

**SITE DATA:**  
 TAX MAP: 1743206352  
 ADDRESS: N/A  
 SITE AREA: ±17.93 AC  
 JURISDICTION: KNIGHTDALE, NC  
 ZONING: HB  
 BUILDING AREA: 97,521 S.F.

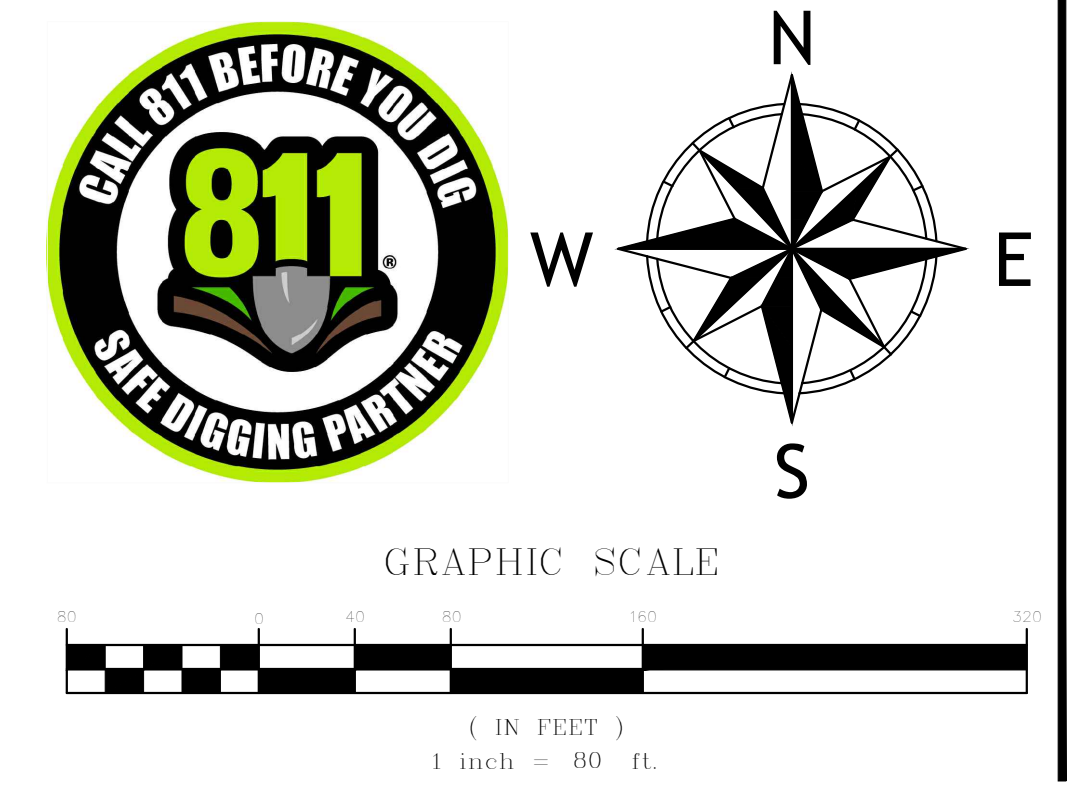
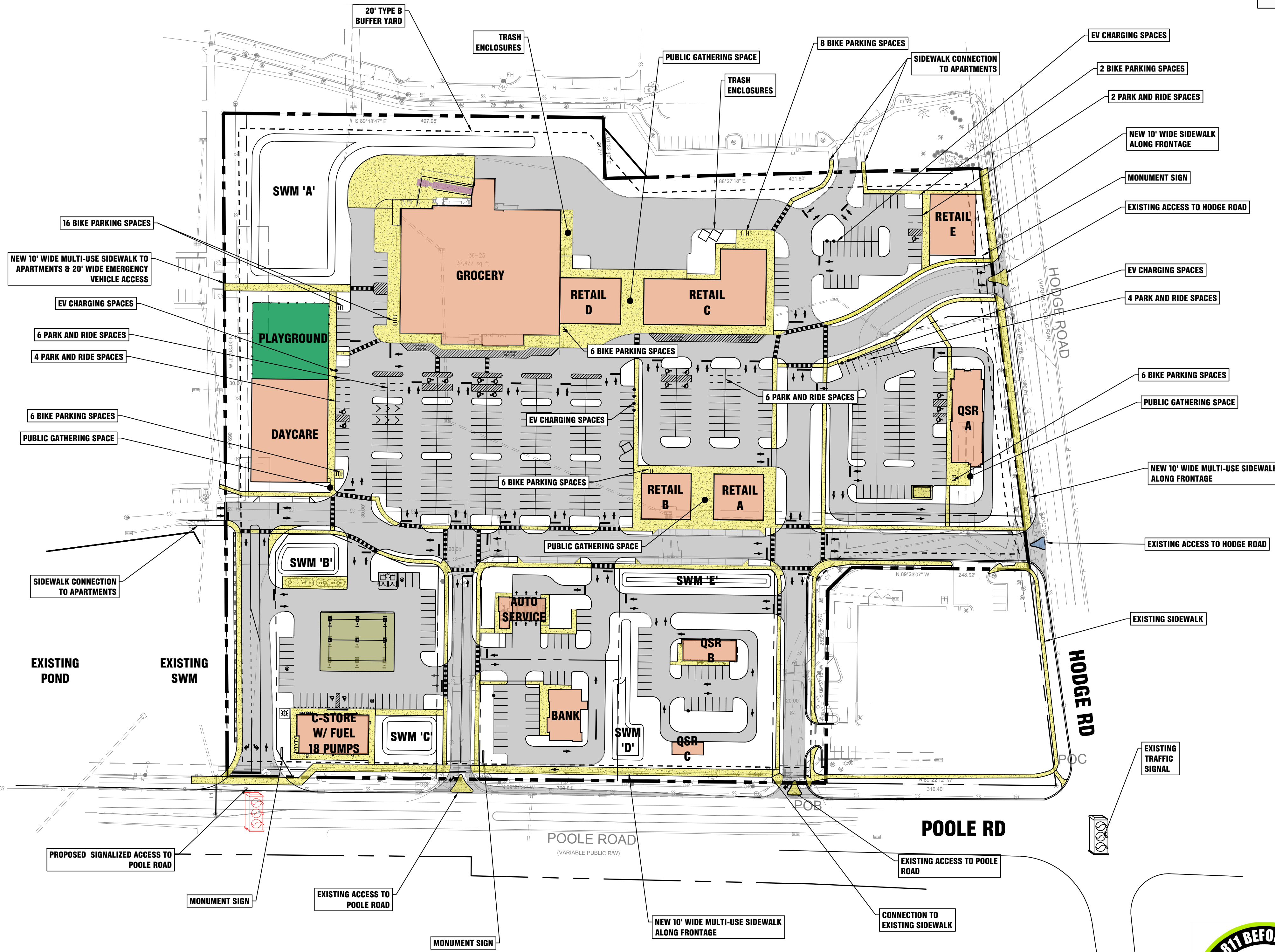
**PARKING CALCULATIONS:**  
 PARKING REQUIRED:  
 - SHOPPING CENTER - COMMUNITY CENTER (4.5 PER 1000 S.F.) = 439 SPACES  
 PARKING PROVIDED:  
 - 467 SPACES  
 BIKE PARKING SPACES:  
 - REQUIRED: 47  
 - PROVIDED: 50  
 ELECTRIC VEHICLE:  
 - REQUIRED: 12  
 - PROVIDED: 12  
 PARK AND RIDE  
 - REQUIRED: 22  
 - PROVIDED: 22

**LEGEND**

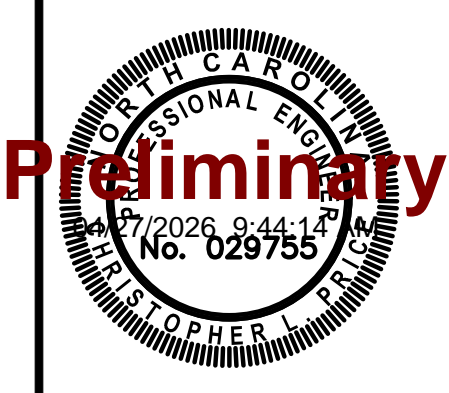
---	PROPERTY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINE
SB	STREAM BANK
WB	WETLAND BUFFER
LC	LIMITS OF CONSTRUCTION/DISTURBANCE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
⊙	WATER MANHOLE
⊙	DRAINAGE MANHOLE (EXISTING)
⊙	DRAINAGE MANHOLE (PROPOSED)
⊙	CATCH BASIN (EXISTING)
⊙	CATCH BASIN (PROPOSED)
---	HEADWALL (PROPOSED)
---	FLARED END PIPE (PROPOSED)
---	STORM DRAINAGE PIPE (EXISTING)
---	STORM DRAINAGE PIPE (PROPOSED)
---	SANITARY SEWER LINE (EXISTING)
---	SANITARY SEWER LINE (PROPOSED)
---	SANITARY SEWER MANHOLE (EXISTING)
---	SANITARY SEWER MANHOLE (PROPOSED)
---	WATER LINE (EXISTING)
---	WATER LINE (PROPOSED)
---	GAS LINE (EXISTING)
---	GAS LINE (PROPOSED)
---	UNDERGROUND TELEPHONE
---	UNDERGROUND FIBER OPTIC LINE (EXISTING)
---	UNDERGROUND FIBER OPTIC LINE (PROPOSED)
---	UNDERGROUND ELECTRIC (EXISTING)
---	UNDERGROUND ELECTRIC (PROPOSED)
---	OVERHEAD POWER (EXISTING)
---	OVERHEAD POWER (PROPOSED)
---	WATER METER
---	WATER VALVE
---	HYDRANT (EXISTING)
---	HYDRANT (PROPOSED)
---	LIGHT POLE (EXISTING)
---	UTILITY POLE (EXISTING)
---	TRAFFIC SIGNAL POLE
---	SIGN
---	TELEPHONE PEDESTAL
---	TRAFFIC SIGNAL BOX
---	IRON PIN-REBAR FOUND

**PAVEMENT LEGEND**

ASPHALT	---
CONCRETE	---



Riverview Commons  
 @ Poole & Hodge  
 Intersection of Poole & Hodge Rd  
 Knightdale, NC 27545



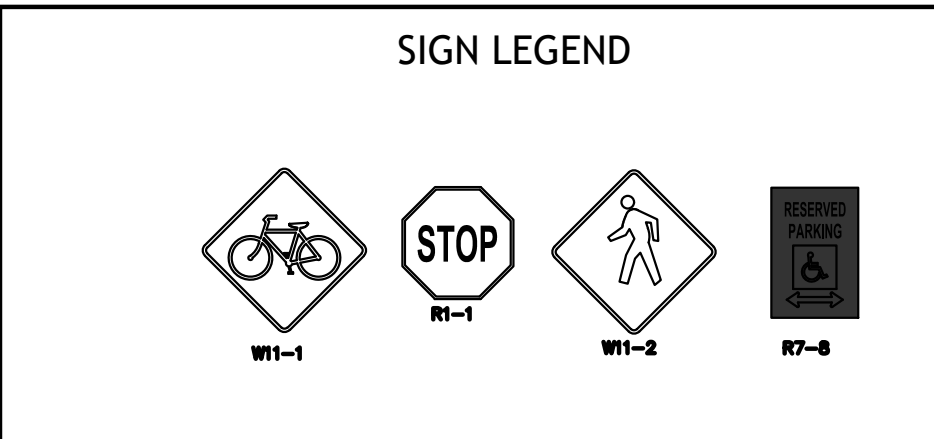
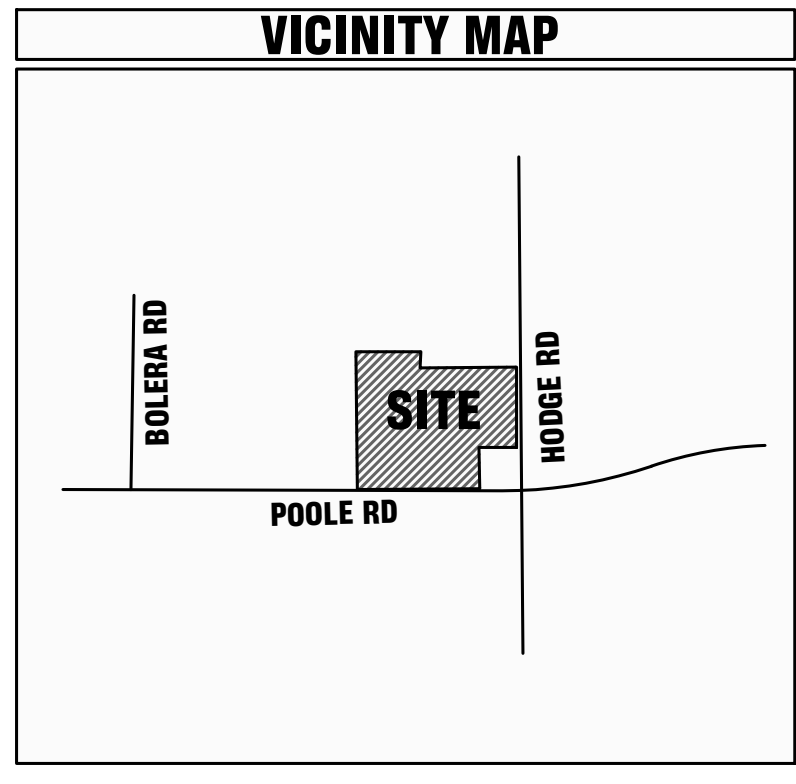
Bluewater Civil Design, PLLC  
 NC-P-0868

PLN REVISION	ISSUE DATE	ISSUE COMMENT
A	04/27/2025	Master Plan Submittal

SITE PLAN  
**C101**

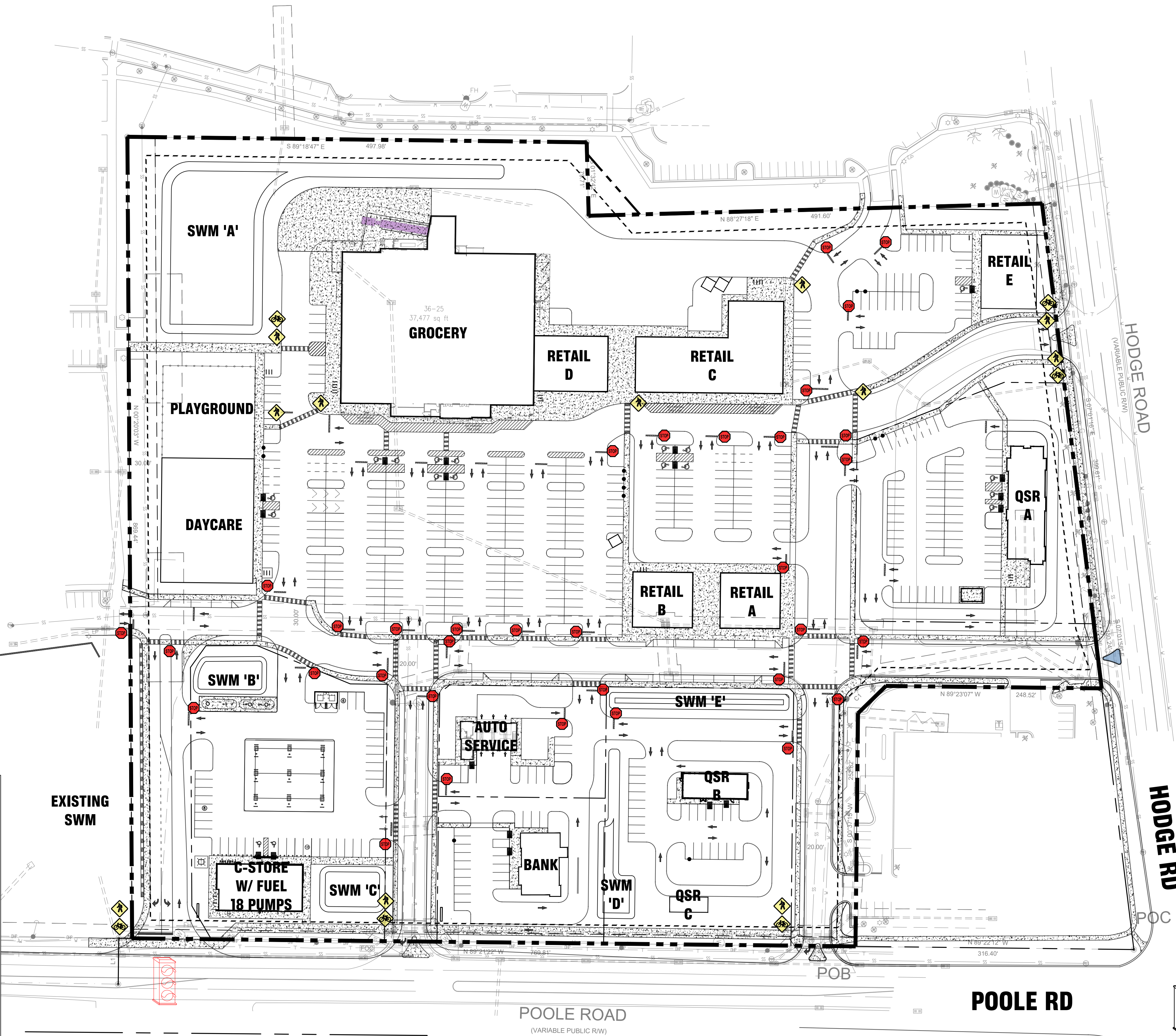


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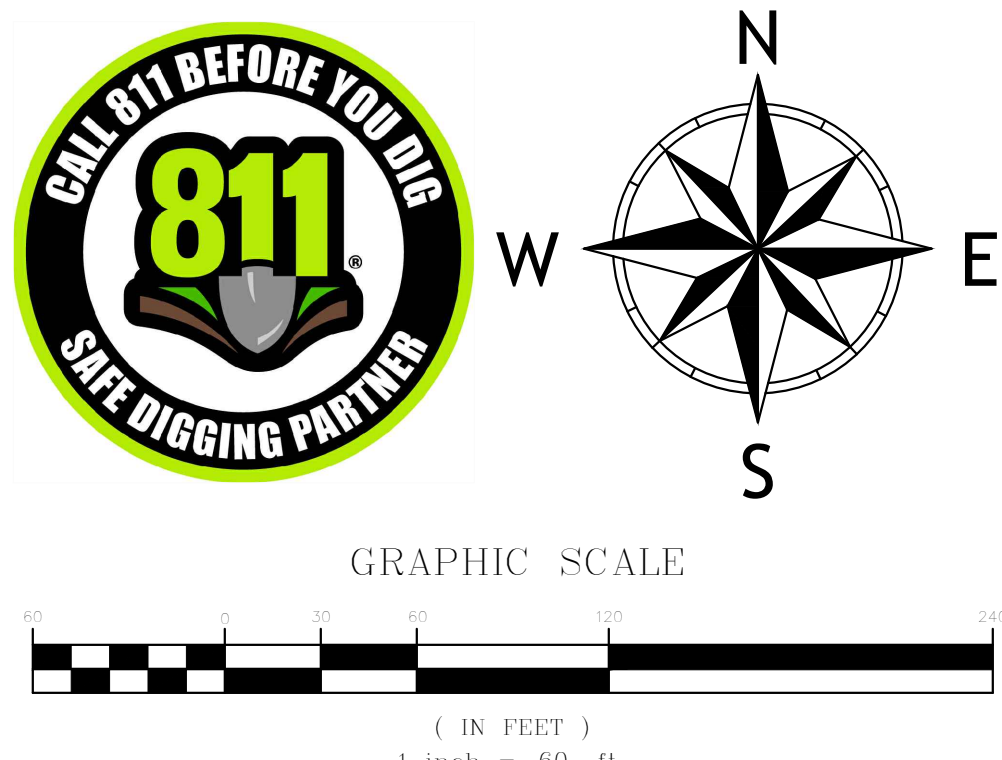
**STRIPING NOTES:**

- ALL MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUTCD STANDARDS, INCLUDING COLOR, LETTER HEIGHT, AND LETTER CASE OF THE STREET NAME SIGNS.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- ANY EXISTING PAVEMENT STRIPING THAT IS IN CONFLICT WITH THE PROPOSED STRIPING SHOWN ON THIS PLAN SHALL BE REMOVED.



