

OLD FAISON PLACE

MASTER PLAN

OLD FASION RD, KNIGHTDALE, WAKE COUNTY, NC 27545
MASTER PLAN SUBMITTAL #1 09/09/2024

DEVELOPER/ APPLICANT

ASHBURY & THE HOLDING
COMPANY L.L.C.
RALEIGH, NC

PO BOX 90427
RALEIGH, NC 27675-0427
(919) 741-7993

Contact: TOM QUACKENBUSH
TOM@GLENWOODHOMES.COM

CIVIL ENGINEER

Rivers & Associates, Inc.
Raleigh, NC

353 E. Six Forks Rd.
Raleigh, NC 27609
(919) 594-1626

Contact: Stephen Ballentine, PE
sballentine@riversandassociates.com

SURVEYOR

RESIDENTIAL LAND
SERVICES, PLLC.
Cary, NC

1917 EVANS ROAD
CARY NC 27513
(919) 378-9316

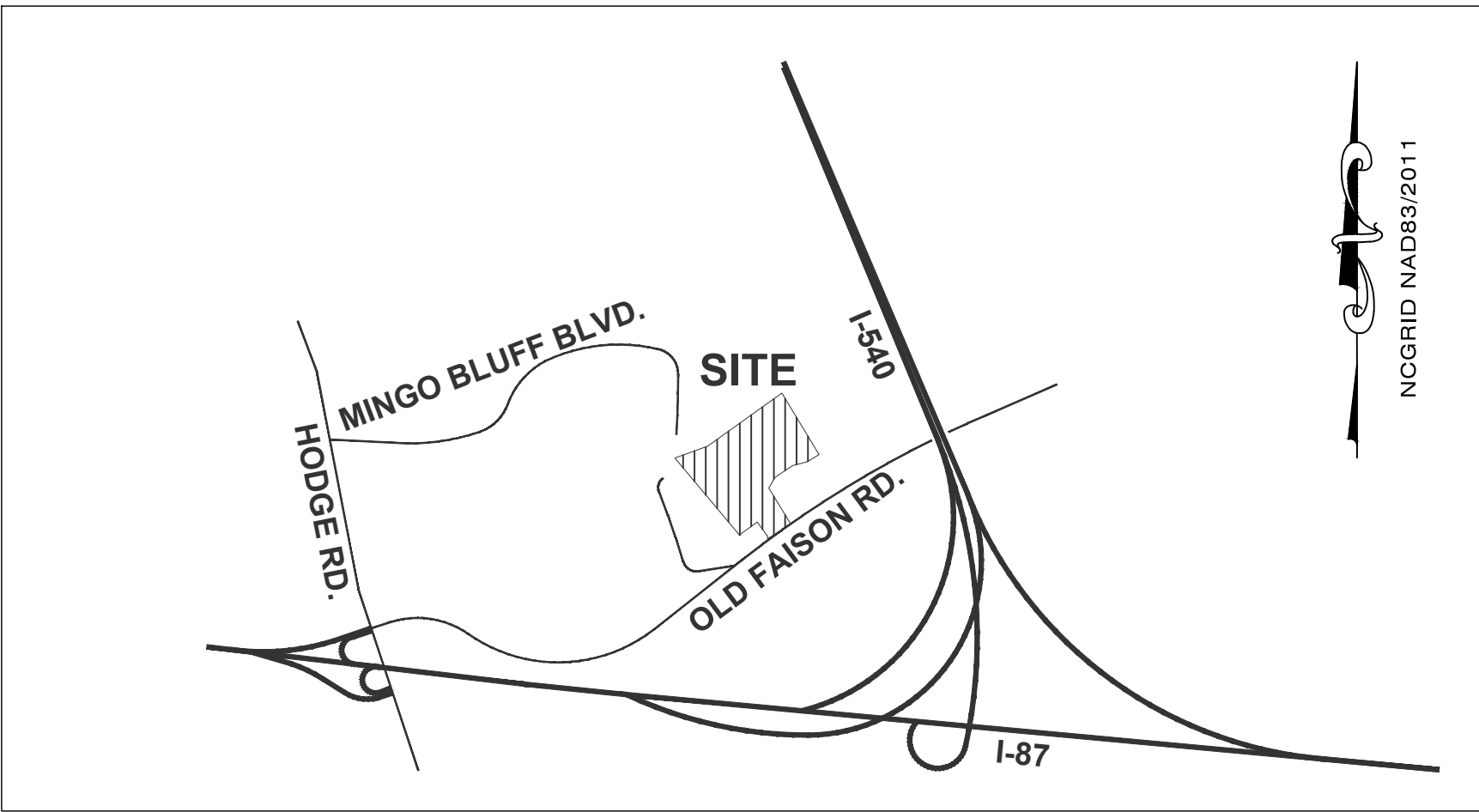
Contact: Dean M. Rhoads
dean@rls-nc.com

LAND USE ATTORNEY

MATTOX LAW FIRM
Raleigh, NC

127 W HARGETT STREET STE #500
RALEIGH, NC 27601
(919) 828-7171

Contact: Isabel Mattox
isabel@mattoxlawfirm.com



VICINITY MAP
N.T.S.

