



## TOWN OF KNIGHTDALE

950 Steeple Square Court  
Knightdale, NC 27545  
KnightdaleNC.gov

**ORDINANCE #20-06-17-006**  
**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE**  
**OF THE TOWN OF KNIGHTDALE**  
**WHICH INCLUDES THE ZONING DISTRICT MAP**

**ZMA-8-19 Parkstone Phase 2 & Planned Unit Development**

**WHEREAS**, the Town of Knightdale has received a petition to amend the zoning of a portion of property from Highway Business Conditional District (HB-CD) to Residential Mixed Use with a Planned Unit Development (RMX-PUD) and;

**WHEREAS**, the Town Council finds the proposed zoning map amendment is consistent with the 2035 KnightdaleNext Comprehensive Plan as it addresses several of the guiding principles such as encouraging great design and compact development patterns while creating great neighborhoods with expanded home choices. The townhome development transitions smoothly to a future retail site that is walkable, includes gathering spots, and creates a unique activity center. Further, it is consistent with the General Growth Framework and Growth & Conservation Map's designation as a "Mixed Use Center" placetype. The request is reasonable and in the public interest as it aids in developing a vibrant, sustainable, and safe community design in which people not only desire to visit, but to also live, work, and play.

**NOW, THEREFORE, BE IT ORDAINED** by the Town Council of the Town of Knightdale, North Carolina:

**SECTION 1:** That the Unified Development Ordinance of the Town of Knightdale Code, which includes the Zoning District Map, be amended to rezone approximately 15.68± acres of a 26.68± acre tract located within the Town of Knightdale's Corporate Limits, east of Parkstone Towne Boulevard and south of Village Park Drive, addressed 901 Parkstone Towne Blvd., and identified as Wake County PIN 1744.04-84-3799 from Highway Business Conditional District (HB-CD) to Residential Mixed Use with a Planned Unit Development (RMX-PUD) as indicated.

**SECTION 2.** That the additional conditions contained within the application identified as ZMA-8-19 and PUD Document (Exhibit A), and listed below apply as additional zoning conditions to the parcel of land identified as PIN 1744.04-84-3799:

1. The applicant must proceed with an amendment to the existing Parkstone UAA (*Wake County Register of Deeds Book 016667, Pages 02285-02315*)
2. The 11.0 acre balance of the 26.68± acre tract will remain zoned the existing Highway Business Conditional District (HB-CD) designation.

3. The Master Plan (site plan) approved under ZMA-7-16 is amended to show a reduction in the commercial retail space from 260,000± square feet to 102,200± square feet in accordance with the approved ZMA-8-19 PUD Document.
4. The zoning conditions granted by ZMA-7-16, including but not limited to retail building architecture and Allowable Uses remain intact. (Exhibit B)
5. The 18 townhouse units on the eastern property line, proposed Lots 106-123, will have driveway access from the public street, rather than the UDO requirement that lots less than 80 feet in width have alley/rear lane access.
6. The maximum allowed front setbacks may be larger than the UDO maximum of 25 feet, and may vary in size in accordance with the approved Master Plan (site plan).
7. The spacing between townhome units can be as close as six feet, rather than the UDO requirement of 10 feet, so long as the spacing meets all building and fire code requirements.
8. A variable width Type C Buffer will be provided between the townhome development (RMX-PUD) and future retail parcel to the north (HB-CD) rather than the UDO requirement of 50 feet in width. The buffer will be a minimum of 19 feet wide on the residential property.
9. A vinyl fence will be installed on the HB-CD retail property and installation will take place when construction begins on the alley loaded townhomes along the northern shared property line.
10. The recreational open space requirement for the townhome development will be reduced by 4%. The applicant will provide 4.73 acres of open space rather than the UDO requirement of 4.93 acres.
11. The applicant will provide an easement for a future transit stop or bus shelter along Village Park Drive in accordance to the revised and approved Site Plan.
12. The applicant has provided actual home elevations that will be built in the development (included in PUD document). In addition to the elevations, the applicant offers and agrees to the additional conditions listed below:
  - a. All front entries will be covered (either recessed or with a roof overhead)
  - b. All buildings will have front façade or roofline offsets
  - c. Front facades of each unit will include at least one of the following: masonry, metal roof accents, shakes, or board and batten. Each grouping of attached townhomes will include at least two of these items.
  - d. All front windows will either be set in brick, include 4" window trim, shutters, or decorative pediments.
  - e. All units will have changes in rooflines with either gables, dormers, or shed bump outs.
  - f. All building end gables and front and rear gables will have 12" overhangs.
  - g. All plank siding shall be cementitious.
  - h. Garage doors on front-loaded townhomes will be decorative with decorative carriage style hardware with glass.
  - i. Patios or decks will be provided on a minimum of 15% of the 2-story rear loaded units.
  - j. For 3-story townhome types, a minimum of one balcony will be provided on the front façade for attached townhomes that are four units or less. Townhomes with more than four units will provide a minimum of two balconies on the front facade.

- k. Townhomes will be on monoslab foundations. Steps up to the front entry will be provided in accordance with attached PUD document. In summary, two-steps up to the front entry will be provided for 88 units, including those units facing Parkstone Towne Blvd. Due to site grades, 26 units will have one step, and the remaining 34 units will have no steps.

13. The submitted Site Plan (Exhibit C) and home elevations will serve as the site-specific development plan. However, the applicant must submit Construction Drawings to the Town for approval that are in conformance with the approved conditions of the RMX-PUD zoning district, Master Plan comments, Unified Development Ordinance, and comments from the March 4, 2020 DRC meeting.

**SECTION 3.** That the Planned Unit Development plan attached as ZMA-8-19 Parkstone PUD be adopted in its entirety to be included in this Ordinance and to have the same effect in law.

**SECTION 4.** That all laws and clauses of law in conflict herewith are hereby repealed to the extent of said conflict.

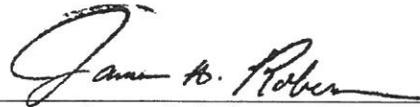
**SECTION 5.** That if this ordinance or application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions of this ordinance which can be given separate effect and to the end the provisions of this ordinance are declared to be severable.

**SECTION 6.** That this ordinance has been adopted following a duly advertised public hearing of the Town Council and following review and recommendation by the Land Use Review Board.

**SECTION 7.** That this ordinance shall be enforced as provided in G.S. 160A-175 or as provided for in the Knightdale Town Code

**SECTION 8.** That this ordinance shall become effective upon its adoption by Town Council.

Adopted this 17<sup>th</sup> day of June, 2020



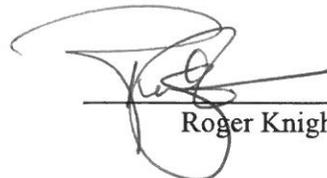
James A. Roberson, Mayor

ATTEST:



Heather M. Smith, Town Clerk

APPROVED AS TO FORM:



Roger Knight, Town Attorney

# **EXHIBIT A**

## *Planned Unit Development*

Town of Knightdale Project #ZMA-8-19

## **Parkstone Townhomes 901 Parkstone Towne Boulevard**

**Knightdale, North Carolina  
KHA Project ID No. 017254007**

Prepared for:  
Widewaters  
Knightdale Development Ownership, LLC  
Submitted: October 17, 2019  
Resubmitted: February 14, 2020  
Revised: March 6, 2020  
Revised: April 30, 2020  
Revised: June 11, 2020

PLANNED UNIT DEVELOPMENT

PARKSTONE TOWNHOMES  
901 PARKSTONE TOWNE BOULEVARD  
KNIGHTDALE, NORTH CAROLINA

PREPARED FOR:  
WIDEWATERS  
KNIGHTDALE DEVELOPMENT OWNERSHIP, LLC  
PO BOX 3  
DEWITT, NY 13214

PREPARED BY:  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST. SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
NC CERT. OF AUTH: F-0102

SUBMITTED: OCTOBER 17, 2019  
RESUBMITTED: FEBRUARY 14, 2020  
REVISED: MARCH 6, 2020  
REVISED: APRIL 30, 2020  
REVISED: JUNE 11, 2020

KHA #017254007

**Disclosure Statement:**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

## TABLE OF CONTENTS

1. **VISIONING STATEMENT**
2. **EXISTING CONDITIONS**
3. **MASTER PLAN**
4. **2035 COMPREHENSIVE PLAN CONSISTENCY**
5. **DESIGN GUIDELINES**
6. **LANDSCAPING AND OPEN SPACE**
7. **ROADS AND UTILITIES**
8. **NEIGHBORHOOD MEETING REPORT**

# 1. VISIONING STATEMENT

The Parkstone Master Plan incorporates a mix of retail and residential uses. Widewaters is proposing 148 townhomes adjacent to the recently constructed apartment community. The proposed townhomes will be within a Planned Unit Development District. This district is designed to encourage master planning of the development so as to manage the impacts of the development on the provision of Town Services and infrastructure. The Planned Unit Development encourages creativity and innovation in the design of development. The subject project addresses the following goals as stated below:

- Provide exceptional design, character, and quality;
  - The stated architectural building elements located proximately to other residential communities and retail will provide a high-quality work-play experience.
- Provide high quality community amenities;
  - Open space amenities in extreme proximity to the Townhomes will provide opportunities for relaxation, congregation, and exercise. Additionally, the adjacency of retail will provide for walkable shopping and eating.
- Incorporate creative design in the layout of buildings;
  - The Townhomes front walkable streets and expansive green areas at the heart of the Parkstone development.
- Ensure compatibility with surrounding land uses and neighborhood character;
  - The Townhomes are an excellent transition from the apartments to the south and retail to the north while providing an avenue for pedestrian connection to each. An existing undisturbed buffer and fence is already providing for the adjacent lower density residential to the east.
- Ensure the creation of mixed density neighborhood nodes, and mixed-use centers;
  - The Townhomes are the nucleus of the Parkstone Mixed Use development ensuring the connection of the southern residential areas to the northern retail.
- Further the goals of the Comprehensive Plan including the growth framework and growth and conservation map;
  - The Townhomes are an infill project in a priority investment and activity center. The residential area contributes to the mix of uses and is appropriately located in the Mixed-Use area of the Growth and Conservation map.
- Provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure.
  - Major infrastructure already exists at the property limits. The looped street network provides for good circulation and an excellent grid network providing all residents convenient opportunities to the open spaces and other residents.

PARKSTONE MASTER PLAN



## 2. EXISTING CONDITIONS

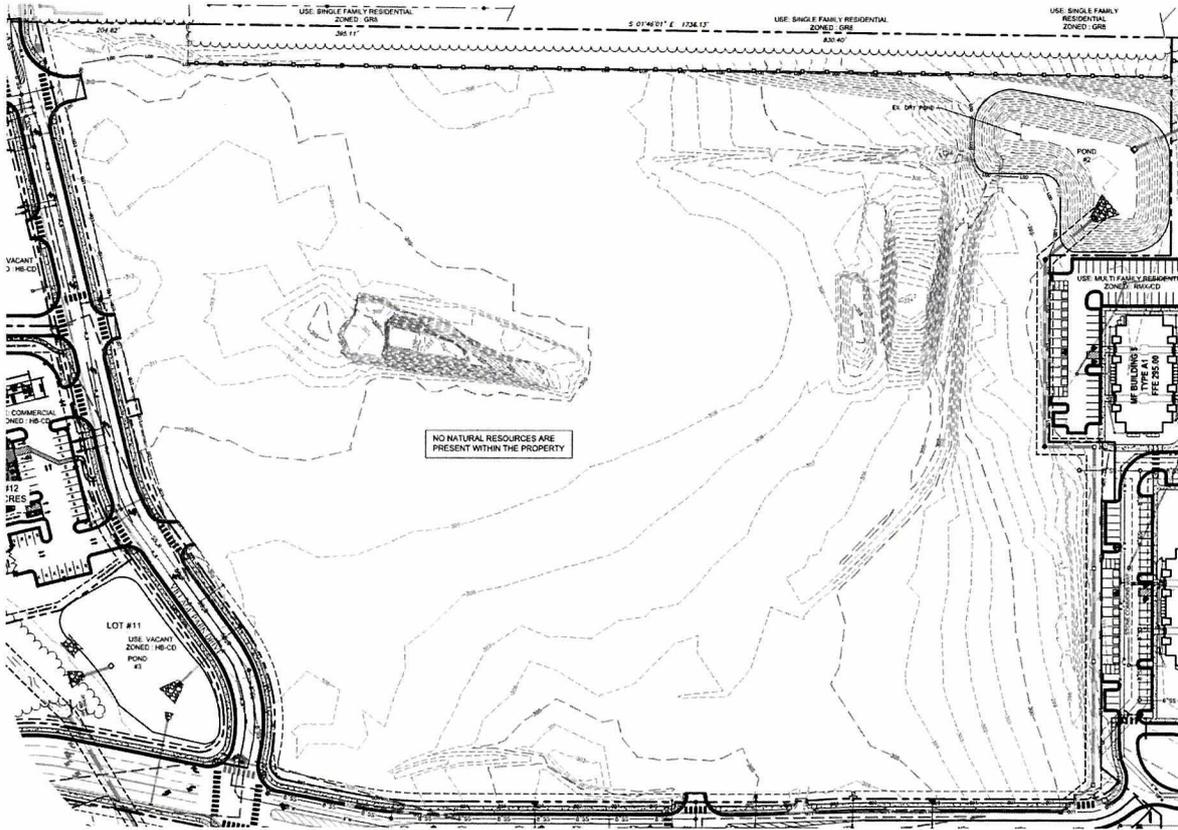
### EXISTING CONDITIONS SUMMARY

Parkstone Townhomes is located on a parcel to the south of the intersection of Parkstone Towne Blvd. and Village Park Dr. The parcel is identified with the Wake County Property Identification Number: 1744843799. The parcel comprising Parkstone Townhomes slopes to the south and west from the north east. There is an existing dry detention pond on site and no other natural resources present. The land was previously cleared.

### EXISTING AERIAL PHOTO



EXISTING TOPOGRAPHY



### 3. PARKSTONE TOWNHOMES MASTER PLAN

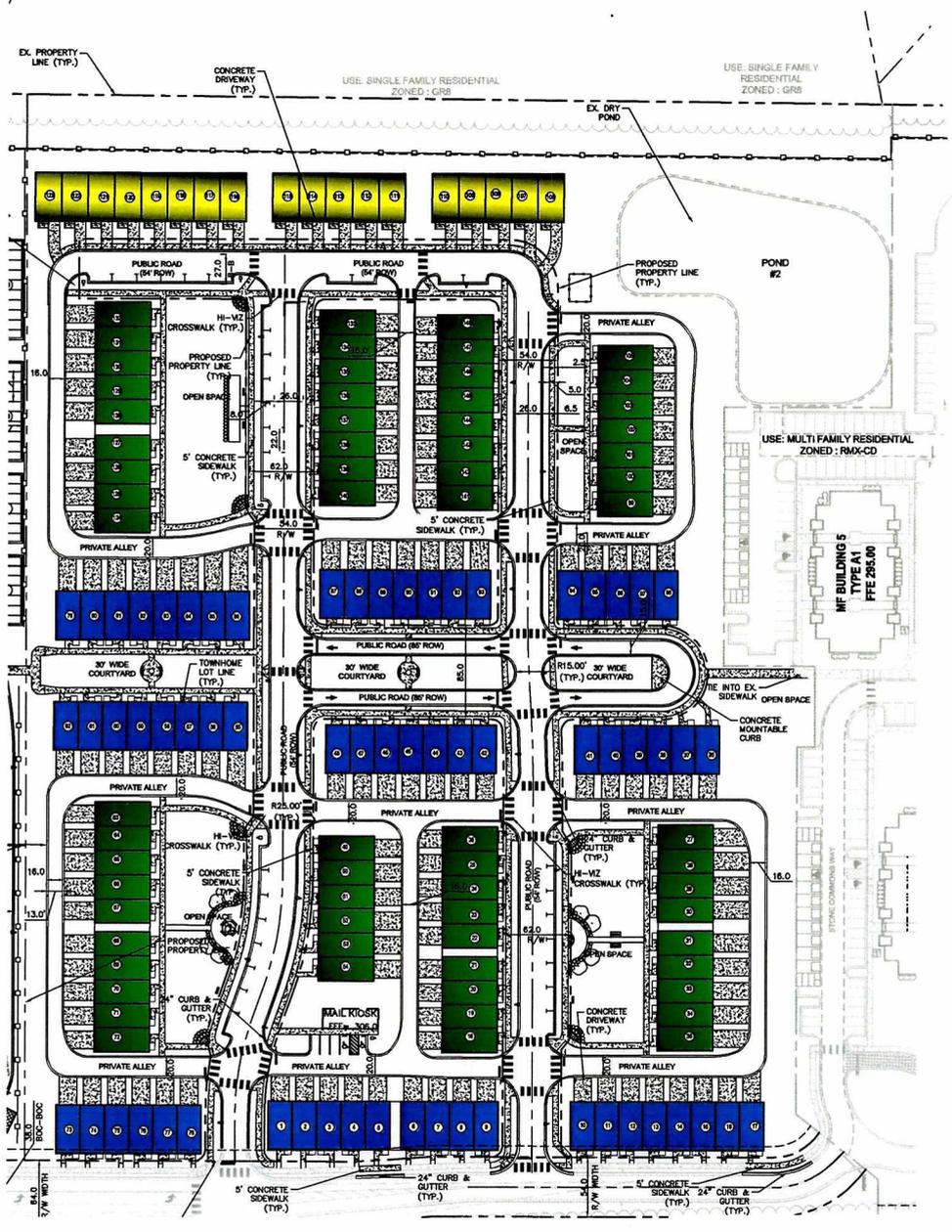
#### DEVELOPMENT DETAILS

Parkstone Townhomes will consist of 148 units on 15.68 acres designed to the RMX and Planned Unit Development standards of the Town of Knightdale Unified Development Ordinance. Parkstone Townhomes will provide a unique housing choice conveniently located to existing retailers and immediately adjacent to future retail. The community is also located on the periphery of an existing residential node. Parkstone Townhomes will have convenient outdoor space with a central pedestrian connection to both existing residential and future retail.

