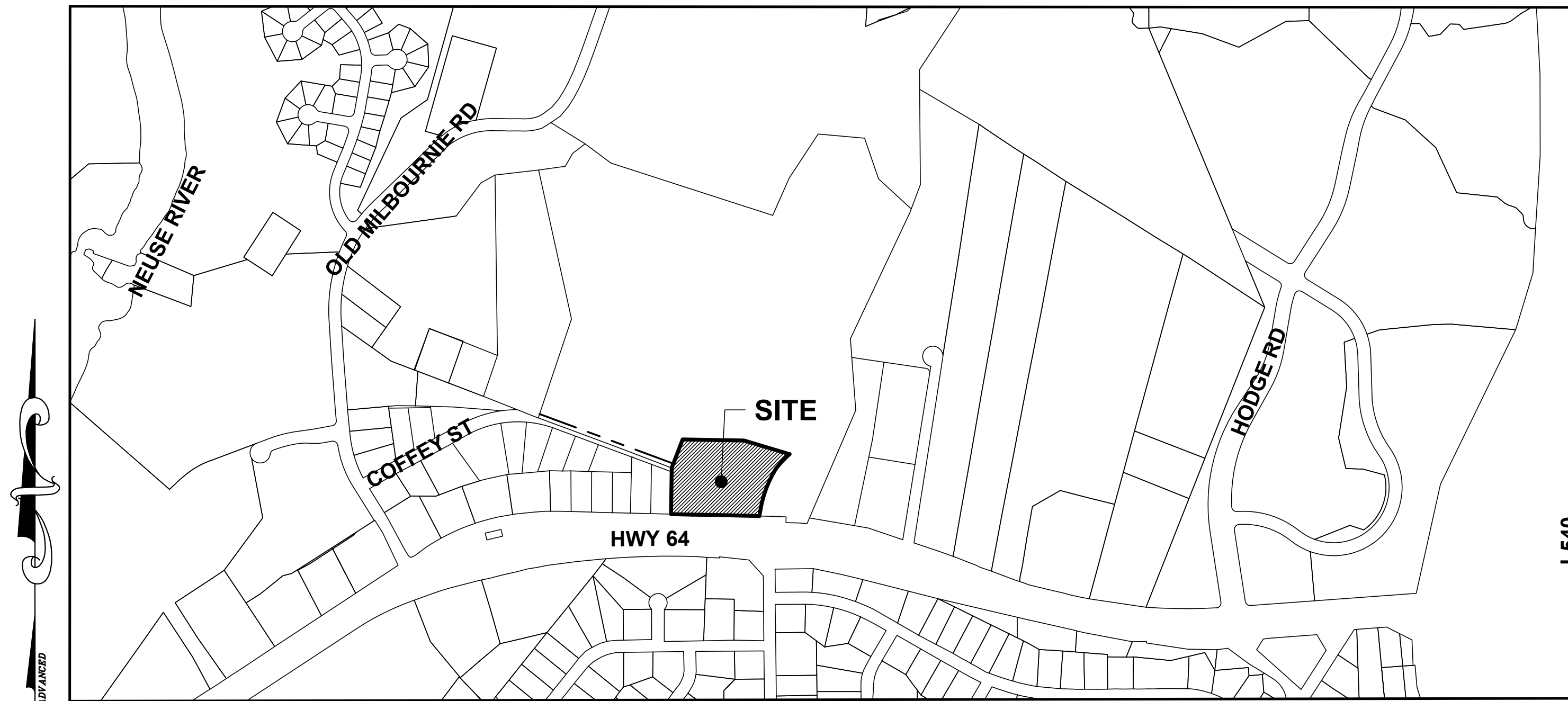


# MASTER PLAN

# KNIGHTDALE GATEWAY OUTPARCEL

## 5901 FARMWELL ROAD

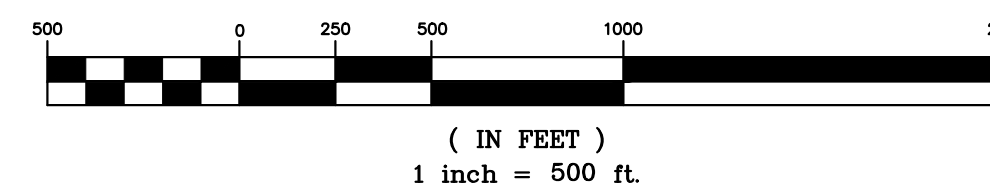
## ST. MATTHEW'S TOWNSHIP, KNIGHTDALE, NORTH CAROLINA



**VICINITY MAP**

SCALE: 1"=500'

**GRAPHIC SCALE**



### INDEX OF DRAWINGS

COVER SHEET	C.1.0
EXISTING CONDITIONS PLAN	C.2.0
OVERALL SITE PLAN	C.3.0
SITE PLAN	C.3.1
SIGNAGE & MARKING PLAN	C.3.2
UTILITY PLAN	C.4.0
GRADING PLAN	C.5.0
SITE DETAILS	C.6.0
LANDSCAPE PLAN	L.1.0
SITE LIGHTING PLAN	SL.1.0
FLEX BUILDING EXTERIOR ELEVATIONS	A200
RETAIL BUILDING EXTERIOR ELEVATIONS	A200

### SITE DATA TABLE

SITE ACREAGE: 3.98 ACRES EXISTING ZONING: M-PUID ( MANUFACTURING & INDUSTRIAL - PLANNED UNIT DEVELOPMENT) OVERLAY DISTRICT: NONE EXISTING LAND USE: UNDER CONSTRUCTION PROPOSED LAND USE: MANUFACTURING, LIGHT (UDO 5.7.B) RESEARCH AND DEVELOPMENT (UDO 5.7.E) STORAGE - WAREHOUSE, INDOOR STORAGE (UDO 5.7.G) WHOLESALING AND DISTRIBUTION (UDO 5.7.H) BREWERY/WINERY/DISTILLERY (UDO 3.1.C.6) LABORATORY - MEDICAL, ANALYTICAL, RESEARCH & DEVELOPMENT (UDO 3.1.C.6) STUDIO - ART, DANCE, MARTIAL ARTS, MUSIC (UDO 3.1.C.3) BAR/TAVERN/MICROBREWERY (UDO 3.1.C.4) NEIGHBORHOOD RETAIL/RESTAURANT - 2,000 SF OR LESS (UDO 5.5E) RESTAURANT (UDO 3.1.C.4) GENERAL RETAIL - 10,000 SF OR LESS (UDO 5.5.E) BUSINESS SUPPORT SERVICES (UDO 5.4.D) GOVERNMENT SERVICES (UDO 3.1.C.3) MEDICAL SERVICES (UDO 3.1.C.3) PERSONAL SERVICES (UDO 5.4.J) PROFESSIONAL SERVICES (UDO 3.1.C.3) TASTING ROOM (UDO 3.1.C.4) AMUSEMENTS, INDOOR - 5,000 SF OR LESS (UDO 3.1.C.5) AMUSEMENTS, INDOOR - 5,001 SF - 20,000 SF (UDO 3.1.C.5) AMUSEMENTS, INDOOR - GREATER THAN 20,000 SF (UDO 3.1.C.5) RECREATION FACILITIES, INDOOR (UDO 5.6.C)	WATERSHED: LOWER NEUSE PROPOSED NO. BUILDINGS: 2 FLEX BUILDING AREA: 23,400 SF RETAIL BUILDING AREA: 10,800 SF TOTAL BUILDING AREA: 34,200 SF PHASING: PHASE 1 - FLEX BUILDING PHASE 2 - RETAIL BUILDING 0 FT FRONT YARD SETBACK (MIN.): 10 FT FRONT YARD SETBACK (MAX.): 6 FT SIDE YARD SETBACK (MIN.): 10 FT REAR YARD SETBACK (MIN.): 10 FT
---	---

