

SKETCH PLAN

OLD FASON PLACE

OLD FASION RD, KNIGHTDALE, WAKE COUNTY, NC 27545

OWNER

ASHBURY & THE HOLDING COMPANY L.L.C.  
RALEIGH, NC

PO BOX 90427  
RALEIGH, NC 27675-0427  
(919) 741-7993

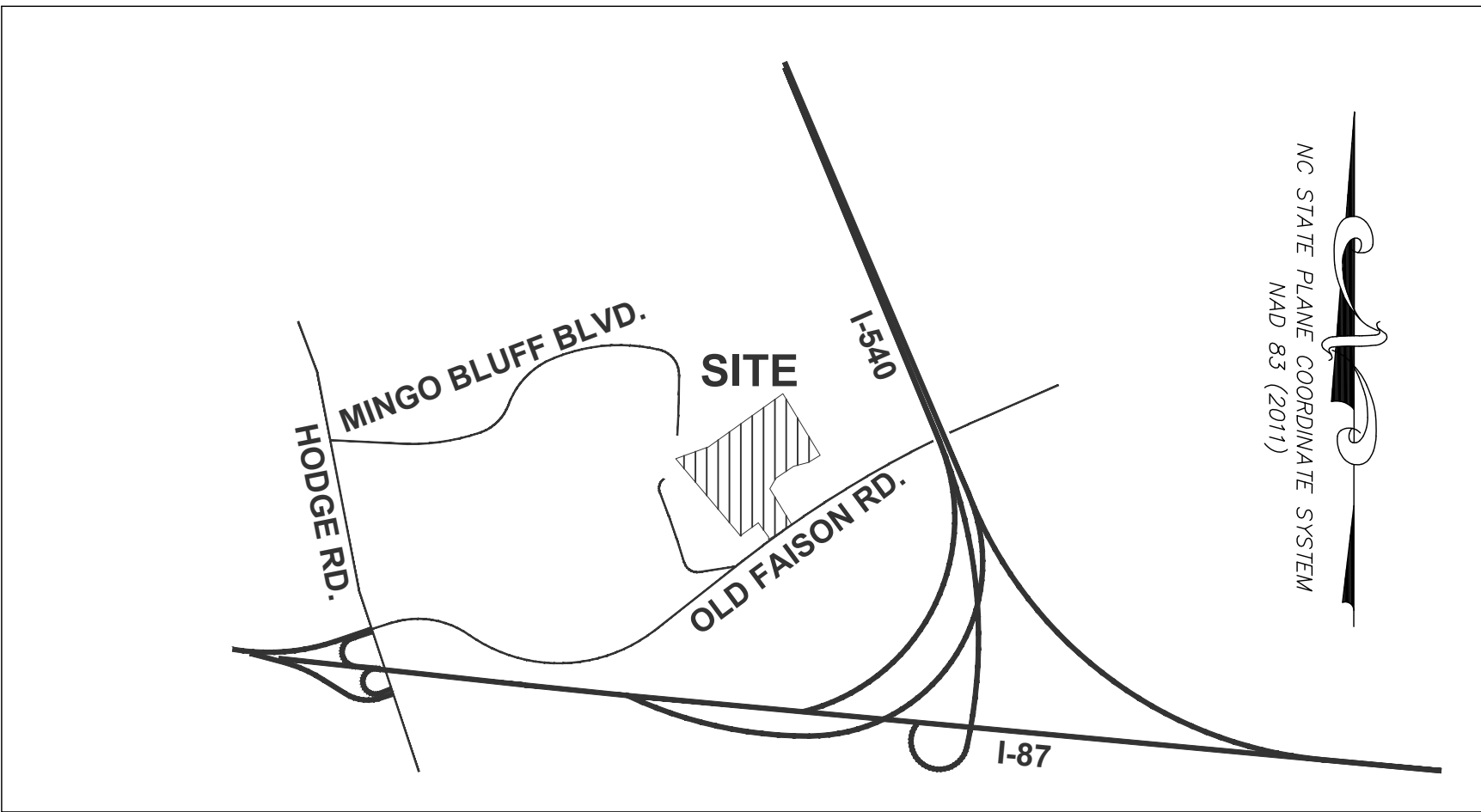
Contact: TOM QUACKENBUSH  
TOM@GLENWOODHOMES.COM