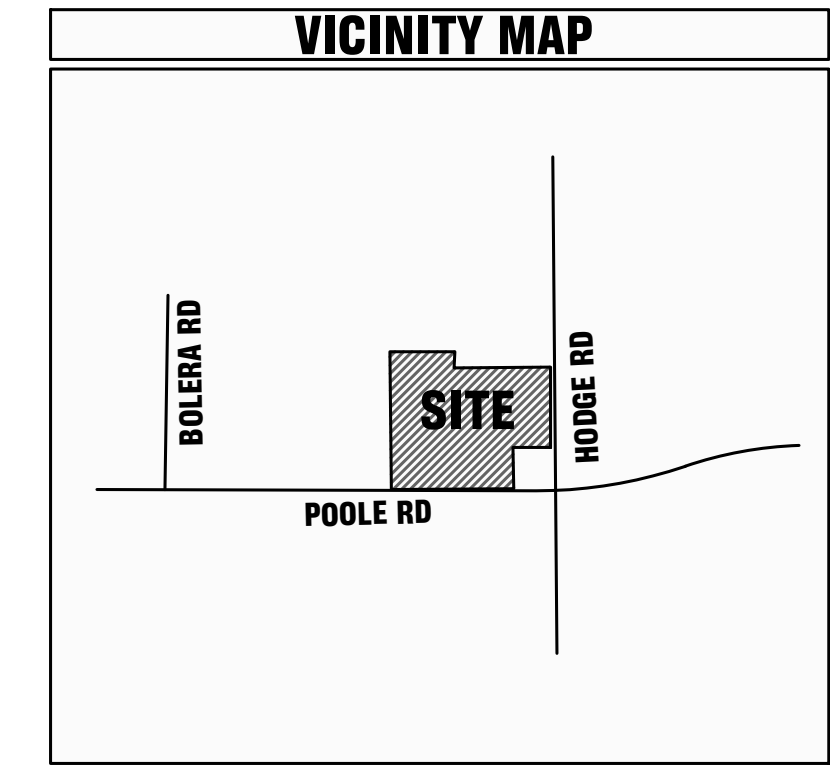
**LEGEND**

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LC	LIMITS OF CONSTRUCTION/DISTURBANCE
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SD	STORM DRAINAGE PIPE (PROPOSED)
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SS	SANITARY SEWER LINE (PROPOSED)
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SM	SANITARY SEWER MANHOLE (PROPOSED)
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GAS	GAS LINE (EXISTING)
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OHP	OVERHEAD POWER (PROPOSED)
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⊙	WATER VALVE
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⊙	HYDRANT (PROPOSED)
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⊙	UTILITY POLE (EXISTING)
⊙	TRAFFIC SIGNAL POLE
⊙	SIGN
⊙	TELEPHONE PEDESTAL
⊙	TRAFFIC SIGNAL BOX
⊙	IRON PIN-REBAR FOUND





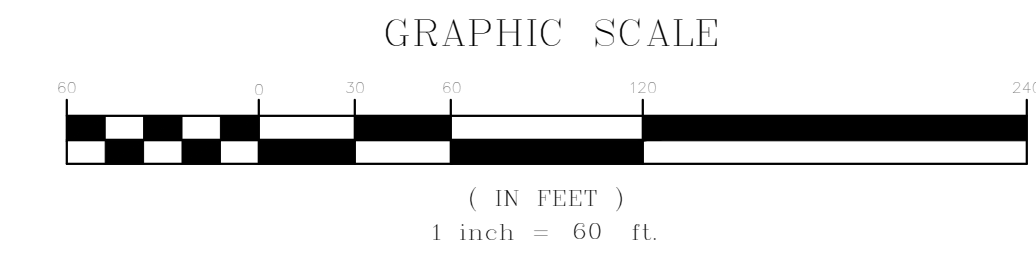
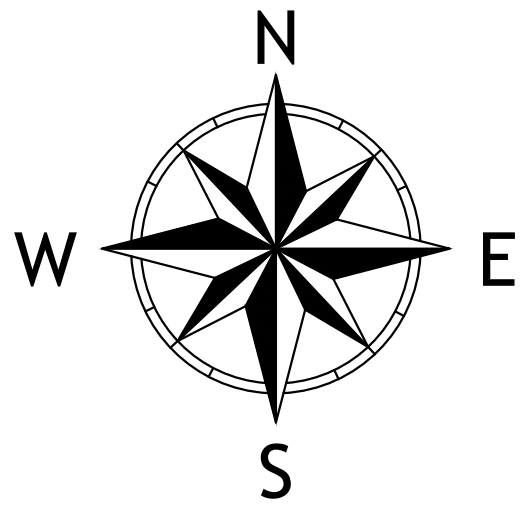
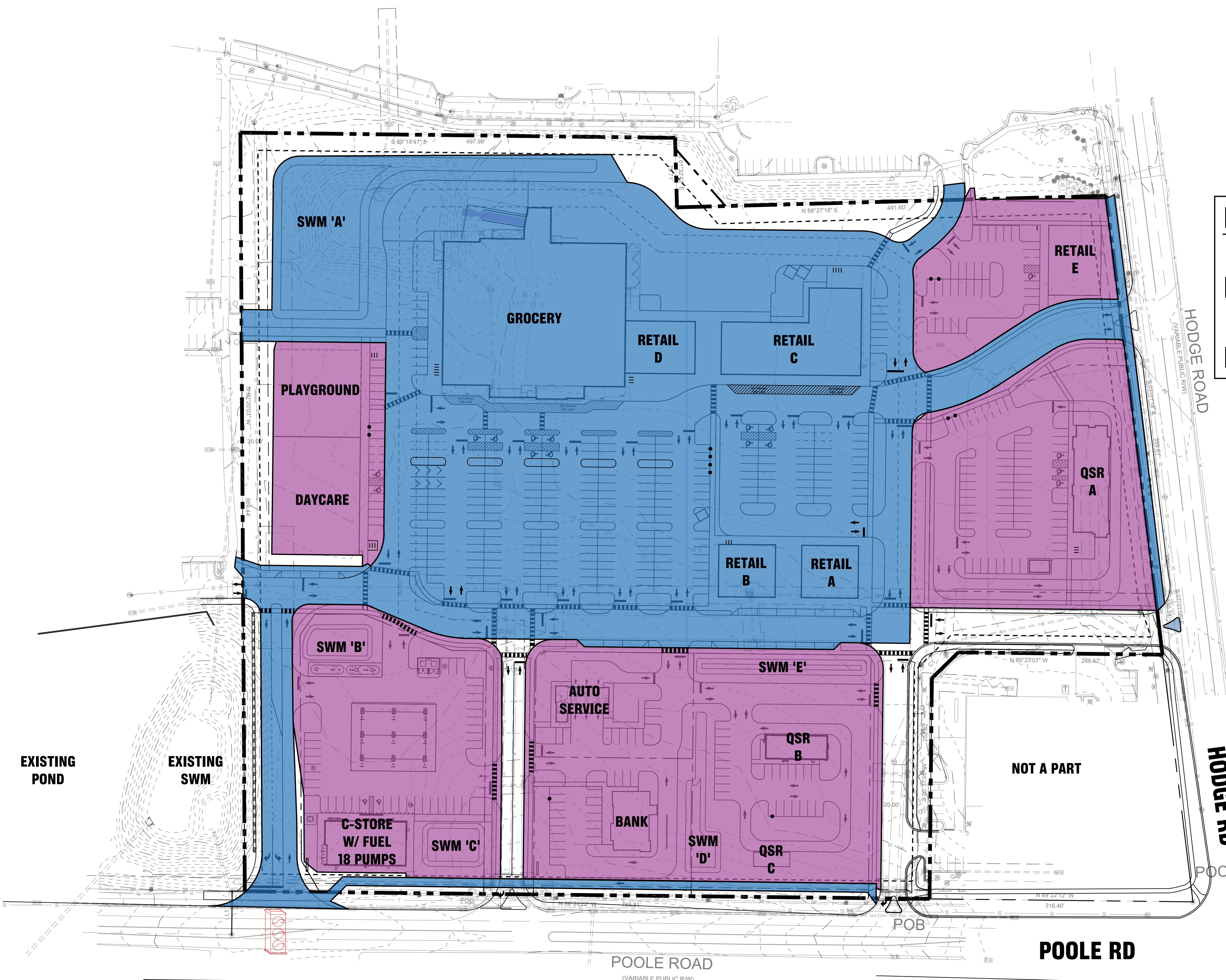
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### PHASING PLAN LEGEND

PHASE 1

PHASE 2



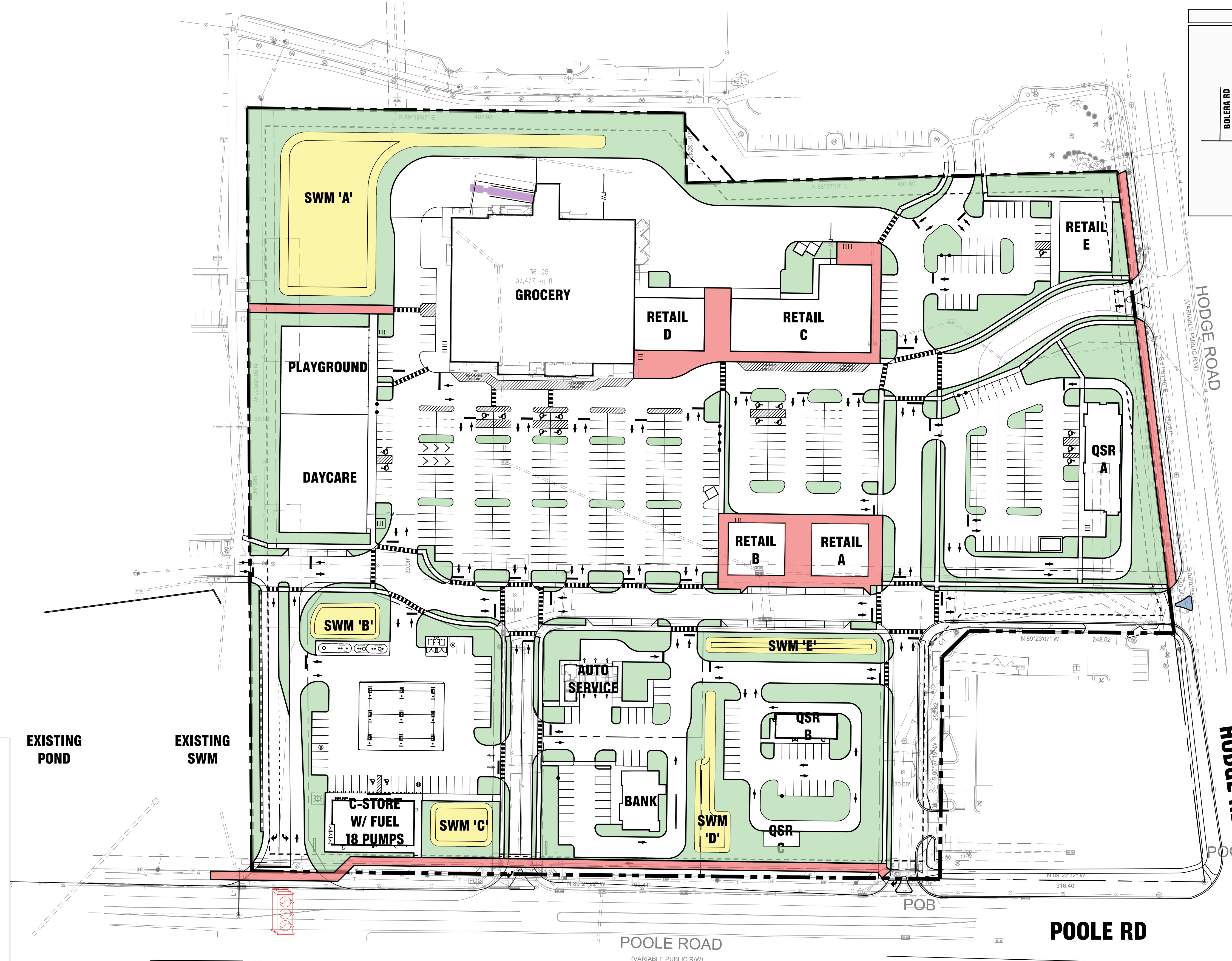
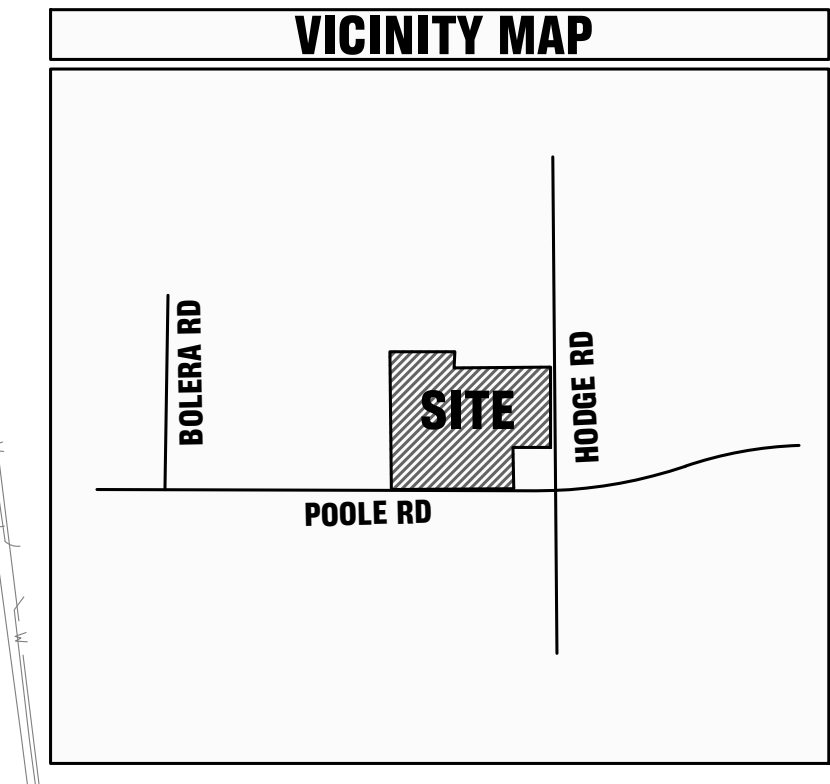


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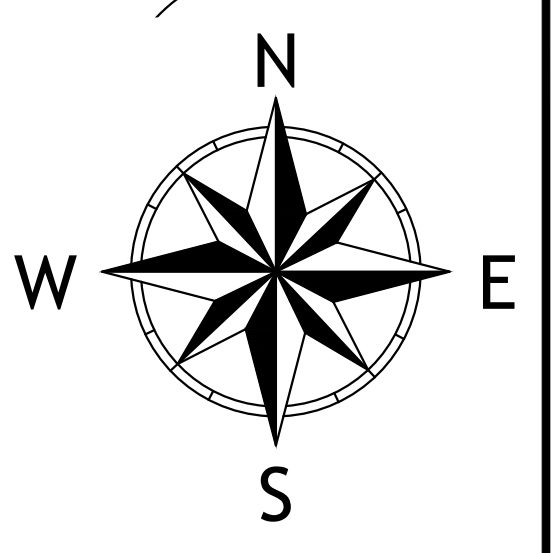
OPEN SPACE PLAN

C104

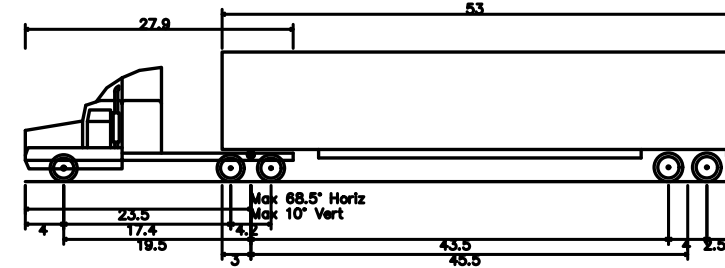


LEGEND	
---	PROPERTY LINE
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SB	STREAM BANK
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LC	LIMITS OF CONSTRUCTION/DISTURBANCE
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○	DRAINAGE MANHOLE (PROPOSED)
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---	GAS LINE (PROPOSED)
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---	UNDERGROUND ELECTRIC (PROPOSED)
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○	TRAFFIC SIGNAL POLE
○	SIGN
○	TELEPHONE PEDESTAL
○	TRAFFIC SIGNAL BOX
○	IRON PIN-REBAR FOUND

