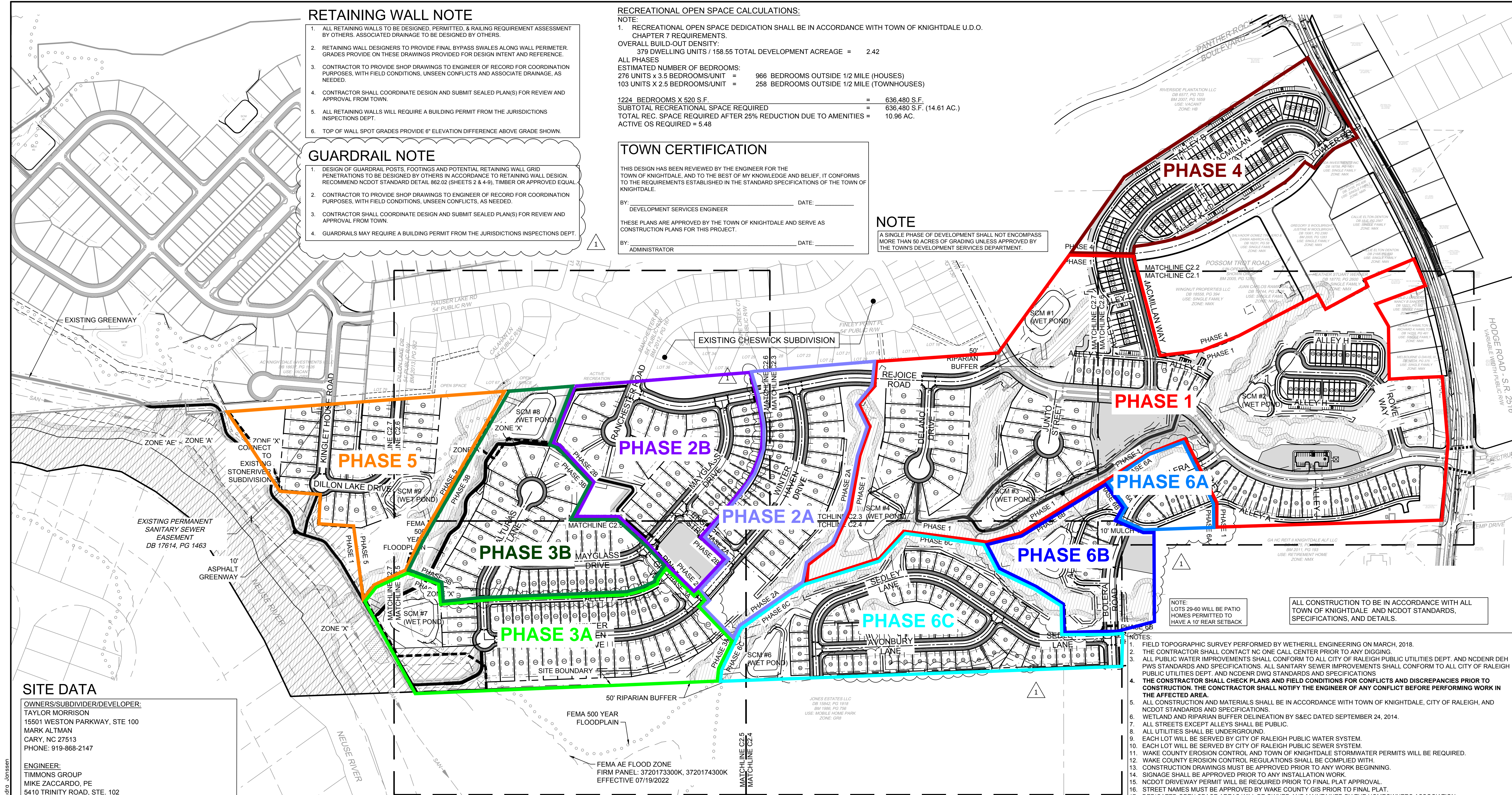


S:\331\44872-SilverStone-Silver DWG\Sheet\CD\SILVERSTONE\44872-331-SS-02-SITE.dwg by Sandra Janssen



RETAINING WALL NOTE

1. ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
2. RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDE ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
4. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
5. ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
6. TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

GUARDRAIL NOTE

1. DESIGN OF GUARDRAIL POSTS, FOOTINGS AND POTENTIAL RETAINING WALL GRID PENETRATIONS TO BE DESIGNED BY OTHERS IN ACCORDANCE TO RETAINING WALL DESIGN. RECOMMEND NCDOT STANDARD DETAIL 862.02 (SHEETS 2 & 4-9). TIMBER OR APPROVED EQUAL.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS, AS NEEDED.
3. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
4. GUARDRAILS MAY REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.

