

MASTER PLAN

FOR LEGACY OAKS MIXED-USE DEVELOPMENT

LOCATION OF SITE
0 HODGE RD
KNIGHTDALE, NC, 27604
WAKE COUNTY

PARCEL NUMBERS: 1744243939, 1744255603, 1744383153,
1744288141, 1745209095
TOWN OF KNIGHTDALE PROJECT NUMBER: ZMA-3-21

CONTACT INFORMATION

REFERENCES

SURVEY:
"BOUNDARY AND TOPOGRAPHIC SURVEY"
PREPARED BY BOHLER
PROJECT NO.: NS192016
DATED: 10/17/2019

WETLAND AND STREAM REPORT:
"BUFFER DETERMINATION LETTER"
PREPARED BY S&EC
PROJECT NO.: 8605-W12
DATED: 01/20/2020

ENVIRONMENTAL SURVEY:
"LEGACY OAKS ENVIRONMENTAL SURVEY"
PREPARED BY THREE OAKS ENGINEERING
PROJECT NO.: 20-600
DATED: 01/01/2020

GOVERNING AGENCIES

TOWN OF KNIGHTDALE - DEVELOPMENT
950 STEPLE SQUARE CT.
KNIGHTDALE, NC 27545
PHONE: (919) 217-5200

TOWN OF KNIGHTDALE - PUBLIC WORKS
1102 GREAT FALLS CT.
KNIGHTDALE, NC 27545
PHONE: (919) 217-2250

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT)
1 S. WILMINGTON ST.
RALEIGH, NC 27601
PHONE: (919) 368-4968

GENERAL NOTES:

- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE, BASED ON FEMA FIRM MAPS #3720174400J & #3720174500J DATED 05/2/2006.
- THERE ARE BUFFERED STREAMS, PONDS, AND A LAKE ON THE SITE PER DELINEATION OF STREAMS AND WETLANDS BY S&EC, PERFORMED ON 01/20/2020.
- ALL CONSTRUCTION SHOULD BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.

UTILITY SERVICE CONTACTS

SERVICE	UTILITY / GOVERNING AGENCY
WATER/SEWER	RALEIGH PUBLIC UTILITIES 1 EXCHANGE PLAZA RALEIGH, NC 27601 (919) 996-3245
ELECTRIC	DUKE ENERGY 411 FAYETTEVILLE ST RALEIGH, NC 27601 (800) 452-2777

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK BEFORE THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATED TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.

LOT COUNT

SINGLE FAMILY LOTS >60' WIDTH	98
SINGLE FAMILY LOTS <60' WIDTH	91
TOWNHOMES	149

PUBLIC STREET QUANTITIES

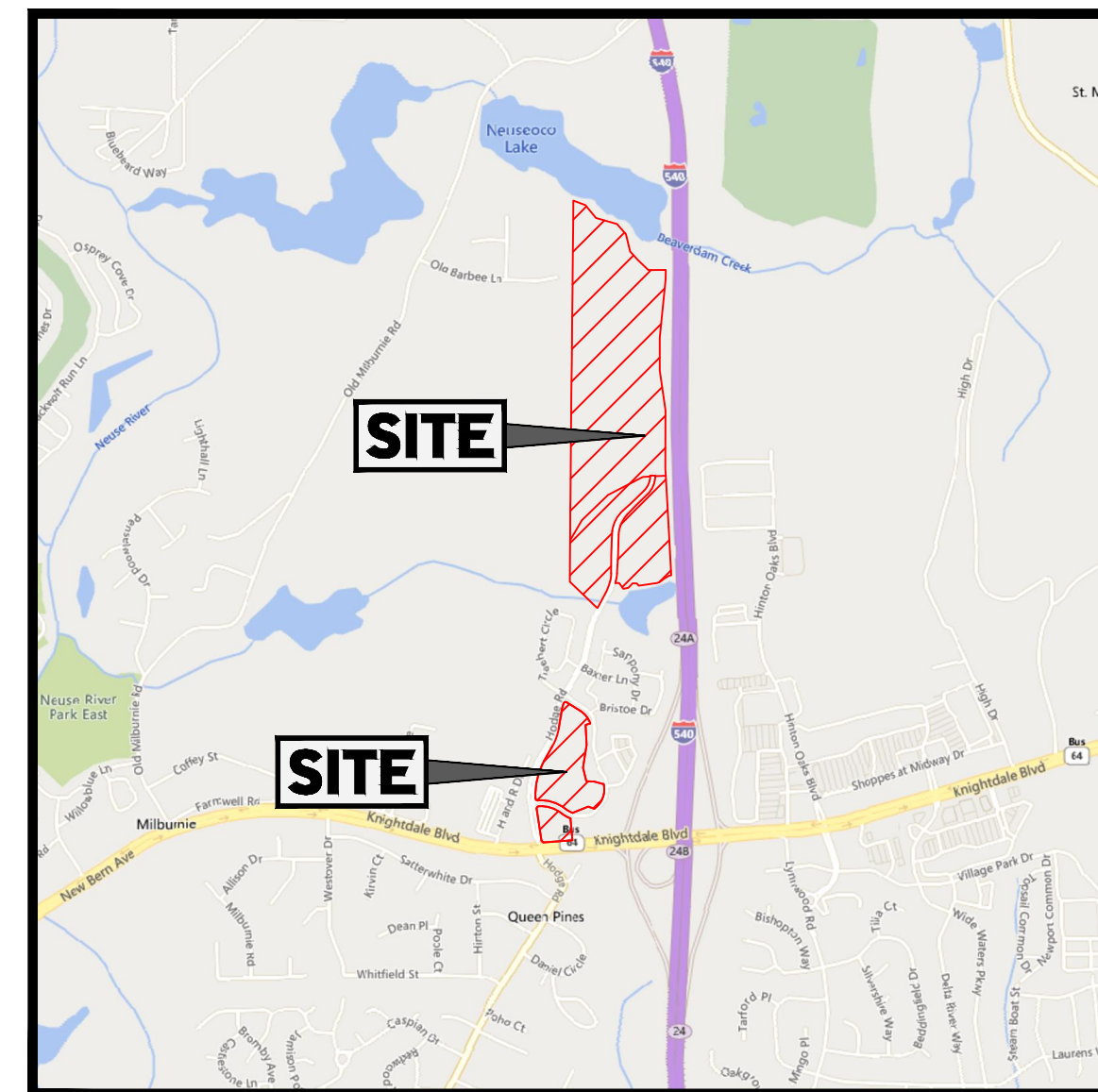
LOCAL STREET (LF)	10,941
ALLEY (LF)	5,385

SITE DATA

SITE AREA (AC.)	PIN# 1744243939: ±2.783 AC PIN# 1744255603: ±11.707 AC PIN# 1744288141: ±11.691 AC PIN# 1744383153: ±12.237 AC PIN# 1745209095: ±56.514 AC Total = ±104.93 AC
ZONING:	HB, GR-8, UR12, NMX
EX. LAND USE:	VACANT
PROP. LAND USE:	PUD
WATERSHED:	NEUSE RIVER BASIN
FIRM MAP DATE:	05/02/2006
FIRM MAP NUMBER:	#3720174400J & #3720174500J
FLOODPLAIN:	NOT IN FLOODPLAIN
PROPOSED # OF LOTS:	338 (189 HOUSE, 149 TOWNHOUSE)
PROPOSED DENSITY:	DUA
PROPOSED MINIMUM LOT SIZE:	3,500 SF (HOUSE), 1,100 SF (TOWNHOUSE)
AVERAGE LOT SIZE (TOWNHOME):	1,525 SF
AVERAGE LOT SIZE (HOUSE):	6,010 SF
PROPOSED MINIMUM LOT WIDTH:	30 FT (HOUSE), 20 FT (TOWNHOUSE)
SETBACKS:	
FROM STREET RIGHT-OF-WAY (FRONT):	HOUSE: 10' TOWNHOUSE: N/A
SIDEYARD:	20% LOT WIDTH: 10' BETWEEN BLDG.
REARYARD:	25' N/A
REARYARD FROM ALLEY:	20' FROM ALLEY CL 15' FROM ALLEY CL
MAX BUILDING HEIGHT:	3 STORIES 3 STORIES
TOWNHOUSE CONNECTIVITY INDEX:	22 LINKS/18 NODES = 1.22
SINGLE FAMILY CONNECTIVITY INDEX:	24 LINKS/15 NODES = 1.60
OPEN SPACE REQUIRED:	338 UNITS/90.42 ACRES = 3.74 UNITS/ACRE ALL UNITS WITHIN 0.25 MILES OF OPEN SPACE = 260 SF/ROOM 1,183 TOTAL ROOMS * 260 = 307,580 SF/7.06 AC
OPEN SPACE PROVIDED:	7.43 AC

PARKING CALCULATIONS				
	MIN	MAX	PROVIDED	BICYCLE PARKING REQUIRED (1 PER 10 SPACES)
RETAIL	1/2 MAXIMUM = 60 SPACES	6.0 SPACE PER 1,000 SF = 20,000 SF / 1000 * 6 = 120 SPACES	98 SPACES	10 SPACES
HOTEL	1/2 MAXIMUM = 69	1.25 SPACES PER ROOM = 110 * 1.25 = 138	84 SPACES	8 SPACES
OFFICE	1/2 MAXIMUM = 66	4 PER 1,000 SF = 38,700 SF / 1000 * 4 = 155	132 SPACES	14 SPACES

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C-205	EXISTING CONDITIONS & DEMOLITION PLAN AREA D
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C-304	SITE PLAN AREA C
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C-605	LANDSCAPE PLAN AREA D
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C-704	LIGHTING PLAN AREA D
C-801	STRIPING & SIGNAGE PLAN A
C-802	STRIPING & SIGNAGE PLAN B
C-803	STRIPING & SIGNAGE PLAN C
C-804	STRIPING & SIGNAGE PLAN D



LOCATION MAP
SCALE: 1" = 2000'

OWNER

STC CAPPROP EAT LLC
PO BOX 19001
RALEIGH, NC 27619-9001

PREPARED BY
BOHLER //
BOHLER ENGINEERING NC, PLLC
NCBELS P-1132

DEVELOPER

SHENANDOAH HOMES
3724 NATIONAL DRIVE SUITE 220
RALEIGH, NC 27612

CONTACT: WILL SWARINGEN, P.E.
EMAIL: WSWARINGEN@BOHLERENG.COM

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BOHLER ENGINEERING NC, PLLC
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/22/21	PER KNIGHTDALE COMMENTS	RMG
2	6/4/21	PER KNIGHTDALE COMMENTS	RMG



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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

PROJECT:

MASTER PLAN

FOR
LEGACY OAKS



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WAKE COUNTY
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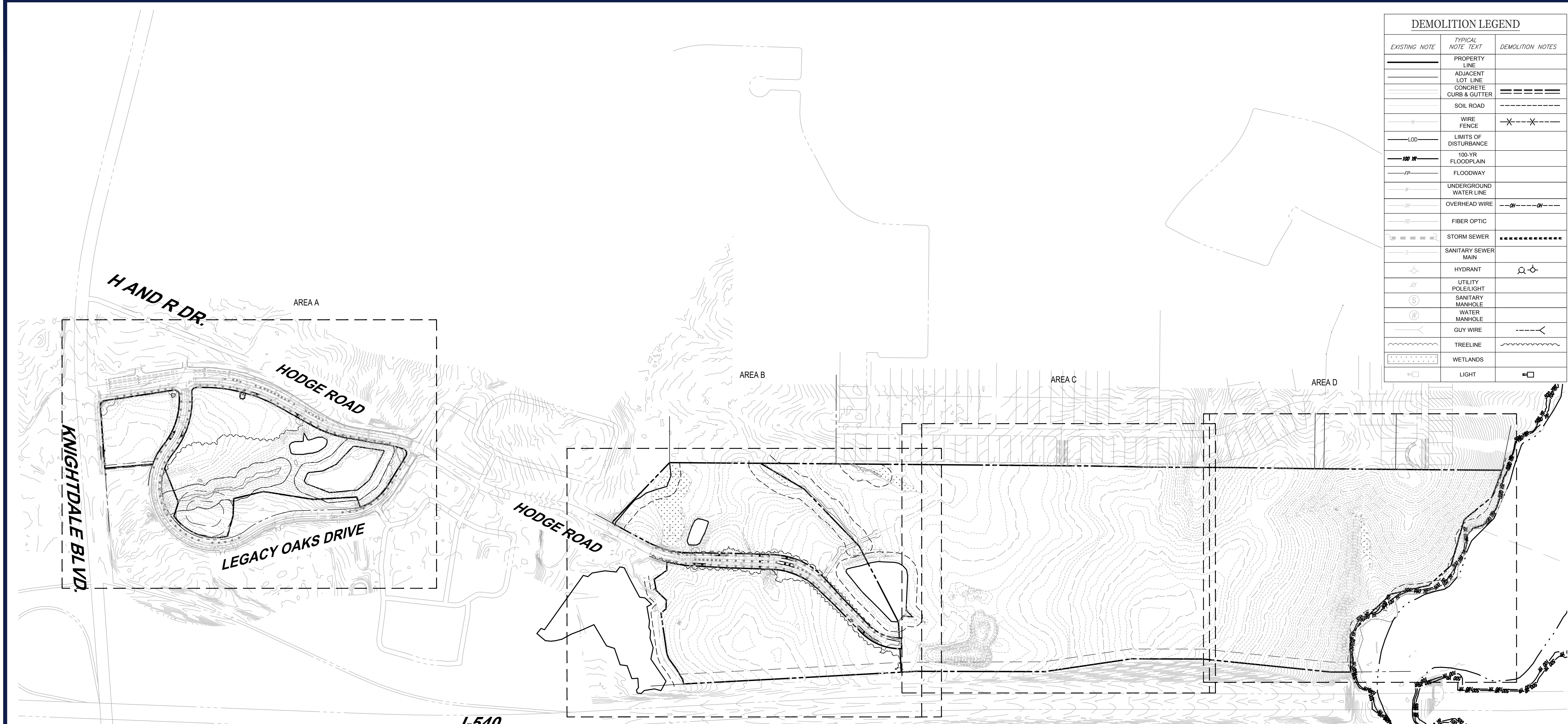
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

REVISION 2 - 6/4/21



EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	---
---	SOIL ROAD	---
---	WIRE FENCE	X-X-X-X
---	LIMITS OF DISTURBANCE	
---	100-YR FLOODPLAIN	
---	FLOODWAY	
---	UNDERGROUND WATER LINE	
---	OVERHEAD WIRE	---O---
---	FIBER OPTIC	
---	STORM SEWER	-----
---	SANITARY SEWER MAIN	-----
---	HYDRANT	⊙
---	UTILITY POLE/LIGHT	⊙
---	SANITARY MANHOLE	⊙
---	WATER MANHOLE	⊙
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---
---	LIGHT	⊙

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NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL
CHARLES E. YONELL
04/21