CIVIL ENGINEER

Rivers & Associates, Inc.  
Raleigh, NC

353 E. Six Forks Rd.  
Raleigh, NC 27609  
(919) 594-1626

Contact: Stephen Ballentine, PE  
sballentine@riversandassociates.com

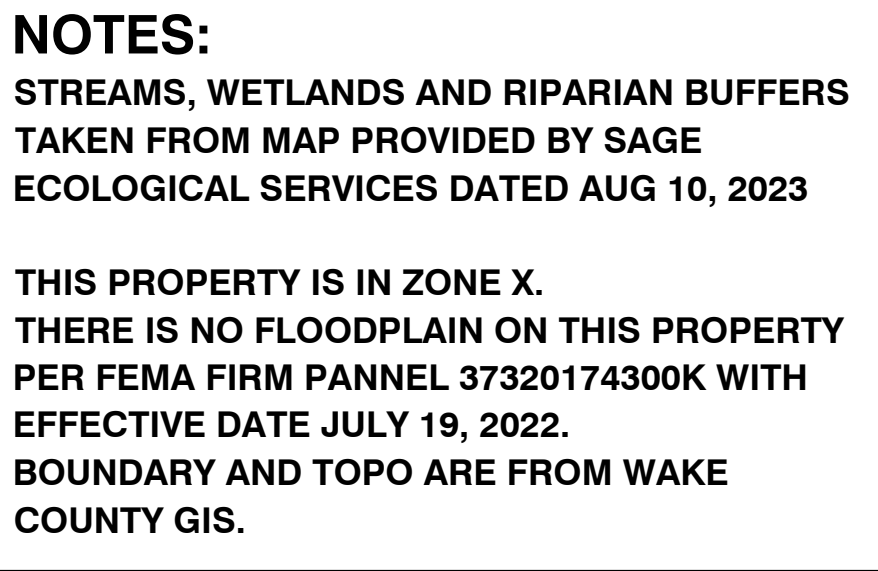


VICINITY MAP  
N.T.S.

Sheet List Table


Sheet Number	Sheet Title
C-1	Cover Sheet
S-1	Existing Conditions
S-2	Sketch Plan
S-3	Stormwater Flow





<b>REVISIONS:</b>					
<b>NO.</b>	<b>DESCRIPTION</b>	<b>DATE</b>	<b>BY</b>		
	SKETCH PLAN SUBMITTAL #2	1/17/24			
	SKETCH PLAN SUBMITTAL #1	5/22/23			

Preliminary  
DO NOT USE  
FOR CONSTRUCTION



Engineers  
Planners  
Surveyors  
Landscape Architects

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[riversandassociates.com](http://riversandassociates.com)

Six Forks Place III Ste. 230  
353 E. Six Forks Road  
Raleigh, NC 27609  
919.594.1626



DEVELOPER DOES NOT HAVE ABILITY TO ACQUIRE  
R/W FROM NORTH PROPERTY NEIGHBOR.  
DEVELOPER OFFERS TO CONSTRUCT MINGO  
BLUFF BLVD OFFSITE CONNECTION, BUT ONLY IF  
THE TOWN ACQUIRES R/W AND ANY NECESSARY  
EASEMENTS FROM NEIGHBOR.

MINCO BLUFF BLVD.  
(60' ROW-PAVED-PUBLIC)

REQUIRE -  
 SITE PERIMETER = 5,465 SF (5,465 SF X 20 = 109,300 SF)  
 SITE AREA = 931,318 SF (931,318 SF X 10% = 93,132 SF)  
 TOTAL TREE COVER AREA REQUIRED (PER SITE AREA) = **93,132 SF**  
 ANY REQUIRED LANDSCAPE BUFFER MAY BE CREDITED TOWARD  
 THIS REQUIREMENT (UDO SEC. 7.4.M.2)  
 MATURING FOREST AREA: 10% OF CALCULATED ADDITIONAL SPACE  
 NEEDED FOR TREE COVER AREA WITH NO DIMENSION LESS THAN 50' WIDE.  
 RE-PLANTED AREAS: 12% OF CALCULATED ADDITIONAL SPACE NEEDED  
 MIN. 2,500 SF WITH NO DIMENSION LESS THAN 50' WIDE.  
 3 CONCEPT TREES / 500 SF  
 5 UNDERSTORY TREES / 500 SF  
 PROVIDED -  
 BUFFERARY TREE COVER AREA A = 19,708 SF  
 BUFFERARY TREE COVER AREA B = 7,659 SF  
 BUFFERARY TREE COVER AREA C = 11,304 SF  
 BUFFERARY TREE COVER AREA D = 1,408 SF  
 BUFFERARY TREE COVER AREA E = 9,684 SF  
 BUFFERARY TREE COVER AREA F = 27,196 SF  
 TOTAL BUFFERARY TREE COVER AREA = 76,959 SF  
 ADDITIONAL TREE COVER AREA REQUIRED = -16,593 SF