### PARKING CALCULATIONS

USE TYPE: MANUFACTURING, LIGHT & GENERAL RETAIL (10,001 SF - 50,000 SF)  
 MAXIMUM NO. OF PARKING SPACES: 1.5 PER KSF GFA (MANUFACTURING, LIGHT)  
 6 PER KSF GFA (GENERAL RETAIL - 10,001 - 50,000 SF)  
 MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM  
 \*\*KSF = 1,000 SF; GFA = GROSS FLOOR AREA

BUILDING	GFA (SF)	MAX. SPACES	MIN. SPACES	AUTO SPACES PROVIDED
FLEX	23,400	35	18	35
RETAIL	10,800	64	32	57

ELECTRIC VEHICLE REQUIREMENTS:  
 # OF CHARGING STATIONS/DEDICATED SPACES PROVIDED: 1 PER 40 SPACES = 2 SPACES  
 2 SPACES  
 BICYCLE PARKING REQUIRED: 1 PER 10 PARKING SPACES = 9 SPACES  
 BICYCLE PARKING PROVIDED: 10 SPACES

### USE STANDARDS

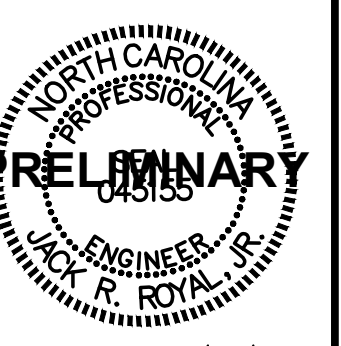
- UDO SECTION 5.4.D BUSINESS SUPPORT SERVICES:**  
 1. ONLY INDOOR TRANSACTIONS SHALL BE PERMITTED WITH NO NIGHT DROP BOXES PERMITTED.
- UDO SECTION 5.4.J PERSONAL SERVICES:**  
 1. HOURS OF OPERATION SHALL BE PERMITTED ONLY FROM 6:00 AM UNTIL 11:00 PM.
- UDO SECTION 5.5.E NEIGHBORHOOD RETAIL/RESTAURANT & GENERAL RETAIL:**  
 1. NO PORTION OF THE LOT FOR A VAPE, TOBACCO, & CBD STORE SHALL BE LOCATED WITHIN A ONE-THOUSAND (1,000) FOOT RADIUS OF THE PROPERTY LINE OF ANOTHER VAPE, TOBACCO, & CBD STORE, PUBLIC OR PRIVATE SCHOOL, OR PARK.
- UDO SECTION 5.6.C RECREATION FACILITIES, INDOOR:**  
 1. INDOOR RECREATION FACILITIES BUILDINGS SHALL COMPLY WITH ALL STANDARDS SET FORTH IN SECTION 6.8.  
 2. INDOOR RECREATION FACILITIES SHALL NOT BE LOCATED WITHIN A TWO-HUNDRED-FIFTY (250) FOOT RADIUS OF THE PROPERTY LINE OF ANY SCHOOL OR CHURCH.
- UDO SECTION 5.7.B LIGHT MANUFACTURING:**  
 1. ALL MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR STORED WITHIN AN OUTDOOR STORAGE AREA THAT COMPLIES WITH ALL REGULATIONS SET FORTH IN SECTION 5.10 AND IS RESTRICTED TO THE REAR YARD.  
 2. ANY OPERATION WHICH RESULTS IN THE CREATION OF NOXIOUS VIBRATIONS, ODORS, DUST, GLARE, OR SOUND IS PROHIBITED.
- UDO SECTION 5.7E RESEARCH AND DEVELOPMENT:**  
 1. ALL MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR STORED WITHIN AN OUTDOOR STORAGE AREA THAT COMPLIES WITH ALL REGULATIONS SET FORTH IN SECTION 5.10 AND IS RESTRICTED TO THE REAR YARD.  
 2. ANY OPERATION WHICH RESULTS IN THE CREATION OF NOXIOUS VIBRATIONS, ODORS, DUST, GLARE OR SOUND IS PROHIBITED.
- UDO SECTION 5.7G STORAGE - WAREHOUSE, INDOOR STORAGE:**  
 1. AN INDOOR STORAGE WAREHOUSE BUILDING IS LIMITED TO FIVE THOUSAND (5,000) SQUARE FEET PER FLOOR IN THE TC AND RR DISTRICTS.  
 2. OUTDOOR STORAGE IS NOT PERMITTED.  
 3. IN THE RR DISTRICT, ALL AREAS SHALL BE SCREENED FROM ANY PRE-EXISTING ADJACENT RESIDENCE (OTHER THAN THE OWNER'S) BY A TYPE-A BUFFER YARD (SECTION 7.4 (1)(2)).
- UDO SECTION 5.7H WHOLESALING AND DISTRIBUTION:**  
 1. ALL VEHICLE STORAGE AREAS SHALL BE ENCLOSED BY AN OPAQUE FENCE OR WALL, RESTRICTED TO THE REAR YARD, AND SCREENED FROM OFF-SITE VIEW OF A PUBLIC RIGHT-OF-WAY BY A TYPE-A BUFFER YARD (SECTION 7.4 (1)(2)).  
 2. NO OUTDOOR PUBLIC ADDRESS SYSTEM SHALL BE PERMITTED WHICH CAN BE HEARD BEYOND THE BOUNDARIES OF THE PROPERTY.

