

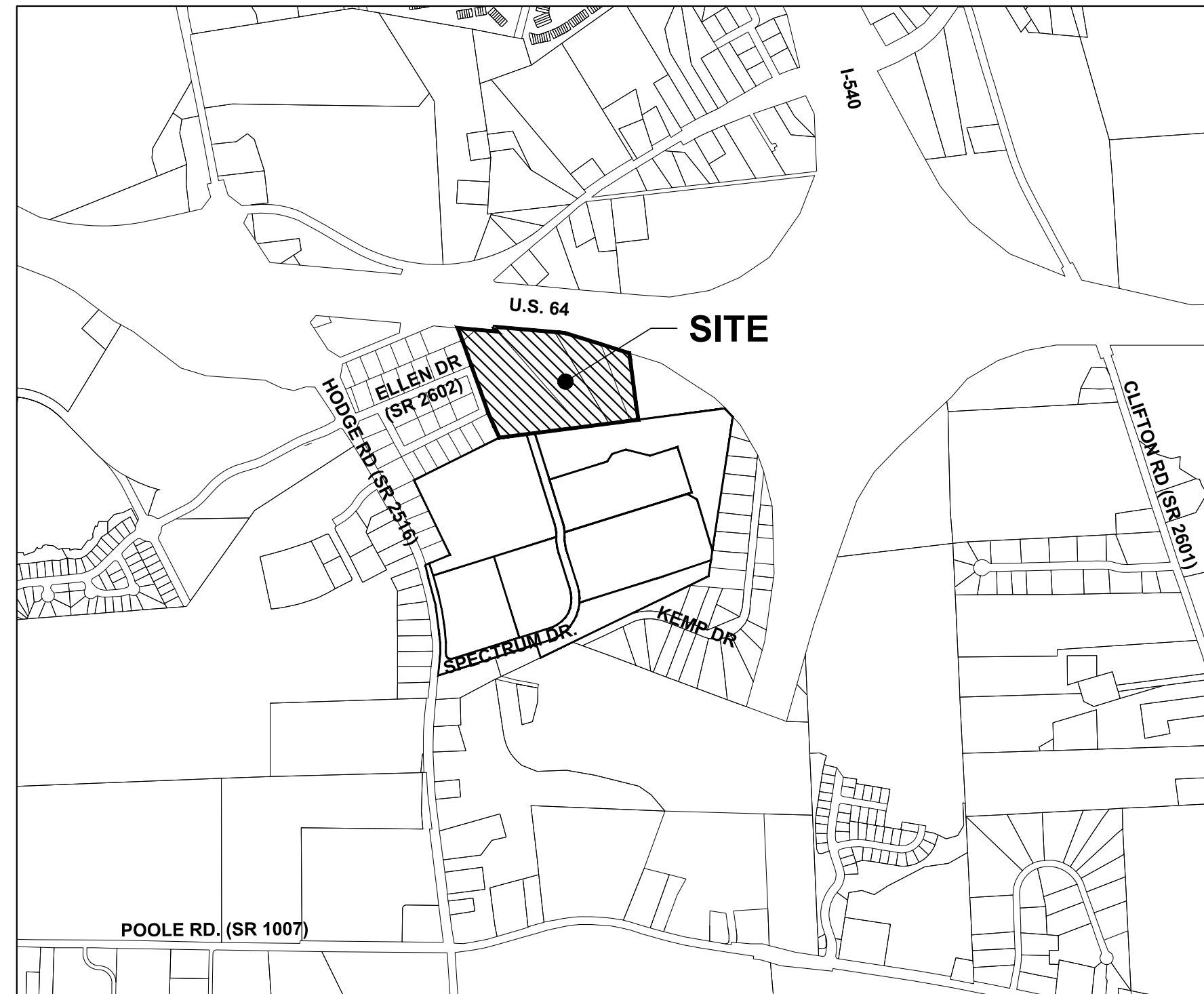
MASTER PLAN

EASTGATE 540

SPECTRUM DRIVE

KNIGHTDALE, NORTH CAROLINA

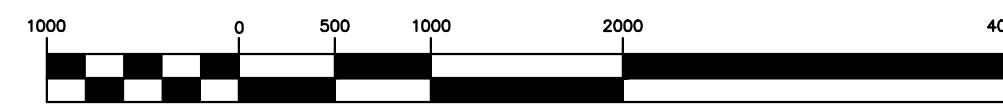
ZMA-10-20



VICINITY MAP

SCALE: 1"=1,000'

GRAPHIC SCALE



(IN FEET)
1 inch = 1000 ft.

DEVELOPER
HODGE ROAD FUTURE PHASES, LLC
440 S. CHURCH STREET
SUITE 800
CHARLOTTE, NC 28202
PHONE (704) 295-0455

ENGINEER/SURVEYOR
ADVANCED CIVIL DESIGN, INC.
51 KILMAYNE DRIVE, SUITE 105
CARY, NC 27511
PHONE (919) 481-6290
FAX (919) 336-5127

OWNER
JOYCE C. LILES
4040 CLIFTON ROAD
KNIGHTDALE, NC 27545
PHONE (919) 266-0303

OWNER
DEBORAH JANE TART & MELTON E. TART JR.
4325 OLD FAISON ROAD
KNIGHTDALE, NC 27545
PHONE (919) 266-2237

OWNER
JAMES EARL RICHARDSON & GRAHAM EDWARD RICHARDSON
5829 COFFEY STREET
RALEIGH, NC 27604

OWNER
DEBORA T KEITH & MILTON E KEITH
PO BOX 1358
KNIGHTDALE, NC 27545

INDEX OF DRAWINGS

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GENERAL NOTES

- THIS PROJECT IS AN ADDENDUM TO THE PREVIOUSLY APPROVED MASTER PLANS TITLED "MASTER PLAN HODGE ROAD BUSINESS PARK" (ZCP-15-15) WHICH WAS APPROVED BY TOWN COUNCIL ON OCTOBER 15, 2015.
- THIS PROJECT WILL AMEND THE EXISTING UTILITY ALLOCATION AGREEMENT (DB 16530, PG 1938) TO INCLUDE THIS SITE.
- THE FOLLOWING MODIFICATIONS MADE DURING PREPARATION OF THE CONSTRUCTION AND/OR BUILDING PERMIT PLANS THAT DO DIFFER FROM THE APPROVED MASTER PLAN SHALL NOT REQUIRE THE MASTER PLAN TO BE AMENDED BY SUBMITTED TO THE TOWN FOR APPROVAL.
 - NUMBER AND LOCATION OF DOCK DOORS
 - NUMBER AND LOCATION OF PARKING SPACES
 - NUMBER AND LOCATION OF TRAILER PARKING SPACES
 - LOCATION OF SITE AND BUILDING INGRESS AND EGRESS

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
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 fax 919.336.5127

PLAN PREPARED FOR:

TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 — Wake County
HODGE ROAD BUSINESS PARK
MASTER PLAN SUBMITTAL
 FOR
TRINITY CAPITAL ADVISORS, LLC
COVER SHEET

NORTH CAROLINA
 PROFESSIONAL SURVEYOR
 SEAL OF
 BRON M. RICE
 04/15/2021
PRELIMINARY

Issue Dates:	01/25/2021 — MASTER PLAN SUBMITTAL #1
	03/22/2021 — MASTER PLAN SUBMITTAL #2
	04/15/2021 — MASTER PLAN SUBMITTAL #3

Date: 04/15/2021

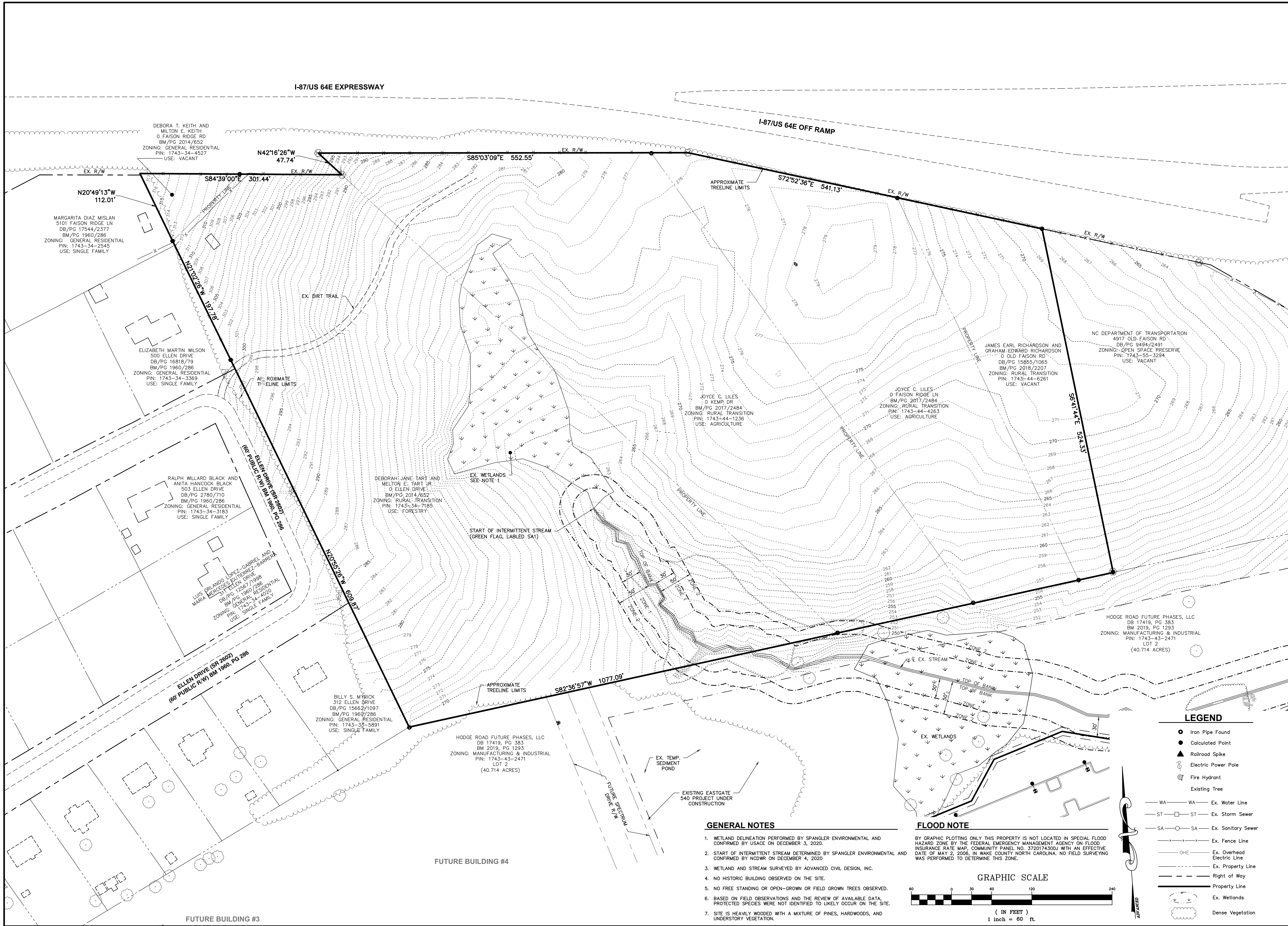
Scale: 1" = 1,000'

Drawn By: JLB
Checked By: CMR

Project Number:
19-0001-988

Drawing Number:
C.1.0

C:\19-0001-988BNC\DWG\Production Drawings\MASTER PLANS\Building 7\0001-988mp002.dwg EXISTING CONDITIONS PLAN Apr 14, 2021 - 5:14:51pm crice



PLAN PREPARED BY:

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ENGINEERS SURVEYORS

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PLAN PREPARED FOR:

TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 - Wake County

HODGE ROAD BUSINESS PARK

MASTER PLAN SUBMITTAL

FOR

TRINITY CAPITAL ADVISORS, LLC

EXISTING CONDITIONS PLAN

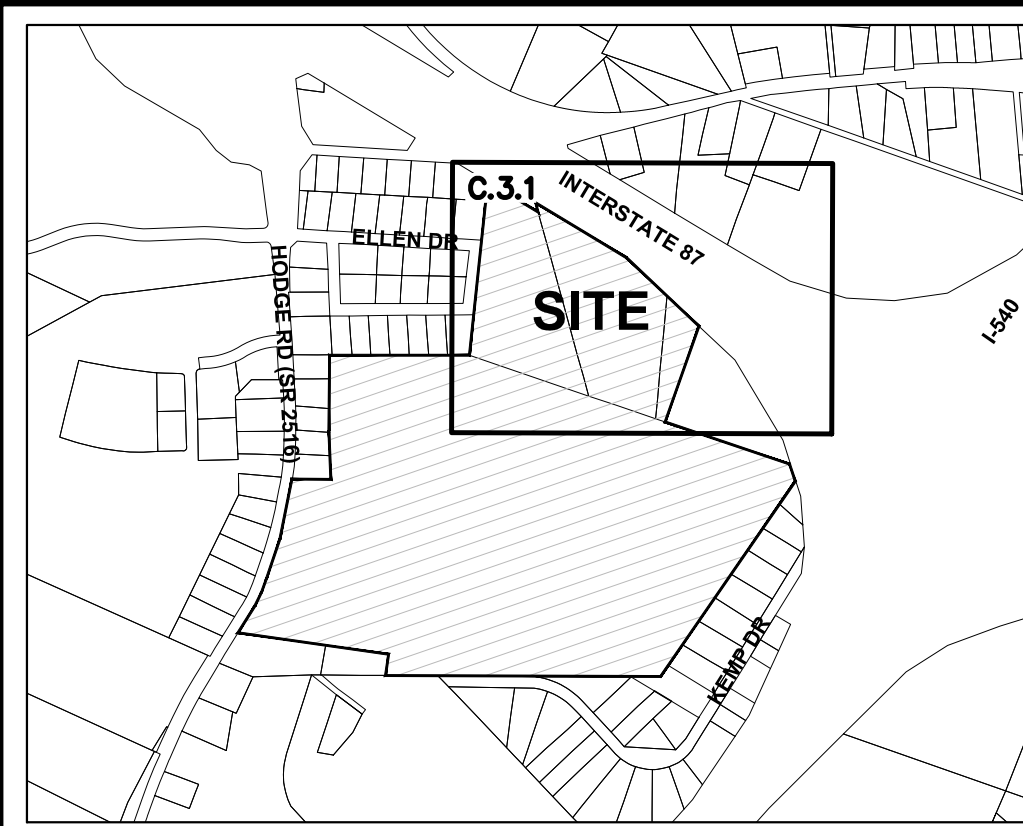
PRELIMINARY

NORTH CAROLINA PROFESSIONAL ENGINEER

BRON M. RICE

04/15/2021

Issue Dates:	01/25/2021 - MASTER PLAN SUBMITTAL #1	03/22/2021 - MASTER PLAN SUBMITTAL #2	04/15/2021 - MASTER PLAN SUBMITTAL #3
Date:	04/15/2021		
Scale:	1" = 60'		
Drawn By:	JLB	Checked By:	CMR
Project Number:	19-0001-988		
Drawing Number:	C.2.0		



SHEET INDEX MAP
SCALE: 1" = 1,000'

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174300J WITH AN EFFECTIVE DATE OF MAY 2, 2006. IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

GENERAL NOTES

- BOUNDARY INFORMATION PLOTTED USING RECORDS OBTAINED FROM THE WAKE COUNTY REGISTER OF DEEDS.
- TOPOGRAPHIC SURVEY PROVIDED BY WAKE COUNTY GIS.
- PRELIMINARY WETLAND LOCATIONS PROVIDED BY SPANGLER ENVIRONMENTAL.
- BUFFER DETERMINATION PER SURFACE WATER DETERMINATION LETTER NBRRO#14-384 DATED NOVEMBER 4, 2014.
- PROTECTED SPECIES HABITAT ASSESSMENT REPORT PROVIDED BY SPANGLER ENVIRONMENTAL.