RECREATIONAL OPEN SPACE CALCULATIONS:

NOTE:
1. RECREATIONAL OPEN SPACE DEDICATION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE U.D.O. CHAPTER 7 REQUIREMENTS.
OVERALL BUILD-OUT DENSITY:
379 DWELLING UNITS / 158.55 TOTAL DEVELOPMENT ACREAGE = 2.42
ALL PHASES
ESTIMATED NUMBER OF BEDROOMS:
276 UNITS X 3.5 BEDROOMS/UNIT = 966 BEDROOMS OUTSIDE 1/2 MILE (HOUSES)
103 UNITS X 2.5 BEDROOMS/UNIT = 258 BEDROOMS OUTSIDE 1/2 MILE (TOWNHOUSES)
1224 BEDROOMS X 520 S.F. = 636,480 S.F.
SUBTOTAL RECREATIONAL SPACE REQUIRED = 636,480 S.F. (14.61 AC.)
TOTAL REC. SPACE REQUIRED AFTER 25% REDUCTION DUE TO AMENITIES = 10.96 AC.
ACTIVE OS REQUIRED = 5.48

TOWN CERTIFICATION

THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.
BY: _____ DATE: _____
DEVELOPMENT SERVICES ENGINEER
THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.
BY: _____ DATE: _____
ADMINISTRATOR

NOTE

A SINGLE PHASE OF DEVELOPMENT SHALL NOT ENCOMPASS MORE THAN 50 ACRES OF GRADING UNLESS APPROVED BY THE TOWN'S DEVELOPMENT SERVICES DEPARTMENT.

SITE DATA

OWNERS/SUBDIVIDER/DEVELOPER:
TAYLOR MORRISON
15501 WESTON PARKWAY, STE 100
MARK ALTMAN
CARY, NC 27513
PHONE: 919-868-2147

ENGINEER:
TIMMONS GROUP
MIKE ZACCARDO, PE
5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
PHONE: 919-532-3281
EMAIL: MIKE.ZACCARDO@TIMMONS.COM

PIN = 1743-01-5982
DB = 18933 PG = 1356

FIRM MAP# = 3720173300K & 3720174300K, EFFECTIVE 07/19/2022

TOTAL EXISTING TRACT ACREAGE = 164.32 acres
TOTAL PROPOSED RIGHT OF WAY DEDICATION = 1,150,799 SF (26.42 AC)

R.O.W. PREVIOUSLY DEDICATED (HARDIN HILL) = 159,583 SF (3.66 AC)

ZONING = PRD, NM, UR12 (GENERAL RESIDENTIAL)

OVERALL BUILD-OUT DENSITY:
379 DWELLING UNITS / 158.55 TOTAL DEVELOPMENT ACREAGE = 2.42

TOTAL LENGTH OF PUBLIC STORMWATER LINE
15" RCP = 7,551 LF 36" RCP = 2,429 LF
18" RCP = 5,792 LF 42" RCP = 204 LF
24" RCP = 5,271 LF
30" RCP = 2,359 LF