OPEN SPACE LEGEND	
TOTAL SITE AREA: 17.93 AC	
ACTIVE OPEN SPACE (0.79 AC 4.5%)	<span style="display:inline-block; width:15px; height:15px; background-color: #f08080; border: 1px solid black;"></span>
PASSIVE OPEN SPACE (0.89 AC 5%)	<span style="display:inline-block; width:15px; height:15px; background-color: #ffff00; border: 1px solid black;"></span>
COMMON OPEN SPACE (3.96 AC 22%)	<span style="display:inline-block; width:15px; height:15px; background-color: #90ee90; border: 1px solid black;"></span>

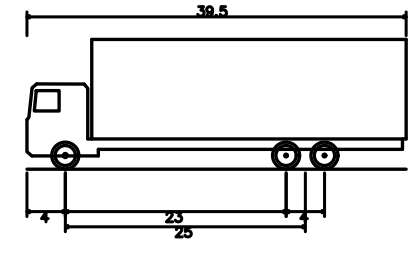


WB-67 GROCERY TRUCK

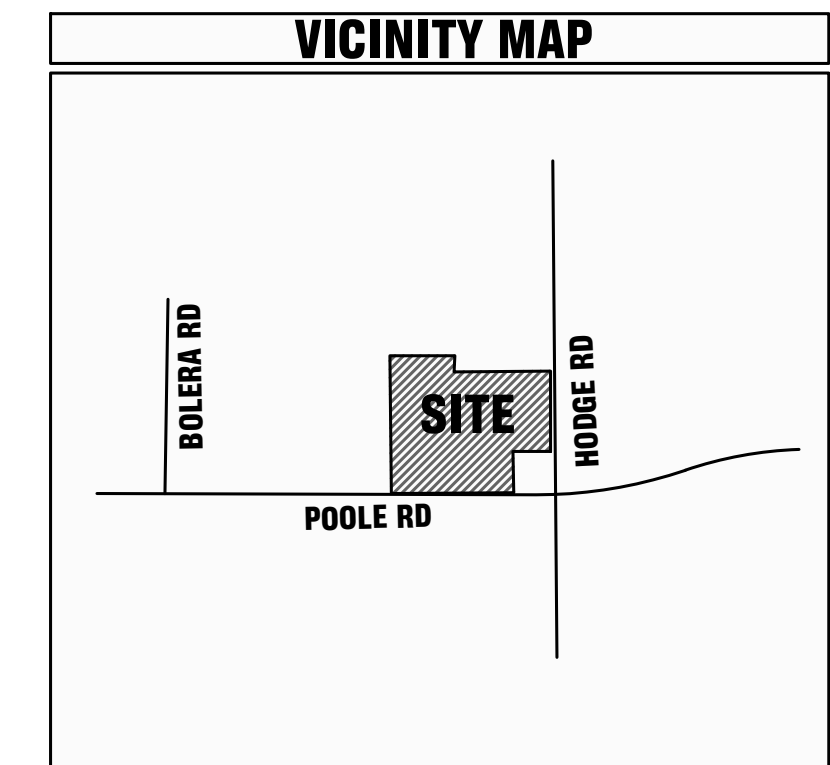


WB-67 - Interstate Semi-Trailer  
 Overall Length 77.80ft  
 Overall Width 8.50ft  
 Overall Body Height 13.50ft  
 Min Body Ground Clearance 1.34ft  
 Truck Width 8.50ft  
 Lock-to-lock time 8.00ft  
 Max Steering Angle (Virtual) 25.4°

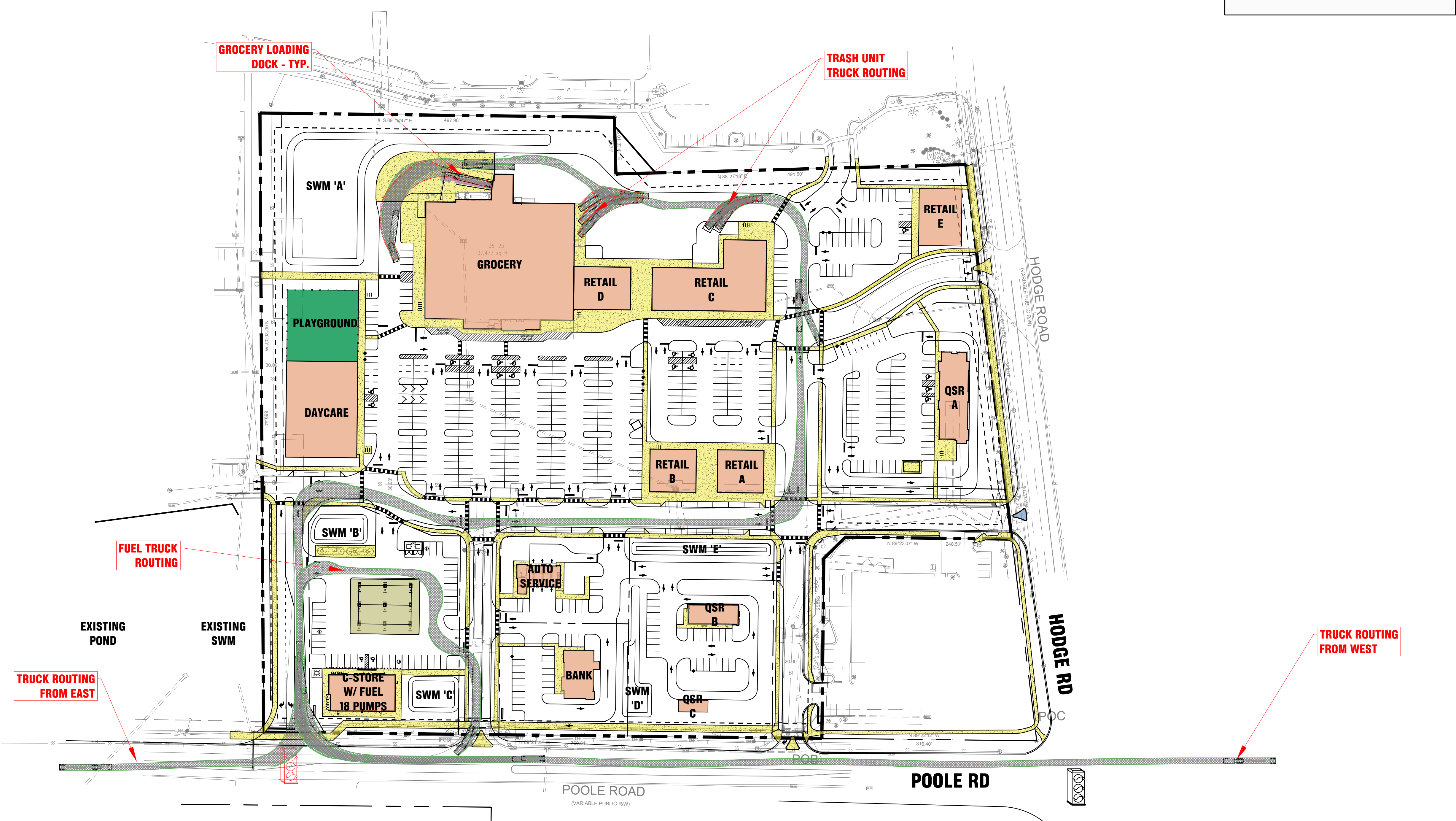
SU-40 TRASH TRUCK



SU-40 - Single Unit Truck  
 Overall Length 39.50ft  
 Overall Width 8.50ft  
 Overall Body Height 13.50ft  
 Min Body Ground Clearance 1.34ft  
 Truck Width 8.50ft  
 Lock-to-lock time 8.00ft  
 Max Steering Angle (Virtual) 31.8°

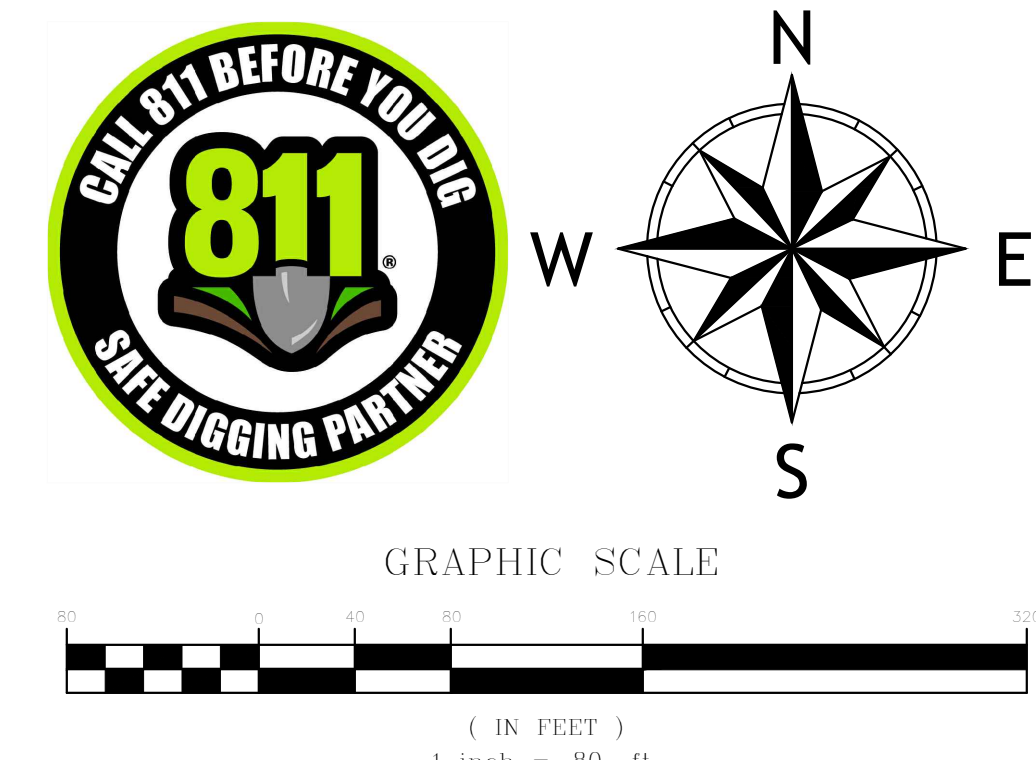
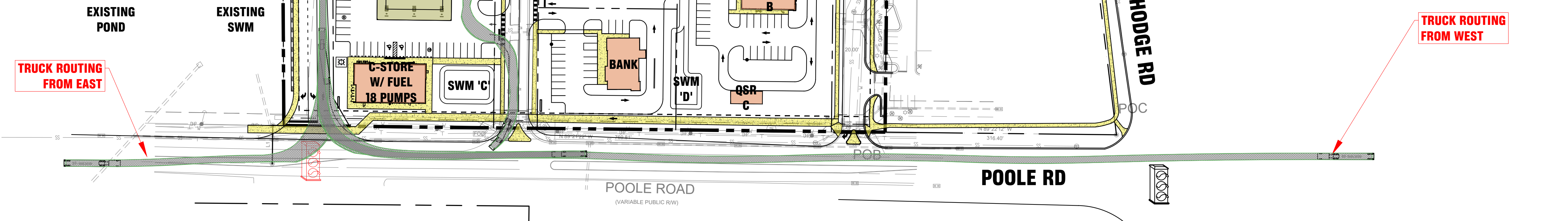


Project Number: ----  
 DWG Name: 2025-156 Civil Master.dwg  
 Drawing Scale: AS NOTED  
 Date of Project: ----  
 Engineer of Record:  
 Christopher L. Price, P.E.  
 North Carolina PE# 29755  
**bluewater**  
 civil design  
 bluewater.civil.design, llc  
 718 Lowndes Hill Road • Greenville, SC 29607  
 www.bluewatercivil.com • info@bluewatercivil.com  
 Certificates of Authorization:  
 SC C04212 - GA PEF005865  
 NC P0868 - AL CA4065E



**LEGEND**

---	PROPERTY LINE
---	ADJOINER PROPERTY LINE
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Riverview Commons  
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VEHICLE ROUTING PLAN

**C105**

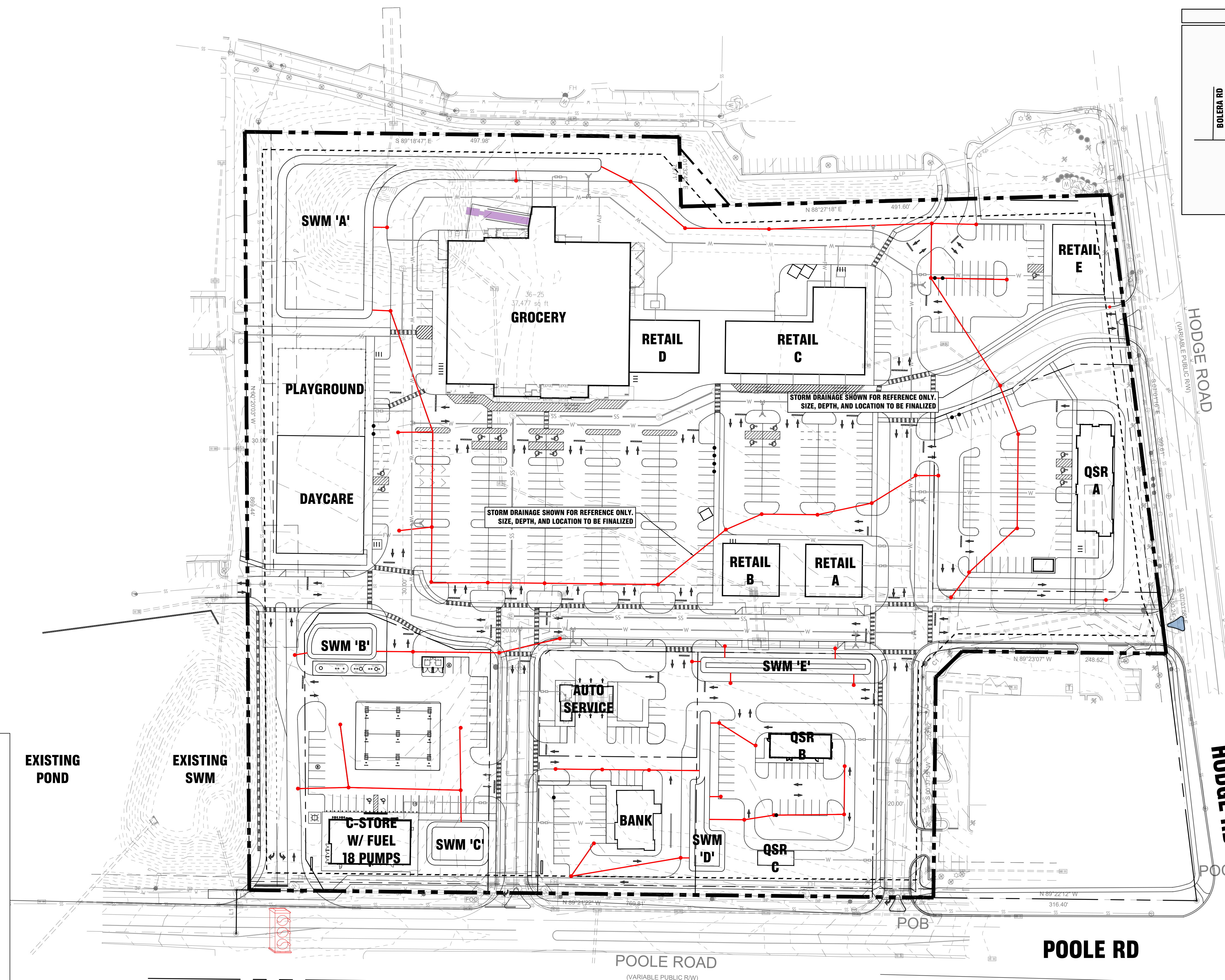
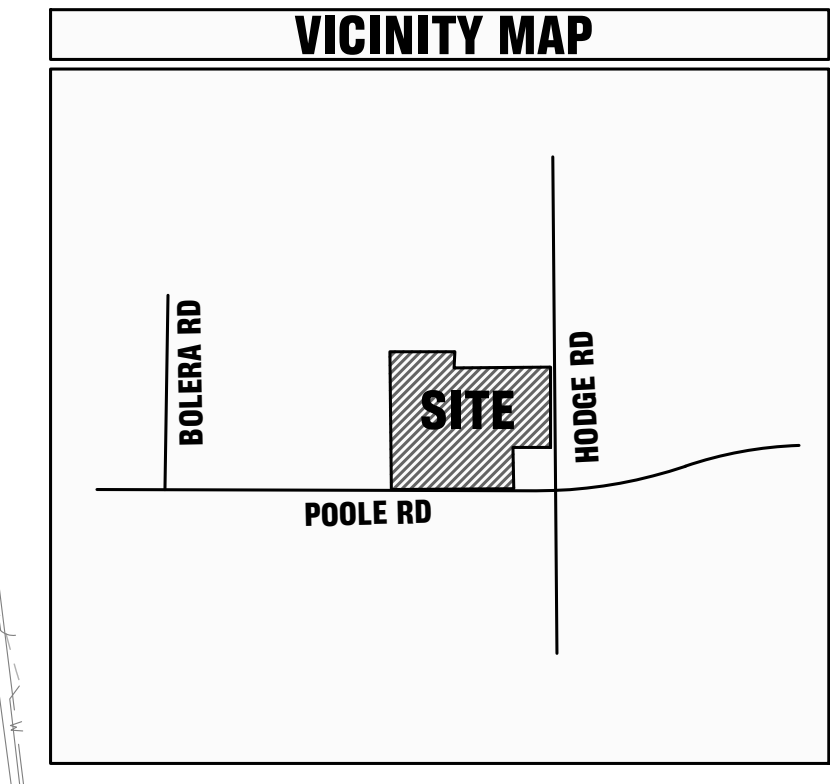