Sheet List Table

| Sheet Number | Sheet Title |
|--------------|--|
| C1.01 | COVER SHEET |
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| C2.11 | OPEN SPACE PLAN |
| C3.01 | PRELIMINARY UTILITY PLAN |
| C4.41 | PRELIMINARY STORMWATER MANAGEMENT PLAN |
| C6.31 | SIGNS & PAVEMENT MARKING PLAN |
| L1.01 | LANDSCAPE PLAN |
| SL1.01 | PRELIMINARY LIGHTING PLAN |
| -- | ELEVATIONS SINGLE FAMILY |
| -- | ELEVATIONS TOWNHOUSES |

SITE DATA

| | |
|------------------|--|
| Subdivision Name | Old Faison Place |
| PIN #S | 1743463116 / 1743466606 |
| Property Area | 20.90 Acres |
| Current Zoning | GR8 (Medium Density) |
| Proposed Zoning | GR8 PUD |
| Adjacent Zoning | North- UR12 (Urban Residential 12) Townhomes South- RT (Rural Transition) Single Family Residential East- GR8 (Single Family Residential) West- RT (Rural Transition) Single Family Residential |
| River Basin | Neuse |
| Watershed | Property is not within a water supply watershed |
| Land Use: | |
| Current | Vacant |
| Proposed | Residential- Single-Family and Townhomes |
| Dwelling Units: | |
| Single Family | 12 |
| Townhomes | 103 |
| Total DU's | 115 |
| Proposed Density | 5.6 DU/AC Prior to R/W Dedication |

NOTES:

Survey performed by Residential Land Services, PLLC
Description of existing natural resources:
• There are no wetlands onsite. There are some offsite wetlands to the east on the neighbor's property.
• There is an existing pond in the middle of the site, which will be removed.
• There is a riparian stream buffer at the east edge of the property.
Description of Stormwater Management:
• This project includes one proposed wet detention pond in the northeast corner of the property as shown. Stormwater discharges towards the northeast.
• Offsite stormwater enters the property from the north, west, and south.
• This project will retain the pre-existing drainage patterns.

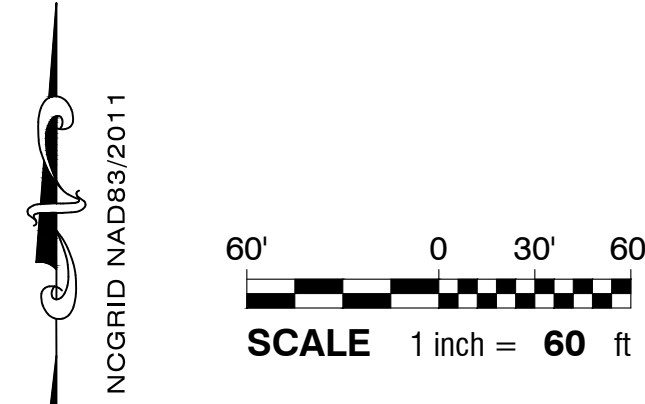
NO SCALE - NOT TO BE USED FOR CONSTRUCTION - PRELIMINARY



NOTES:
STREAMS, WETLANDS AND RIPARIAN BUFFERS
TAKEN FROM MAP PROVIDED BY SAGE
ECOLOGICAL SERVICES DATED AUG. 10, 2023

FEMA FLOODPLAIN NOTE:
THIS PROPERTY IS IN FEMA FLOOD ZONE X.
THERE IS NO FLOODPLAIN ON THIS PROPERTY
PER FEMA FIRM PANNEL 37320174300K WITH
EFFECTIVE DATE JULY 19, 2022.
BOUNDARY AND TOPO ARE FROM RESIDENTIAL
LAND SERVICES, PLLC.
THIS SHEET IS A COMPILATION OF THE
INFORMATION AVAILABLE, INCLUDING SURVEY
DATA OFFSITE LIDAR TOPO, GIS, CITY WATER &
SEWER MAPPING.

THIS SHEET IS NOT A SURVEY. THE
PROFESSIONAL ENGINEER IS NOT SEALING A
SURVEY. CONTACT RESIDENTIAL LAND
SERVICES, PLLC TO OBTAIN THEIR SEALED
SURVEY.



| REVISIONS: | | | |
|------------|--------------------------|---------|----|
| NO | DESCRIPTION | DATE | BY |
| 1 | MASTER PLAN SUBMITTAL #1 | 9/23/24 | |
| 2 | SKETCH PLAN SUBMITTAL #2 | 1/17/24 | |
| 3 | SKETCH PLAN SUBMITTAL #1 | 5/22/23 | |

ASHBURY & THE HOLDING COMPANY, LLC
OLDE FAISON PLACE
CITY OF WINGTIDE - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS

