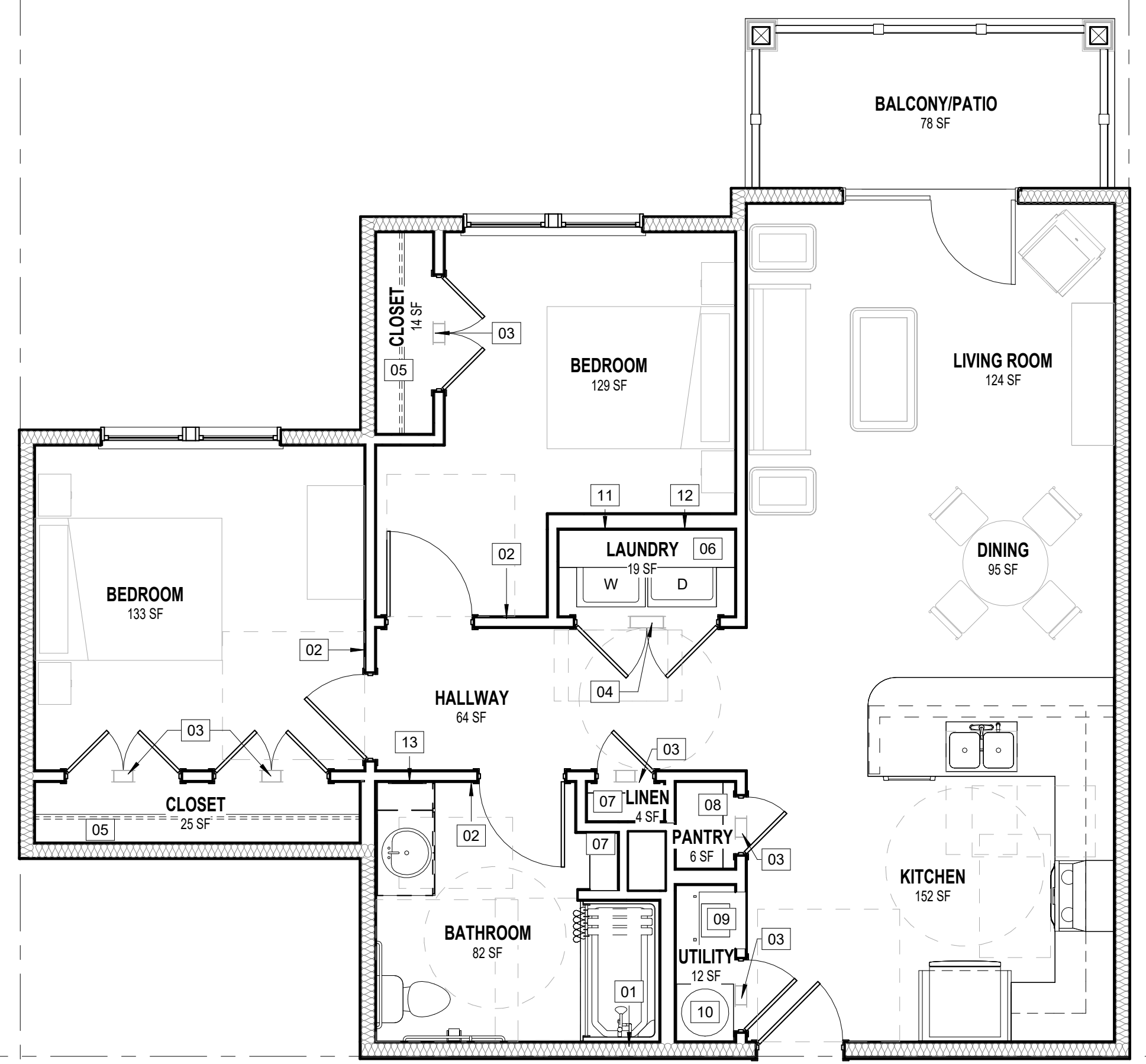
ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