#### DEVELOPMENT MIX

	Number of units	Percentage of Development
• Front-loaded Townhouses	18	12.2%
• Rear-loaded Townhouses	130	87.8%
○ 3-Story	64	43.2%
○ 2-Story	66	44.6%

# TOWNHOME MAP



**LEGEND**

- PAINTED TRAFFIC ARROW
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE (8\"/>

- NOTE:**
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
  2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  3. THERMOPLASTIC STRIPING TO BE USED FOR ALL PAVEMENT STRIPING EXCEPT PARKING STALLS.

	18 UNITS	2 STORY FRONT LOAD
	24 UNITS	3 STORY ALLEY ACCESS
	36 UNITS	2 STORY ALLEY ACCESS

## REAR-LOADED TOWNHOMES

### Modifications to UDO Standards

Rear-Loaded Townhouses within Parkstone Townhomes will comprise 87.8% of the total number of dwelling units. Elevations and architectural standards are proposed as part of this PUD document. All townhouses will have garages and are located in close vicinity to site amenities. The proposed density will not exceed RMX standards.

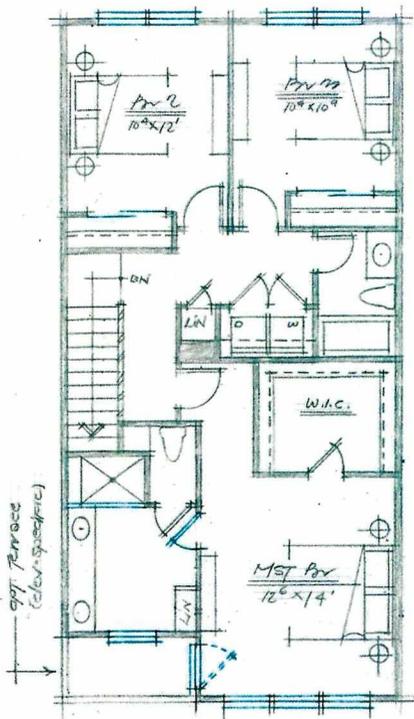
### Townhouse Dwelling Standards

- Front setback (min) 0'
- Front setback (max) 25'
- Minimum building separation 6'
- Rear setback from rear lane/alley(min) 15' (exclusive of optional decks)
- Maximum building height 3 stories
- Minimum driveway length 20'

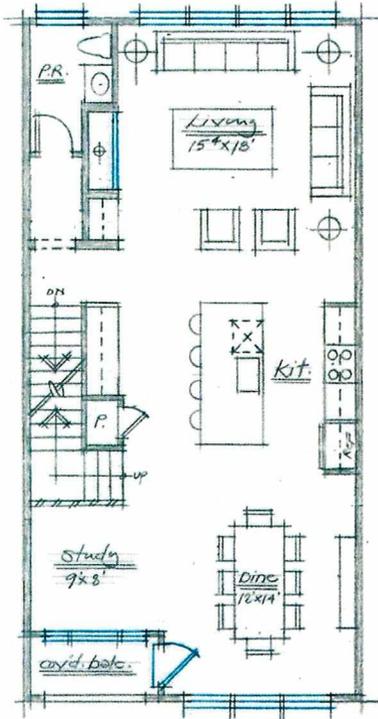
See attached elevations sheets for more details. For architectural variety, features noted as "optional" will be installed within each run of townhome units but not necessarily on each unit within the run.



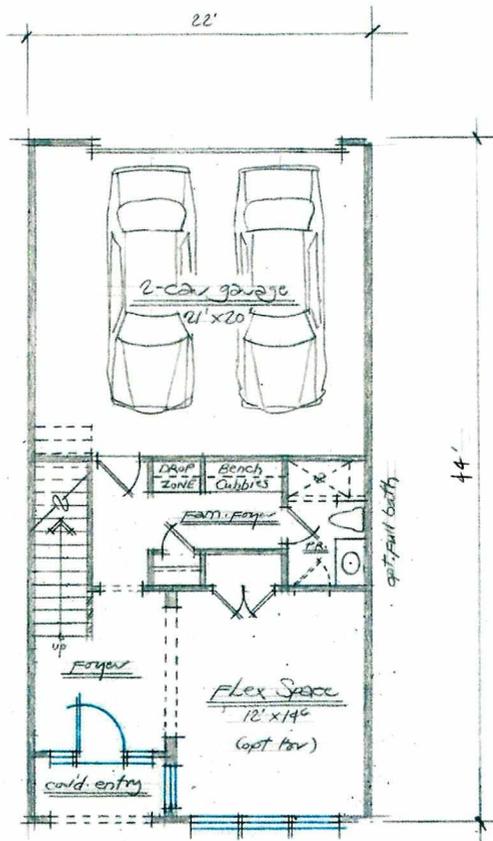




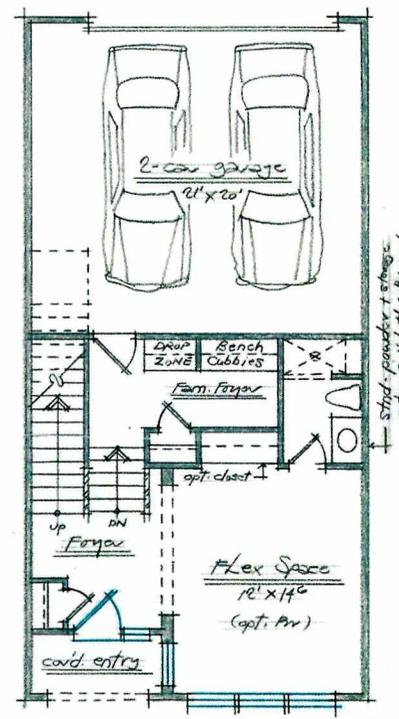
THIRD FLOOR PLAN  
930 sq ft



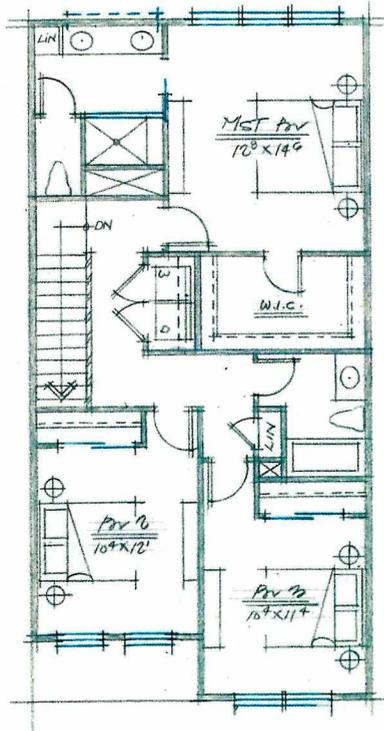
SECOND FLOOR PLAN  
920 sq ft



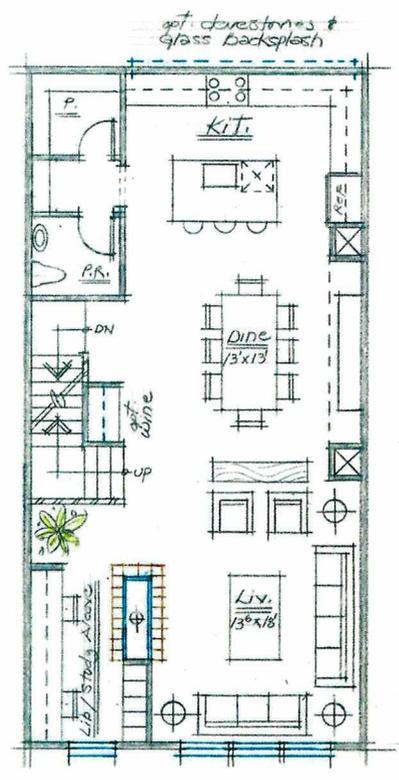
FIRST FLOOR PLAN  
480 sq ft, TOT = 2340 sq ft



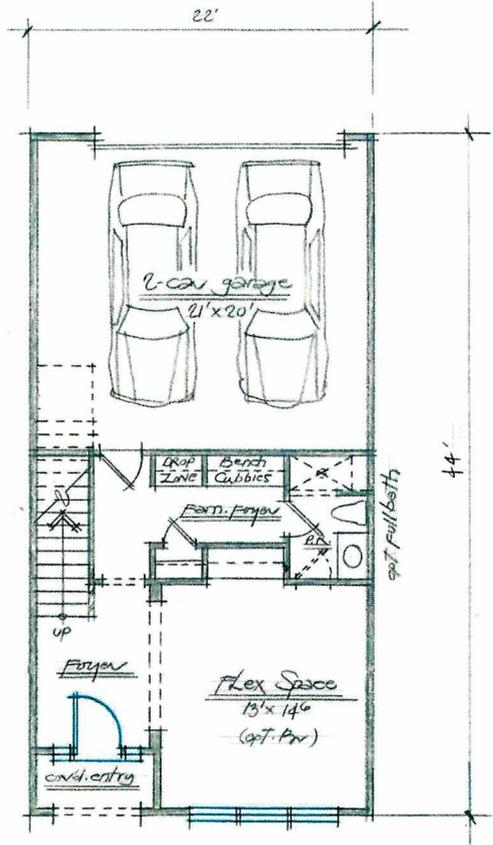
ALT. FIRST FLOOR PLAN  
W/ DROPPED GARAGE



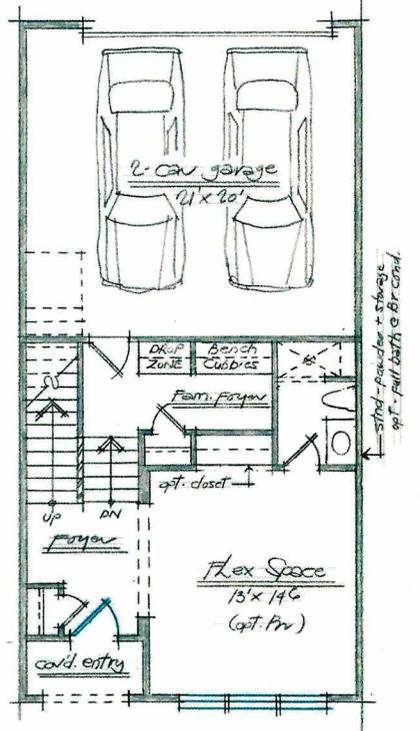
THIRD FLOOR PLAN  
925 d<sup>2</sup> 961g



SECOND FLOOR PLAN  
990 d<sup>2</sup> 961g



FIRST FLOOR PLAN  
485 d<sup>2</sup> 707 = 2400 d<sup>2</sup> 961g



ALT. FIRST FLOOR PLAN  
W/ DROPPED GARAGE



VERTICAL BOARD AND BATTEN  
 OPTIONAL METAL ROOF: STD. ASPHALT SHINGLES  
 HORIZONTAL SIDING

ROOF SLOPE 6:12

OPTIONAL DORMER  
 OPTIONAL BLACK WINDOWS

OPTIONAL METAL ROOF: STD. ASPHALT SHINGLES  
 OPTIONAL BRICK VENEER

OPTIONAL BRICK WATER TABLE, STD. CONCRETE SLAB

BUILDING HEIGHT 33'-7"