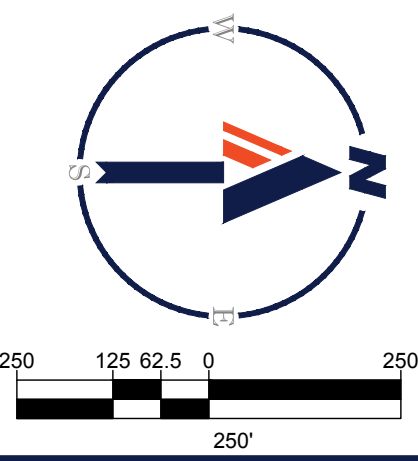
SHEET TITLE:
OVERALL EXISTING CONDITIONS & DEMO PLAN

SHEET NUMBER:
C-201

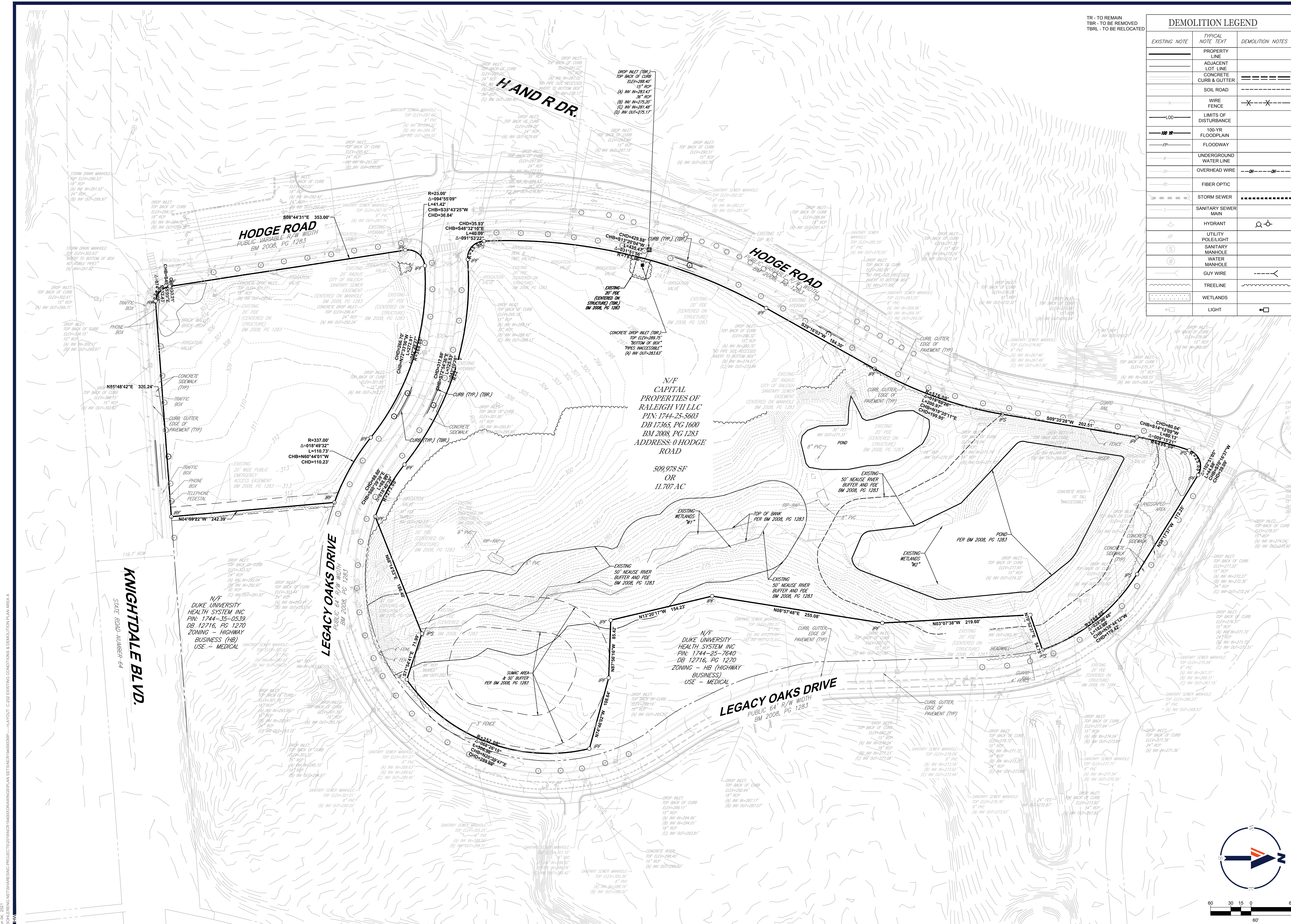
REVISION 2 - 6/4/21

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ACTUAL IN PLACE SUB-SURFACE UTILITY INFORMATION INCLUDING HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT OR TOWN OF CARY REQUIREMENTS ARE OBTAINED.
 - IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY INFRASTRUCTURE REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF ASSOCIATED WORK.
 - THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

- DEMOLITION NOTES**
- REFER TO GENERAL NOTES ON SHEET C-102.
 - ALL EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO FENCING, UTILITIES, BUILDINGS, SEPTIC TANKS, WELLS, SIGNS, PAVING, SHALL BE REMOVED EVEN IF NOT SHOWN ON THIS PLAN.
 - ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE PROPERLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
 - ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE REMOVED COMPLETELY. THE EXCAVATED AREA SHALL BE BACKFILLED WITH CLEAN FILL MATERIAL AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING TREES AND OTHER VEGETATION, ONLY AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 - WITH ANY CONCRETE SHOWN TO BE REMOVED, THE CONTRACTOR SHALL REMOVE THE CONCRETE TO THE NEAREST JOINT OR SAW CUT TO PROVIDE CLEAN EDGE.
 - WITH ANY ASPHALT SHOWN TO BE REMOVED, THE CONTRACTOR SHALL SAW CUT TO PROVIDE A CLEAN EDGE.
 - ALL UTILITIES TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL NECESSARY MEASURES ARE TAKEN, WHETHER TEMPORARY OR PERMANENT, TO ALLOW FOR PROPER FUNCTIONING OF EXISTING UTILITIES.
 - ANY EXISTING WELL HEADS SHALL BE REMOVED TO A MINIMUM OF FIVE (5) FEET BELOW PROPOSED FINAL GRADE AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS. CONTRACTOR SHALL VERIFY THAT WELL HEADS ARE REMOVED TO A DEPTH SUITABLE FOR THE INSTALLATION OF INFRASTRUCTURE AND UTILITIES IN GRADE ABOVE, INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, SANITARY SEWER, WATER, AND ASSOCIATED SERVICES. ALL SERVICE LINES FROM THE WELL SHALL BE COMPLETELY REMOVED. ANY WORK PERFORMED ON THE WELL MUST BE DONE BY A LICENSED UTILITY CONTRACTOR.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION & EXTENTS OF ANY SEPTIC SYSTEM AND REMOVING COMPLETELY. ANY REMOVAL MUST BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
 - ALL EXISTING DRAINAGE PIPES AND FENCES WITHIN DEVELOPED AREA SHALL BE REMOVED COMPLETELY.



JUN 04, 2021
 BOHLER ENGINEERING NC, PLLC PROJECT: 2019NCR194000DRAWINGS/PLAN SET/SETNCR194000DWP---LAYOUT: C-201 OVERALL EXISTING CONDITIONS & DEMO PLAN



TR - TO REMAIN
 TBR - TO BE REMOVED
 TBLR - TO BE RELOCATED

EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	=====
---	SOIL ROAD	-----
---	WIRE FENCE	---X---X---
---	LIMITS OF DISTURBANCE	
---	100-YR FLOODPLAIN	
---	FLOODWAY	
---	UNDERGROUND WATER LINE	
---	OVERHEAD WIRE	---O---O---
---	FIBER OPTIC	
---	STORM SEWER	-----
---	SANITARY SEWER MAIN	
---	HYDRANT	⊗
---	UTILITY POLE/LIGHT	⊗
---	SANITARY MANHOLE	⊗
---	WATER MANHOLE	⊗
---	GUY WIRE	---
---	TREELINE	~~~~~
---	WETLANDS	~~~~~
---	LIGHT	⊞

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 SUSTAINABLE DESIGN SERVICES
 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	CHECKED BY
1	4/22/21	PER KNIGHTDALE COMMENTS	RMG	WES
2	6/4/21	PER KNIGHTDALE COMMENTS	RMG	WES

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 CAD I.D.:
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 NC@BohlerEng.com

NORTH CAROLINA
 PROFESSIONAL ENGINEER
Charles E. Yotter
 ENGINEER
 04/21

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN AREA A
 SHEET NUMBER:
C-202
 REVISION 2 - 6/4/21

Jun 04, 2021 10:58 AM C:\PROJECTS\2021\NCR194000\DRAWINGS\PLAN SETS\NCR194000\DRAWINGS\LAYOUT_C-202 EXISTING CONDITIONS & DEMOLITION PLAN AREA A



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DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
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---	CONCRETE CURB & GUTTER	---
---	SOIL ROAD	---
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---	FLOODWAY	---
---	UNDERGROUND WATER LINE	---
---	OVERHEAD WIRE	---
---	FIBER OPTIC	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
○	HYDRANT	○
○	UTILITY POLE/LIGHT	○
○	SANITARY MANHOLE	○
○	WATER MANHOLE	○
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---
□	LIGHT	□

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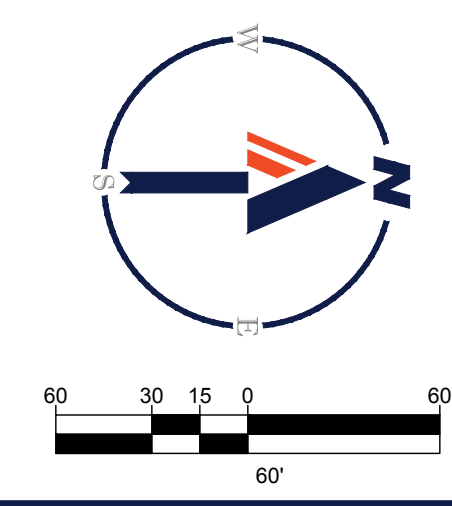
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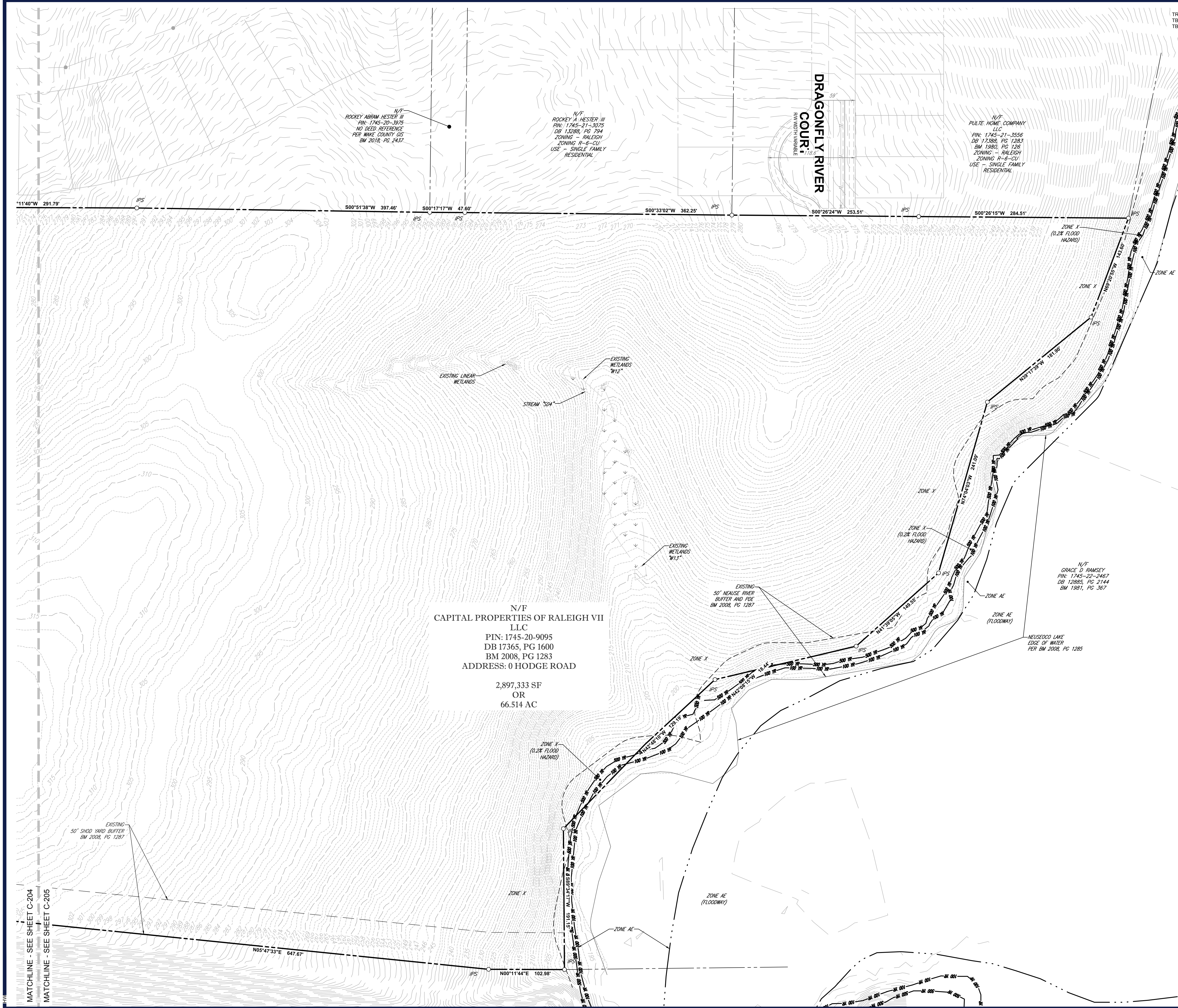
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 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 NC@BohlerEng.com

CHARLES E. YOWELL
 PROFESSIONAL ENGINEER
 No. 421

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN AREA C
 SHEET NUMBER:
C-204
 REVISION 2 - 6/4/21



JUN 04, 2021
 BOHLER ENGINEERING NC, PLLC PROJECT: NCR194000 DRAWING: PLAN SET: NCR194000.DWG LAYOUT: C-204 EXISTING CONDITIONS & DEMOLITION PLAN AREA C



TR - TO REMAIN
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DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	
---	SOIL ROAD	----
---	WIRE FENCE	X-X-X-X
---	LIMITS OF DISTURBANCE	
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---	OVERHEAD WIRE	---OW---
---	FIBER OPTIC	
---	STORM SEWER	-----
---	SANITARY SEWER MAIN	-----
---	HYDRANT	⊙
---	UTILITY POLE/LIGHT	⊙
---	SANITARY MANHOLE	⊙
---	WATER MANHOLE	⊙
---	GUY WIRE	---
---	TREELINE	~~~~~
---	WETLANDS	▨
---	LIGHT	⊙

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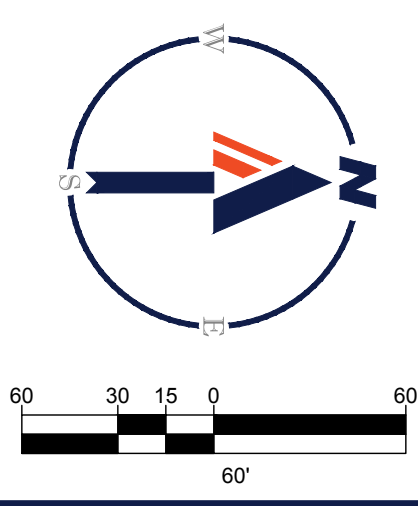
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
CHARLES E. YONELL
6/4/21

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN AREA D

SHEET NUMBER:
C-205

REVISION 2 - 6/4/21



JUN 04, 2021
 BOHLER ENGINEERING NC, PROJECT 194000, DRAWING PLAN, SET NCR194000DIP, LAYOUT: C-205 EXISTING CONDITIONS & DEMOLITION PLAN AREA D

MATCHLINE - SEE SHEET C-204
MATCHLINE - SEE SHEET C-205

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	DEPRESSED CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---

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SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV	DATE	COMMENT	CHECKED BY
1	4/22/21	PER KNIGHTDALE COMMENTS	RMG
2	6/4/21	PER KNIGHTDALE COMMENTS	RMG

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PROJECT No.: NCR194000
DRAWN BY: RMG
DATE: 2-22-21
CAD ID:

MASTER PLAN

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

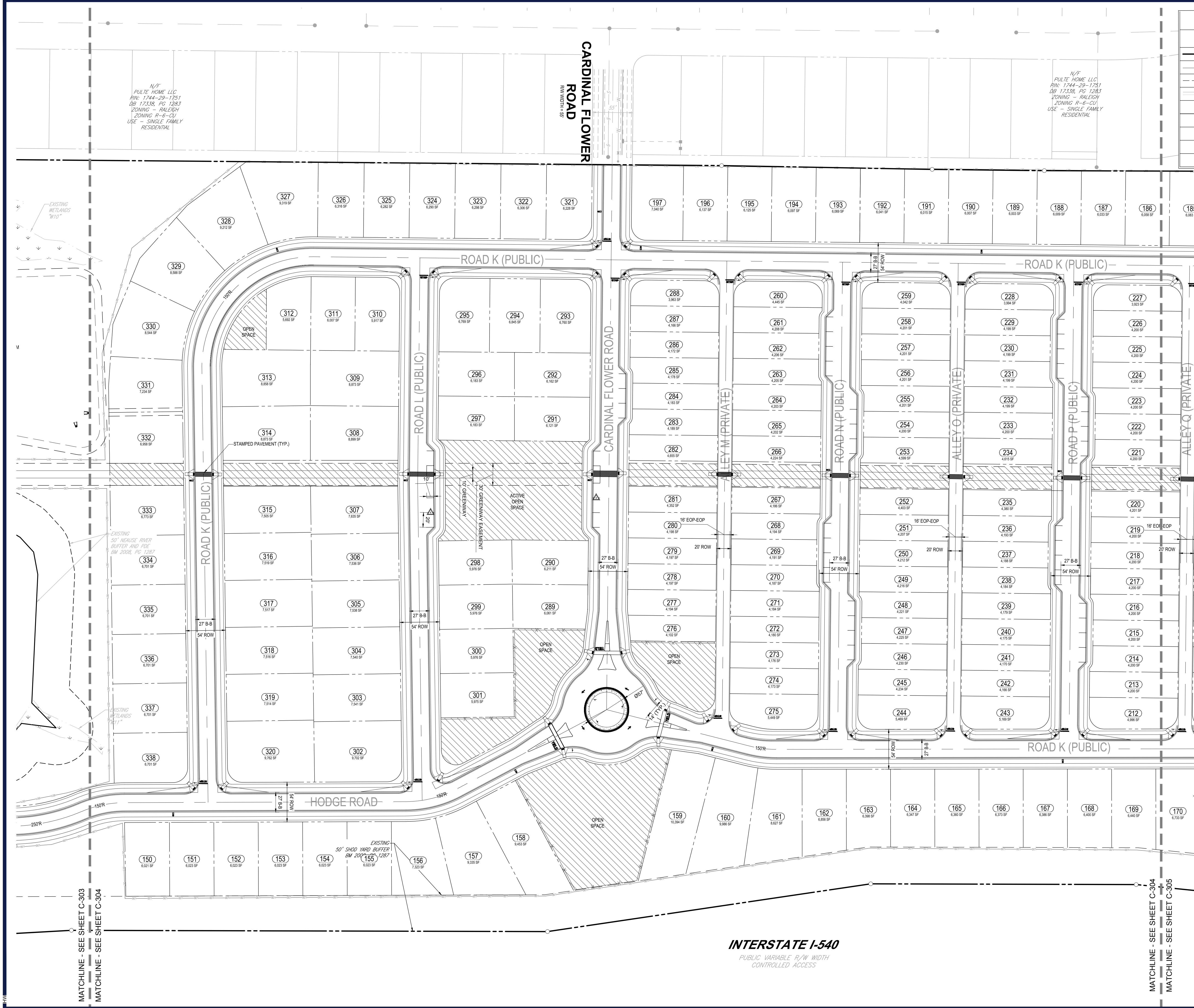
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Phone: (919) 578-9000
NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL
CHARLES E. YONKELL
04/21