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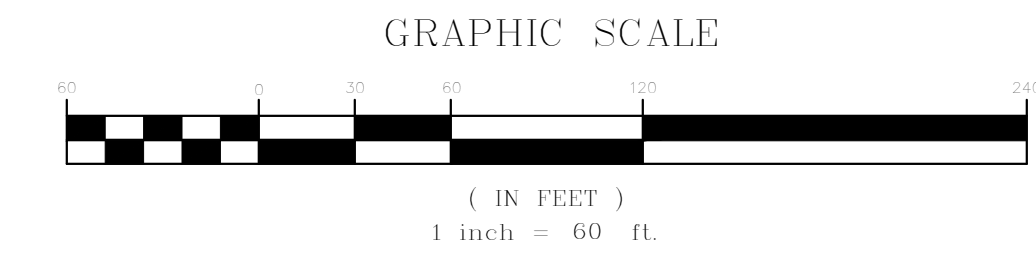
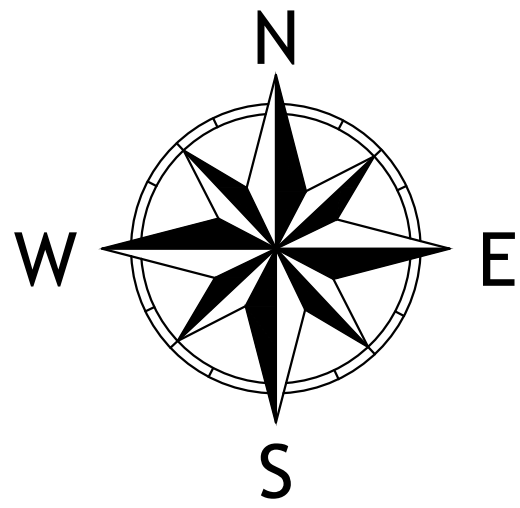
STORM DRAINAGE PLAN

C201



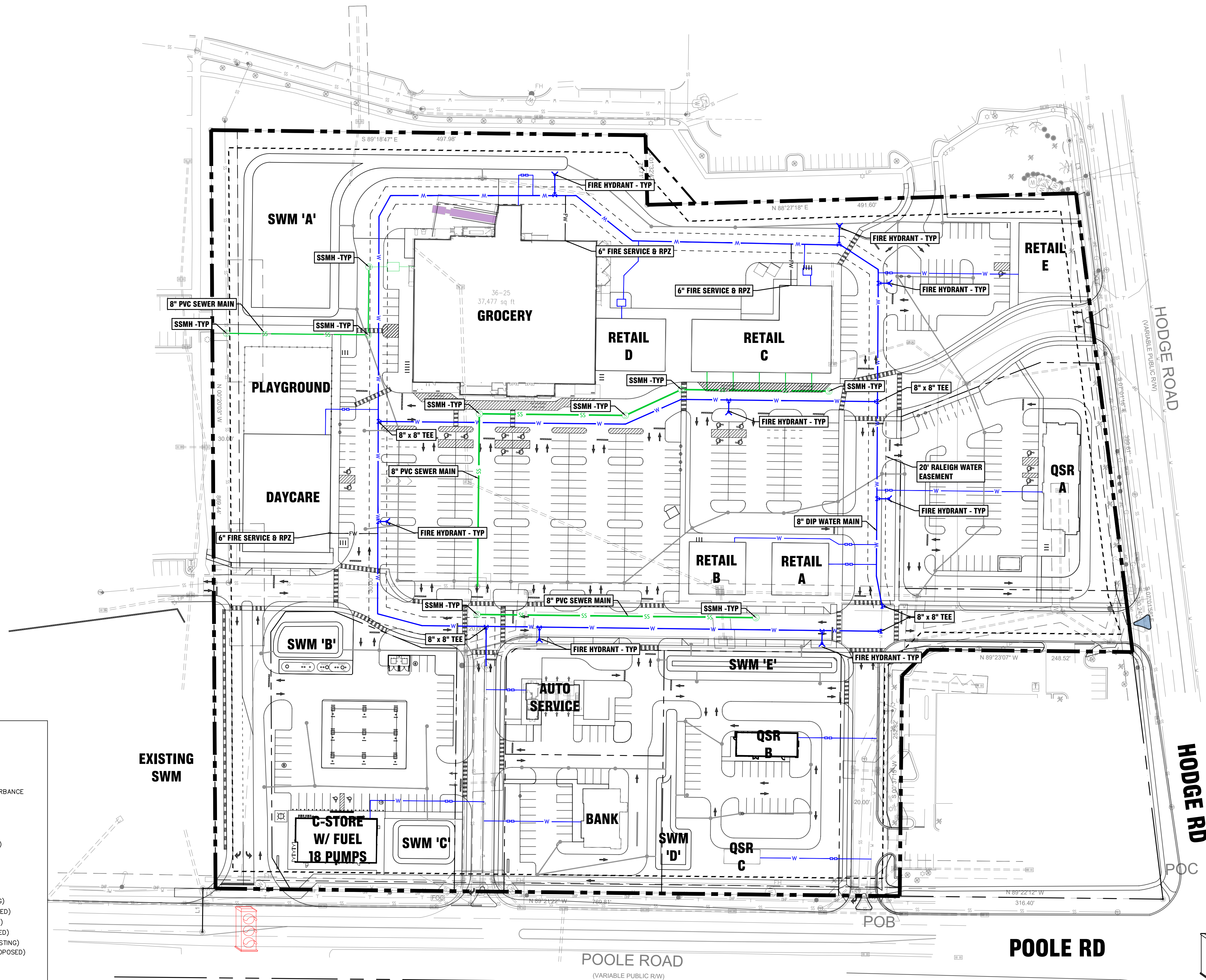
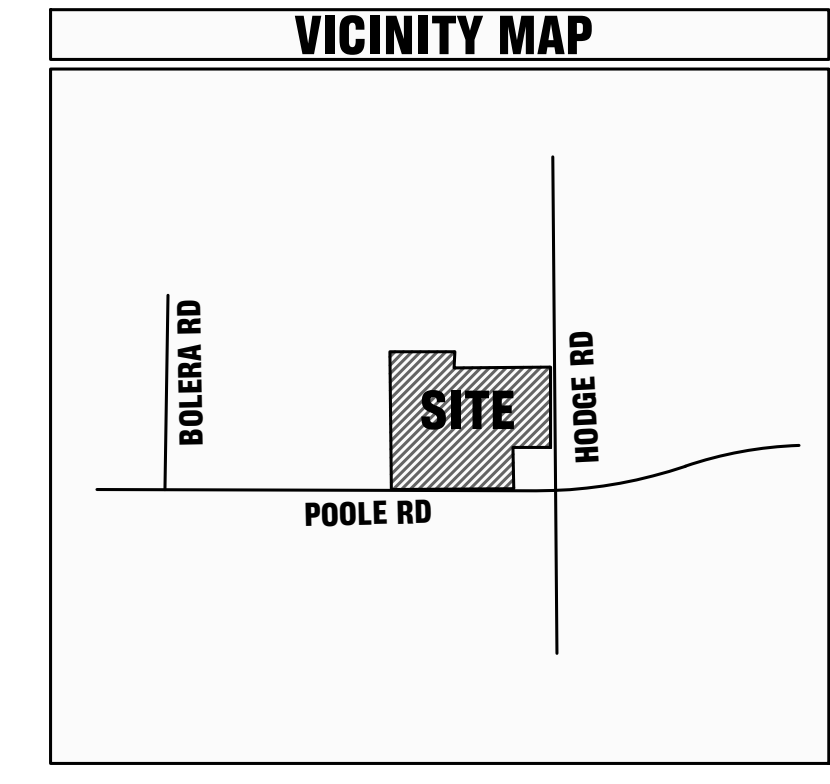
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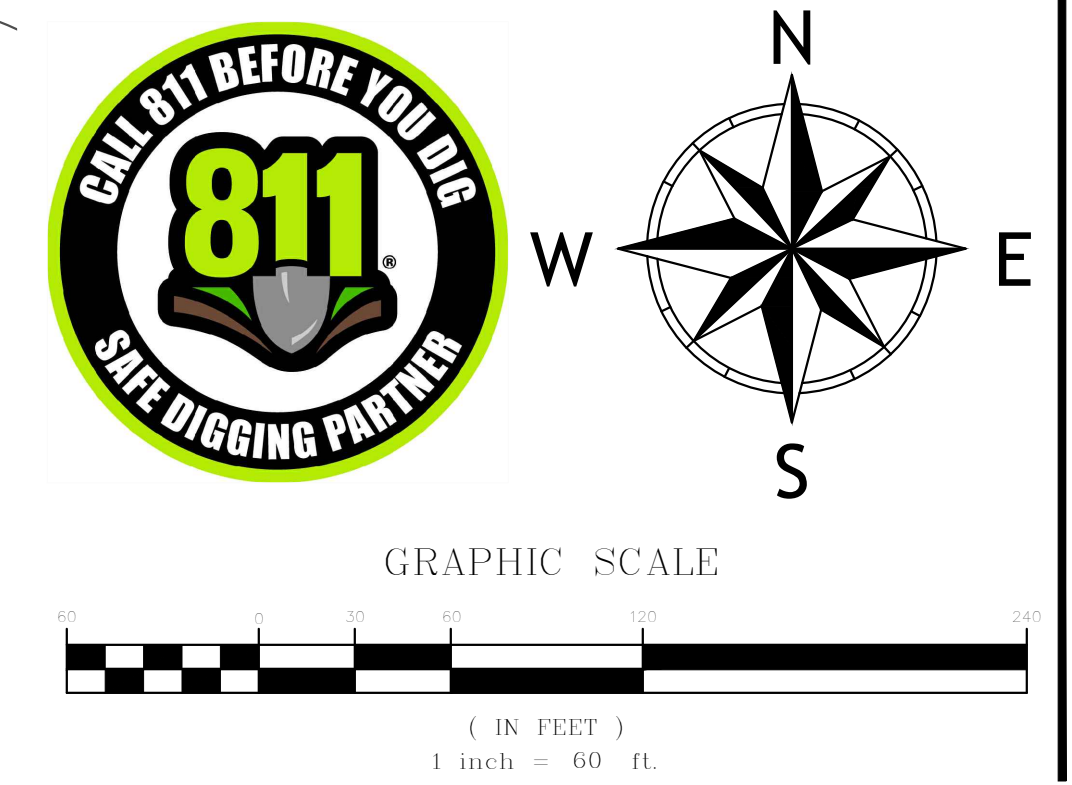


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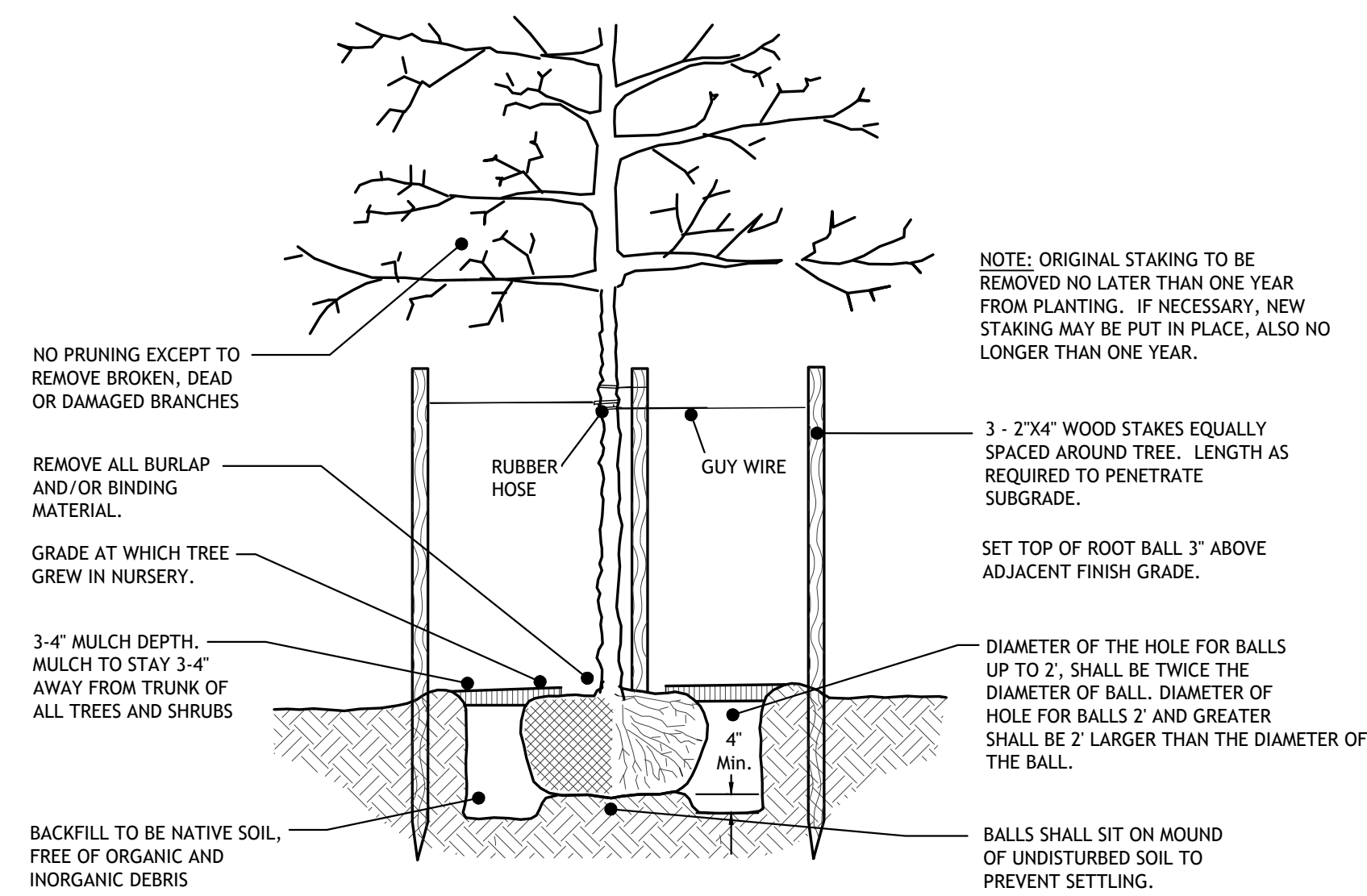
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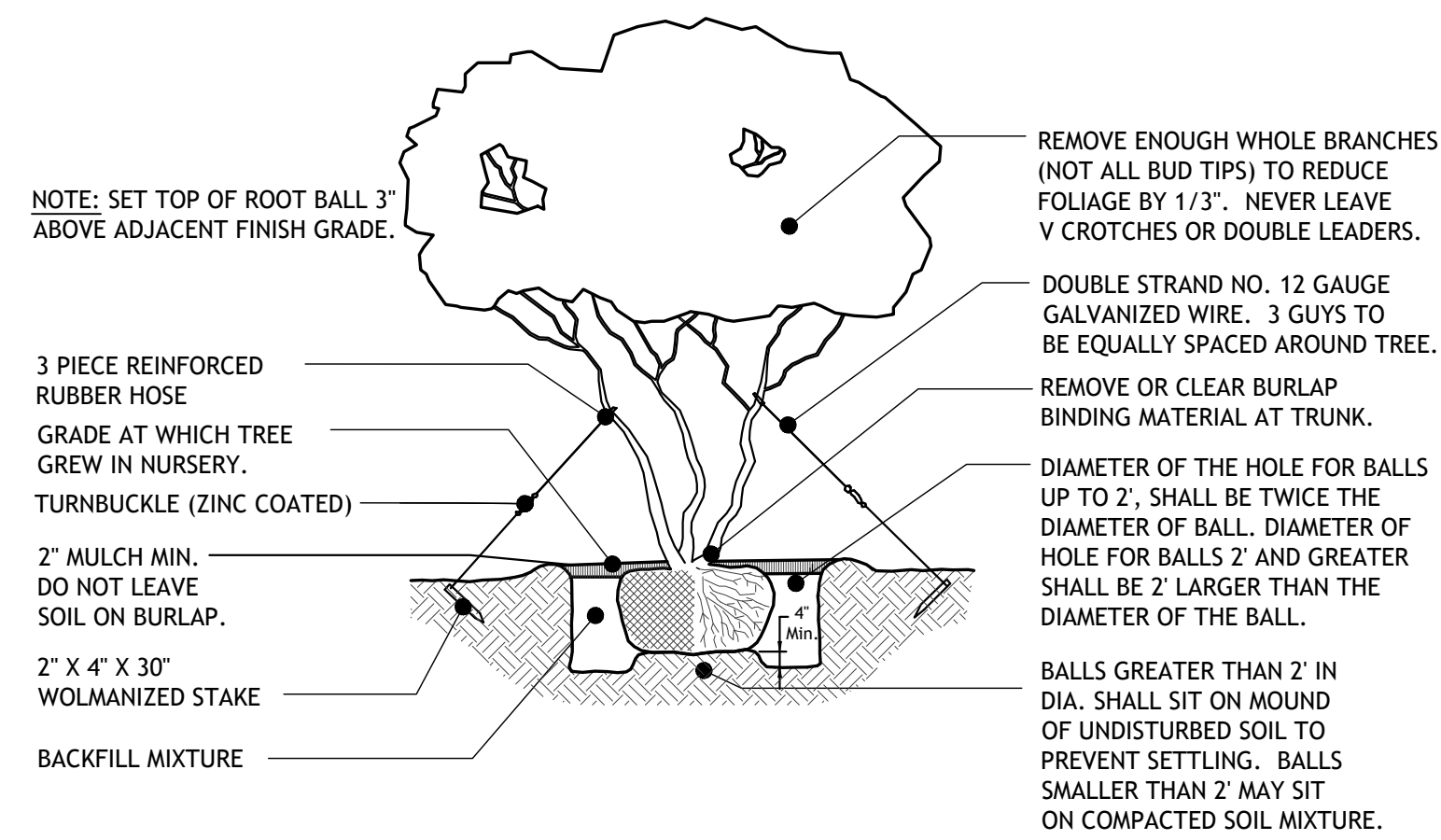