DEVELOPER <b>BEACON PARTNERS</b> 500 EAST MOREHEAD ST, SUITE 200 CHARLOTTE, NC 28202 PHONE (704) 597-7757	ENGINEER <b>ADVANCED CIVIL DESIGN, INC.</b> 51 KILMAYNE DRIVE, SUITE 102 CARY, NC 27511 PHONE (919) 481-6290 FAX (919) 336-5127
OWNER <b>BEACON KG LLC</b> 500 EAST MOREHEAD ST, SUITE 200 CHARLOTTE, NC 28202 PHONE (704) 597-7757	

PLAN PREPARED BY:  
  
**ADVANCED CIVIL DESIGN**  
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 Fax 704.598.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County  
**KNIGHTDALE GATEWAY OUTPARCEL**  
 MASTER PLAN  
 FOR  
**BEACON PARTNERS**  
 COVER SHEET

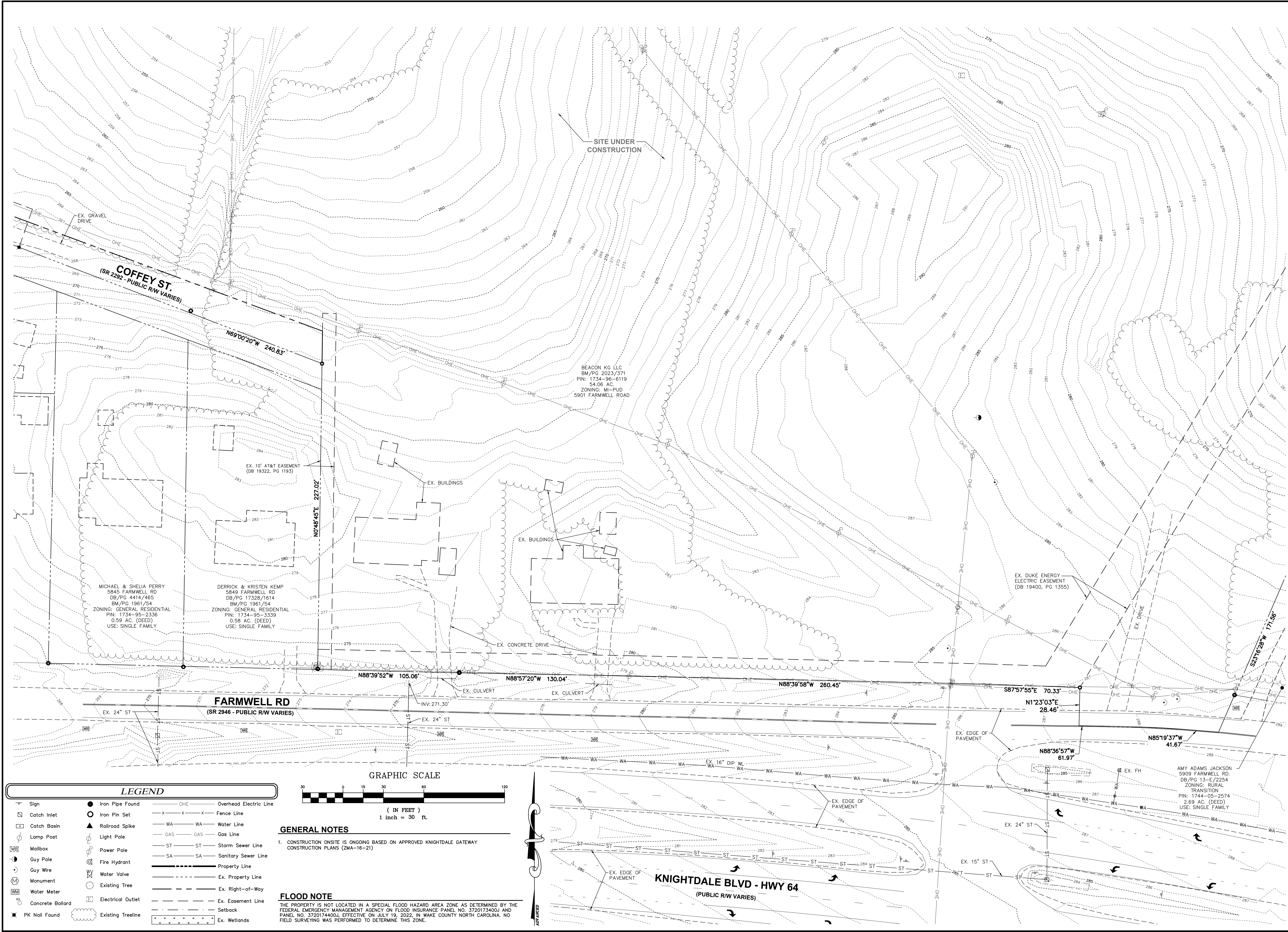


10/23/2023

Issue Dates:  
 10/23/2023 - Master Plan Submittal #1

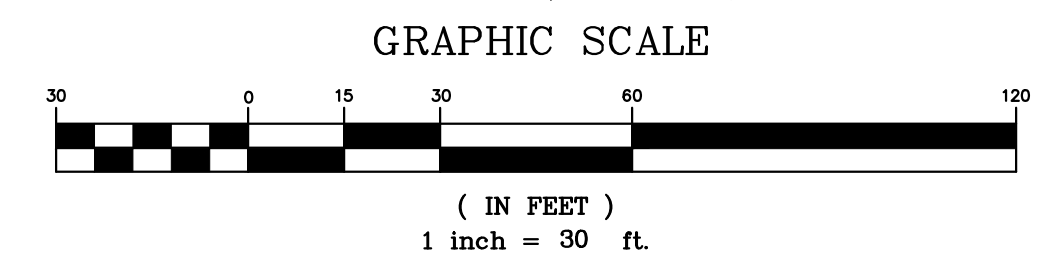
Date: 10/23/2023  
 Scale: 1" = 500'  
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 Checked By: JRR  
 Project Number:  
**21-0011-504**  
 Drawing Number:  
**C.1.0**