SHEET TITLE:
SITE PLAN AREA C

SHEET NUMBER:
C-304

REVISION 2 - 6/4/21

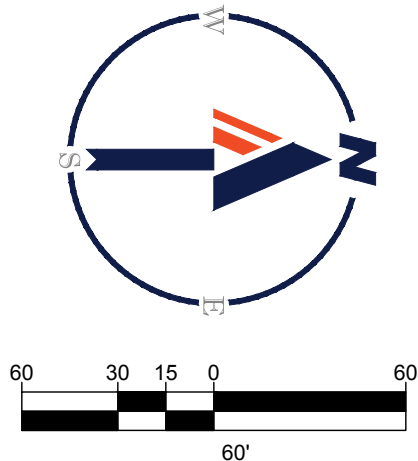


JUN 04, 2021
BOHLER ENGINEERING NC, PLLC PROJECT: 194000 DRAWING: PLAN SETS: NCR194000SPP - LAYOUT - C-304 SITE PLAN AREA C

MATCHLINE - SEE SHEET C-303
MATCHLINE - SEE SHEET C-304

MATCHLINE - SEE SHEET C-304
MATCHLINE - SEE SHEET C-305

INTERSTATE I-540
PUBLIC VARIABLE R/W WIDTH
CONTROLLED ACCESS





EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	DEPRESSED CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---

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TRANSPORTATION SERVICES

REVISIONS				
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1	4/22/21	PER KNIGHTDALE COMMENTS	RMG	WES
2	6/4/21	PER KNIGHTDALE COMMENTS	RMG	WES

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

MASTER PLAN

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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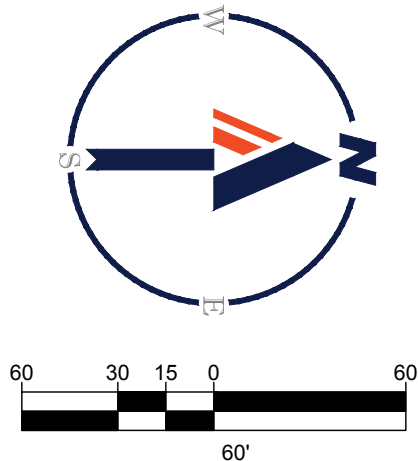
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RALEIGH, NC 27612
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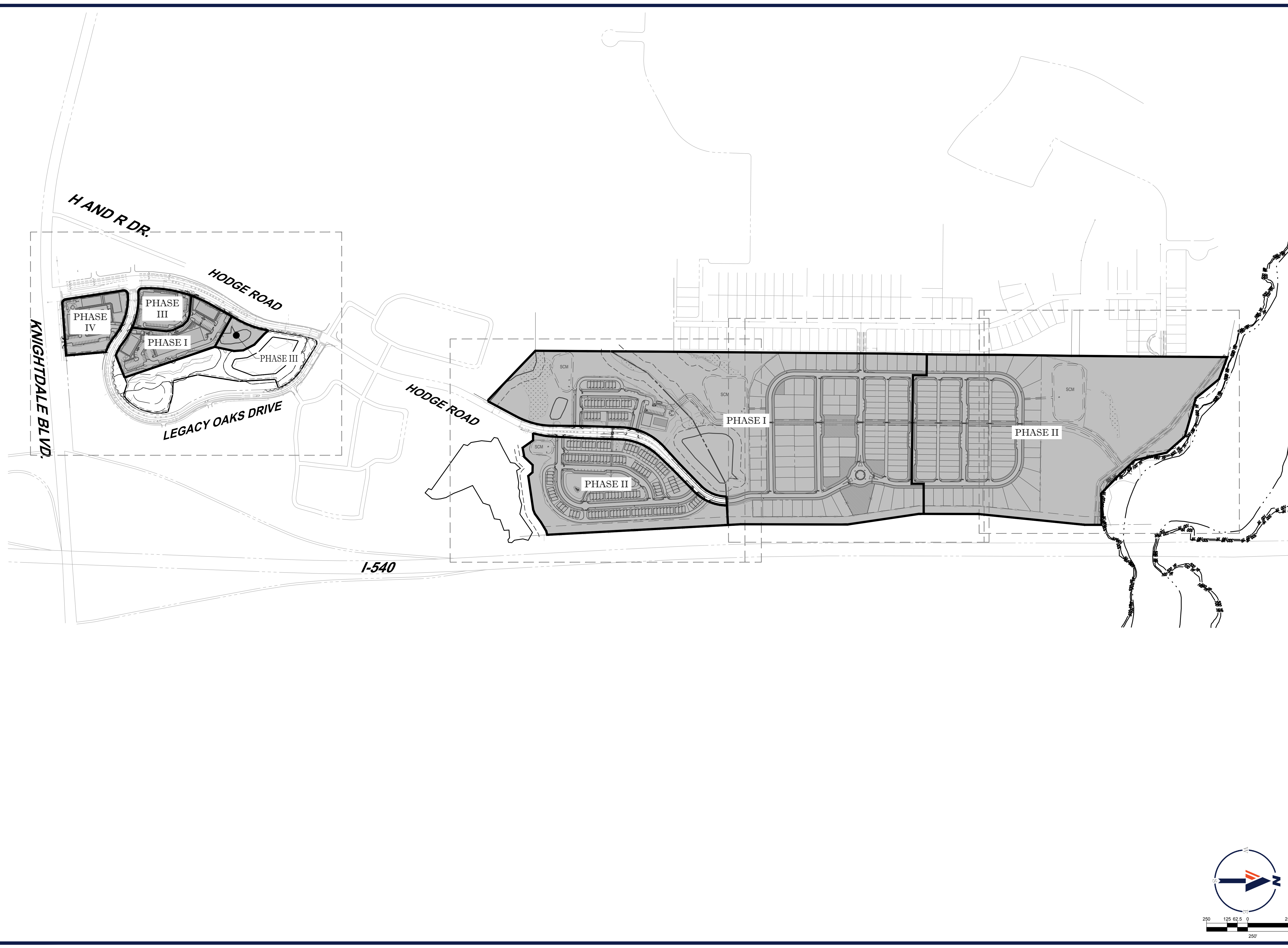
SHEET TITLE:
SITE PLAN AREA D

SHEET NUMBER:
C-305

REVISION 2 - 6/4/21



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REVISIONS

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2	6/4/21	PER KNIGHTDALE COMMENTS	WES

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

PROJECT:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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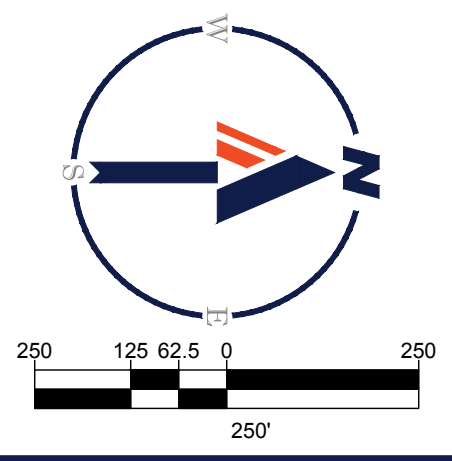
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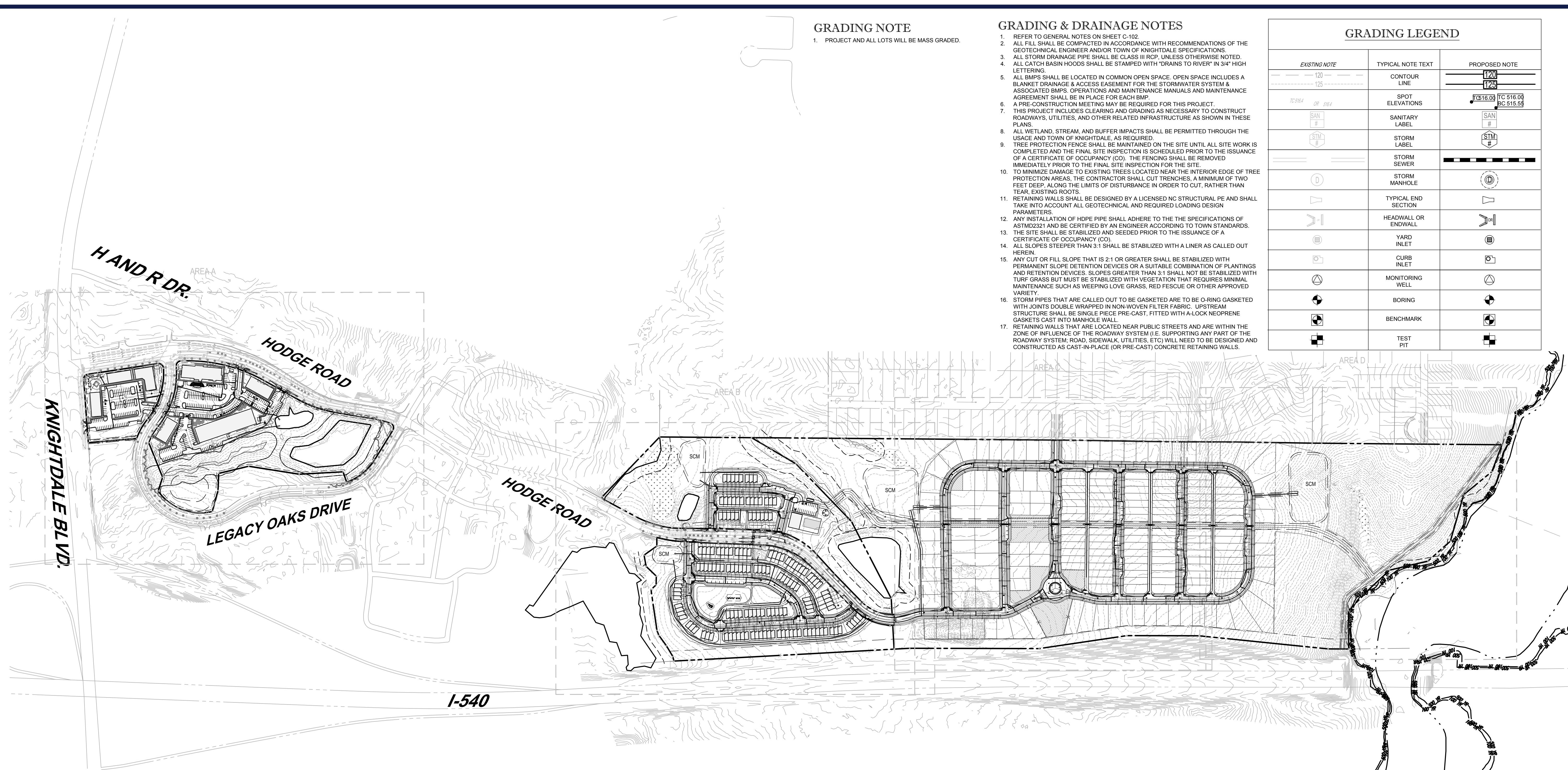
SHEET TITLE:
PHASING PLAN

SHEET NUMBER:
C-307

REVISION 2 - 6/4/21



JUN 04, 2021 10:04:18 AM I:\SHENANDOAH\PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000 - PHASING - 0 - LAYOUT - C-307 PHASING PLAN



GRADING NOTE

1. PROJECT AND ALL LOTS WILL BE MASS GRADED.

GRADING & DRAINAGE NOTES

1. REFER TO GENERAL NOTES ON SHEET C-102.
2. ALL FILL SHALL BE COMPACTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR TOWN OF KNIGHTDALE SPECIFICATIONS.
3. ALL STORM DRAINAGE PIPE SHALL BE CLASS III RCP, UNLESS OTHERWISE NOTED.
4. ALL CATCH BASIN HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN 3/4" HIGH LETTERING.
5. ALL BMPs SHALL BE LOCATED IN COMMON OPEN SPACE. OPEN SPACE INCLUDES A BLANKET DRAINAGE & ACCESS EASEMENT FOR THE STORMWATER SYSTEM & ASSOCIATED BMPs. OPERATIONS AND MAINTENANCE MANUALS AND MAINTENANCE AGREEMENT SHALL BE IN PLACE FOR EACH BMP.
6. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED FOR THIS PROJECT.
7. THIS PROJECT INCLUDES CLEARING AND GRADING AS NECESSARY TO CONSTRUCT ROADWAYS, UTILITIES, AND OTHER RELATED INFRASTRUCTURE AS SHOWN IN THESE PLANS.
8. ALL WETLAND, STREAM, AND BUFFER IMPACTS SHALL BE PERMITTED THROUGH THE USACE AND TOWN OF KNIGHTDALE, AS REQUIRED.
9. TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
10. TO MINIMIZE DAMAGE TO EXISTING TREES LOCATED NEAR THE INTERIOR EDGE OF TREE PROTECTION AREAS, THE CONTRACTOR SHALL CUT TRENCHES, A MINIMUM OF TWO FEET DEEP, ALONG THE LIMITS OF DISTURBANCE IN ORDER TO CUT, RATHER THAN TEAR, EXISTING ROOTS.
11. RETAINING WALLS SHALL BE DESIGNED BY A LICENSED NC STRUCTURAL PE AND SHALL TAKE INTO ACCOUNT ALL GEOTECHNICAL AND REQUIRED LOADING DESIGN PARAMETERS.
12. ANY INSTALLATION OF HDPE PIPE SHALL ADHERE TO THE THE SPECIFICATIONS OF ASTM D2321 AND BE CERTIFIED BY AN ENGINEER ACCORDING TO TOWN STANDARDS.
13. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
14. ALL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH A LINER AS CALLED OUT HEREIN.
15. ANY CUT OR FILL SLOPE THAT IS 2:1 OR GREATER SHALL BE STABILIZED WITH PERMANENT SLOPE DETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES. SLOPES GREATER THAN 3:1 SHALL NOT BE STABILIZED WITH TURF GRASS BUT MUST BE STABILIZED WITH VEGETATION THAT REQUIRES MINIMAL MAINTENANCE SUCH AS WEEPING LOVE GRASS, RED FESCUE OR OTHER APPROVED VARIETY.
16. STORM PIPES THAT ARE CALLED OUT TO BE GASKETED ARE TO BE O-RING GASKETED WITH JOINTS DOUBLE WRAPPED IN NON-WOVEN FILTER FABRIC. UPSTREAM STRUCTURE SHALL BE SINGLE PIECE PRE-CAST, FITTED WITH A LOCK NEOPRENE GASKETS CAST INTO MANHOLE WALL.
17. RETAINING WALLS THAT ARE LOCATED NEAR PUBLIC STREETS AND ARE WITHIN THE ZONE OF INFLUENCE OF THE ROADWAY SYSTEM (I.E. SUPPORTING ANY PART OF THE ROADWAY SYSTEM, ROAD, SIDEWALK, UTILITIES, ETC) WILL NEED TO BE DESIGNED AND CONSTRUCTED AS CAST-IN-PLACE (OR PRE-CAST) CONCRETE RETAINING WALLS.

GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
72.564 OR 3164	SPOT ELEVATIONS	72.564 OR 3164 72.516.00 72.515.55
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
---	STORM SEWER	---
D	STORM MANHOLE	D
▽	TYPICAL END SECTION	▽
— —	HEADWALL OR ENDWALL	— —
Y	YARD INLET	Y
C	CURB INLET	C
△	MONITORING WELL	△
⊕	BORING	⊕
⊙	BENCHMARK	⊙
⊠	TEST PIT	⊠

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REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	4/22/21	PER KNIGHTDALE COMMENTS	RMG	WES
2	6/4/21	PER KNIGHTDALE COMMENTS	RMG	WES

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PROJECT No.:	NCR194000
DRAWN BY:	RMG
CHECKED BY:	WES
DATE:	2-22-21
CAD ID:	

PROJECT:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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Phone: (919) 578-9000
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NORTH CAROLINA PROFESSIONAL ENGINEER

CHARLES E. YONELL

6/4/21

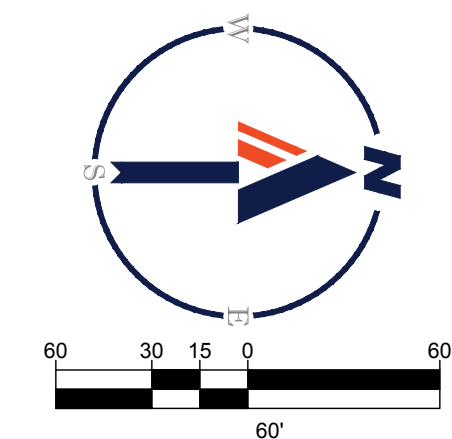
SHEET TITLE:

OVERALL STORMWATER MANAGEMENT PLAN

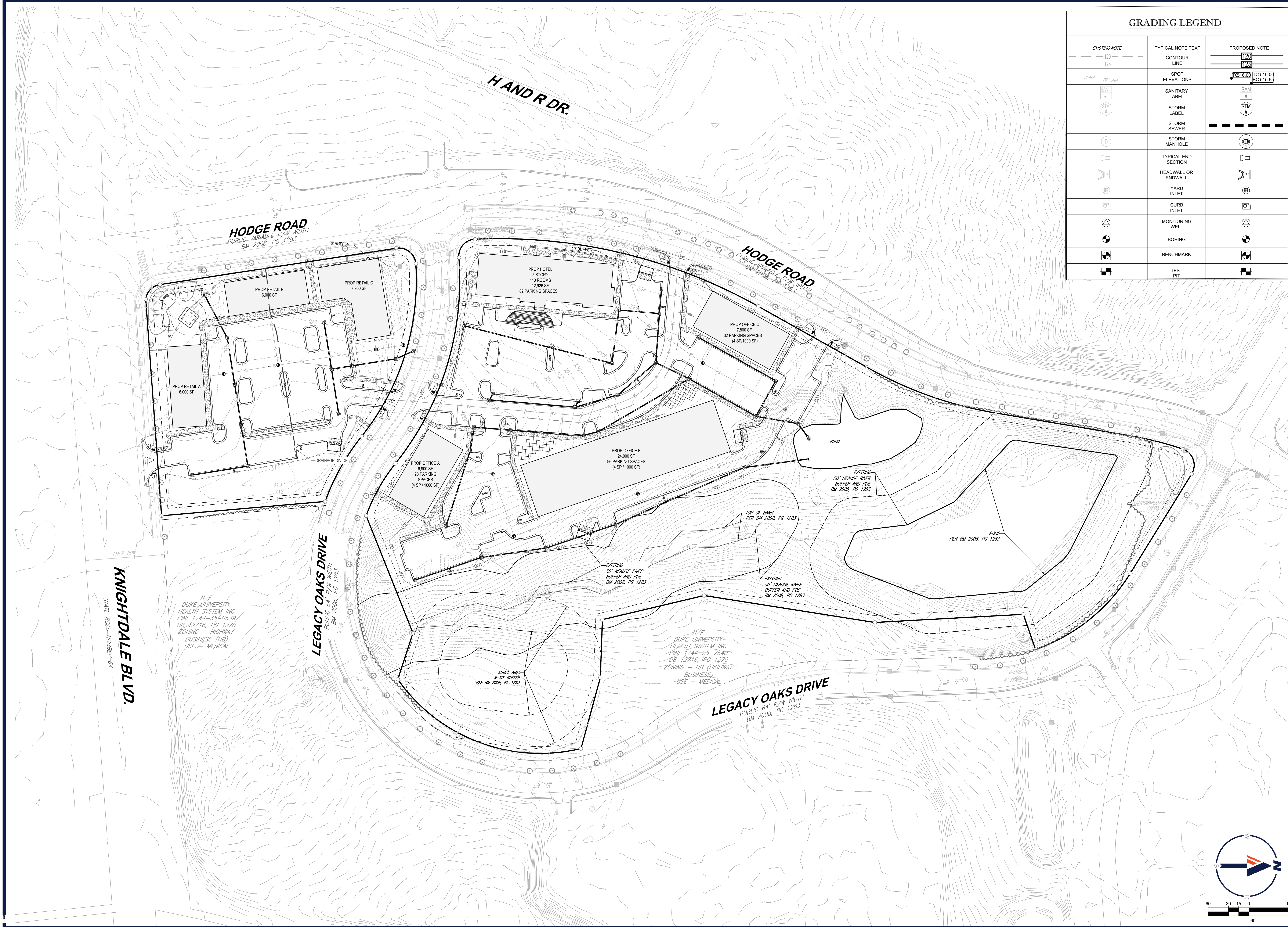
SHEET NUMBER:

C-401

REVISION 2 - 6/4/21



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GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
105.84 OR 105.4	SPOT ELEVATIONS	105.84 (C 516.00) BC 516.55
SAN #	SANITARY LABEL	SAN #
STIM #	STORM LABEL	STIM #
—	STORM SEWER	—
⊙	STORM MANHOLE	⊙
▽	TYPICAL END SECTION	▽
—	HEADWALL OR ENDWALL	—
⊕	YARD INLET	⊕
⊖	CURB INLET	⊖
⊙	MONITORING WELL	⊙
⊕	BORING	⊕
⊖	BENCHMARK	⊖
⊕	TEST PIT	⊕

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REV	DATE	COMMENT	CHECKED BY
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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

PROJECT:
MASTER PLAN
FOR
LEGACY OAKS
SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

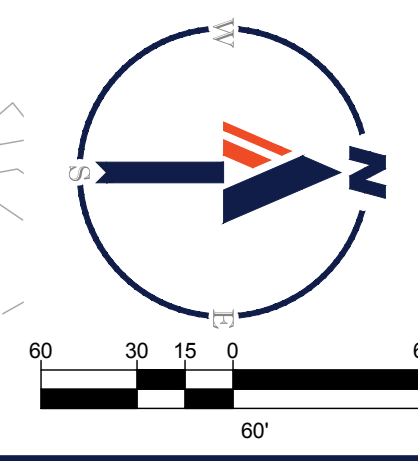
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NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL
CHARLES E. YONELL
6/4/21

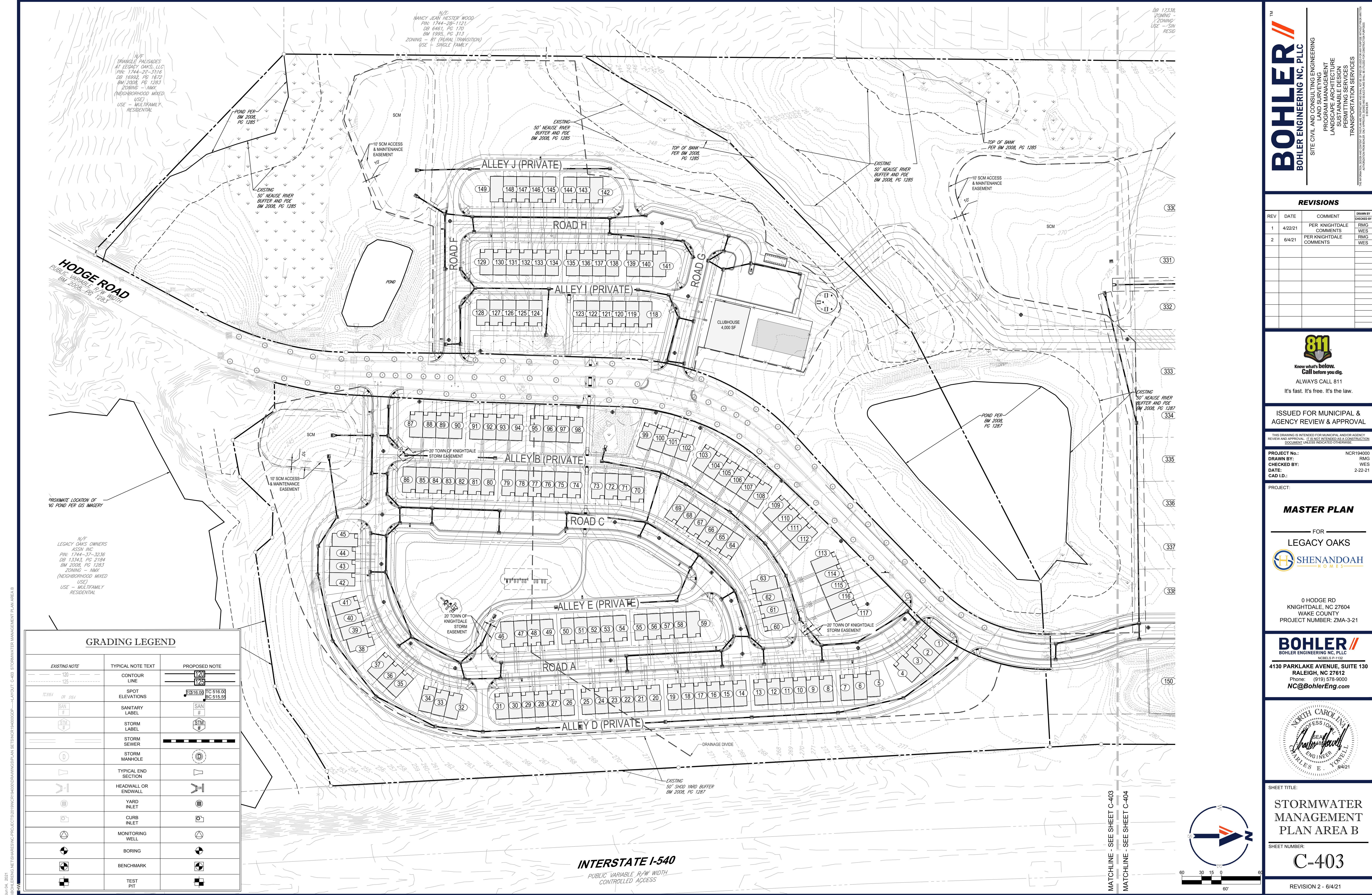
SHEET TITLE:
STORMWATER MANAGEMENT PLAN AREA A

SHEET NUMBER:
C-402

REVISION 2 - 6/4/21



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N/F
TRIANGLE PALISADES
AT LEGACY OAKS, LLC
PIN: 1744-27-3716
DB 16992, PG 1672
BM 2008, PG 1283
ZONING - NRMK
(NEIGHBORHOOD MIXED
USE)
USE - MULTIFAMILY
RESIDENTIAL

N/F
NANCY JEAN HESTER WOOD
PIN: 1744-28-1121
DB 9481, PG 170
BM 1995, PG 313
ZONING - RT (RURAL TRANSITION)
USE - SINGLE FAMILY

DB 17338,
ZONING -
ZONING
USE - RESID

HODGE ROAD
PUBLIC VARIABLE R/W WIDTH
BM 2008, PG 1283

PROXIMATE LOCATION OF
VC POND PER GIS IMAGERY

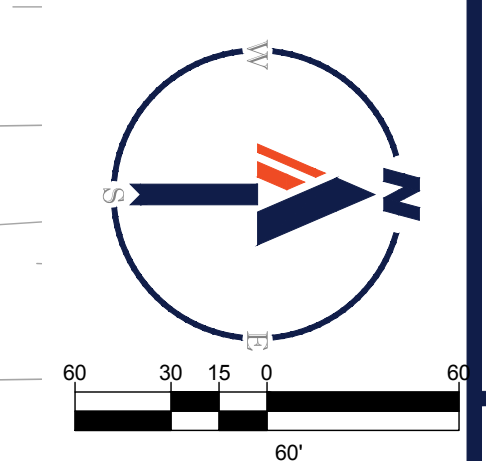
N/F
LEGACY OAKS OWNERS
ASSN INC
PIN: 1744-37-3236
DB 13343, PG 2184
BM 2008, PG 1283
ZONING - NRMK
(NEIGHBORHOOD MIXED
USE)
USE - MULTIFAMILY
RESIDENTIAL

GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
125.00 125.00	SPOT ELEVATIONS	125.00 125.00 125.50
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
○	STORM SEWER MANHOLE	○
▽	TYPICAL END SECTION	▽
— —	HEADWALL OR ENDWALL	— —
⊕	YARD INLET	⊕
⊞	CURB INLET	⊞
⊕	MONITORING WELL	⊕
⊕	BORING	⊕
⊕	BENCHMARK	⊕
⊕	TEST PIT	⊕

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MATCHLINE - SEE SHEET C-403
MATCHLINE - SEE SHEET C-404



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SUSTAINABLE DESIGN
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TRANSPORTATION SERVICES

REVISIONS

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: PER KNIGHTDALE
DATE: 2-22-21
CAD ID:

MASTER PLAN

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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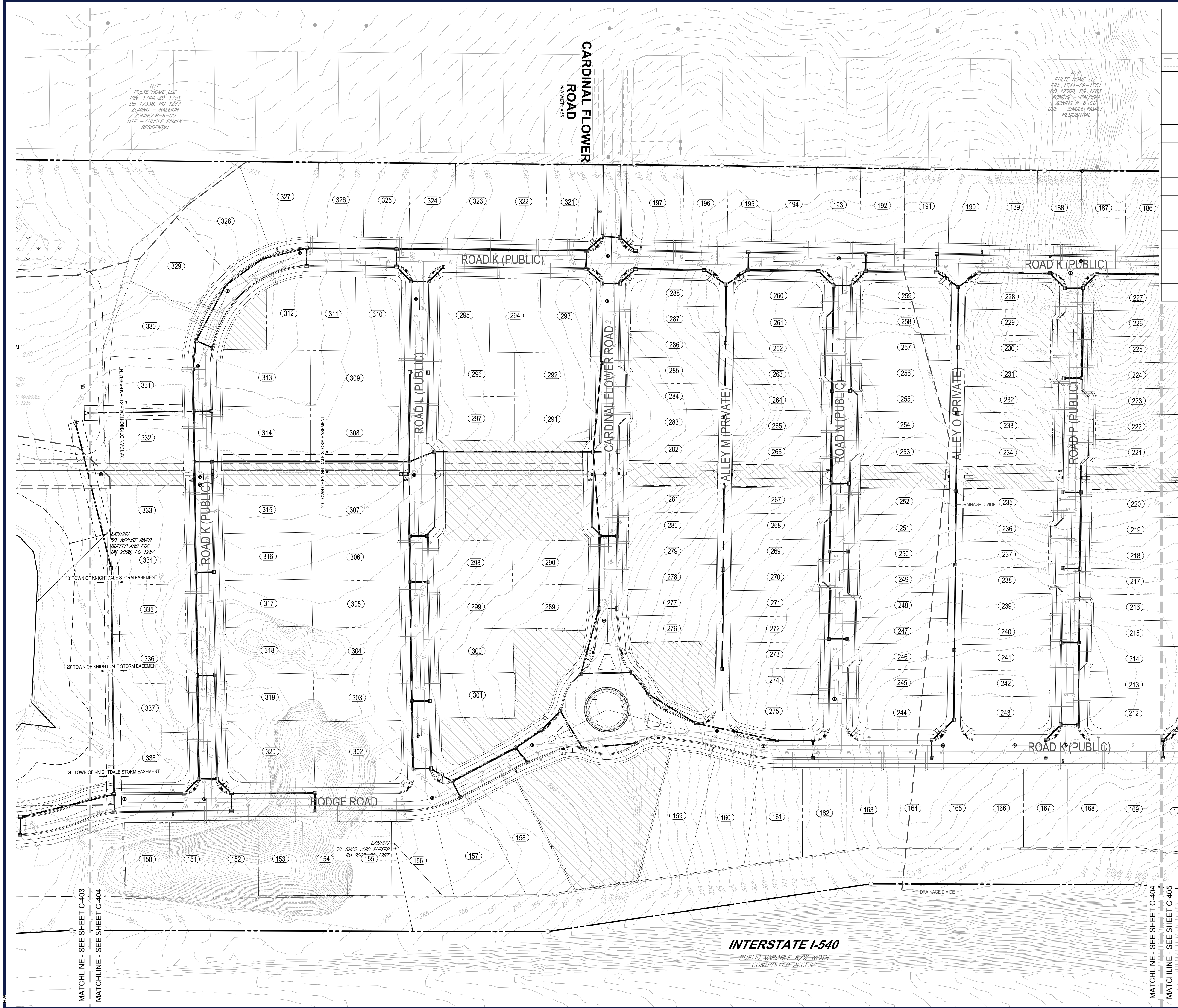
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Phone: (919) 578-9000
NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL
CHARLES E. YONELL
04/21

SHEET TITLE:
**STORMWATER
MANAGEMENT
PLAN AREA B**

SHEET NUMBER:
C-403

REVISION 2 - 6/4/21



GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
TC 516.00 OR 516.00	SPOT ELEVATIONS	TC 516.00 RC 516.55
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
	STORM SEWER	
D	STORM MANHOLE	D
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	MONITORING WELL	
	BORING	
	BENCHMARK	
	TEST PIT	

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PROJECT:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