UNIT C  
ELEV 2

UNIT C  
ELEV 3

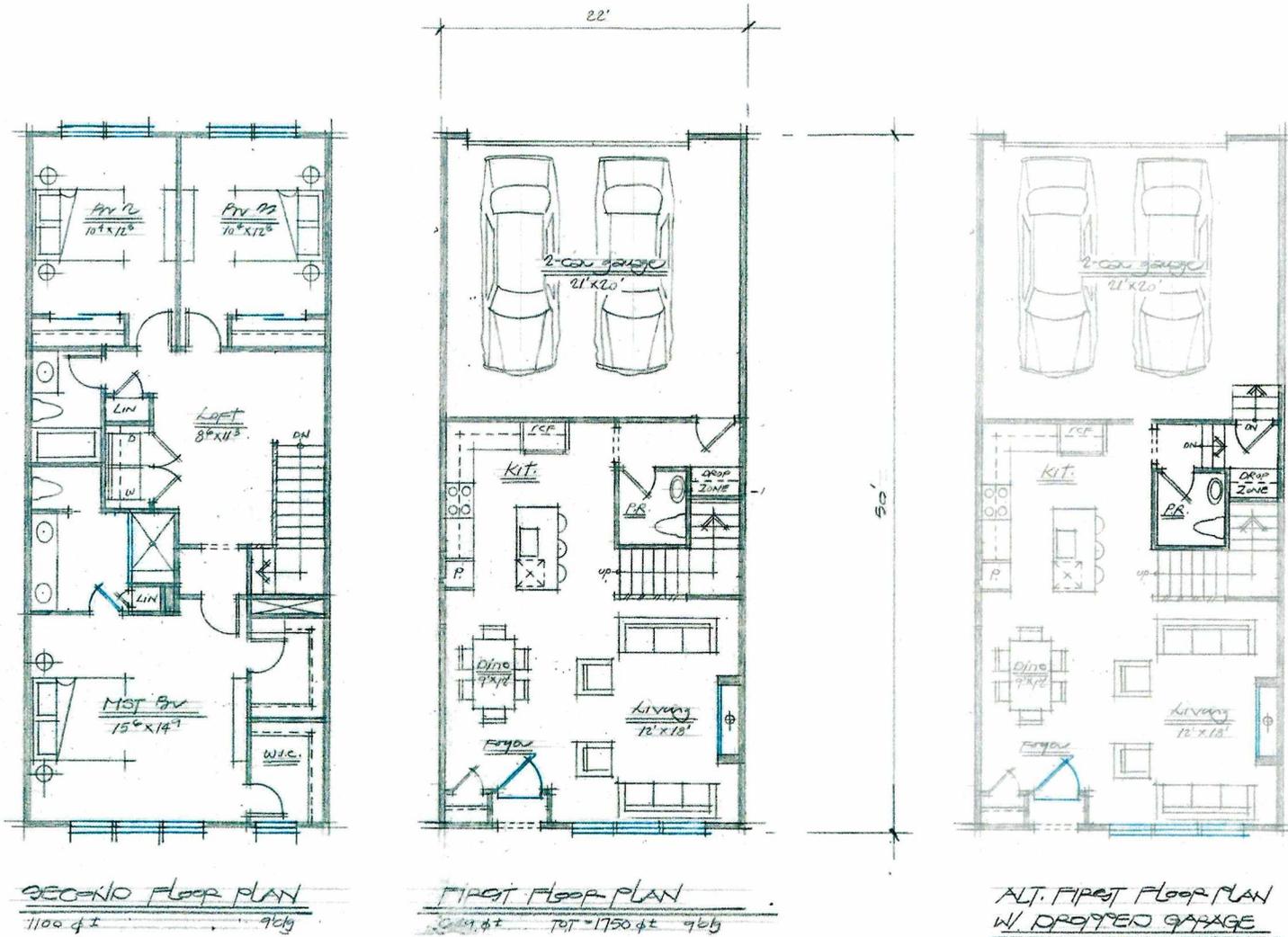
UNIT D  
ELEV 1

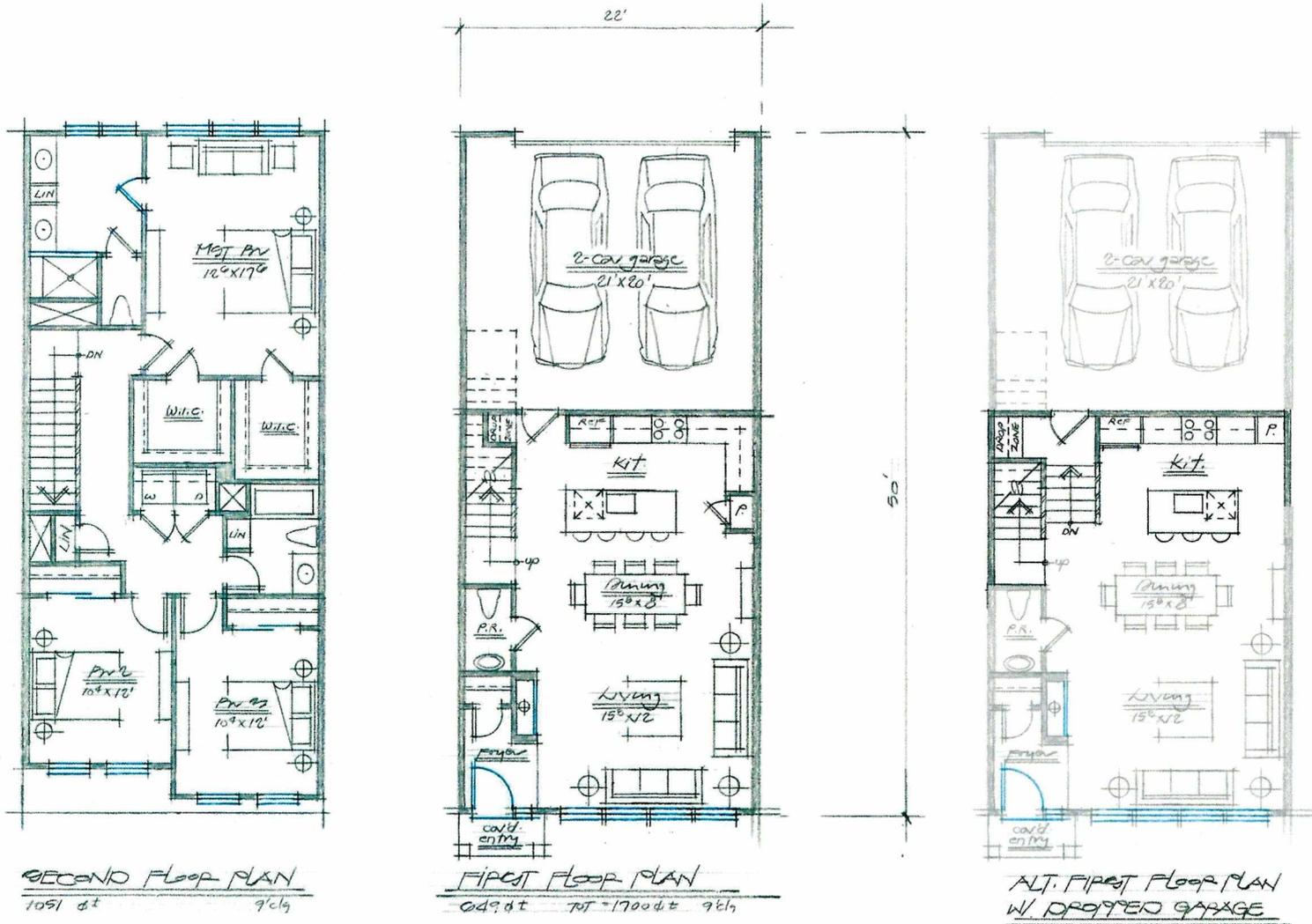
UNIT C  
ELEV 1

UNIT D  
ELEV 3

UNIT D  
ELEV 2







SECOND FLOOR PLAN  
1051 dt 9/19

FIRST FLOOR PLAN  
049 dt 10/17/2019 9/19

ALT. FIRST FLOOR PLAN  
W/ DROPPED GARAGE

FRONT-LOADED TOWNHOMES

Modifications to UDO Standards

Front-Loaded Townhouses within Parkstone Townhomes will comprise 12.2% of the total number of dwelling units. Elevations and architectural standards are proposed as part of this PUD document. All townhouses will have garages and are located in close vicinity to site amenities. The proposed density will not exceed RMX standards.

Townhouse Dwelling Standards

- Front setback (min) 0'
- Front setback (max) Per master plan
- Minimum building separation 6'
- Rear setback from rear lane/alley(min) N/A
- Maximum building height 3 stories
- Minimum driveway length 20'

See attached elevations sheets for more details. For architectural variety, features noted as “optional” will be installed within each run of townhome units but not necessarily on each unit within the run.



UNIT B  
ELEV 3

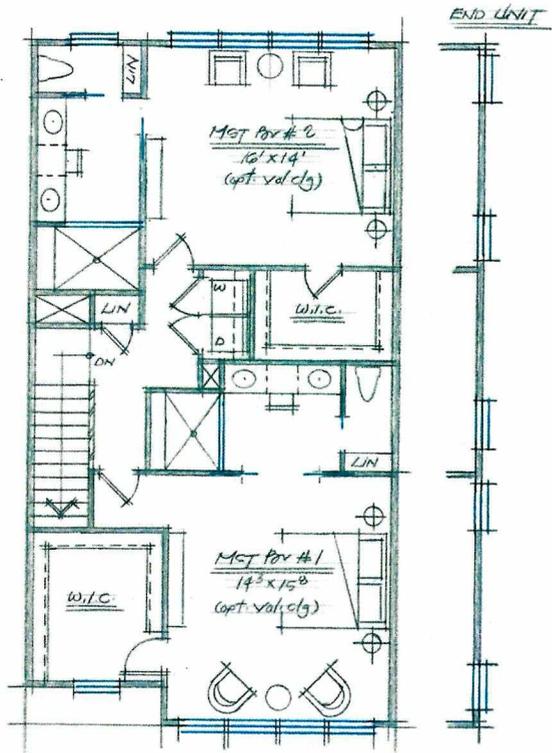
UNIT A  
ELEV 1

UNIT B  
ELEV 2

UNIT A  
ELEV 2

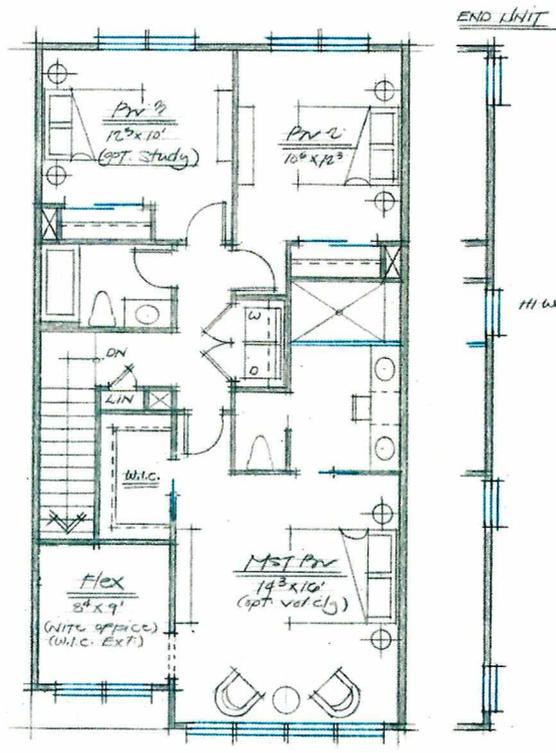
UNIT B  
ELEV 1

UNIT A  
ELEV 3



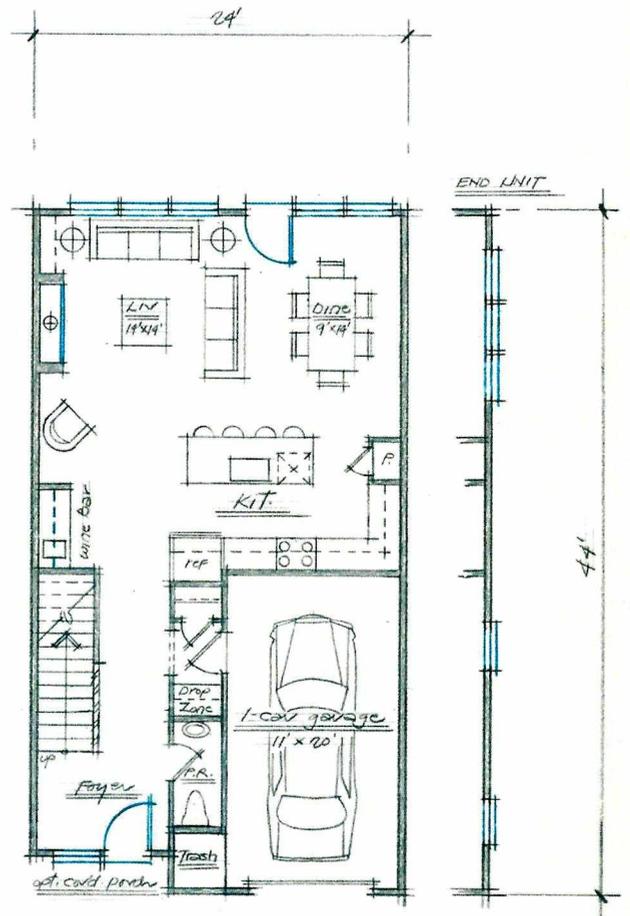
OPT. DUAL MSTR BRs  
SECOND FLOOR PLAN

1056 sq ft



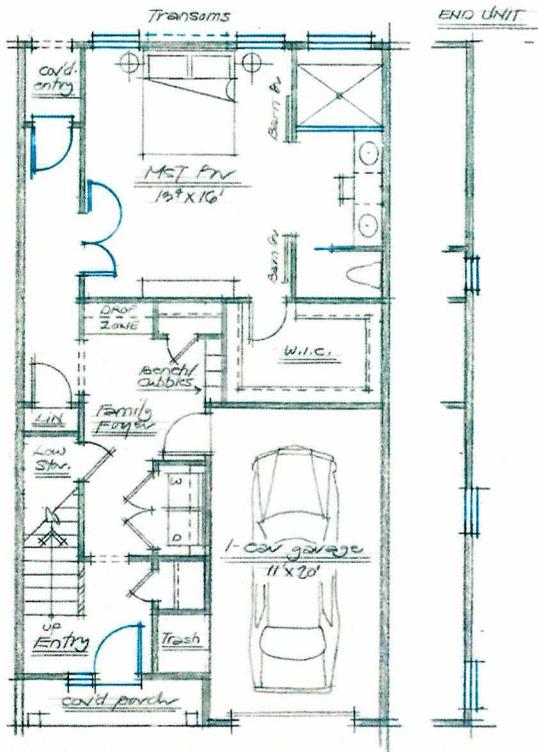
SECOND FLOOR PLAN

1056 sq ft



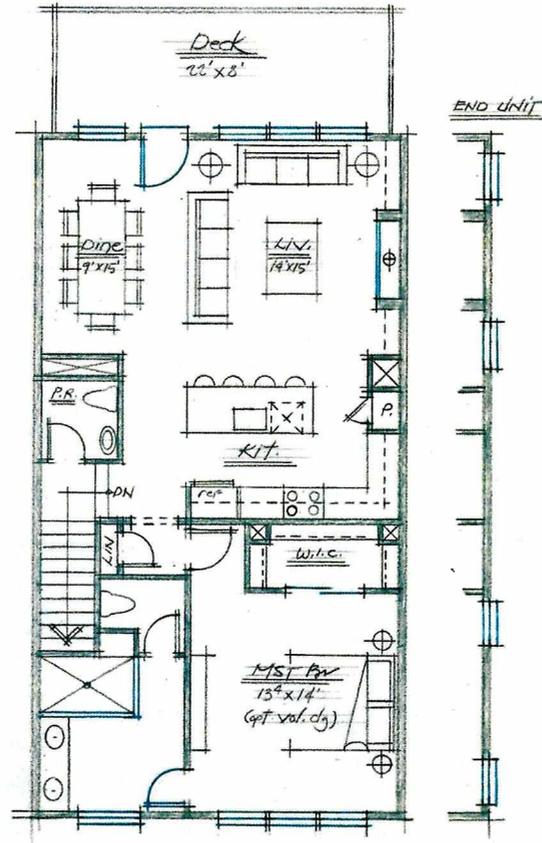
GROUND FLOOR PLAN

787 sq ft TOTAL = 1845 sq ft 96 sq ft



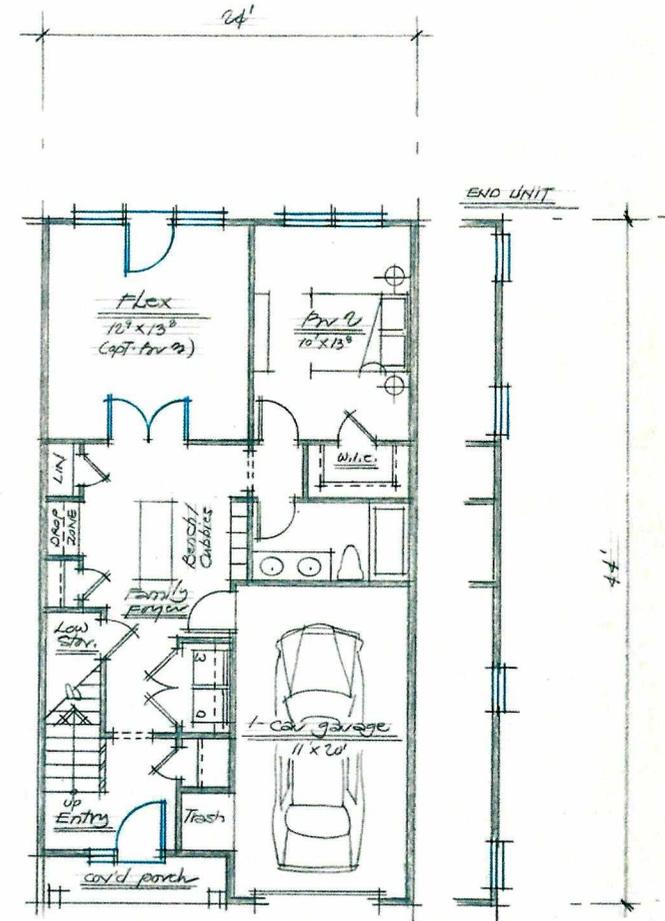
OPT RUAL Mast Bpes  
GROUND FLOOR PLAN

750 sq ft TOTAL = 1800 sq ft 9' x 44'



SECOND FLOOR PLAN

1050 sq ft



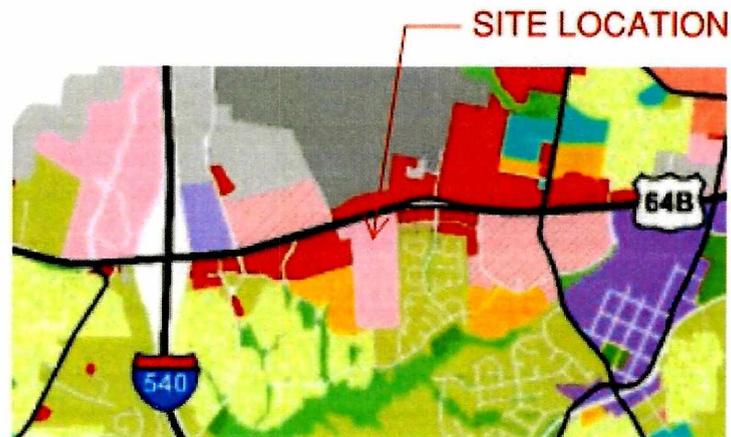
GROUND FLOOR PLAN

770 sq ft TOTAL = 1800 sq ft 9' x 44'

## 4. 2035 COMPREHENSIVE PLAN CONSISTENCY

The Growth and Conservation Map designates this site as being a Mixed-Use Center (p49). The single family residential proposed in tandem with the existing and proposed retail in the immediate vicinity will address the goals of the mixed-use center. In conjunction with the apartments, the Townhomes form a mixed density neighborhood, are oriented to the interior of the site and are buffered from surrounding development. Consistent with this concept, Parkstone Townhomes has housing units and gathering spaces oriented to the center and a street grid to form a compact community.