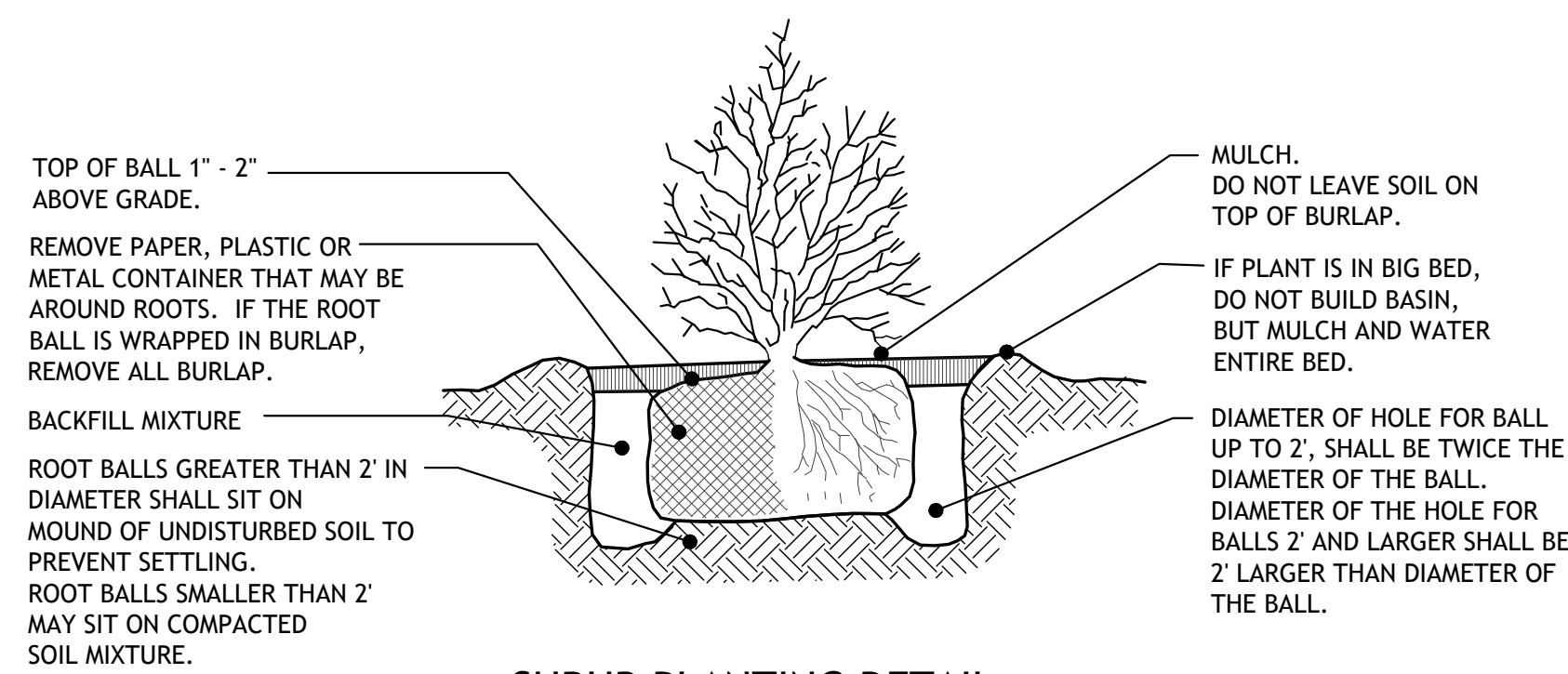




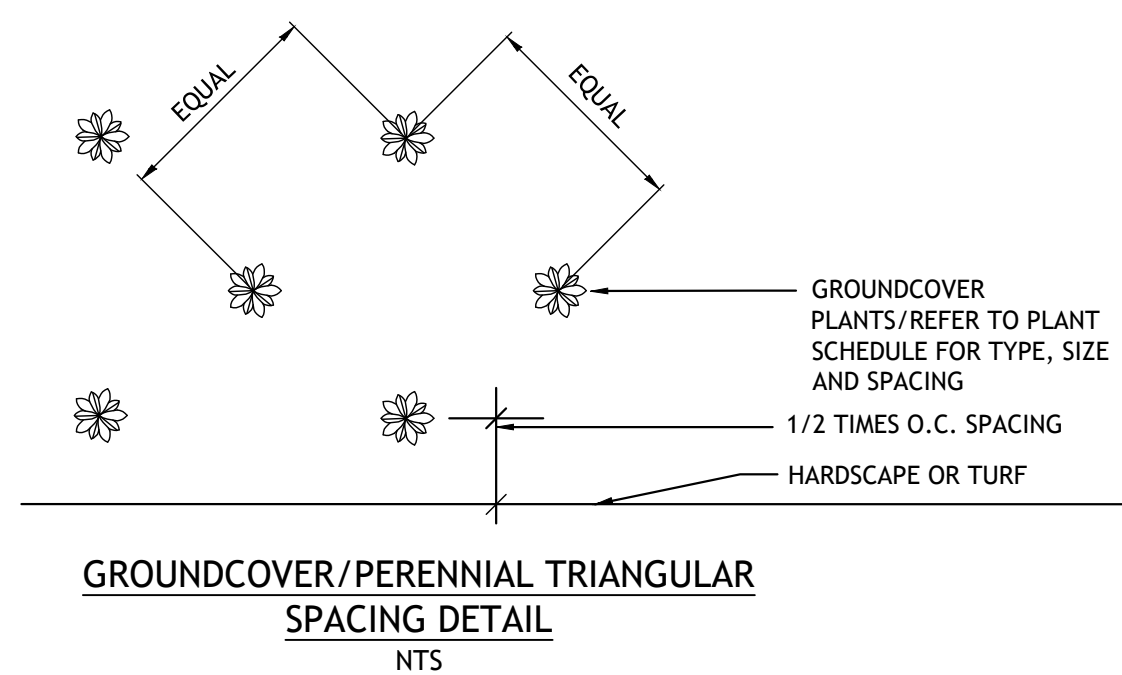
**TREE PLANTING DETAIL**  
NTS



**MULTI-TRUNK TREE PLANTING DETAIL**  
NTS



**SHRUB PLANTING DETAIL**  
NTS



**GROUNDCOVER/PERENNIAL TRIANGULAR SPACING DETAIL**  
NTS

**GENERAL LANDSCAPE NOTES AND SPECIFICATIONS**

**LICENSES:** The contractor will be responsible for obtaining all licenses necessary to complete project.

**INSURANCE:** With the submittal of bid documents, the Landscape Contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.

**UTILITY LOCATION:** The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

**GRASS SEED INSTALLATION:** Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Agricultural limestone shall be incorporated into the soil at a rate of 50 pounds per 1000 square feet. Apply specified seed at recommended rate. Straw mulch or hydromulch shall be used as deemed necessary by the responsible to establish a full stand of grass and will repair any bare spots 1'-0" square due to uneven seed distribution, drought or erosion.

**SOD INSTALLATION:** Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replaced by the Landscape Contractor.

**PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS:** The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 60% screened shredded topsoil, 20% sand, and 20% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix. All groundcover and seasonal cover beds shall receive a 2" layer of fine textured, screened, pine bark mulch or equal.

**PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.**

**FERTILIZING:** Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Groundcover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

**BACKFILL:** Landscape Contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be included in all bid documents to allow for circumstances that might arise during installation. If additional topsoil is available, the Contractor shall backfill the parking lot islands with topsoil. Islands and planters shall be free of deleterious material. Grade planters and islands so that no water pools in planting area. Do not allow air pockets to form when backfilling.

**PLANT QUANTITIES:** Plant quantities are shown for the contractor's convenience only. Contractor is responsible for confirming all quantities prior to bidding and installation. Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended.

**PLANTS SHALL BE INSTALLED AS SHOWN**

**PLANT QUALITY:** All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen). All plants must be container grown or balled & burlapped. All trees must be straight trunked and full headed. After being dug at the nursery source, all trees in leaf shall be acclimated for two weeks under a mist system prior to installation. All plants are subject to rejection by the owner before, during and after installation.

**PLANTING HOLE SIZE:** Refer to appropriate details on the Landscape Plan.

**SETTING OF PLANTS:** The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that after initial settlement, the top of the root balls will be even with or slightly above the adjacent soil line. Around root balls, 1/2 of the original soil shall be removed from the planting hole and thoroughly mixed with the same quantity peat moss or well rotted, fine textured bark. Only in areas where the existing soil is 100% fertile, loose topsoil (brown or black in color) can plants be placed directly in the soil with no amendments. Do not break the root ball. Do not allow air pockets to form when backfilling. PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

**STAKING OF TREES:** Deciduous trees, 1 1/2" in caliper and over, and evergreen trees, 8' and taller shall be staked. Rubberhose to be used to cover the wire at the point of its contact with the tree. The Landscape Contractor is responsible for all wind damage to trees, (provided winds are less than 60mph) during the guarantee period, and may stake other trees (for his own protection) at his option. Set trunks plumb.

**MULCHING:** All plants & plant beds must be completely mulched. Pre-emerge shall be applied to all landscape areas prior to sod & mulching to reduce weed intrusion. Mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark) unless noted otherwise on plans. Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. Mulch color shall be natural with no added dyes or coloring. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. All trees located in lawn areas shall receive a minimum 3' diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines.

**GRADING:** All final grading shall be the responsibility of the Landscape Contractor. The responsibility for any additional grading, if needed, shall be determined prior to bidding.

**CLEAN UP:** Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the Landscape Contractor. The Landscape Contractor has the complete responsibility for the handling of all surplus excavated materials including the removal of any excess materials from the project site. The Contractor specifically understands and agrees that due to the sequence of the work, he may need to retain select exacerbated materials on site to meet later needs of the project. It shall be the sole responsibility of the Contractor as to any decisions made to haul off excess material or to retain material on site for later use. The Contractor shall have the complete responsibility for having adequate, suitable material on-site to replace unsuitable material or to otherwise conform to the requirements of the contract documents.

**MAINTENANCE:** The Landscape Contractor is responsible for maintaining, in full, all planting (including water, spraying, mulching, fertilizing, etc.) of planting areas and lawns until the job is accepted in full, by the Owner. The contractor shall remove & dispose of all plant material existing on site that does not conform with the landscape plan. All landscaped areas shall be treated as specified on the landscape plan or as directed by the Owner. This shall include all grass areas used for erosion control purposes. The Owner will contract for a program of landscape maintenance services throughout the one (1) year guarantee period unless otherwise determined.

**GUARANTEE:** The Landscape Contractor shall guarantee all plant material and workmanship for one year from the date of acceptance by the Owner. Any plant material which dies, turns brown, defoliates or fails to germinate prior to total acceptance of the work shall be promptly removed from the site & replaced with material of the same species, quantity, size and meeting all plant list specifications. Any required plant replacements shall promptly be made before or at the end of the guarantee period (as per direction of the Owner).

The Contractor will not be responsible for defects resulting from neglect by the Owner, abuse by others, or unusual phenomena or incidents beyond the Landscape Contractor's control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 mph, fire, vandalism or theft.

**IRRIGATION:** The Landscape Contractor shall provide turn-key irrigation system capable of providing adequate amounts of water for all installed vegetation to thrive. Planter beds adjacent to any building face shall have drip style irrigation. Irrigation controls to be mounted in owner approved location. Controls shall be automatic with rain sensors. When feasible, contractor to provide separate zones for grass and shrub/groundcover irrigation. Contractor to provide copy of irrigation design to Owner prior to installation for approval.

Project Number: ----  
 DWG Name: 2025-156 Civil Master.dwg  
 Drawing Scale: AS NOTED  
 Date of Project: ----  
 Engineer of Record:  
 Christopher L. Price, P.E.  
 North Carolina PE# 29755  
**blue WATER**  
 civil design  
 bluewater.civil.design, LLC  
 718 Lowmades Hill Road • Greenville, SC 29607  
 www.bluewatercivil.com • info@bluewatercivil.com  
 Certificates of Authorization:  
 SC CD4212 - GA PEF005865  
 NC P0868 - AL CA4065E

Riverview Commons  
 @ Poole & Hodge  
 Intersection of Poole & Hodge Rd  
 Knightdale, NC 27545

**Preliminary**  
 04/27/2026 9:44:15 AM

PLAN REVISION	ISSUE DATE	ISSUE COMMENT
A	04/27/2026	Master Plan Submittal
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LANDSCAPE NOTES  
**L103**

PRELIMINARY NOT FOR CONSTRUCTION

RIVERVIEW COMMONS

LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE

DRAWING: COLOR EXTERIOR ELEVATIONS

REVISIONS

NO. DESCRIPTION DATE

PROJECT DATE  
04/27/2026

DRAWN BY:  
NMC

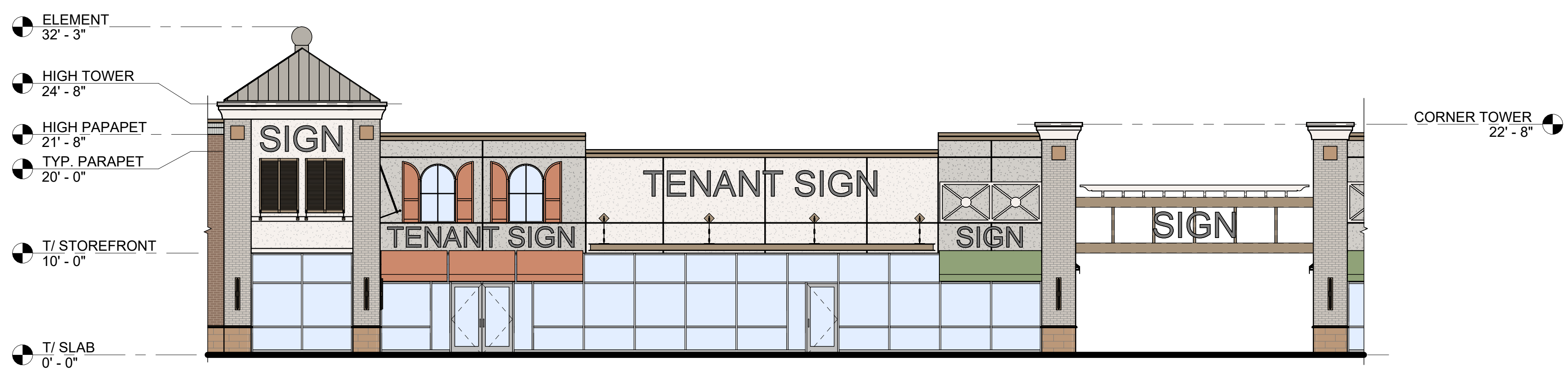
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DMM

SHEET NUMBER

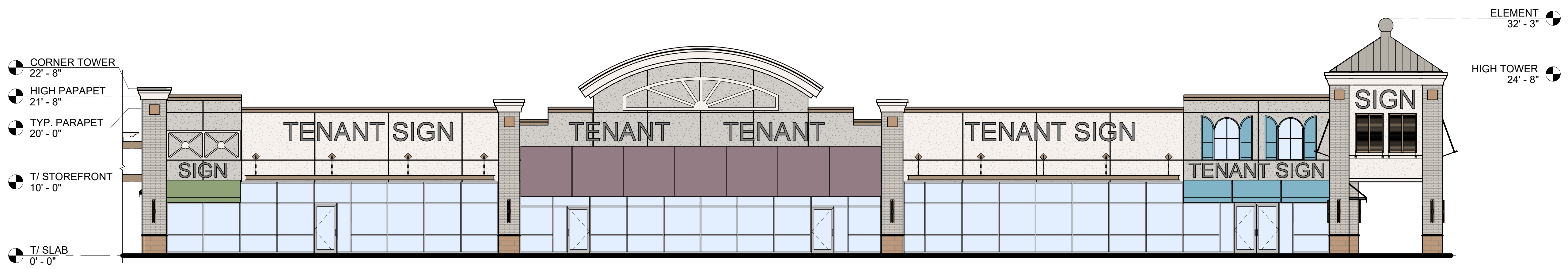
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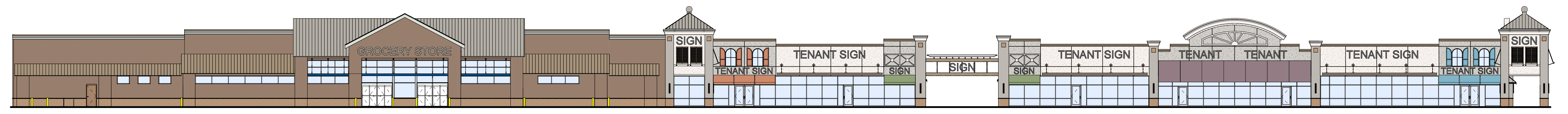
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1/8" = 1'-0"



2 RETAIL D - FRONT ELEVATION  
1/8" = 1'-0"

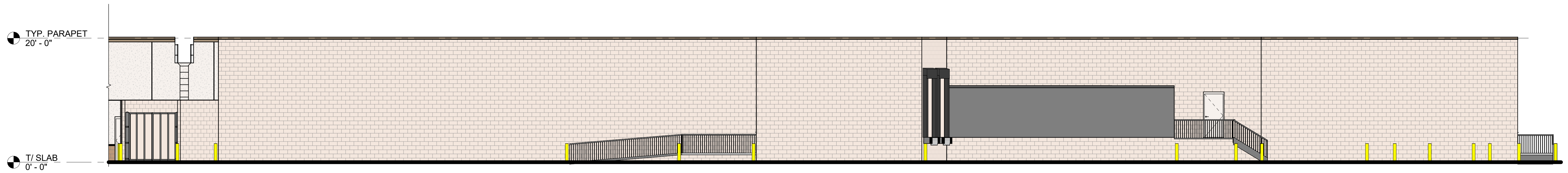


3 RETAIL C - FRONT ELEVATION  
1/8" = 1'-0"

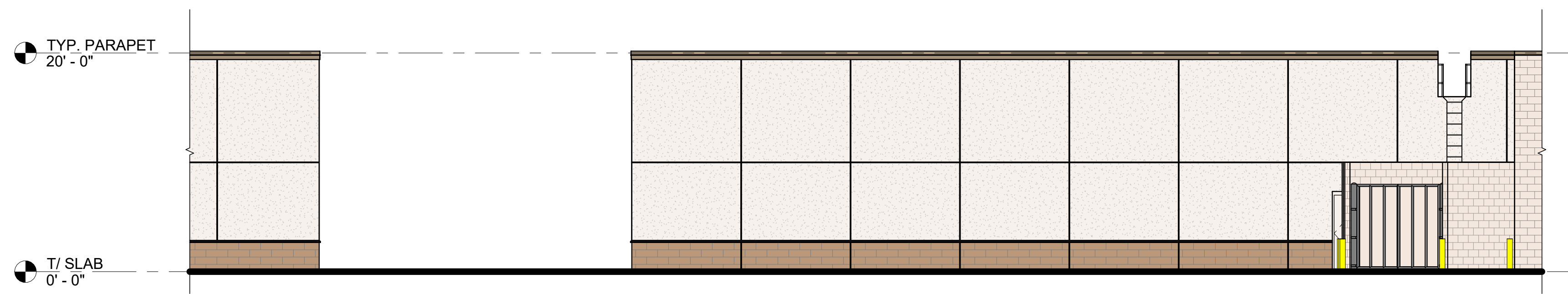


4 FOOD LION/RETAIL D/RETAIL C - FRONT ELEVATION  
1/16" = 1'-0"

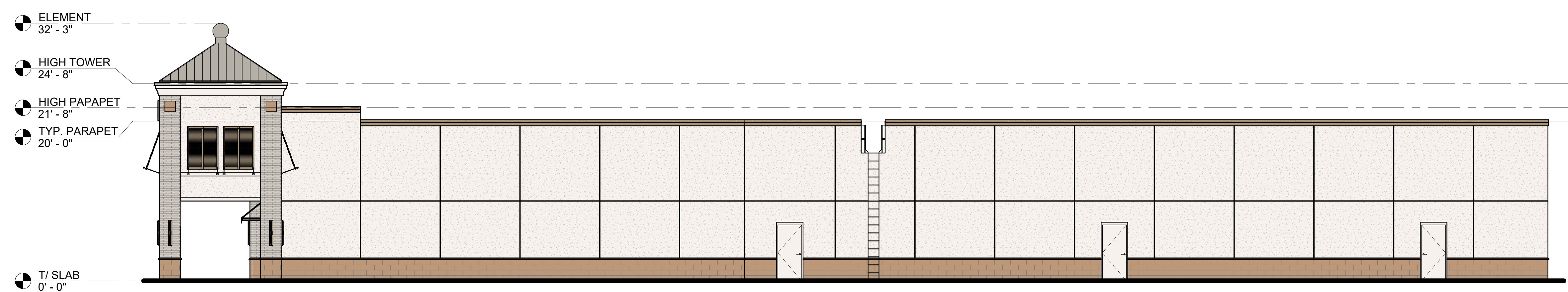
PRELIMINARY NOT FOR CONSTRUCTION



1 FOOD LION - REAR ELEVATION  
1/8" = 1'-0"



2 RETAIL D - REAR ELEVATION  
1/8" = 1'-0"



3 RETAIL C - REAR ELEVATION  
1/8" = 1'-0"

RIVERVIEW COMMONS

LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE

DRAWING: COLOR EXTERIOR ELEVATIONS

REVISIONS

NO. DESCRIPTION DATE

NO.	DESCRIPTION	DATE
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PROJECT DATE