TREE COVER AREA CALCULATIONS

PERIMETER OF SITE: 7,858 FEET
 REQUIRED TREE COVER AREA: 7,858 FT X 20 FT = 157,160 SF
 REQUIRED AREA % OF TOTAL LOT AREA: 157,160 SF / 3,425,599 SF = 4.59%
 4.59% OF TOTAL LOT AREA (< 10% MAX)
 EXISTING TREE COVER AREA TO BE UTILIZED: 96,628 SF
 ADDITIONAL SPACE REQUIRED: 157,160 SF - 96,628 SF = 60,532 SF
 RE-PLANTED AREA REQUIRED: 125% OF CALCULATED ADDITIONAL SPACE
 125% X 60,532 SF = 75,665 SF
 RE-PLANTED AREA PROVIDED: 260,216 SF
 260,216 SF > 75,665 SF

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊙ Fire Hydrant
- ⊕ Existing Tree
- ⊕ Dense Vegetation
- ⊕ Existing Tree Cover Area Utilized
- Type B Buffer Yard (UDO 8.7.A.2)
- Ex. Fence Line
- OHE Ex. Overhead Electric Line
- Ex. Property Line
- Right of Way
- Property Line
- Ex. Wetlands
- Proposed Additional Space For Tree Area
- Type A Buffer Yard (UDO 8.7.A.1)

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW:
 PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,181,066 SF
 1,181,066 SF > 500,000 SF (REQUIRED)
 POINTS EARNED: 41 POINTS
 ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES
 POINTS EARNED: 2 POINTS
 SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)
 POINTS EARNED: 1 POINT
 EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES
 POINTS EARNED: 3 POINTS
 TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS

SITE DATA TABLE

TOTAL SITE ACREAGE: 98.875 ACRES
 ZONED: M1 (MANUFACTURING & INDUSTRIAL)
 EXISTING LAND USE: SINGLE FAMILY, AGRICULTURE
 PROPOSED LAND USE: STORAGE - WAREHOUSE, INDOOR STORAGE
 *PER THE TOWN OF KNIGHTDALE UDO CHAPTER 2 SECTION 2.3.C THE PROPOSED LAND USE IS PERMITTED SUBJECT TO ADDITIONAL STANDARDS IN CHAPTER 3 SECTION 3.3.00
 WATERSHED: LOWER NEUSE RIVER
 PROPOSED NO. BUILDINGS: 7
 TOTAL BUILDING AREA: 1,181,066 SF
 FRONT SETBACK (MIN.) **: 10 FT
 SIDE SETBACK (MIN.) **: 6 FT
 CORNER SIDE SETBACK (MIN.) **: 10 FT
 REAR SETBACK (MIN.) **: 10 FT
 MAXIMUM HEIGHT: 5 STORIES
 ** FRONT, REAR, SIDE SETBACKS FROM OSP, RR, GR, UR, RMX, NMX, TC, AND HB DISTRICTS SHALL BE A MINIMUM OF 50 FT.

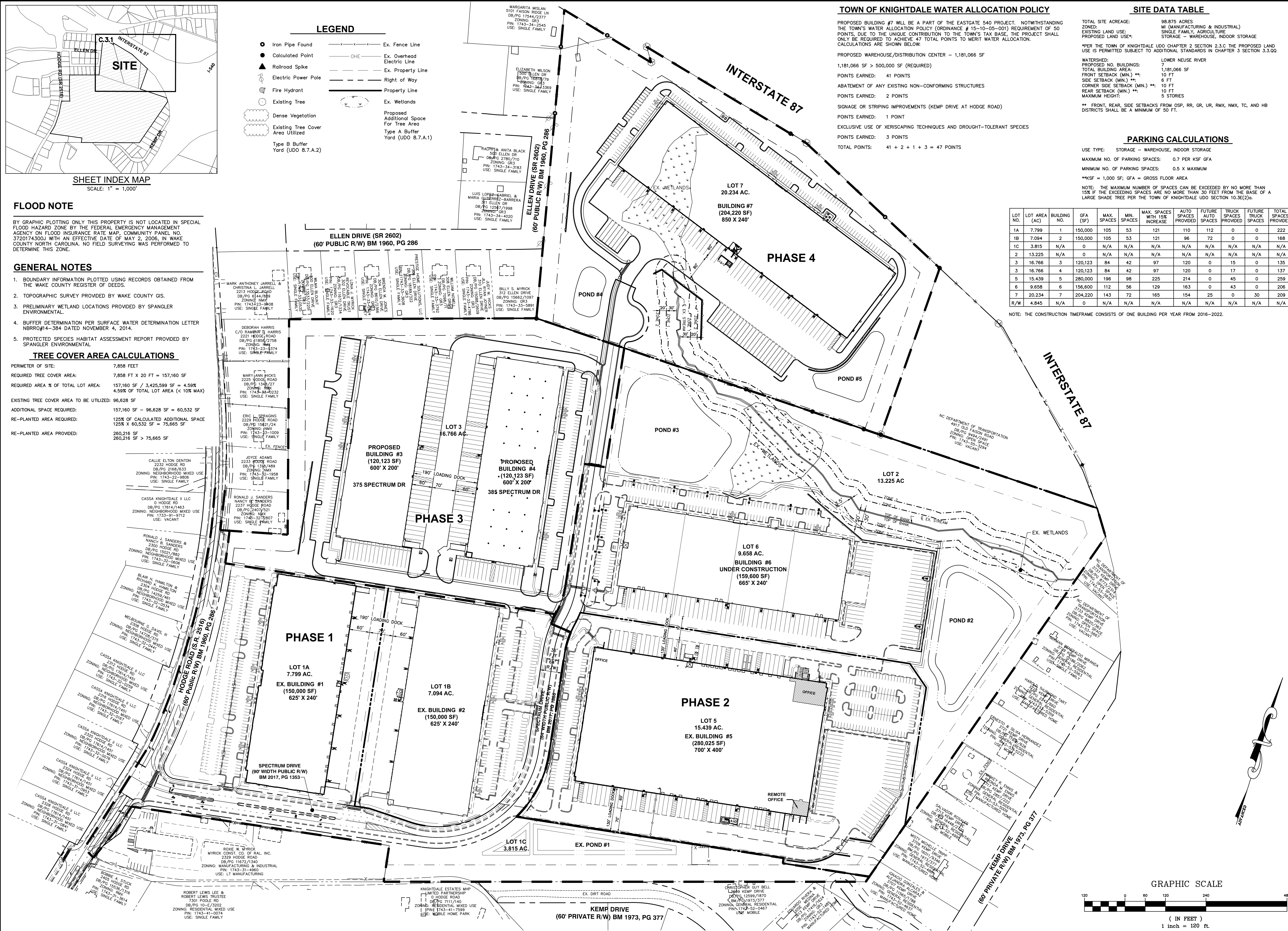
PARKING CALCULATIONS

USE TYPE: STORAGE - WAREHOUSE, INDOOR STORAGE
 MAXIMUM NO. OF PARKING SPACES: 0.7 PER KSF GFA
 MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM
 **KSF = 1,000 SF; GFA = GROSS FLOOR AREA

NOTE: THE MAXIMUM NUMBER OF SPACES CAN BE EXCEEDED BY NO MORE THAN 15% IF THE EXCEEDING SPACES ARE NO MORE THAN 30 FEET FROM THE BASE OF A LARGE SHADE TREE PER THE TOWN OF KNIGHTDALE UDO SECTION 10.3E(2).

LOT NO.	LOT AREA (AC)	BUILDING NO.	GFA (SF)	MAX. SPACES	MIN. SPACES	MAX. SPACES WITH 15% INCREASE	AUTO SPACES PROVIDED	FUTURE AUTO SPACES	TRUCK SPACES PROVIDED	FUTURE TRUCK SPACES	TOTAL SPACES PROVIDED
1A	7.799	1	150,000	105	53	121	110	112	0	0	222
1B	7.094	2	150,000	105	53	121	96	72	0	0	168
1C	3.815	N/A	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
2	13.225	N/A	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
3	16.766	3	120,123	84	42	97	120	0	15	0	135
3	16.766	4	120,123	84	42	97	120	0	17	0	137
5	15.439	5	280,000	196	98	225	214	0	45	0	259
6	9.658	6	156,600	112	56	129	163	0	43	0	206
7	20.234	7	204,220	143	72	165	154	25	0	30	209
R/W	4.845	N/A	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

NOTE: THE CONSTRUCTION TIMEFRAME CONSISTS OF ONE BUILDING PER YEAR FROM 2016-2022.



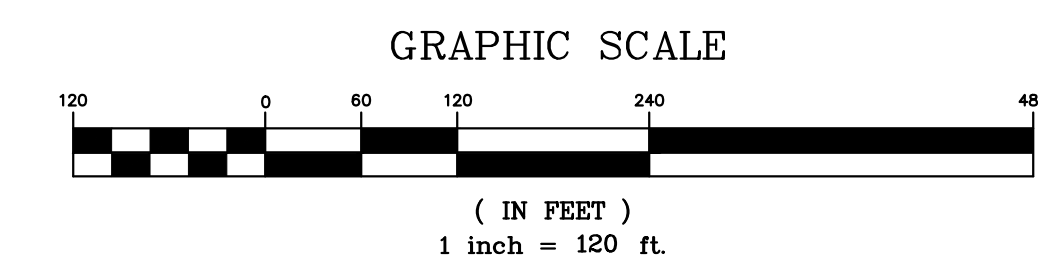
PLAN PREPARED BY:
 ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kimmey Drive, Suite 105
 Cary, North Carolina 27511
 PH: 919-461-6990
 FAX: 919-336-5127

PLAN PREPARED FOR:
 TRINITY CAPITAL
 MASTER PLAN SUBMITTAL FOR TRINITY CAPITAL ADVISORS, LLC
 OVERALL SITE PLAN

0 Ellen Drive, Knightdale, NC 27545 - Wake County
 HODGE ROAD BUSINESS PARK
 MASTER PLAN SUBMITTAL FOR TRINITY CAPITAL ADVISORS, LLC
 OVERALL SITE PLAN

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL SURVEYORS
 BRON M. RICE
 04/15/2021

Issue Dates:
 01/25/2021 - MASTER PLAN SUBMITTAL #1
 03/22/2021 - MASTER PLAN SUBMITTAL #2
 04/15/2021 - MASTER PLAN SUBMITTAL #3
 Date: 04/15/2021
 Scale: 1" = 120'
 Drawn By: JLB
 Checked By: CMR
 Project Number: 19-0001-988
 Drawing Number: C.3.0



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GENERAL NOTES

1. THE APPROVED 404 USAGE INDIVIDUAL PERMIT (SAW-2014-02127) SHALL BE REVISED TO INCLUDE IMPACTS TO BUFFERS, STREAMS, AND WETLANDS FOR THIS PROJECT.
2. PROJECT SHALL BE COMPLIANT WITH SECTIONS 8.5-8.11 OF THE UDO.
3. OUTDOOR STORAGE IS NOT PERMITTED.
4. A TIA OR UPDATED TIA WILL BE REQUIRED.
5. THE UAA WILL NEED TO BE UPDATED.
6. PARKING LOT REQUIRED TO HAVE CURB AND GUTTER PER UDO 10.4B.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Spike Pole
- ⊕ Fire Hydrant
- ⊕ Ex. Wetlands
- Ex. Fence Line
- Ex. Property Line
- Property Line
- Proposed Storm Sewer
- Proposed Swale
- SCM Access Easement
- Loading Dock Pavement Section
- Buffer Yard D Replanted Areas in this Phase
- Existing Tree Cover Area

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW:

PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,204,220 SF
 1,204,220 SF > 500,000 SF (REQUIRED)

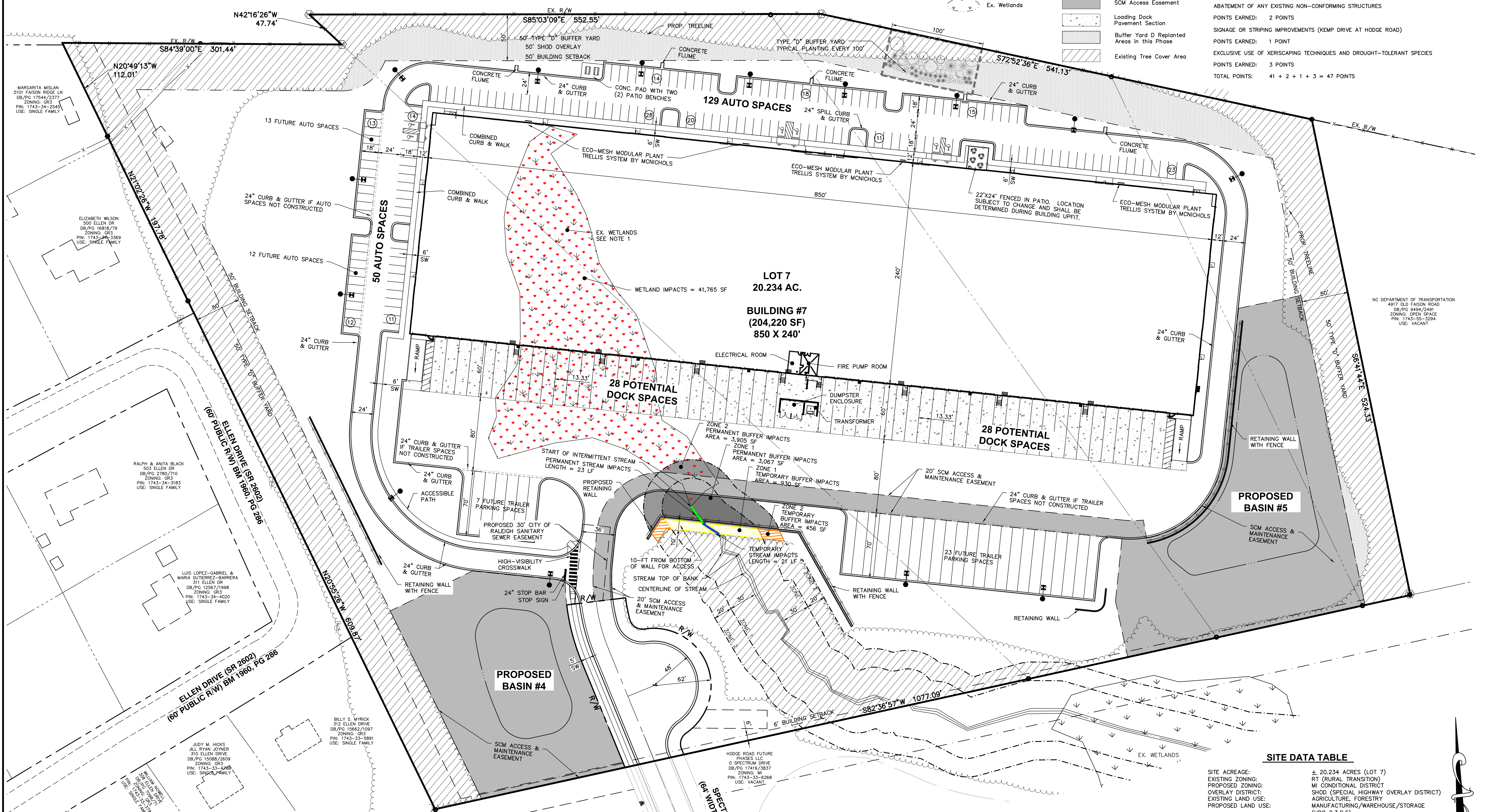
POINTS EARNED: 41 POINTS

ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES
 POINTS EARNED: 2 POINTS

SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)
 POINTS EARNED: 1 POINT

EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES
 POINTS EARNED: 3 POINTS

TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS



PARKING CALCULATIONS

USE TYPE: STORAGE - WAREHOUSE, INDOOR STORAGE

MAXIMUM NO. OF PARKING SPACES: 0.7 PER KSF GFA

MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM

**KSF = 1,000 SF; GFA = GROSS FLOOR AREA

NOTE: THE PROVIDED SPACES EXCEED THE MAXIMUM NUMBER OF SPACES. FUTURE LANDSCAPE PLANS WILL SHOW THE EXCEEDING SPACES ARE NO MORE THAN 30 FEET FROM THE BASE OF A LARGE SHADE TREE PER UDO SECTION 10.3E(2)g.

PROPOSED POND IS A WET POND AND PROVIDES A 30% REDUCTION IN TOTAL NITROGEN PER UDO SECTION 10.3E(2)h(iii).

