





**BUILDING TYPE "I"** 

#### **DEVELOPER**

**BEACON MANAGEMENT** CORPORATION



EVIT

#### <u>CIVIL</u>

STOCKS ENGINEERING 801 EAST WASHINGTON ST. NASHVILLE, NC 27856 252.459.8196 kvarnell@stocksengineering.com

#### LANDSCAPE

STOCKS ENGINEERING 801 EAST WASHINGTON ST. NASHVILLE, NC 27856 252.459.8196 kvarnell@stocksengineering.com

## **ARCHITECTURAL**

MOORE HOCUTT ARCHITECTS, PLLC 3300 BATTLEGROUND AVE. SUITE 306 GREENSBORO, NC 27410 336.897.0305 mmoore@mharchitects.us

# NCHFA LIHTC SUBMITTAL 2023 QUALIFIED ALLOCATION PLAN (QAP)

# **KNIGHT'S COURT**

# SENIOR LIVING APARTMENTS

LYNNWOOD ROAD KNIGHTDALE, NC 27545



**BUILDING TYPE "II"** 

**BUILDING TYPE "III"** 

## **STRUCTURAL**

DR J ENGINEERING, LLC 6300 ENTERPRISE LN. MADISON, WI 53719 608.310.6734 jfredrick@qualtim.com

#### **PLUMBING**

C2 ENGINEERING SOLUTIONS, PLLC 850 MCALPINE PARK DR. SUITE 206 CHAROLETTE, NC 28211 704.256.0942 RYAN@C2E.SOLUTIONS



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## **DESIGN SUBMITTAL LEGEND**

DATE

SUBMITTAL 01/16/23 NCHFA PRELIMINARY APPLICATION SUBMITTAL

#### **NCHFA PRE-APPLICATION**

**NOT FOR CONSTRUCTION** 01/16/2023

## **MECHANICAL**

**C2 ENGINEERING SOLUTIONS, PLLC** 850 MCALPINE PARK DR. SUITE 206 CHAROLETTE, NC 28211 704.256.0942 RYAN@C2E.SOLUTIONS

#### **ELECTRICAL** C2 ENGINEERING SOLUTIONS, PLLC

850 MCALPINE PARK DR. SUITE 206 CHAROLETTE, NC 28211 704.256.0942 RYAN@C2E.SOLUTIONS

No.	Description	Date
	•	
De	signed By	MLN
Dra	awn By	BG
Ch	ecked By	
On		JRF
Dat	te	01/16/2023

## **COVER SHEET**



#### GENERAL

SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE
G100	COVER SHEET	-		
G101	DRAWING SHEET INDEX	-		
G103	PROJECT DATA	-		
G104	PROJECT DATA	-		
G105	ARCHITECTRUAL INFORMATION	-		
G106	ACCESSIBILITY INFORMATION	-		

ARCH	IITECTURAL			STR	RUCTURAL FOUNDATION				
SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV #	CURRENT REVISION DATE	SHEET	SHEET NAME	SHEET ISSUE DATE		
<b>\101</b>	FLOOR PLAN LEVEL 1	-							
102	FLOOR PLAN LEVEL 2	-							
103	FLOOR PLAN LEVEL 3	-							
<b>\106</b>	FLOOR PLAN LEVEL 1	-							
107	FLOOR PLAN LEVEL 2	-							
108	FLOOR PLAN LEVEL 3	-							
.111	FLOOR PLAN LEVEL 1	-							
112	FLOOR PLAN LEVEL 2	-							
.113	FLOOR PLAN LEVEL 3	-							
200	ENLARGED UNITS	-							
201	ENLARGED UNITS	-							
202	ENLARGED UNITS	-							
<b>\</b> 300	EXTERIOR ELEVATIONS	-							
\301	EXTERIOR ELEVATIONS	-							
302	EXTERIOR ELEVATIONS	-							
\303	EXTERIOR ELEVATIONS	-							
\304	EXTERIOR ELEVATIONS	-							

CIVII	_			
SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

LIFE SAFE	ГҮ			
SHEET SHEET NAM	IE	SHEET ISSUE DATE	CURRENT REV. #	CURRENT REVISION DATE

#### **DRAWING SHEET INDEX**

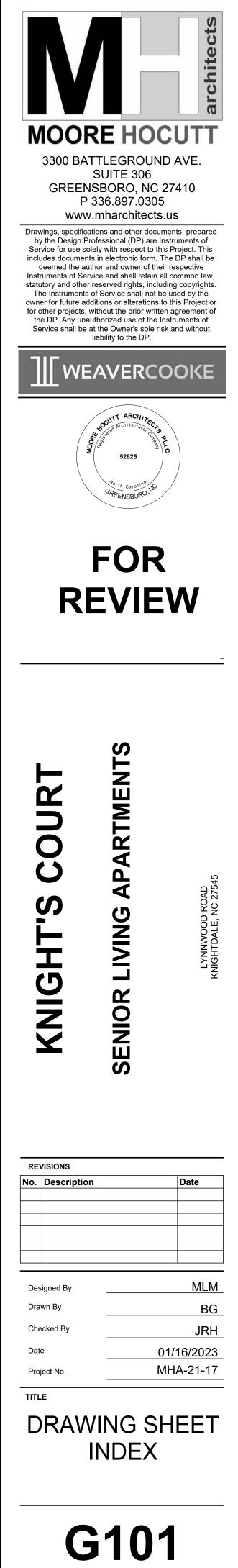
STRU	ICTURAL FRAMING			
				CURRENT
		SHEET	CURRENT	REVISION
SHEET	SHEET NAME	ISSUE DATE	REV. #	DATE

CURRENT

REVISION DATE

PLU	MBING			
SHEET	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION #	CURRENT REVISION DATE

MECHANICAL	
SHEET SHEET NAME	SHEETCURRENTREVISIONISSUE DATEREV. #DATE
ELECTRICAL	
	SHEET CURRENT REVISION
SHEET SHEET NAME	ISSUE DATE REV. # DATE
FIRE ALARM	
SHEET SHEET NAME	CURRENTSHEETCURRENTISSUE DATEREV. #DATE
FIRE PROTECTION	
SHEET SHEET NAME	SHEETCURRENTISSUE DATEREV. #DATE
	NCHFA PRE-APPLICATION NOT FOR CONSTRUCTION
	01/16/2023



	TS														
	UNIT INFORMATION	UNIT SQUA	RE FOOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			BUILDING TOTALS	
UNIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF
1BDR1 "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	753	815	0	0	0	0	0	0	0	0	0	0	0	0
1BDR2 "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	753	815	0	0	0	0	0	0	0	0	0	0	0	0
1BDR1 "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	815	0	0	0	0	0	0	0	0	0	0	0	0
1BDR2 "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	815	1	753	815	0	0	0	0	0	0	1	753	815
1BDR1 "B"	1 BEDROOM, 1 BATH, TYPE "B"	753	815	2	1506	1630	0	0	0	0	0	0	2	1506	1630
1BDR2 "B"	1 BEDROOM, 1 BATH, TYPE "B"	753	815	1	753	815	2	1506	1630	2	1506	1630	5	3765	4075
2BDR1 "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	921	996	0	0	0	1	921	996	0	0	0	1	921	996
2BDR1 "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	996	0	0	0	0	0	0	0	0	0	0	0	0
2BDR1 "B"	2 BEDROOM, 1 BATH, TYPE "B"	921	996	2	1842	1992	3	2763	2988	4	3684	3984	9	8289	8964
2BDR2 "B"	2 BEDROOM,1 BATH, TYPE "B"	921	996	0	0	0	0	0	0	0	0	0	0	0	0
			UNIT TOTALS	6	4854	5252	6	5190	5614	6	5190	5614	18	15234	16480
			PATIOS/BALCONIES			468			468			468			1404
			UNIT GAP			43			45			45			133
			TOTAL			6760			C107			(127			
			TOTAL	-		5763			6127			6127			
						· · · · · · · · · · · · · · · · · · ·									
												APARTMENT TOTAL	S 18	15234	18017
										-,l.					
	DACE											BUILDING TOT			
11AUUUUUUUUUU											- 1	1 Sector Research Contract	CTAN/RUNDERA		
CE DESCRIPTIC		NET SF	TOTAL NET SF									APARTMENTS	18		18017
SING OFFICE		1	153									COMMON SPACE	1		8613
SET		2	38									TOTAL	-		26620
FERENCE ROO	27AN	1	135									TOTAL	<u>.</u>		26630
FROOMS NTENANCE RO		3	150										4		1005
E PROTECTION		1	72									MISCELLANEOUS	1		1605
		1	33												1
H/JAN ROOM		2	140 20									TOTAL			28235
A ROOMS		3 23	69									TUTAL			20233
CHANICAL ROC		1	53												
IANT STORAGE		12 20	240												
AFT ROOM		1	153												
X ROOM		1	135												
LTI-PURPOSE R	ROOM	1	498												
IRWELLS (2 TO			1086												
CULATION/LOB			1662												
CULATION L2			1464												
			1258												
CULATION 13															
			180												
VATORS (1 TOT			180 1074												
ATORS (1 TOT			1074												
ATORS (1 TOT															
ATORS (1 TOT															
ATORS (1 TOT															
CULATION L3 VATORS (1 TOT LL THICKNESS															
ATORS (1 TOT															
ATORS (1 TOT															
ATORS (1 TOT		TOTAL SI	1074												
VATORS (1 TOT		TOTAL SI	1074												
ATORS (1 TOT		1	1074 												
ATORS (1 TOT			1074 												
VATORS (1 TOT LL THICKNESS		1	1074 												
VATORS (1 TOT LL THICKNESS		1 TOTAL SI	1074 8613 8613												
VATORS (1 TOT LL THICKNESS	NUMBER OF BUILDINGS	1	1074 												
ATORS (1 TOT L THICKNESS CELLANEOUS TER CENTER	NUMBER OF BUILDINGS	1 TOTAL SI	1074 8613 8613 14 1591												
ATORS (1 TOT . THICKNESS ELLANEOUS IR CENTER	NUMBER OF BUILDINGS	1 TOTAL SP	1074 8613 8613 14												

#### **BUILDING TYPE "II"**

	UNIT INFORMATION	UNIT SQU	ARE FOOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			<b>BUILDING TOTALS</b>	
NIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF
BDR1 "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	753	815	0	0	0	0	0	0	0	0	0	0	0	0
BDR2 "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	753	815	1	753	815	0	0	0	0	0	0	1	753	815
BDR1 "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	815	0	0	0	0	0	0	0	0	0	0	0	0
BDR2 "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	815	0	0	0	0	0	0	0	0	0	0	0	0
BDR1 "B"	1 BEDROOM, 1 BATH, TYPE "B"	753	815	0	0	0	0	0	0	0	0	0	0	0	0
BDR2 "B"	1 BEDROOM, 1 BATH, TYPE "B"	753	815	1	753	815	2	1506	1630	2	1506	1630	5	3765	4075
BDR1 "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	921	996	0	0	0	0	0	0	0	0	0	0	0	0
BDR1 "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	996	0	0	0	0	0	0	1	921	996	1	921	996
BDR1 "B"	2 BEDROOM, 1 BATH, TYPE "B"	921	996	6	5526	5976	6	5526	5976	5	4605	4980	17	15657	16932
BDR2 "B"	2 BEDROOM,1 BATH, TYPE "B"	921	996	0	0	0		0	0	0	0	0	0	0	0
			UNIT TOTALS	8	7032	7606	8	7032	7606	8	7032	7606	24	21096	22818
			PATIOS/BALCONIES			624		10010001010	624			624	ALCONT.		1872
			UNIT GAP			71			71			71			213
			TOTAL			8301			8301			8301			
						[									
												APARTMENT TOTALS	24	21096	24903

#### COMMON SPACE

SPACE DESCRIPTION		NET SF	TOTAL NET SF
OFFICE/CONFERENCE	1		135
MAINTENANCE/FIRE PROTECTION	1		175
DATA ROOMS	3	41	123
PACKAGING	1		34
MECHANICAL/JANITOR	3	62	186
RESTROOMS	3	69	207
TENANT STORAGES	24	20	480
COMPUTER CENTER	1	135	135
STAFF STORAGE	2	34	68
CRAFTROOM	1		175
MULTIPURPOSE	1		521
CIRCULATION /LOBBY L1			1752
CIRCULATION L2		1	1768
CIRCULATION L3			1558
ELEVATOR (1 TOTAL)		60	180
STAIRWELLS (2 TOTAL)		181	1086
WALL THICKNESS			957
TOTAL SF			9540
NUMBER OF BUILDINGS	1		
		TOTAL SF	9540
MISCELLANEOUS			
METER CENTER	2	7	14
		/	
COVERED PORCHES	3		1366
		TOTAL SF	1380
NUMBER OF BUILDINGS	1		
		TOTAL SF	1380

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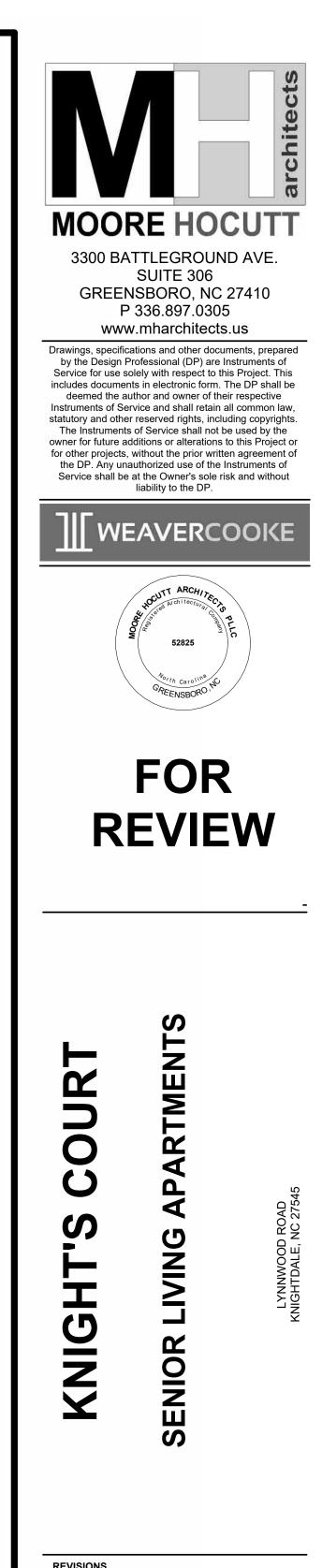
#### NCHFA PROJECT AMENITIES

OUTDOOR SITTING AREAS (REQUIRED) MULTI-PURPOSE ROOM (REQUIRED) GAZEBO (REQUIRED)

- COVERED DROP-OFF (ELECTIVE)
- COVERED PICNIC AREA (ELECTIVE) RESIDENT COMPUTER CENTER (ELECTIVE)

UILDI		TOT	LVIC
	NG	10	IALS

APARTMENTS	24	24903
COMMON SPACE	1	9540
TOTAL		34443
MISCELLANEOUS	1	1380
TOTAL		35823



No.	Description	Date
De	signed By	MLN
Dra	awn By	BG
	ecked By	BC
	ecked By	

PROJECT DATA

G103

UILDING TYPE "III"
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	UNIT INFORMATION	UNIT SQUARE I	OOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			<b>BUILDING TOTALS</b>	
UNIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF
1BDR1 "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	753	815	0	0	0	1	753	815	0	0	0	1	753	815
1BDR2 "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	753	815	0	0	0	0	0	0	0	0	0	0	0	0
LBDR1 "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	815	0	0	0	0	0	0	1	753	815	1	753	815
1BDR2 "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	815	0	0	0	0	0	0	0	0	0	0	0	0
1BDR1 "B"	1 BEDROOM, 1 BATH, TYPE "B"	753	815	4	3012	3260	3	2259	2445	3	2259	2445	10	7530	8150
1BDR2 "B"	1 BEDROOM, 1 BATH, TYPE "B"	753	815	0	0	0	0	0	0	0	0	0	0	0	0
2BDR1 "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER (AV)	921	996	1	921	996	0	0	0	0	0	0	1	921	996
2BDR1 "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	996	0	0	0	1	921	996	0	0	0	1	921	996
2BDR1 "B"	2 BEDROOM, 1 BATH, TYPE "B"	921	996	5	4605	4980	5	4605	4980	6	5526	5976	16	14736	15936
2BDR2 "B"	2 BEDROOM,1 BATH, TYPE "B"	921	996	2	1842	1992	2	1842	1992	2	1842	1992	6	5526	5976
			UNIT TOTALS	12	10380	11228	12	10380	11228	12	10380	11228	36	31140	33684
		PATIOS/BALCONIES				936			936			936			2808
			UNIT GAP			94			94			94			282
			TOTAL			12258			12258			12258			
										-					
											ARTMENT TOTALS		36	31140	36774

#### COMMON SPACE

SPACE DESCRIPTION			NET SF	TOTAL NET S
LEASING OFFICE		1		176
CONFERENCE		1		135
MAINTENANCE		1		136
FIRE PROTECTION		1	-	48
PACKAGING		1	-	65
RESTROOMS		3	70	210
DATA ROOMS		3	41	123
MECHANICAL/JANITOR		3	63	189
TENANT STORAGES		36		732
CLOSETS		1		34
DAYROOM		1		338
STAFF STORAGE		2	34	68
CRAFT ROOM		1		176
COMPUTER CENTER		1		135
LAUNDRY ROOM		1		195
FLEX ROOM		1		136
MULTI-PURPOSE ROOM		1		521
CIRCULATION/LOBBY L1				2521
CIRCULATION L2				2406
CIRCULATION L3				2197
ELEVATOR (1 TOTAL)			E.	180
STARIWELLS (2 TOTAL)			1-	1038
WALL THICKNESS			( <sup>2</sup> )	1308
				6.0000000
	TOTAL SF			13067
	NUMBER OF BUILDINGS	1		
			TOTAL SF	13067
MISCELLANEOUS				
METER CENTER		2	7	14
COVERED PORCHES		5		2082
			TOTAL SF	2096
	NUMBER OF BUILDINGS	1		121212
			TOTAL SF	2096

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#### **BUILDING TOTALS**

APARTMENTS	36	36774
COMMON SPACE	1	13067
TOTAL		49841
MISCELLANEOUS	1	2096
TOTAL		51937

#### **PROJECT TOTALS**

UNITS	HEATED SF	GROSS SF
18	15234	18017
24	21096	24903
36	31140	36774
		31220
		5081
78		115995
	18 24 36	18         15234           24         21096           36         31140



## NCHFA PRE-APPLICATION NOT FOR CONSTRUCTION 01/16/2023

PROJECT DATA

MLM Designed B BG Drawn By JRH Checked By 01/16/2023 Date MHA-21-17 Project No.