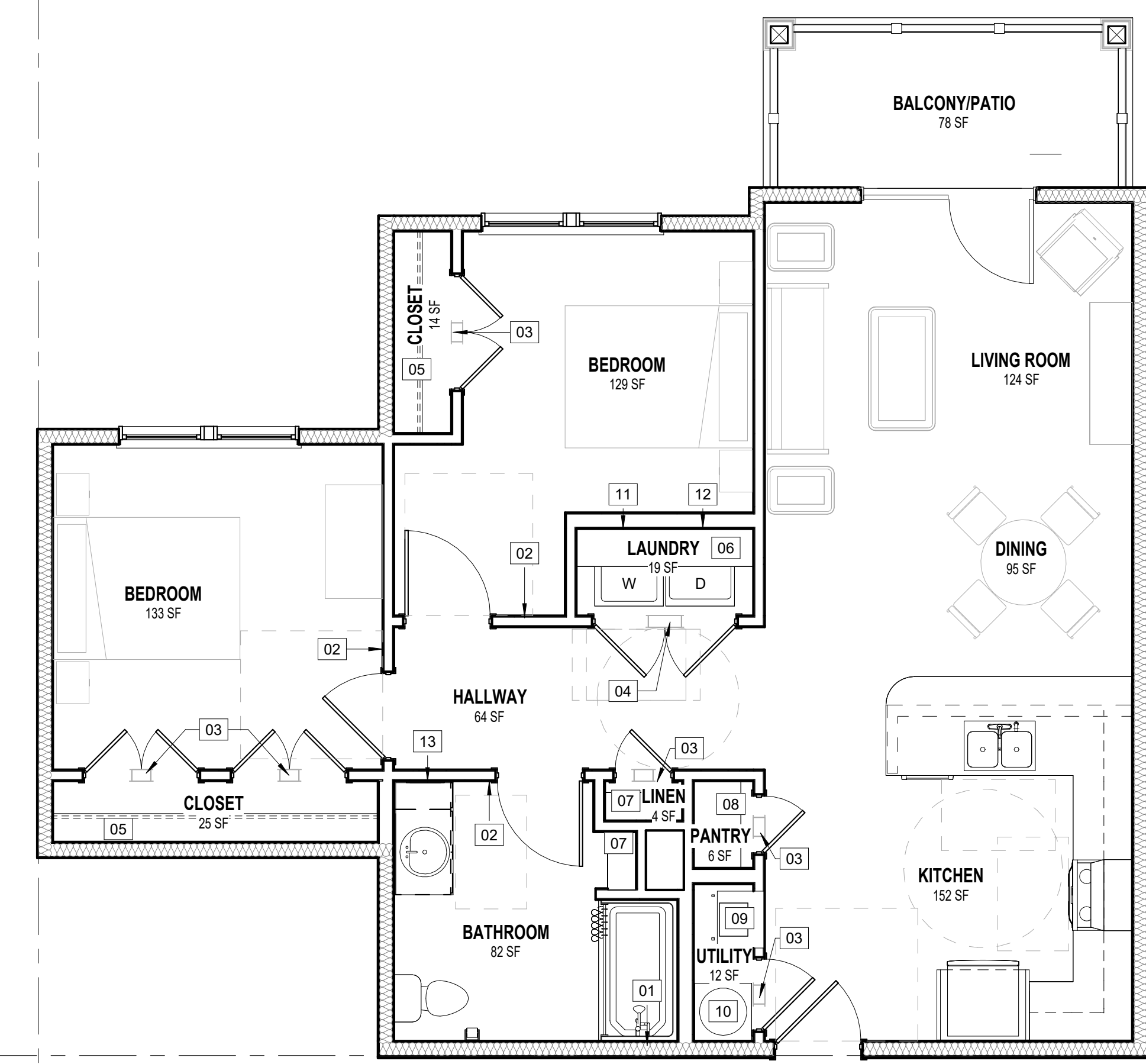
- WHERE TUB/SHOWER FIXTURES ARE INSTALLED ADJACENT TO A RATED WALL, TYPE "X" GWB, SHALL BE INSTALLED PRIOR TO TUB/SHOWER INSTALLATION. ONCE TUB/SHOWER ARE INSTALLED CONTRACTOR SHALL INSTALL A FINISH LAYER OF GWB.
- CALL FOR AID STATION.
- PASS - THRU GRILLE ABOVE DOOR (8"x4"). MOUNT @ 7'-6" AFF TO CENTERLINE
- PASS - THRU GRILLE ABOVE DOOR (14"x8"). MOUNT @ 7'-6" AFF TO CENTERLINE.
- 12" CLOSET SHELF AND ROD
- 16" LAUNDRY SHELF
- (4) 12" CLOSET SHELVES
- (4) 20" PANTRY SHELVES
- AIR HANDLER. (SEE MECHANICAL FOR EXACT LOCATION)
- WATER HEATER. (SEE PLUMBING FOR EXACT LOCATION)
- WASHER CONNECTION BOX. MOUNT @ 36" AFF TO BOTTOM OF BOX.
- DRYER VENT BOX. MOUNT @ 2" FROM BOTTOM OF BOX FROM FINISH FLOOR.
- MEDICINE CABINET