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KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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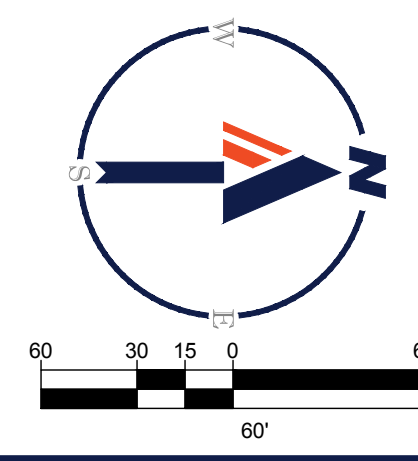
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
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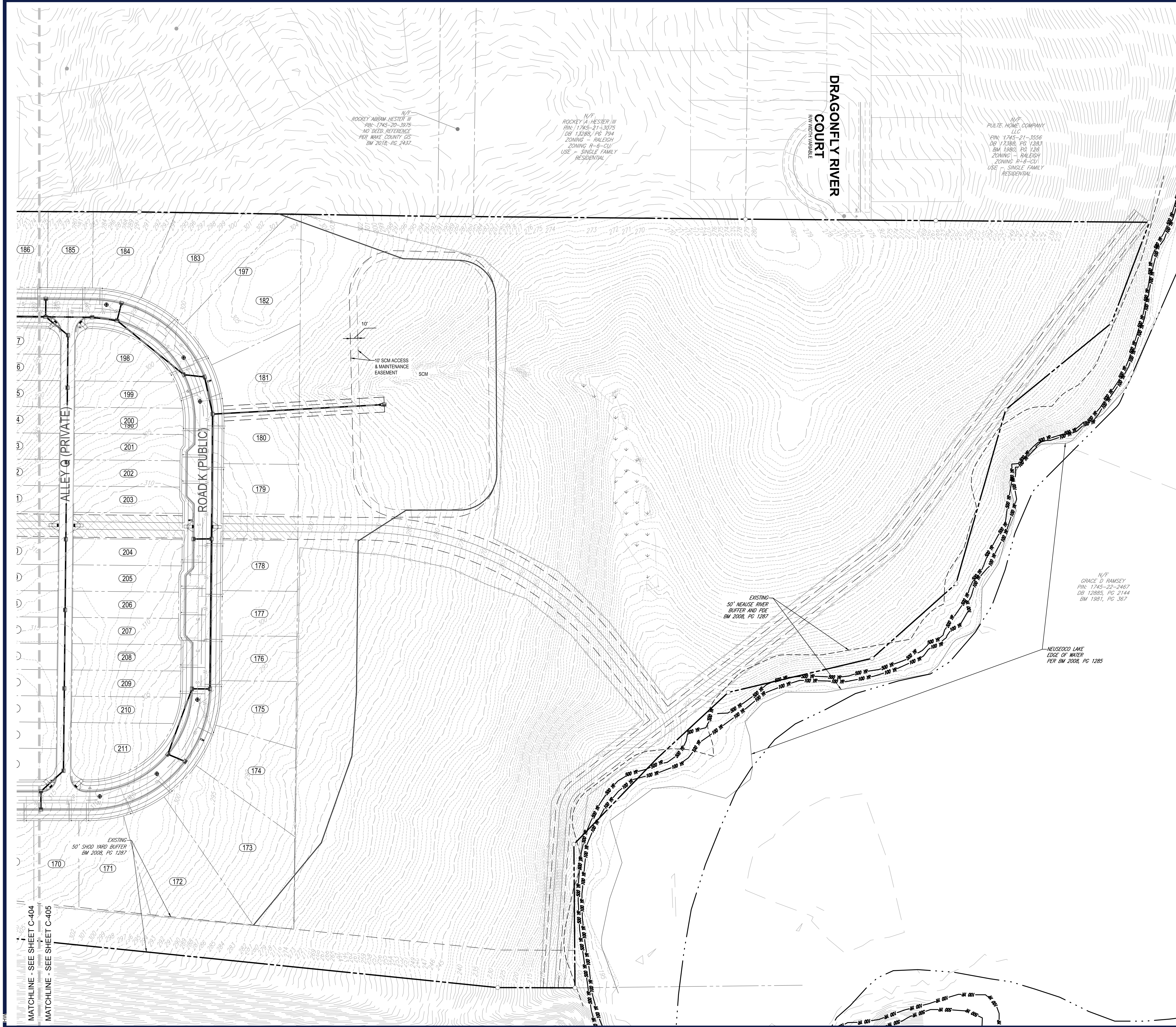
NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL
CHARLES E. YONELL
4/21

SHEET TITLE:
STORMWATER MANAGEMENT PLAN AREA C

SHEET NUMBER:
C-404

REVISION 2 - 6/4/21





GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
TC 516.00 OR 516.55	SPOT ELEVATIONS	TC 516.00 PC 515.55
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
— — — — —	STORM SEWER	— — — — —
⊙	STORM MANHOLE	⊙
▽	TYPICAL END SECTION	▽
⊥	HEADWALL OR ENDWALL	⊥
⊕	YARD INLET	⊕
⊕	CURB INLET	⊕
⊕	MONITORING WELL	⊕
⊕	BORING	⊕
⊕	BENCHMARK	⊕
⊕	TEST PIT	⊕

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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

PROJECT:
MASTER PLAN
FOR
LEGACY OAKS
SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

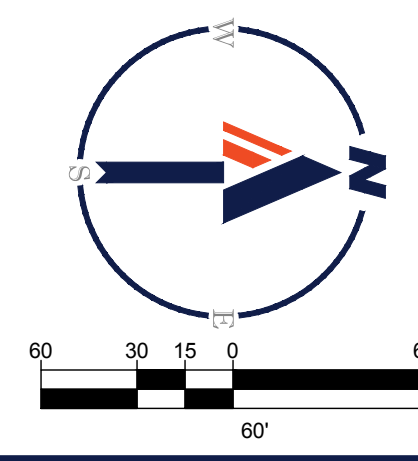
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RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



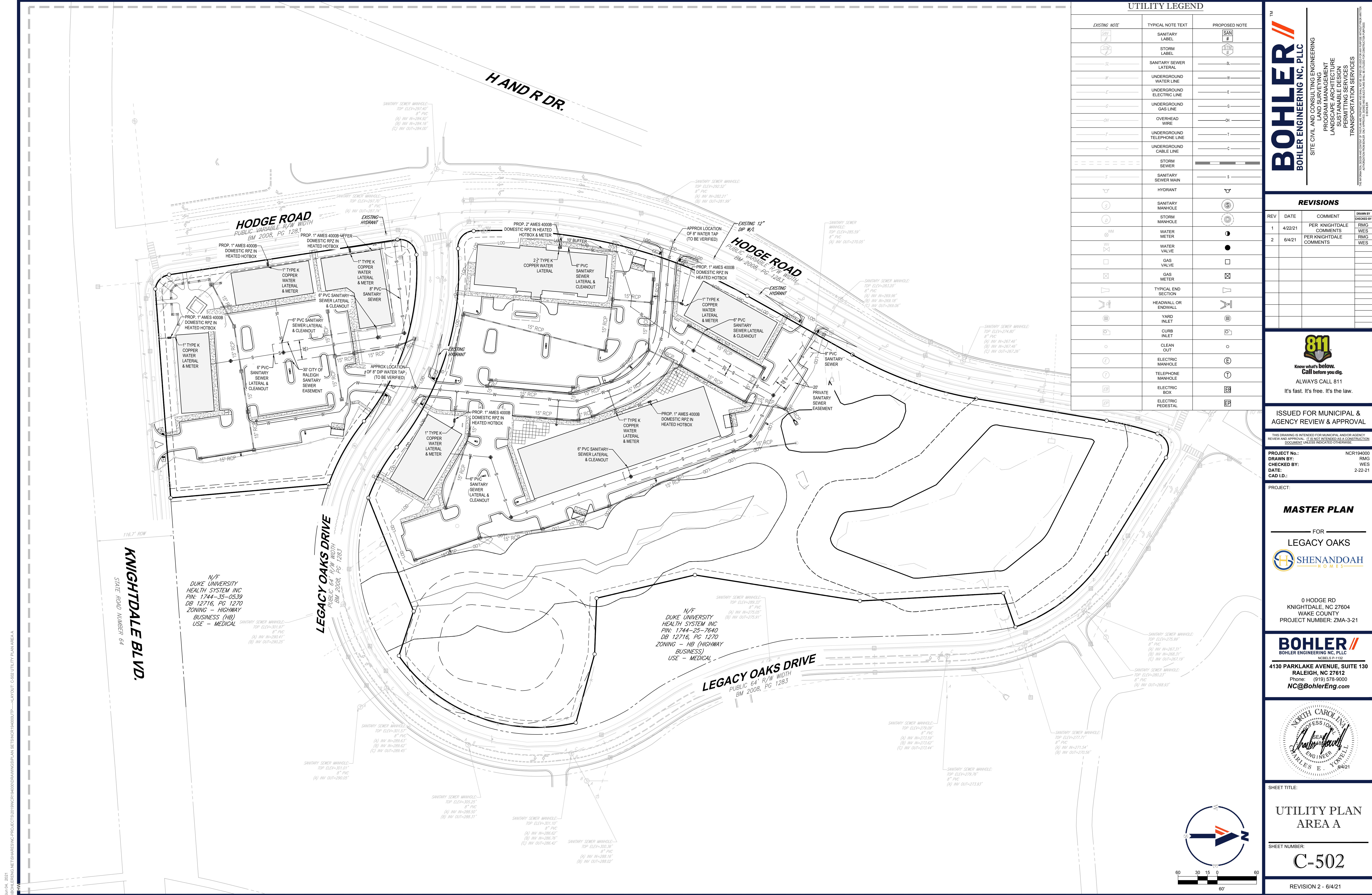
SHEET TITLE:
STORMWATER MANAGEMENT PLAN AREA D

SHEET NUMBER:
C-405

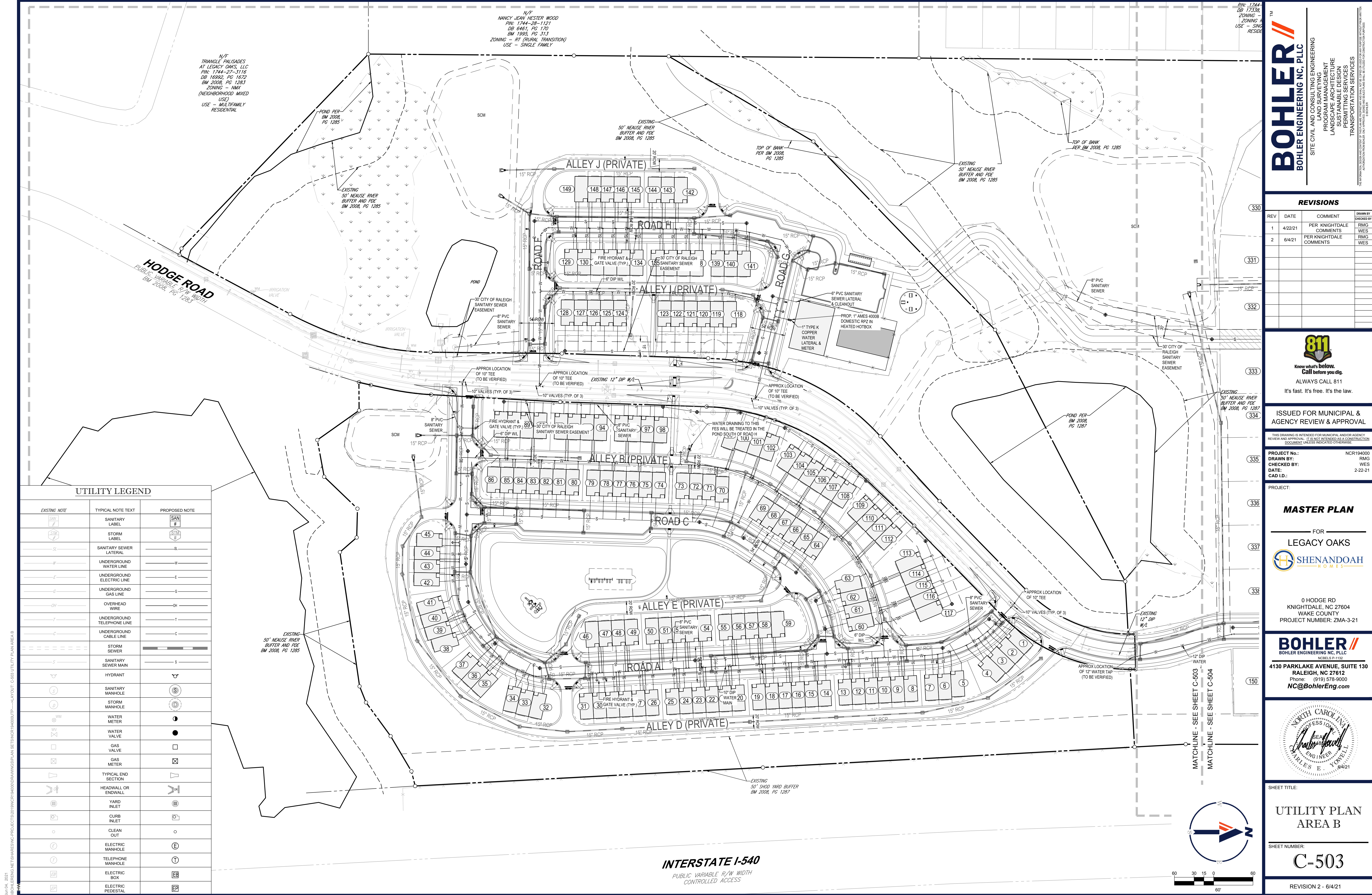
REVISION 2 - 6/4/21



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JUN 04, 2021
 BOHLER ENGINEERING NC, PROJECT 194000, DRAWING PLAN SET, NCR194000, LAYOUT, C-502 UTILITY PLAN AREA A



N/F
TRIANGLE PALISADES
AT LEGACY OAKS, LLC
PIN: 1744-22-3116
DB 16992, PG 1672
BM 2008, PG 1283
ZONING - N/A
(NEIGHBORHOOD MIXED
USE)
USE - MULTIFAMILY
RESIDENTIAL

N/F
NANCY JEAN HESTER WOOD
PIN: 1744-28-1121
DB 6451, PG 170
BM 1995, PG 313
ZONING - RT (RURAL TRANSITION)
USE - SINGLE FAMILY

PIN: 1744-28-1121
DB 17336
ZONING - RT
USE - SINGLE
RESIDUAL

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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG

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PROJECT No.:	NCR194000
DRAWN BY:	RMG
CHECKED BY:	WES
DATE:	2-22-21
CAD ID:	

PROJECT:

MASTER PLAN

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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NC@BohlerEng.com



SHEET TITLE:
**UTILITY PLAN
AREA B**

SHEET NUMBER:
C-503

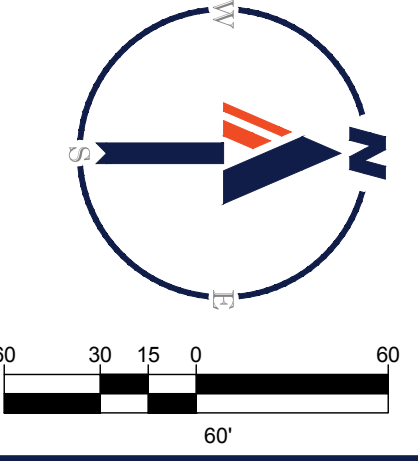
REVISION 2 - 6/4/21

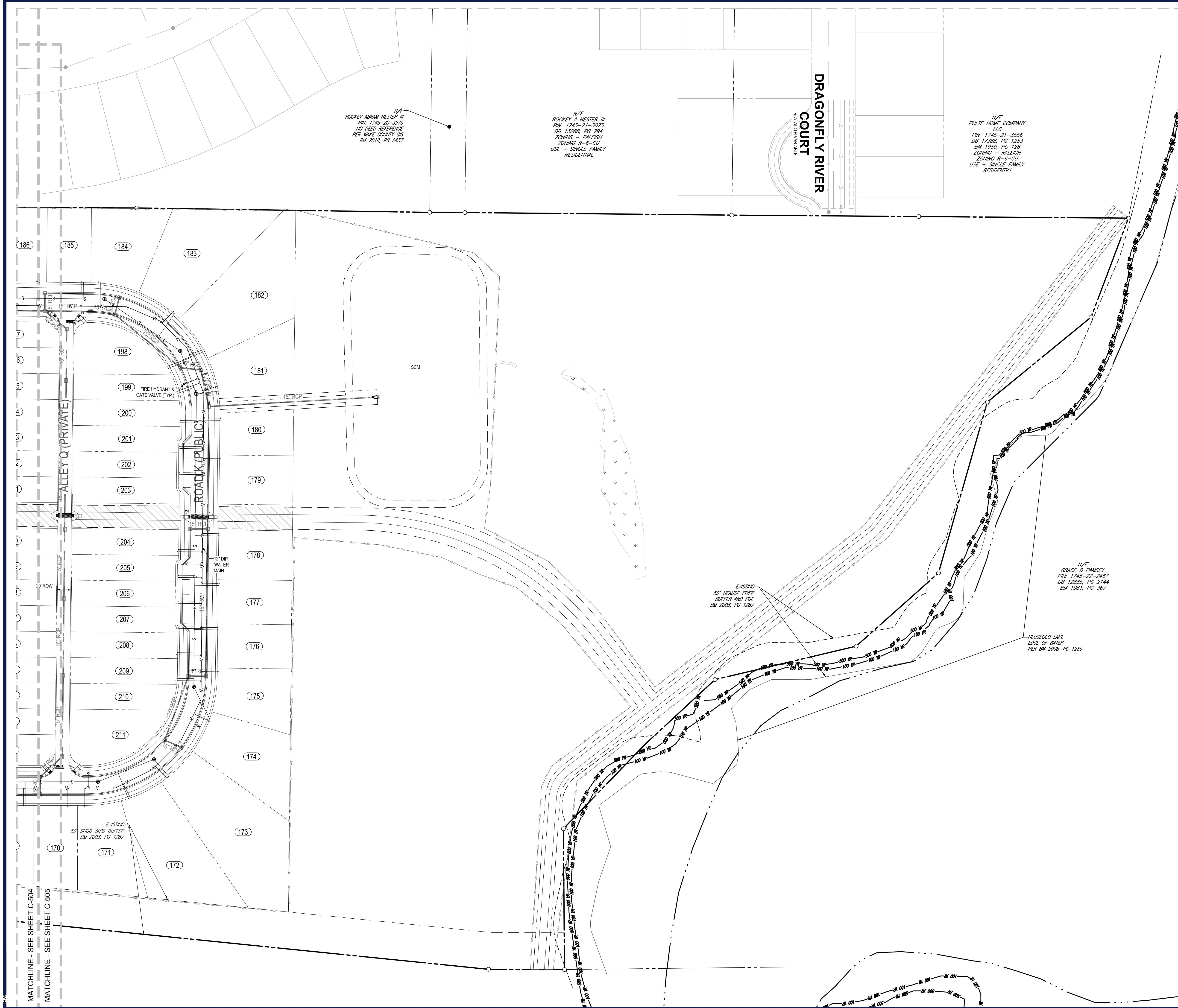
UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
SAV	SANITARY LABEL	SAN #
STW	STORM LABEL	STM #
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
SS	STORM SEWER	SS
SM	SANITARY SEWER MAIN	SM
H	HYDRANT	H
SMH	SANITARY MANHOLE	SMH
STMH	STORM MANHOLE	STMH
WM	WATER METER	WM
WV	WATER VALVE	WV
GV	GAS VALVE	GV
GM	GAS METER	GM
TE	TYPICAL END SECTION	TE
HE	HEADWALL OR ENDWALL	HE
YI	YARD INLET	YI
CI	CURB INLET	CI
CO	CLEAN OUT	CO
EM	ELECTRIC MANHOLE	EM
TM	TELEPHONE MANHOLE	TM
EB	ELECTRIC BOX	EB
EP	ELECTRIC PEDESTAL	EP