LOT NO.	LOT AREA (AC)	BUILDING NO.	GFA (SF)	MAX. SPACES	MIN. SPACES	MAX. SPACES WITH 15% INCREASE	AUTO SPACES PROVIDED	FUTURE AUTO SPACES	TRUCK SPACES PROVIDED	FUTURE TRUCK SPACES	TOTAL SPACES PROVIDED
7	20.234	7	204,220	143	72	165	154	25	0	30	209

STREAM, BUFFER, AND WETLAND IMPACTS

SYMBOL	DESCRIPTION	QUANTITY
[Green line]	STREAM - PERMANENT	23 LF
[Blue line]	STREAM - TEMPORARY	21 LF
[Red dots]	WETLAND - PERMANENT	41,765 SF
[Grey box]	ZONE 1 BUFFER - PERMANENT	3,067 SF
[Light grey box]	ZONE 2 BUFFER - PERMANENT	3,905 SF
[Light blue box]	ZONE 1 BUFFER - TEMPORARY	930 SF
[Light blue box]	ZONE 2 BUFFER - TEMPORARY	456 SF

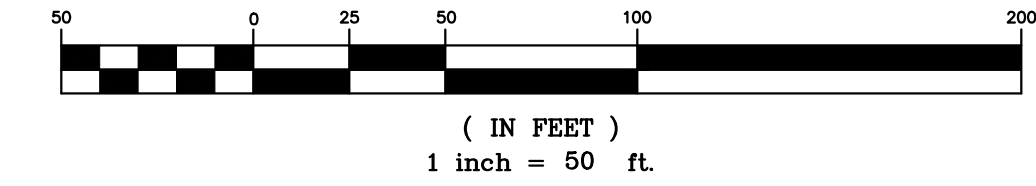
SITE DATA TABLE

SITE ACREAGE: ± 20.234 ACRES (LOT 7)
 EXISTING ZONING: RT (RURAL TRANSITION)
 PROPOSED ZONING: MI (CONDITIONAL DISTRICT)
 OVERLAY DISTRICT: SHOD (SPECIAL HIGHWAY OVERLAY DISTRICT)
 EXISTING LAND USE: AGRICULTURE, FORESTRY
 PROPOSED LAND USE: MANUFACTURING/WAREHOUSE/STORAGE (UDO 2.3.C.6)

WATERSHED: LOWER NEUSE RIVER
 PROPOSED NO. BUILDINGS: 1
 TOTAL BUILDING AREA: 204,220 SF
 FRONT SETBACK (MIN.) **: 10 FT
 SIDE SETBACK (MIN.) **: 6 FT
 CORNER SIDE SETBACK (MIN.) **: 10 FT
 REAR SETBACK (MIN.) **: 10 FT
 MAXIMUM HEIGHT: 5 STORIES

** FRONT, REAR, AND SIDE SETBACKS FROM OSP, RR, GR, UR, RMX, NMX, TC, AND HB DISTRICTS SHALL BE A MINIMUM OF 50 FT.

GRAPHIC SCALE



PLAN PREPARED BY:
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.484.6990
 fax 919.336.5127
ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:
TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 - Wake County
HODGE ROAD BUSINESS PARK
MASTER PLAN SUBMITTAL
 FOR
TRINITY CAPITAL ADVISORS, LLC
SITE PLAN

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL SEAL
 STAFF ENGINEER
 BRON M. RICE
 04/15/2021

Issue Dates:
 01/25/2021 - MASTER PLAN SUBMITTAL #1
 03/22/2021 - MASTER PLAN SUBMITTAL #2
 04/15/2021 - MASTER PLAN SUBMITTAL #3

Date: 04/15/2021
 Scale: 1" = 50'

Drawn By: JLB
 Checked By: CMR

Project Number:
19-0001-988

Drawing Number:
C.3.1

O:\19-0001-988\NC\DWG\Production Drawings\MASTER PLANS\Building 7\0001-988mp003.1.dwg SITE PLAN Apr 14, 2021 - 5:15:27pm crice

I-87/US 64E EXPRESSWAY (R/W VARIES)

ESTIMATED WATER & SEWER AVERAGE DAILY DEMAND = 588 GPD

WATER & SEWER

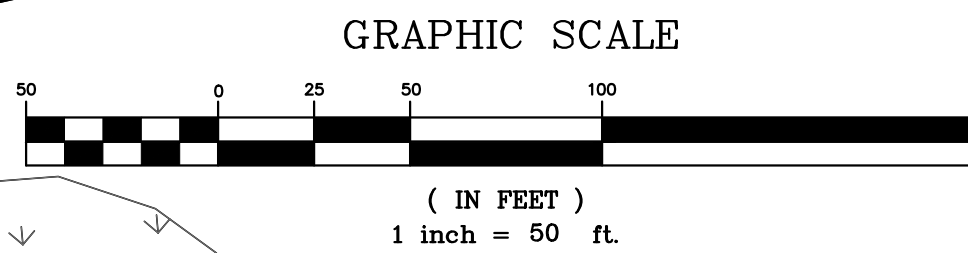
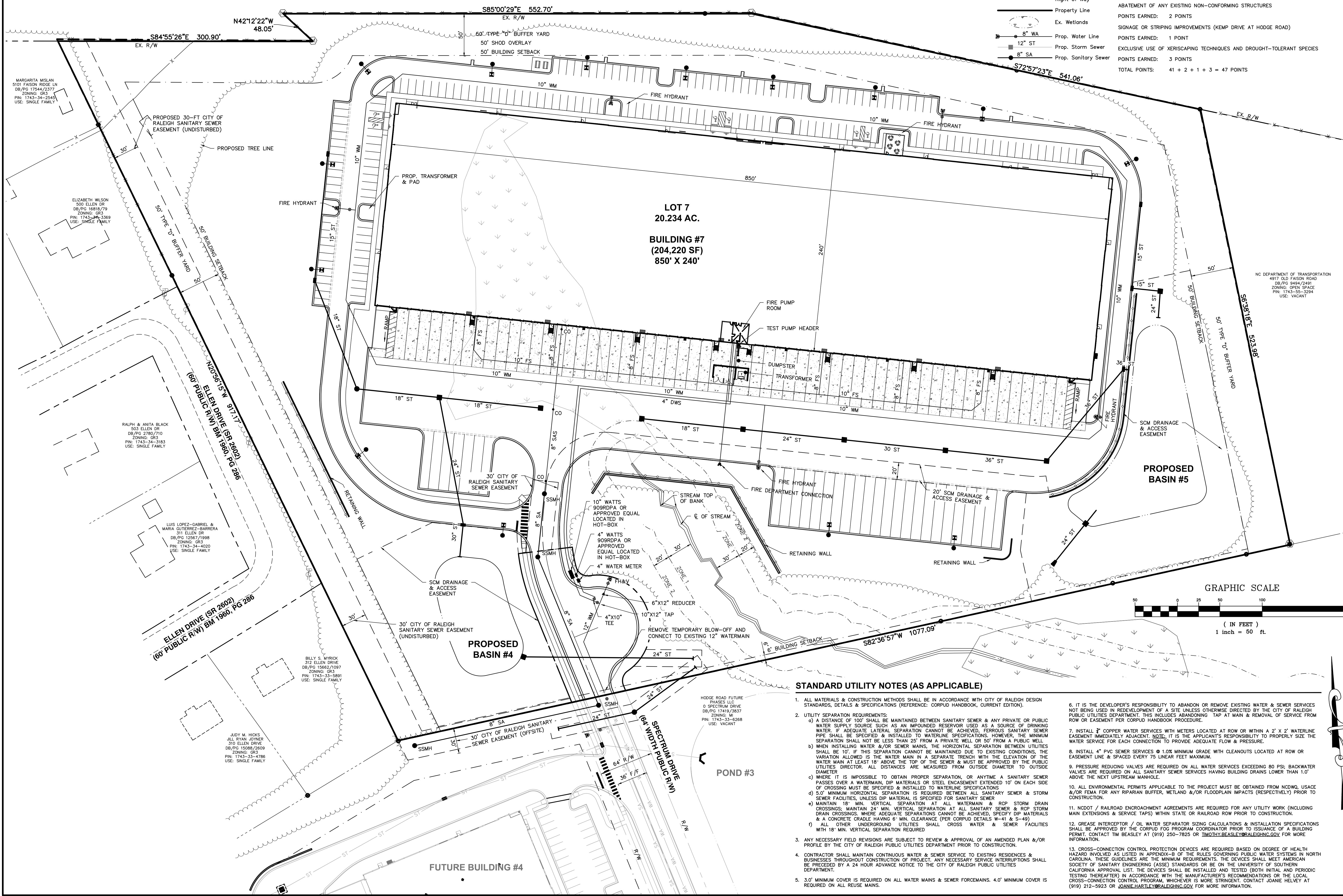
- 1. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
2. BUILDING WILL BE CONNECTED TO THE CITY OF RALEIGH WATER AND SANITARY SEWER SYSTEMS.
3. ALL SANITARY SEWER AND WATER LOCATED OUTSIDE THE PROPOSED STREET RIGHT-OF-WAY SHALL PROVIDED WITH STANDARD EASEMENT WIDTHS AS PER CITY OF RALEIGH REQUIREMENTS AND SHALL DEDICATED TO THE CITY OF RALEIGH ON THE FINAL PLAT.
4. NO SERVICES SHALL BE BENT OR INSTALLED IN SUCH A WAY THAT DOES NOT COMPLY WITH CITY STANDARDS.

LEGEND

- Iron Pipe Found
Calculated Point
Railroad Spike
Electric Power Pole
Fire Hydrant
Ex. Fence Line
WA - Ex. Water Line
GAS - Ex. Gas Line
OHE - Ex. Overhead Electric Line
Ex. Property Line
Right of Way
Property Line
8" WA - Prop. Water Line
12" ST - Prop. Storm Sewer
8" SA - Prop. Sanitary Sewer

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW.
PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,204,000 SF
1,204,000 SF > 500,000 SF (REQUIRED)
POINTS EARNED: 41 POINTS
ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES
POINTS EARNED: 2 POINTS
SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)
POINTS EARNED: 1 POINT
EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES
POINTS EARNED: 3 POINTS
TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS



STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49)
f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL 3" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOO PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 250-7825 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 212-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

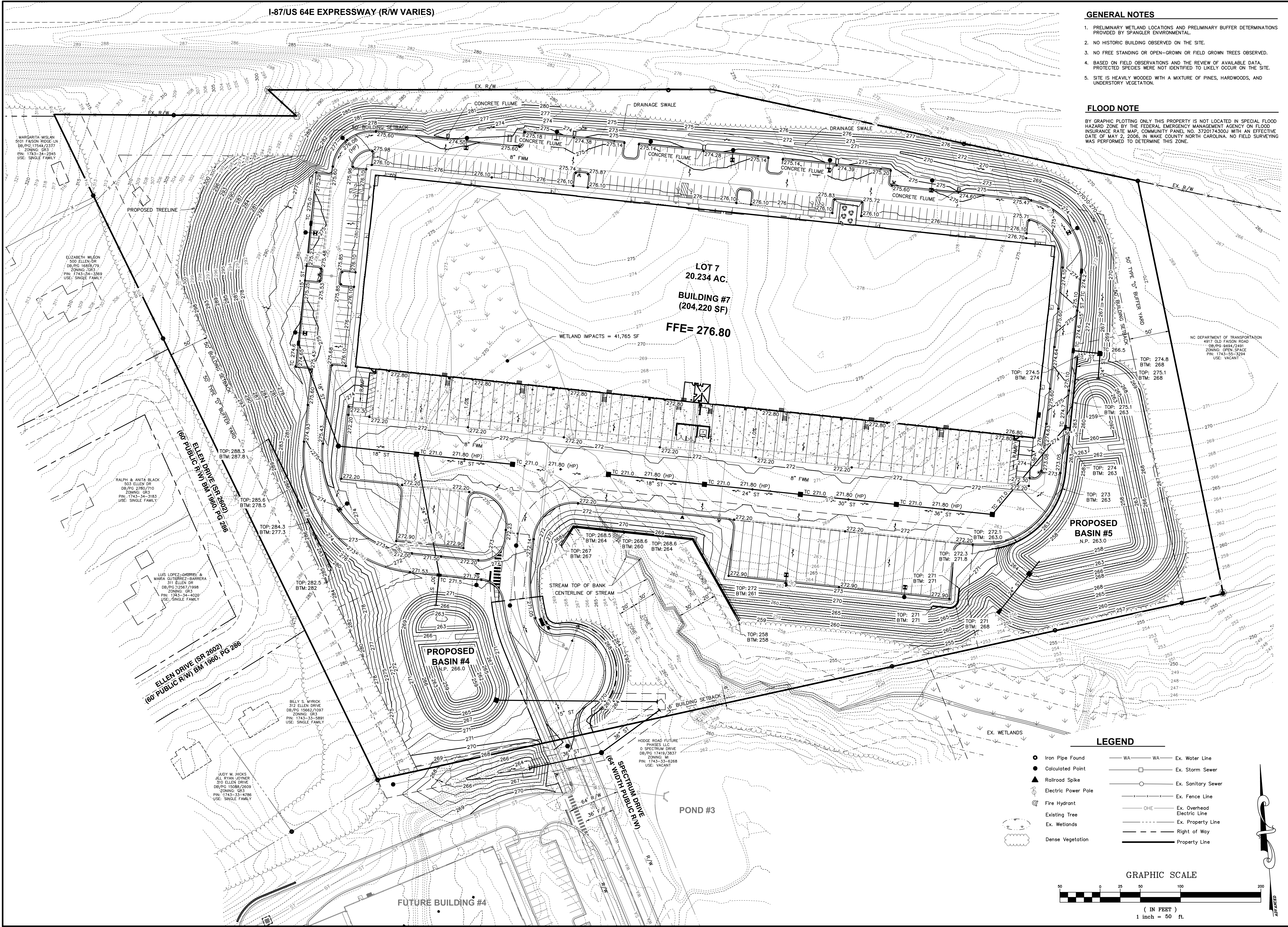
Vertical sidebar containing project information: PLAN PREPARED BY: ADVANCED CIVIL DESIGN; PLAN PREPARED FOR: TRINITY CAPITAL; HODGE ROAD BUSINESS PARK MASTER PLAN SUBMITTAL FOR TRINITY CAPITAL ADVISORS, LLC UTILITY PLAN; PRELIMINARY stamp; Issue Dates: 01/25/2021 - MASTER PLAN SUBMITTAL #1, 03/22/2021 - MASTER PLAN SUBMITTAL #2, 04/15/2021 - MASTER PLAN SUBMITTAL #3; Date: 04/15/2021; Scale: 1" = 50'; Drawn By: JLB; Checked By: CMR; Project Number: 19-0001-988; Drawing Number: C.4.0

0:\19-0001-988\NC\DWG\Production Drawings\MASTER PLANS\Building 7\0001-988mp04.dwg UTILITY PLAN Apr 14, 2021 - 5:15:47pm crice

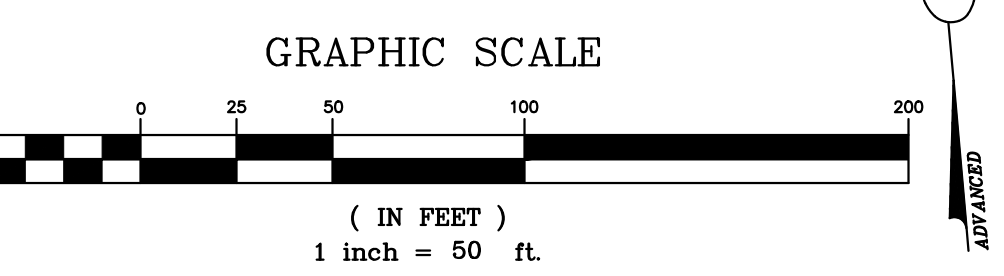
- GENERAL NOTES**
1. PRELIMINARY WETLAND LOCATIONS AND PRELIMINARY BUFFER DETERMINATIONS PROVIDED BY SPANGLER ENVIRONMENTAL.
 2. NO HISTORIC BUILDING OBSERVED ON THE SITE.
 3. NO FREE STANDING OR OPEN-GROWN OR FIELD GROWN TREES OBSERVED.
 4. BASED ON FIELD OBSERVATIONS AND THE REVIEW OF AVAILABLE DATA, PROTECTED SPECIES WERE NOT IDENTIFIED TO LIKELY OCCUR ON THE SITE.
 5. SITE IS HEAVILY WOODED WITH A MIXTURE OF PINES, HARDWOODS, AND UNDERSTORY VEGETATION.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 372014300J WITH AN EFFECTIVE DATE OF MAY 2, 2006, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



- LEGEND**
- Iron Pipe Found
 - Calculated Point
 - ▲ Railroad Spike
 - ⊕ Electric Power Pole
 - ⊕ Fire Hydrant
 - ⊕ Existing Tree
 - ⊕ Ex. Wetlands
 - ⊕ Dense Vegetation
 - WA — WA — Ex. Water Line
 - □ — Ex. Storm Sewer
 - ○ — Ex. Sanitary Sewer
 - — — Ex. Fence Line
 - — — Ex. Overhead Electric Line
 - · · · Ex. Property Line
 - — — Right of Way
 - — — Property Line



PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.461.6990
 fax 919.336.5127

PLAN PREPARED FOR:
TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 — Wake County
HODGE ROAD BUSINESS PARK
MASTER PLAN SUBMITTAL
 FOR
TRINITY CAPITAL ADVISORS, LLC
GRADING AND DRAINAGE PLAN

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 BRON M. RICE
 04/15/2021

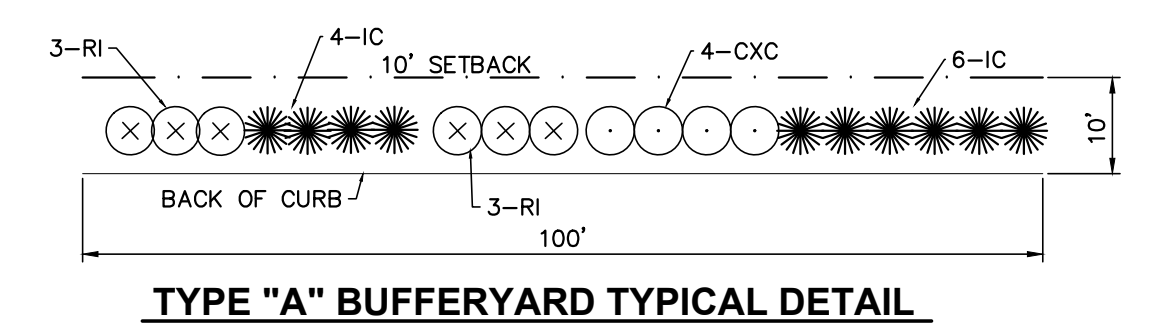
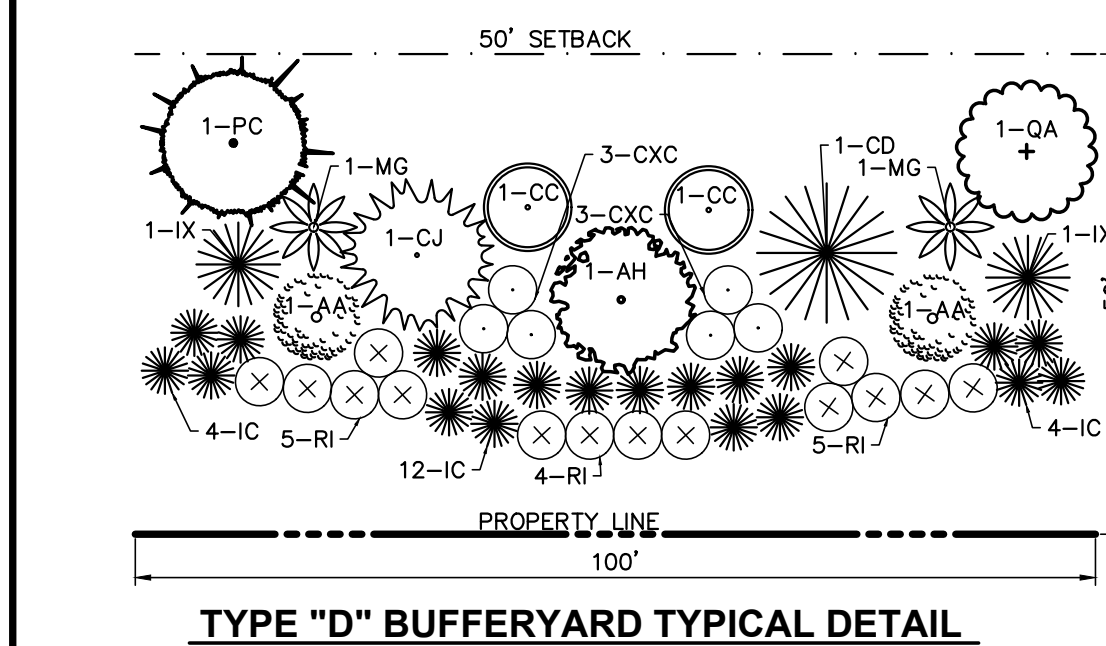
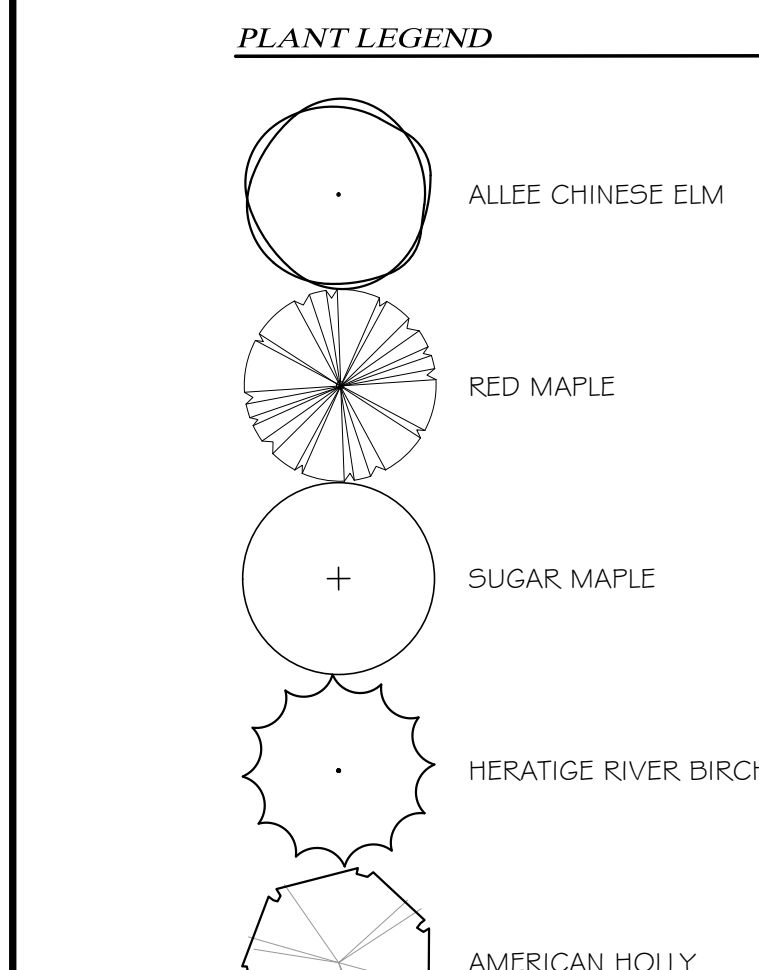
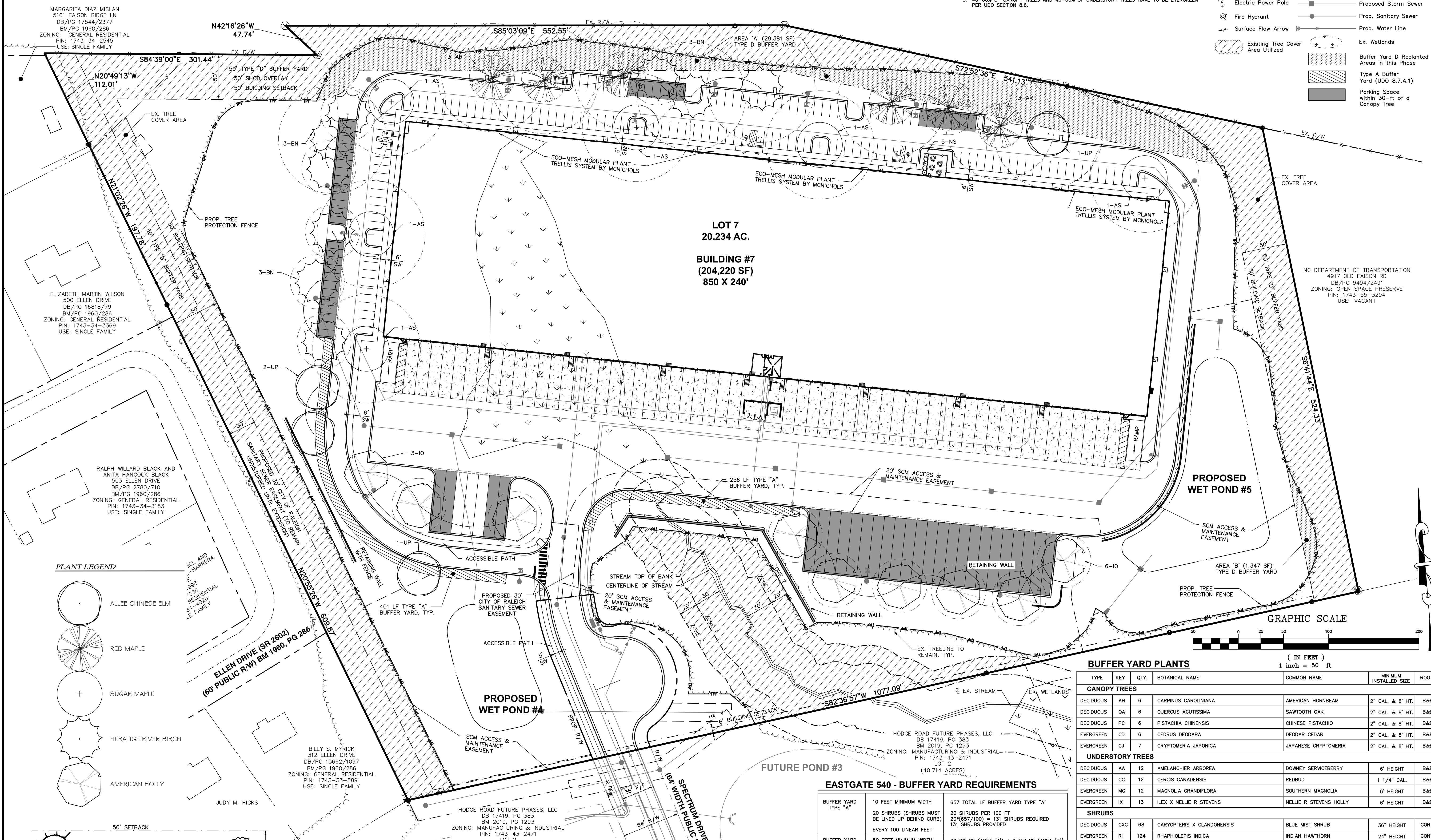
Issue Dates:	01/25/2021 — MASTER PLAN SUBMITTAL #1	Date: 04/15/2021
	03/22/2021 — MASTER PLAN SUBMITTAL #2	Scale: 1" = 50'
	04/15/2021 — MASTER PLAN SUBMITTAL #3	Drawn By: JLB
		Checked By: CMR
		Project Number: 19-0001-988
		Drawing Number: C.5.0

LANDSCAPE NOTES

1. AT TIME OF INSTALLATION, CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND 8' IN HEIGHT; UNDERSTORY TREES SHALL BE A MINIMUM OF 1 1/4" CALIPER AND 6' IN HEIGHT; AND SHRUBS SHALL BE AT LEAST 18" IN HEIGHT AND A 3 GALLON CONTAINER SIZE.
2. ANY ABOVE GROUND UTILITIES HAVE TO BE SCREENED IN ACCORDANCE WITH UDO SECTION 8.7.
3. 40-60% OF CANOPY TREES AND 40-60% OF UNDERSTORY TREES HAVE TO BE EVERGREEN PER UDO SECTION 8.6.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- Surface Flow Arrow
- Existing Tree Cover Area Utilized
- Ex. Fence Line
- Ex. Property Line
- Property Line (Not Surveyed)
- Proposed Storm Sewer
- Prop. Sanitary Sewer
- Prop. Water Line
- Ex. Wetlands
- Buffer Yard D Replanted Areas in this Phase
- Type A Buffer Yard (UDO 8.7.A.1)
- Parking Space within 30'-ft of a Canopy Tree



TREE COVER AREA CALCULATIONS

PERIMETER OF SITE: 3,964 FEET

REQUIRED TREE COVER AREA: 3,964 FT X 20 FT = 79,280 SF

PROVIDED TREE COVER AREA: 33,016 SF (STREAM BUFFER)

PROVIDED TREE COVER AREA: > 79,280 (50-FT TYPE A BUFFER)

TOTAL PROVIDED TREE COVER AREA: > 79,280 SF

NOTE: CHANGES TO TREE COVERAGE AREAS ASSOCIATED WITH CONSTRUCTION PLANS SHALL NOT REQUIRE THE PROJECT TO GO THROUGH ANOTHER CONDITION REZONING APPROVAL PROCESS.

EASTGATE 540 - BUFFER YARD REQUIREMENTS

BUFFER YARD TYPE	MINIMUM WIDTH	PLANTING REQUIREMENTS
TYPE "A"	10 FEET	657 TOTAL LF BUFFER YARD TYPE "A" 20 SHRUBS (SHRUBS MUST BE LINED UP BEHIND CURB) EVERY 100 LINEAR FEET
TYPE "D"	50 FEET	29,381 SF (AREA 'A') + 1,347 SF (AREA 'B') = 30,728 TOTAL SF IN BUFFER YARD TYPE "D" 5 CANOPY TREES 8 UNDERSTORY TREES 40 SHRUBS EVERY 100 LINEAR FEET

BUFFER YARD PLANTS (IN FEET) 1 inch = 50 ft.

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
CANOPY TREES						
DECIDUOUS	AH	6	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL. & 8' HT.	B&B
DECIDUOUS	QA	6	QUERCUS ACUTISSIMA	SAWTOOTH OAK	2" CAL. & 8' HT.	B&B
DECIDUOUS	PC	6	PISTACHIA CHINENSIS	CHINESE PISTACHIO	2" CAL. & 8' HT.	B&B
EVERGREEN	CD	6	CEDRUS DEODARA	DEODAR CEDAR	2" CAL. & 8' HT.	B&B
EVERGREEN	CJ	7	CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA	2" CAL. & 8' HT.	B&B
UNDERSTORY TREES						
DECIDUOUS	AA	12	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6" HEIGHT	B&B
DECIDUOUS	CC	12	CEROS CANADENSIS	REDBUD	1 1/4" CAL.	B&B
EVERGREEN	MG	12	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6" HEIGHT	B&B
EVERGREEN	IX	13	ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	6" HEIGHT	B&B
SHRUBS						
DECIDUOUS	CXC	68	CARYOPTERIS X CLANDONENSIS	BLUE MIST SHRUB	36" HEIGHT	CONT.
EVERGREEN	RI	124	RHAPHOLEPIS INDICA	INDIAN HAWTHORN	24" HEIGHT	CONT.
EVERGREEN	IC	185	ILEX CORNUTA 'BURFORDII'	BURFORD HOLLY	18" HEIGHT	CONT.
PARKING LOT/STREET TREES						
TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
DECIDUOUS	UP	3	ULMUS PARVIFOLIA	ALLEE CHINESE ELM	2" CAL. & 8' HT.	B&B
DECIDUOUS	AR	6	ACER RUBRUM	RED MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	AS	6	ACER SACCHARUM	SUGAR MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	BN	9	BETULA NIGRA	HERITAGE RIVER BIRCH	2" CAL. & 8' HT.	B&B
EVERGREEN	IO	9	ILEX OPACA	AMERICAN HOLLY	2" CAL. & 8' HT.	B&B
MISCELLANEOUS SHRUBS						
TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
DECIDUOUS	IX	5	ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	6" HEIGHT	B&B

PLAN PREPARED BY: **TRINITY CAPITAL**

PLAN PREPARED FOR: **HODGE ROAD BUSINESS PARK**

MASTER PLAN SUBMITTAL

FOR **TRINITY CAPITAL ADVISORS, LLC**

LANDSCAPE PLAN

0 Ellen Drive, Knightdale, NC 27545 - Wake County

51 Kimmage Drive, Suite 105
Cary, North Carolina 27511
ph 919.461.6990
for 919.336.5127

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

DATE: 04/15/2021

Issue Dates:
01/25/2021 - MASTER PLAN SUBMITTAL #1
03/22/2021 - MASTER PLAN SUBMITTAL #2
04/15/2021 - MASTER PLAN SUBMITTAL #3

Date: 04/15/2021
Scale: 1" = 50'

Drawn By: JLB Checked By: CMR

Project Number: **19-0001-988**

Drawing Number: **C.6.0**

STREET LIGHTING STANDARDS

1. NUMERICAL POINT-BYPOINT FC GRID MAXIMUM 25 FOOT BY 25 FOOT THAT INDICATES THE MINIMUM, MAXIMUM, AND AVERAGE FC LEVELS WITHIN THE LIGHTED AREA OF THE SITE AND THE AVERAGE TO MINIMUM RATIO FOR THE DETERMINATION OF UNIFORMITY.
2. PUBLIC STREET LIGHTING IS EXEMPT OF MAXIMUM ALLOWABLE LIGHT LEVELS AT THE PROPERTY LINE.
3. FIXTURE TO BE FULL CUTOFF.
4. FIXTURE SHALL BE LED WITH A MINIMUM COLOR RENDERING INDEX (CRI) VALUE OF 70 OR BETTER.
5. FIXTURE SHALL HAVE A "WHITE LIGHT" CORRELATED COLOR TEMPERATURE NOT EXCEEDING 4,000K (DEGREES KELVIN).
6. POLE/FIXTURE SHALL BE LOCATED OUTSIDE LANDSCAPE ISLANDS.
7. FIXTURE MOUNTING HEIGHT NO GREATER THAN 37 FEET ABOVE GRADE.
8. AVERAGE MAXIMUM SPACING BETWEEN STREET LIGHTS SHALL BE 300 FT.
9. MINIMUM INITIAL DELIVERED LUMEN LEVELS SHALL BE 28,500 LUMENS.
10. BUG RATING SHALL NOT EXCEED B3, U3, AND G3.
11. LIGHTS SHALL BE ALTERNATELY STAGGERED ON EACH SIDE OF THE STREET.
12. LIGHTING SHALL BE PLACED AT ALL STREET INTERSECTIONS, IN STREET CURVES, AND AT THE END OF ANY STREET.