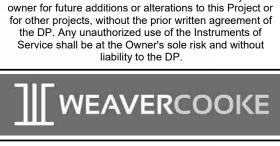
REVISIONS No. Description

TITLE LYNNWOOD ROAD KNIGHTDALE, NC 2754

Date



REVIEW





SUITE 306 GREENSBORO, NC 27410

P 336.897.0305 www.mharchitects.us

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#### ABBREVIATIONS

ABBR	DESCRIPTION	ABBR	DESCRIPTION	<u>ABBR</u>	DESCRIPTION
"(X)"		CONC	CONCRETE	FLG	FLORING
"(X)"	DENOTES FIRST LETTER IN THE GROUP	COND CONF	CONDITION, CONDENSATE CONFERENCE	FLR FLR PL	FLOOR FLOOR PLATE
#	NUMBER	CONN	CONNECT, CONNECTION	FLUOR	FLUORESCENT
& +/-	AND APPROXIMATELLY	CONSTR	CONSTRUCTION	FM	FLOOR MAT
+/- @	AFPROXIMATELLT	CONT CONTR	CONTINUE, CONTINUOS CONTRACTOR	FN FOC	FENCE FACE OF CONCRETE
L	ANGLE	COORD	COORDINATE	FOF	FACE OF FINISH
Ø	DIAMETER	CORR	CORRIDOR	FOM	FACE OF MASONRY
(A)		CPT CRCMF	CARPET CIRCUMREFERENCE	FOS FOW	FACE OF STUD FACE OF WOOD / WALL
A/C UNIT	AIR CONDITIONING UNIT	CRES	CORROSIVE RESISTANCE STEEL	FP	FIRE PARTITION, FIREPROOF
AB ABV	ANCHOR BOLT ABOVE	CRS	COURSE(S)	FPRF	FIREPROOF(ED)(ING)
ACC	ACCESSIBLE	CS CSK	CAST STONE COUNTERSUNK	FR FRMG	FIRE RESISTANT, FRAME FRAMING
ACI	AMERICAN CONCRETE INSTITUTE	CSMT	CASEMENT	FRP	FIBERGLASS REINFORCED PLAS
ACPL ACS DR	ACOUSTICAL PLASTER ACCESS DOOR	CT		FRT	FIRE RETARDANT
ACS DR ACS PNL	ACCESS PANEL	CTP CTR	CERAMIC TILE PANEL CENTER	FS FSF	FULL SIZE FIRE SAFETY
ACT	ACOUSTICAL CEILING TILE	CTS	COUNTER SINK	FSP	FIRE STAND PIPE
ADA ADDM	AMERICANS W/ DISABILITIES ACT ADDENDUM	CUB CV		FSTNR	FASTEN(ER)
ADH	ADHESIVE	CVH	CEILING VENT CONDUCTIVE VINYL HOMOGENEOUS	FT FTG	FEET FOOTING
ADJ	ADJACENT, ADJOINING	CW	CASEWORK	FURG	FURRING
admin Ado	ADMINISTRATION AUTOMATIC DOOR OPERATOR	CYL	CYLINDER	FURN	FURNITURE
AFF	ABOVE FINISHED FLOOR	(D)		FUT FW	FUTURE FIRE WATER
AGGR	AGGREGATE	D	DEPTH	FWC	FABRIC WALL COVERING
AHU AIB	AIR HANDLING UNIT AIR INFILTRATION BARRIER	d	PENNY (AS IN NAIL-10d)	$(\mathbf{C})$	
ALT	ALTERNATE	DAT DBL	DATUM DOUBLE	(G) GA	GAGE
ALUM	ALUMINUM		DOUBLE ACTING DOOR	GALV	GALVANIZED
ANOD APPD	ANODIZE(D) APPROVED	DEG	DEGREE	GALV STL	GALVANIZED STEEL
APPD APPROX	APPROVED	DEMO DEPR	DEMOLITION DEPRESSION	GB GC	GRAB BAR GENERAL CONTRACTOR
ARCH	ARCHITECTURAL, ARCHITECT	DEPT	DEPARTMENT	GCSB	GYPSUM CORE SHEATING BOAF
ASB ASC	ASBESTOS ABOVE SUSPENDED CEILING	DET DF		GEN	
ASC	ASPHALT	DF DH	DRINKING FOUNTAIN DOUBLE HUNG	GFE GFE/CI	GOVERNMENT FURN. EQUIPMEN GFE CONTRACTOR INSTALLED
ATC	ACOUSTICAL TILE CEILING	DIA	DIAMETER	GFR CONC	GLASS FIBER REINFORCED CON
AVG AWT	AVERAGE ACOUSTICAL WALL TREATMENT	DIAG	DIAGONAL	GFR GYP	GLASS FIBER REINFORCED GYP
	ACCOUNTER WALL INLATMENT	DIM DISP	DIMENSION DISPENSER	GIP GKT	GALVANIZED IRON PIPE GASKET(ED)
(B)		DIST	DISTRIBUTION, DISTANCE	GL	GLASS
BALC	BALCONY BATT INSULATION	DIV	DIVISION	GL BLK	GLASS BLOCK
BD	BOARD	DMPF DMT	DAMPPROOFING DEMOUNTABLE	GLF GLZ	GLASS FIBER GLAZING
BDRY	BOUNDARY	DN	DOWN	GLZ CMU	GLAZED CONC. MASONRY UNITS
BEV BG	BEVEL BUMPER GUARD	DR		GND	GROUND
BHMA	BUILDER'S HARDW. MFG'S ASSOC.	DR CL DRB	DOOR CLOSER DRAIN BOARD	GOVT GPL	GOVERNMENT GYPSUM LATH
BITUM	BITUMINOUS	DS	DOWNSPOUT, DOUBLE STRENGT	GPT	GYPSUM TILE
BJT BKR	BED JOINT BACKER	DT		GR LN	GRADE LINE
BLDG	BUILDING	DWG(S) DWLS	DRAWING(S) DOWELS	GRAN GRTG	GRANITE GRATING
BLKG	BLOCKING	DWR	DRAWER	GT	GROUT
BLW BM	BELOW BEAM, BENCH MARK	DWTR DX	DUMBWAITER DIRECT EXPANSION	GUT GVL	GUTTER GRAVEL
BO	BOTTOM OF	DX	DIRECT EXPANSION	GVL GWT	GYPSUM WALL TILE
BOT	BOTTOM	(E)		GYP	GYPSUM
BR BRCG	BEDROOM BRACING	E EA	EAST EACH	GYP BD GYP PLAS	GYPSUM BOARD GYPSUM PLASTER
BRG PL	BEARING PLATE	EB	EXPANSION BOLT		
BRK	BRICK	EF	EACH FACE	(H)	
BRKT BS	BRACKET BOTH SIDES	EIFS EJ	EXTERIOR INSUL. & FINISH SYSTEM EXPANSION JOINT	HB HC	HOSE BIB HOLLOW CORE
BSMT	BASEMENT	EL	ELEVATION GRADE OR BUILDING	HCP	HANDICAPPED
BTWN	BETWEEN	ELEV	ELEVATOR, ELEVATION BUILDING	HD	HEAD, HEAVY DUTY
BUR BW	BUILT-UP ROOFING BOTH WAYS	EMBMT EMER	EMBEDMENT EMERGENCY	HDBD HDJT	HARDBOARD HEAD JOINT
		ENCL	ENCLOSE(URE)	HDPE	HIGH DENSITY POLYETHYLENE
(C) C/C		ENGR	ENGINEER(ING)	HDR	HEADER
C/C CAB	CENTER TO CENTER CABINET	ENTR EP	ENTRANCE, ENTERING ELECTRIC PANEL BOARD	HDW HDWD	HARDWARE HARDWOOD
СВ	CATCH BASIN, CONTROL BOX	EPRF	EXPLOSION PROOF	HES	HIGH EARLY-STRENGTH CEMEN
CBB CBP	CEMENTITIOUS (BACKER) BOARD COMPOSITE BUILDING PANEL	EPY	EPOXY COATING	HGT	HEIGHT
CBP	COMPOSITE BUILDING PANEL CONSTRUCTION DOCUMENTS	EQ EQUIP	EQUAL EQUIPMENT	HK HM	HOOK(S) HOLLOW METAL
CDR	CARD READER	ESCAL	ESCALATOR	HNDRL	HANDRAIL
CEM CEM PLAS	CEMENT CEMENT PLASTER	EST	ESTIMATE(D)		
CEM PLAS CER	CERAMIC	EW EWC	EACH WAY ELECTRIC-WATER COOLER	HR HS	HOUR HIGH STRENGTH
CFE	CONTRACTOR FURN. EUIQPMENT	EXC	EXCAVATE	HSGYP	HIGH STRENGTH GYPUM PLAST
CFI CFL	CONTRACTOR FURN. & INSTALLED CONDUCTIVE FLOORING	EXD EXIST	EXIT DEVICE EXISTING	HSKPG HT	HOUSEKEEPING HEIGHT
CFLG	COUNTERFLASHING	EXIST	EXISTING EXPANSION	HT HVAC	HEIGHT HEATING, VENTIL. & AIR CONDIT
CG	CORNER GUARD	EXP	EXPOSED	HWH	HOT WATER HEATER
CH BD CHFR	CHALKBOARD CHAMFER	EXP BT EXT	EXPANSION BOLT EXTERIOR	(I)	
CHIM	CHIMNEY	EXTR	EXTERIOR EXTRUDED	(I) IBC	INTERNATIONAL BUILDING CODI
CHK				IC	INTERCOM
CIP CIRC	CAST-IN-PLACE CIRCULAR, CIRCULATION	(F) F BRK	FIRE BRICK	ID IN	INSIDE DIAMETER INCH
CJ	CONTROL, (CONSTRUCTION) JOINT	FA	FIRE ALARM, FRESH AIR	INCL	INCLUDED
CK'D	CHECKERED	FAAP	FIRE ALARM ANNUNCIATOR PANEL	INSF	INSULATIING FILL
CL RM CL, C/L	CLASSROOM CENTER LINE	FAC FBD	FIRE APPARATUS CLOSET FIBERBOARD	INSUL INT	INSULATION (INSULATED)
CLG	CEILING	FBD FBO	FIBERBOARD FURNISHED BY OTHERS	IN I INV	INVERT
CLG HT	CEILING HEIGHT	FC BRK	FACE BRICK	IP	IRON PIPE
CLGL CLKG	CLEAR GLASS CAULKING	FCJ FCO	FLOOR CONSTRUCTION JOINT FLOOR CLEANOUT	(J)	
CLL	CONTRACT LIMIT LINE	FD	FLOOR DRAIN	(J) J-BOX	JUNCTION BOX
CLO	CLOSET	FDTN	FOUNDATION	JAN CLO	JANITOR'S CLOSET
CLOS CLR	CLOSURE CLEAR(ANCE)	FE FEB	FIRE EXTINGUISHER	JF	JOINT FILLER
CLWG	CLEAR WIRED GLASS	FEB FEC	FIRE EXTINGUISHER BRACKET FIRE EXTINGUISHER CABINET	JST JT	JOIST JOINT
CMP	CORRUGATED METAL PIPE	FF	FACTORY FINISH		
CMPST CMPTR	COMPOSITE COMPUTER	FF FGL	FINISH FLOOR FIBER GLASS	(K) KIT	
CMFTR	CERAMIC MOSAIC (TILE)	FGL FH	FIBER GLASS FIRE HYDRANT, FLAT HEAD	KII KOP	KITCHEN KNOCKOUT PANEL
CMU	CONCRETE MASONRY UNIT	FHC	FIRE HOSE CABINET	KPL	KICK PLATE
CNR	CORNER	FHR	FIRE HOSE RACK	(1)	
CNTR	COUNTER CLEAN OUT	FHS FIN	FIRE HOSE STATION FINISH	(L) LAB	LABARATORY
00		FIN FIXT	FINISH	LAB LAD	LADDER
COL	COLUMN, (COLOR)				
COL COM	COMMON	FJT	FLUSH JOINT	LAM	LAMINATE(D)(ION)
CO COL COM COMB COMM			FLUSH JOINT FLASHING FOLDING	LAM LAU LAV	LAMINATE(D)(ION) LAUNDRY LAVATORY

VIT

	ABBR	DESCRIPTION	<u>ABBR</u>
	LBL	LABEL	PORT
	LBR		PP PL
	LDG LG	LOADING, LANDING LENGTH	PR PRE-W
	LH	LEFT HAND(ED)	PREFAE
	LIN LKR	LINEAR LOCKER	PREFIN PREFMI
	LLD	LEAD-LINED DOOR	PRELIM
	LLH	LONG LEG HORIZONTAL	PRKG
	LLO LLV	LONG LEG OUT LONG LEG VERTICAL	PRM PROJ
	LNTL	LINTEL	PT
	LONG		PTD
	LR LS	LIVING ROOM LOWN SPRINKLER	PTN PTR
	LT	LIGHT	PVC
	LT WT LTG	LIGHTWEIGHT LIGHTING	PVMT PW
	LTNG	LIGHTNING	IVV
	LVR	LOUVER	(Q)
	LWC	LIGHTWEIGHT CONCRETE	QT QTR
	(M)		QTY
		MEN'S MACHINE	
	MACH MAINT	MAINTENANCE	(R) R
	MAS	MASONRY	RAB
	MATL MAX	MATERIAL(S) MAXIMUM	RB RBR
	MB	MARKER BOARD, MACHINE BOLTS	RCP
	MC	MEDICAL CABINET	RD
	MCJ MCO	MASONRY CONTROL JOINT METAL-CASED OPENING	RDGE REC
	MDF	MEDIUM DENSITY FIBERBOARD	REC RM
	MDS MECH	METAL DIVIDER STRIP MECHANICAL	REF REFL
	MECH RM	MECHANICAL ROOM	REFR
	MED	MEDIUM	REG
	MEMB MES	MEMBRANE METAL EDGE STRIP	REINF REM
1	MEZ	MEZZANINE	REQD
	MFG MFR	MANUFACTURING MANUFACTURER	RESIL REST RI
	MFR	MANUFACTURER MATTE-GLAZED TILE	RESTR
	MH	MANHOLE	REV
	MIN MIRR	MINIMUM MIRROR	RFG RGH
	MISC	MISCELLANEOUS	RH
	ML	METAL LATH, MONOLITHIC	RHR
	MLDG MLWK	MOULDING MILLWORK	RK RLG
	MO	MASONRY OPENING	RM
	MOD MRB	MODULAR, MODIFIY, MODIFIED MARBLE	RND RO
	MRD	METAL ROOF DECKING	ROW
	MT	METAL TRESHOLD, MOUNT	RP
	MTD MTFR	MOUNTED METAL FURRING	RPRT RS
	MTL	METAL	RSR
	MULL MVBL	MULLION MOVABLE	RT RTF
	MWF	MEMBRANE WALL FLASHING	RUBB
			RVS
	(N) N	NORTH	RVT RWC
	N'REQD	NOT REQUIRED	
	NA NAT	NOT APPLICABLE NATURAL	(S) S
	NFPA	NATIONAL FIRE PROT. ASSOCIATION	SAFB
	NIC NL	NOT IN CONTRACT NAILABLE	SAN
	NO	NUMBER, NORMALLY OPEN	SB
	NOM	NOMINAL	SC
	NSF NTS	NET SQUARE FEET NOT TO SCALE	SCHED SCR
			SCRN
	(O) OBSC	OBSCURE	SCT SCUT
	OB3C OC	ON CENTER	SD
	OD	OUTSIDE DIAMETER	SECT SECY
	OF OFCI	OUTSIDE FACE OWNER FURN. CONTR. INSTALLED	SECT
	OFD	OVERFLOW DRAIN	SG
	OFF OFOI	OFFICE OWNER FURNISHED & INSTALLED	SGL SHR
	OH	OVERHEAD	SHT
	OJ OPH	OPEN-WEB JOIST OPPOSITE HAND	SHTHG SHV
	OPH	OPPOSITE HAND OPENING	SIM
	OPP	OPPOSITE	SKLT
	OPQ	OPAQUE	SLNT SLV
	(P)		SM
	P PAR	POLE	SP FIN SPC
	PAR PASS	PARAPET, PARALLEL PASSAGE, PASSENGER	SPCL
	PB	PANIC BAR	SPD
	PBD PBS	PARTICLE BOARD PUSH BUTTON STATION	SPEC SPF
	PC	PIECE	SPH
	PCC	PRECAST CONCRETE	SPKR SQ
	PCP PERF	PORTLAND CEMENT PLASTER PERFORATE(D)	SS
	PERIM	PERIMETER	SST
	PERP PH	PERPENDICULAR PHASE	SSURF STAGG
	PH PHAR	PHASE PHARMACY	STD
	PIV		STG STIFF
	PL PL GL	PROPERTY LINE, PLATE PLATE GLASS	STIFF STL
	PLAM	PLASTIC LAMINATE	STN
			STOR STR
	PLAT PLK	PLATFORM PLANK	STRUCT
	PLYWD	PLYWOOD	STWY
	PNL PNT	PANEL PAINT(D)	SUB FL SUPP
	POL	POLISHED	SURF
	PORC	PORCELAIN	SUSP