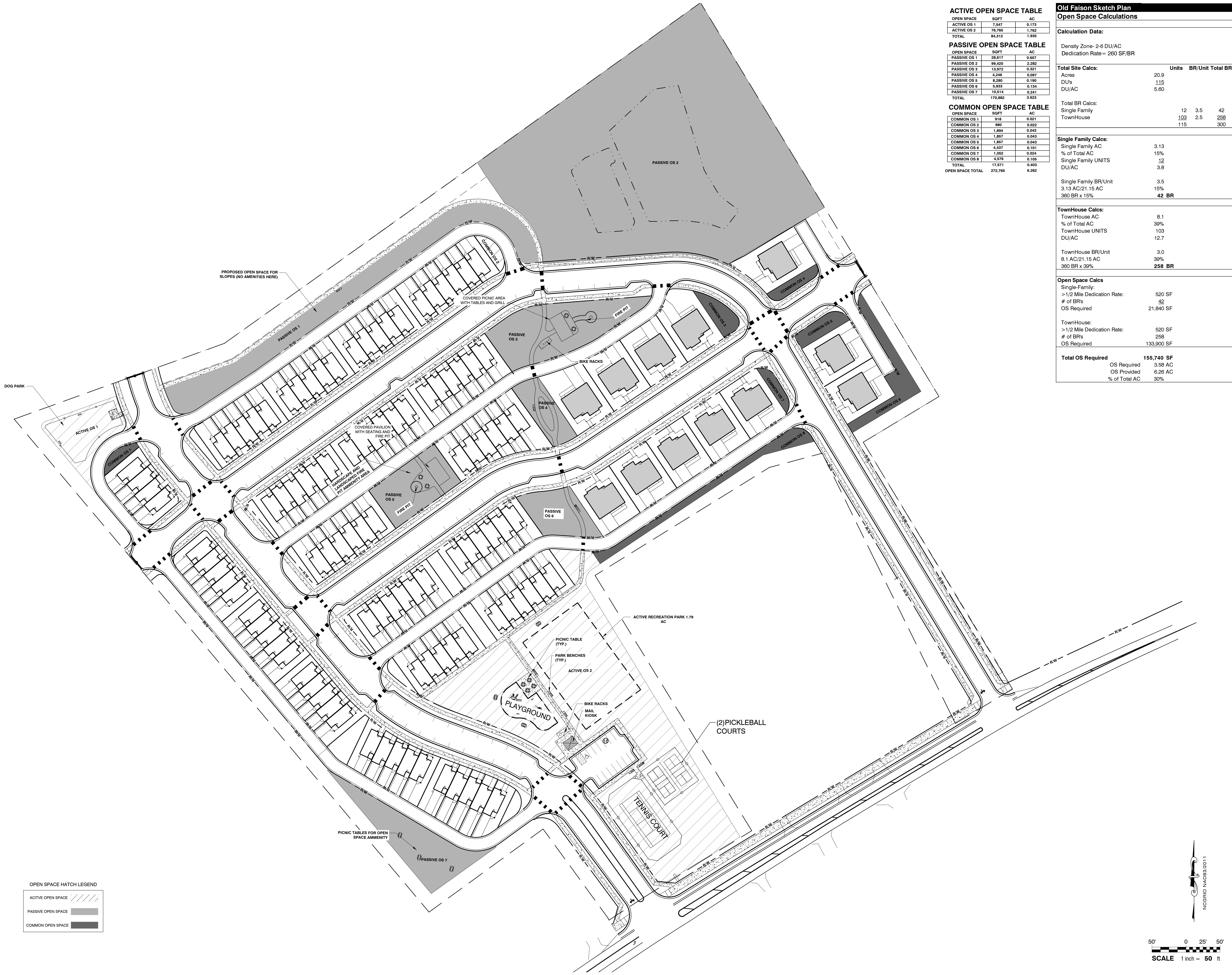
DESIGNED BY: CS
DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No: 2022113
DRAWING No: W-4104
SCALE: AS SHOWN
SHEET No: **C1.21**

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Six Forks Place III Ste. 230
353 E. Six Forks Road
Raleigh, NC 27609
919.594.1626

DATE: 09/23/24
DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No. 2022113
DRAWING No. W-4104
SCALE: AS SHOWN
SHEET No. C2.11



| ACTIVE OPEN SPACE TABLE | | |
|-------------------------|--------|-------|
| OPEN SPACE | SQFT | AC |
| ACTIVE OS 1 | 7,347 | 0.173 |
| ACTIVE OS 2 | 76,766 | 1.762 |
| TOTAL | 84,112 | 1.935 |

| PASSIVE OPEN SPACE TABLE | | |
|--------------------------|---------|-------|
| OPEN SPACE | SQFT | AC |
| PASSIVE OS 1 | 28,617 | 0.657 |
| PASSIVE OS 2 | 99,420 | 2.262 |
| PASSIVE OS 3 | 13,972 | 0.321 |
| PASSIVE OS 4 | 4,246 | 0.097 |
| PASSIVE OS 5 | 8,280 | 0.190 |
| PASSIVE OS 6 | 5,833 | 0.134 |
| PASSIVE OS 7 | 10,514 | 0.241 |
| TOTAL | 170,882 | 3.923 |

| COMMON OPEN SPACE TABLE | | |
|-------------------------|---------|-------|
| OPEN SPACE | SQFT | AC |
| COMMON OS 1 | 918 | 0.021 |
| COMMON OS 2 | 960 | 0.022 |
| COMMON OS 3 | 1,894 | 0.043 |
| COMMON OS 4 | 1,857 | 0.043 |
| COMMON OS 5 | 1,857 | 0.043 |
| COMMON OS 6 | 4,437 | 0.101 |
| COMMON OS 7 | 1,052 | 0.024 |
| COMMON OS 8 | 4,576 | 0.105 |
| TOTAL | 17,571 | 0.403 |
| OPEN SPACE TOTAL | 272,766 | 6.262 |

| Old Faison Sketch Plan | | |
|-----------------------------|------------|------------------|
| Open Space Calculations | | |
| Calculation Data: | | |
| Density Zone- 2-6 DU/AC | | |
| Dedication Rate = 260 SF/BR | | |
| Total Site Calcs: | Units | BR/Unit Total BR |
| Acres | 20.9 | |
| DUs | 115 | |
| DU/AC | 5.60 | |
| Total BR Calcs: | | |
| Single Family | 12 | 3.5 |
| TownHouse | 103 | 2.5 |
| | 115 | 258 |
| | | 300 |
| Single Family Calcs: | | |
| Single Family AC | 3.13 | |
| % of Total AC | 15% | |
| Single Family UNITS | 12 | |
| DU/AC | 3.8 | |
| Single Family BR/Unit | | |
| 3.13 AC/21.15 AC | 3.5 | |
| 360 BR x 15% | 15% | 42 BR |
| TownHouse Calcs: | | |
| TownHouse AC | 8.1 | |
| % of Total AC | 39% | |
| TownHouse UNITS | 103 | |
| DU/AC | 12.7 | |
| TownHouse BR/Unit | | |
| 8.1 AC/21.15 AC | 3.0 | |
| 360 BR x 39% | 39% | 258 BR |
| Open Space Calcs | | |
| Single-Family: | | |
| >1/2 Mile Dedication Rate: | 520 SF | |
| # of BRs | 42 | |
| OS Required | 21,840 SF | |
| TownHouse: | | |
| >1/2 Mile Dedication Rate: | 520 SF | |
| # of BRs | 258 | |
| OS Required | 133,900 SF | |
| Total OS Required | | |
| OS Required | 155,740 SF | |
| OS Provided | 3.58 AC | |
| % of Total AC | 6.26 AC | |
| % of Total AC | 30% | |