JUN 04, 2021 10:01 AM C:\PROJECTS\NCR194000\DRAWINGS\PLAN SET\NCR194000\UTP - LAYOUT - C-503 UTILITY PLAN AREA B

INTERSTATE I-540
PUBLIC VARIABLE R/W WIDTH
CONTROLLED ACCESS





EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	SANITARY SEWER MAIN	
	STORM SEWER MAIN	
	WATER MAIN	
	GAS MAIN	
	TELEPHONE LINE	
	CABLE LINE	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	

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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG

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PROJECT No.: NCR194000
 DRAWN BY: RMG
 CHECKED BY: WES
 DATE: 2-22-21
 CAD ID:

PROJECT:
MASTER PLAN
FOR
LEGACY OAKS
SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

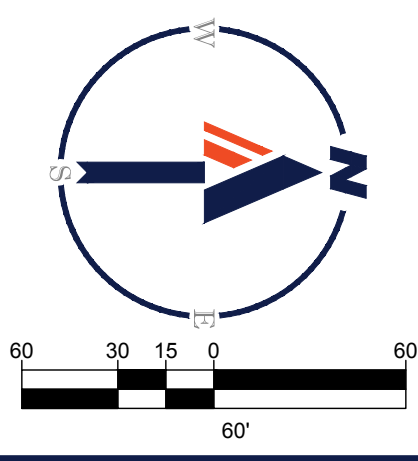
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NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL
CHARLES E. YONELL
04/21

SHEET TITLE:
UTILITY PLAN AREA D

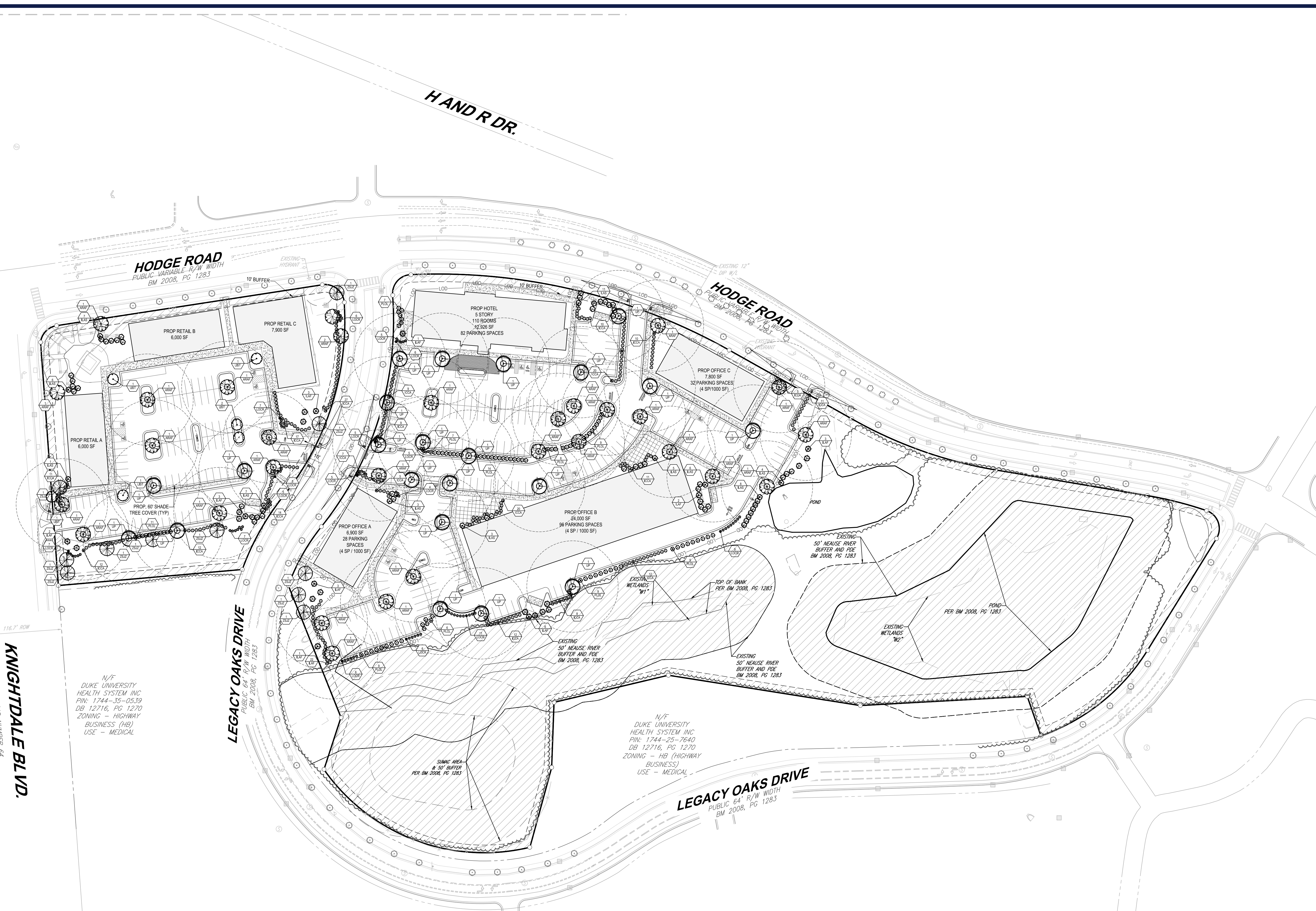
SHEET NUMBER:
C-505

REVISION 2 - 6/4/21



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MATCHLINE - SEE SHEET C-504
MATCHLINE - SEE SHEET C-505



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1	4/22/21	PER KNIGHTDALE COMMENTS	WES
2	6/4/21	PER KNIGHTDALE COMMENTS	WES

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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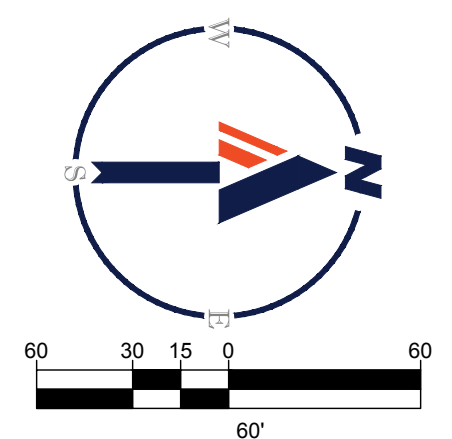
Charles E. Yowell

CHARLES E. YOWELL
6/4/21

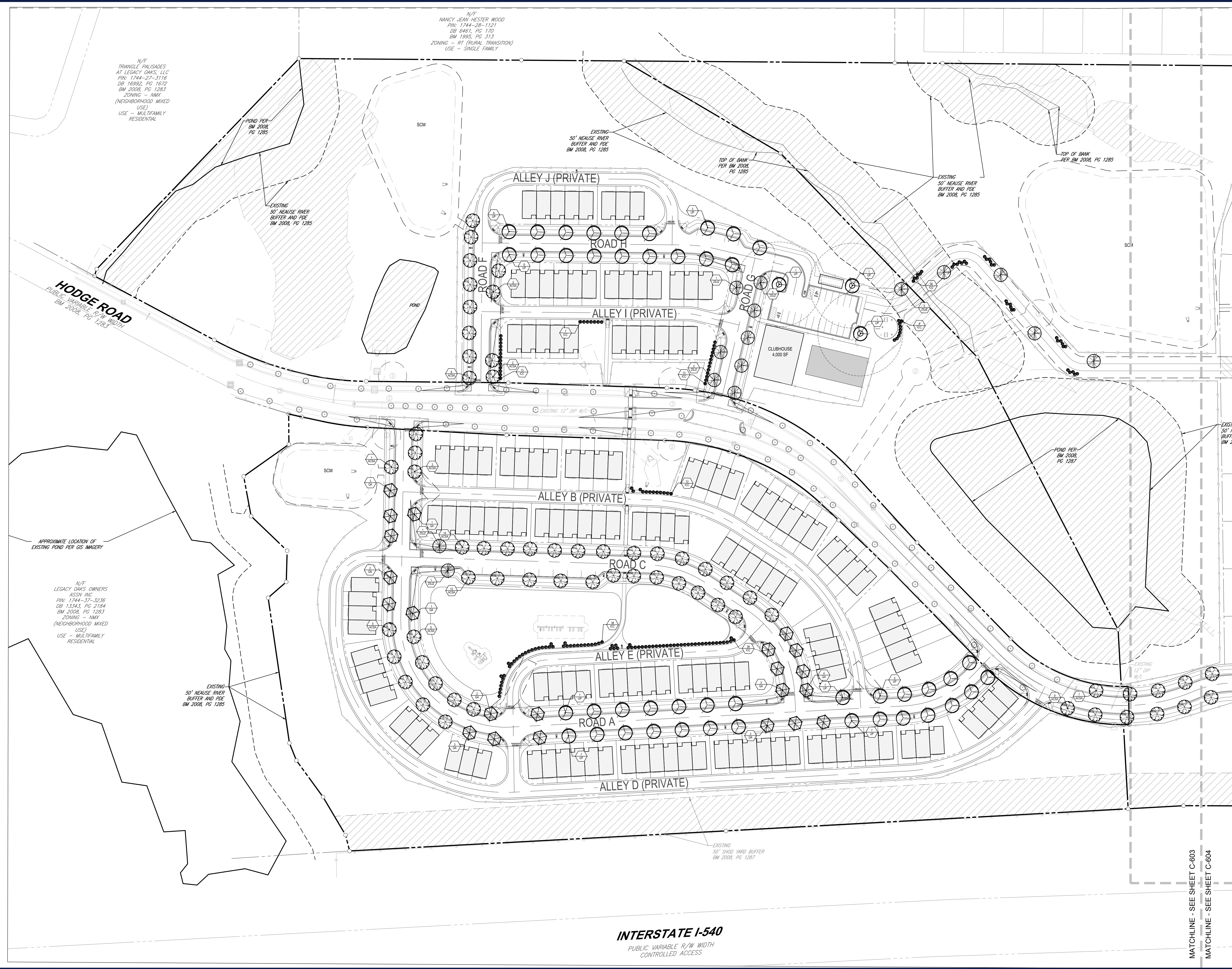
SHEET TITLE:
LANDSCAPE PLAN AREA A

SHEET NUMBER:
C-602

REVISION 2 - 6/4/21



JUN 04, 2021
BOHLER ENGINEERING NC, PROJECT 2019NCR194000DRAWINGSPLAN SETSINCR194000LSP---LAYOUT: C-602 LANDSCAPE PLAN AREA A



N/F
TRIANGLE PALISADES
AT LEGACY OAKS, LLC
PIN: 1744-27-3116
DB 16992, PG 1672
BM 2008, PG 1283
ZONING - 18MX
(NEIGHBORHOOD MIXED
USE)
USE - MULTIFAMILY
RESIDENTIAL

N/F
NANCY JEAN HESTER WOOD
PIN: 1744-28-1121
DB 6461, PG 170
BM 1995, PG 313
ZONING - RT (RURAL TRANSITION)
USE - SINGLE FAMILY

N/F
LEGACY OAKS OWNERS
ASSN INC
PIN: 1744-37-3236
DB 13343, PG 2184
BM 2008, PG 1283
ZONING - NMK
(NEIGHBORHOOD MIXED
USE)
USE - MULTIFAMILY
RESIDENTIAL

EXISTING
50' NEAUSE RIVER
BUFFER AND PDE
BM 2008, PG 1285

EXISTING
50' NEAUSE RIVER
BUFFER AND PDE
BM 2008, PG 1285

TOP OF BANK
PER BM 2008,
PG 1285

EXISTING
50' NEAUSE RIVER
BUFFER AND PDE
BM 2008, PG 1285

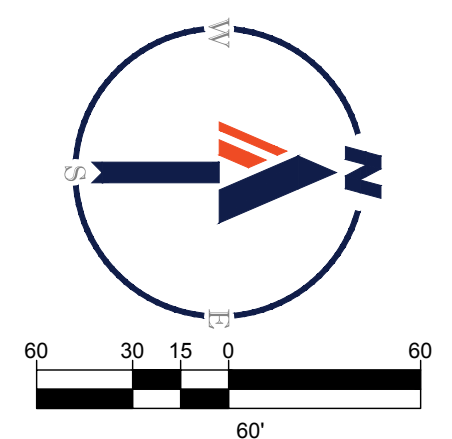
TOP OF BANK
PER BM 2008, PG 1285

EXISTING
50' NEAUSE RIVER
BUFFER AND PDE
BM 2008, PG 1285

EXISTING
50' SHADY YARD BUFFER
BM 2008, PG 1287

INTERSTATE I-540
PUBLIC VARIABLE R/W WIDTH
CONTROLLED ACCESS

MATCHLINE - SEE SHEET C-603
MATCHLINE - SEE SHEET C-604



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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

PROJECT:

MASTER PLAN
FOR
LEGACY OAKS
SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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NC@BohlerEng.com