<u>ABBR</u>	DESCRIPTION	<u>ABBR</u>
PORT	PORTABLE	SV
PP PL	PUSH / PULL PLATE	SW
PR	PAIR	SYM
PRE-W	PRE-ENGINEERED WALL	SYMM
PREFAB	PREFABRICATE(D)	SYS
PREFIN	PREFINISHED	<u> </u>
PREFMD PRELIM	PREFORMED PRELIIMINARY	(T) T&G
PRELIM	PARKING	TAN
PRM	PRIMER(ED)	TB
PROJ	PROJECT	TEL
PT	PRESSURE TREATED, POINT	TEMP
PTD	PAPER TOWEL DISPENSER	TER
PTN	PARTITION	ΤН
PTR PVC		THK
PVC PVMT	POLYVINYL CHLORIDE PAVEMENT	THRES TO
PW	PASS WINDOW	тов
	-	тос
(Q)		TOF
QT	QUERY TILE	TOIL
QTR	QUARTER	TOL
QTY	QUANTITY	TOP TOPO
(R)		TOPO
R	RADIUS, RANGE	TOW
RAB	RABBETED	TPD
RB	RUBBER BASE, RESILIENT BASE	TPTN
RBR	RUBBER	TR
RCP	REFLECTED CEILING PLAN	TRANS
RD	ROOF DRAIN	TRTD
RDGE REC	RIDGE RECESSED	TS TSTAT
REC RM	RECREATIONAL ROOM	TT
REF	REFERENCE	ΤV
REFL	REFLECT	TYP
REFR	REFRIGERATION	
REG	REGISTER, REGLECT	(U)
REINF	REINFORCE(D)(ING)(MENT)	UCNTR
REM REQD	REMOVE(ABLE) REQUIRED	UL UNFIN
RESIL	RESILIENT	UNO
REST RM	RESTROOM	UR
RET	RETURN	UTIL
REV	REVISION	
RFG	ROFFING	(V)
RGH		VAB
RH RHR	ROOF HATCH, RIGHT HAND RIGHT HAND REVERSE	VAR VB
RK	RACK	VCT
RLG	RAILING	VENT
RM	ROOM	VERT
RND	ROUND	VEST
RO	ROUGH OPENING	VF
ROW		VG
RP RPRT	RETRACTABLE PARTITION RAISED PATTERN RUBBER TILE	VH VIF
RS	RESILIENT SHEET	VIN
RSR	RISER	VJ
RT	RESILIENT TILE	VOL
RTF	RUBBER TILE FLOOR	VP
RUBB RVS	RUBB(ED) CONCRETE REVERSE	VS VT
RVS RVT	RIVET	VTR
RWC	RAINWATER CONDUCTOR	VWC
(S)		(W)
S	SOUTH	W
SAFB	SOUND ATTENUATION FIRE BLANKET	W'S
SAN	SANITARY	W/ W/C
SB	SPLASH BLOCK	W/O
SC	SOLID CORE	W/W
SCHED	SCHEDULE	WBL
SCR	SCREW	WC
SCRN SCT	SCREEN STRUCTURAL CLAY TILE	WCO WD
SCUT	SCUTTLE	WDSP
SD	STORM DRAIN, SMOKE DETECTOR	WDW
SECT	SECTION	WF
SECY	SECRETARY	WG
SFGL SG	SAFETY GLASS	WH
SGL	SHEET GLASS SINGLE	WKSH
SHR	SHOWER	WM WP
SHT	SHEET	-
SHTHG	SHEATHING	WR
SHV	SHELVING	WRB
SIM SKLT	SIMILAR SKYLIGHT	WSCT WT
SLNT	SEALANT	WTH
SLV	SLEEVE	WWF
SM	SHEET METAL	WWM
SP FIN	SPECIAL FINISH	
SPC	SPACER	(X)
SPCL SPD	SPECIAL(TIES) SOUNDPROOF DOOR	XFMR
SPEC	SPECIFICATION	(Y)
SPF	SOUNDPROOF	YD
SPH	SPACE HEATER	YD
SPKR	SPEAKER	/ <b>-</b> `
SQ	SQUARE	(Z) 7
SS SST	SERVICE SINK, STANDING SEAM STAINLESS STEEL	Z
SSURF	SOLID SURFACE(ING)	
STAGG	STAGGERED	
STD	STANDARD	
STG	SEATING	
STIFF	STIFFENER	
STL STN	STEEL STONE	
STOR	STORAGE	
STR	STRINGER	
STRUCT	STRUCTURAL	
STWY	STAIRWAY	
SUB FL	SUBFLOOR	
SUPP SURF	SUPPORT SURFACE	
SUSP	SUSPENDED	

DESCRIPTION	GE	NEF
SHEET VINYL		
SIDEWALK, SWITCH SYMBOL	1.	THE C SCOP
SYMMETRICAL SYSTEM		FAMIL FIELD ACCO CONS
TONGUE AND GROOVE TANGENT	2.	BY AR
TOWEL BAR TELEPHONE		A DIAO WORK
TEMPERED, TEMPORARY TERRAZZO		AND L ON TH MATE
TRUSS HEAD THICK(NESS)		SUCC
THRESHOLD TOP OF TOP OF BEAM	3.	INSTA WITH SPECI REGU
TOP OF CURB, (CONCRETE) TOP OF SLAB	4.	ALL W
TOILET TOLERANCE		STRIC
TOP OF PEDESTAL, (PARAPET)		JURIS WITH
TOPOGRAPHY TOP OF STEEL, (SLAB)		ORDE OF TH
TOP OF WALL TOILET PAPER DISPENSER	5.	SEAL
TOILET PARTITION TOILET ROOM		LISTE
TRANSOM, (TRANSVERSE)	6.	THE C HIS BE
TREATED TAPPED & SANDED, TUBE STEEL		FOR A SEQU OF TH
THERMOSTAT TERRAZZO TILE RESINOUS MATRIX	7.	DETAI
TELEVISION TYPICAL	1.	MODIF COND PART
UNDERCOUNTER	8.	CONT
UNDERWRITERS LABARATORIES		WORK MEET
UNFINISHED UNLESS NOTED OTHERWISE		
URINAL UTILITY		ADJOI CONF
	9.	TRADI CONT
VAPOR BARRIER VARIES, VARNISH	0.	CONS
VINYL BASE	10.	THE D
VINYL COMPOSITION TILE VENTILATOR(TION)		WHAT ALL. \
VERTICAL VESTIBULE		PROV
VINYL FABRIC	11.	THE A CONT
VERTICAL GRAIN VINYL HOMOGENEOUS, (SEAMLESS)		CONT OMISS
VERIFY IN FIELD VINYL		EXCU: PROJI
V-JOINT(ED) VOLUME		DOCU SHALI
VENEER PLASTER VENT STACK	10	WORK
VINYL TILE	12.	SHOP THE C REPR
VENT THRU ROOF VINYL WALL COVERING		DOCU
	13.	SHOP CERT
WEST, WATT WOMEN'S		VERIF
WITH		AREA
WHEELCHAIR WITHOUT		
WALL TO WALL WOOD BLOCKING	E	NER
WATER CLOSET WOOD CASED OPENING		W CONS
WOOD, WOOD DOOR	BY	LTIFAMII AN INDE
WASTE DISPOSER WINDOW	AD	SIGN, VE APTIVE F TENT DO
WIRE FLANGE, WIDE FLANGE WIRE GLASS		TORIC P
WALL HUNG WORK SHOP		IRD PAR RFORM E
WIRE MESH, WALK OFF MAT	NU	MBER OI
WEATHERPROOF(ING), WALL PROTECTION	BLC	OWER DO
WASTE RECEPTACLE WARDROBE		PENSE.
WAINSCOT WEIGHT, WINDOW TREATMENT		
WIDTH WELDED WIRE FABRIC		
WOVEN WIRE MESH		
TRANSFORMER		
YARD YARD DRAIN		
NOT USED		

#### NERAL CONSTRUCTION NOTES

THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DIMENSION IN QUESTION SHALL BE CLARIFIED BY ARCHITECT.

PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, AND LABOR NECESSARY TO AFFECT ALL INSTALLATIONS INDICATED ON THE DRAWINGS. THE WORK SHALL ALSO INCLUDE ALL MATERIALS, DETAILS, AND LABOR NECESSARY FOR THE SUCCESSFUL INSTALLATION OF WORK AS DESCRIBED HEREIN.

INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.

ALL WORK PERFORMED AND MATERIAL INSTALLED SHALL BE IN STRICT ACCORDANCE AS A MINIMUM STANDARD WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.

SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH U.L. LISTED OR F.M. APPROVED MATERIALS.

THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.

DETAILS ARE INTENDED TO SHOW END RESULT OR DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK UNDER THIS CONTRACT.

CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. THE WORK OF EACH TRADE SHALL CONFORM TO ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE.

CONTRACTOR SHALL PROVIDE AT THE JOBSITE A FULL SET OF CONSTRUCTION DOCUMENTS ANNOTATED WITH THE LATEST REVISIONS AND CLARIFICATIONS FOR THE USE BY ALL.

THE DRAWINGS AND GENERAL NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. WORK SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.

THE ARCHITECT HAS MADE EVERY EFFORT TO SET FORTH IN THE CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS AND DISCREPANCIES IN THE DRAWINGS SHALL NOT EXCUSE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS, PREPARED BY THE CONTRACTOR, SUBCONTRACTOR SUPPLIER, OR DISTRIBUTOR. REPRODUCTION OF DRAWINGS CONTAINED IN THE CONTRACT DOCUMENTS SHALL NOT BE PREMITTED.

SHOP DRAWINGS SHALL CONTAIN THE CONTRACTOR'S STAMP CERTIFYING: (A) HIS REVIEW PRIOR TO SUBMITTAL AND, (B) VERIFICATION OF PRODUCTS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA, AND COORDINATION WITH ASSOCIATED AREAS OF WORK.

#### NERGY STAR CERTIFICATION GENERAL NOTES

CONSTRUCTION PROJECTS MUST ACHIEVE ENERGY STAR TIFAMILY NEW CONSTRUCTION PROGRAM CERTIFICATION AS VERIFIED N INDEPENDENT, THIRD-PARTY EXPERT WHO ASSISTS WITH PROJECT GIGN, VERIFIES CONSTRUCTION QUALITY, AND TESTS COMPLETED UNITS. PTIVE RE-USE AND REHABILITATION PROJECTS MUST COMPLY TO THE ENT DOING SO IS ECONOMICALLY FEASIBLE AND AS ALLOWED BY ORIC PRESERVATION RULES.

RD PARTY ACCREDITED ENERGY PROFESSIONAL RATERS MUST FORM BLOWER DOOR TESTS ON THE GREATER OF 10% OF THE TOTAL IBER OF UNITS OR 8 UNITS. THE UNITS TESTED MUST BE DIFFERENT TYPES AND IN DIFFERENT BUILDING LOCATIONS. UNITS THAT FAIL THE WER DOOR TESTS MUST BE REPORTED TO THE AGENCY AT THE TIME AILURE. ADDITIONAL TESTING MAY BE REQUIRED AT OWNER'S

#### NCHFA PRE-APPLICATION NOT FOR CONSTRUCTION 01/16/2023



3300 BATTLEGROUND AVE. SUITE 306 GREENSBORO, NC 27410 P 336.897.0305 www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.

## WEAVERCOOKE





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**KNIG** 

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YNNWOOD ROAD	GHTDALE, NC 27545
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# R C **LIVIN** R

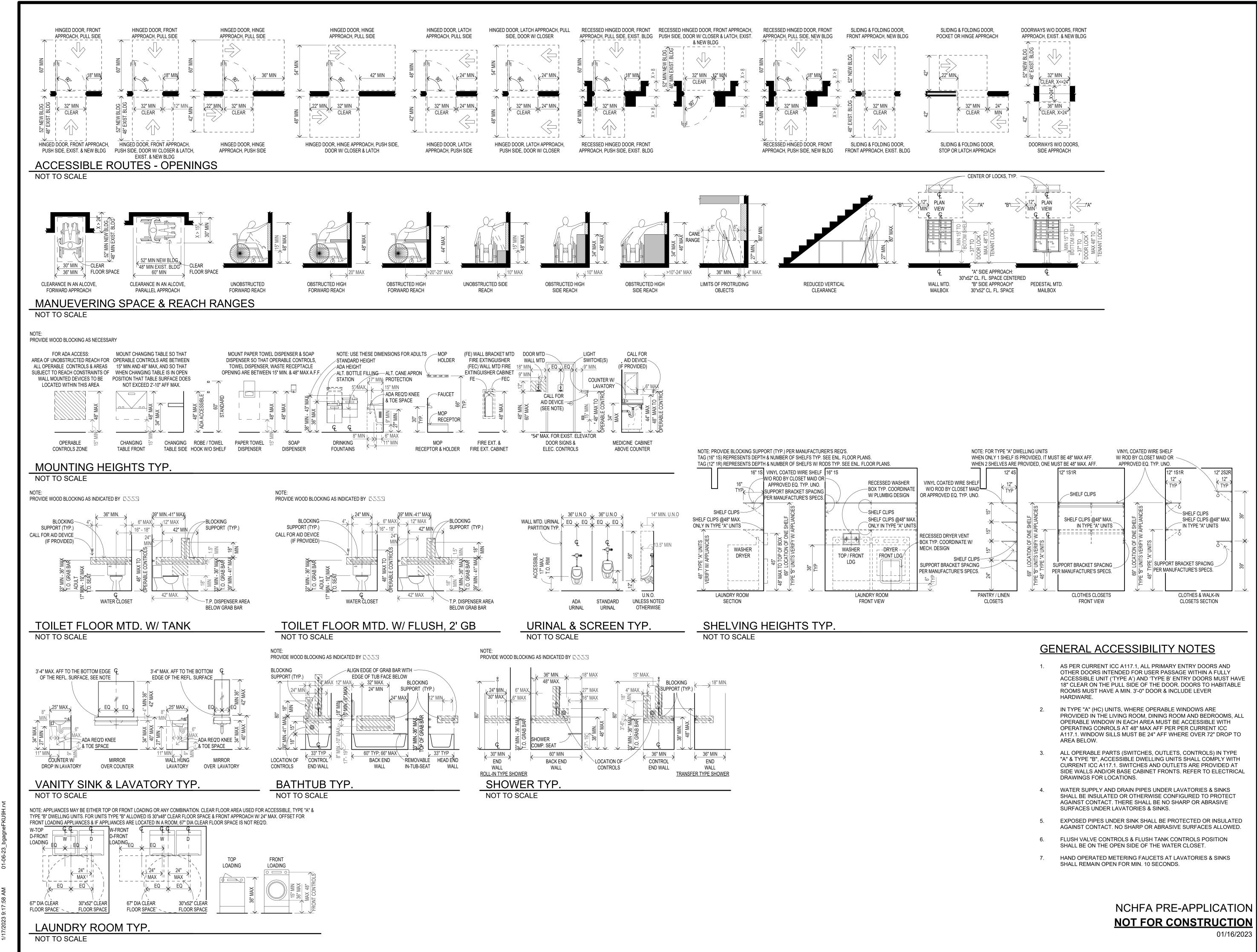
RE	VISIONS	
No.	Description	Date
Designed By		MLM
Drawn By		BG
Checked By		JRH
Date		01/16/2023
Pro	ject No.	MHA-21-17

ARCHITECTRUAL

TITLE

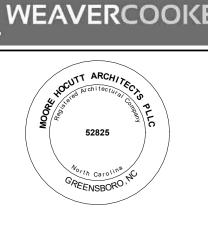
G105

INFORMATION



SE 2

#### **MOORE HOCUTT** 3300 BATTLEGROUND AVE. SUITE 306 GREENSBORO, NC 27410 P 336.897.0305 www.mharchitects.us Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.