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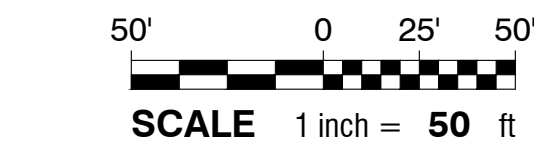
REVISIONS:

| NO. | DATE | BY | DESCRIPTION |
|-----|---------|----|--------------------------|
| | 9/23/24 | | MASTER PLAN SUBMITTAL #1 |
| | 1/17/24 | | SKETCH PLAN SUBMITTAL #2 |
| | 9/22/23 | | SKETCH PLAN SUBMITTAL #1 |

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OLDE FAISON PLACE
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
OPEN SPACE PLAN

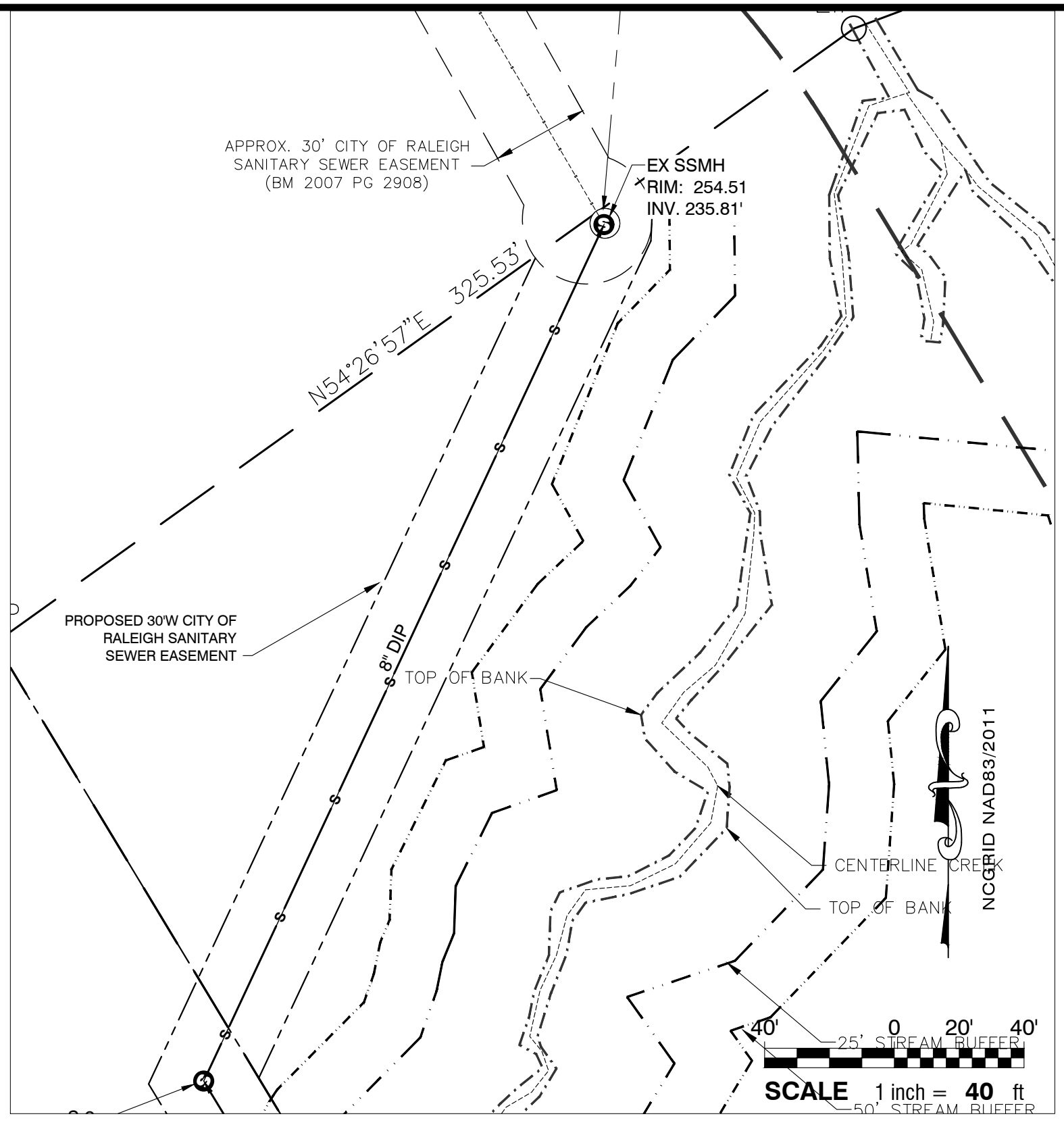
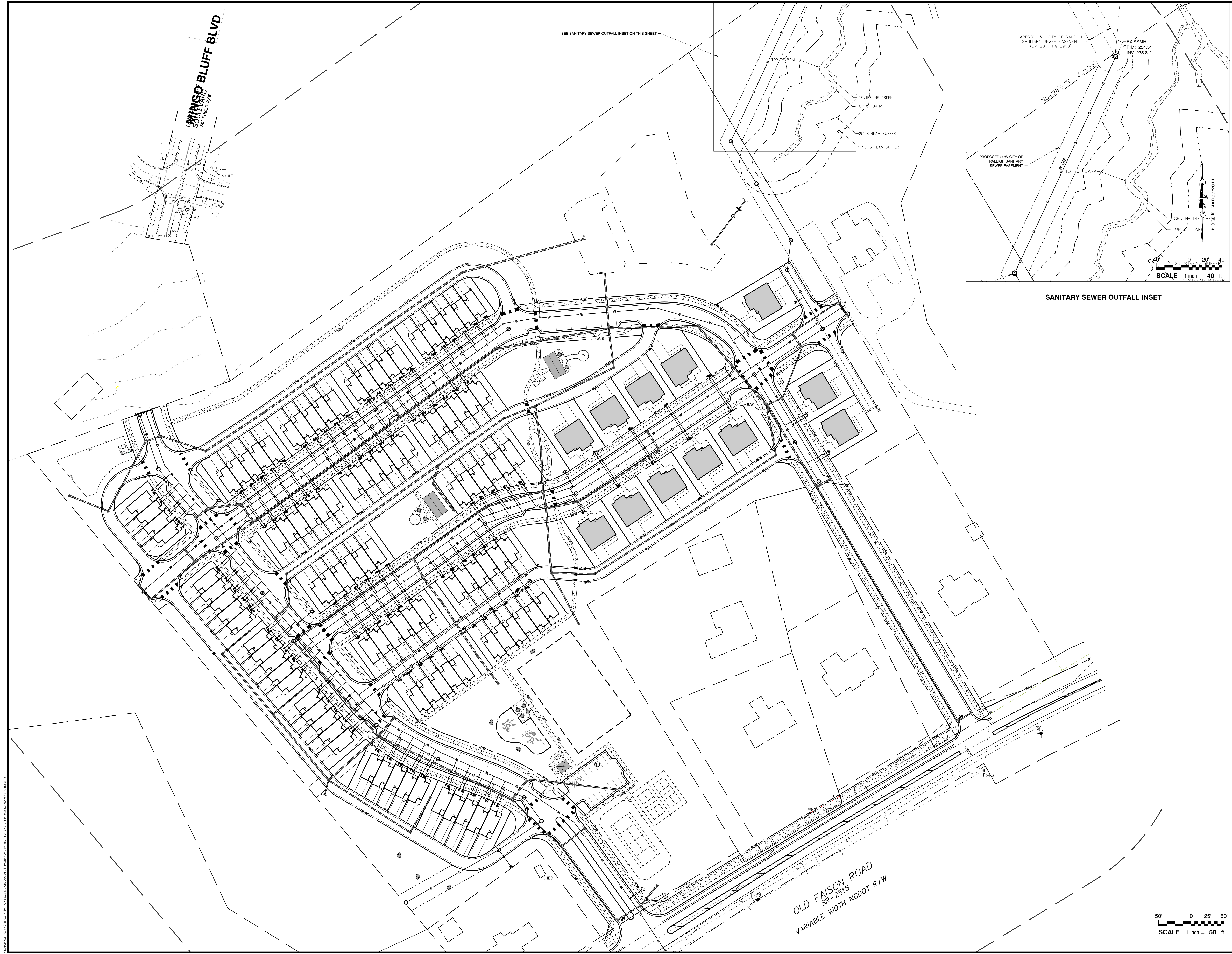
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DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No. 2022113
DRAWING No. W-4104
SCALE: AS SHOWN
SHEET No.