Subdivision Name	Old Faison Place
PIN #S	1743463116 / 1743466606
Owner/Developer	Ashbury & the Holding Company, LLC PO Box 90427 Raleigh, NC 27675-0427 (919) 741-7993
Builder:	Glenwood Homes 9220 Fairbanks Dr Suite 120 Raleigh NC 27613 919-741-7993
Property Area	21.15 Acres
Current Zoning	GR8 (Medium Density)
Proposed Zoning	GR8 PUD
Adjacent Zoning	North- UR12 (Urban Residential 12) Townhomes South- RT (Rural Transition) Single Family Residential East- GR8 (Single Family Residential) West- RT (Rural Transition) Single Family Residential
River Basin	Neuse
Watershed	Property is not in a water supply watershed
Land Use:	
Current	Vacant
Proposed	Residential- Single-Family and Townhomes
Dwelling Units:	
Single Family	12
Townhomes	105
Total DU's	117
Density	5.53 DU/AC

Topographic data obtained from Wake County GIS.

Description of existing natural resources:

- There is a small existing wetland on the northeast corner of the site.
- There is an existing pond in the middle of the site, which will be removed.

Description of Stormwater Management:

- This project includes one proposed wet detention pond in the northwest corner of the property as shown. Stormwater discharges towards the northeast.
- Offsite stormwater enters the property from the north, west, and south.
- Stormwater discharges towards the northeast.
- This project will retain the pre-existing drainage patterns.

Calculation Data:			
Density Zone- 2-6 DU/AC			
Dedication Rate = 260 SF/BR			
Total Site Calcs:		Units	BR/Unit Total BR
Acres	21.15		
DU's	<u>117</u>		
DU/AC	5.53		
Total BR Calcs:			
SF		12	3.5
TH		<u>105</u>	<u>262.5</u>
		117	304.5
SF Calcs:			
SF AC	3.13		
% of Total AC	15%		
SF UNITS	<u>12</u>		
DU/AC	3.8		
SF BR/Unit	3.5		
3.13 AC/21.15 AC	15%		
360 BR x 15%		<b>42 BR</b>	
MF Calcs:			
MF AC	8.1		
% of Total AC	38%		
MF UNITS	<u>105</u>		
DU/AC	12.9		
MF BR/Unit	3.0		
8.1 AC/21.15 AC	38%		
360 BR x 44%		<b>263 BR</b>	