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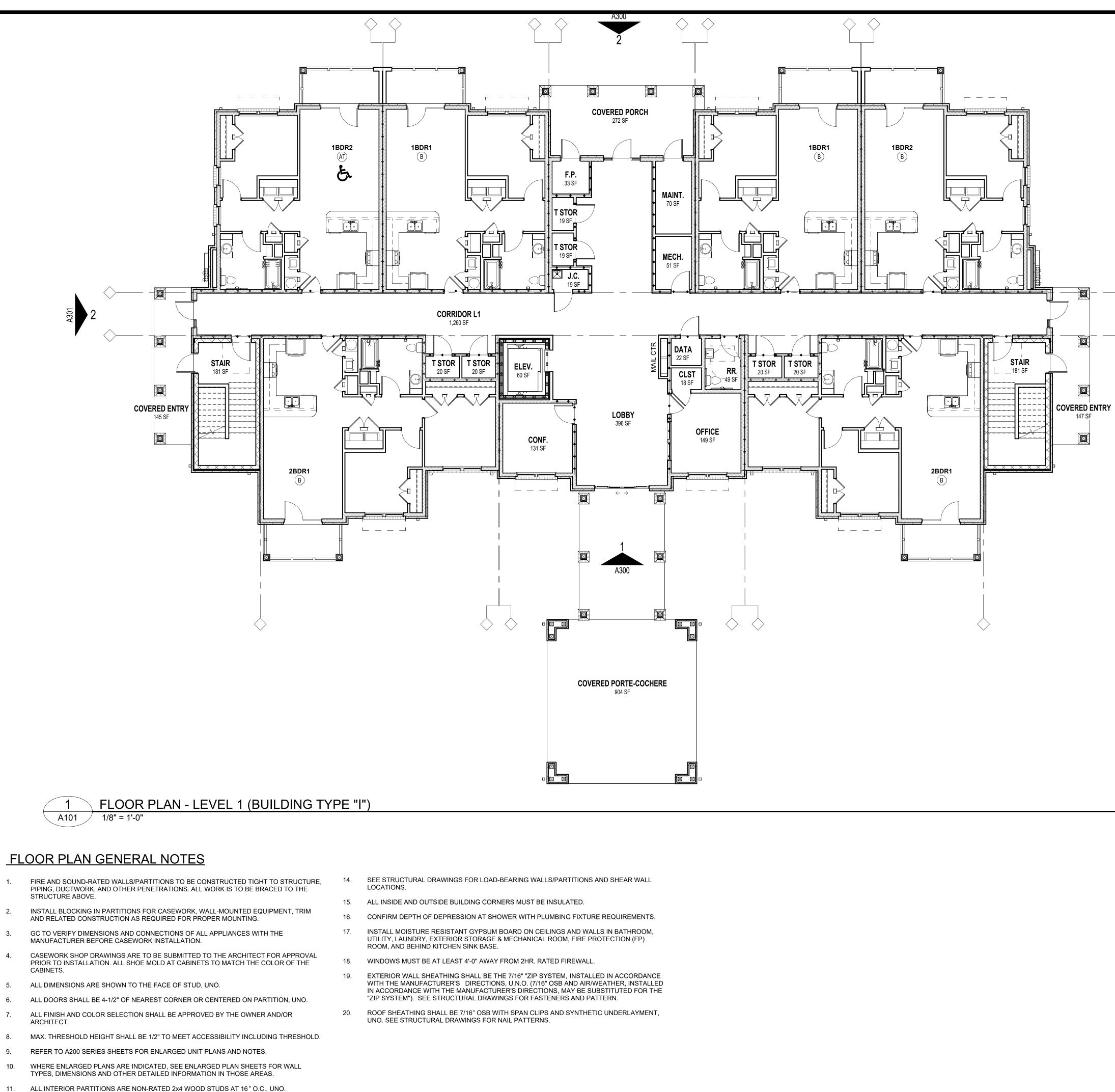
<b>NWOOD ROAD</b>	HTDALE, NC 2754
5	KNIGHTD/

#### REVISIONS No. Description Date JRH Designed By Drawn By BG Checked By JRH 01/16/2023 Date MHA-21-17 Project No.

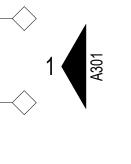
TITLE

#### ACCESSIBILITY INFORMATION

G106

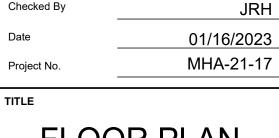


- 12. ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- 13. DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.



#### NCHFA PRE-APPLICATION **NOT FOR CONSTRUCTION** 01/16/2023

**A10** 





(BUILDING TYPE "I")

REVISIONS No. Description Date



ЖŻ NNWOOD

MLM

BG

# REVIEW TS

JRT . MEN R C

0

C

S

Designed By

Drawn By

Checked By

Date

FOR

rchif **MOORE HOCUTT** 3300 BATTLEGROUND AVE. SUITE 306 GREENSBORO, NC 27410

P 336.897.0305

www.mharchitects.us

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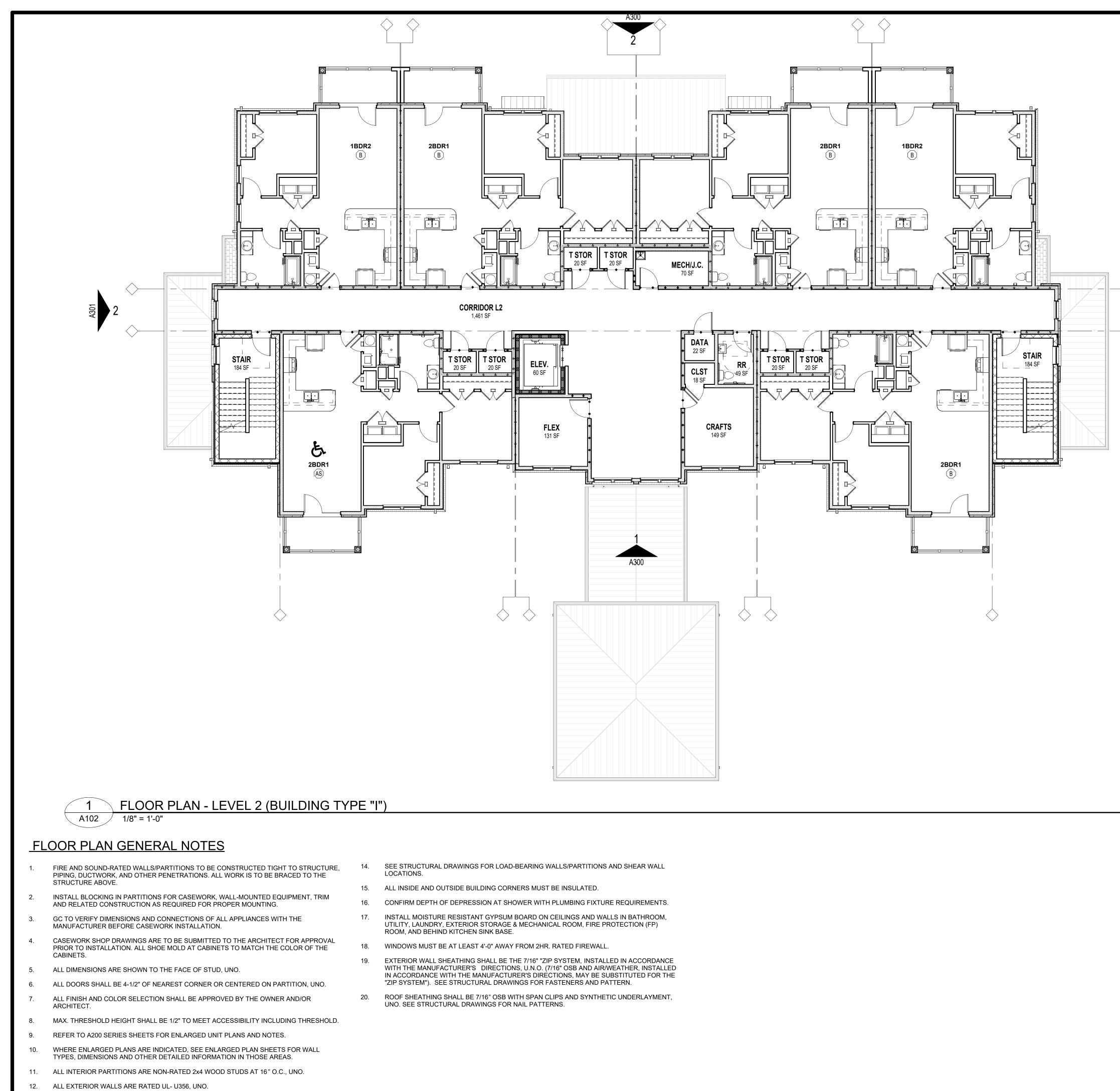
includes documents in electronic form. The DP shall be deemed the author and owner of their respective

Instruments of Service and shall retain all common law,

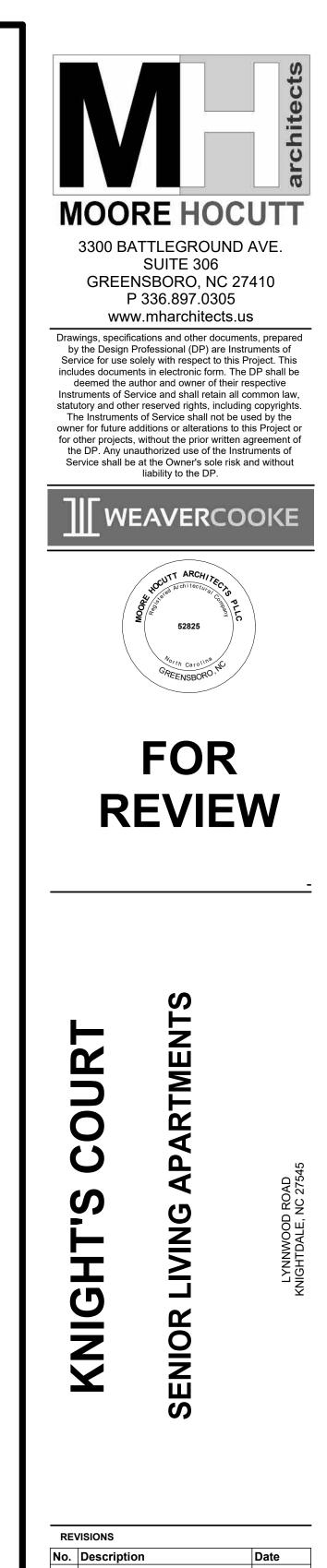
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liability to the DP.

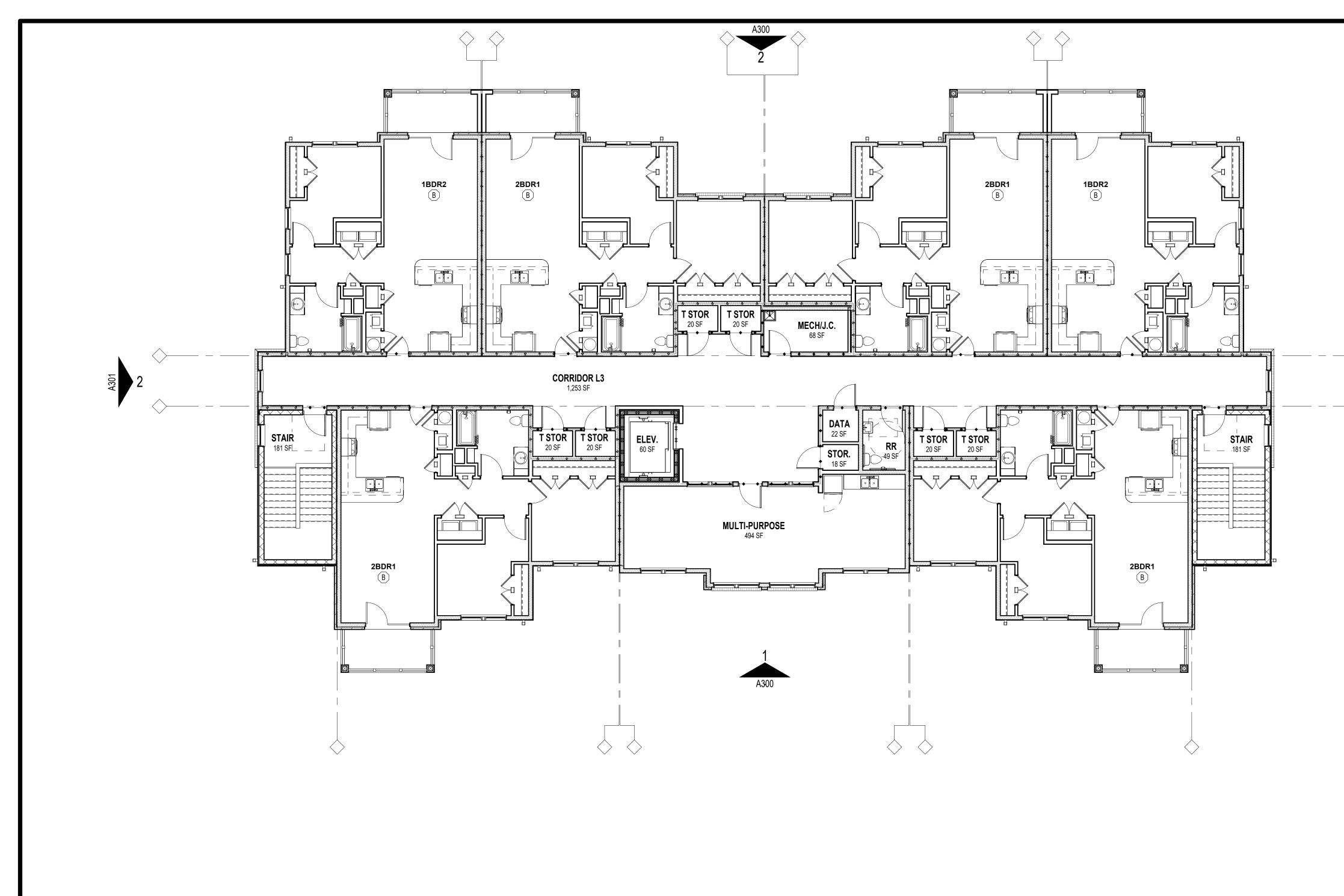
WEAVERCOOKE



13. DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.



Designed By	MLM	
Drawn By	BG	
Checked By	JRH	
Date	01/16/2023	
Project No.	MHA-21-17	
TITLE		
FLOOR PLAN LEVEL 2		
	NG TYPE "I")	
A102		



#### FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I") A103 1/8" = 1'-0"

#### FLOOR PLAN GENERAL NOTES

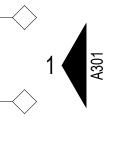
1.	FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
2.	INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL-MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS REQUIRED FOR PROPER MOUNTING.
3.	GC TO VERIFY DIMENSIONS AND CONNECTIONS OF ALL APPLIANCES WITH THE MANUFACTURER BEFORE CASEWORK INSTALLATION.
4.	CASEWORK SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOE MOLD AT CABINETS TO MATCH THE COLOR OF THE CABINETS.
5.	ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNO.
6.	ALL DOORS SHALL BE 4-1/2" OF NEAREST CORNER OR CENTERED ON PARTITION, UNO.
7.	ALL FINISH AND COLOR SELECTION SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT.
8.	MAX. THRESHOLD HEIGHT SHALL BE 1/2" TO MEET ACCESSIBILITY INCLUDING THRESHOLD.
9.	REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.

- WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL 10. TYPES, DIMENSIONS AND OTHER DETAILED INFORMATION IN THOSE AREAS.
- 11. ALL INTERIOR PARTITIONS ARE NON-RATED 2x4 WOOD STUDS AT 16" O.C., UNO.
- 12. ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- 13. DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.