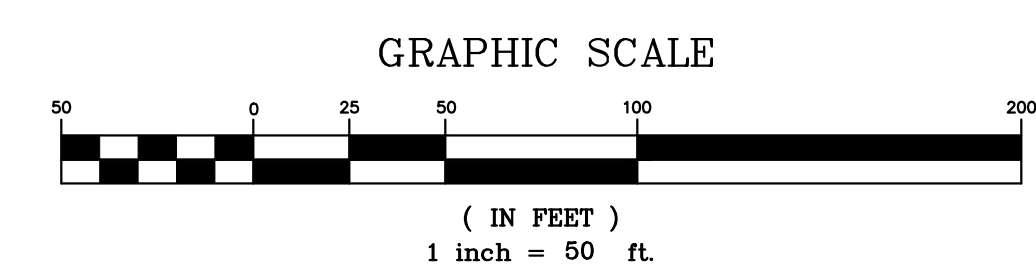
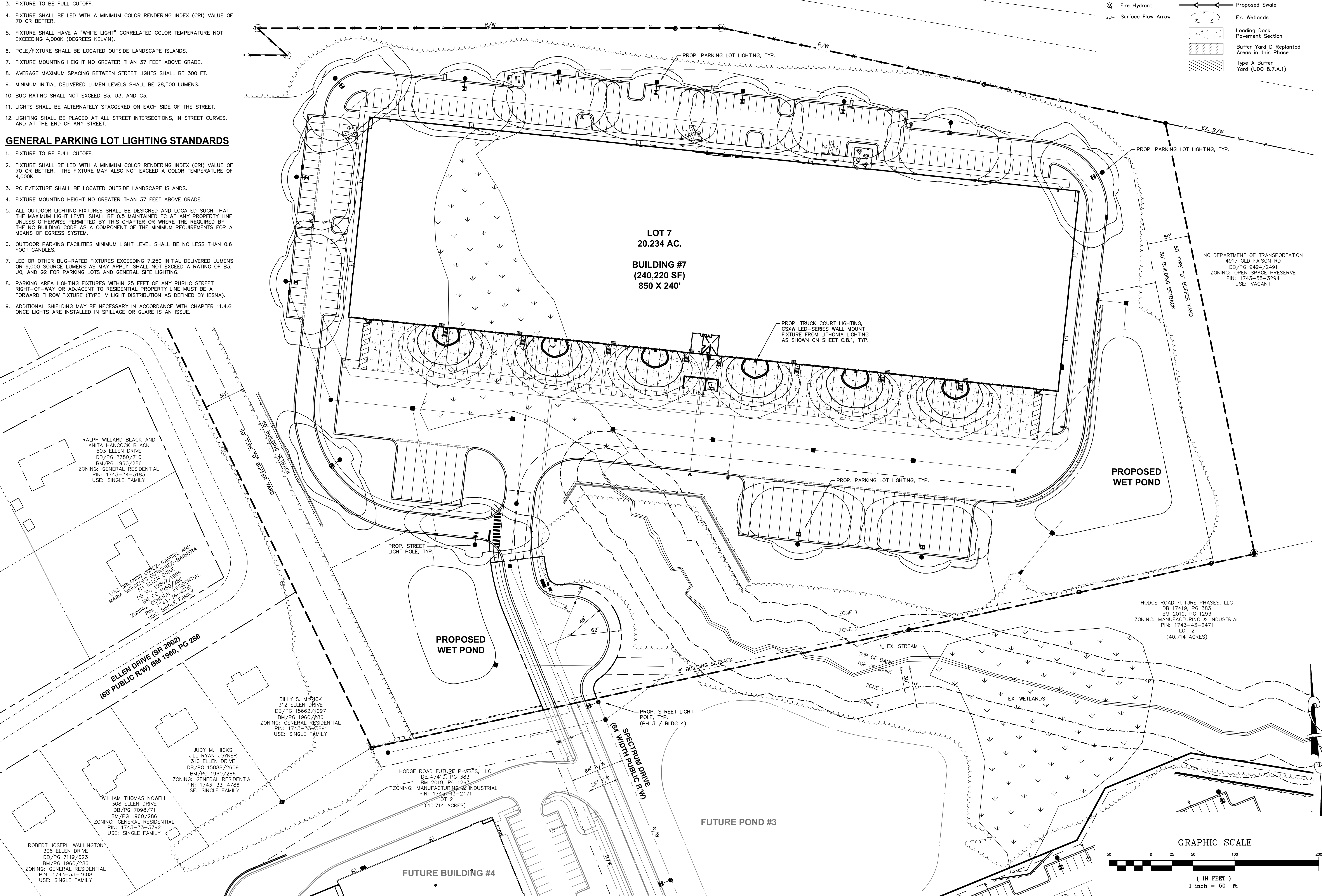
GENERAL PARKING LOT LIGHTING STANDARDS

1. FIXTURE TO BE FULL CUTOFF.
2. FIXTURE SHALL BE LED WITH A MINIMUM COLOR RENDERING INDEX (CRI) VALUE OF 70 OR BETTER. THE FIXTURE MAY ALSO NOT EXCEED A COLOR TEMPERATURE OF 4,000K.
3. POLE/FIXTURE SHALL BE LOCATED OUTSIDE LANDSCAPE ISLANDS.
4. FIXTURE MOUNTING HEIGHT NO GREATER THAN 37 FEET ABOVE GRADE.
5. ALL OUTDOOR LIGHTING FIXTURES SHALL BE DESIGNED AND LOCATED SUCH THAT THE MAXIMUM LIGHT LEVEL SHALL BE 0.5 MAINTAINED FC AT ANY PROPERTY LINE UNLESS OTHERWISE PERMITTED BY THIS CHAPTER OR WHERE THE REQUIRED BY THE NC BUILDING CODE AS A COMPONENT OF THE MINIMUM REQUIREMENTS FOR A MEANS OF EGRESS SYSTEM.
6. OUTDOOR PARKING FACILITIES MINIMUM LIGHT LEVEL SHALL BE NO LESS THAN 0.6 FOOT CANDLES.
7. LED OR OTHER BUG-RATED FIXTURES EXCEEDING 7,250 INITIAL DELIVERED LUMENS OR 9,000 SOURCE LUMENS AS MAY APPLY, SHALL NOT EXCEED A RATING OF B3, U0, AND G2 FOR PARKING LOTS AND GENERAL SITE LIGHTING.
8. PARKING AREA LIGHTING FIXTURES WITHIN 25 FEET OF ANY PUBLIC STREET RIGHT-OF-WAY OR ADJACENT TO RESIDENTIAL PROPERTY LINE MUST BE A FORWARD THROW FIXTURE (TYPE IV LIGHT DISTRIBUTION AS DEFINED BY IESNA).
9. ADDITIONAL SHIELDING MAY BE NECESSARY IN ACCORDANCE WITH CHAPTER 11.4.G ONCE LIGHTS ARE INSTALLED IN SPILLAGE OR GLARE IS AN ISSUE.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- Surface Flow Arrow
- Ex. Fence Line
- Ex. Property Line
- Property Line (Not Surveyed)
- Proposed Storm Sewer
- Proposed Swale
- Ex. Wetlands
- ▨ Loading Dock Pavement Section
- ▨ Buffer Yard D Replanted Areas in this Phase
- ▨ Type A Buffer Yard (UDO 8.7.A.1)

I-87/US 64E EXPRESSWAY (R/W VARIES)



PLAN PREPARED BY:
51 Kilmegon Drive, Suite 105
Cary, North Carolina 27511
ph 919.464.6990
fax 919.336.5127
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR:
TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 - Wake County
HODGE ROAD BUSINESS PARK
MASTER PLAN SUBMITTAL FOR TRINITY CAPITAL ADVISORS, LLC
LIGHTING PLAN

PRELIMINARY
NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL OF BRON M. RICE
04/15/2021

Issue Dates:
01/25/2021 - MASTER PLAN SUBMITTAL #1
03/22/2021 - MASTER PLAN SUBMITTAL #2
04/15/2021 - MASTER PLAN SUBMITTAL #3

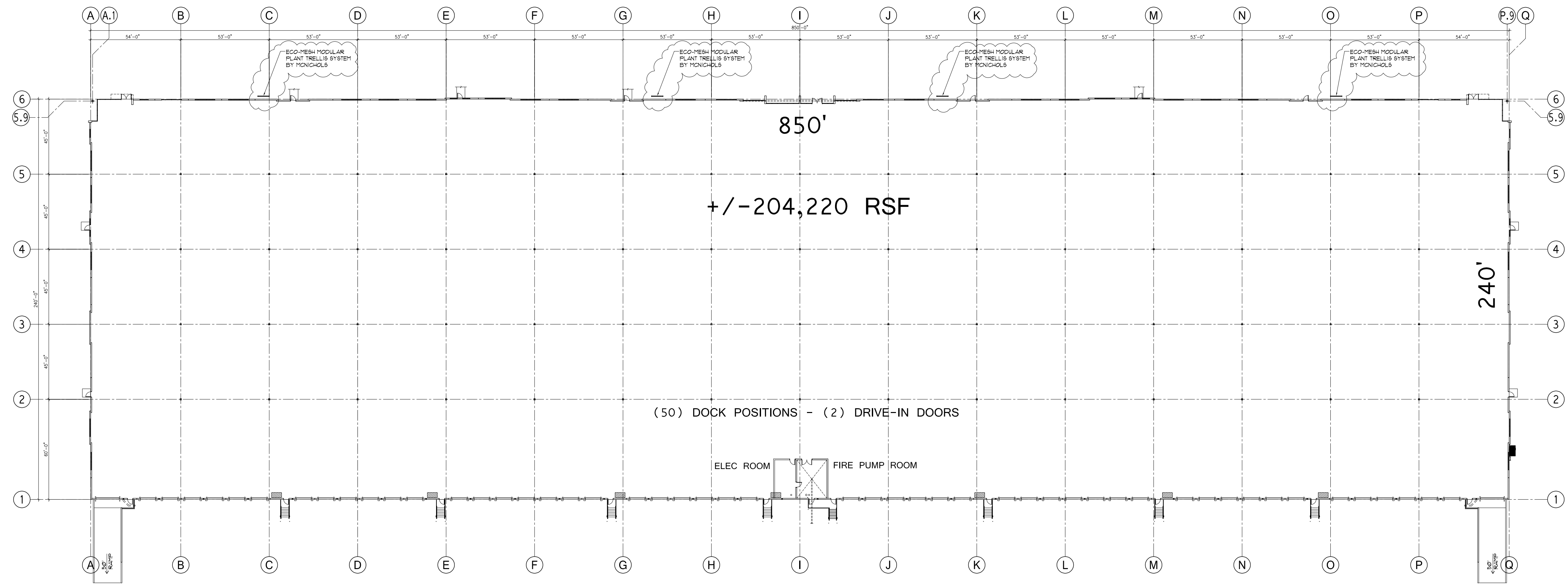
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Drawn By: JLB
Checked By: CMR

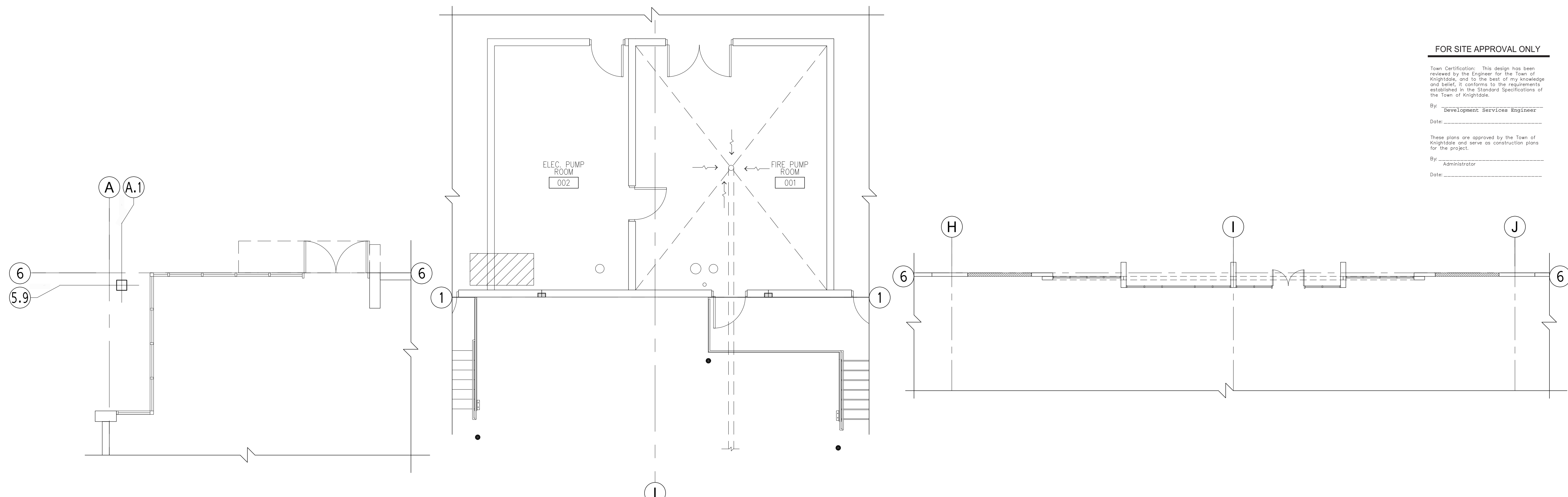
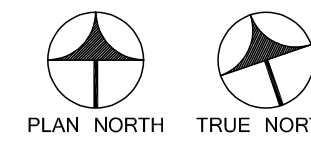
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19-0001-988

Drawing Number:
C.7.0

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1 OVERALL FLOOR PLAN
SCALE: 1" = 30'-0"



2 ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0" (OPPOSITE CORNER SIM. & MIRRORRED)

3 PUMP ROOM / ELECTRICAL ROOM
SCALE: 1/4" = 1'-0"

4 ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"

FOR SITE APPROVAL ONLY

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____
Development Services Engineer
Date: _____

These plans are approved by the Town of Knightdale and serve as construction plans for the project.

By: _____
Administrator
Date: _____

SEALS:
PRELIMINARY
04/14/2021

SPECULATIVE INDUSTRIAL BUILDING
EASTGATE 540 LOT 7
TRINITY CAPITAL ADVISORS
HODGE ROAD
KNIGHTDALE, NC

DRAWING STATUS:
● PRELIMINARY
○ NOT FOR CONSTRUCTION
○ ISSUED FOR BIDDING
○ ISSUED FOR CONSTRUCTION

OWNER / CLIENT SIGNATURE:
DATE:

PRELIMINARY
04/14/2021

FILE NAME:
PROJECT NO.:
C20165

SHEET TITLE:
OVERALL FLOOR PLAN

SHEET:
A101

MIN. 32' CLEAR UNDER STRUCTURE - TYP.