C2.11



NGRID NAD83/2011

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ASHBURY & THE HOLDING COMPANY, LLC

OLDE FAISON PLACE
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

PRELIMINARY UTILITY PLAN

DATE: _____

DESIGNED BY: CS

DRAWN BY: TAH

CHECKED BY: SJB

PROJECT No: 2022113

DRAWING No: W-4104

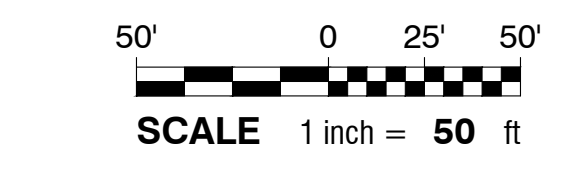
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SHEET No: _____

C3.01



OLD FAISON ROAD
SR-2515
VARIABLE WIDTH NCDOT R/W



PROJECT: OLD FAISON PLACE, SR-2515, WAKE COUNTY, NC. SHEET: C6.31 - SIGNS & PAVEMENT MARKING PLAN. DATE: 08/20/2021. DESIGNED BY: CS. DRAWN BY: TAH. CHECKED BY: SJB. PROJECT NO: 2022113. DRAWING NO: W-4104. SCALE: AS SHOWN. SHEET NO: C6.31. NCGRID NAD83/2011. 40' 0 20' 40' SCALE 1 inch = 40 ft.

ALL SIGNAGE AND PAVEMENT MARKINGS IN TOWN OF KIWITDALE R/W SHALL BE PER TOWN SPECIFICATIONS.

ALL SIGNAGE AND PAVEMENT MARKINGS IN NCDOT R/W SHALL BE PER NCDOT SPECIFICATIONS.