### GROWTH AND CONSERVATION MAP



The site is located in a Priority Investment area per the Growth Framework map (p40) and provides for infill development (p15). The Townhome type development is a higher density development based on anticipated Town growth. The site is also part of a unique activity center providing easy access to retail and restaurants (p14).

### GROWTH FRAMEWORK MAP



The development provides minimal impact to the natural environment. The entire portion of the Townhome development is located in an upland area with no impacts to streams or wetlands (p14).

The development incorporates guiding principles associated with Parks and Recreation. The open spaces provide numerous opportunities for outdoor congregation and recreation. The development also is connected via sidewalk to the greenway to the south and is within walking distance to other Wellness opportunities. (p15)

Compact development patterns are also incorporated (p16). The Townhomes are single family residential type that provide density and proximity to retail and restaurants, but at the same time provide ample open space.

#### CONSISTENCY WITH THE UNIFIED DEVELOPMENT ORDINANCE

Parkstone Townhomes meet the majority of the UDO guidelines. A very limited amount of exceptions are noted in this document and are listed below:

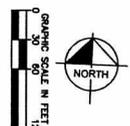
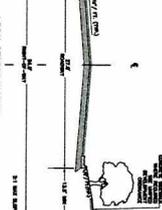
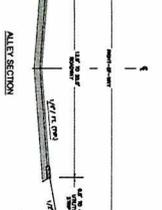
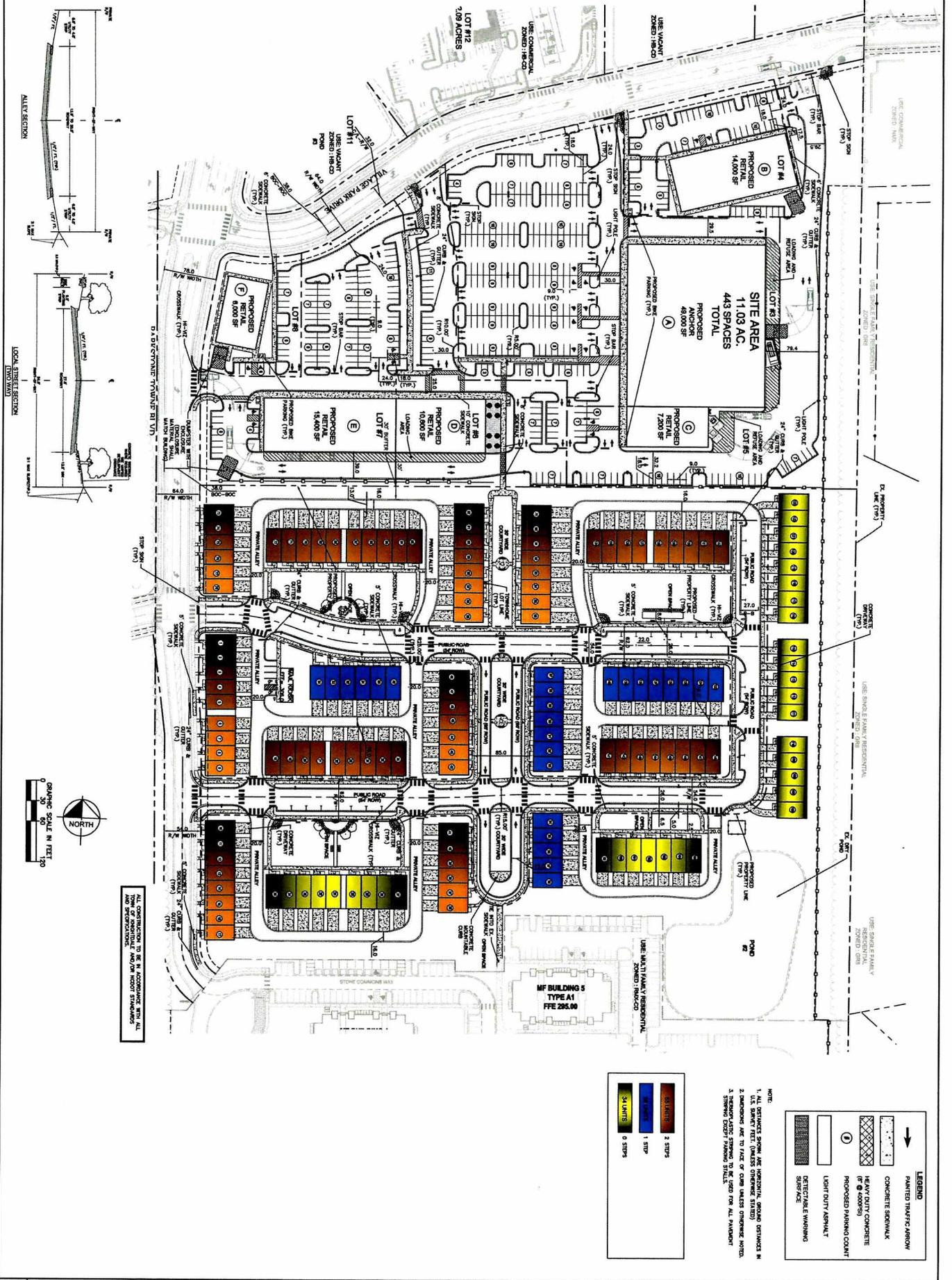
- UDO Section 2.9.B.2.a for RMX requires that lots 80' wide or greater gain access from an alley. 18 Townhome lots less than 80' wide will have driveway access from the front street.
- Per UDO Section 8.6.A, a 50-foot Type C buffer is required between RMX and HB zoning districts. The required Type C Buffer materials are proposed in the variable width buffer (19' in width on the PUD property) provided on the north side of the PUD as depicted on Master Plan.
- Open space is required per section 7.3 of the UDO. 96% of the required open space will be provided as shown on sheet L2.0 of the Master Plan
- UDO Section 2.9.B.2 for RMX requires a maximum front setback of 25'. Front maximum building setbacks shall be in general accordance with the Master Plan.
- UDO Section 2.9.B.2 for RMX lists side setbacks as 10'. Minimum distance between buildings shall be 6'.

## 5. DESIGN GUIDELINES

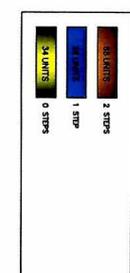
### TOWNHOUSE ARCHITECTURAL STANDARDS

1. Townhomes will be on monoslab foundations.
2. All front entries will be covered (either recessed or with a roof overhead)
3. All buildings will have front façade or roofline offsets.
4. Front facades of each unit will include at least one of the following: masonry, metal roof accents, shakes or board and batten. Each grouping of attached townhomes will include at least two of these items.
5. All front windows will either be set in brick, include 4" window trim, shutters or decorative pediments.
6. All units will have changes in rooflines with either gables, dormers or shed bump outs.
7. All building end gables and front and rear gables will have 12" overhangs.
8. All plank siding shall be cementitious.
9. Garage doors on front loaded units will be decorative with decorative carriage style hardware with glass.
10. Patios or decks will be provided on a minimum of 15% of the 2-story rear loaded units.
11. For 3-Story townhome types, a minimum of one balcony will be provided for attached townhomes that are 4 units or less. Townhomes with more than 4 units will provided a minimum of 2 balconies.
12. Steps will be provided at the front entry to the units in accordance with the Steps Exhibit on the following page.

This document, together with the contracts and designs presented herein, is an instrument of service, is prepared only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.



**LEGEND**

	PAINTED TRAFFIC ARROW
	CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE (4000 PSI OR 4000 PSI)
	PROPOSED PARKING COUNT
	LIGHT DUTY ASPHALT
	DETECTABLE WARNING SURFACE

- NOTE:**
1. ALL STAIRS SHOWN ARE HORIZONTAL, GRADE CHANGES IN U.S. SLOPE FEET (UNLESS OTHERWISE STATED).
  2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  4. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  5. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  6. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  7. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  8. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  9. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  10. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

**PARKSTONE PHASE 2 MIXED USE**  
 PREPARED FOR  
**KNIGHTDALE DEVELOPMENT OWNERSHIP, LLC.**  
 KNIGHTDALE NORTH CAROLINA

**STEPS EXHIBIT**

KH14 PROJECT 017254007  
 DATE 4/30/2020  
 SCALE AS SHOWN  
 DESIGNED BY JCB  
 DRAWN BY JCB  
 CHECKED BY COB

**Kimley-Horn**  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-877-2000 FAX: 919-877-2000  
 WWW.KIMLEY-HORN.COM #-0102

No.	REVISIONS	DATE	BY
2	OWNER UPDATES	03-19-20	WHW
1	TOWN OF KNIGHTDALE COMMENTS	12-05-19	WHW

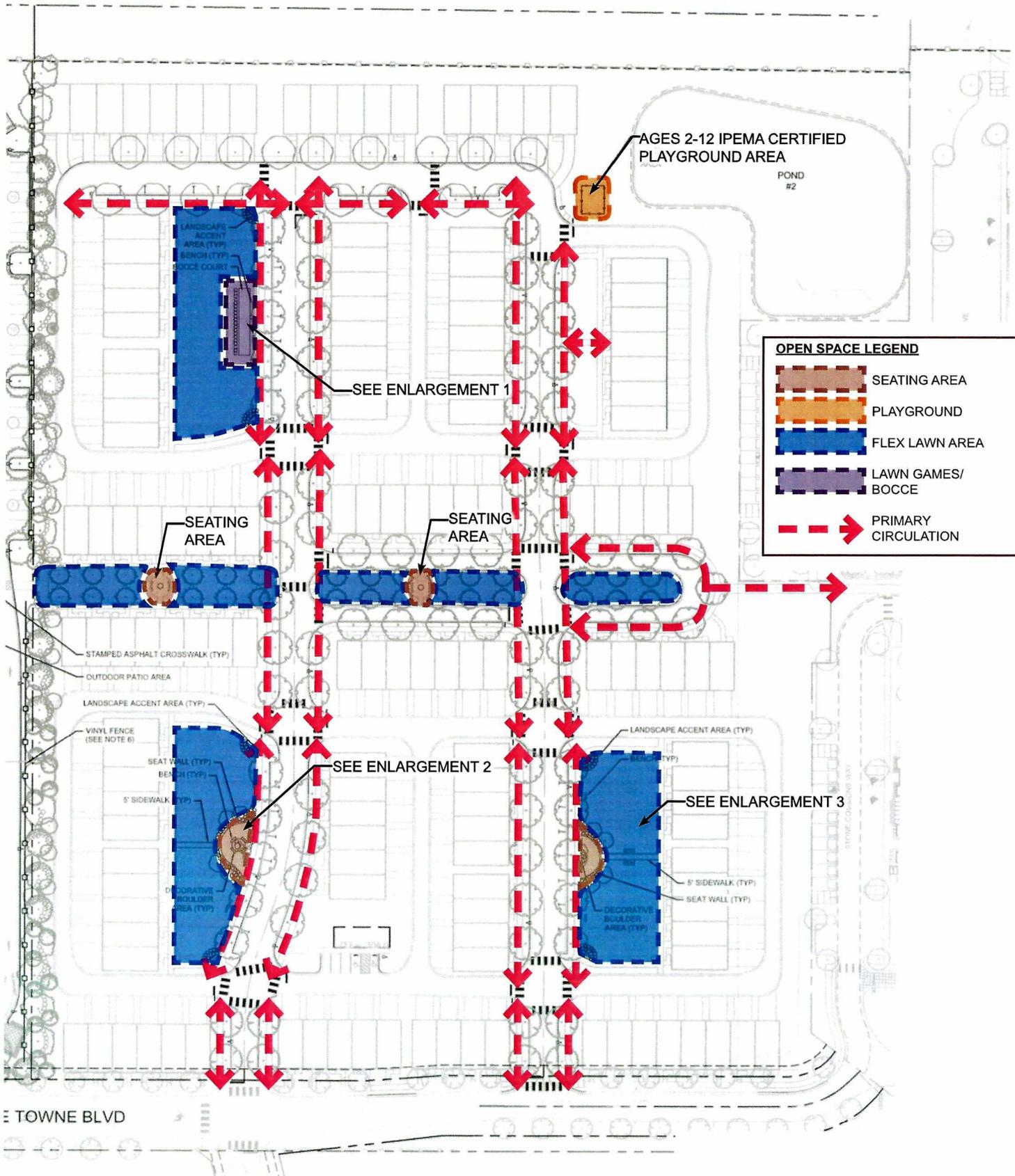
## 6. LANDSCAPING AND OPEN SPACE

Parkstone Townhomes will provide both active and passive recreation areas within the development. Additionally, a natural buffer was previously reserved on the east side of the property in conjunction with the Parkstone master plan approval.

Open spaces include multiple outdoor seating areas, a bocce ball court, playground and generous flexible lawn spaces that all border a significant north-south pedestrian corridor bisecting the property.