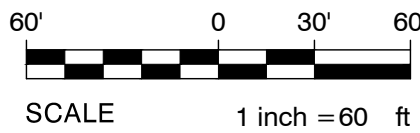
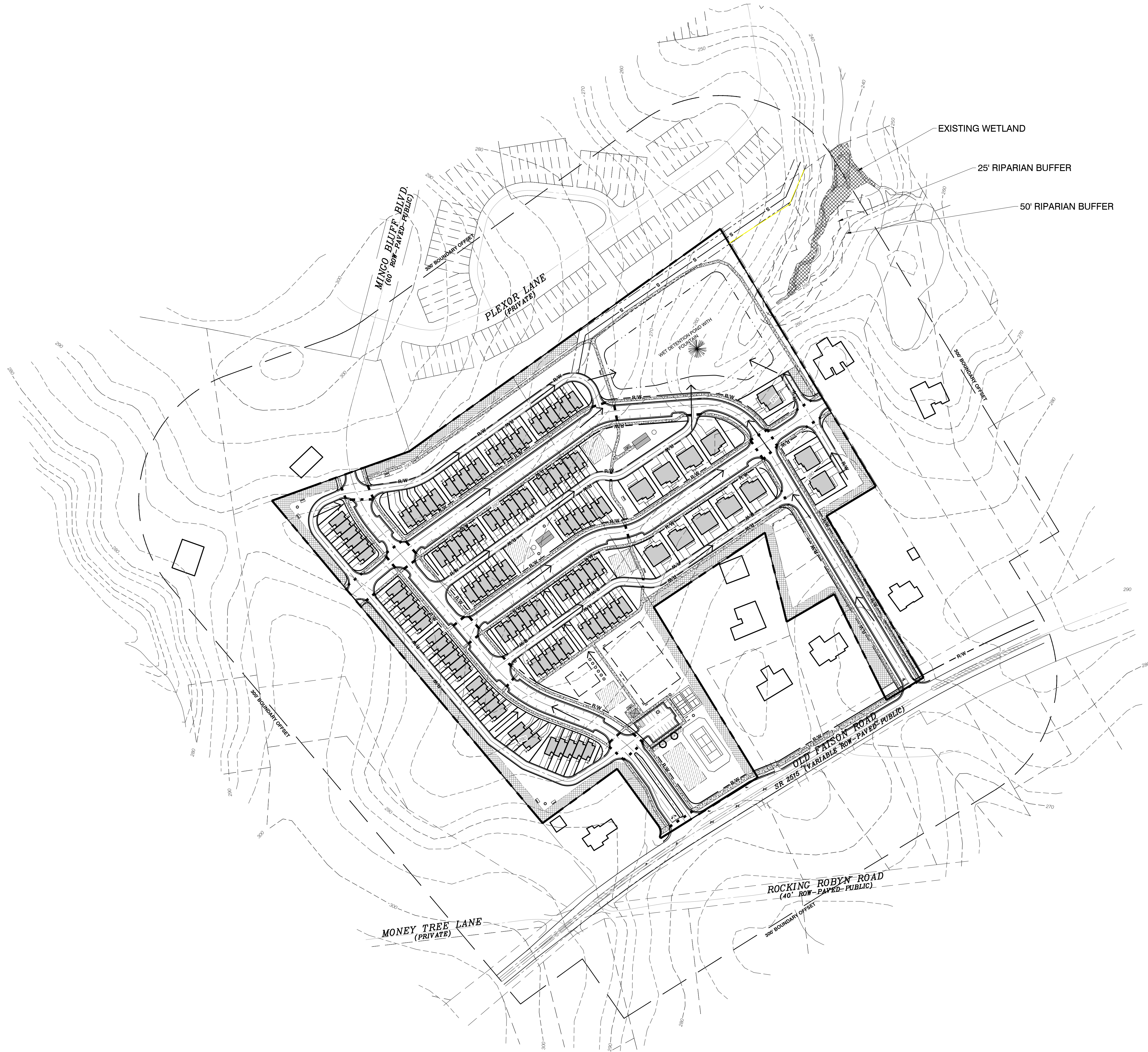
BASE POINTS		POINTS
Major Subdivision		15
<b>BONUS POINTS</b>		
Sec 1B	Offsite road widening of Old Faison Road	5
Sec 2B	Construct a fountain or other storm water amenity within the bmp	4
Sec 2B	Provision of on-street public parking (1 point per stall)	4
Sec 2C	Single-family & Townhomes Mix	15
Sec 4F	Tennis & Pickleball courts (two regulation courts, fenced)	5
Sec 4F	IPEMA Certified Playground Equipment	4
<b>TOTAL POINTS</b>		<b>52</b>
Points required to merit water allocation		50

**S2**



PROJECT: OLDE FAISON PLACE, WAKE COUNTY, NC. SHEET: S3. DATE: 1/17/24. DESIGNED BY: SJB. CHECKED BY: TRN. DRAWN BY: SBF. SCALE: 1" = 60'. STATUS: PRELIMINARY.

NC STATE PLANE COORDINATE SYSTEM  
NAD 83 (2011)



REVISIONS:			
NO.	DESCRIPTION	DATE	BY
1	SKETCH PLAN SUBMITTAL #2	1/17/24	
2	SKETCH PLAN SUBMITTAL #1	5/22/23	

ASHBURY & THE HOLDING COMPANY, LLC  
**OLDE FAISON PLACE**  
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA  
**SCHEMATIC STORMWATER FLOW**

DATE:  
DESIGNED BY: SJB, SBF  
DRAWN BY: SBF  
CHECKED BY: SJB, TRN  
PROJECT No: 2022113  
DRAWING No: W-4104  
SCALE: AS SHOWN  
SHEET No:

S3

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### ARCHITECTURAL FEATURES

- Elevation Offsets Between Units
- Covered Front Porches
- Recessed Front Doors
- Variety of Window Fenestrations
- Bay Windows & Dormers
- Stone Veneer on Front Elevation
- Fiber Cement Siding
- Mix of Lap and Vertical Siding
- Composite Roof Shingles
- Wrapped Porch Columns
- Blended Siding Color Variations



## 5-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

03.13.2024



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## 5-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

04.26.2024



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## 5-Plex - Sides Elevations