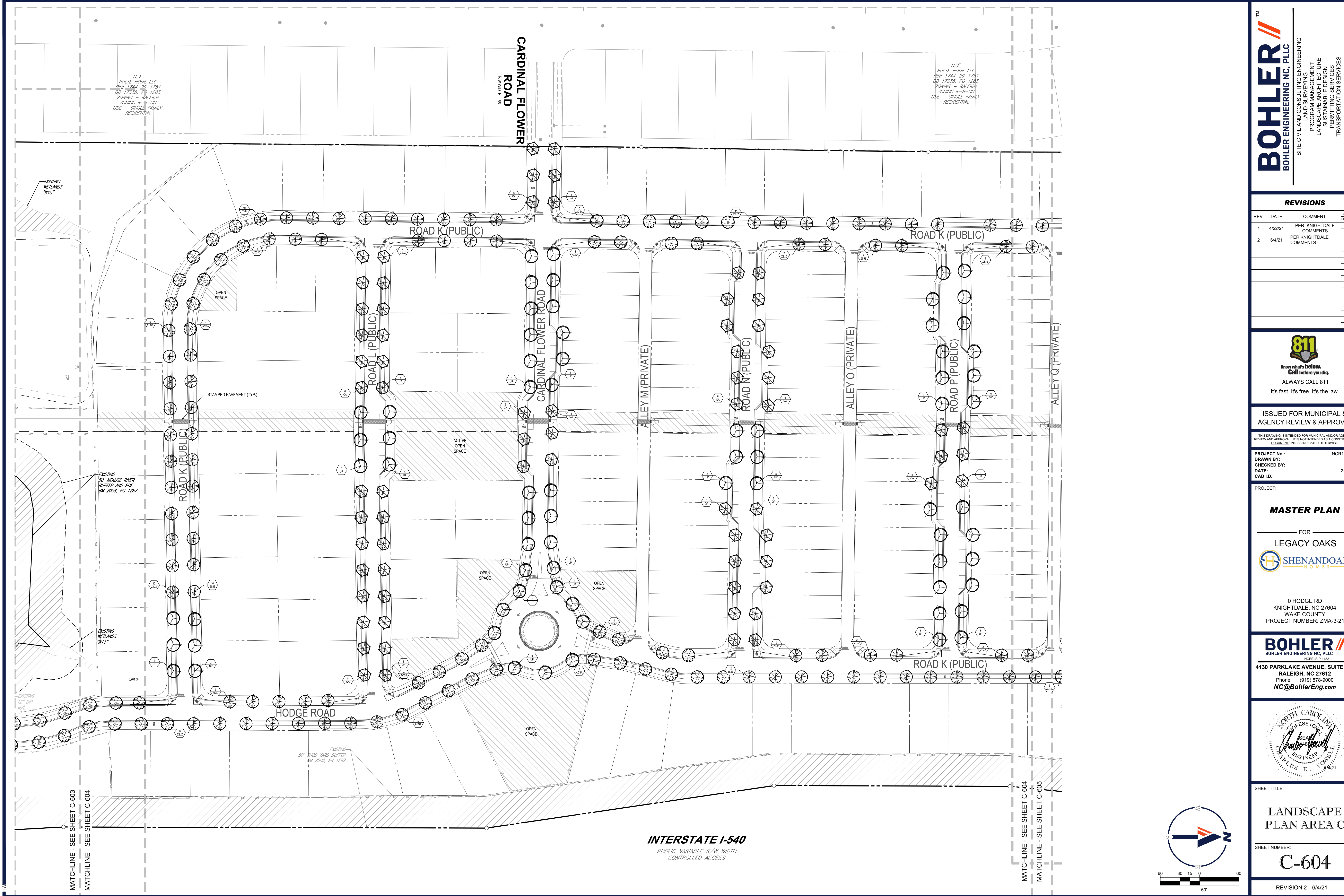
NORTH CAROLINA
REGISTERED PROFESSIONAL
LANDSCAPE ARCHITECT
CHARLES E. YONELL
04/21

SHEET TITLE:
LANDSCAPE PLAN AREA B

SHEET NUMBER:
C-603

REVISION 2 - 6/4/21

JUN 04, 2021 10:01 AM C:\WORK\PROJECTS\2021\NCR194000\DRAWINGS\PLAN SET\NCR194000.BP - LAYOUT: C-603 LANDSCAPE PLAN AREA B



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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG

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DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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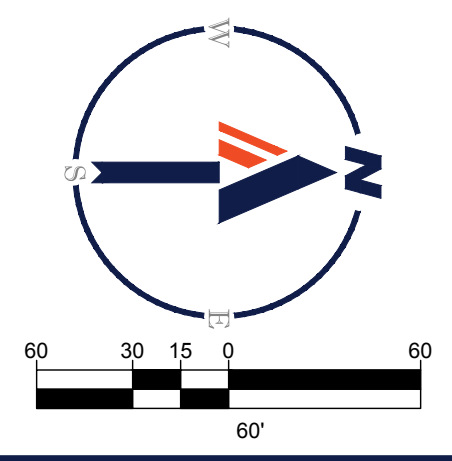
Charles E. Yowell

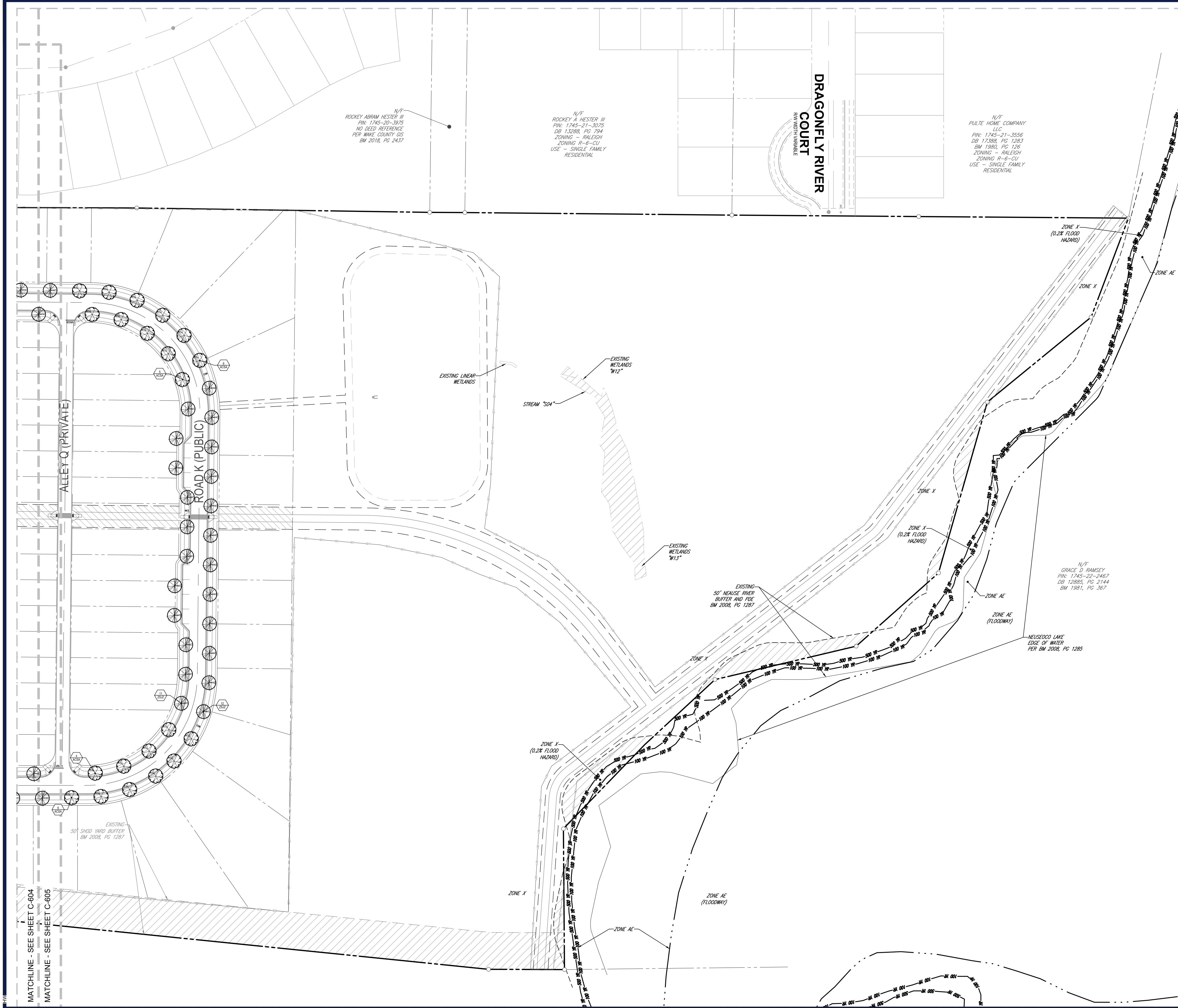
CHARLES E. YOWELL
6/4/21

SHEET TITLE:
LANDSCAPE PLAN AREA C

SHEET NUMBER:
C-604

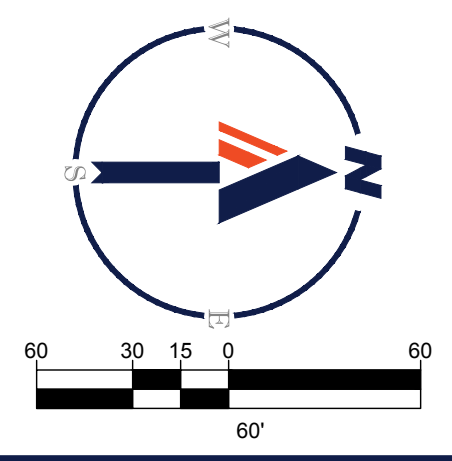
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MATCHLINE - SEE SHEET C-604
 MATCHLINE - SEE SHEET C-605



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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG	WES

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 PROJECT No.: NCR194000
 DRAWN BY: RMG
 CHECKED BY: WES
 DATE: 2-22-21
 CAD ID:

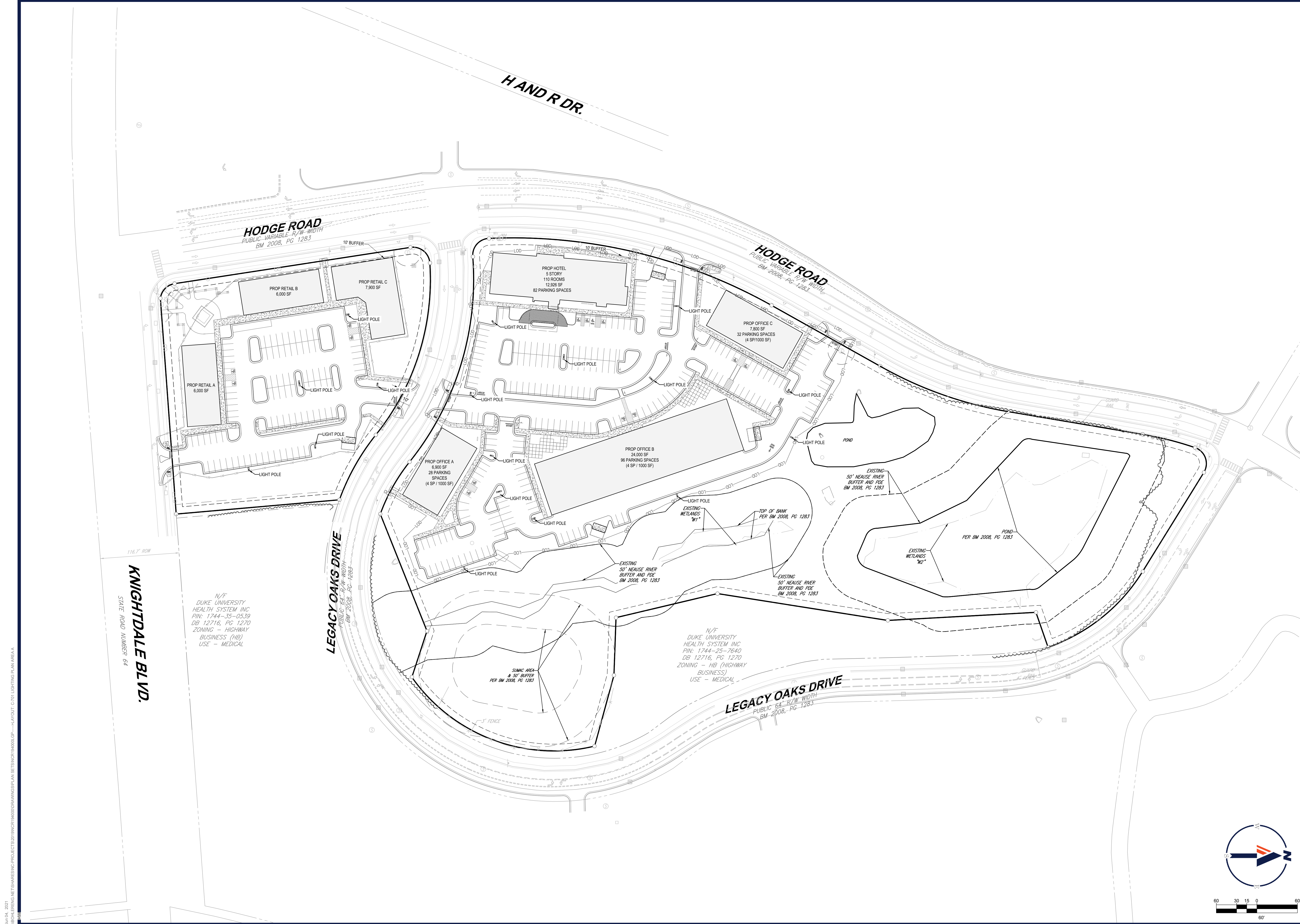
PROJECT:
MASTER PLAN
 FOR
LEGACY OAKS

 0 HODGE RD
 KNIGHTDALE, NC 27604
 WAKE COUNTY
 PROJECT NUMBER: ZMA-3-21

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 RALEIGH, NC 27612
 Phone: (919) 578-9000
 NC@BohlerEng.com

CHARLES E. YOWELL
 PROFESSIONAL ENGINEER

SHEET TITLE:
LANDSCAPE PLAN AREA D
 SHEET NUMBER:
C-605
 REVISION 2 - 6/4/21



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2	6/4/21	PER KNIGHTDALE COMMENTS	WES

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PROJECT No.: NCR194000
 DRAWN BY: RMG
 CHECKED BY: WES
 DATE: 2-22-21
 CAD ID:

MASTER PLAN
FOR
LEGACY OAKS
SHENANDOAH HOMES

0 HODGE RD
 KNIGHTDALE, NC 27604
 WAKE COUNTY
 PROJECT NUMBER: ZMA-3-21

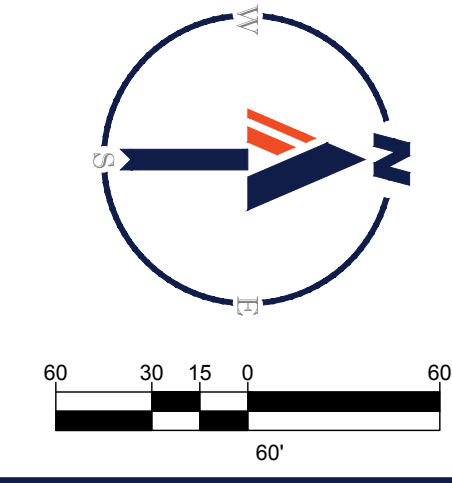
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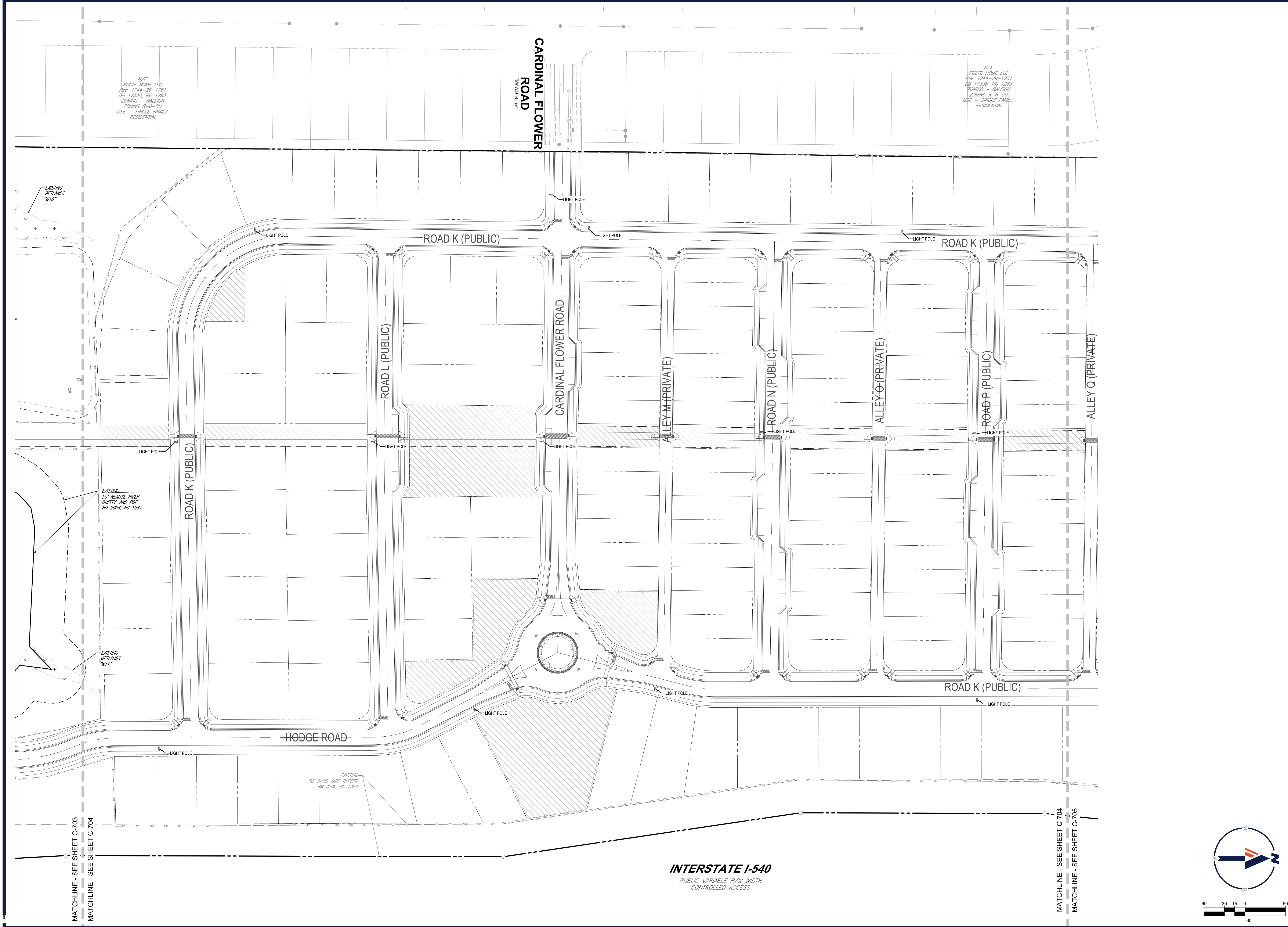