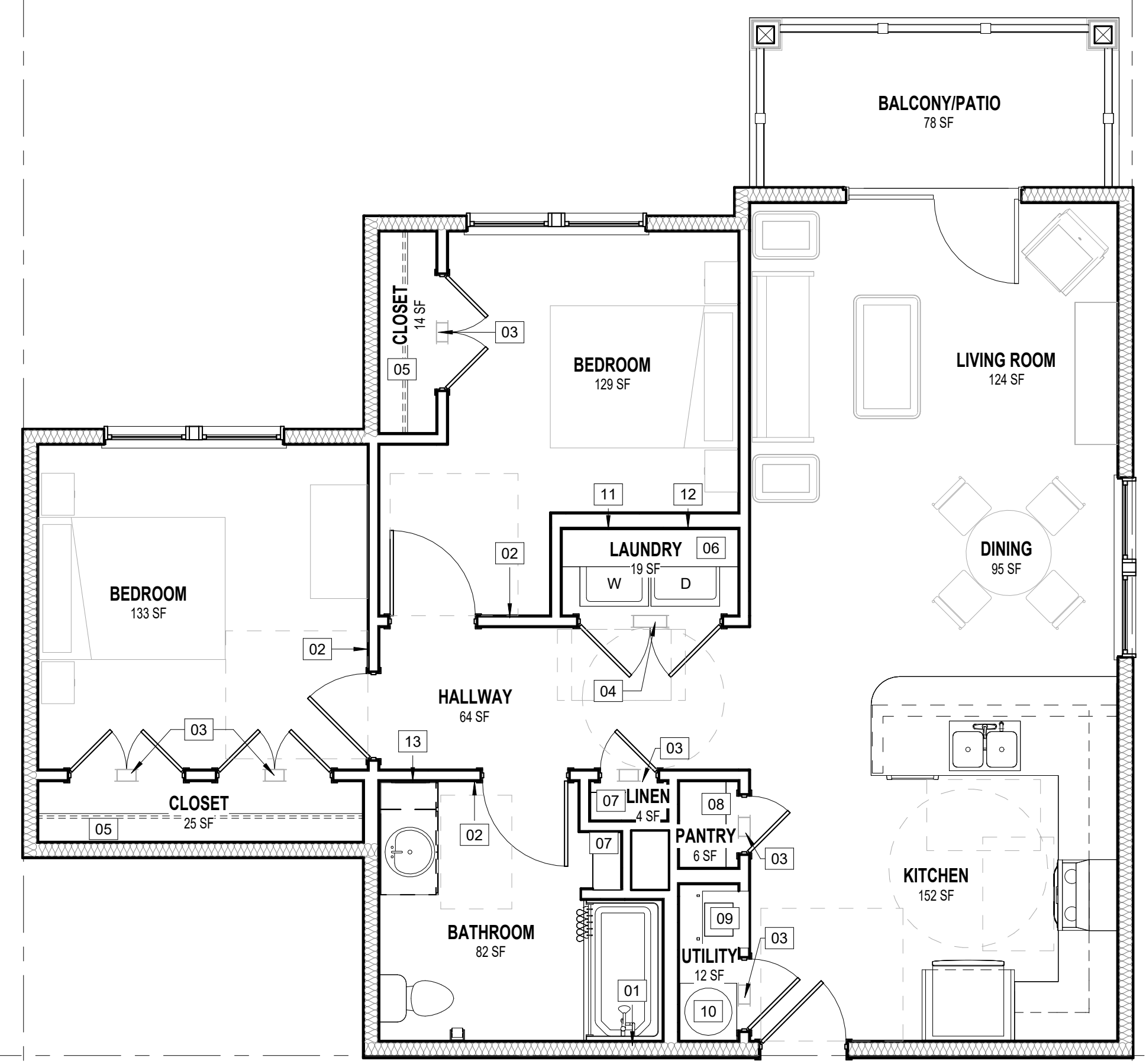
1
A202
TWO BEDROOM UNIT (2BDR1) - TYPE "AS" AUDIO VISUAL UNIT (AV)
1/4" = 1'-0"