- 14. SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- 15. ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS. 16.
- 17. INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, ROOM, AND BEHIND KITCHEN SINK BASE.
- 18. WINDOWS MUST BE AT LEAST 4'-0" AWAY FROM 2HR. RATED FIREWALL.
- 19. "ZIP SYSTEM"). SEE STRUCTURAL DRAWINGS FOR FASTENERS AND PATTERN.
- 20. ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP)

EXTERIOR WALL SHEATHING SHALL BE THE 7/16" "ZIP SYSTEM, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, U.N.O. (7/16" OSB AND AIR/WEATHER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, MAY BE SUBSTITUTED FOR THE







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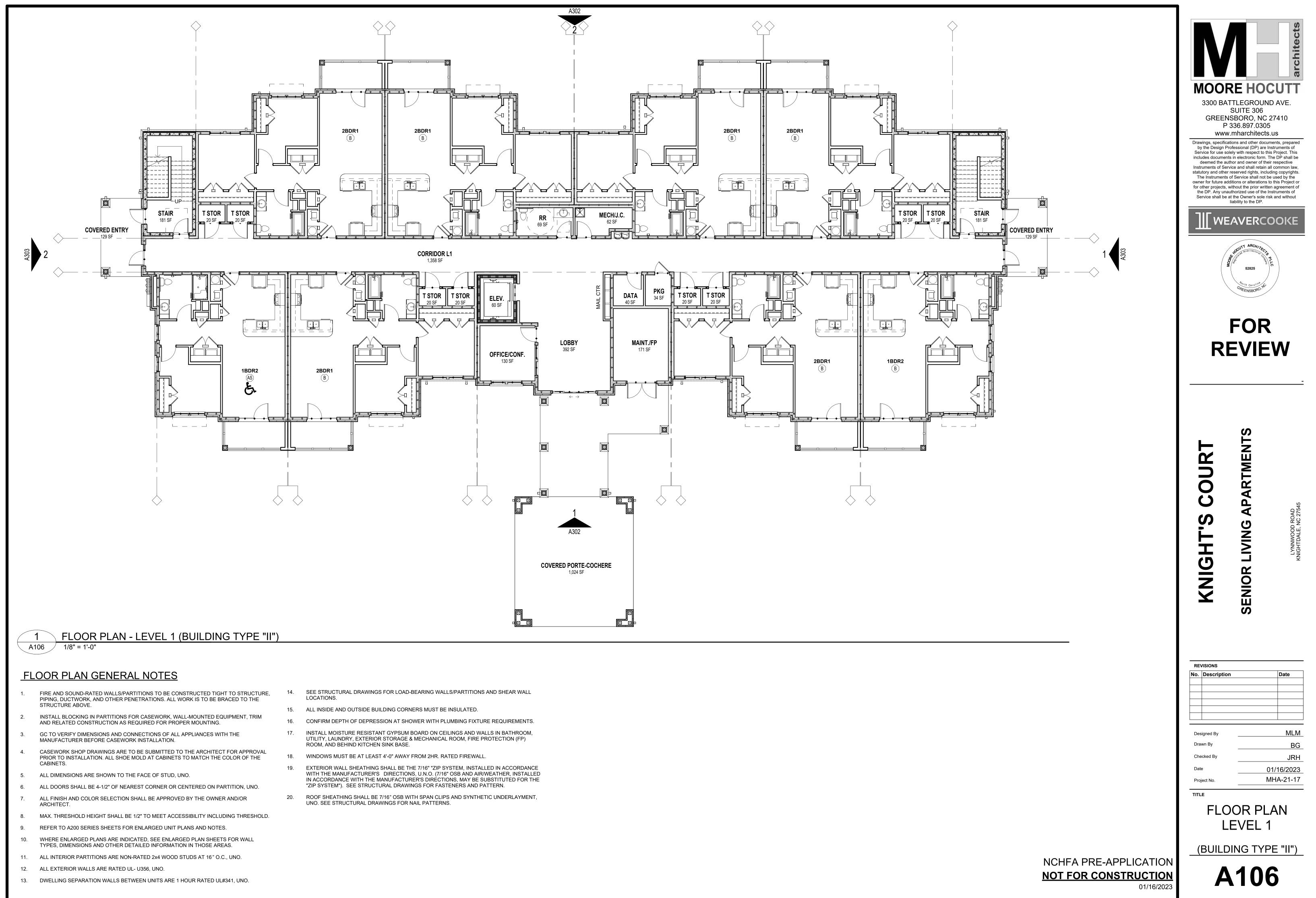
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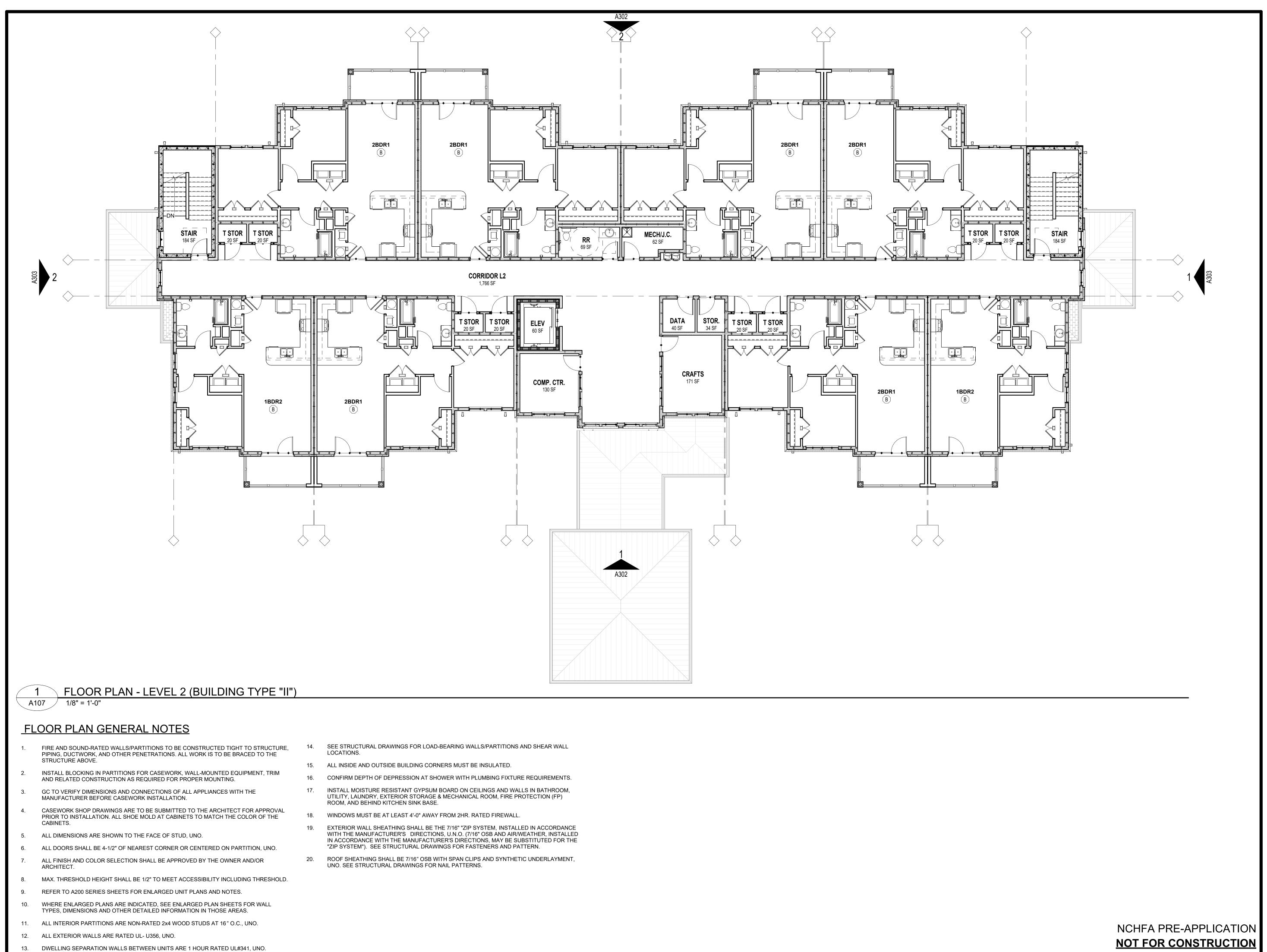
REVISIONS No. Description Date MLM Designed By Drawn By BG Checked By JRH 01/16/2023 Date MHA-21-17 Project No. TITLE



(BUILDING TYPE "I")







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MLM

BG

JRH

01/16/2023

MHA-21-17

FLOOR PLAN

LEVEL 2

(BUILDING TYPE "II")

A107

Designed By

Drawn By

Checked By

Project No.

Date

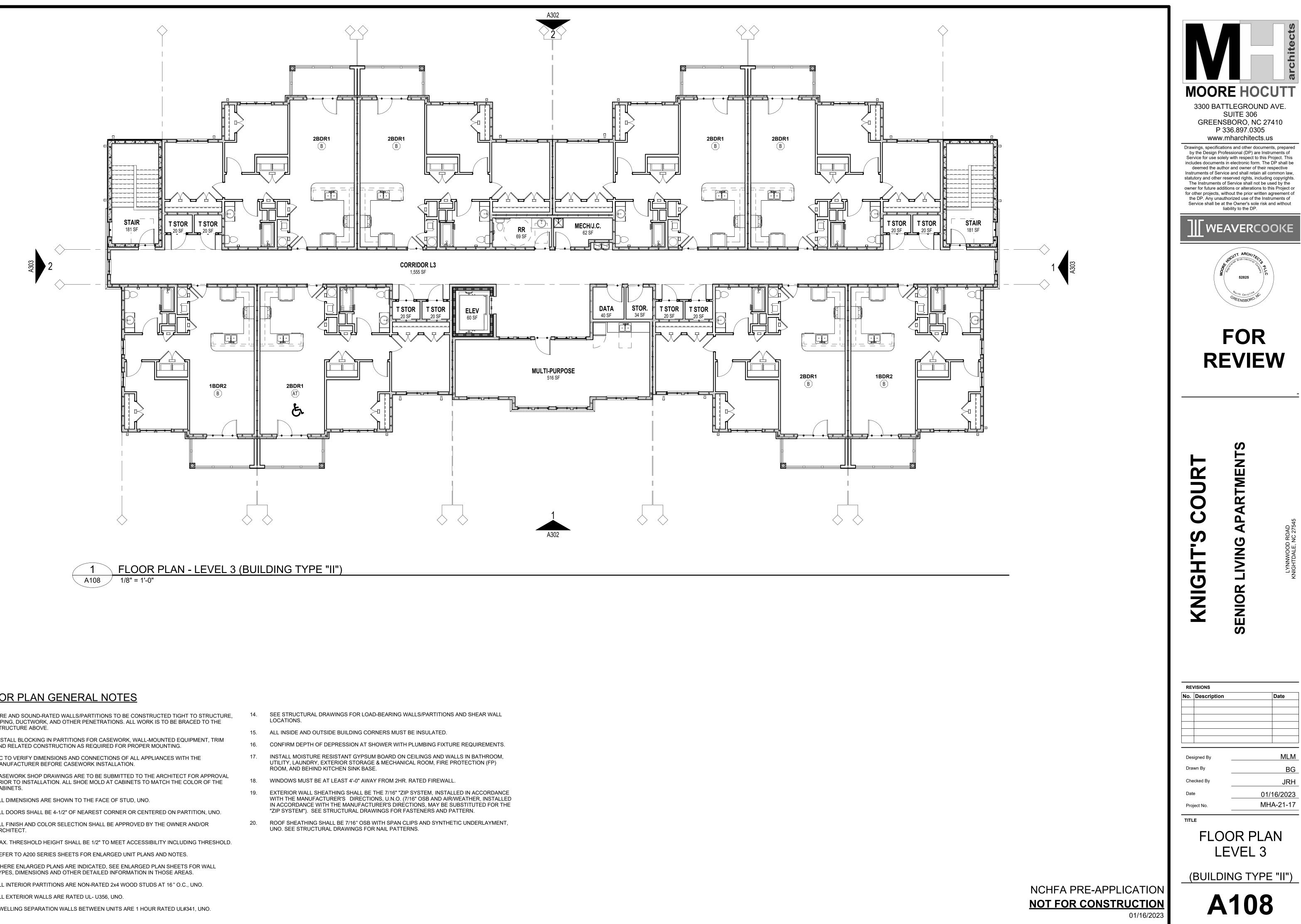
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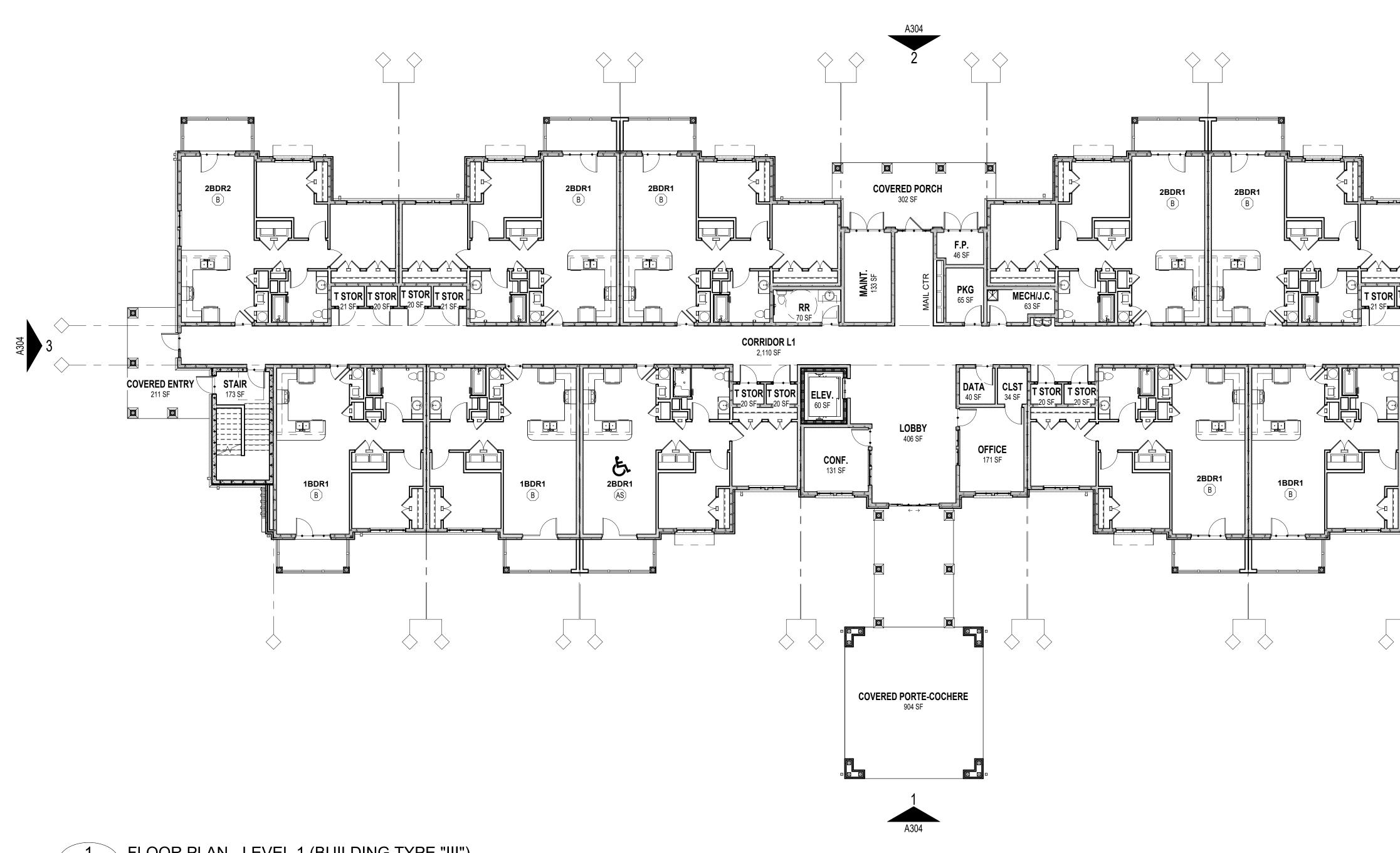
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#### FLOOR PLAN - LEVEL 1 (BUILDING TYPE "III") A111 3/32" = 1'-0"