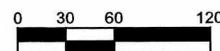
### OPEN SPACE STANDARDS

• Total recreation open space required:	214,600 SF	4.93 AC
• Active recreation space required:	107,300 SF	2.46 AC
• Active recreation space provided:	89,375 SF	2.05 AC
• Passive recreation space required:	107,300 SF	2.46 AC
• Passive recreation space provided:	116,450 SF	2.67 AC
• Total open space provided:	205,825 SF	4.73 AC



# OVERALL OPEN SPACE PLAN

JUNE 2020



AGES 2-12 IPEMA CERTIFIED PLAYGROUND



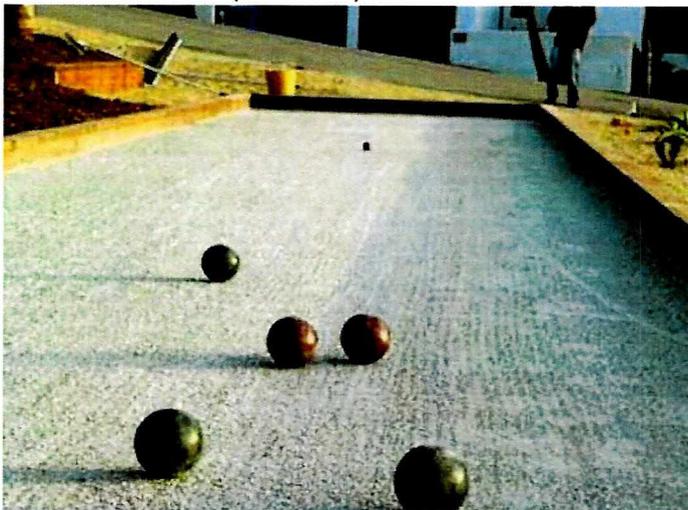
BENCH



SEAT WALL



LAWN GAMES (BOCCE)



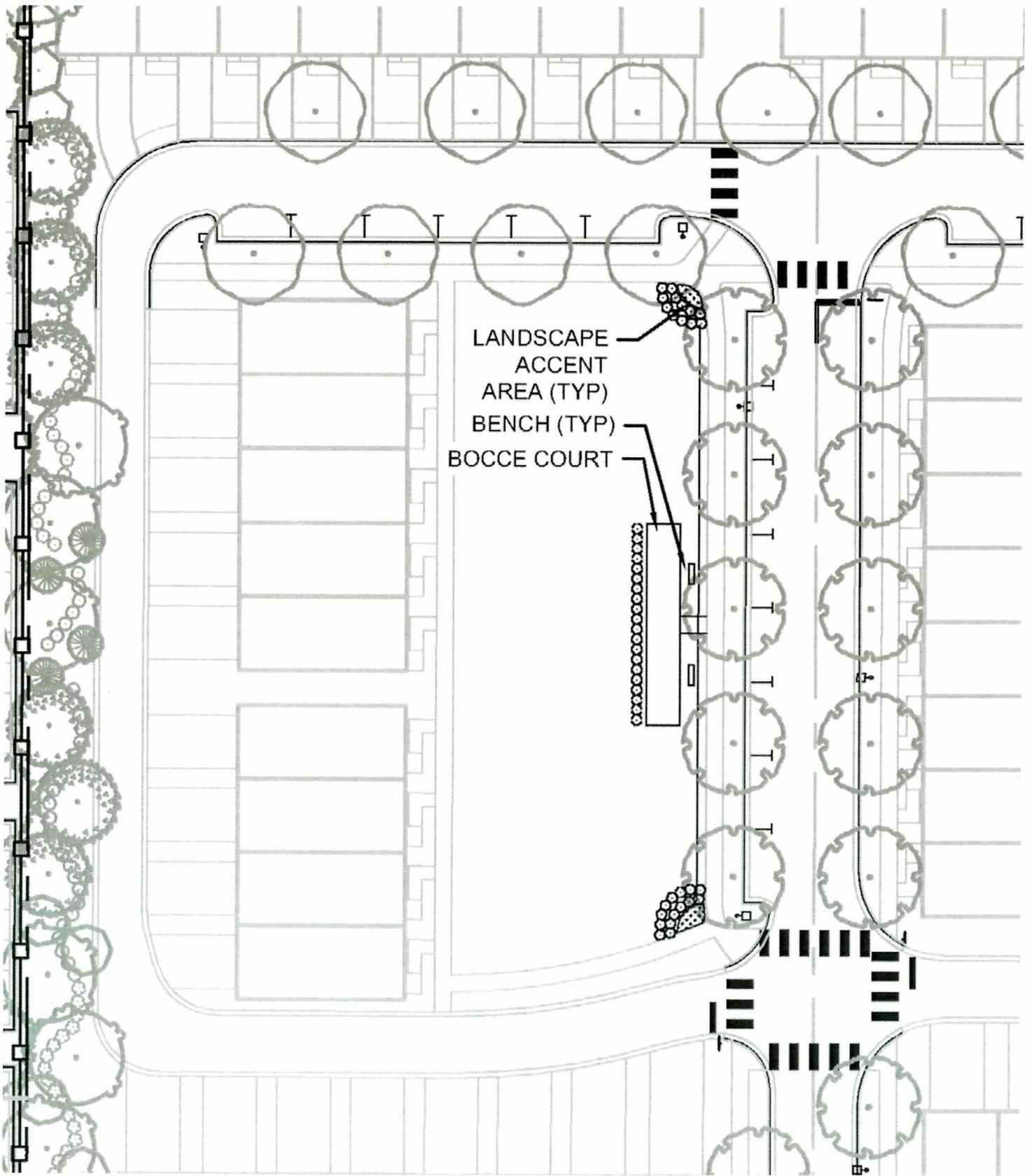
FLEX LAWN AREA



**OPEN SPACE PLAN**

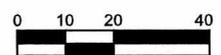
PRECEDENT IMAGES

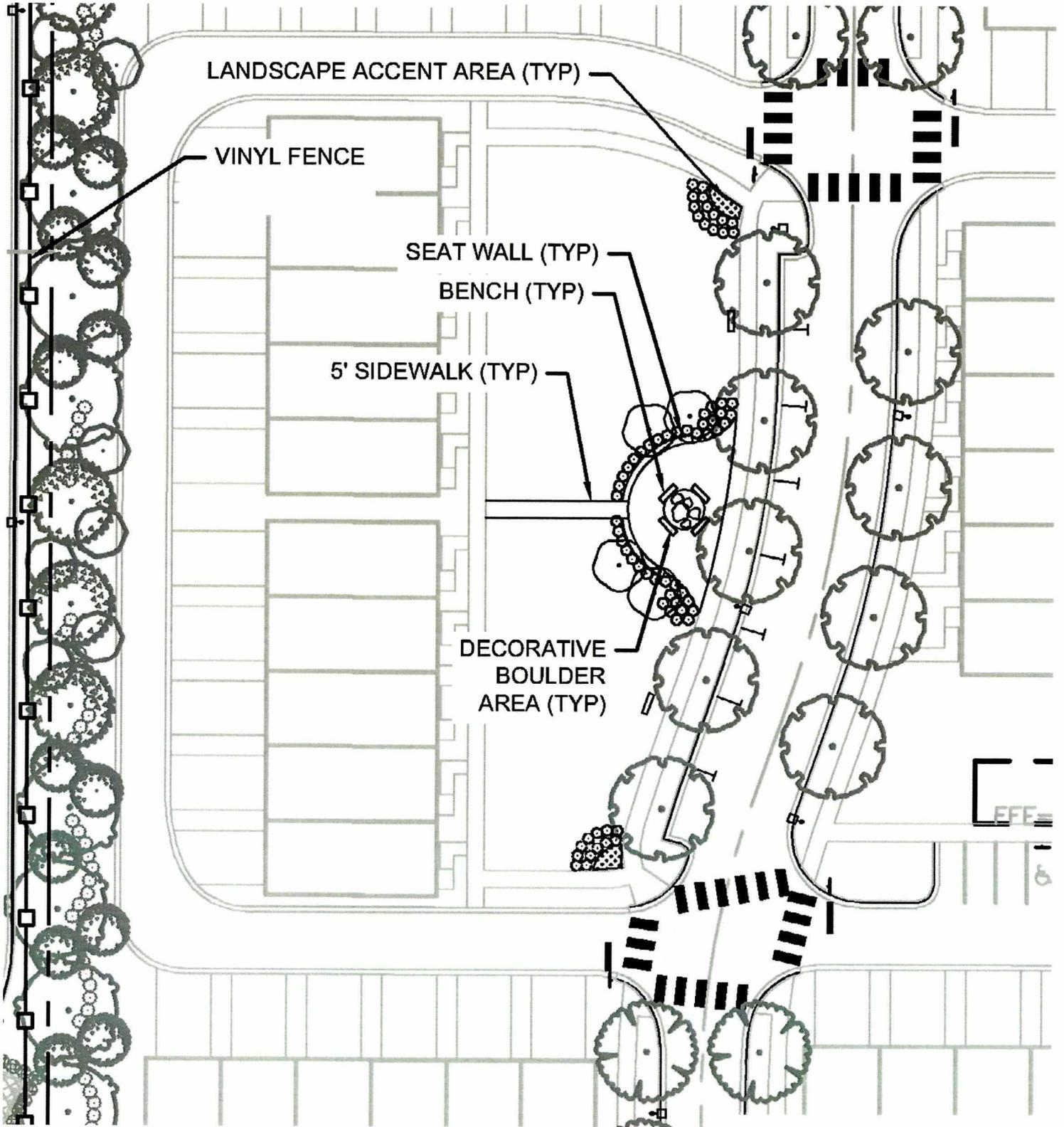
JUNE 2020



**OPEN SPACE PLAN  
ENARGEMENT 1**

JUNE 2020

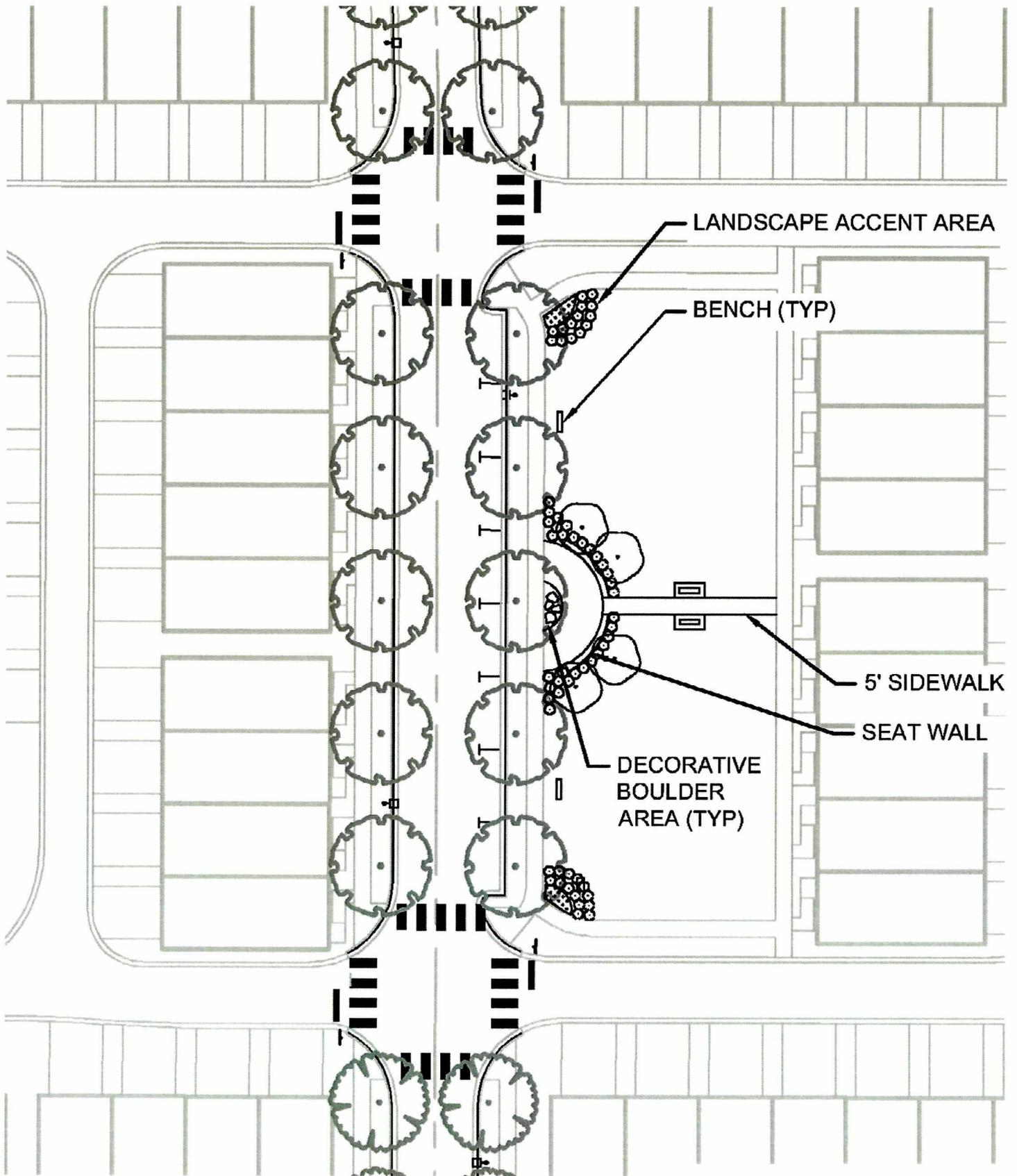




**OPEN SPACE PLAN  
ENARGEMENT 2**

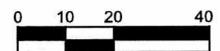
JUNE 2020





**OPEN SPACE PLAN  
ENARGEMENT 3**

JUNE 2020



## 7. ROADS AND UTILITIES

### STORMWATER

The approved Parkstone Master plan allocates 22.28 acres of impervious area to the Townhomes and future retail at full build-out. The proposed retail and townhome program proposes 18.38 acres of impervious area. Less impervious area than was allocated than during the approved Parkstone Master plan. As a result, the existing stormwater detention/treatment is more than sufficient.

### STREETS

Streets and alleys within Parkstone Townhomes are designed to meet the standards of the Town of Knightdale. The subject development will utilize street infrastructure constructed during Phase 1 of project.

### EXISTING STREETS



The trips generated by the subject development are less than were anticipated with the original Traffic Impact Analysis for Parkstone.

### TRIP GENERATION ANALYSIS

<b>ParkStone</b>													
<b>Table 1 - Trip Generation</b>													
Land Use	Intensity		Daily			AM Peak Hour			PM Peak Hour				
			Total	In	Out	Total	In	Out	Total	In	Out		
220 Apartment	350	d.u.	2,246	1,123	1,123	175	35	140	210	137	73		
230 Residential Condominium/Townhouse	148	d.u.	906	453	453	71	12	59	83	56	27		
310 Hotel	130	rooms	1,062	531	531	69	41	28	78	40	38		
820 Shopping Center	102,200	s.f.	6,888	3,444	3,444	158	98	60	608	292	316		
843 Automobile Parts Sales	8,000	s.f.	498	249	249	18	9	9	48	24	24		
934 Fast-Food Restaurant with Drive-Through Window	3,500	s.f.	1,736	868	868	159	81	78	114	59	55		
945 Gasoline/Service Station with Convenience Market	12	f.p.	1,954	977	977	122	61	61	162	81	81		
<b>Subtotal</b>			<b>15,290</b>	<b>7,645</b>	<b>7,645</b>	<b>772</b>	<b>337</b>	<b>435</b>	<b>1,303</b>	<b>689</b>	<b>614</b>		
<b>Internal Capture</b>													
Apartment			701	337	364	15	2	13	107	70	37		
Residential Condominium/Townhouse			283	136	147	6	1	5	43	29	14		
Hotel			240	112	128	9	2	7	23	14	9		
Shopping Center			1,050	485	565	18	10	8	136	51	85		
Automobile Parts Sales			76	35	41	2	1	1	11	4	6		
Fast-Food Restaurant with Drive-Through Window			916	539	377	51	36	15	65	28	37		
Gasoline/Service Station with Convenience Market			298	138	160	15	6	8	36	14	22		
<b>Internal Capture Total</b>	<b>32.23%</b>		<b>3,564</b>	<b>1,782</b>	<b>1,782</b>	<b>116</b>	<b>58</b>	<b>58</b>	<b>420</b>	<b>210</b>	<b>210</b>		
<b>Total External Trips</b>			<b>11,726</b>	<b>5,863</b>	<b>5,863</b>	<b>656</b>	<b>279</b>	<b>377</b>	<b>883</b>	<b>479</b>	<b>404</b>		
<b>Pass-By Traffic (ITE)</b>													
			<u>AM</u>	<u>PM</u>									
820 Shopping Center			0%	34%	1,610	805	805	0	0	0	161	82	79
934 Fast-Food Restaurant with Drive-Through Window			49%	50%	250	125	125	53	22	31	25	16	9
945 Gasoline/Service Station with Convenience Market			62%	56%	700	350	350	67	34	33	70	37	33
Pass-By Total:			<b>19.65%</b>		<b>2,560</b>	<b>1,280</b>	<b>1,280</b>	<b>120</b>	<b>56</b>	<b>64</b>	<b>256</b>	<b>135</b>	<b>121</b>
<b>Total Net New External Trips - Proposed</b>			<b>9,166</b>	<b>4,583</b>	<b>4,583</b>	<b>536</b>	<b>223</b>	<b>313</b>	<b>627</b>	<b>344</b>	<b>283</b>		
<b>Total Net New External Trips - From TIA</b>			<b>12,712</b>	<b>6,356</b>	<b>6,356</b>	<b>549</b>	<b>264</b>	<b>285</b>	<b>939</b>	<b>475</b>	<b>464</b>		
<b>Difference - Proposed vs. TIA</b>			<b>-3,546</b>	<b>-1,773</b>	<b>-1,773</b>	<b>-13</b>	<b>-41</b>	<b>28</b>	<b>-312</b>	<b>-131</b>	<b>-181</b>		

### UTILITIES

- Water and sewer within Parkstone Phase 2 are designed to meet the standards of the City of Raleigh and will tie into infrastructure constructed in the first phase of Parkstone.
- A water system analysis will be provided at the of construction drawing submittal.