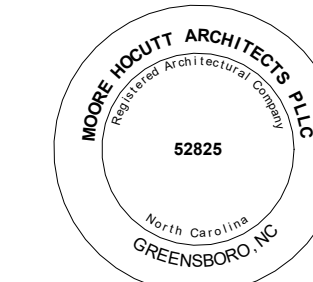
2
A202
TWO BEDROOM UNIT (2BDR1) - TYPE "AT"
1/4" = 1'-0"



3
A202
TWO BEDROOM UNIT (2BDR1) - TYPE "B"
1/4" = 1'-0"



4
A202
TWO BEDROOM UNIT (2BDR2) - TYPE "B"
1/4" = 1'-0"



FOR REVIEW

KNIGHT'S COURT SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
EXTERIOR ELEVATIONS

(BUILDING TYPE "I")

A300

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023



1 EXTERIOR ELEVATION (BUILDING TYPE "I")
 A101 | A300 1/8" = 1'-0"



2 EXTERIOR ELEVATION (BUILDING TYPE "I")
 A101 | A300 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 1X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT THE PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTH FLOW DEVICES FOR DOWNSPOUTS W/O TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30" IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH THE ADJACENT SURFACE, UNO.

- PROVIDE SOLID BLOCKING WITHIN THE WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM THE BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW, AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

GENERAL GLAZING NOTES

- ALL EXTERIOR GLAZING SHALL BE LOW-E.
- ALL INTERIOR GLAZING SHALL BE CLEAR UNLESS NOTED OTHERWISE.
- LABELED AND TEMPERED GLAZING SHALL DISPLAY A PERMANENT STAMP OR MANUFACTURER'S LABEL INDICATING THE PRODUCT.
- GLAZING SHALL MEET THE FOLLOWING CRITERIA:
 U-FACTOR = 0.45 (OR LOWER)
 SHGC = 0.25 (OR LOWER)
 GVL T = 0.55 (OR LOWER)