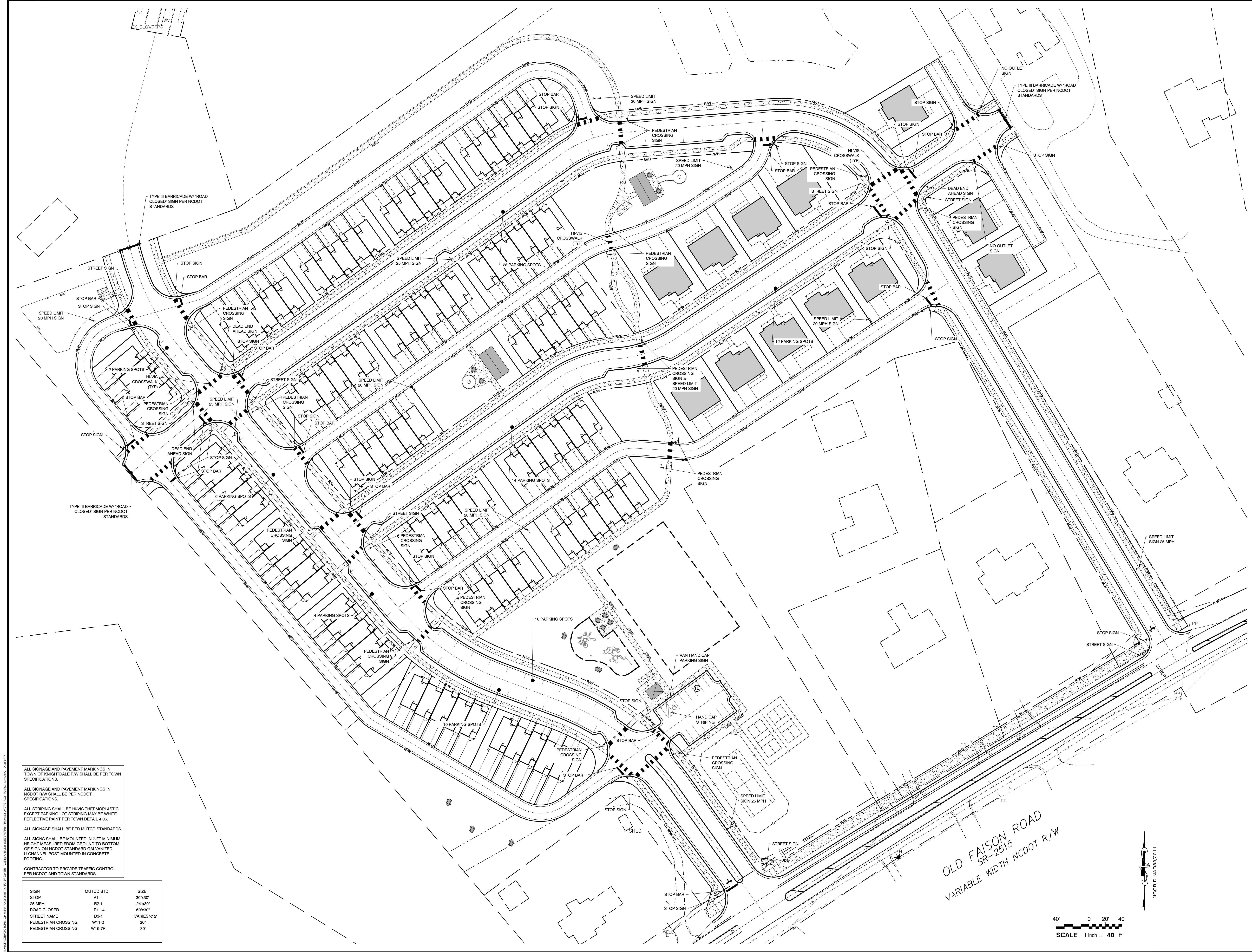
ALL STRIPING SHALL BE HI-VIS THERMOPLASTIC EXCEPT PARKING LOT STRIPING MAY BE WHITE REFLECTIVE PAINT PER TOWN DETAIL 4.06.

ALL SIGNAGE SHALL BE PER MUTCD STANDARDS.

ALL SIGNS SHALL BE MOUNTED IN 7-FT MINIMUM HEIGHT MEASURED FROM GROUND TO BOTTOM OF SIGN ON NCDOT STANDARD GALVANIZED U-CHANNEL POST MOUNTED IN CONCRETE FOOTING.

CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER NCDOT AND TOWN STANDARDS.

| SIGN | MUTCD STD. | SIZE |
|---------------------|------------|--------------|
| STOP | R1-1 | 30"x30" |
| 25 MPH | R2-1 | 24"x30" |
| ROAD CLOSED | R11-4 | 30"x30" |
| STREET NAME | D3-1 | VARIABLE 12" |
| PEDESTRIAN CROSSING | W11-2 | 30" |
| PEDESTRIAN CROSSING | W16-7P | 30" |



OLD FAISON ROAD
SR-2515
VARIABLE WIDTH NCDOT R/W

40' 0 20' 40'
SCALE 1 inch = 40 ft

NCGRID NAD83/2011

ASHBURY & THE HOLDING COMPANY, LLC
OLDE FAISON PLACE
CITY OF KIWITDALE - WAKE COUNTY - NORTH CAROLINA
SIGNS & PAVEMENT MARKING PLAN

DATE:
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SCALE: AS SHOWN
SHEET NO:

C6.31

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LIGHTING LEGEND

ROADWAY LED LIGHTS
(8,000 LUMENS LED 75 ROADWAY LIGHT)
ALUMINUM POLE - HEIGHT 30'

PEDESTRIAN LIGHT POLE
OPEN MONTICELLO LED LIGHTS
(2,000 LUMENS LED 75 ROADWAY LIGHT)
ALUMINUM POLE - HEIGHT 2'

LIGHTING NOTES

1. ALL FIXTURES SHALL HAVE A FULL CUTOFF CLASSIFICATION OR BE FULLY SHIELDED.
2. ALL POLE-MOUNTED LED SHALL NOT EXCEED 37' IN HEIGHT.
3. ALL LIGHT POLES SHALL MEET THE TOWNS MINIMUM STANDARD OF A FIBERGLASS POLE WITH A FULLY-SHIELDED, ARM MOUNTED LED.
4. RESIDENTIAL ROADS SHALL HAVE LIGHT POLES SPACED A MAXIMUM OF 250' AND ARTERIAL STREETS SPACED AT 150' MAXIMUM.
5. LOCAL STREETS SHALL MEET 4,000 LUMEN MINIMUM.

THIS PLAN IS PRELIMINARY. FINAL LIGHTING PLAN TO BE DESIGNED BY LIGHTING PROFESSIONAL.