04/27/2026

DRAWN BY:

NMC

CHECKED BY:

CNW

SHEET NUMBER

A202

PRELIMINARY NOT FOR CONSTRUCTION

RIVERVIEW COMMONS

LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE

DRAWING: COLOR EXTERIOR ELEVATIONS

REVISIONS

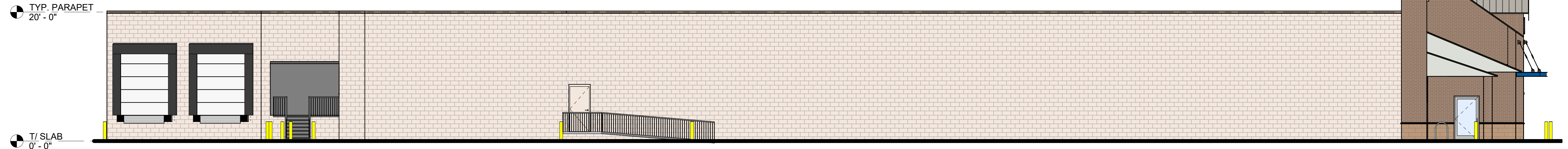
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PROJECT DATE  
04/27/2026

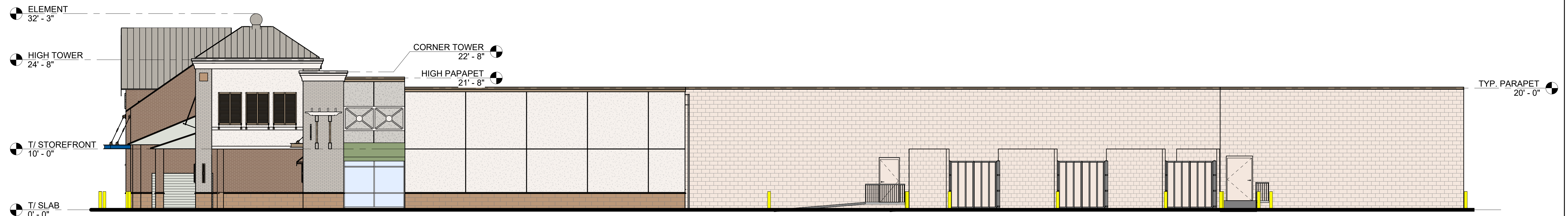
DRAWN BY:  
NMC

CHECKED BY:  
CNW

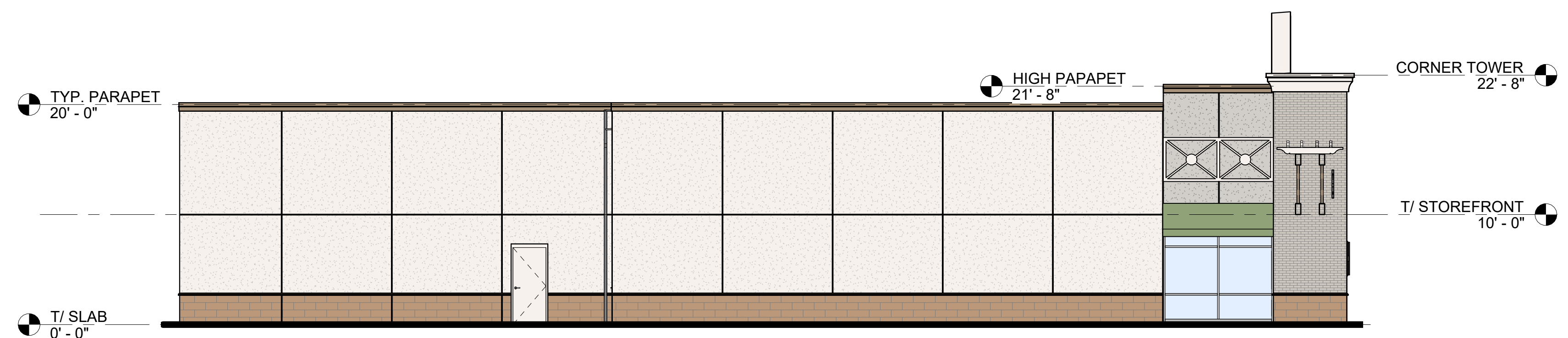
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A203



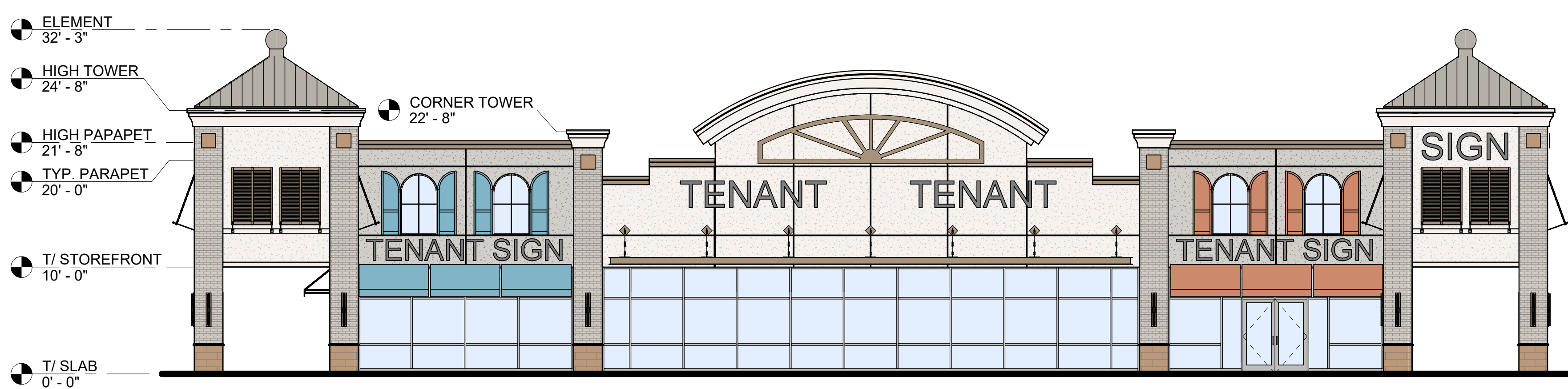
1 FOOD LION - LEFT ELEVATION  
1/8" = 1'-0"



2 FOOD LION/RETAIL D - RIGHT ELEVATION  
1/8" = 1'-0"



3 RETAIL C - LEFT ELEVATION  
1/8" = 1'-0"



4 RETAIL C - RIGHT ELEVATION  
1/8" = 1'-0"

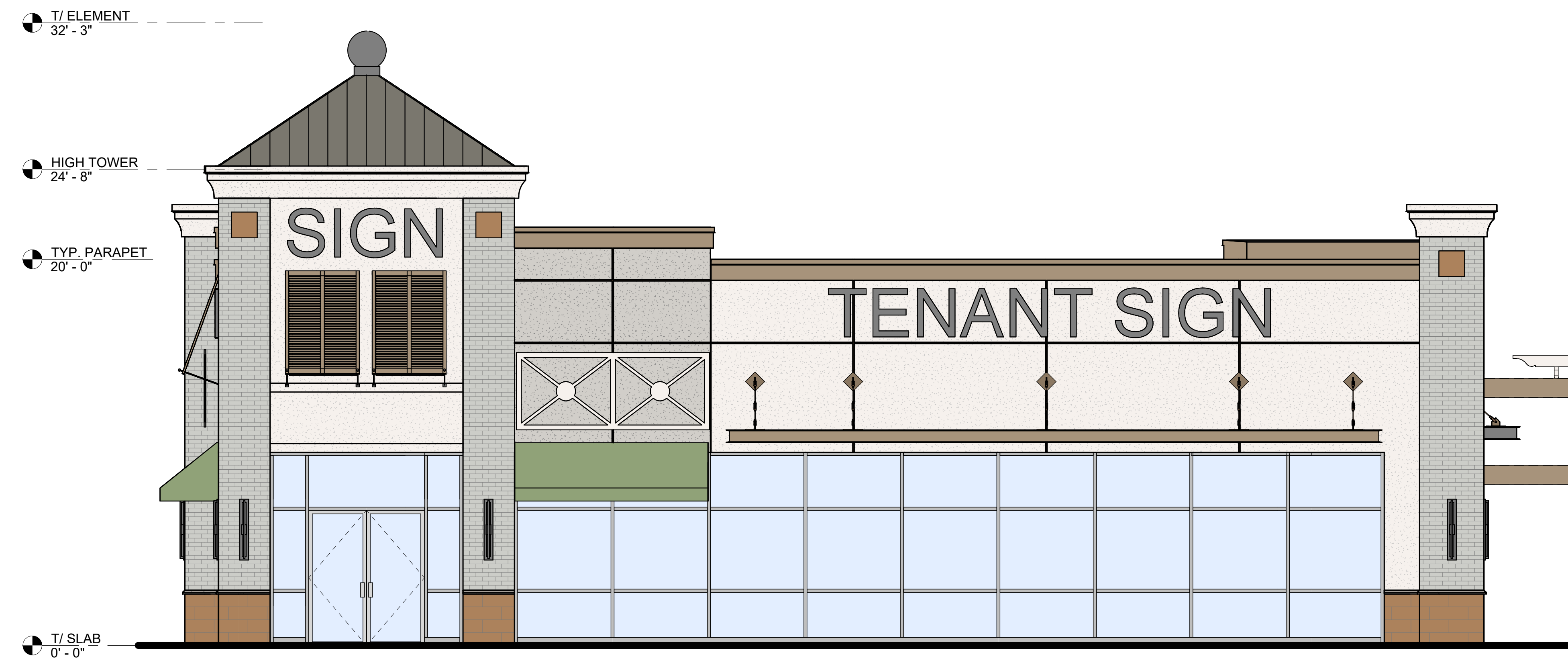
**PRELIMINARY NOT FOR CONSTRUCTION**

**RIVERVIEW COMMONS**  
RETAIL A AND B BUILDINGS - KNIGHTDALE, NC  
LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE, NC  
DRAWING: COLOR EXTERIOR ELEVATIONS- RETAIL A

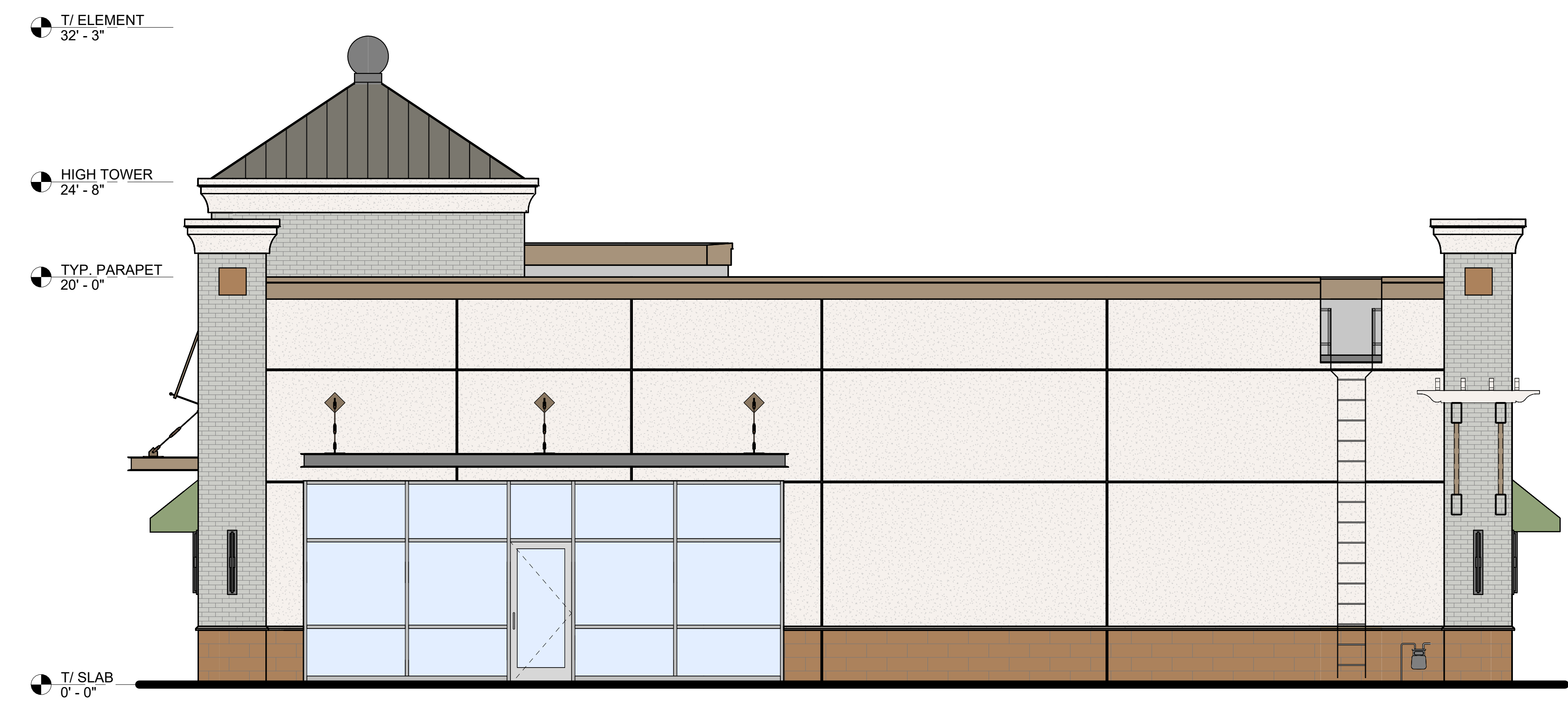
REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT DATE  
03/25/2025  
DRAWN BY:  
NMC  
CHECKED BY:  
CNW

SHEET NUMBER  
**A204**



1 FRONT ELEVATION- NORTH- COLOR-  
RETAIL A  
1/4" = 1'-0"



2 RIGHT ELEVATION - WEST COLOR-  
RETAIL A  
1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

RIVERVIEW COMMONS  
RETAIL A AND B BUILDINGS - KNIGHTDALE, NC  
LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE, NC  
DRAWING: COLOR EXTERIOR ELEVATIONS- RETAIL A