## 8. NEIGHBORHOOD MEETING REPORT

**Subject:** Minutes from Neighborhood Meeting – Site Plan Rezoning

**To:** Donna Tierney (Town of Knightdale Planning)

**CC:** Chris Hills

**Date:** October 14, 2019

**Completed by:** Chris Bostic

**Attendees:**

Brian Long

Chris Bostic

Wes Hall

Stacey Crute

Craig Stepney

Jason Brown

Widewaters

Kimley-Horn

Kimley-Horn

Neighbor ([staceycrute7@gmail.com](mailto:staceycrute7@gmail.com))

Neighbor ([castepney@gmail.com](mailto:castepney@gmail.com))

Town of Knightdale

This memorandum summarizes the author's understanding of the discussions from the above referenced meeting.

**General:** The purpose of the neighborhood meeting was to discuss the proposed rezoning application for Parkstone Phase 2 Mixed Use in Knightdale, NC with adjacent property owners. All property owners within 200 feet of the property were mailed the attached notification letter. The neighborhood meeting was held at the Knightdale Recreation Center (Room 404) at 6:30 PM on October 1, 2019. The neighbors who attended the meeting were Stacey Crute, owner of 119 Autumn Ridge Drive and Craig Stepney, owner of 121 Autumn Ridge Drive. The following is a summary of key discussion points resulting from this meeting:

- Kimley-Horn presented the residents with a copy of the current site and landscape plan for discussion.
- The group reviewed building and driveway locations and oriented the neighbors to those locations on the property.
- Ms. Crute inquired about the type of retail and was interested in a movie theater. She also asked about the process moving forward. Mr. Long indicated that a lease had not been secured with a theater. Mr. Long and Mr. Bostic explained the retail would be a mix of restaurants and service and that the next step was working with the townhome developer and taking the new retail layout back to retailers to secure leases.
- Ms. Crute also asked about the pricing of the townhomes and Mr. Long told her that, although its not set in stone, they should be mid to upper \$200's.
- Ms. Crute asked about the buffers and Mr. Bostic explained that those would not change between the proposed site and her residence. He also explained that the increase in residential units would help bring retailers, but that the rezoning we are seeking will generate less traffic overall than the previous plan.
- Mr. Stepney shared that the fence at the edge of the buffer stopped at a point where he can see Sheetz from his house. This causes pedestrians to cut between his house and his neighbors house to walk directly through.
- Mr Long informed Mr. Stepney that the requested zoning change to add townhomes and the change to the retail master plan layout does have any adverse impact as it relates to orientation of buildings and fence near his home

**End of Meeting**

Parkstone Neighborhood Meeting 10/1/19

Name

Email

Stacey Crute

staceycrute1@gmail.com

Craig Stepney

cstepney@gmail.com

Owner	Mail Address 1	Mail Address 2	Mail Address 3	PIN
GREYSTONE WW CO LLC	4805 DORSET AVE	CHEVY CHASE MD 20815-5443		1744736807
WW KNIGHTDALE PROPERTY LLC	PO BOX 3	DE WITT NY 13214-0003		1744744952
WIDEWATERS KNIGHTDALE II COMPANY	PO BOX 3	DE WITT NY 13214-0003		1744756480
KNIGHTDALE MULTIFAMILY OWNERSHIP, LLC	ATTN: LEGAL DEPARTMENT	PO BOX 3	DE WITT NY 13214-1865	1744833775
KEATING, JOHN & JULIANNE M	13176 KENSINGTON DR	GRAFTON OH 44044-1075		1744839819
DOLL, JANET M	118 MINGOCREST DR	KNIGHTDALE NC 27545-7667		1744839926
KNIGHTDALE DEVELOPMENT OWNERSHIP LLC	THE WIDEWATERS GROUP INC	PO BOX 3	DE WITT NY 13214-0003	1744843799
NEWSON, TIMMY	604 PINE FOREST TRL	KNIGHTDALE NC 27545-9278		1744848790
FORTIN, DIANNE C	603 PINE FOREST TRL	KNIGHTDALE NC 27545-9278		1744848793
BULLOCK, KENNICE J	602 PINE FOREST TRL	KNIGHTDALE NC 27545-9278		1744848795
WHONDER-GENUS, HILLARY GENUS, DEVON	601 PINE FOREST TRL	KNIGHTDALE NC 27545-9278		1744848798
KEARNEY, ANNA KATHRYN	116 MINGOCREST DR	KNIGHTDALE NC 27545-7667		1744849024
FORBES, PARRILL D & BETTY MARIE	902 PINE FOREST TRL	KNIGHTDALE NC 27545-7928		1744849217
PEOPLES, MAURINE	904 PINE FOREST TRL	KNIGHTDALE NC 27545-7928		1744849222
JOHNSON, JERMAINE	903 PINE FOREST TRL	KNIGHTDALE NC 27545-7928		1744849225
MCDANIEL, KENT D	5909 SANDPIPER FARM LN	WENDELL NC 27591-9724		1744849290
CONREAL LLC	9032 CONCORD HILL CT	RALEIGH NC 27613-5480		1744849310
PRUETT, SCOTT & ROBERTA A	7368 CIRCLEBANK DR	RALEIGH NC 27615-5646		1744849316
TELLECHEA, STEWART & NEREIDA	5766 SPRINGFISH PL	WALDORF MD 20603-4234		1744849329
BROWN, LOUIS C & VIRGINIA G	803 PINE FOREST TRL	KNIGHTDALE NC 27545-9279		1744849441
HANDON, CLARETTA	802 PINE FOREST TRL	KNIGHTDALE NC 27545-9279		1744849444
RUCKOLDT, BARBARA	801 PINE FOREST TRL	KNIGHTDALE NC 27545-9279		1744849467
LENTZEN, ROSEMARY	303 S DOGWOOD AVE	SILER CITY NC 27344-3819		1744849527
ROGERS, SHELBY L	703 PINE FOREST TRL	KNIGHTDALE NC 27545-7931		1744849545
WOODS OF PARKSIDE HOMEOWNERS ASSOC	4112 BLUE RIDGE RD STE 100	RALEIGH NC 27612-4652		1744849582
SEPULVEDA, LYNDA R	701 PINE FOREST TRL	KNIGHTDALE NC 27545-7931		1744849600
VAUGHAN, CRYSTAL MARY & MICHAEL GORDON	605 PINE FOREST TRL	KNIGHTDALE NC 27545-9278		1744849607
VEREEN, MICHAEL	PO BOX 1194	ZEBULON NC 27597-1194		1744849844
CAPPS, KATHREN ANN	503 PINE FOREST TRL	KNIGHTDALE NC 27545-7930		1744849874
OHNESORGE, LAUREN K	115 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744849936
KNIGHTDALE DEVELOPMENT OWNERSHIP LLC	THE WIDEWATERS GROUP INC	PO BOX 3	DE WITT NY 13214-0003	1744850425
KNIGHTDALE DEVELOPMENT OWNERSHIP LLC	THE WIDEWATERS GROUP INC	PO BOX 3	DE WITT NY 13214-0003	1744852568
KNIGHTDALE DEVELOPMENT OWNERSHIP LLC	THE WIDEWATERS GROUP INC	PO BOX 3	DE WITT NY 13214-0003	1744856629
RCP INVESTMENTS IV LLC	11415 ROSE BOWL DR	GLEN ALLEN VA 23059-4838		1744858784
KING, CHARLENE	117 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744859017
CRUTE, STACEY L	119 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744859114
STEPNEY, CRAIG A & YVONNE C	121 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744859211
ELKINTON, RICHARD E & RACHEL W	123 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744859248
SALKHADI, MAMOUN KHEZZAR, ANWAR	114 MINGOCREST DR	KNIGHTDALE NC 27545-7667		1744940008
ROBERSON, SAMUEL, TAKEISHA	112 MINGOCREST DR	KNIGHTDALE NC 27545-7667		1744940161
WRIGHT, LORETTA N	1002 PINE FOREST TRL	KNIGHTDALE NC 27545-7929		1744940220
SAGADA, QUIRINO SANCHEZ DE SANCHEZ, REINA ISABEL AYALA	1003 PINE FOREST TRL	KNIGHTDALE NC 27545-7929		1744940251
LOGAN, TERESA A	1004 PINE FOREST TRL	KNIGHTDALE NC 27545-7929		1744940282
YERKE, FRANKLIN A, THELMA R	502 PINE FOREST TRL	KNIGHTDALE NC 27545-7930		1744940804
HUGHES, MATILDA W	501 PINE FOREST TRL	KNIGHTDALE NC 27545-7930		1744940833
MITCHELL, JON B MITCHELL, REBECCA L	113 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744940915
BROOKS, DONALD J JR, MILLICENT H	111 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744940983
STELMACH, NICHOLAS E	112 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744950088
BLEVINS, RICKY A LUI, YU CHI	110 KENNETH RIDGE CT	APEX NC 27523-9370		1744950175
JONES, WALTER RICHARD II, MICHELLE F	125 AUTUMN RIDGE DR	KNIGHTDALE NC 27545-9203		1744950320
PARKSIDE COMMONS CONDOMINIUMS	1003 DRESSER CT	RALEIGH NC 27609-7323		1744950427
G A T T LLC	PO BOX 80084	RALEIGH NC 27623-0084		1744950427
RENAISSANCE VENTURES LLC	112 HIGHCLERE LN	CARY NC 27518-8723		1744950427
CAH HOLDINGS LLC	1521 E 3RD ST	CHARLOTTE NC 28204-3231		1744950756
PARKSIDE HOMEOWNERS ASSOCIATION INC	4112 BLUE RIDGE RD STE 100	RALEIGH NC 27612-4652		1744952338

# Kimley»»Horn

September 20, 2019

Kimley-Horn & Associates, Inc.  
421 Fayetteville Street, Suite 600  
Raleigh, NC 27601

Subject: Neighborhood Meeting Notification Letter – Rezoning  
901 Parkstone Towne Boulevard  
Knightdale, NC 27545

Dear Neighbor:

On **Tuesday, October 1, 2019**, a neighborhood meeting will be held regarding a proposed rezoning application for the property identified by the following address and property identification number: 901 Parkstone Towne Boulevard, Knightdale, NC 27545; PIN# 1744843799 near property that you own.

The meeting will be held at the Knightdale Recreation Center (Room 404) located at 102 Lawson Ridge Road, Knightdale, NC 27545 at **6:30 P.M. on October 1, 2019**. This is a public meeting and all are invited to attend.

If you wish to contact us, please call (919) 653-2927 and ask for Chris Bostic. You may also email me at the following address: [Chris.Bostic@kimley-horn.com](mailto:Chris.Bostic@kimley-horn.com). The purpose of the meeting is to ensure that adjacent property owners are aware of the proposal and have an opportunity to provide input prior to the Town of Knightdale public hearing.

Sincerely,



Chris Bostic, P.E.  
Project Manager

**EXHIBIT B  
ZMA-7-16  
Conditions**

Applicant's Application

**MASTER PLAN**

**PARKSTONE PROPOSED CONDITIONAL DISTRICT**

57 ± ACRES

U.S. HIGHWAY 64 BUSINESS (KNIGHTDALE BOULEVARD)

**DEVELOPER:**

KNIGHTDALE DEVELOPMENT OWNERSHIP, LLC.

**CONSULTANTS:**

K&L Gates -- Attorneys

Kimley-Horn and Associates, Inc. -- Civil and Traffic Engineers, and Landscape Architects

Finley Design PA – Architects

Submitted: June 13, 2016

Revised: August 1, 2016

Revised: August 15, 2016

## **I. INTRODUCTION**

This document and the accompanying plan sheets (collectively, the "*Master Plan*") are provided pursuant to provisions of the Knightdale Unified Development Ordinance (the "*UDO*") pertaining to the Conditional District proposed for ParkStone (the "*Development*"), a shopping center and multi-family residential development proposed by Knightdale Development Ownership, LLC ("*Developer*"). The Development will be developed in a fashion that is appropriate for the location of the Development, the nature of adjoining and nearby land uses, and the Town of Knightdale's investment in existing infrastructure.

## **II. LOCATION, CURRENT ZONING, AND COMPREHENSIVE PLAN CONTEXT**

The Master Plan addresses approximately 57 acres abutting U.S. Highway 64 Business (Knightdale Boulevard) designated as Lot #1 through Lot #14, inclusive, as shown on the attached Sheets C2.0 and C2.1 (the "*Property*"). The Town's 2027 Comprehensive Plan designates Lot #1 as a Neighborhood Design area and Lots #2 through #14 as a Highway Design area, including a portion of a Primary Activity Center. Lots #2 through #14 and a portion of Lot #1 are currently zoned Highway Business-Conditional District, and a portion of Lot #1 is currently zoned Urban Residential-12.

## **III. THE DEVELOPMENT CONCEPT**

For purposes of the Master Plan, there will be approximately ten buildings developed on Lots #2 through #14 for retail and commercial uses, as well as thirteen multifamily residential buildings and a clubhouse/amenity structure on Lot #1. Pedestrian elements, including an open green and extensive sidewalks, will connect the two sections of the Development.

As shown on Sheets C2.0 and C2.1, public street access to the Development will be provided by a new street to be extended from Knightdale Boulevard into the residential portion of the Development, running from north to south and vice versa (the "*North-South Street*"). Additional public street access is provided by Village Park Drive, which will be extended through the Property, providing access to and from the eastern and western boundaries of the Property. The Development will also be served by a private, right-in/right-out joint access from Knightdale Boulevard located on Lot #12 and Lot #13. With the additional extensions of the North-South Street and Village Park Drive as shown on Sheets C2.0 and C2.1, the Development will be served by public street access points on three sides of the Property.

The Development may be served by at least two curb cuts onto the North-South Street and by at least eight (8) curb cuts onto Village Park Drive, which curb cuts may be established as shown on Sheets C2.0 and C2.1. The owner(s) of lot(s) within the Development may request curb cuts in addition to those shown on Sheets C2.0 and C2.1.

#### **IV. PARKSTONE MASTER PLAN**

The Property will be developed as described in this document and as shown on the Master Plan attached as Sheets C2.0 and C2.1.

##### **A. Permitted and Prohibited Uses for the Development**

For purposes of the Master Plan, the term "*Allowable Commercial Uses*" shall mean and refer to those uses identified in Section 2.3.C. of the UDO, including all of the following: Hotels/Motels/Inns; Animal Services (subject to additional standards in UDO Chapter 3); ATM; Banks, Credit Unions, Financial Services; Business Support Services; Community Service Organization; Cremation Facilities; Drive Thru Service (subject to additional standards in UDO

Chapter 3); Equipment Rental (subject to additional standards in UDO Chapter 3); Funeral Homes; Government Services; Medical Services; Personal Services (subject to additional standards in UDO Chapter 3); Professional Services; Studio – Art, dance, martial arts, music; Tattoo Shop; Vehicle Services – Maintenance/Body Work/Repair (subject to additional standards in UDO Chapter 3); Auto Parts Sales; Bar/Tavern/Night Club; Drive-Thru Retail/Restaurants (subject to additional standards in UDO Chapter 3); Gas Station with Convenience Store (subject to additional standards in UDO Chapter 3); Neighborhood Retail/Restaurant – 2,000 sf or less; General Retail – 10,000 sf or less; General Retail – 10,001 sf to 50,000 sf; General Retail – Greater than 50,000 sf; Restaurant; Shopping Center – Community Center; Shopping Center – Neighborhood Center; Amusements, Indoor – 5,000 sf or less; Amusements, Indoor – 5,001 sf – 20,000 sf; Amusements, Indoor – Greater than 20,000 sf; Amusements, Outdoor (subject to additional standards in UDO Chapter 3); Cultural or Community Facility; Recreation Facilities, Indoor; Recreation Facilities, Outdoor; Theater, Movie; Laboratory – Medical, analytical, research & development; Laundry, dry cleaning plant; Media Production; Mini-Warehouses (subject to additional standards in UDO Chapter 3); Research and Development; Public Safety Facility; Religious Institutions; Schools – Vocational/Technical; Wireless Telecommunication Facility – Stealth; Child/Adult Day Care Center (6 or more people).