50' 0 25' 50'

SCALE 1 inch = 50 ft

NORTH AVENUE

NGRID NAD88/2011

n - PRELIMINARY



- COMPOSITE ROOF SHINGLES
- FIBER CEMENT BOARD AND BATTEN
- VINYL WINDOWS
- FIBER CEMENT LAP SIDING
- BRICK ROWLOCK OVER SOLDIER
- BRICK VENEER

Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Board & Batten Siding
- Dormer
- Composite Roof Shingles
- Wrapped Porch Columns w/ Brackets

Denmark '1' - Front Elevation

Knightdale, NC

09.26.2024



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Architectural Features

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Board & Batten Siding
- Wrapped Porch Columns
- 12/12 Roof Pitch Front Gable

Denmark '2' - Front Elevation

Knightdale, NC

09.26.2024



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Architectural Features

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Shingle Siding
- Wrapped Porch Columns
- 9/12 Roof Pitch Front Gable

Denmark '3' - Front Elevation

Knightdale, NC

09.26.2024



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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten, Shingle Siding
- Composite Roof Shingles
- Tapered Porch Columns

Denmark '4' - Front Elevation

Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 9/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns

Denmark '5' - Front Elevation

Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 10/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Shingle Siding
- Dormer
- Composite Roof Shingles
- Wrapped Porch Columns

Denmark '6' - Front Elevation

Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns



6-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



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FIBER CEMENT
LAP SIDING



6-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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6-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes - Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns



5-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



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FIBER CEMENT
LAP SIDING



5-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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5-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes - Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns

3-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



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3-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



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3-Plex - Sides Elevations 20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



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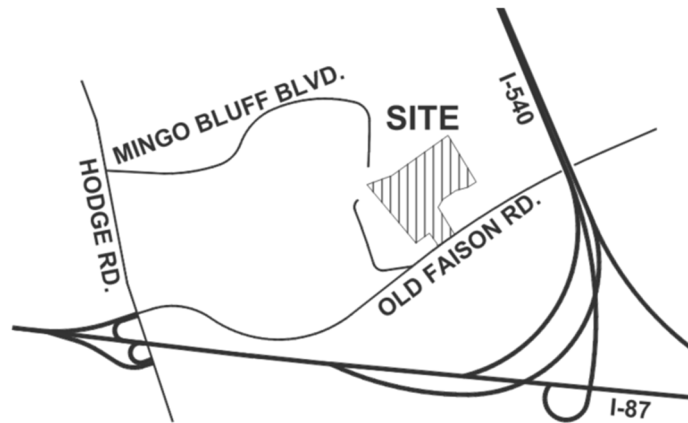
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OLD FAISON PLACE

A MASTERPLANNED RESIDENTIAL COMMUNITY IN KNIGHTDALE BY GLENWOOD HOMES



INTRODUCTION:

This development is located on approximately 21 acres off of Old Faison Road in Knightdale. Existing zoning is GR8 Medium Density. Proposed zoning is GR8 PUD. The project includes 12 proposed single family residential homes and 103 townhouses for a total of 115 residential units.

VISION STATEMENT:

Glenwood Homes was founded on the principal of quality homes for every lifestyle. We are passionate about building homes that have functional floor plans for today's life choices. We bring these homes to our homebuyers at a price that demonstrates value and the best quality possible. Our team has a wealth of knowledge in the North Carolina market and together has over 80 years of experience in building communities that will stand the test of time.

Our vision for this project in Knightdale is to create a vibrant, sustainable community that embodies quality and elegance. Drawing on our rich history of crafting attractive residential developments, we aim to blend innovative design with a commitment to environmental stewardship, fostering a neighborhood that not only enhances the beauty of the area but also promotes a strong sense of community. Our goal is to provide future residents with not just homes, but a lifestyle defined by comfort, accessibility, and connection.

UDO COMPLIANCE:

This project has been designed to comply with the Town of Knightdale Unified Development Ordinance, including but not limited to the zoning standards, allowable uses, buffers, landscaping, stormwater, utilities, lighting, roadway, parking, and open space requirements.

COMPREHENSIVE PLAN:

The Comprehensive Plan describes how the Town's population has grown substantially from 1,884 people in 1990 to 20,971 in 2023. The Town takes pride in its' expanding population, and this project will help the Town to continue to grow. The Plan indicates that the median home value in Knightdale is \$364,693. The proposed townhouses and single family houses in this development are expected to have a similar price point, and will complement the real estate value of the area. The Comprehensive Plan indicates that the Town has a shortage of townhouses: Only 6% of all residential units in Knightdale are townhouses. This project has a significant number of proposed townhouse units, and will help the Town to achieve a more balanced mix of residential housing types in the Town. The Comprehensive Plan indicates that the economy is an important factor to the Town. This project will create hundreds of new job opportunities with the construction of this development, and the additional residents will boost the available work force of the community. A hallmark of the Comprehensive plan is to provide comprehensive and connected open spaces. This project includes a connected open space corridor, including pickleball and tennis courts, multi-use field, playground, walking trail, landscaped areas, benches, fire pits, dog park, and a stormwater pond with a fountain. The Plan indicates that the Town intends for this property to be a "Secondary Growth Area", and is located next to a "trail-oriented development activity center". This project is proposing an internal walking trail. A wide pedestrian sidepath is intended to be constructed along Old Faison Road per the Town standards. The Plan indicates this land as a "future mixed-use neighborhood". However, this project is not proposing any commercial/retail uses, as the developer specializes in residential construction, and does not feel that there is a demand for commercial/retail uses at this location. The size, shape, and topography of this property provides limited buildable area, and does not provide enough buildable land for additional uses. This project qualifies as a "mixed density neighborhood", according to page 77 of the Comprehensive Plan. The project includes a grid street network with parallel parking along some streets, as well as multiple stub streets to adjacent properties, which is a goal of the Plan.

DESIGN GUIDELINES:

This project is designed to comply with the following design guidelines and others.

- Town of Knightdale UDO
- City of Raleigh Public Utilities Handbook
- NCDOT road design standards (Old Faison Rd)
- NCDEQ Stormwater BMP Design Manual
- NCDENR Sedimentation & Erosion Control Manual

DIMENSIONAL STANDARDS:

Refer to the Site Plan sheet, which shows the dimensions. The internal roads are designed per Town of Knightdale dimensional standards. The Old Faison Road widening is designed per NCDOT and Town dimensional standards. The townhouse and single-family residential lots are designed per Town of Knightdale dimensional standards.

TRANSPORTATION ANALYSIS:

A Traffic Impact Analysis report was prepared by DRMP traffic engineers and submitted to the Town. The report is included again with this Master Plan submittal. Refer to the report for additional information.