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT HORIZONTAL LAP SIDING.
02	FIBER CEMENT VERTICAL BOARD AND BATTEN SIDING.
03	FIBER CEMENT RAKE TRIM.
04	FIBER CEMENT TRIM (1X6).
05	FIBER CEMENT CORNER TRIM.
06	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
07	PREFINISHED ALUMINUM DOWNSPOUT.
08	PRESSURE TREATED 8X8 COLUMN WITH PVC WRAP.
09	BRICK VENEER WITH ROWLOCK.
10	BRICK ROWLOCK SILL.
11	BRICK SOLDIER HEAD.
12	BRICK VENEER WITH SOLDIER COURSE AND ROWLOCK.
13	STANDING SEAM METAL ROOF.
14	30-YEAR ARCHITECTURAL SHINGLES.
15	METAL AWNING.
16	VINYL - CLAD DOUBLE HUNG UNIT WINDOW.
17	VINYL - CLAD SINGLE HUNG UNIT WINDOW.
18	VINYL CLAD DOUBLE FIXED WINDOW.
19	VINYL GUARD RAILING.
20	ALUMINUM STOREFRONT DOOR.
21	INSULATED DOUBLE EXTERIOR DOOR.
22	INSULATED SINGLE EXTERIOR DOOR.
23	METER CENTER.

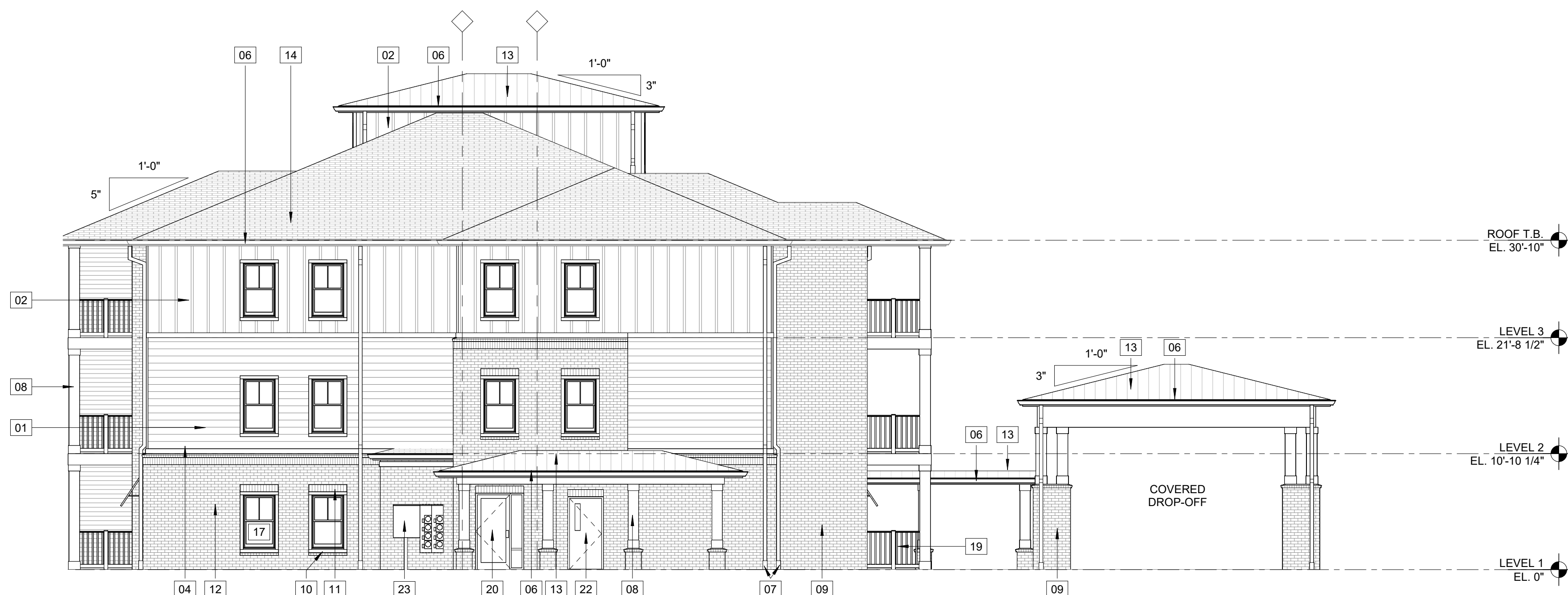
FOR REVIEW

KNIGHT'S COURT
SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545



1 EXTERIOR ELEVATION (BUILDING TYPE "I")
A101 | A301 1/8" = 1'-0"



2 EXTERIOR ELEVATION (BUILDING TYPE "I")
A101 | A301 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 1X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT THE PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTH FLOW DEVICES FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH THE ADJACENT SURFACE, UNO.