For purposes of the Master Plan, “*Allowable Residential Uses*” shall mean and refer to those uses identified in Section 2.3.C. of the UDO, including all of the following: Dwelling-Multifamily more than 4 units/bldg; Child/Adult Day Care Home (Fewer than 6 people) (subject to additional standards in UDO Chapter 3); Home Occupation.

For purposes of the Master Plan, “*Prohibited Uses*” shall mean and refer to the following uses identified in Section 2.3.C of the UDO: Bed and Breakfast Inns; Vehicle/Heavy Equipment

Sales; Manufacturing, Light; Manufacturing, Neighborhood; Campground; Cemeteries; Transit, Road & Ground Passenger Services; Theater, Live Performance; Storage – Warehouse, indoor storage; Wholesaling and distribution; Hospital; Utilities-Class 1 & 2; and Utilities-Class 3; Dwelling-Single Family; Dwelling-Duplex; Dwelling-Multifamily 4 units/bldg or less; Family Care Home (6 or Less residents); Housing Service for the Elderly; Live-Work Units; Rooming or Boarding House; Child/Adult Day Care Home (6 or more people); Post Office; Meeting Facilities.

Except as otherwise expressly limited herein, the Allowable Commercial Uses shall be permitted by-right on Lots #2 through #14 and shall not require a special use permit. Except as otherwise expressly limited herein, the Allowable Residential Uses shall be permitted by-right on Lot #1 and shall not require a special use permit. The Prohibited Uses shall not be permitted within the Development.

The development criteria of the buildings and lots within the Development as shown on Sheets C2.0 and C2.1 are as follows:

**B. Lot #1**

Uses: Lot #1 may be developed with the uses described below:

a. Stormwater Pond. Lot #1 may be permitted to be developed in part as a stormwater facility as shown generally on Sheet C2.1, which stormwater facility is shown for illustrative purposes only.

b. Multifamily Residential. Lot #1 as shown on Sheet C2.1 may be developed as apartments or as any other use permitted in the Allowable Residential Uses. Unless developed in accordance with the attached Sheet C2.1, the orientation of the buildings shall be agreed upon by

Town Administration and the owner of Lot #1, and the Town Administration shall be permitted to approve site plans for Lot #1 that deviate from the plan for Lot #1 as shown on Sheet C2.1, provided that such deviations do not constitute Substantial Changes as contemplated by Section IX.A.1 hereof and the UDO.

**C. Buildings A, B, and H through K / Lots #3 through #6, #8, and #9**

Uses: Buildings A, B, and H through K as shown on Sheet C2.0 may be developed as a combination of Retail/Restaurant uses, as well as any other use permitted in the Allowable Commercial Uses. Unless developed in accordance with the attached Sheet C2.0, the orientation of the above buildings shall be agreed upon by Town Administration and the owner of the respective Lot, and the Town Administration shall be permitted to approve site plans for each Lot that deviate from the plan for such Lot as shown on Sheet C2.0, provided that such deviations do not constitute Substantial Changes as contemplated by Section X.A.1 hereof and the UDO.

**D. Building D / Lot #7**

Uses: Building D as shown on Sheet C2.0 may be developed as a Movie Theater or as any other use permitted in the Allowable Commercial Uses. Unless developed in accordance with the attached Sheet C2.0, the orientation of Building D shall be agreed upon by Town Administration and the owner of Lot #7, and the Town Administration shall be permitted to approve site plans for Lot #7 that deviate from the plan for Lot #7 as shown on Sheet C2.0 provided that such deviations do not constitute Substantial Changes as contemplated by Section IX.A.1 hereof and the UDO.

**E. Buildings C, E, F, and G / Lot #2**

Uses: Lot #2 may be developed with the uses described below:

a. Stormwater Pond. Lot #2 may be permitted to be developed in part as a stormwater facility as shown generally on Sheets C2.0 and C2.1, which stormwater facility is shown for illustrative purposes only.

b. Retail. Buildings C, E, F, and G on Lot #2 as shown on Sheet C2.0 may be developed as a combination of Retail/Restaurant uses, as well as any other use permitted in the Allowable Commercial Uses. Unless developed in accordance with the attached Sheet C2.0, orientation of Buildings C, E, F, and G on Lot #2 shall be agreed upon by Town Administration and the owner of Lot #2 and the Town Administration shall be permitted to approve site plans for Lot #2 that deviate from the plan for Lot #2 as shown on Sheet C2.0 provided that such deviations do not constitute Substantial Changes as contemplated by Section X.A.1 hereof and the UDO.

**F. Lots #10 and 11**

Uses: At the option of the owner of each of Lots #10 and #11 (the "Buffer Lots"), each Buffer Lot shall be permitted to be developed as follows:

a. Stormwater Pond. The Buffer Lots may be permitted to be developed as stormwater facilities as shown generally on Sheet C2.0, which stormwater facility is shown for illustrative purposes only.

b. Open Space. The Buffer Lots may be permitted to be developed as stormwater facilities as shown generally on Sheet C2.0.

c. Commercial Use. The Buffer Lots, as shown on Sheet C2.0, may be developed for Retail/Restaurants uses, as well as any other Allowable Commercial Uses. Orientation of any building located on a Buffer Lot shall be agreed upon by Town Administration and the owner of

the Buffer Lot, and the Town Administration may approve site plans for Buffer Lots that deviate from the plan for the Buffer Lots as shown on Sheet C2.0 if all ordinances and policies are met. Buffer Lots may be developed in any combination of the aforementioned uses, including without limitation Allowable Commercial Uses, stormwater facilities, and open space.

2. Access/Curb Cut. In the event that a Buffer Lot is developed for a commercial use as contemplated by subsection IV.F.c above, that Buffer Lot shall be entitled to be served by at least one (1) curb cut onto an adjacent public street, subject to Town policies and standards, and to review and approval by the Town Technical Review Committee as such lot is developed.

**G. Lots #12 through #14**

Uses: Lots #12 through #14, inclusive (the "Outparcels"), as shown on Sheet C2.0 may be developed for Retail/Restaurants uses, as well as any other uses permitted in the Allowable Commercial Uses.

Access/Curb Cuts. Each Outparcel shall be entitled to be served by at least one (1) curb cut onto Village Park Drive per developed lot. The location of curb cuts for the Outparcels shall be reviewed and approved by the Town Technical Review Committee as each Outparcel develops.

**V. REDUCTIONS IN TOWN ORDINANCE REQUIREMENTS**

Pursuant to the provisions of Section 2.15.C of the UDO, the Town Council has the authority to approve a master plan as part of a required conditional district zoning that reduces certain standards of the UDO.

In light of the mixed use character of the Development; its substantial addition to the tax base; and the improvements Developer has proposed that exceed the minimum requirements

under the UDO, including for example additional buffers, landscaping, transportation improvements, and fencing; the following items are expressly approved as alternatives to UDO provisions otherwise applicable, notwithstanding any UDO provisions to the contrary:

A. Transparency and Clear Glazing:

1. All buildings shall meet the transparency requirements of Section 5.11.C.2.a., except as shown on the approved elevations attached to the Master Plan.

2. For areas used for kitchens, storage, restrooms, utility, or similar service areas, spandrel glass may be used in place of clear glass in order to satisfy the requirements of UDO Section 5.11.C.2.a.

B. Neon: Any movie theater within the development may include neon signs in excess of the limitations of Sections 12.3.D. and 12.4.K., as approved by Town Development Services staff.

C. Building materials:

1. Rear of Buildings G through J: Notwithstanding Section 5.11.C.4 of the UDO, any cementitious product may be used for the rear (east-facing) wall of buildings G through J.

2. Quick Brik or similar: Notwithstanding Section 5.11.C.4 of the UDO, buildings with a gross floor area of greater than 20,000 square feet may be permitted to include Quick Brik or a substantially similar product as an acceptable building finish in addition to those finishes contained in the UDO.

D. Flag lots: Notwithstanding the provisions of Section 4.2.K of the UDO, all Lots within the Development may be developed as shown on Sheets C2.0 and C2.1. Each lot shall meet the minimum lot width at a point not to exceed 400 feet from the right of way.

E. Setbacks:

1. Notwithstanding Section 2.11.B. of the UDO, Building K must be set back from the nearest public right-of-way generally as shown on Sheet C2.0, but in no case farther than 180 feet.

F. Parking:

1. Off-street vehicle accommodation areas, including but not limited to parking areas, are to be located in accordance with UDO Sections 10.4.A and 10.6.A, except as shown on Sheets C2.0 and C2.1.

2. Parking areas on Lots #2 through #9 shall be permitted to be developed with parking areas divided into modules containing up to 50 parking spaces per module, generally as shown on Sheets C2.0 and C2.1, notwithstanding the provisions of Section 10.6 of the UDO related to the same.

3. On-Street Parking: Notwithstanding Section 17.3 of the UDO, on-street parking shall not be provided on roadways within the Development.

G. Park and Ride spaces: Notwithstanding §10.3.B of the UDO, park and ride parking spaces shall not be required within the Development.

H. Buffers: The Development is planned for a mix of uses and includes the North-South Street between commercial uses and adjoining property to the west. Consequently, notwithstanding Sections 2.11.B and 8.6 of the UDO, (a) no buffer or setback shall be required between the commercial (zoned HBCD) and residential (zoned RMXCD) portions of the Development, nor between the multifamily (RMXCD) portion of the development and the adjacent UR12 zoning district to the west; and (b) all other setbacks and buffers between zoning districts shall be as shown on the attached Sheets C2.0 and C2.1. Land disturbance activities are permitted within any buffer in the Development, generally as depicted in Sheets C3.0 and C3.1.

I. Bicycle parking: Notwithstanding § 10.3.C. of the UDO, the Development shall include a minimum of 50 bicycle parking spaces on the Highway Business / retail portion of the Development.

J. Signage:

1. Notwithstanding the provisions of UDO Section 12.5.B, in addition to signage otherwise permitted by the UDO, one off-premise monument sign of up to 20' in height and 200 sq. ft. in area per side shall be permitted along Knightdale Boulevard for the benefit of Lots #1 through #9.

2. Notwithstanding the provisions of UDO Section 12.5.B, in addition to signage otherwise permitted by the UDO, a project branding sign of up to 4' in height and 50 sq. ft. in area shall be permitted on a decorative wall of no more than 5' in height, which wall shall be located at the southeast corner of the intersection of Village Park Drive and the North-South Street for the benefit of Lots #1 through #9. The sign base and structure shall include architectural elements similar to the approved elevations for the Development.

K. Landscaping of Parking Areas: Notwithstanding the provisions of Section 8.8 of the UDO, no more than one shade tree shall be required to be planted within any parking island in the Development. Shade trees shall be provided as indicated on the attached Sheets L2.0, L2.1, and L5.0.

**L. Street Walls and Roof Lines:**

1. For any movie theater within the Development, the façade articulation requirements of UDO Section 5.4.G. shall be met by any elevation similar to that shown for Building D on Sheet A2.

2. All roof lines of commercial buildings within the Development shall comply with Section 5.11.C.5, except as shown on the approved elevations.

**M. Tree Protection:** The tree protection provisions of the UDO shall not apply to any areas within the Property for which tree removal is consistent with a state or federal permit allowing for the impacting of jurisdictional streams, wetlands, or riparian buffer zones. Further, the standard of Section 8.5.A of the UDO shall be modified such that the standard for tree replacement in Tier 2 areas shall be that all trees greater than 15" DBH shall remain undisturbed or be replaced at a rate of 1 tree per 15" DBH.

**N. Fencing:** Notwithstanding Section 4.8.B of the UDO, the fence near the eastern boundary of the Development shown on Sheets C2.0 and C2.1 may be constructed of wood.

**VI. ADDITIONAL CONDITIONS**

**A. Utility Allocation Agreement**

The developer and owners of the Property shall agree to a Utility Allocation Agreement.

The Town shall have no obligation to provide public water and sewer service to the Property until the Owners and Developer enter a Utility Allocation Agreement with the Town.

**B. Buffers**

Developer will provide Type B and/or D buffer yards between the Property and the residential uses to the east and south of the Property, as shown on Sheets C2.0, C2.1, L2.0, and L2.1. Upon completion of clearing and grading activities, the existing vegetation will be assessed by Town staff to confirm that it is sufficient to meet the performance standard per Chapter 8 of the Town of Knightdale UDO. Should the standard not be met, the developer will work with Town staff to identify supplemental vegetation necessary to achieve the performance standard of UDO Section 8.6.B.

A six-foot-high wooden fence shall be installed within the buffers along portions of the eastern and southern boundaries of the Property, as shown on the attached Sheets C2.0 and C2.1.

**C. Unity of Development**

All buildings will generally exhibit architectural compatibility with the illustrative Elevations attached to the Master Plan application through integrated design features, common building materials and appropriate scale of development; provided that color shall not be required to be one of the design elements unifying the Development. Because the Elevations are illustrative in nature, the unity of development standards for each individual lot comprising the Property may be modified and determined on a site specific basis.

**D. Landscape Maintenance and Location**

Either the Developer or a designated operator under an operating agreement for the Development or a property owners' association for the Development shall maintain the common areas within the Development, including the stormwater detention ponds as shown on Sheets C2.0 and C2.1. For clarity, common areas that the Developer or a property owners' association must maintain do not include undisturbed buffer areas that meet applicable standards. Landscaping of the Development shall be in accordance with the Landscape Plan attached hereto as Sheets L2.0 and L2.1.

**E. Stormwater Management**

Stormwater management for the Development shall be provided in accordance with Sheets C3.0 and C3.1 and the Stormwater Plan included with the Master Plan application submittal.

Stormwater management infrastructure may change in size or shape at the time of

submission of construction drawings. Stormwater collection systems in public rights-of-way shall conform to the Town's standards and specifications. Collection systems on private property may utilize storage devices, bioretention areas or rain gardens, and other alternative design concepts.

**F. Road Construction**

1. The North-South Street and Village Park Drive through the Development shall be constructed in accordance with the street sections shown on Sheet C5.0 and the Town's Arterial and Collector Plan. These streets shall be public roads upon completion and dedication to the Town. In connection with the construction of any public roads within the Development as shown on Sheets C2.0 and C2.1, the Town may be identified as the applicant on any permit(s) to cross or otherwise impact jurisdictional wetlands and/or stream buffers if such permits are required by the State of North Carolina or the United States Army Corps of Engineers. Developer and/or the owner of the lot requiring any permit to cross or otherwise impact jurisdictional wetlands and/or stream buffers shall bear the sole cost and expense associated with any permits to be procured hereunder.

2. Developer also shall construct one additional right turn lane within eastbound Knightdale Boulevard onto the North-South Street and lengthen the left turn lane within westbound Knightdale Boulevard, as recommended by the Traffic Impact Analysis prepared by Kimley-Horn and Associates, Inc. for the Development. The above recommended traffic and roadway improvements for the Development are described in the Traffic Impact Analysis submitted herewith and will be constructed, provided such

improvements are approved by the North Carolina Department of Transportation and the Town of Knightdale.

3. In addition to the above required and recommended improvements, as further provided on Sheets C2.0 and C2.1 and subject to North Carolina Department of Transportation approval, Developer agrees to make the following additional improvements in accordance with the UDO requirements: (a) re-stripe Knightdale Boulevard from its intersection with the North-South Street northward to its intersection with Smithfield Road; (b) install signal heads at the intersection of Knightdale Boulevard and the North-South Street; (c) improvements to the north side of Knightdale Boulevard relating to the signalization of the intersection of Knightdale Boulevard and the North-South Street; and (d) improvements to the driveway entrance of the Wake Stone quarry property across Knightdale Boulevard from the Development, generally as shown in the Utility Allocation Agreement referenced in condition A, above.