REVISIONS

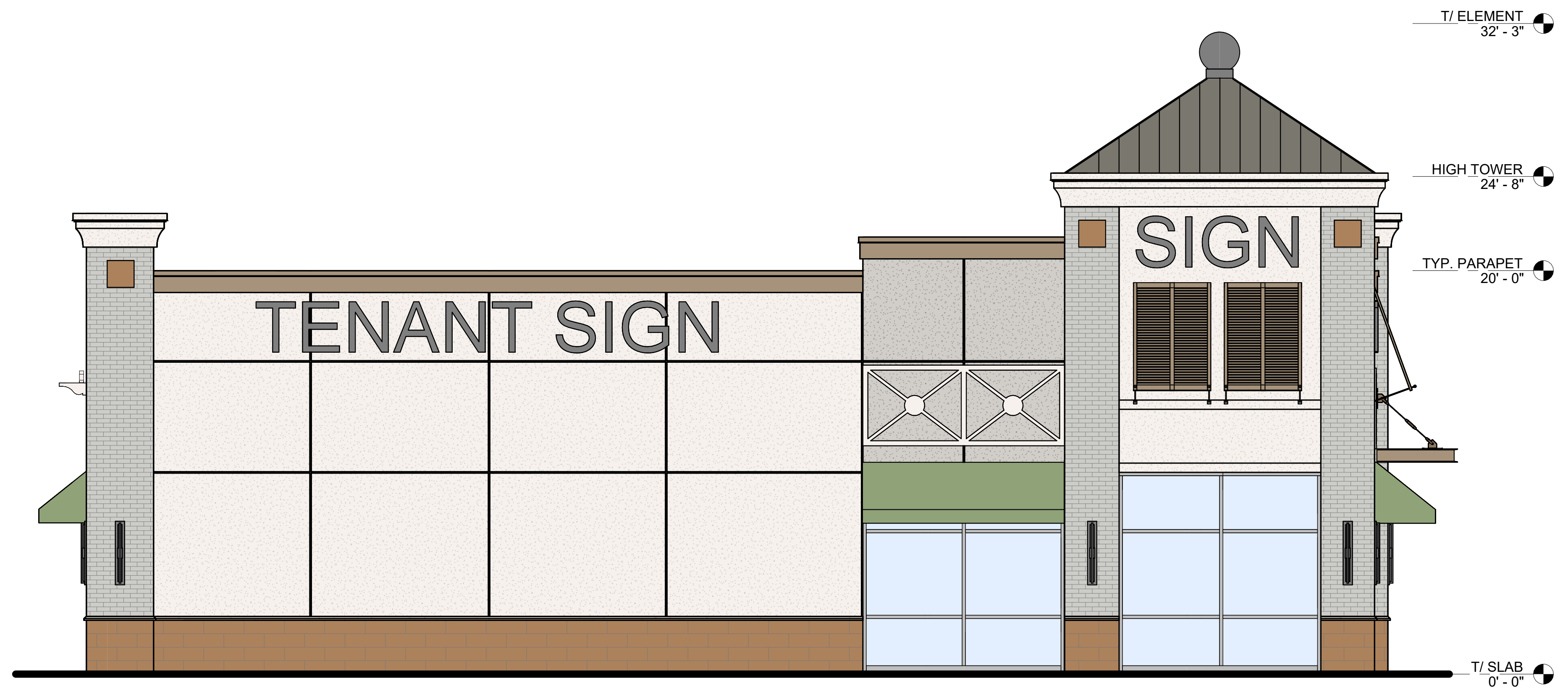
NO.	DESCRIPTION	DATE

PROJECT DATE  
03/25/2025

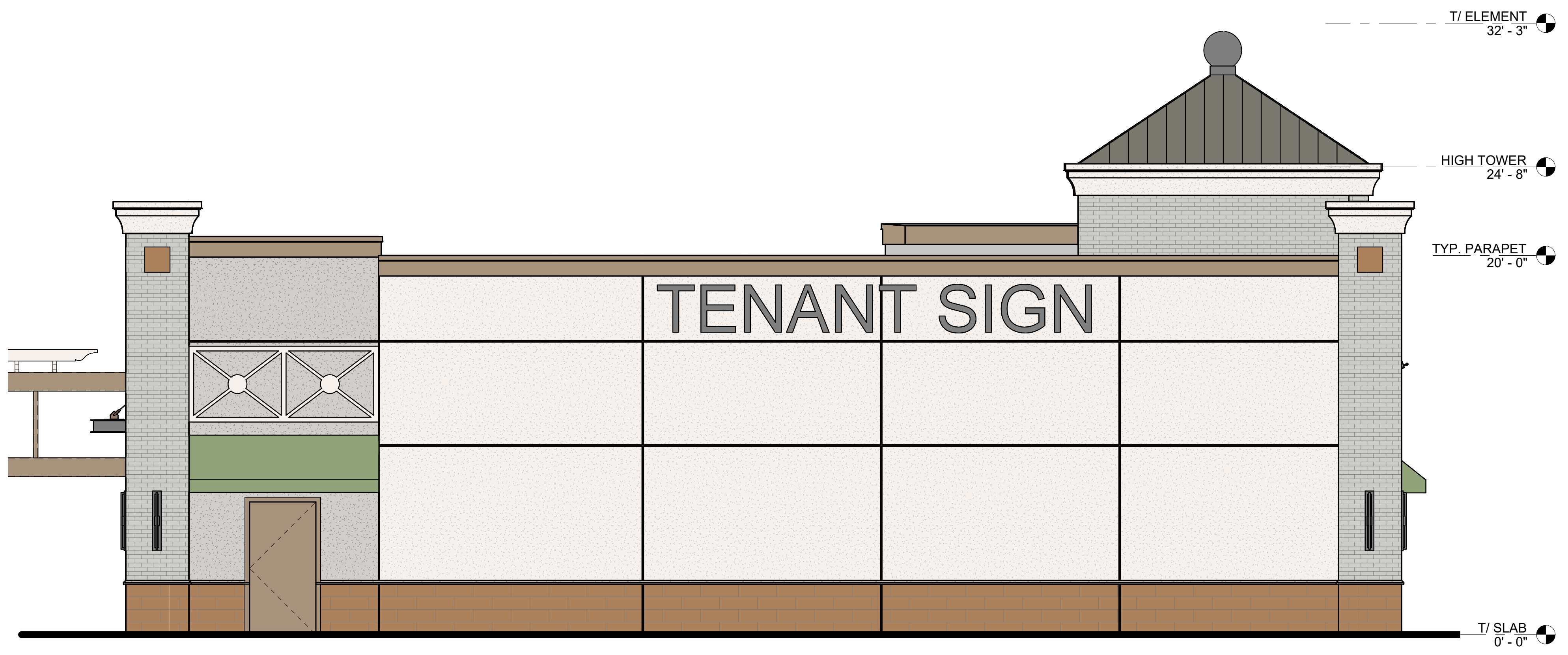
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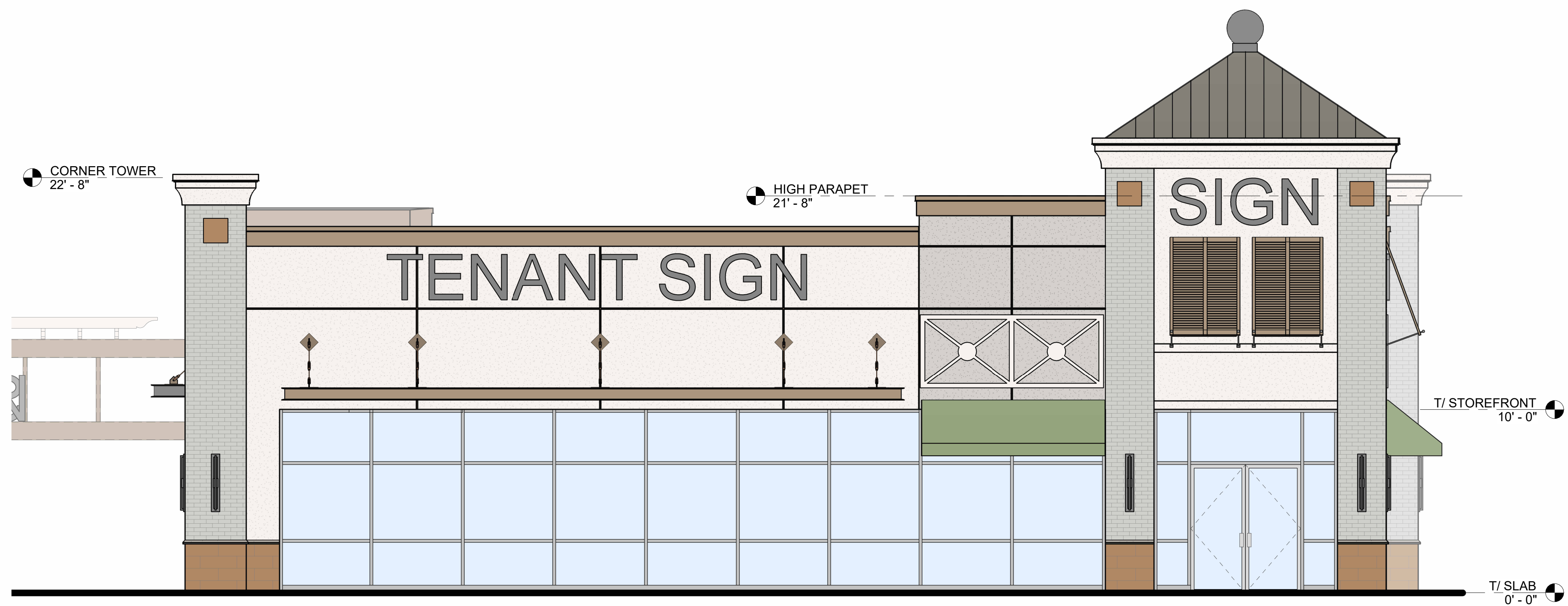
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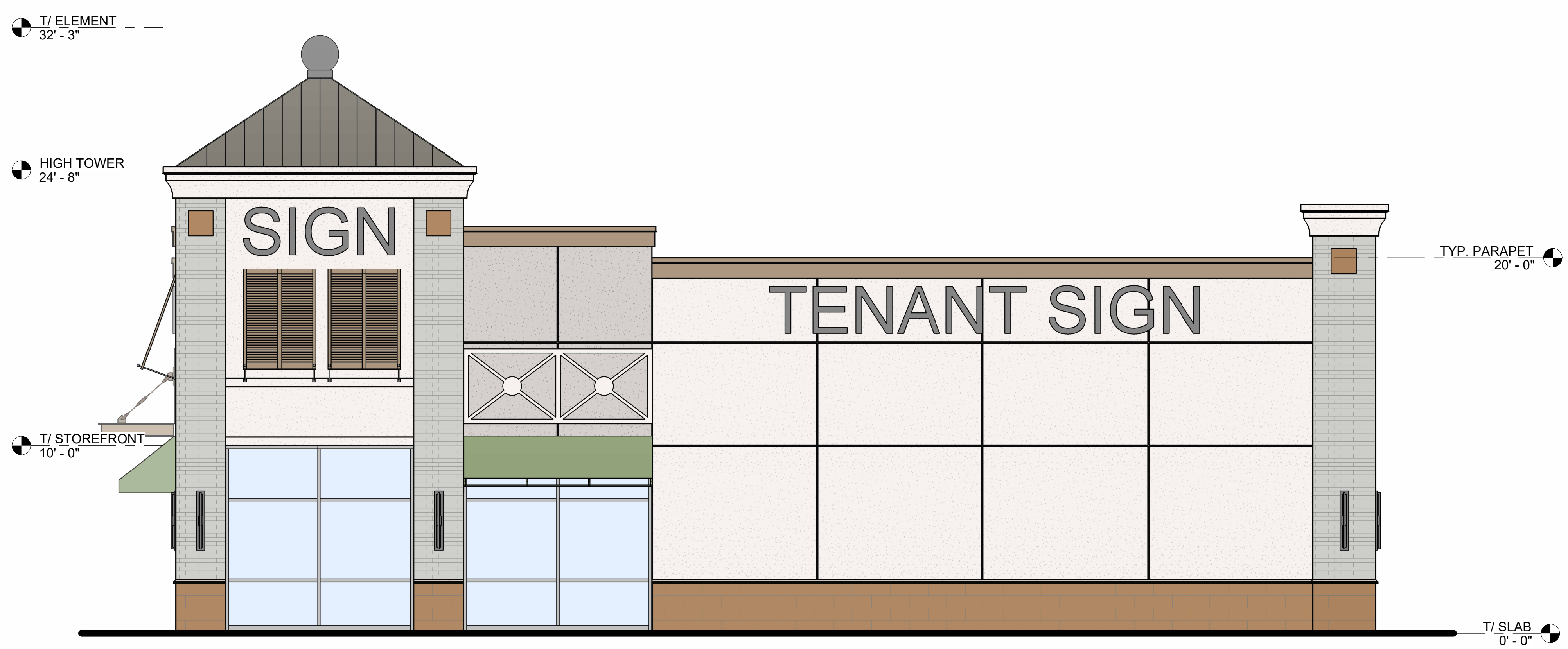
1 LEFT ELEVATION - EAST COLOR-  
RETAIL A  
1/4" = 1'-0"



2 REAR ELEVATION - SOUTH COLOR-  
RETAIL A  
1/4" = 1'-0"



4 FRONT ELEVATION - NORTH - COLOR - RETAIL B  
1/4" = 1'-0"



3 RIGHT ELEVATION - WEST COLOR - RETAIL B  
1/4" = 1'-0"

**PRELIMINARY NOT FOR CONSTRUCTION**

**RIVERVIEW COMMONS**  
 RETAIL A AND B BUILDINGS - KNIGHTDALE, NC  
 LOCATION: POOLE ROAD & HODGE ROAD  
 KNIGHTDALE, NC  
 DRAWING: COLOR EXTERIOR ELEVATIONS - RETAIL B

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT DATE  
03/25/2025  
 DRAWN BY:  
NMC  
 CHECKED BY:  
CNW

SHEET NUMBER  
A206

PRELIMINARY NOT FOR CONSTRUCTION

RIVERVIEW COMMONS  
RETAIL A AND B BUILDINGS - KNIGHTDALE, NC  
LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE, NC  
DRAWING: COLOR EXTERIOR ELEVATIONS- RETAIL B

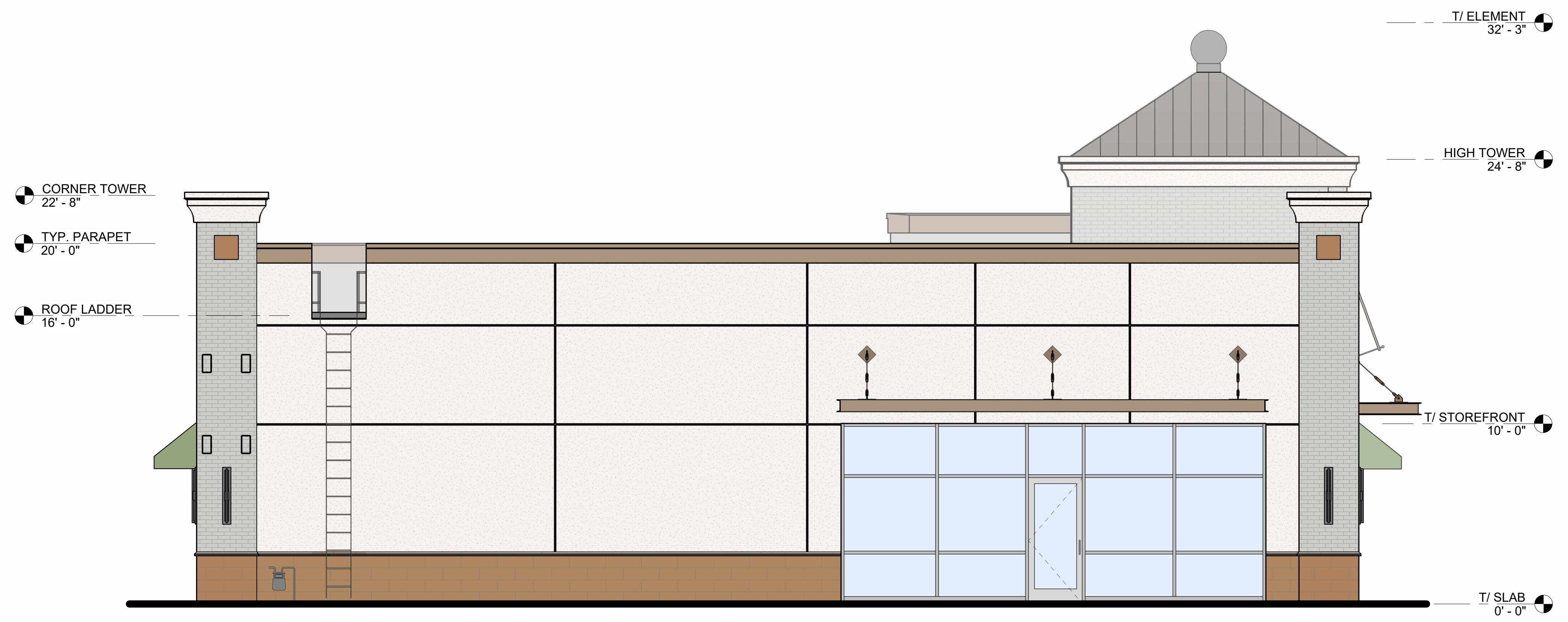
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NO.	DESCRIPTION	DATE

PROJECT DATE  
03/25/2025

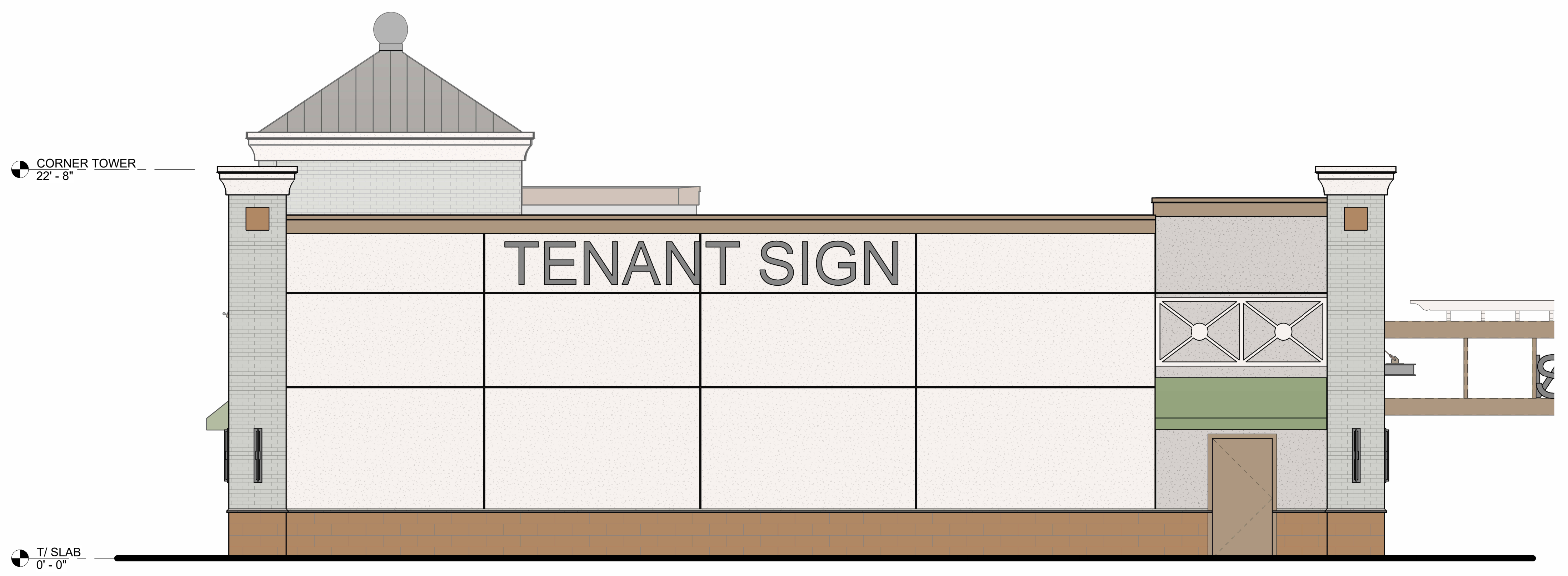
DRAWN BY:  
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CHECKED BY:  
DM