- PROVIDE SOLID BLOCKING WITHIN THE WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM THE BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW, AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
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GENERAL GLAZING NOTES

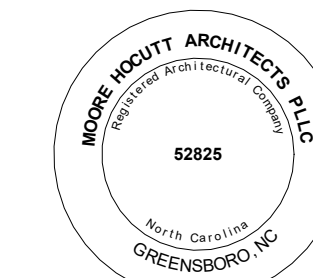
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- GLAZING SHALL MEET THE FOLLOWING CRITERIA:
U-FACTOR = 0.45 (OR LOWER)
SHGC = 0.25 (OR LOWER)
GVL T = 0.55 (OR LOWER)

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT HORIZONTAL LAP SIDING.
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07	PREFINISHED ALUMINUM DOWNSPOUT.
08	PRESSURE TREATED 8X8 COLUMN WITH PVC WRAP.
09	BRICK VENEER WITH ROWLOCK.
10	BRICK ROWLOCK SILL.
11	BRICK SOLDIER HEAD.
12	BRICK VENEER WITH SOLDIER COURSE AND ROWLOCK.
13	STANDING SEAM METAL ROOF.
14	30-YEAR ARCHITECTURAL SHINGLES.
15	METAL AWNING.
16	VINYL - CLAD DOUBLE HUNG UNIT WINDOW.
17	VINYL - CLAD SINGLE HUNG UNIT WINDOW.
18	VINYL CLAD DOUBLE FIXED WINDOW.
19	VINYL GUARD RAILING.
20	ALUMINUM STOREFRONT DOOR.
21	INSULATED DOUBLE EXTERIOR DOOR.
22	INSULATED SINGLE EXTERIOR DOOR.
23	METER CENTER.

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FOR REVIEW

KNIGHT'S COURT
 SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
 KNIGHTDALE, NC 27545



1 EXTERIOR ELEVATION (BUILDING TYPE "II")
 A106/A302 1/8" = 1'-0"



2 EXTERIOR ELEVATION (BUILDING TYPE "II")
 A106/A302 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
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- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
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- PROVIDE SOLID BLOCKING WITHIN THE WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
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- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW, AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
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- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

GENERAL GLAZING NOTES

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- LABELED AND TEMPERED GLAZING SHALL DISPLAY A PERMANENT STAMP OR MANUFACTURER'S LABEL INDICATING THE PRODUCT.
- GLAZING SHALL MEET THE FOLLOWING CRITERIA:
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 SHGC = 0.25 (OR LOWER)
 GVL T = 0.55 (OR LOWER)

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

- | MARK | KEYNOTES |
|------|--|
| 01 | FIBER CEMENT HORIZONTAL LAP SIDING. |
| 02 | FIBER CEMENT VERTICAL BOARD AND BATTEN SIDING. |
| 03 | FIBER CEMENT RAKE TRIM. |
| 04 | FIBER CEMENT TRIM (1X6). |
| 05 | FIBER CEMENT CORNER TRIM. |
| 06 | FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER. |
| 07 | PREFINISHED ALUMINUM DOWNSPOUT. |
| 08 | PRESSURE TREATED 8X8 COLUMN WITH PVC WRAP. |
| 09 | BRICK VENEER WITH ROWLOCK. |
| 10 | BRICK ROWLOCK SILL. |
| 11 | BRICK SOLDIER HEAD. |
| 12 | BRICK VENEER WITH SOLDIER COURSE AND ROWLOCK. |
| 13 | STANDING SEAM METAL ROOF. |
| 14 | 30-YEAR ARCHITECTURAL SHINGLES. |
| 15 | METAL AWNING. |
| 16 | VINYL - CLAD DOUBLE HUNG UNIT WINDOW. |
| 17 | VINYL - CLAD SINGLE HUNG UNIT WINDOW. |
| 18 | VINYL CLAD DOUBLE FIXED WINDOW. |
| 19 | VINYL GUARD RAILING. |
| 20 | ALUMINUM STOREFRONT DOOR. |
| 21 | INSULATED DOUBLE EXTERIOR DOOR. |
| 22 | INSULATED SINGLE EXTERIOR DOOR. |
| 23 | METER CENTER. |