**G. Pedestrian Orientation**

Sidewalks of five feet (5') in width shall be constructed along both sides of the North-South Street (except where necessary to accommodate additional landscaping on the western portion of the Property where the HB zone abuts adjacent UR12 zoning), Village Park Drive, and the private right-in, right-out entrance to the Development along Knightdale Boulevard; between the multifamily residential buildings and parking areas on Lot #1; and between each building on Lots #2 through #14 and the adjoining parking areas, all as shown on Sheets C2.0 and C2.1. As individual lots within the Development are submitted for site plan approval, only those portions



of the sidewalks that are contained within each lot must be constructed prior to issuance of a building permit for such lot.

## **VII. VESTED RIGHTS**

This Master Plan shall constitute a Site Specific Development Plan establishing vested rights for the Development for a period of five (5) years.

## **VIII. CONDITIONS OF DEVELOPMENT AND OCCUPANCY**

The following are the conditions of development and occupancy that shall apply to any lot within the Property:

### **A. Conditions to be met prior to issuance of a Construction Improvements Permit**

1. That the construction plans reflect the technical recommendations of the Technical Review Committee, the City of Raleigh Public Utilities Department and all other regulating agencies.
2. That street names be approved by the Town and Wake County.
3. That the Town and the owners and developers of the Property have agreed to and executed a Utility Allocation Agreement.

### **B. Conditions to be met prior to a Certificate of Occupancy**

1. That all improvements be constructed as required by the approved construction plans for each lot; and
2. That road improvements and the traffic signal at Knightdale Boulevard shall be constructed as approved by NCDOT.

## **IX. AMENDMENTS AND APPROVALS**

### **A. Amendments**

Subject to the terms of any overall operating and reciprocal easement and maintenance agreement recorded as part of development of the Property, all of the owners of Property within the Development shall join in any amendment to this Master Plan and the exhibits hereto.

### **B. Approvals**

Unless otherwise provided herein, the Town Manager or his or her designee shall have the authority to approve site plans and any other development plans as development occurs on the Property.

1. Substantial Changes. As provided for in Section 15.6.C. of the UDO, any change to this Master Plan that results in a net increase in the number of lots or a net increase of more than 10% of a building's heated floor area shall be considered a "*Substantial Change*" and shall be reviewed by the Land Use Review Board and approved or denied by the Town Council as an amended conditional district.

2. Administrative Changes. Except for Substantial Changes as described above, the Town Manager or his or her designee may approve minor alterations to this Master Plan as "*Administrative Changes*." All changes to the Master Plan that are not Substantial Changes shall be considered Administrative Changes. Such minor alterations include, without limitation, minor or non material changes in lot lines, driveway access points, and changes in public street locations, lot lines, driveway access points, and changes in street or sidewalk construction standards that do not affect the traffic-carrying

capacity of the respective streets or sidewalks. Appeals of administrative changes shall be made to the Land Use Review Board.

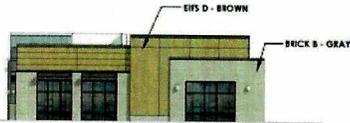




**8 WEST ELEVATION - BUILDING C**  
 1/16" = 1'-0"  
 GLAZING CALCULATIONS:  
 70'L X 14'H = 980 SF X 0.4 = 392 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 370 SF (38%)



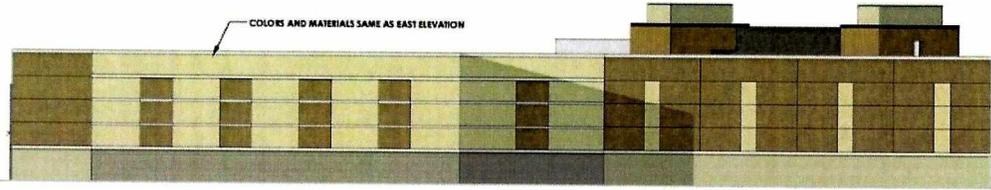
**7 NORTH ELEVATION - BUILDING C**  
 1/16" = 1'-0"  
 GLAZING CALCULATIONS:  
 40'L X 14'H = 560 SF X 0.4 = 224 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 370 SF (48%)



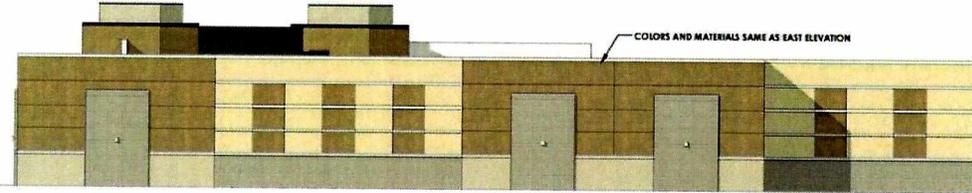
**6 SOUTH ELEVATION - BUILDING C**  
 1/16" = 1'-0"  
 GLAZING CALCULATIONS:  
 56'L X 14'H = 784 SF X 0.4 = 314 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 310 SF (38%)



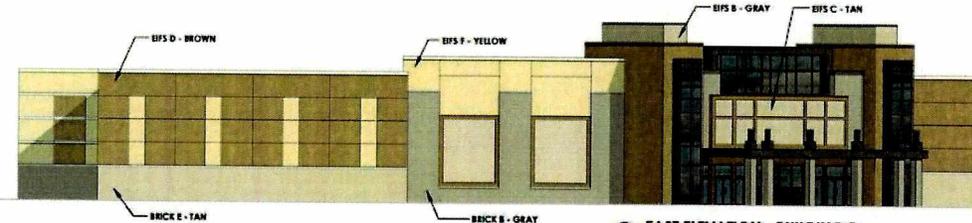
**5 EAST ELEVATION - BUILDING C**  
 1/16" = 1'-0"  
 GLAZING CALCULATIONS:  
 70'L X 14'H = 980 SF X 0.4 = 392 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 540 SF (55%)



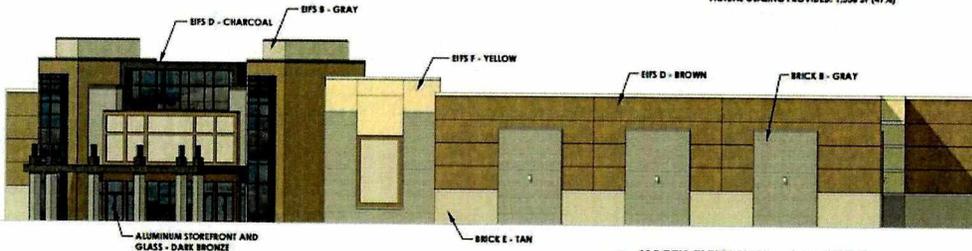
**4 SOUTH ELEVATION - BUILDING D**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 NONE



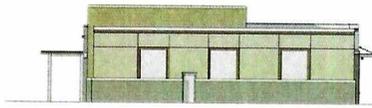
**3 WEST ELEVATION - BUILDING D**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 NONE



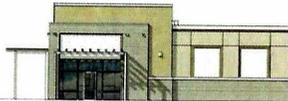
**2 EAST ELEVATION - BUILDING D**  
 1/16" = 1'-0"  
 GLAZING CALCULATIONS:  
 234'L X 14'H = 3,276 SF X 0.4 = 1,310 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 1,556 SF (47%)



**1 NORTH ELEVATION - BUILDING D**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 NONE



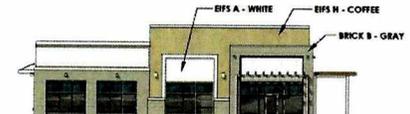
**8 NORTH ELEVATION - BUILDING A**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 NONE



**7 EAST ELEVATION - BUILDING A**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 671 X 14'H = 940 SF X 0.4 = 336 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 140 SF (19%)



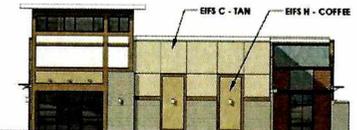
**6 WEST ELEVATION - BUILDING A**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 371 X 14'H = 520 SF X 0.4 = 208 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 124 SF (18%)



**5 SOUTH ELEVATION - BUILDING A**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 671 X 14'H = 940 SF X 0.4 = 336 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 480 SF (60%)



**4 WEST ELEVATION - BUILDING B**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 312'L X 14'H = 4,368 SF X 0.4 = 1,747 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 1,412 SF (32%)



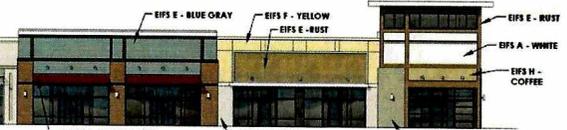
**3 NORTH ELEVATION - BUILDING B**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 371 X 14'H = 520 SF X 0.4 = 208 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 244 SF (24%)



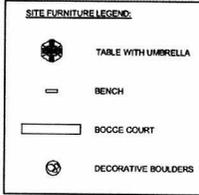
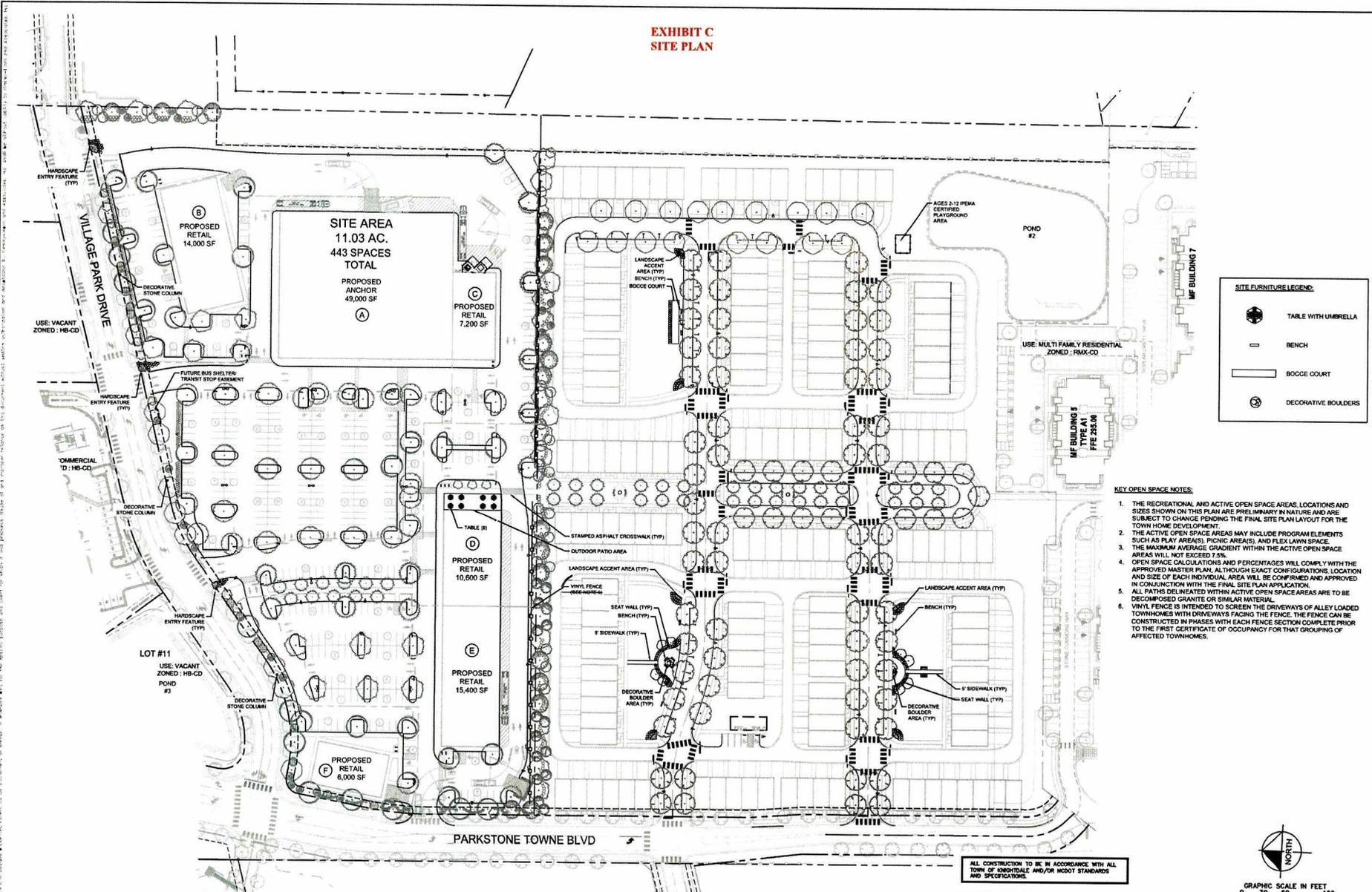
**2 SOUTH ELEVATION - BUILDING B**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 751 X 14'H = 1,050 SF X 0.4 = 420 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 430 SF (41%)



**1 EAST ELEVATION - BUILDING B**  
 1/16" = 1'-0" GLAZING CALCULATIONS:  
 312'L X 14'H = 4,368 SF X 0.4 = 1,747 SF REQUIRED (40%)  
 ACTUAL GLAZING PROVIDED: 2,364 SF (64%)



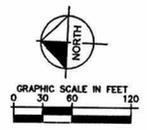
**EXHIBIT C  
SITE PLAN**



- KEY OPEN SPACE NOTES:**
1. THE RECREATIONAL AND ACTIVE OPEN SPACE AREAS, LOCATIONS AND SIZES SHOWN ON THIS PLAN ARE PRELIMINARY IN NATURE AND ARE SUBJECT TO CHANGE PENDING THE FINAL SITE PLAN LAYOUT FOR THE TOWN HOME DEVELOPMENT.
  2. THE ACTIVE OPEN SPACE AREAS MAY INCLUDE PROGRAM ELEMENTS SUCH AS PLAY AREAS, PICNIC AREAS, AND FLEX LAWN SPACE.
  3. THE MAXIMUM AVERAGE GRADIENT WITHIN THE ACTIVE OPEN SPACE AREAS WILL NOT EXCEED 7.5%.
  4. OPEN SPACE CALCULATIONS AND PERCENTAGES WILL COMPLY WITH THE APPROVED MASTER PLAN, ALTHOUGH EXACT CONFIGURATIONS, LOCATION AND SIZE OF EACH INDIVIDUAL AREA WILL BE CONFIRMED AND APPROVED IN CONJUNCTION WITH THE FINAL SITE PLAN APPLICATION.
  5. ALL PATHS DELINEATED WITHIN ACTIVE OPEN SPACE AREAS ARE TO BE DECOMPOSED GRANITE OR SIMILAR MATERIAL.
  6. VINYL FENCE IS INTENDED TO SCREEN THE DRIVEWAYS OF ALLEY LOADED TOWNHOMES WITH DRIVEWAYS FACING THE FENCE. THE FENCE CAN BE CONSTRUCTED IN PHASES WITH EACH FENCE SECTION COMPLETE PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY FOR THAT GROUPING OF AFFECTED TOWNHOMES.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR MDOT STANDARDS AND SPECIFICATIONS.

- EXISTING CORRELATION NOTES:**
1. EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC. 63 ADAMS POINT DRIVE, GARNER, N.C. 27826, PHONE: 815-281-9145 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE AT KNIGHTDALE (DHA #017254001) DATED NOVEMBER 15, 2018 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES 421 FAVETTILLE STREET, SUITE 800, RALPH, NC 27601, PHONE: 815-477-2000.
  2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720174400J DATED MAY 2, 2008.



No.	REVISIONS	DATE	BY
1	TOWN OF KNIGHTDALE COMMENTS	12-05-19	MMH
2	OWNER UPDATES	01-19-20	MMH

**Kimley»Horn**  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 27801  
 421 FAVETTILLE STREET, SUITE 800, RALPH, NC 27601  
 PHONE: 815-477-2000 WWW.KIMLEY-HORN.COM

NO.	DATE	DESCRIPTION	BY	CHECKED BY
017254007	11/20/2019	AS SHOWN	JCB	JCB

**OPEN SPACE PLAN**

**PARKSTONE PHASE 2  
MIXED USE**  
 PREPARED FOR  
**KNIGHTDALE DEVELOPMENT  
OWNERSHIP, LLC.**  
 NORTH CAROLINA  
 KNIGHTDALE