#### FLOOR PLAN GENERAL NOTES

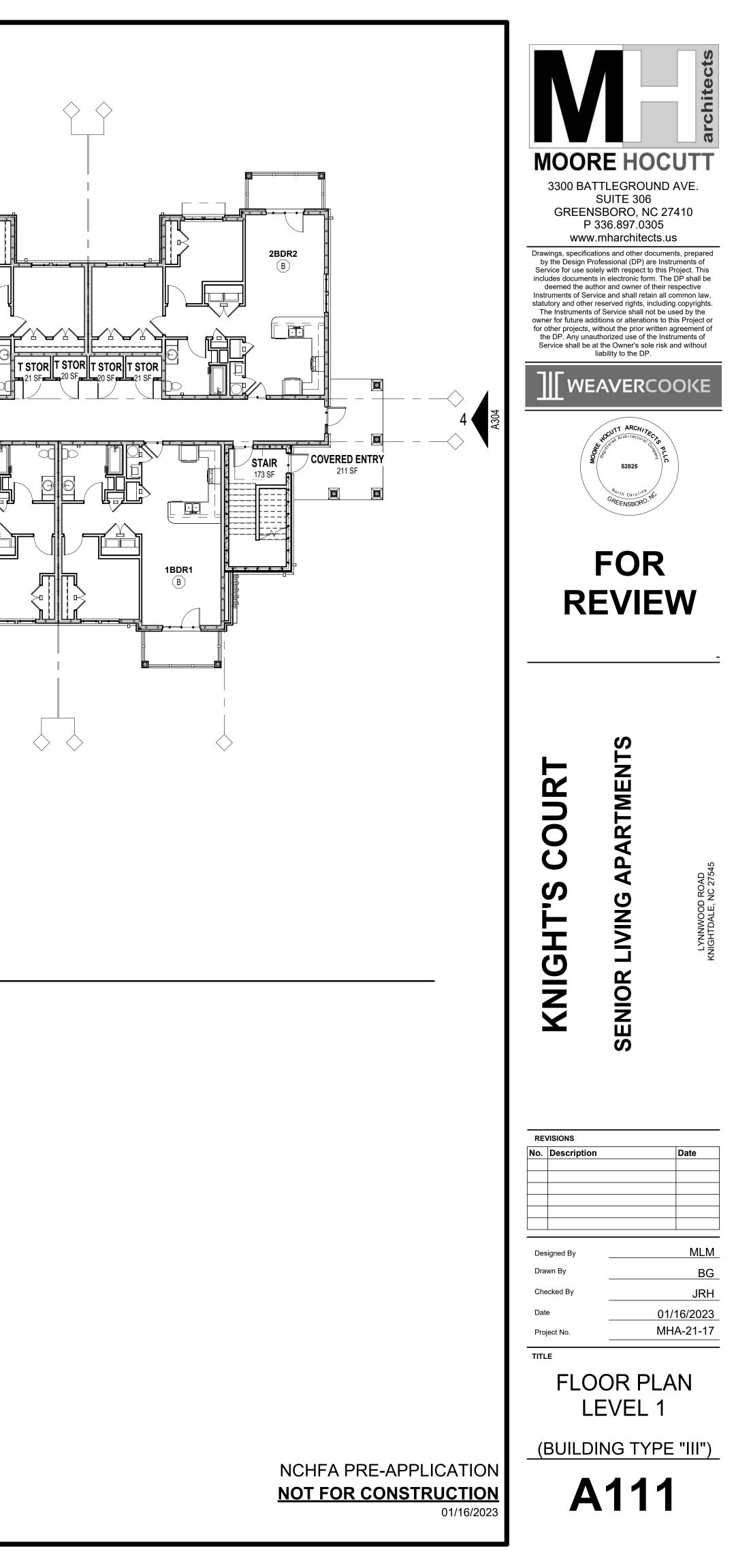
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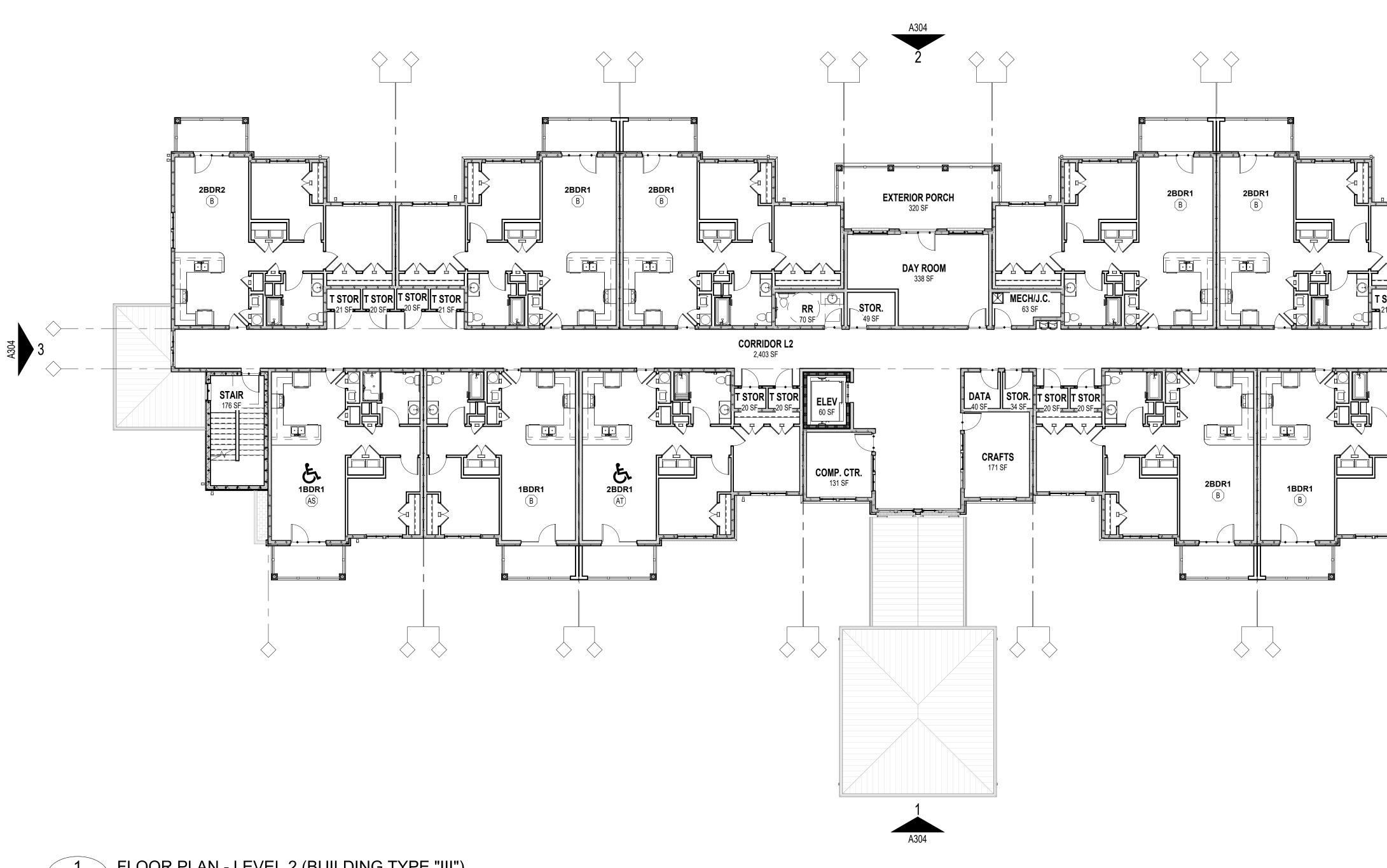
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#### FLOOR PLAN - LEVEL 2 (BUILDING TYPE "III") A112 3/32" = 1'-0"

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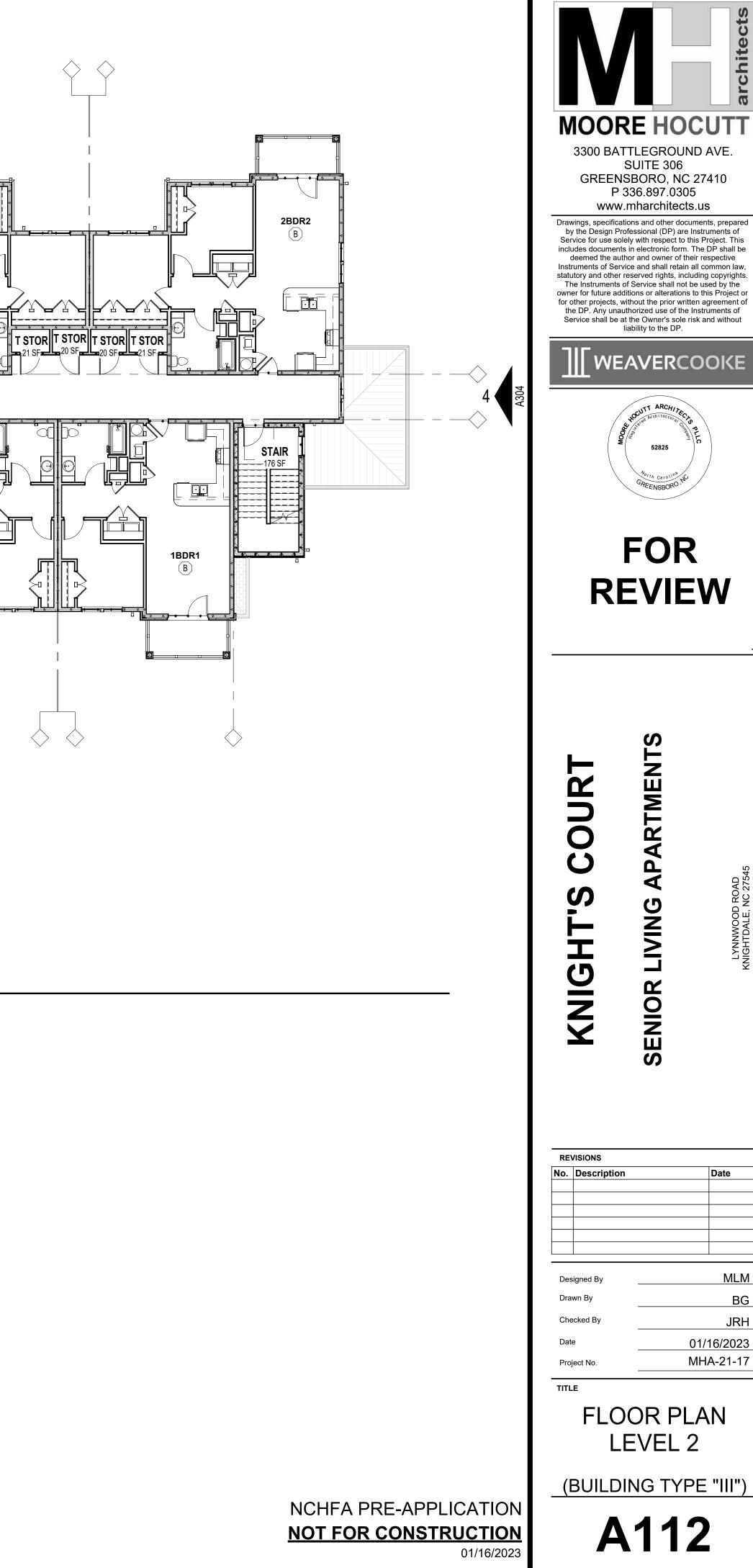
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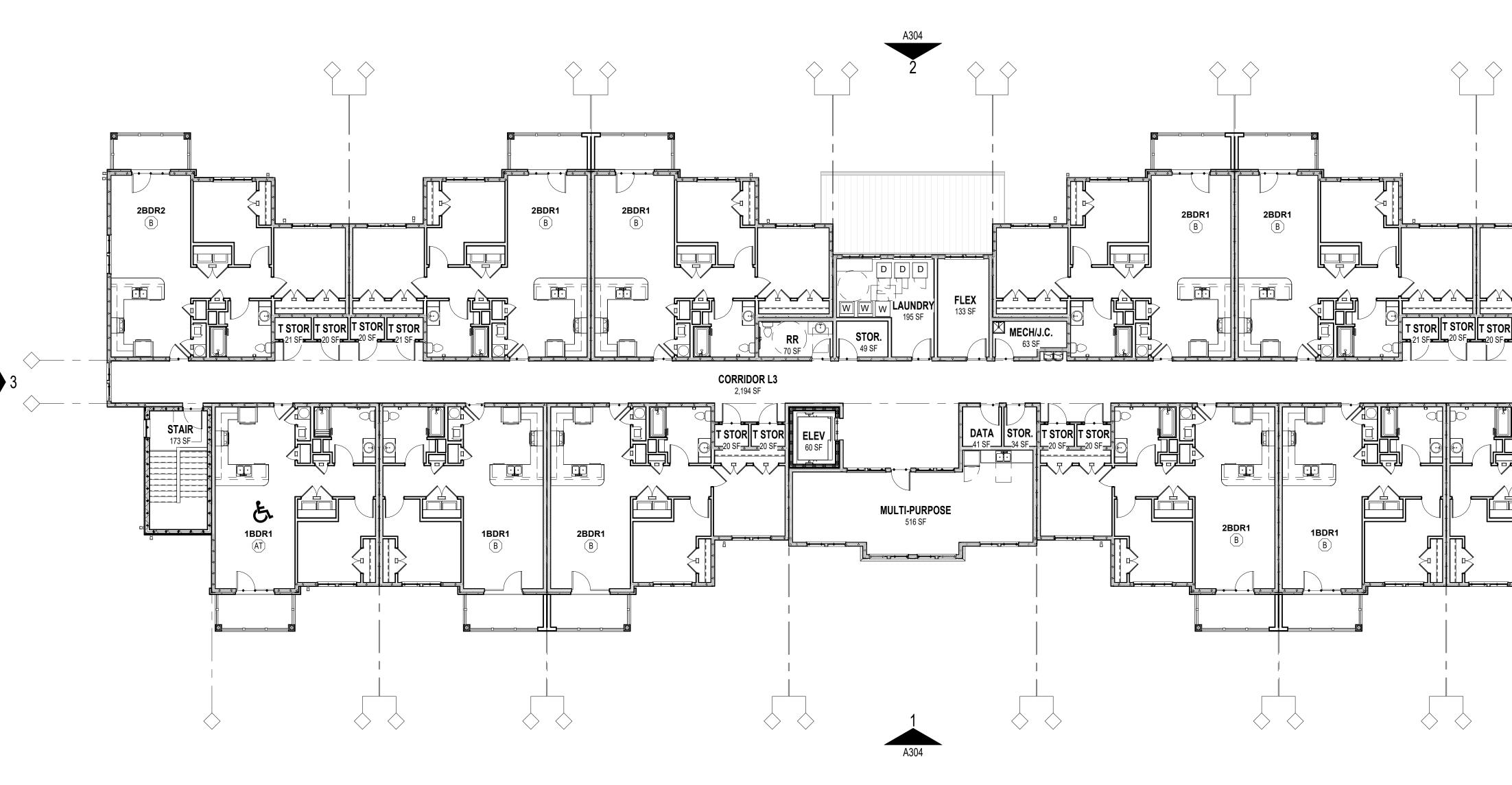
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> FLOOR PLAN LEVEL 2

(BUILDING TYPE "III")







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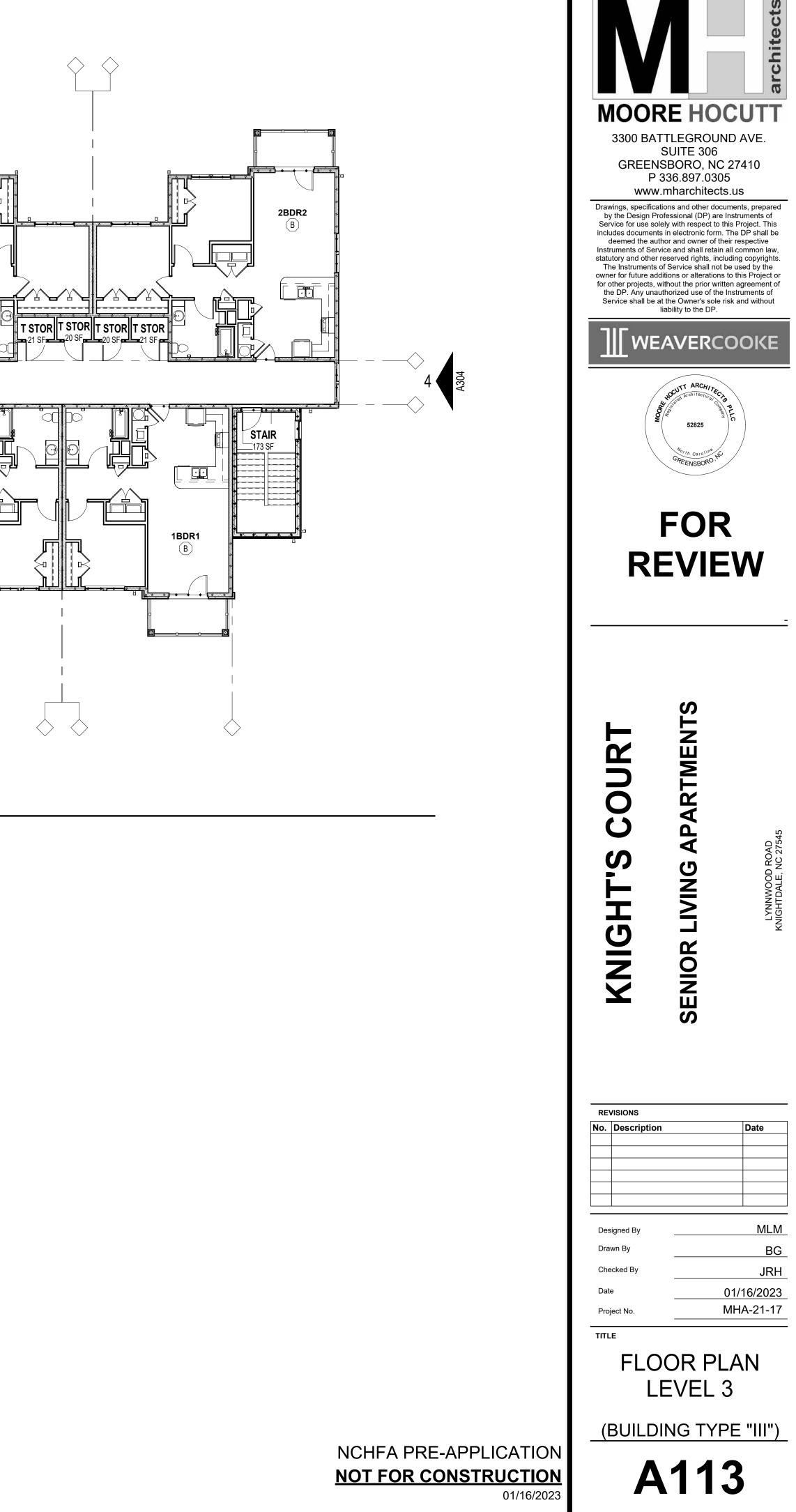
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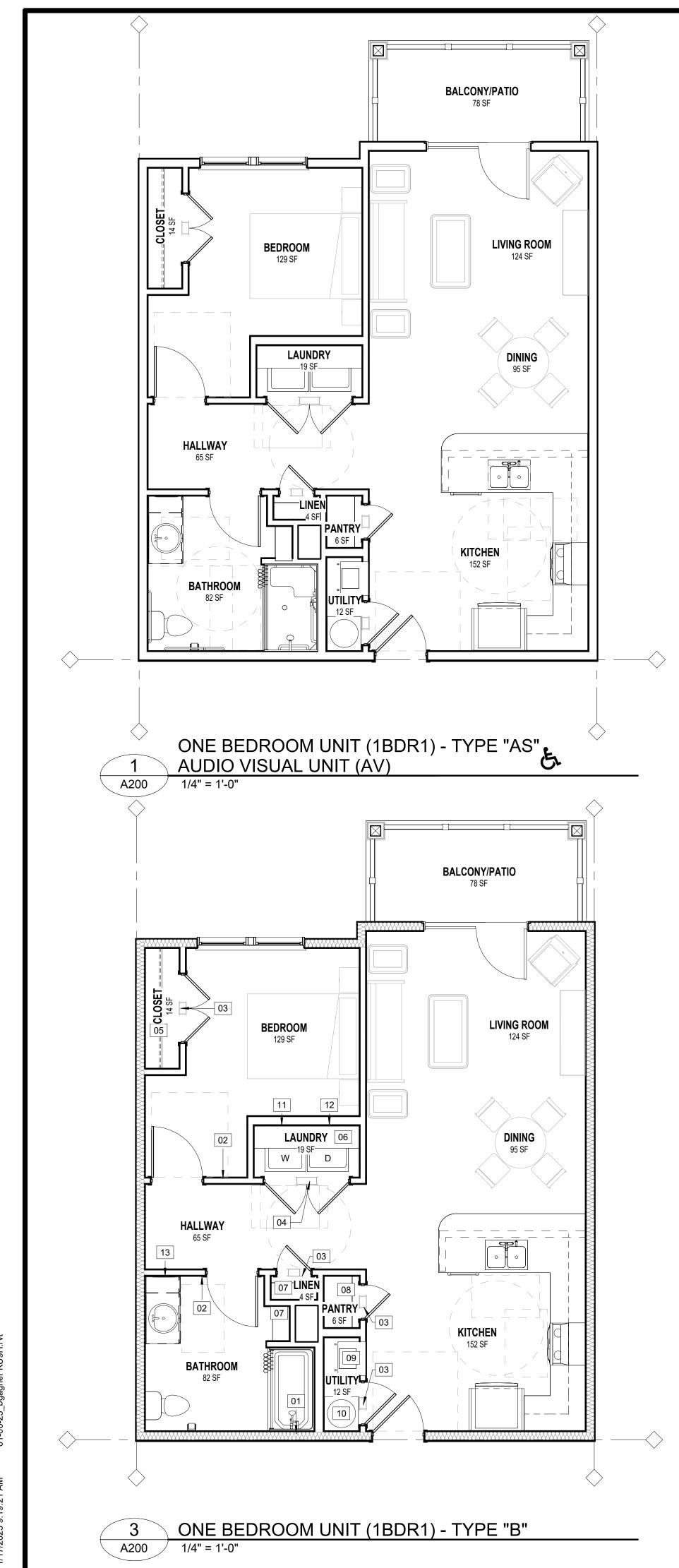
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#### **FLOOR PLAN GENERAL NOTES**