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

TITLE
EXTERIOR ELEVATIONS

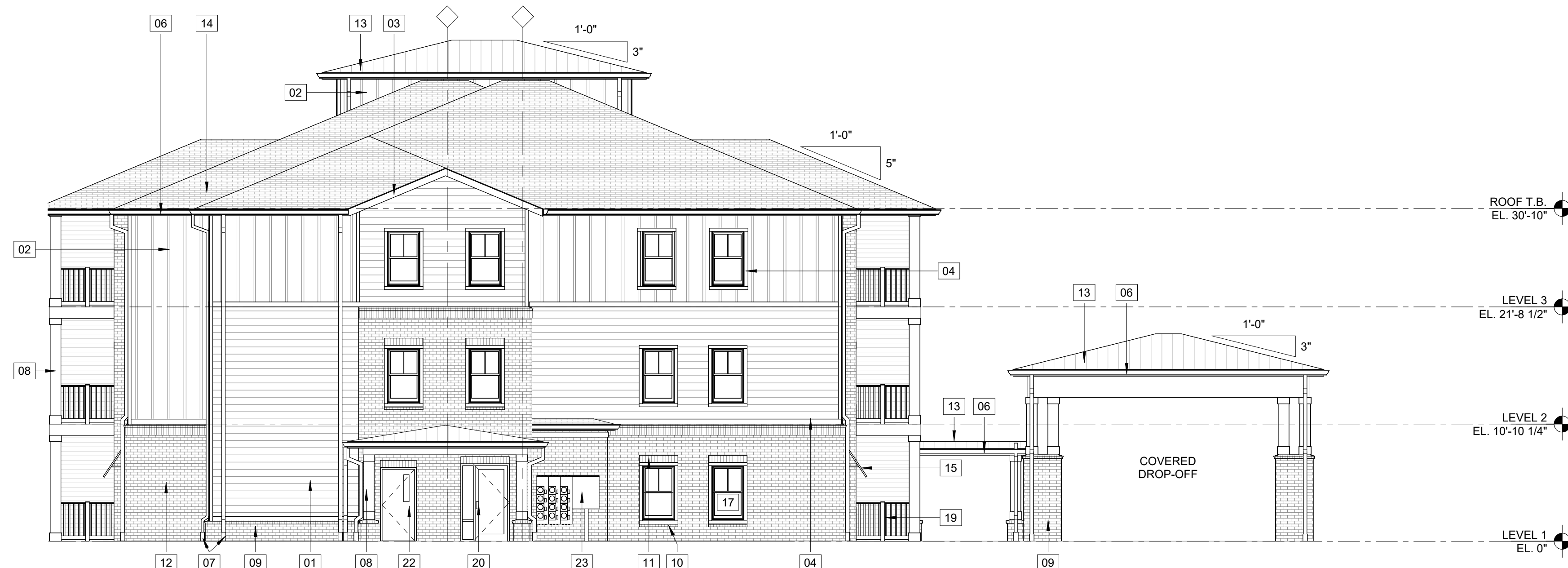
(BUILDING TYPE "II")

A302

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023



1 EXTERIOR ELEVATION (BUILDING TYPE "II")
A106 | A303 1/8" = 1'-0"



2 EXTERIOR ELEVATION (BUILDING TYPE "II")
A106 | A303 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
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- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
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- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH THE ADJACENT SURFACE, UNO.