SHEET TITLE:
LIGHTING PLAN AREA A

SHEET NUMBER:
C-701

REVISION 2 - 6/4/21





N/F
PULTE HOME LLC
PIN: 1744-29-1751
DB: 17338, PG 1283
ZONING - RALEIGH
ZONING R-6-CU
USE - SINGLE FAMILY
RESIDENTIAL

N/F
PULTE HOME LLC
PIN: 1744-29-1751
DB: 17338, PG 1283
ZONING - RALEIGH
ZONING R-6-CU
USE - SINGLE FAMILY
RESIDENTIAL

MATCHLINE - SEE SHEET C-703
MATCHLINE - SEE SHEET C-704

MATCHLINE - SEE SHEET C-704
MATCHLINE - SEE SHEET C-705

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PROJECT No.: NCR194000
DRAWN BY: RMG
CHECKED BY: WES
DATE: 2-22-21
CAD ID:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
PROJECT NUMBER: ZMA-3-21

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NCBELS P-1132

4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER

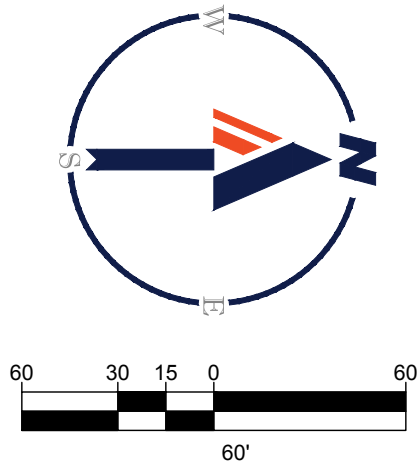
SEAL

CHARLES E. YONELL
@4/21

SHEET TITLE:
LIGHTING PLAN AREA C

SHEET NUMBER:
C-703

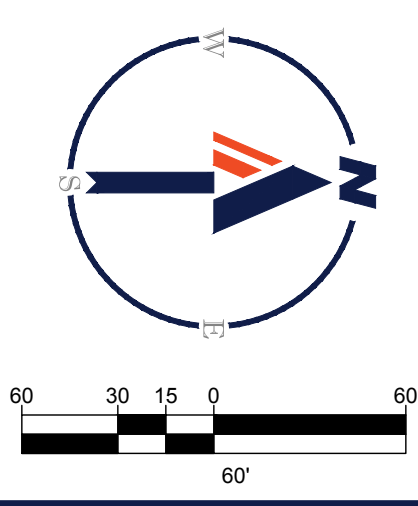
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JUN 04, 2021
 BOHLER ENGINEERING NC, PROJECT 2018NCR194000DRAWINGSPLAN SETS/NCR194000LGP---LAYOUT: C-704 LIGHTING PLAN AREA C

MATCHLINE - SEE SHEET C-704
 MATCHLINE - SEE SHEET C-705



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 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

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2	6/4/21	PER KNIGHTDALE COMMENTS	RMG	WES

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PROJECT No.: NCR194000
 DRAWN BY: RMG
 CHECKED BY: WES
 DATE: 2-22-21
 CAD ID:

MASTER PLAN
 FOR
LEGACY OAKS

 0 HODGE RD
 KNIGHTDALE, NC 27604
 WAKE COUNTY
 PROJECT NUMBER: ZMA-3-21

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 BOHLER ENGINEERING NC, PLLC
 NCRBEL P-1132
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 NC@BohlerEng.com

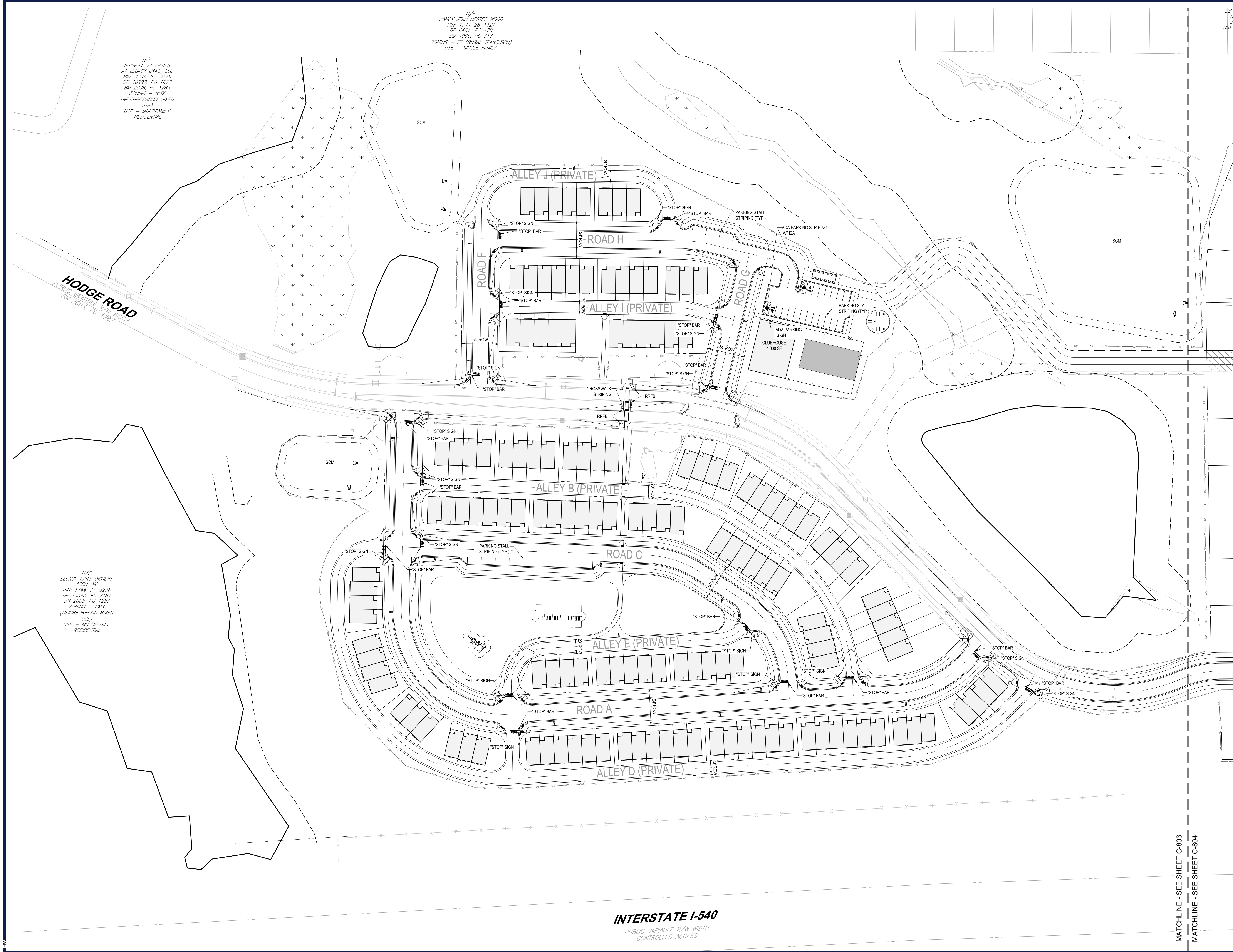
NORTH CAROLINA
 PROFESSIONAL
 ENGINEER
 CHARLES E. YONELL
 6/4/21

SHEET TITLE:
LIGHTING PLAN AREA C
 SHEET NUMBER:
C-704
 REVISION 2 - 6/4/21

N/F
 TRIANGLE PALISADES
 AT LEGACY OAKS, LLC
 PIN: 1744-27-3116
 DB 16992, PG 1672
 BM 2008, PG 1283
 ZONING - 18M
 (NEIGHBORHOOD MIXED
 USE)
 USE - MULTIFAMILY
 RESIDENTIAL

N/F
 NANCY JEAN HESTER WOOD
 PIN: 1744-28-1121
 DB 6461, PG 170
 BM 1995, PG 313
 ZONING - RT (RURAL TRANSITION)
 USE - SINGLE FAMILY

N/F
 LEGACY OAKS OWNERS
 ASSN INC
 PIN: 1744-37-3236
 DB 13343, PG 2184
 BM 2008, PG 1283
 ZONING - NM
 (NEIGHBORHOOD MIXED
 USE)
 USE - MULTIFAMILY
 RESIDENTIAL



DB
 201
 1
 ZL
 USE

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SHEET TITLE:
**STRIPING &
 SIGNAGE
 PLAN B**

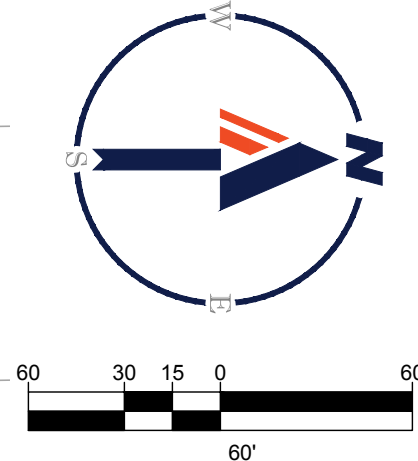
SHEET NUMBER:
C-802

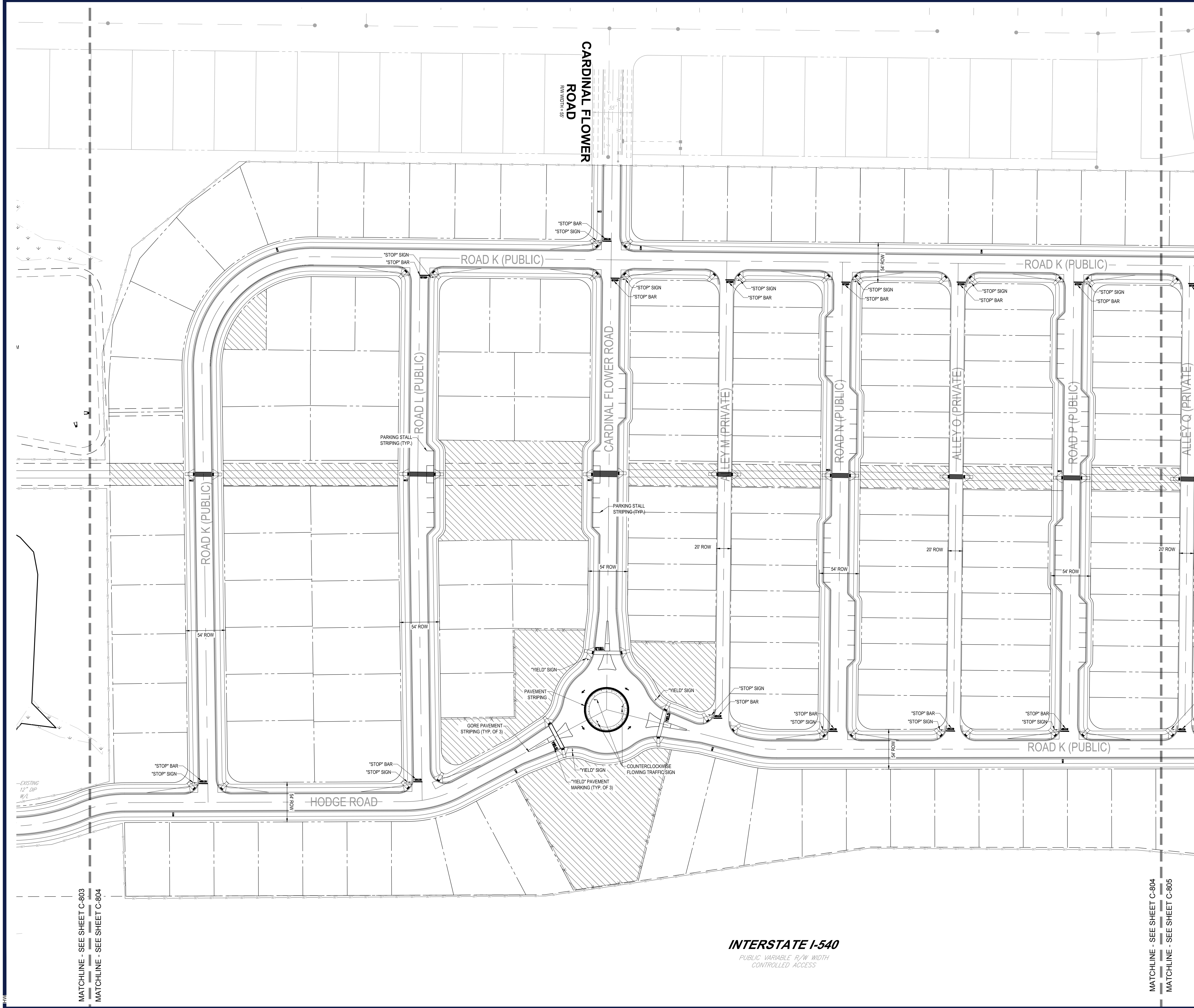
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JUN 04, 2021 10:04 AM BOHLER ENGINEERING PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000 - SIGNAGE - LAYOUT - C-802 STRIPING & SIGNAGE PLAN B

INTERSTATE I-540
 PUBLIC VARIABLE R/W WIDTH
 CONTROLLED ACCESS

MATCHLINE - SEE SHEET C-803
 MATCHLINE - SEE SHEET C-804



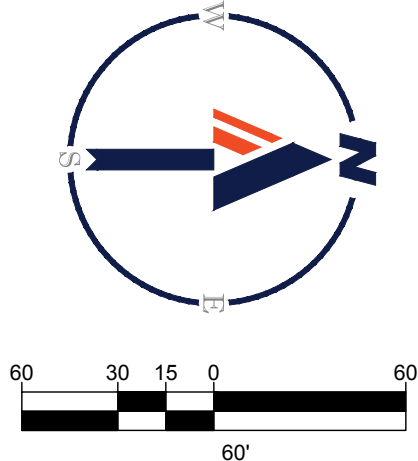


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 BOHLER ENGINEERING NC, PLLC PROJECT 2019NCR194000DRAWINGS PLAN SETS NCR194000 - SIGNAGE - LAYOUT - C-803 STRIPING & SIGNAGE PLAN C

MATCHLINE - SEE SHEET C-803
 MATCHLINE - SEE SHEET C-804

MATCHLINE - SEE SHEET C-804
 MATCHLINE - SEE SHEET C-805

INTERSTATE I-540
 PUBLIC VARIABLE R/W WIDTH
 CONTROLLED ACCESS



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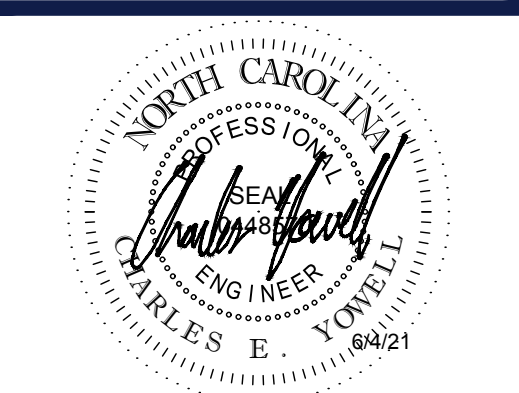
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MASTER PLAN
 FOR
LEGACY OAKS

 0 HODGE RD
 KNIGHTDALE, NC 27604
 WAKE COUNTY
 PROJECT NUMBER: ZMA-3-21

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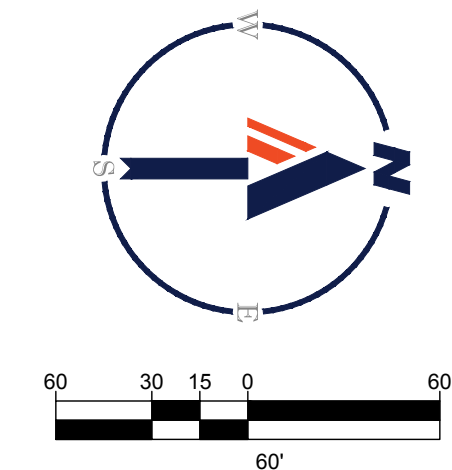


SHEET TITLE:
**STRIPING &
 SIGNAGE
 PLAN C**
 SHEET NUMBER:
C-803
 REVISION 2 - 6/4/21

JUN 04, 2021
 BOHLER ENGINEERING NC, PROJECT 2019NCR184000DRAWINGSPLAN SETS NCR184000 - SIGNAGE - LAYOUT, C-804 STRIPING & SIGNAGE PLAN D



MATCHLINE - SEE SHEET C-804
 MATCHLINE - SEE SHEET C-805



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PROJECT No.: NCR194000
 DRAWN BY: RMG
 CHECKED BY: WES
 DATE: 2-22-21
 CAD ID:

PROJECT:

MASTER PLAN

FOR

LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
 KNIGHTDALE, NC 27604
 WAKE COUNTY
 PROJECT NUMBER: ZMA-3-21

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SHEET TITLE:
STRIPING & SIGNAGE PLAN D

SHEET NUMBER:
C-804

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