- The Town has asked the developer to extend and connect to existing Mingo Bluff Blvd to the north. As stated on the plans, the developer is willing to construct the road extension, but only if the Town is able to acquire the necessary road R/W and additional easements from the neighboring property owner to the north. Our project cannot legally perform work on the neighbor's property, and the Town must acquire the land before a road connection can be built.
- The Town requested that the developer construct a roundabout at our main entrance along Old Faison Road. The TIA indicates that a roundabout is not warranted. According to the TIA, a single eastbound left turn lane is needed along Old Faison Rd, as shown on the plans. The developer is not proposing to construct a roundabout, due to cost, and hardships of acquiring significant land from multiple adjacent residential properties.
- The Town asked the developer to perform a widening along the north shoulder for our property frontage, as well as the neighbor's property gap. The developer has agreed to do this, if the additional R/W can be obtained from the neighbors, as shown on the plans.
- The plans show that the south side of Old Faison Rd will be widened where needed to support the required turn lane and tapers. The developer is not proposing to do a full ultimate road widening on the neighbor's south road frontage, as that will be the responsibility of the property owners on the south side of Old Faison Rd when their property is improved.
- The Town asked the developer to construct a median in Old Faison Rd. This is not feasible, due to multiple existing driveways on both sides of the road, as the median would inhibit their driveway access.

- The Town asked the developer to construct a 10' sidepath along the north shoulder of Old Faison Road. The sidepath is shown on the plans.
- The proposed road network includes (2) road intersections with Old Faison Road, creating a looped road network and improved vehicular circulation for residents and emergency vehicles.
- The internal roads are designed based on the Town's design standards, and as discussed with Planning staff. The project is designed to provide on-street parallel parking in portions of the development. Residential properties are designed with individual driveway access on rear alleys per the Town's standards. A partial median is proposed on Mingo Bluff Blvd near the main entrance, as requested by the Town. It is not practical to construct additional medians due to the proximity of road intersections and driveways.
- Multiple road stubouts to neighboring properties are shown on the plans, which can be extended by potential future neighboring developments.

RECREATIONAL OPEN SPACE:

The plans show the following recreational open space types:

- (2) pickleball courts
- Tennis court
- Playground
- Multi-use field
- Walking trail
- Dog part
- (2) fire pits with hardscape & landscape areas
- (2) covered pavilions
- Picnic tables
- Stormwater wet detention pond with fountain

WATER ALLOCATION POINTS:

This project meets the Town's standards for water allocation points as follows:

- | | |
|---|-----------|
| • Major Subdivision: | 15 points |
| • Construct Fountain in Stormwater Pond: | 4 points |
| • On-Street Public Parking: | 4 points |
| • Architectural Standards: | 15 points |
| • Pickleball and Tennis Courts: | 5 points |
| • Enhanced Roadside Landscaping (Old Faison): | 2 points |
| • IPEMA Certified Playground Equipment: | 4 points |
| • 1,000 LF of 6-ft Wide Path: | 1 point |
| • Total: | 50 points |

Proposed Architectural Standards – Townhomes

- Townhouse units shall have a variety of siding materials, which shall include a minimum of three of the following: Fiber cement lap siding, Fiber cement shake, Fiber cement board and batten, Fiber cement smooth panel, Stone veneer, Adhered stone veneer, Brick veneer.
- Townhouse units will all have recessed entry with min. 6" door trim.
- Townhouse units shall have a variety of siding colors. No adjacent unit shall be painted the same color.
- Townhouse units shall have architectural style roof shingles.
- Townhouse unit roofs shall have a minimum main roof pitch of 5:12. Forward facing Gables shall be between 8:12-14:12 roof pitch. Accent and porch roofs shall be between 3:12-6:12 pitch. Accent elements consisting of Gable dormers, shed dormers are to be utilized when consistent with the style of the home.
- Metal accent roofs are encouraged.
- Townhouse units will all be three stories.
- Townhouse units shall have front covered porches, min 5' deep x 4' wide with a 6" minimum width pillar/post/column.
- Townhouse units roofs will all have either a dormer or gable accent.
- Townhouse units will have at a minimum a covered porch and window trim of 4" minimum in width.
- Townhouse units shall have 18% of glazing on the front.
- Townhouse units shall have rear loaded garages.
- Adjacent townhouse units shall have staggered setbacks as shown on the plan.
- Townhomes shall be a minimum of 19'-8" wide and a minimum of 1500 heated square feet.
- Roof eave overhang shall be a minimum of 12". Tight rake overhangs are permitted on porches and main roofs between townhome units. 12" min. rake overhangs on end unit exposed elevation.
- 18" minimum brick or stone veneer.

Proposed Architectural Standards – Single Family

- Single Family units shall have a variety of siding materials, which shall include a minimum of three of the following: Fiber cement lap siding, Fiber cement shake, Fiber cement board and batten, Fiber cement smooth panel, Stone veneer, Adhered stone veneer, Brick veneer.
- Single Family units will all have recessed entry with min. 6" door trim.
- Single Family units shall have a variety of siding colors. No adjacent unit shall be painted the same color.
- Single Family units shall have architectural style roof shingles.
- Single Family unit roofs shall have a minimum main roof pitch of 5:12. Forward facing Gables shall be between 8:12-14:12 roof pitch. Accent and porch roofs shall be between 3:12-6:12 pitch. Accent elements consisting of Gable dormers, shed dormers are to be utilized when consistent with the style of the home.
- Metal accent roofs are encouraged.
- Single Family units will all be two stories.
- Single Family units shall have front covered porches, min 5' deep x 4' wide with a 6" minimum width pillar/post/column.
- Single Family unit roofs will all have either a dormer or gable accent.
- Single Family units will have at a minimum a covered porch and window trim of 4" minimum in width.
- Single Family units shall have 18% of glazing on the front.
- Single Family units shall have rear loaded garages.
- Single Family units shall have a minimum of 1500 heated square feet.
- Single Family roof eave overhang shall be a minimum of 12".
- 18" foundation brick or stone veneer.