- PROVIDE SOLID BLOCKING WITHIN THE WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM THE BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW, AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
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- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

GENERAL GLAZING NOTES

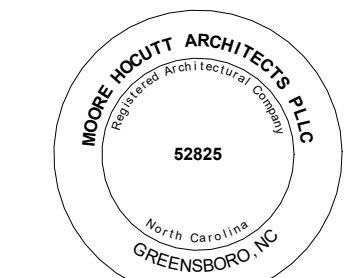
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SHGC = 0.25 (OR LOWER)
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KEYNOTES - EXTERIOR ELEVATIONS

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FOR REVIEW

KNIGHT'S COURT
 SENIOR LIVING APARTMENTS

LYNNWOOD ROAD
 KNIGHTDALE, NC 27545



1 EXTERIOR ELEVATION (BUILDING TYPE "III")
 A111|A304 3/32" = 1'-0"



2 EXTERIOR ELEVATION (BUILDING TYPE "III")
 A111|A304 3/32" = 1'-0"



3 EXTERIOR ELEVATION (BUILDING TYPE "III")
 A111|A304 3/32" = 1'-0"



4 EXTERIOR ELEVATION (BUILDING TYPE "III")
 A111|A304 3/32" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 1X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT THE PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTH FLOW DEVICES FOR DOWNSPOUTS W/O TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH THE ADJACENT SURFACE, UNO.

- PROVIDE SOLID BLOCKING WITHIN THE WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
 - ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM THE BUILDING CREATING POSITIVE DRAINAGE.
 - INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW, AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCT'S ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
 - PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- GENERAL GLAZING NOTES**
- ALL EXTERIOR GLAZING SHALL BE LOW-E,
 - ALL INTERIOR GLAZING SHALL BE CLEAR UNLESS NOTED OTHERWISE.
 - LABELED AND TEMPERED GLAZING SHALL DISPLAY A PERMANENT STAMP OR MANUFACTURER'S LABEL INDICATING THE PRODUCT.
 - GLAZING SHALL MEET THE FOLLOWING CRITERIA:
 U-FACTOR = 0.45 (OR LOWER)
 SHGC = 0.25 (OR LOWER)
 GVL T = 0.55 (OR LOWER)

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

- | MARK | KEYNOTES |
|------|--|
| 01 | FIBER CEMENT HORIZONTAL LAP SIDING. |
| 02 | FIBER CEMENT VERTICAL BOARD AND BATTEN SIDING. |
| 03 | FIBER CEMENT RAKE TRIM. |
| 04 | FIBER CEMENT TRIM (1X6). |
| 05 | FIBER CEMENT CORNER TRIM. |
| 06 | FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER. |
| 07 | PREFINISHED ALUMINUM DOWNSPOUT. |
| 08 | PRESSURE TREATED 8X8 COLUMN WITH PVC WRAP. |
| 09 | BRICK VENEER WITH ROWLOCK. |
| 10 | BRICK ROWLOCK SILL. |
| 11 | BRICK SOLDIER HEAD. |
| 12 | BRICK VENEER WITH SOLDIER COURSE AND ROWLOCK. |
| 13 | STANDING SEAM METAL ROOF. |
| 14 | 30-YEAR ARCHITECTURAL SHINGLES. |
| 15 | METAL AWNING. |
| 16 | VINYL - CLAD DOUBLE HUNG UNIT WINDOW. |
| 17 | VINYL - CLAD SINGLE HUNG UNIT WINDOW. |
| 18 | VINYL CLAD DOUBLE FIXED WINDOW. |
| 19 | VINYL GUARD RAILING. |
| 20 | ALUMINUM STOREFRONT DOOR. |
| 21 | INSULATED DOUBLE EXTERIOR DOOR. |
| 22 | INSULATED SINGLE EXTERIOR DOOR. |
| 23 | METER CENTER. |

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By BG
 Checked By JRH
 Date 01/16/2023
 Project No. MHA-21-17

EXTERIOR ELEVATIONS

(BUILDING TYPE "III")

A304

NCHFA PRE-APPLICATION
NOT FOR CONSTRUCTION
 01/16/2023