PRELIMINARY
 04/14/2021

SPECULATIVE INDUSTRIAL BUILDING
 EASTGATE 540 LOT 7
 TRINITY CAPITAL ADVISORS
 HODGE ROAD
 KNIGHTDALE, NC

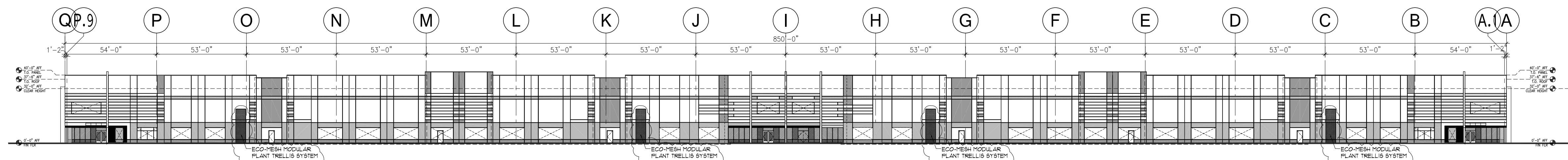
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 ○ ISSUED FOR
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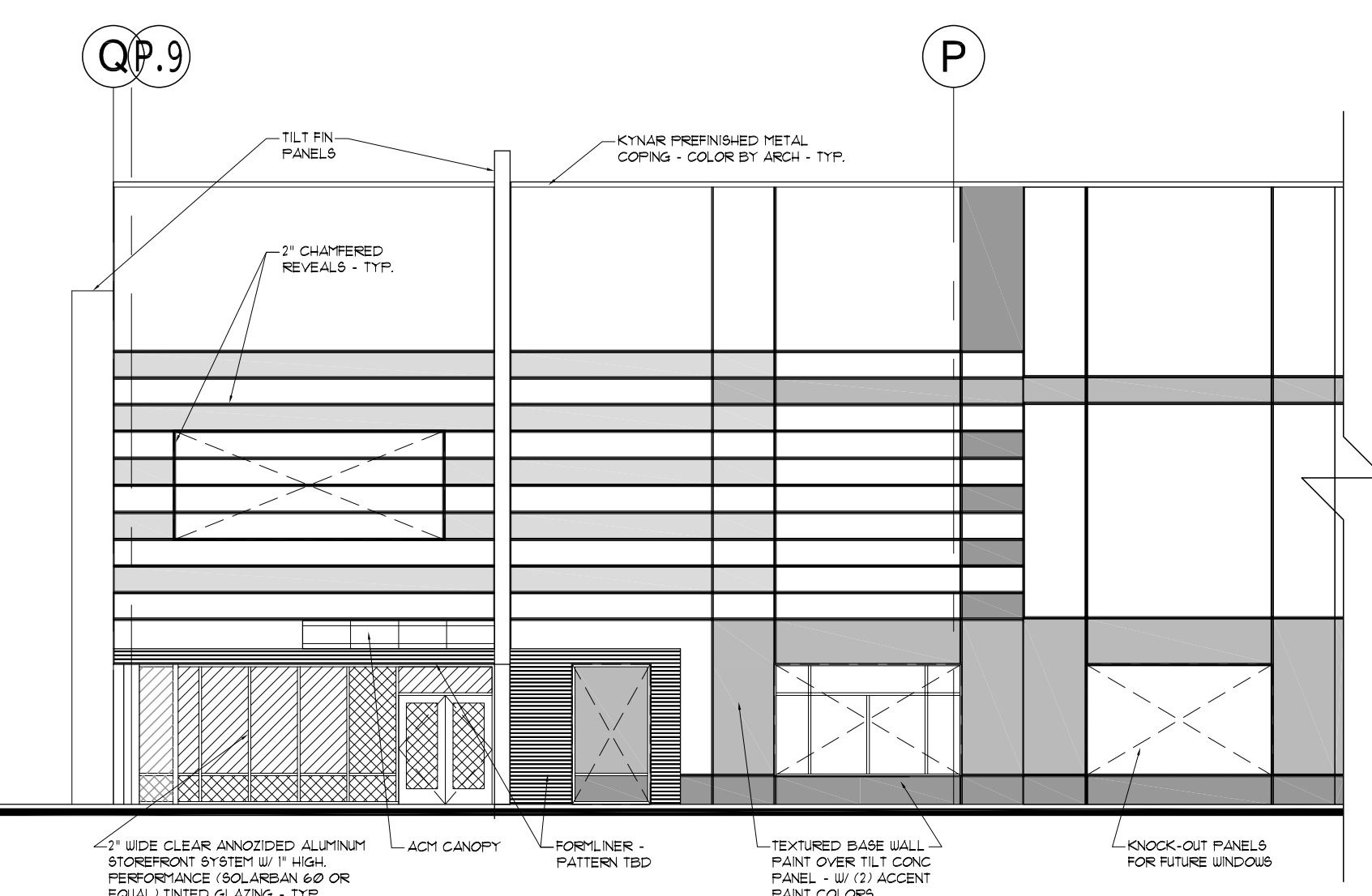
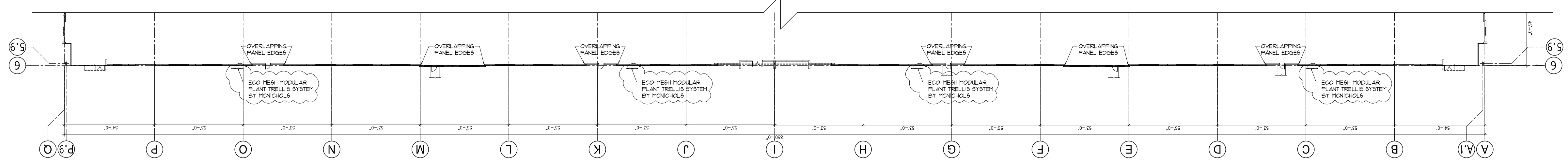
PRELIMINARY
 04/14/2021

FILE NAME:
 PROJECT NO.:
 C20165
 SHEET TITLE:
 ENLARGED
 ELEVATIONS

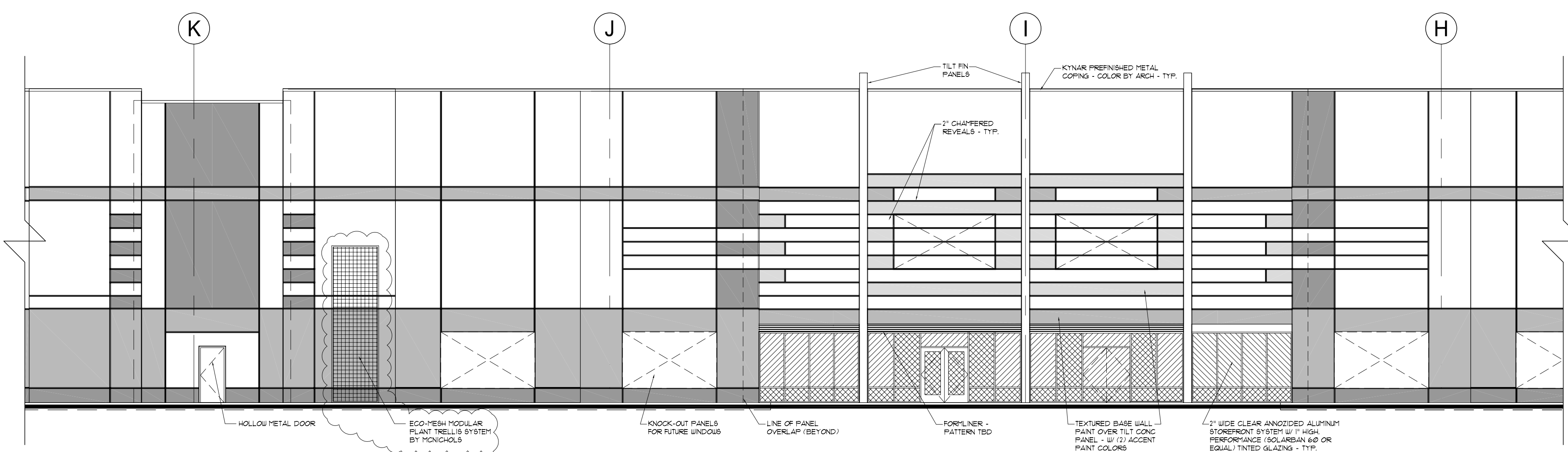
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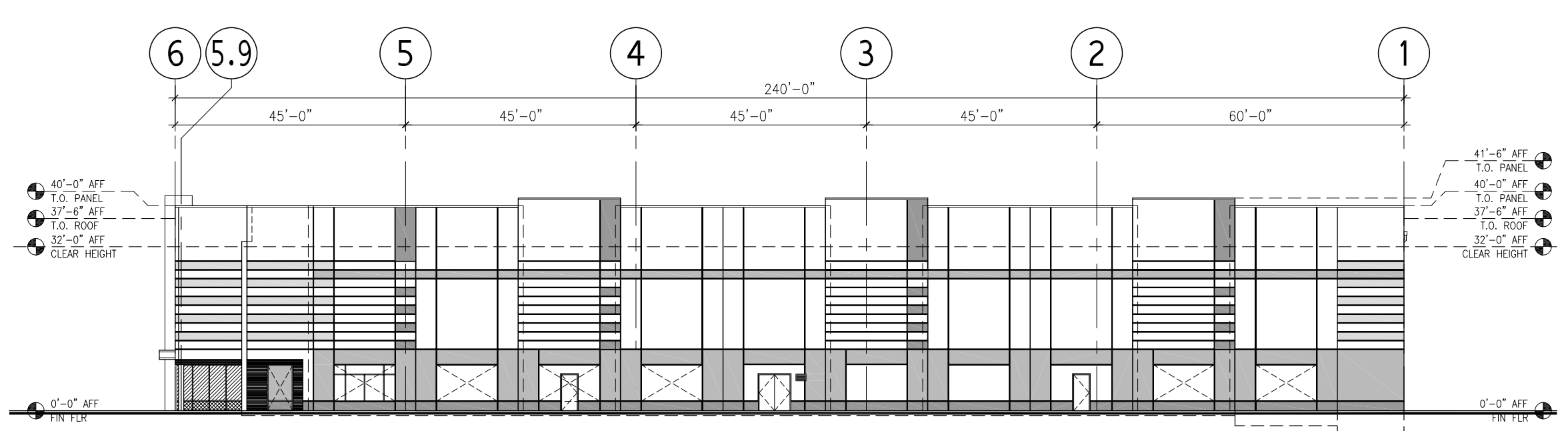
1 FRONT ELEVATION
 SCALE: 1" = 30'-0"



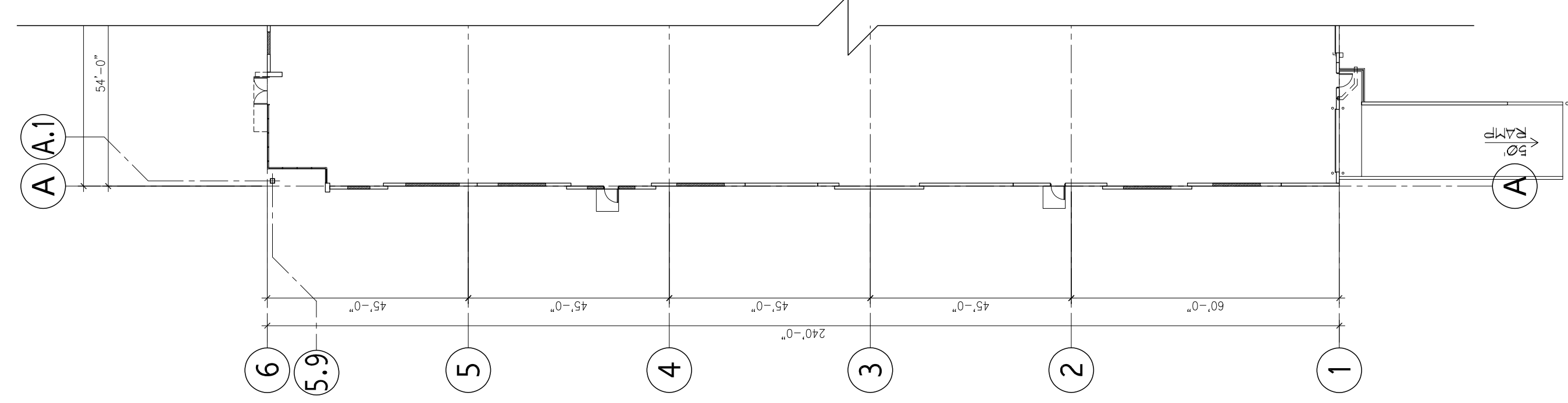
2 ENLARGED FRONT ELEVATION-CORNER
 SCALE: 1/8" = 1'-0"



3 ENLARGED FRONT ELEVATION-CENTER
 SCALE: 1/8" = 1'-0"



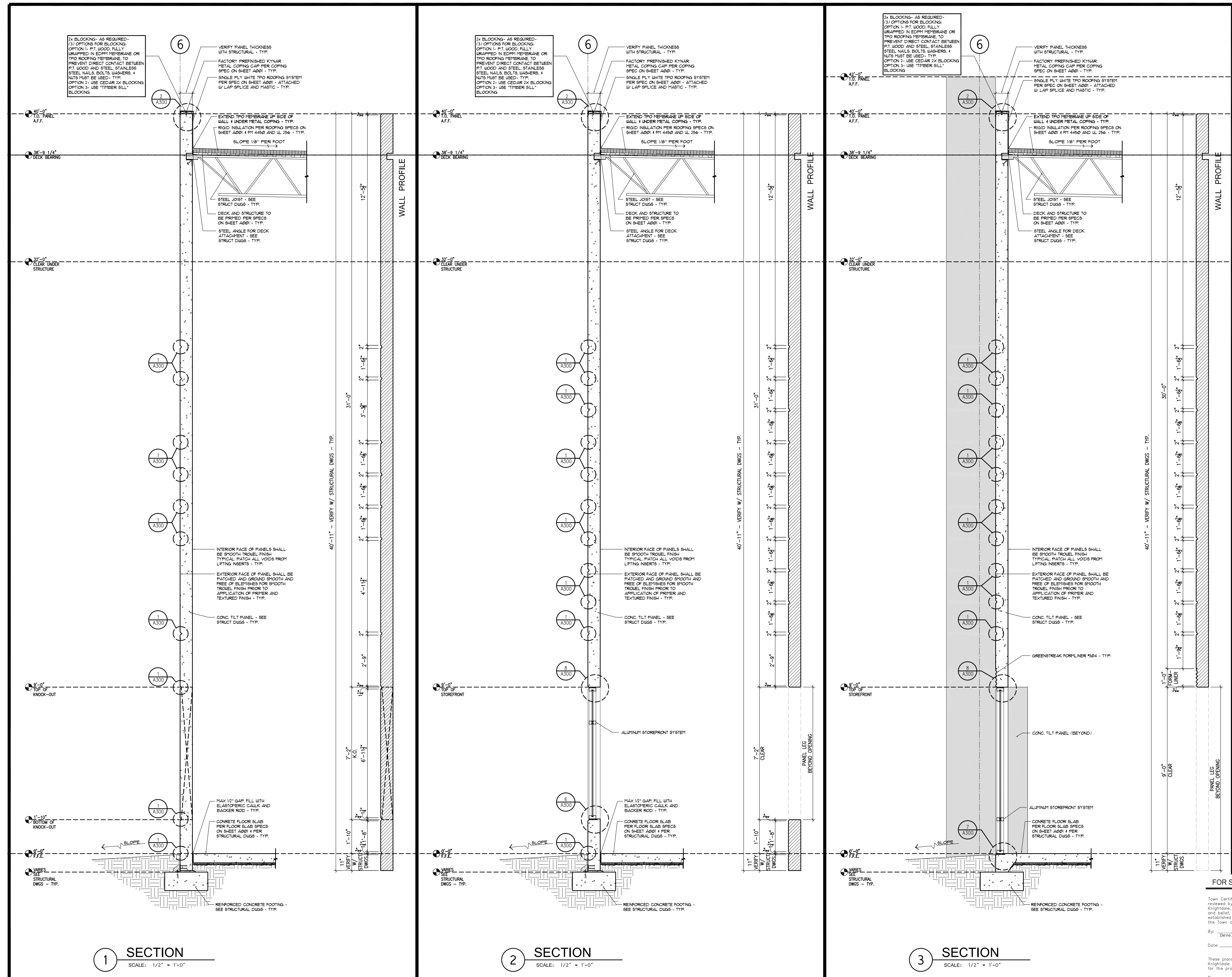
4 SIDE ELEVATION
 SCALE: 1" = 20'-0"