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#### ENLARGED UNIT PLAN KEYNOTES

#### MARK KEYNOTE

- 01 WHERE TUB/SHOWER FIXTURES ARE INSTALLED ADJACENT TO A RATED WALL. TYPE "X" GWB. SHALL BE INSTALLED PRIOR TO TUB/SHOWER INSTALLATION. ONCE TUB/SHOWER ARE INSTALLED CONTRACTOR SHALL INSTALL A FINISH LAYER OF GWB.
- 02 CALL FOR AID STATION.
- 03 PASS THRU GRILLE ABOVE DOOR (8"X4"). MOUNT @ 7'-6" AFF TO CENTERLINE
- 04 PASS THRU GRILLE ABOVE DOOR (14"X8"). MOUNT @ 7'-6" AFF TO CENTERLINE. 05 12" CLOSET SHELF AND ROD
- 06 16" LAUNDRY SHELF
- 07 (4) 12" CLOSET SHELVES
- 08 (4) 20" PANTRY SHELVES
- 09 AIR HANDLER. (SEE MECHANICAL FOR EXACT LOCATION). 10 WATER HEATER. (SEE PLUMBING FOR EXACT LOCATION).
- 11 WASHER CONNECTION BOX. MOUNT @ 36" AFF TO BOTTOM
- OF BOX. 12 DRYER VENT BOX. MOUNT @ 2" FROM BOTTOM OF BOX FROM FINISH FLOOR.
- 13 MEDICINE CABINET



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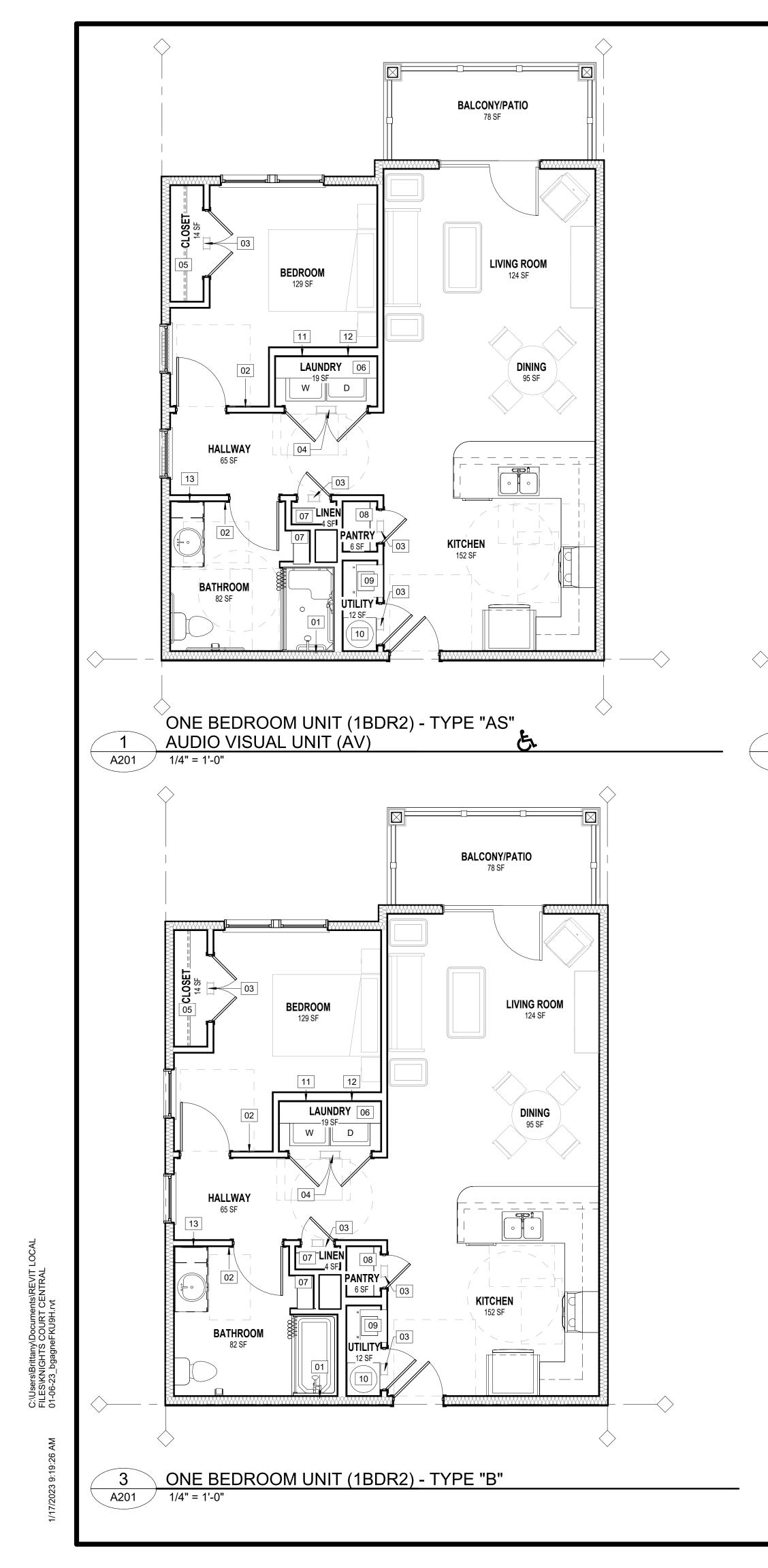
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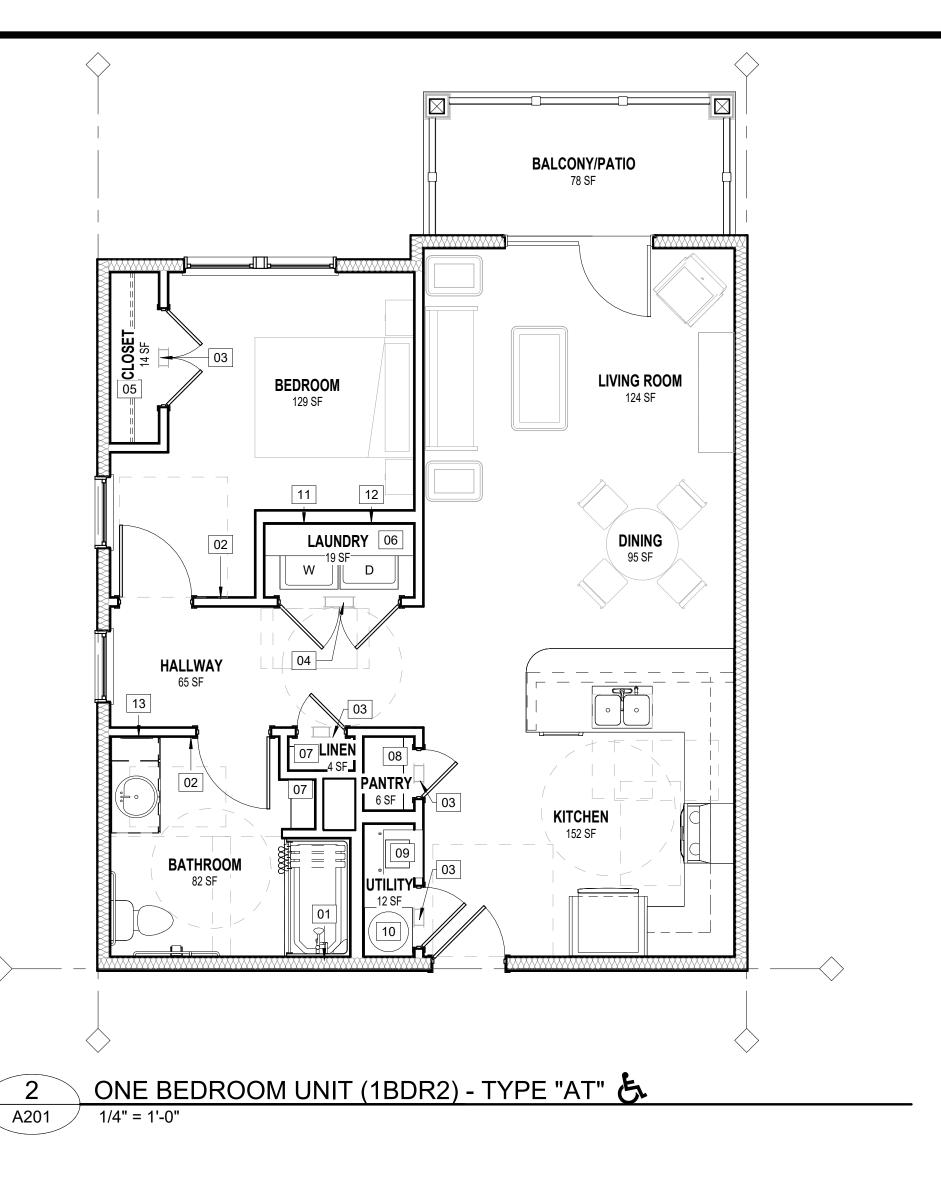
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- WITH THE MANUFACTURER'S DIRECTIONS, U.N.O. (7/16" OSB AND AIR/WEATHER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, MAY BE SUBSTITUTED FOR THE "ZIP SYSTEM"). SEE STRUCTURAL DRAWINGS FOR FASTENERS AND PATTERN.
- 20. ROOF SHEATHING SHALL BE 7/16" OSB WITH SPAN CLIPS AND SYNTHETIC UNDERLAYMENT, UNO. SEE STRUCTURAL DRAWINGS FOR NAIL PATTERNS.

## ENLARGED UNIT PLAN KEYNOTES

#### MARK KEYNOTE

- 01 WHERE TUB/SHOWER FIXTURES ARE INSTALLED ADJACENT TO A RATED WALL. TYPE "X" GWB. SHALL BE INSTALLED PRIOR TO TUB/SHOWER INSTALLATION. ONCE TUB/SHOWER ARE INSTALLED CONTRACTOR SHALL INSTALL A FINISH LAYER OF GWB.
- 02 CALL FOR AID STATION.
- 03 PASS THRU GRILLE ABOVE DOOR (8"X4"). MOUNT @ 7'-6" AFF TO CENTERLINE
- 04 PASS THRU GRILLE ABOVE DOOR (14"X8"). MOUNT @ 7'-6" AFF TO CENTERLINE. 05 12" CLOSET SHELF AND ROD
- 06 16" LAUNDRY SHELF
- 07 (4) 12" CLOSET SHELVES
- 08 (4) 20" PANTRY SHELVES
- 09 AIR HANDLER. (SEE MECHANICAL FOR EXACT LOCATION).
- 10 WATER HEATER. (SEE PLUMBING FOR EXACT LOCATION). 11 WASHER CONNECTION BOX. MOUNT @ 36" AFF TO BOTTOM
- OF BOX. 12 DRYER VENT BOX. MOUNT @ 2" FROM BOTTOM OF BOX FROM FINISH FLOOR.
- 13 MEDICINE CABINET



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# WEAVERCOOKE





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Drawn By

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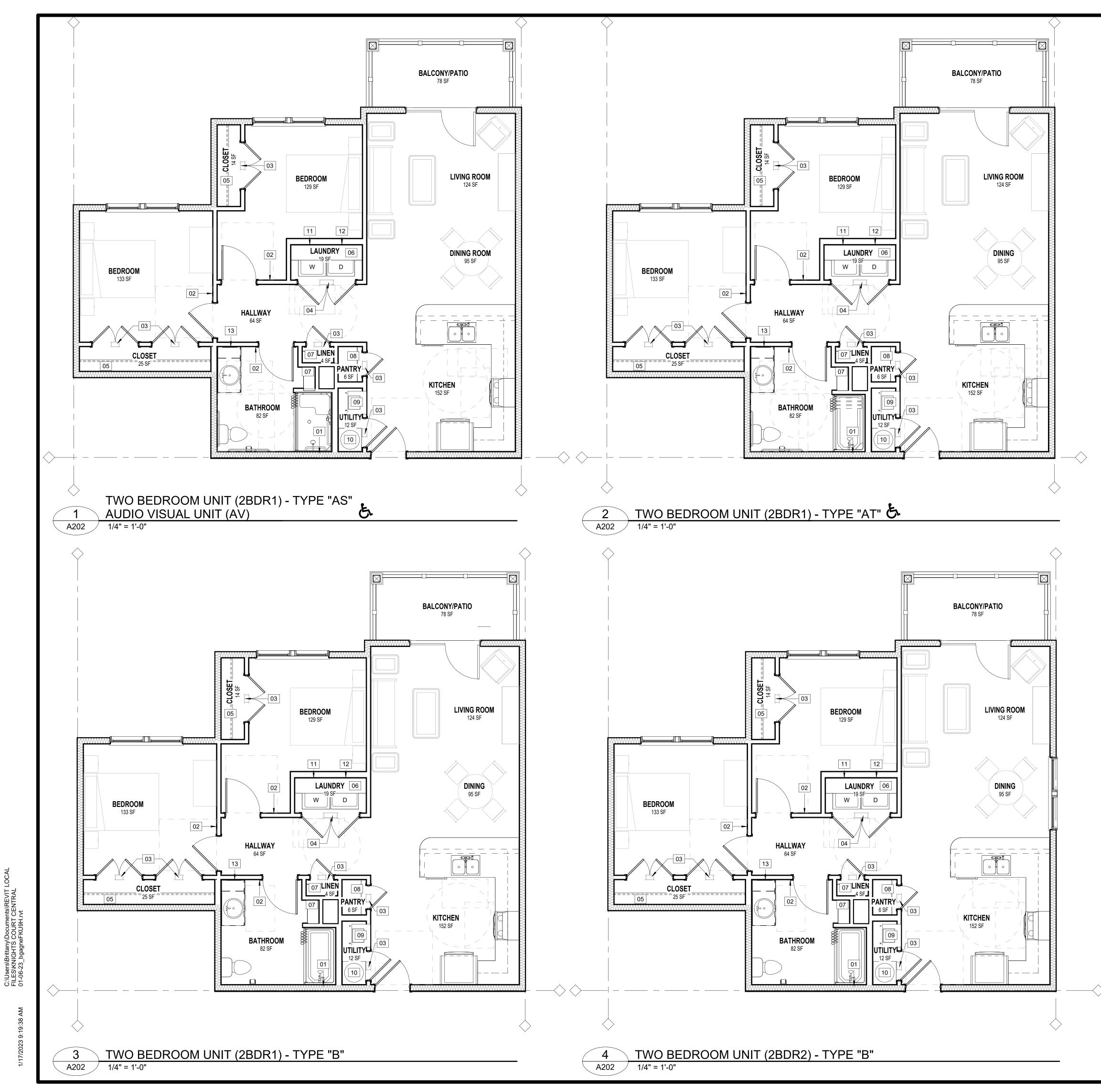
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	KNIGHI	SENIOR LIVIN	LYNNWOG
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No.	Description		Date