SHEET NUMBER  
A207



1 LEFT ELEVATION - EAST COLOR-  
RETAIL B  
1/4" = 1'-0"



2 REAR ELEVATION - SOUTH COLOR-  
RETAIL B  
1/4" = 1'-0"

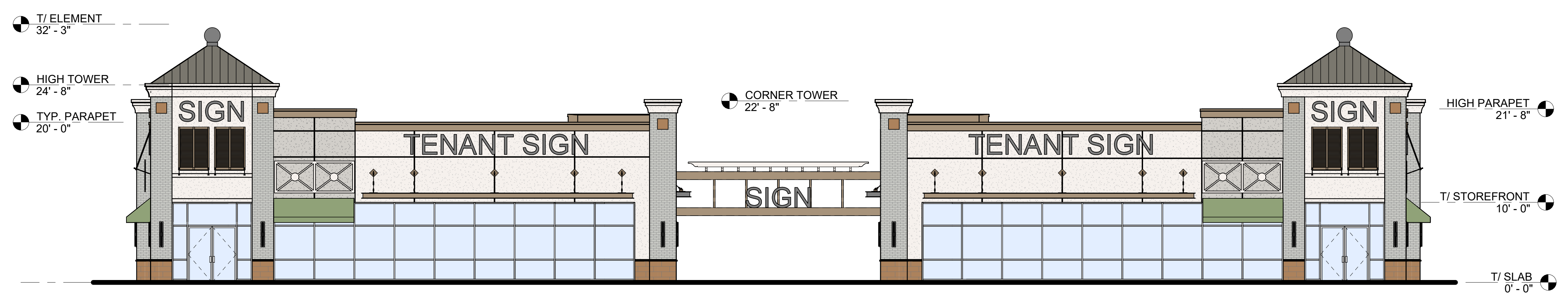
PRELIMINARY NOT FOR CONSTRUCTION

RIVERVIEW COMMONS  
RETAIL A AND B BUILDINGS - KNIGHTDALE, NC  
LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE, NC  
DRAWING: COLOR EXTERIOR ELEVATIONS- RETAIL A & B

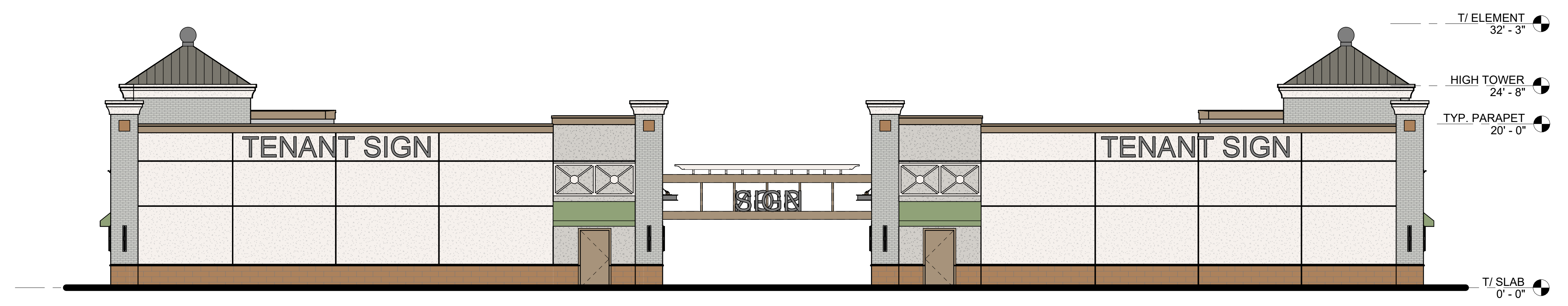
REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT DATE  
03/25/2025  
DRAWN BY:  
MTP  
CHECKED BY:  
DM

SHEET NUMBER  
A208



2 FULL FRONT ELEVATION- COLOR- RETAIL A & B  
1/8" = 1'-0"



1 FULL REAR ELEVATION- COLOR- RETAIL A & B  
1/8" = 1'-0"

**PRELIMINARY NOT FOR CONSTRUCTION**

**RIVERVIEW COMMONS**

LOCATION: POOLE ROAD & HODGE ROAD  
KNIGHTDALE

DRAWING: CROSS SECTION ELEVATIONS

REVISIONS

NO. DESCRIPTION DATE

PROJECT DATE

04/27/2026

DRAWN BY:

MTP

CHECKED BY:

DMM

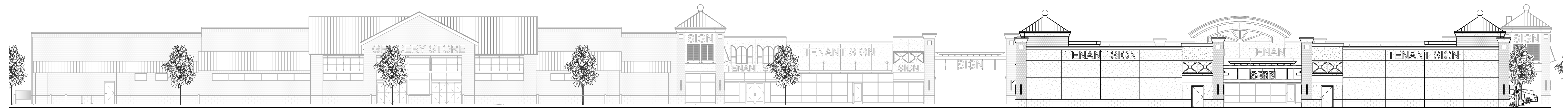
SHEET NUMBER

**A301**



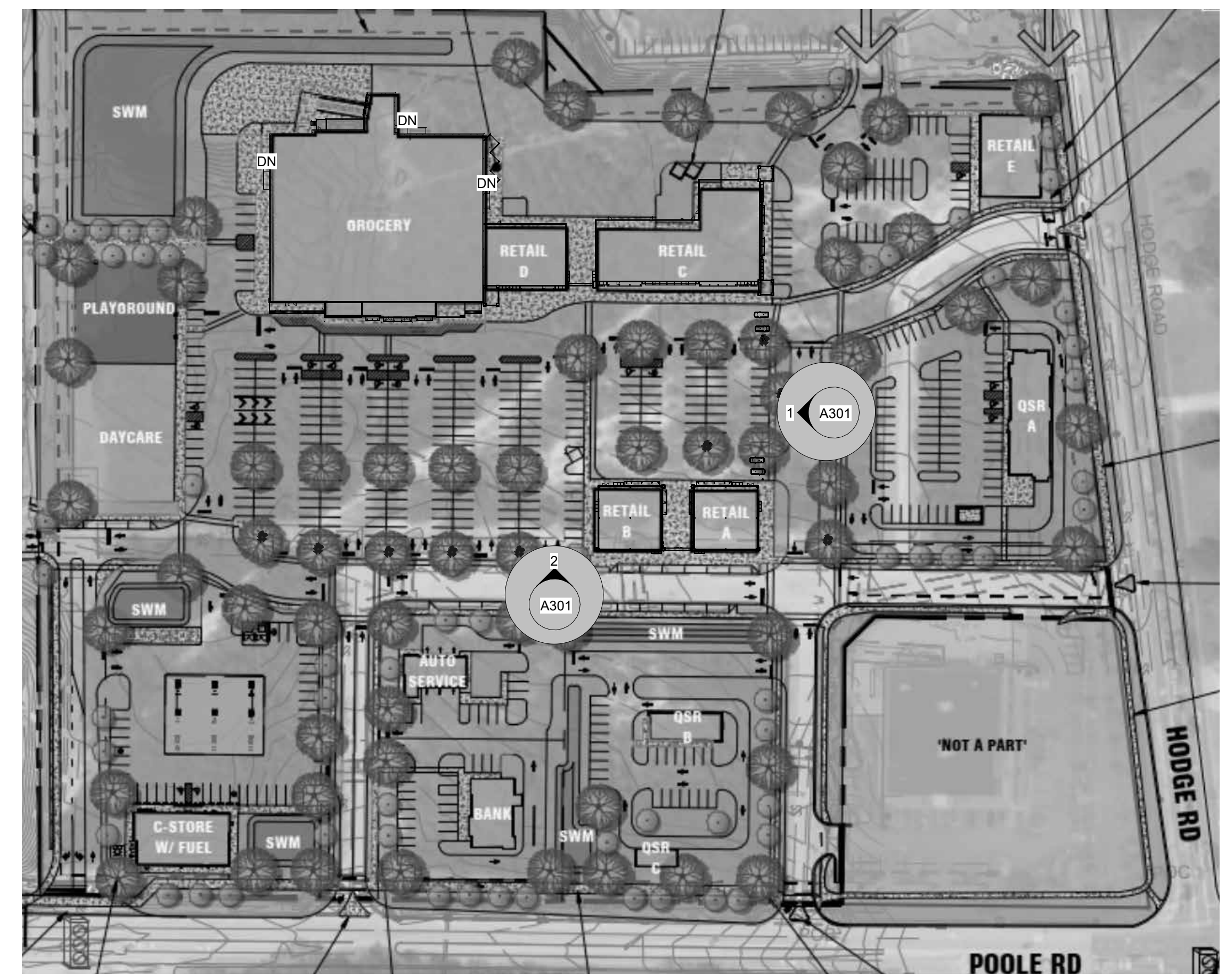
1 EAST ELEVATION  
1/16" = 1'-0"

NOTE: FINAL GRADING IS TO BE DETERMINED. CROSS SECTION ELEVATIONS MAY CHANGE BASED ON FINAL GRADING.

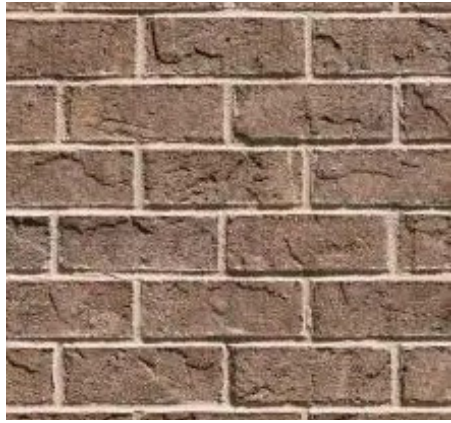


2 SOUTH ELEVATION  
1/16" = 1'-0"

NOTE: FINAL GRADING IS TO BE DETERMINED. CROSS SECTION ELEVATIONS MAY CHANGE BASED ON FINAL GRADING.



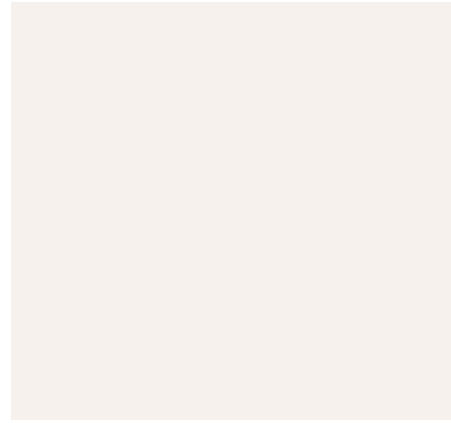
3 KEY PLAN  
1" = 100'-0"



Grocery Store Brick  
Triangle Brick - Bessemer Grey



Standing Seam Metal Roof  
Pac-Clad - Champagne



Main EIFS  
Dryvit - Match SW7004 Snowbound



Accent Color  
SW6018 - Enigma



Accent Color  
SW9009 - Subdued Sienna



Stone Wainscot & Cap  
Echelon - Mesastone - 5104



Standing Seam Metal Roof & Coping  
& Metal Canopies & Bahama Shutters  
Sierra Tan



Accent EIFS  
Dryvit - Match SW7671 On The Rocks



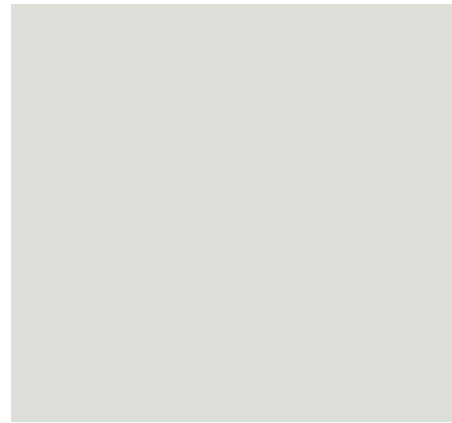
Accent Color  
SW6500 - Open Seas



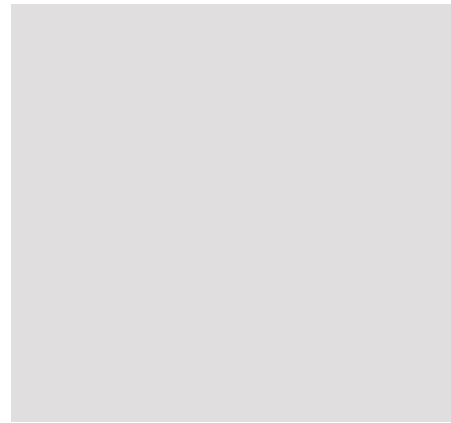
Accent Color  
SW9039 - Broccoflower



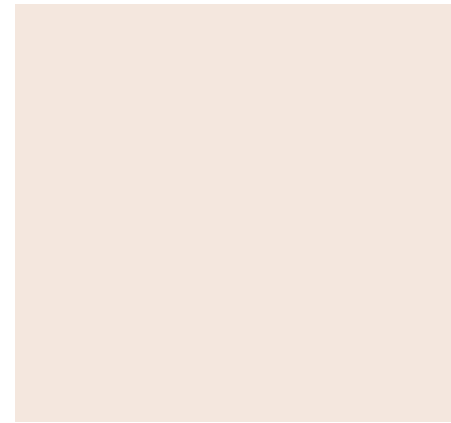
Brick Towers  
Palmetto Brick - Platinum Grey



Coping  
Stone White



Storefront Metal  
Anodized Aluminum



Grocery Store Painted CMU  
SW6071 - Popular Gray



Grocery Store Metal Canopies  
Custom Blue



Wall Sconces  
Hubbardton Forge  
Linea Outdoor Sconce



LMHT ASSOCIATES

LMHT-26031

RIVERVIEW COMMONS  
KNIGHTDALE, NC  
4/27/2026

# FINISHES BOARD

\*FINISHES ARE FOR REFERENCE ONLY AND NOT FINAL DESIGN

These images indicate the general intent of the project at the completion of the current design phase. These images are a representation of the design direction and do not provide a realistic representation of the actual site conditions or final construction. Colors, materials, and other conditions represented in this image may differ from the final product. Final design documents and manufacturer information should be consulted for the project scope and associated design information, including dimensions, site conditions, materials, colors, and other properties that may be represented in these images. The contractor and material suppliers are responsible for the proper execution and completion of the work as described in the construction documents. That work should be based solely on the information contained in those documents. These images should not be used in any way to aid in the process.

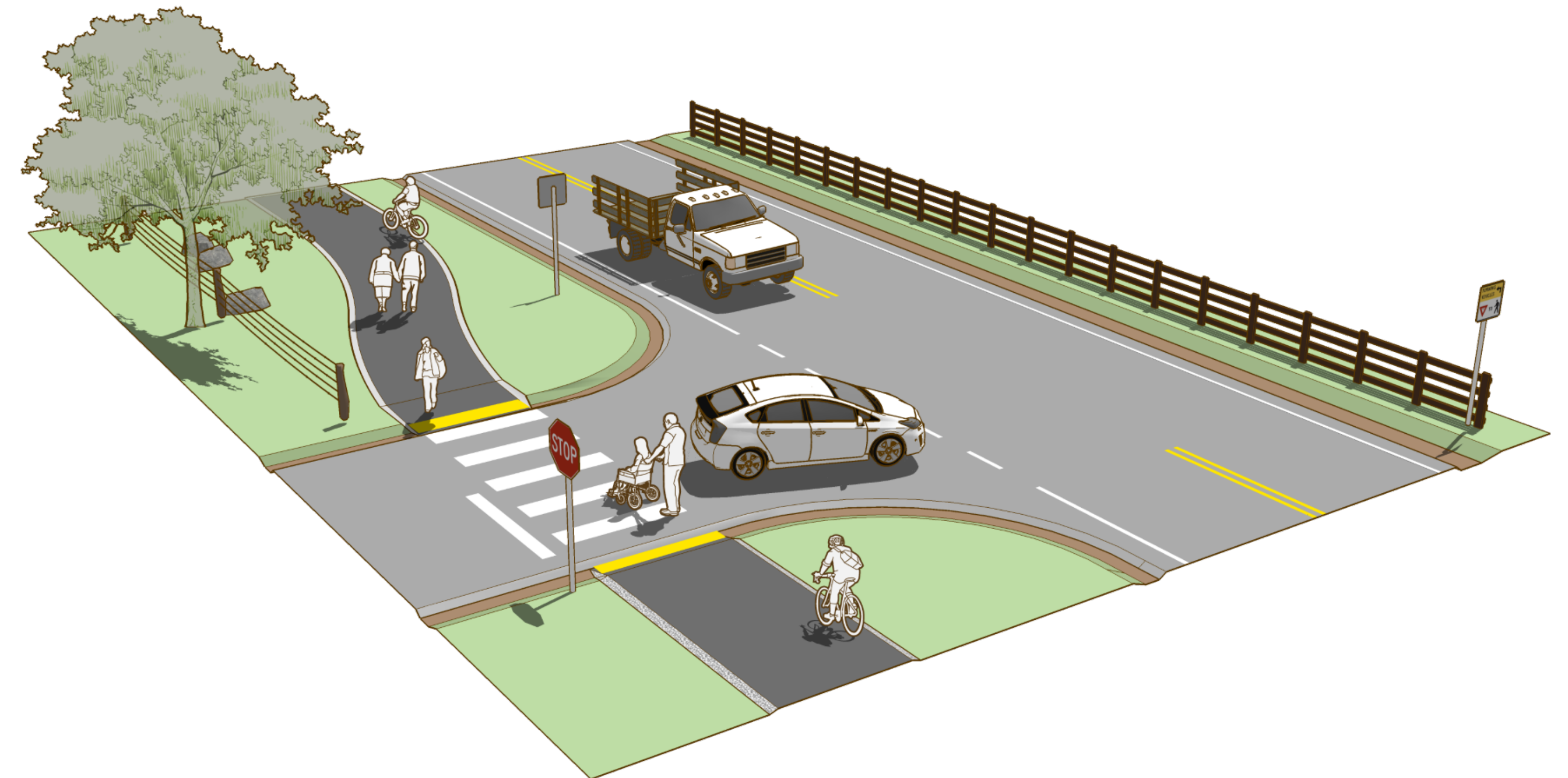
## CONCEPTUAL IMAGES FOR COMMERCIAL CENTER OUTPARCELS



## MULTI-USE PEDESTRIAN PATHWAY EXAMPLES



American Tobacco Trail - Raleigh Durham



## LOCAL PEDESTRIAN PATHWAY EXAMPLES



Zaxby's - Knightdale BLVD



Zaxby's - Knightdale BLVD