PROVIDED OPEN SPACE CALCULATIONS & DESCRIPTIONS

		LENGTH (LF)	ACTIVE RECREATION AREA (AC)	PASSIVE RECREATION AREA (AC)
1	PUBLIC OPEN SPACE DEDICATION ALONG NEUSE (20.50 AC. TOTAL, 7.52 AC IN RIVER, 1.00 AC IN GREENWAY EASEMENT & 11.98 AC IN PASSIVE OS.			12.95
2	TOWN GREENWAY ALONG NEUSE RIVER (REQUIRED) 10' WIDE LOCATED WITHIN PUBLIC OPEN SPACE DEDICATION (AREA INCLUDED WITH #1 ABOVE)	1440	1.00	
3	TOWN GREENWAY CONNECTORS TO NEUSE GREENWAY (VOLUNTARY) 10' WIDE LOCATED WITHIN 30' PUBLIC GREENWAY EASEMENT	2560		1.76
4	TOWN GREENWAY CONNECTORS TO NEUSE GREENWAY (VOLUNTARY) 10' WIDE LOCATED WITHIN 30' PUBLIC GREENWAY EASEMENT	580		0.40
5	RESORT STYLE AMENITY AREA (ACTIVE) WITH A (MINIMUM) 1000 SF DECK (MIN) & CLUBHOUSE & AN IPEMA CERTIFIED PLAYGROUND EQUIPMENT		2.12	
6	ACTIVE OPEN SPACE AREA ALONG HARDIN HILL LANE FOR DOG PARK.		0.86	
7	ACTIVE OPEN SPACE TO PROVIDE PLAYGROUND EQUIPMENT, OPEN PLAY AREA AND CENTRALLY LOCATED GATHERING SPACE WITH CONVENIENT ON-STREET OVERFLOW PARKING.		1.00	
8	ACTIVE OPEN SPACE AREA TO PROVIDE PLAYGROUND OR VOLLEYBALL COURT		0.50	0.00
TOTAL		4580	5.48	15.11
OPEN SPACE PROVIDED TOTAL			20.59 AC (28.11 INCLUDING NEUSE RIVER)	

Building Type (CH 9):	House	Townhouse	Civic & Institutional
Lot Width (a) (Min)	30 ft	n/a	100 ft
Front Setback (a) (Min)	10 ft	0 ft	10 ft
Front Setback (a) (Max)	n/a	25 ft	n/a
Front Yard Encroachment (b)	8 ft	(c)	10 ft
Minimum Driveway Length	20 ft	n/a	n/a
Side Setback (c) (Min)	20% of lot width (d)	10 ft between buildings	15 ft
Rear Setback (c) (Min)	25 ft	n/a	30 ft
Rear Setback from Rear Lane/Alley (c) (Min)	20 ft from centerline	15 ft from centerline	n/a
Accessory Structure Side/Rear Setback (Min)	5 ft	5 ft	5 ft
Maximum Height (f)	3 stories	3 stories	3 stories

Notes:
(a) For lots less than 80 feet wide, alley/rear lane access to all off-street parking areas is required, except when such lots front onto an approved cul-de-sac, in which case shared driveways shall be required. For lots less than 80 feet wide where no alley/rear lane access exists, shared driveways shall be required. For lots 80 feet wide or greater, access to off-street parking is permitted from the fronting street or rear lane/alley.
(b) Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback (Section 4.4).
(c) For lots that provide access to off-street parking from a rear lane/alley.
(d) For lots 60' in width or greater: Side setbacks are calculated as an aggregate setback. However, a five (5) foot minimum setback per side shall be maintained.
(e) For lots less than 60' in width: Side setbacks are calculated as an aggregate setback. However, a three (3) foot minimum setback per side shall be maintained. Also, in new developments with zero lot line products, the entire 20% side setback may be allocated to one (1) side provided that the side setback condition is identical for all lots along the same block face. In addition, for zero lot line developments, a minimum of six (6) feet of total building separation is required.
(f) Upper story balconies may encroach into the right-of-way (rear sidewalk) only with permission from the Administrator.
(g) Refer to Section 4.5 for computation of height.

LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PERIMETER BUFFER
---	PROPOSED LOT LINE
---	BUILDING SETBACK
---	PROPOSED ROAD CENTER
---	PHASE LINE
---	DRAINAGE EASEMENT
---	SANITARY SEWER EASEMENT
---	POWER LINE EASEMENT
---	NATURAL GAS EASEMENT
---	EXISTING WETLANDS
---	NEUSE RIPARIAN BUFFER
---	PRIMARY OPEN SPACE
---	SECONDARY OPEN SPACE
---	PROPOSED 4' FENCE
---	PROPOSED SIDEWALK
---	PROPOSED ASPHALT GREENWAY
---	PROPOSED MULCH TRAIL
---	LANDSCAPE BUFFER
---	30" STANDARD CURB & GUTTER



Know what's below.
Call before you dig.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the City's best practices with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____

Raleigh Water Review Officer _____

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # _____ S-4545.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # _____ W-3871.

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # _____

FOR REVIEW
ONLY

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.533.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
04/21/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 200'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
SILVERSTONE SUBDIVISION
KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

OVERALL SITE PLAN

JOB NO.

44872

SHEET NO.

C2.0

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