### 20' 3-Story Rear Load Townhomes - Knightdale, NC

04.26.2024



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## Proposed Architectural Zoning Conditions – Townhomes

- Dwelling units shall have a variety of siding materials, which will include the following: Fiber cement lap siding, Fiber cement shake, Fiber cement board and batten, Fiber cement smooth panel, Stone veneer, Adhered stone veneer, Brick veneer.
- Dwelling units shall have a variety of siding colors. No adjacent unit shall be painted the same color.
- Dwelling units shall have architectural style roof shingles.
- Dwelling unit roofs shall have a minimum main roof pitch of 5:12. Forward facing Gables shall be between 8:12-14:12 roof pitch. Accent and porch roofs shall be between 3:12-6:12 pitch. Accent elements consisting of Gable dormers, shed dormers are to be utilized when consistent with the style of the home.
- Metal accent roofs are encouraged.
- Dwelling units shall have front covered porches, min 4' deep x 4' wide.
- Dwelling units shall have 18% of glazing on the front.
- Dwelling units shall have rear loaded garages.
- Adjacent townhouse units shall have staggered setbacks as shown on the plan.
- Townhomes shall be a minimum of 19'-8" wide and a minimum of 1500 heated square feet.
- Roof eave overhang shall be a minimum of 12", Tight rake overhangs are permitted on porches and main roofs between townhome units. 12" min. rake overhangs on end unit exposed elevation.
- 18" minimum raised foundation (finished floor to average grade) brick or adhered stone face.





#### ARCHITECTURAL FEATURES

- Covered Front Porches
- Variety of Window Fenestrations
- Dormers
- Brick Veneer on Front Elevation
- Mix of Lap & Board & Batten Siding
- Composite Roof Shingles
- Wrapped Porch Columns w/Brackets

## Denmark '1' - Front Elevation

Knightdale, NC

11.10.2023



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#### ARCHITECTURAL FEATURES

- Covered Front Porches
- Wrapped Porch Columns
- Variety of Window Fenestrations
- Brick Veneer on Front Elevation
- Mix of Lap & Board & Batten Siding
- 12/12 Roof Pitch-Front Gables
- Composite Roof Shingles

## Denmark '2' - Front Elevation

Knightdale, NC

11.10.2023



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#### ARCHITECTURAL FEATURES

- Covered Front Porches
- Porch Columns with Trim Details
- Variety of Window Fenestrations
- Brick Veneer on Front Elevation
- Mix of Lap/Shingle/Board & Batten Siding
- 12/14 Roof Pitch-Front Gables
- Composite Roof Shingles

## Denmark '3' - Front Elevation

Knightdale, NC

11.10.2023



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#### ARCHITECTURAL FEATURES

- Covered Front Porches
- Tapered Porch Columns
- Variety of Window Fenestrations
- Stone Veneer on Front Elevation
- Mix of Lap/Shingle/Board & Batten Siding
- 12/12 Roof Pitch-Front Gables
- Composite Roof Shingles

### Denmark '4' - Front Elevation

Knightdale, NC

11.10.2023



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## Proposed Architectural Zoning Conditions - Single Family

- Dwelling units shall have a variety of siding materials, which will include the following: Fiber cement lap siding, Fiber cement shake, Fiber cement board and batten, Fiber cement smooth panel, Stone veneer, Adhered stone veneer, Brick veneer.
- Dwelling units shall have a variety of siding colors. No adjacent unit shall be painted the same color.
- Dwelling units shall have architectural style roof shingles.
- Dwelling unit roofs shall have a minimum main roof pitch of 5:12. Forward facing Gables shall be between 8:12-14:12 roof pitch. Accent and porch roofs shall be between 3:12-6:12 pitch. Accent elements consisting of Gable dormers, shed dormers are to be utilized when consistent with the style of the home.
- Metal accent roofs are encouraged.
- Dwelling units shall have front covered porches, min 4' deep x 4' wide.
- Dwelling units shall have 18% of glazing on the front.
- Dwelling units shall have rear loaded garages.
- Adjacent townhouse units shall have staggered setbacks as shown on the plan.
- Townhomes shall be a minimum of 19'-8" wide and a minimum of 1500 heated square feet.
- Single Family Detached homes shall have a minimum of 1500 heated square feet.
- Roof eave overhang shall be a minimum of 12", Tight rake overhangs are permitted on porches and main roofs between townhome units. 12" min. rake overhangs on end unit exposed elevation.
- 18" minimum raised foundation (finished floor to average grade) brick or adhered stone face.