Designed By	MLM
Drawn By	BG
Checked By	JRH
Date	01/16/2023
Project No.	MHA-21-17

ENLARGED UNITS

A201



#### FLOOR PLAN GENERAL NOTES

- 1. FIRE AND SOUND-RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK, AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO THE STRUCTURE ABOVE.
- 2. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL-MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS REQUIRED FOR PROPER MOUNTING.
- 3. GC TO VERIFY DIMENSIONS AND CONNECTIONS OF ALL APPLIANCES WITH THE MANUFACTURER BEFORE CASEWORK INSTALLATION.
- 4. CASEWORK SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOE MOLD AT CABINETS TO MATCH THE COLOR OF THE CABINETS.
- 5. ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNO.
- 6. ALL DOORS SHALL BE 4-1/2" OF NEAREST CORNER OR CENTERED ON PARTITION, UNO.
- 7. ALL FINISH AND COLOR SELECTION SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT.
- 8. MAX. THRESHOLD HEIGHT SHALL BE 1/2" TO MEET ACCESSIBILITY INCLUDING THRESHOLD.
- 9. REFER TO A200 SERIES SHEETS FOR ENLARGED UNIT PLANS AND NOTES.
- 10. WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS AND OTHER DETAILED INFORMATION IN THOSE AREAS.
- 11. ALL INTERIOR PARTITIONS ARE NON-RATED 2x4 WOOD STUDS AT 16" O.C., UNO.
- 12. ALL EXTERIOR WALLS ARE RATED UL- U356, UNO.
- 13. DWELLING SEPARATION WALLS BETWEEN UNITS ARE 1 HOUR RATED UL#341, UNO.
- 14. SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING WALLS/PARTITIONS AND SHEAR WALL LOCATIONS.
- 15. ALL INSIDE AND OUTSIDE BUILDING CORNERS MUST BE INSULATED.
- CONFIRM DEPTH OF DEPRESSION AT SHOWER WITH PLUMBING FIXTURE REQUIREMENTS.
   INSTALL MOISTURE RESISTANT GYPSUM BOARD ON CEILINGS AND WALLS IN BATHROOM, UTILITY, LAUNDRY, EXTERIOR STORAGE & MECHANICAL ROOM, FIRE PROTECTION (FP)
- ROOM, AND BEHIND KITCHEN SINK BASE.18. WINDOWS MUST BE AT LEAST 4'-0" AWAY FROM 2HR. RATED FIREWALL.
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#### ENLARGED UNIT PLAN KEYNOTES

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ENLARGED UNITS

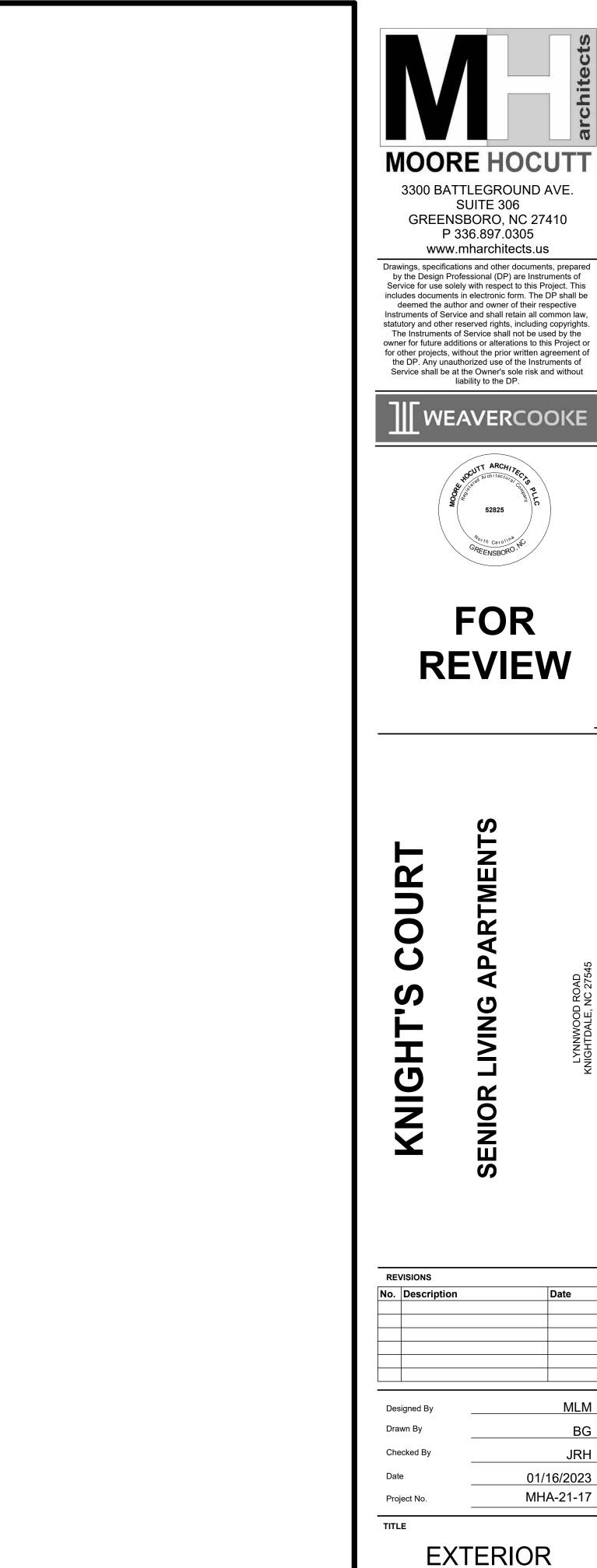
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VIT SAL SE2

L	MARK	REINOTES
	01	FIBER CEMENT HORIZONTAL LAP SIDING.
	02	FIBER CEMENT VERTICAL BOARD AND BATTEN SIDING.
	03	FIBER CEMENT RAKE TRIM.
Κ,	04	FIBER CEMENT TRIM (1X6).
E	05	FIBER CEMENT CORNER TRIM.
	06	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GU
	07	PREFINISHED ALUMINUM DOWNSPOUT.
	08	PRESSURE TREATED 8X8 COLUMN WITH PVC WRAP.
	09	BRICK VENEER WITH ROWLOCK.
	10	BRICK ROWLOCK SILL.
	11	BRICK SOLDIER HEAD.
	12	BRICK VENEER WITH SOLDIER COURSE AND ROWLOCK.
	13	STANDING SEAM METAL ROOF.
	14	30-YEAR ARCHITECTURAL SHINGLES.
	15	METAL AWNING.
	16	VINYL - CLAD DOUBLE HUNG UNIT WINDOW.
	17	VINYL - CLAD SINGLE HUNG UNIT WINDOW.
	18	VINYL CLAD DOUBLE FIXED WINDOW.
	19	VINYL GUARD RAILING.
	20	ALUMINUM STOREFRONT DOOR.
NT	21	INSULATED DOUBLE EXTERIOR DOOR.
Γ.	22	INSULATED SINGLE EXTERIOR DOOR.
	23	METER CENTER.



#### NCHFA PRE-APPLICATION **NOT FOR CONSTRUCTION** 01/16/2023



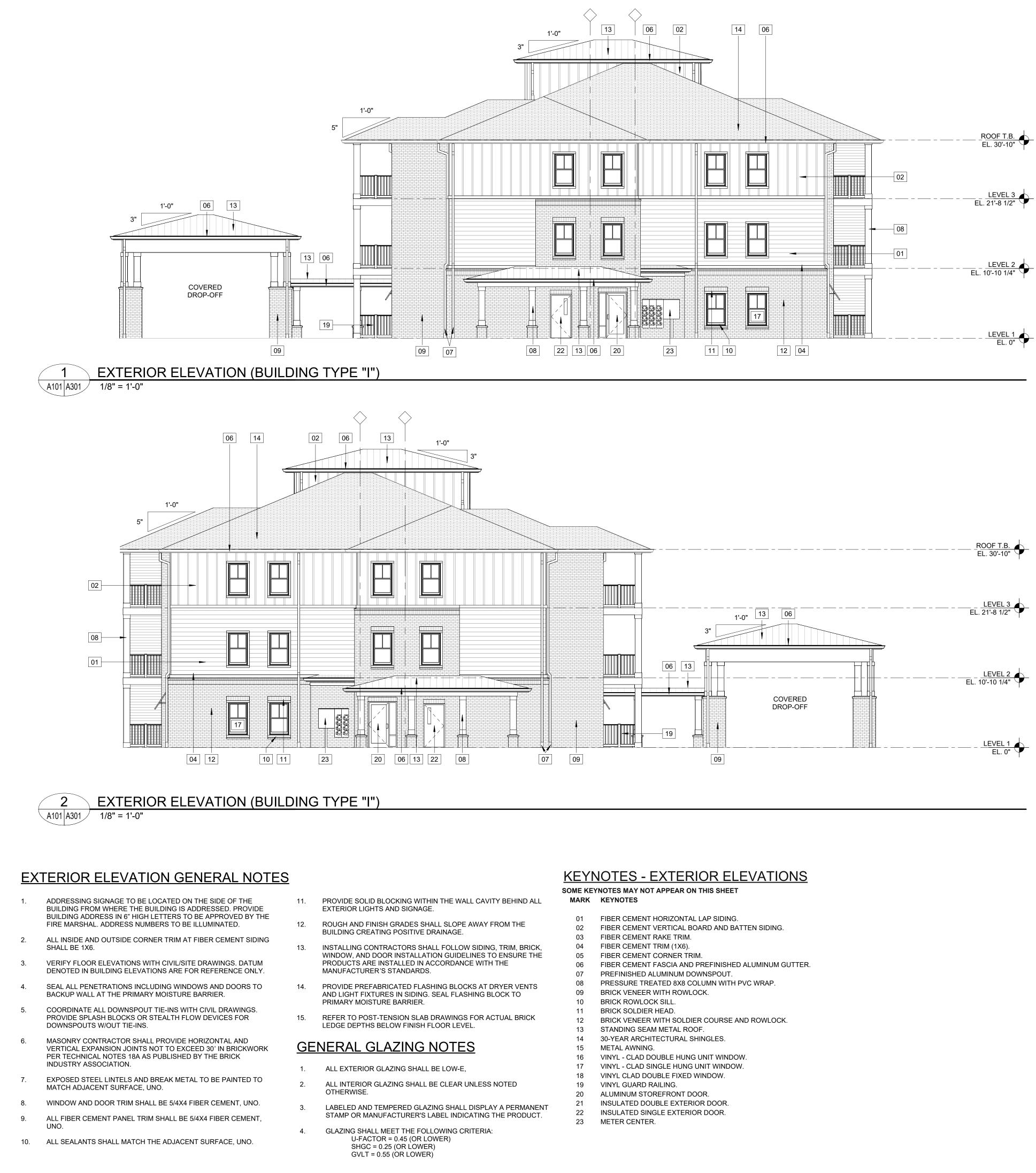
ELEVATIONS

(BUILDING TYPE "I")

찐허 LYNNWOOD NIGHTDALE,

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VIT SAL SE2



Designed By	MLM	
Drawn By	BG	
Checked By	JRH	
Date	01/16/2023	
Project No.	MHA-21-17	
TITLE		

EXTERIOR

**ELEVATIONS** 

(BUILDING TYPE "I")

A301



- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT THE PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTH FLOW DEVICES FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO. ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, 9.
- UNO.
- 10. ALL SEALANTS SHALL MATCH THE ADJACENT SURFACE, UNO.

- PRODUCTS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS 14. AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL. 15.

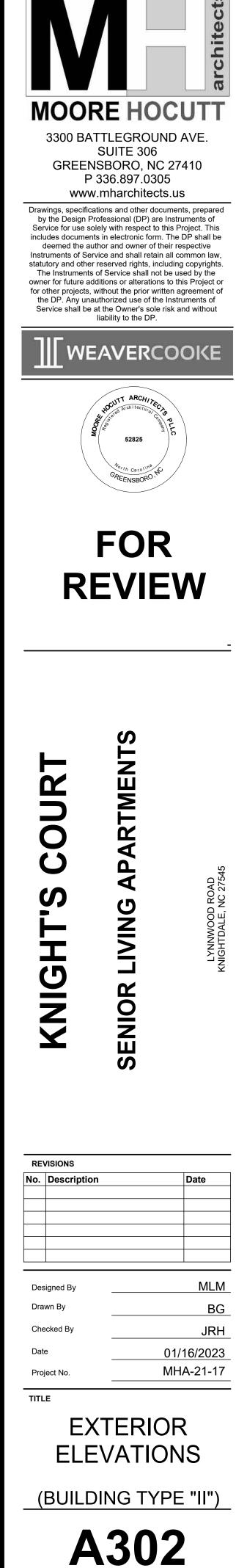
#### **GENERAL GLAZING NOTES**

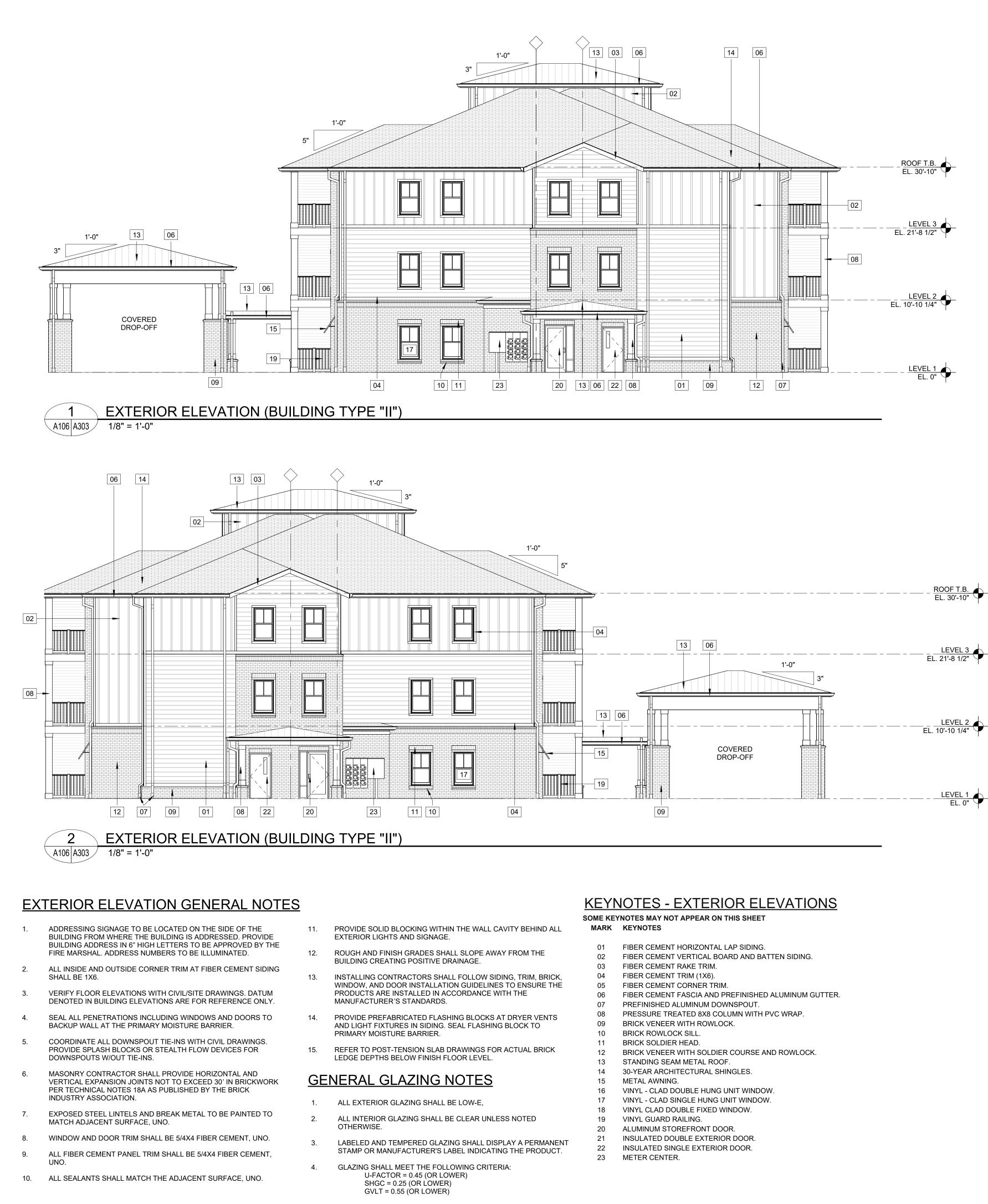
1. ALL EXTERIOR GLAZING SHALL BE LOW-E,

3.

- ALL INTERIOR GLAZING SHALL BE CLEAR UNLESS NOTED 2. OTHERWISE.
- LABELED AND TEMPERED GLAZING SHALL DISPLAY A PERMANEN STAMP OR MANUFACTURER'S LABEL INDICATING THE PRODUCT.
- GLAZING SHALL MEET THE FOLLOWING CRITERIA: 4 U-FACTOR = 0.45 (OR LOWER) SHGC = 0.25 (OR LOWER) GVLT = 0.55 (OR LOWER)

-	MARK	KEYNOTES
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VIT SAL SE2



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EXTERIOR **ELEVATIONS** 

(BUILDING TYPE "II")





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# NCHFA PRE-APPLICATION

(BUILDING TYPE "III") A304

**ELEVATIONS** 

01/16/2023