FOR SITE APPROVAL ONLY

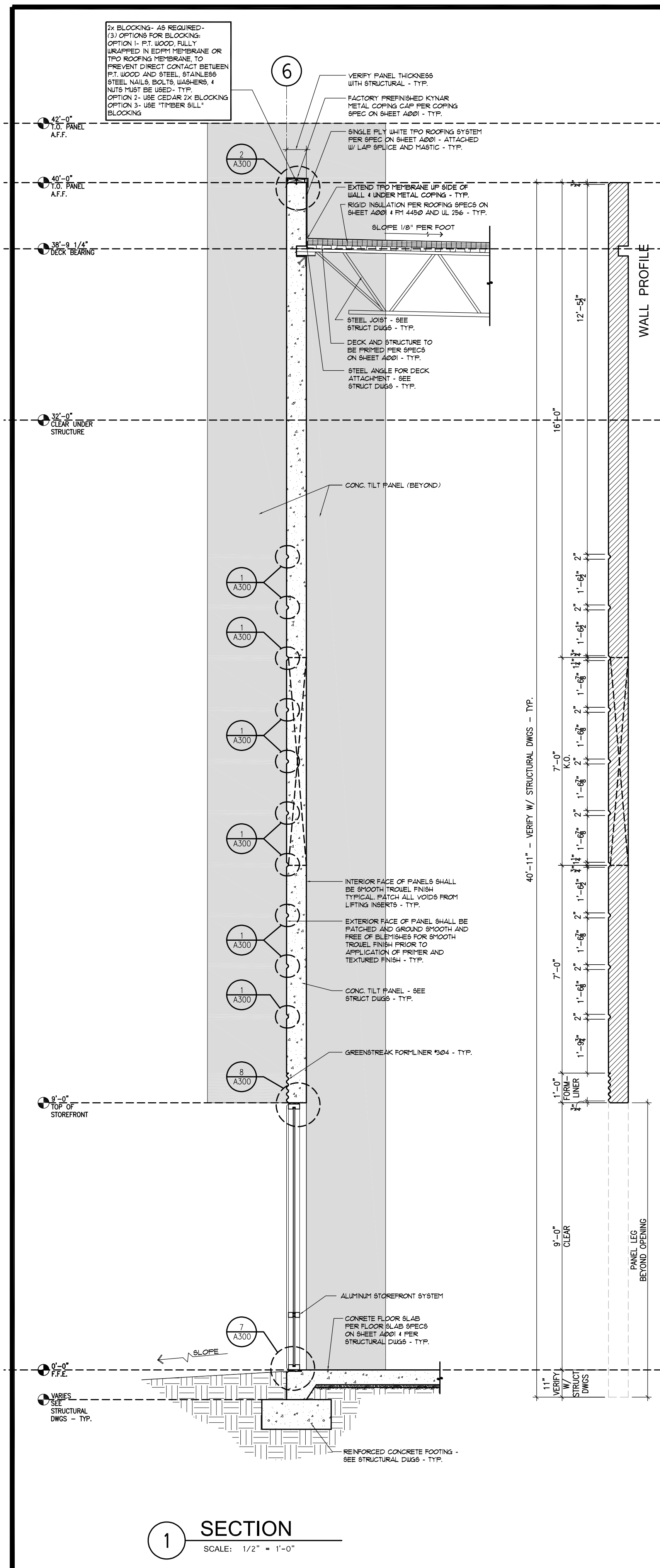
Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____
 Development Services Engineer
 Date: _____
 These plans are approved by the Town of Knightdale and serve as construction plans for the project.
 By: _____
 Administrator
 Date: _____

MIN. 32' CLEAR UNDER STRUCTURE - TYP.

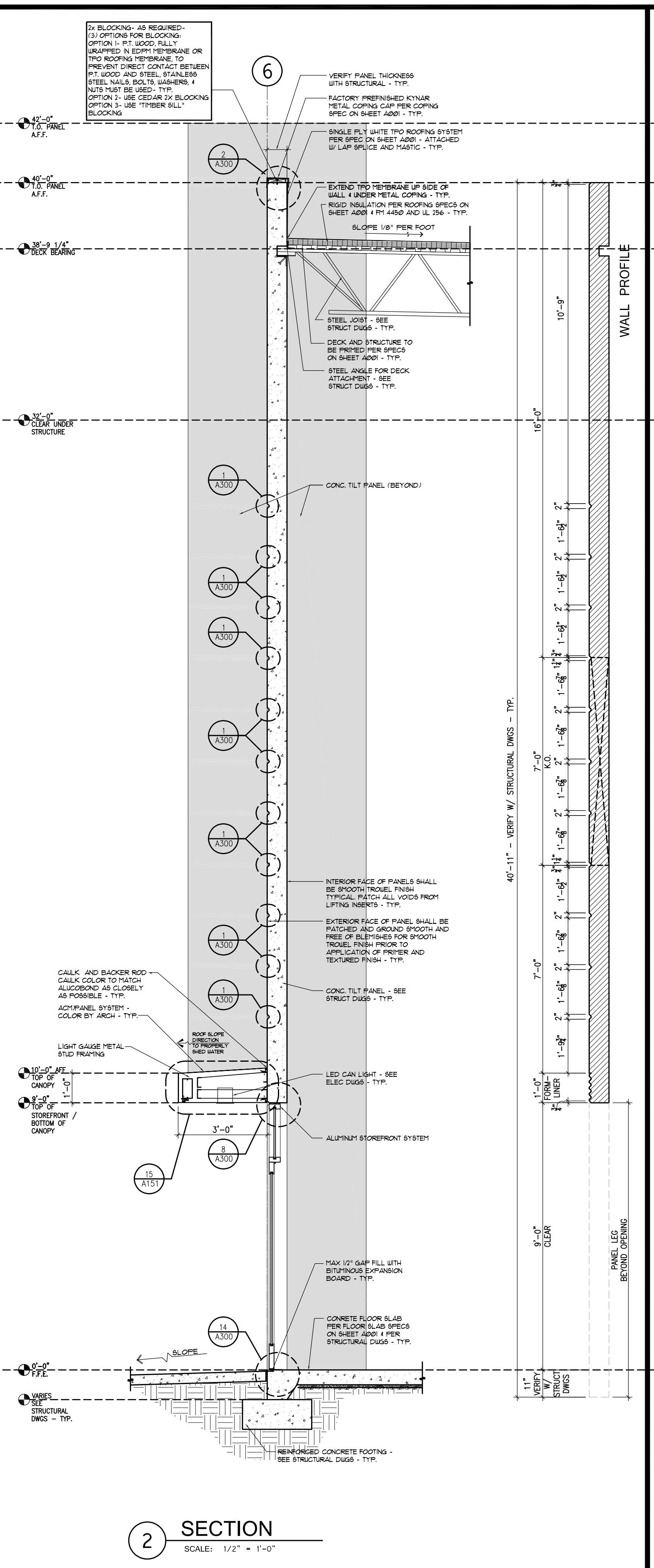


MIN. 32' CLEAR UNDER STRUCTURE - TYP.

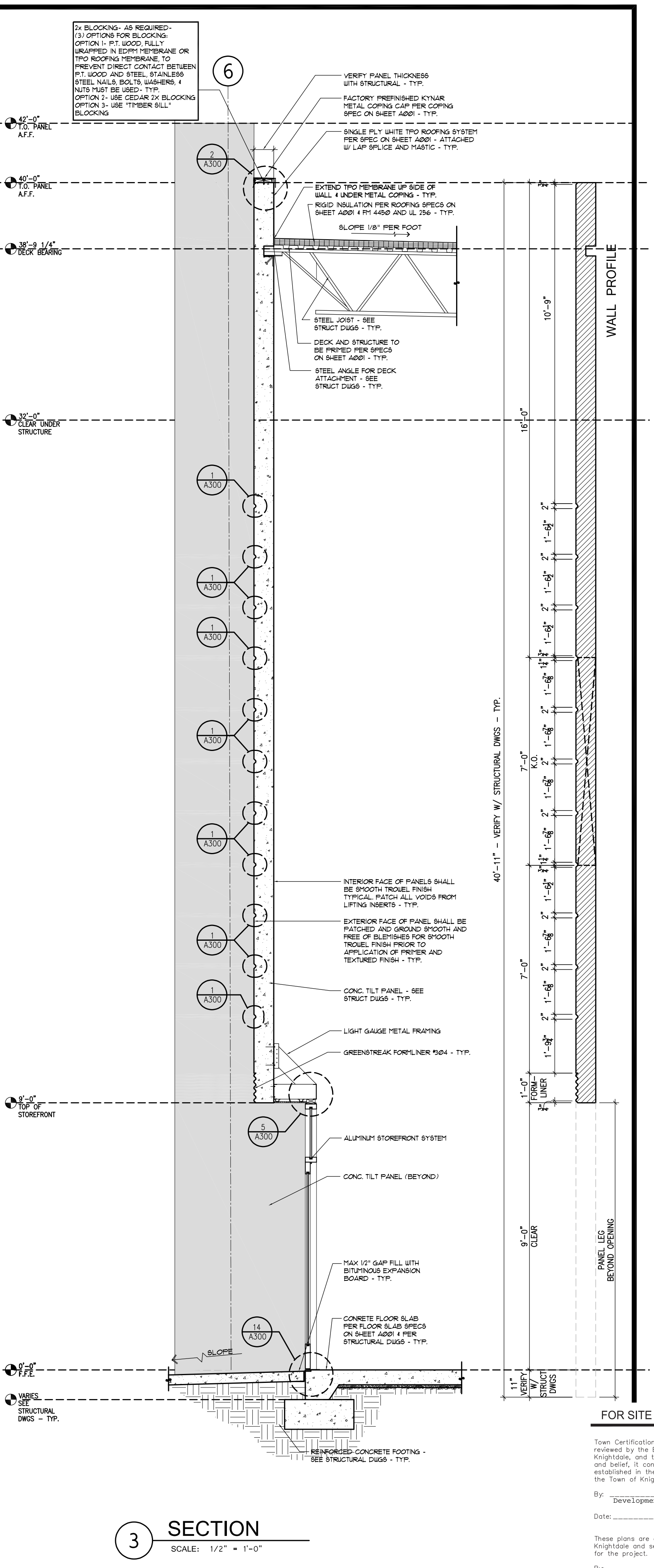
FOR SITE APPROVAL ONLY



1 SECTION
 SCALE: 1/2" = 1'-0"



2 SECTION
 SCALE: 1/2" = 1'-0"



3 SECTION
 SCALE: 1/2" = 1'-0"

FOR SITE APPROVAL ONLY

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

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MIN. 32' CLEAR UNDER STRUCTURE - TYP.

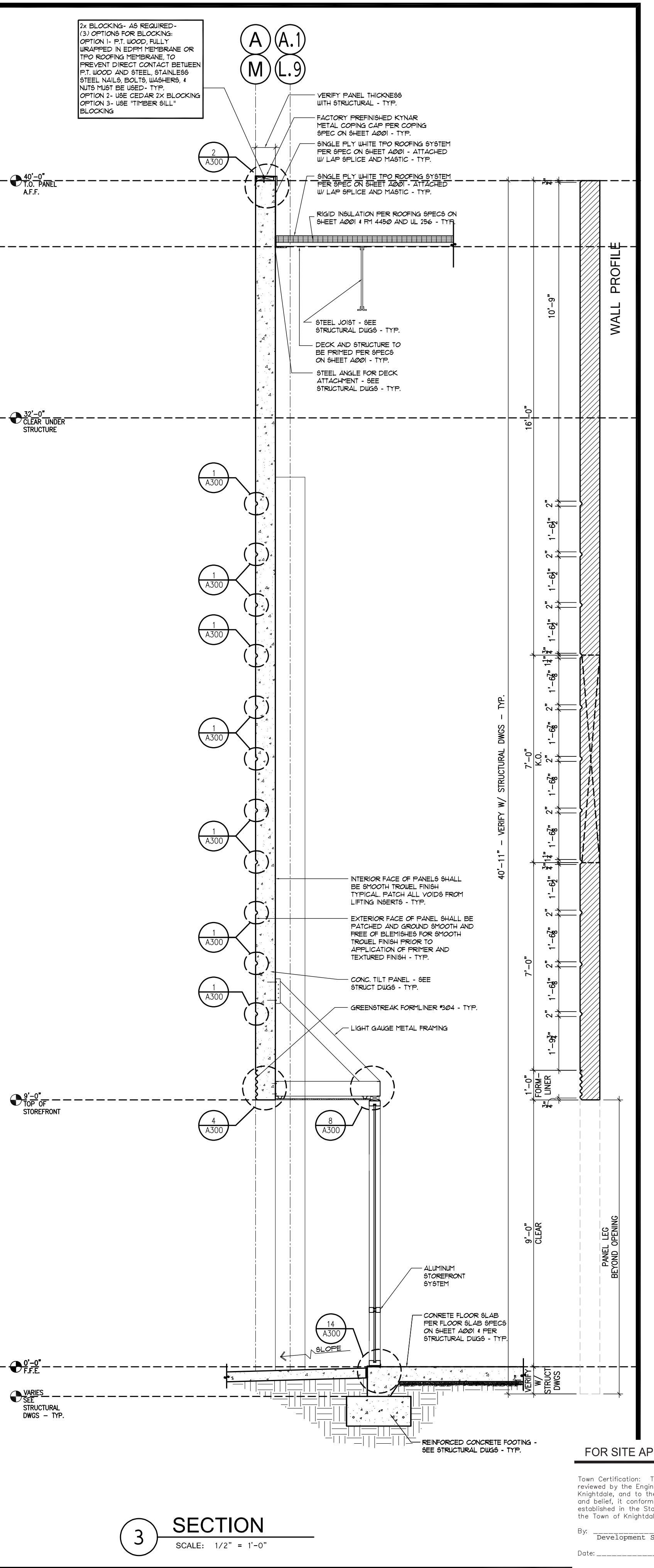
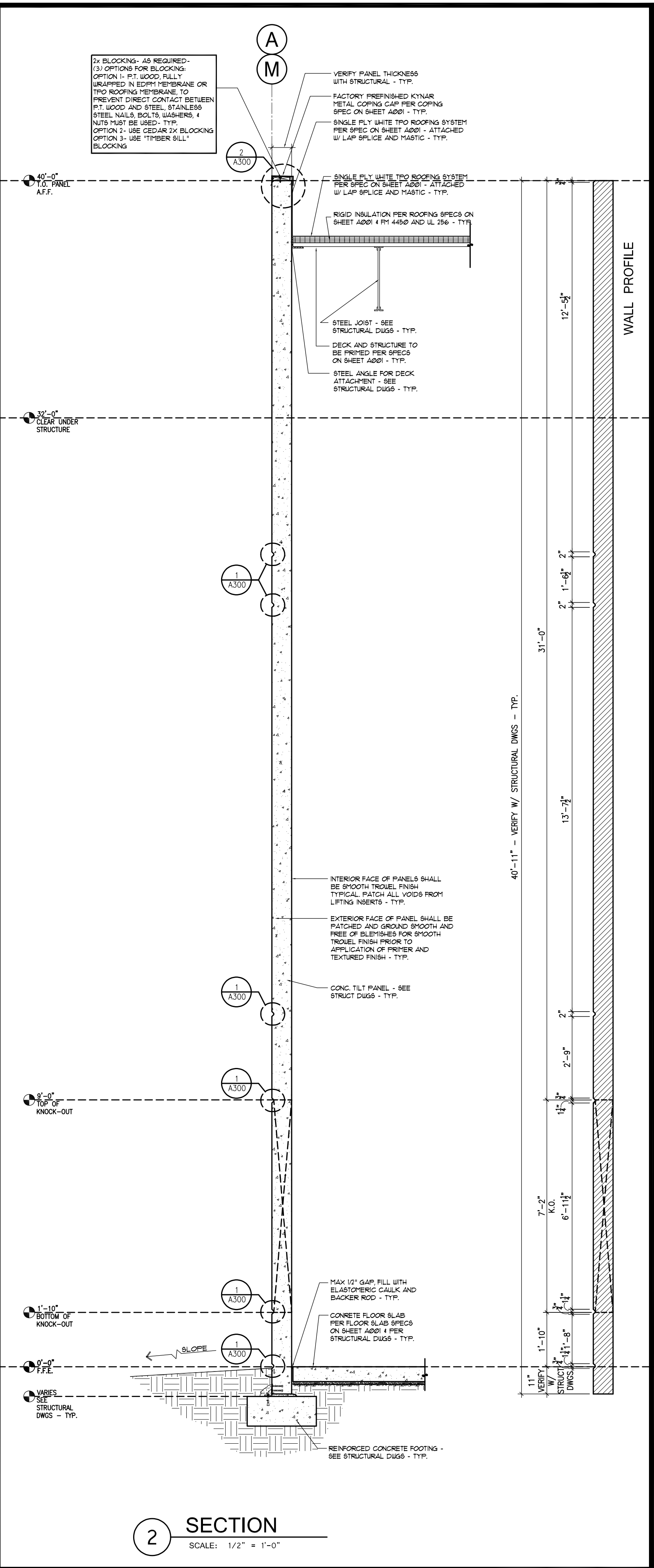
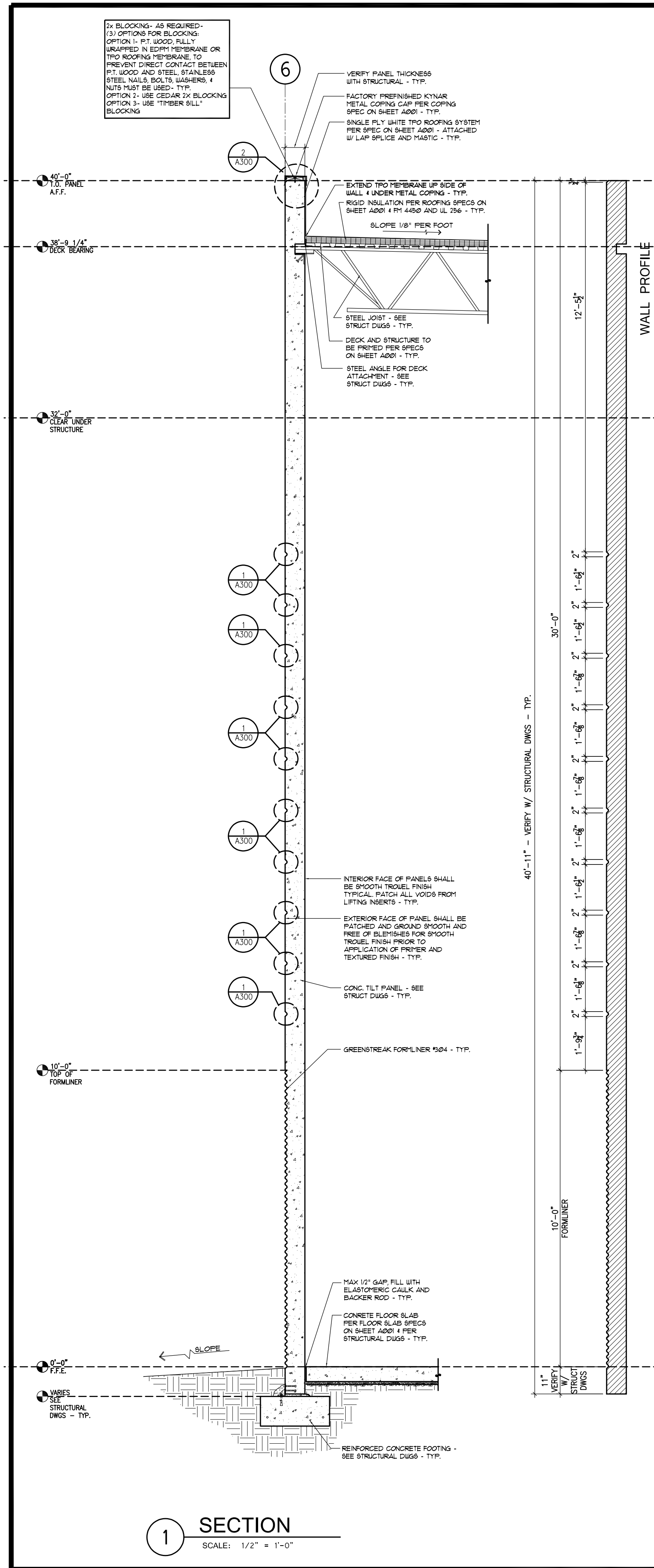
SPECULATIVE INDUSTRIAL BUILDING
EASTGATE 540 LOT 7
TRINITY CAPITAL ADVISORS
HODGE ROAD
KNIIGHTDALE, NC

DRAWING STATUS:
● PRELIMINARY
○ ISSUED FOR CONSTRUCTION
○ ISSUED FOR BIDDING
○ ISSUED FOR CONSTRUCTION

OWNER / CLIENT SIGNATURE:
DATE:

PRELIMINARY
03/16/2021

FILE NAME:
PROJECT NO.:
C20165
SHEET TITLE:
WALL SECTIONS
SHEET:
A303



FOR SITE APPROVAL ONLY

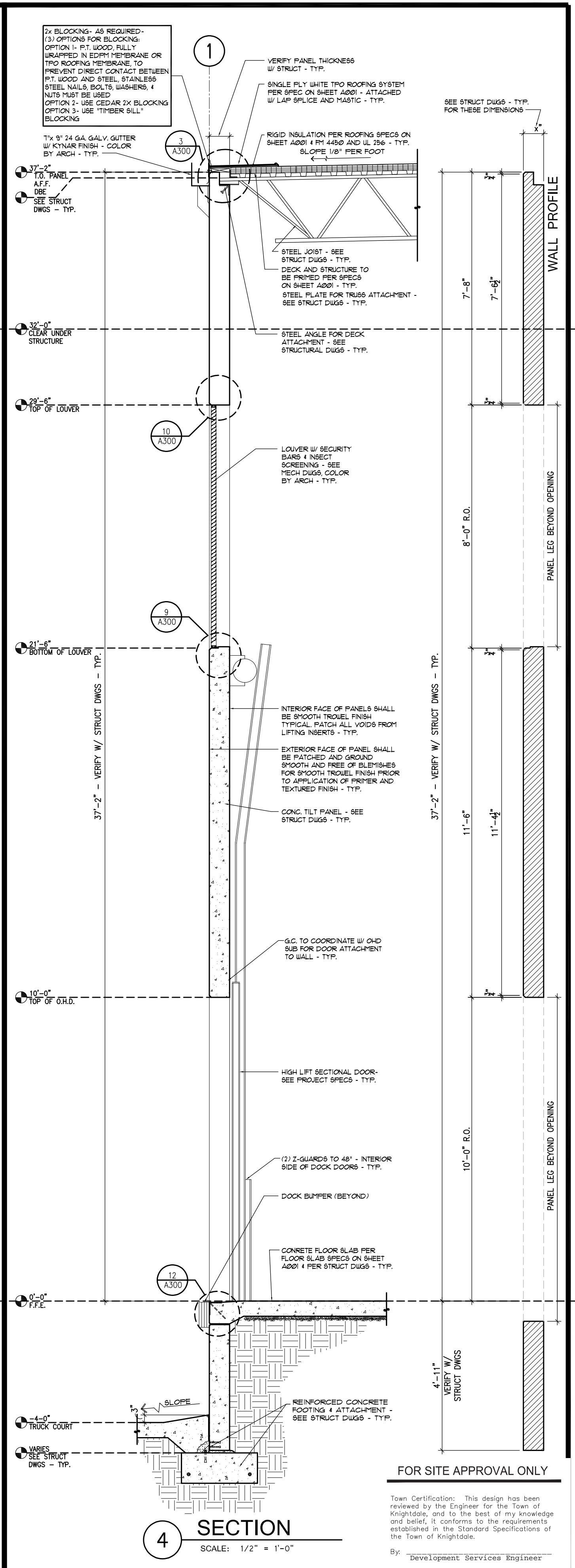
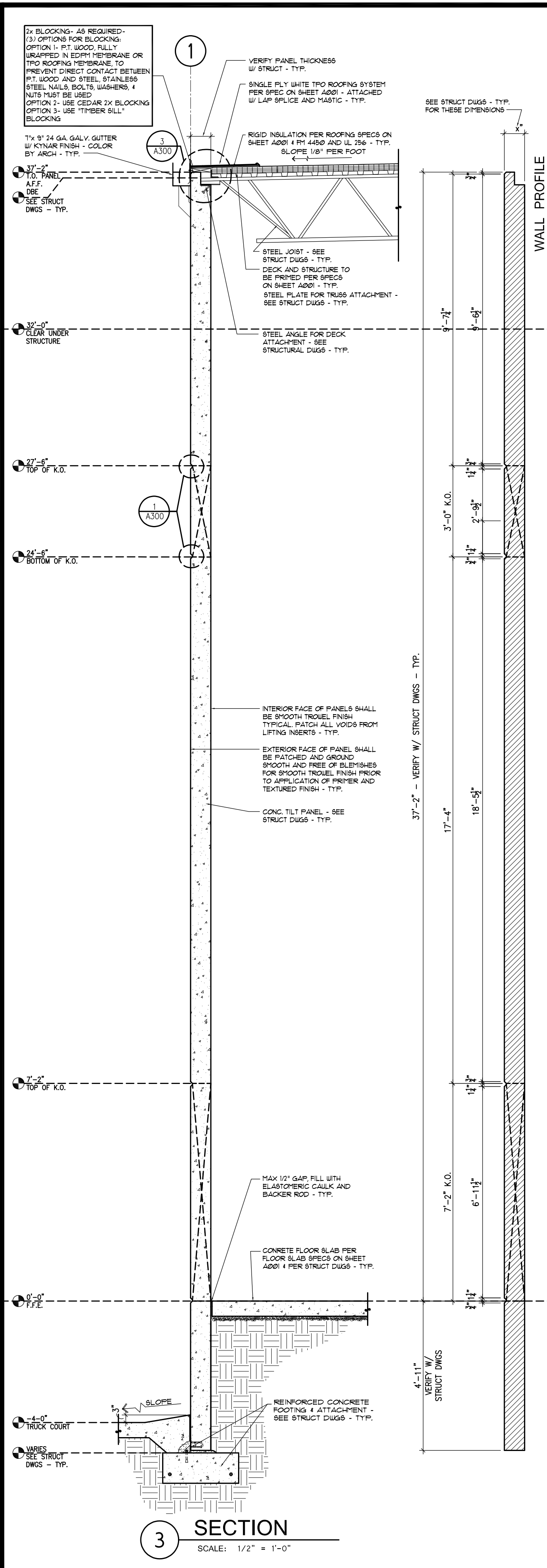
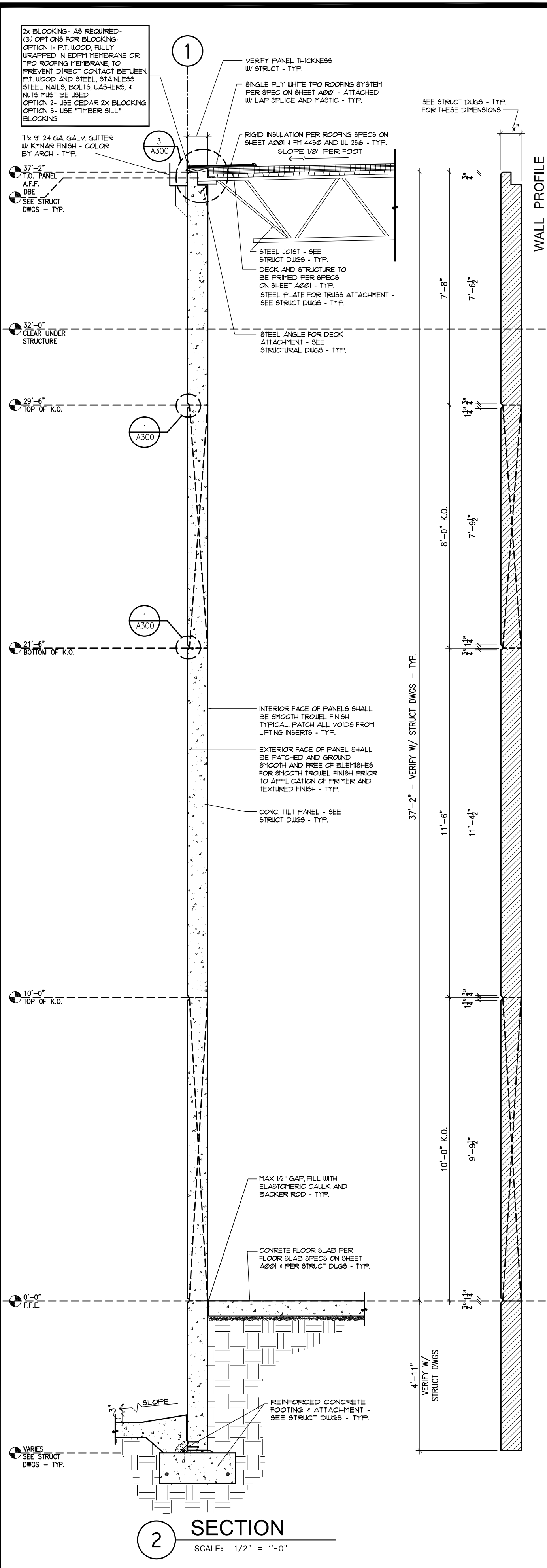
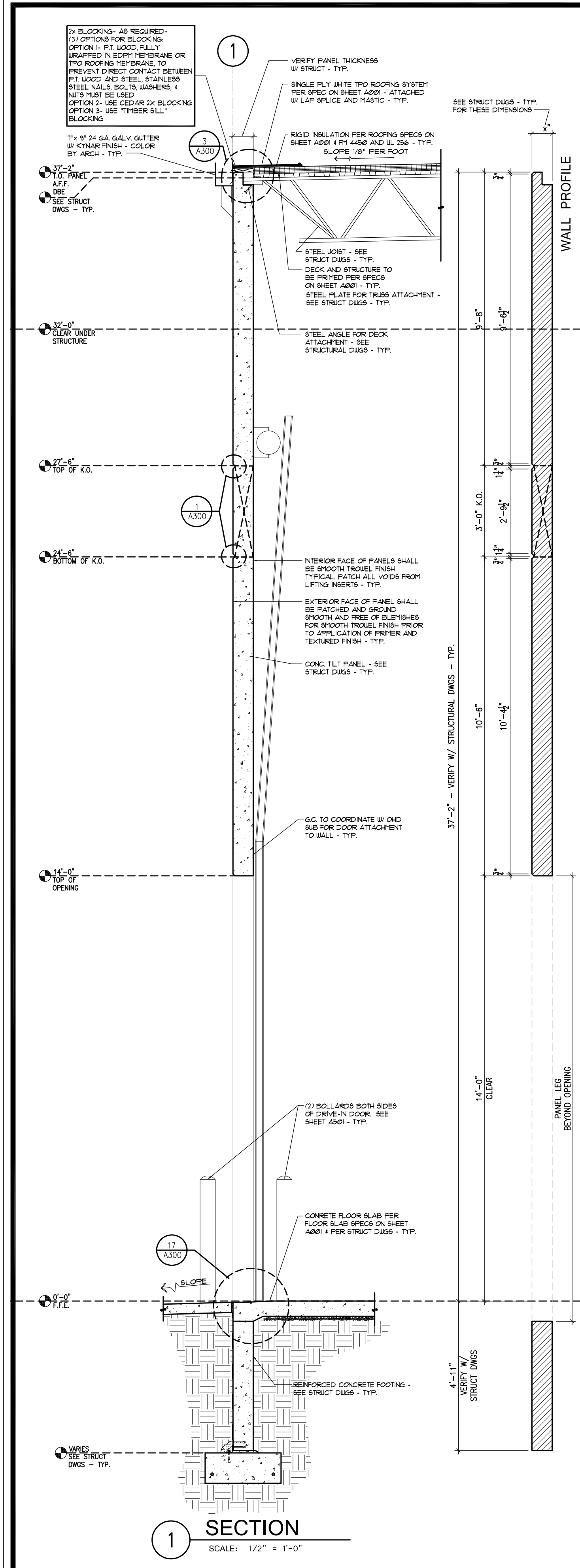
Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: Development Services Engineer
Date: _____

These plans are approved by the Town of Knightdale and serve as construction plans for the project.

By: Administrator
Date: _____

MIN. 32' CLEAR UNDER STRUCTURE - TYP.



FOR SITE APPROVAL ONLY

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By: "Development Services Engineer"
 Date: _____

These plans are approved by the Town of Knightdale and serve as construction plans for the project.

By: Administrator
 Date: _____

MIN. 32' CLEAR UNDER STRUCTURE - TYP.