C:\V1-001-504NC\Production Drawings\MASTER PLAN\OUTPARCEL 0011-504NC EXISTING CONDITIONS.dwg EXISTING Oct 19, 2023 - 4:40:56pm akrlng



**LEGEND**

Sign	● Iron Pipe Found	— OHE — Overhead Electric Line
☐ Catch Inlet	○ Iron Pin Set	- - - Fence Line
☐ Catch Basin	▲ Railroad Spike	— WA — Water Line
☐ Lamp Post	○ Light Pole	— GAS — Gas Line
☐ Mailbox	○ Power Pole	— ST — Storm Sewer Line
☐ Guy Pole	○ Fire Hydrant	— SA — Sanitary Sewer Line
☐ Guy Wire	○ Water Valve	— — — Property Line
☐ Monument	○ Existing Tree	— — — Ex. Property Line
☐ Water Meter	○ Electrical Outlet	— — — Ex. Right-of-Way
☐ Concrete Bollard	○ Existing Treeline	— — — Ex. Easement Line
☐ PK Nail Found		— — — Setback
		— — — Ex. Wetlands



**GENERAL NOTES**

1. CONSTRUCTION ONSITE IS ONGOING BASED ON APPROVED KNIGHTDALE GATEWAY CONSTRUCTION PLANS (ZMA-16-21)

**FLOOD NOTE**

THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE PANEL NO. 3720173400J AND PANEL NO. 3720174400J, EFFECTIVE ON JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

BEACON KG LLC  
 BM/PG 2023/371  
 PIN: 1734-96-6119  
 34.06 AC.  
 ZONING: MI+PUD  
 5901 FARMWELL ROAD

MICHAEL & SHELIA PERRY  
 5845 FARMWELL RD  
 DB/PG 4414/465  
 BM/PG 1961/54  
 ZONING: GENERAL RESIDENTIAL  
 PIN: 1734-95-2336  
 0.59 AC. (DEED)  
 USE: SINGLE FAMILY

DERRICK & KRISTEN KEMP  
 5849 FARMWELL RD  
 DB/PG 17328/1614  
 BM/PG 1961/54  
 ZONING: GENERAL RESIDENTIAL  
 PIN: 1734-95-3339  
 0.58 AC. (DEED)  
 USE: SINGLE FAMILY

AMY ADAMS JACKSON  
 5909 FARMWELL RD.  
 DB/PG 13-E/2254  
 ZONING: RURAL TRANSITION  
 PIN: 1744-05-2574  
 2.69 AC. (DEED)  
 USE: SINGLE FAMILY

PLAN PREPARED BY:

51 Kilmorye Drive, Suite 102  
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 fax 919.336.5127

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 tel. 704.557.7757  
 fax 704.558.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County

**KNIGHTDALE GATEWAY OUTPARCEL**

**MASTER PLAN**

FOR

**BEACON PARTNERS**

**EXISTING CONDITIONS PLAN**

10/23/2023

Issue Dates:

10/23/2023 - Master Plan Submittal #1

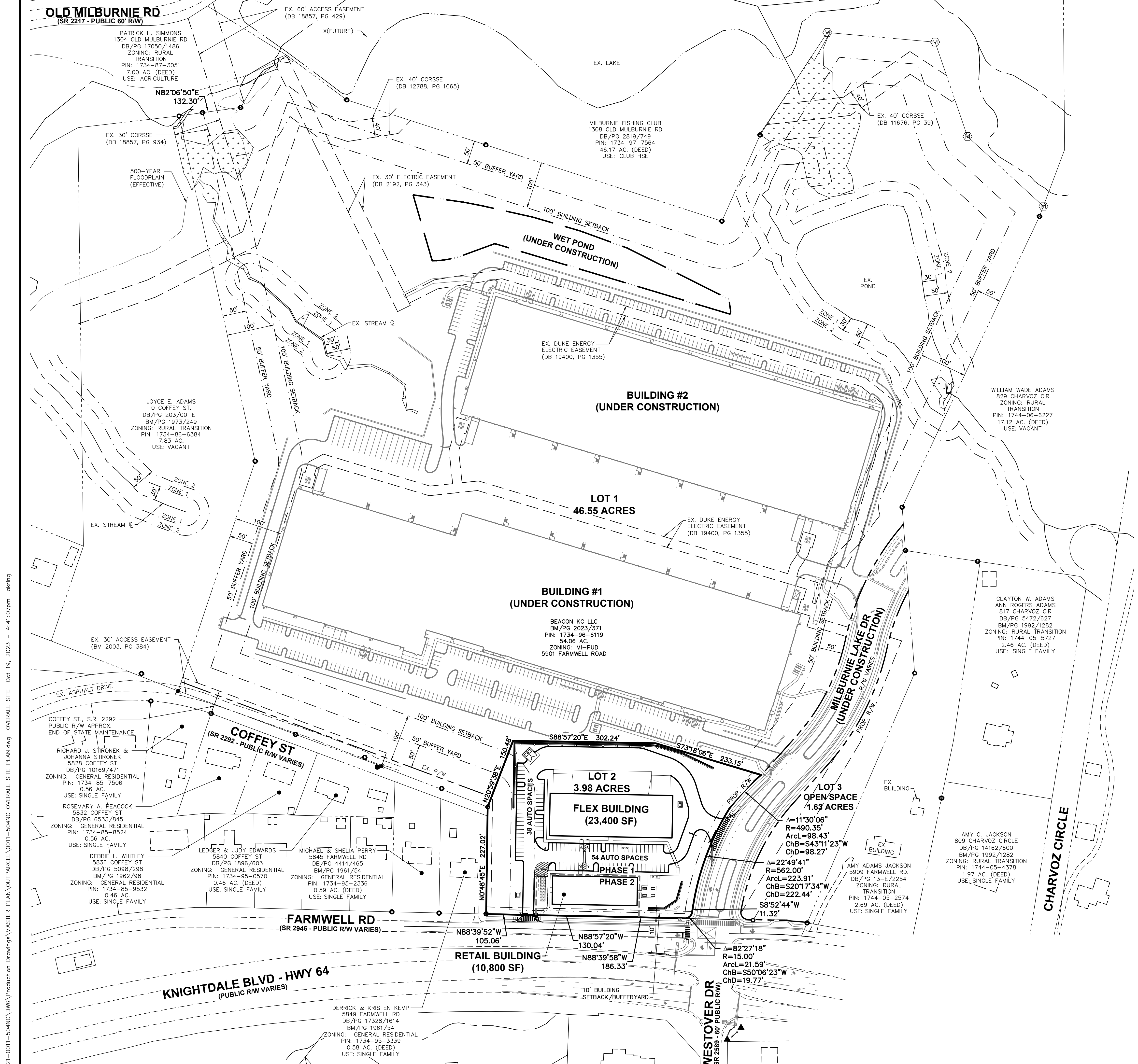
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 Scale: 1" = 30'

Drawn By: AMK  
 Checked By: JRR

Project Number:  
 21-0011-504

Drawing Number:  
**C.2.0**





**SITE DATA TABLE**

SITE ACREAGE:	3.98 ACRES
EXISTING ZONING:	MI-PUD (MANUFACTURING & INDUSTRIAL - PLANNED UNIT DEVELOPMENT)
OVERLAY DISTRICT:	NONE
EXISTING LAND USE:	UNDER CONSTRUCTION
PROPOSED LAND USE:	MANUFACTURING, LIGHT (UDO 5.7.B) RESEARCH AND DEVELOPMENT (UDO 5.7.E) STORAGE - WAREHOUSE, INDOOR STORAGE (UDO 5.7.G) WHOLESALE AND DISTRIBUTION (UDO 5.7.H) BREWERY/WINERY/DISTILLERY (UDO 3.1.C.6) LABORATORY - MEDICAL, ANALYTICAL, RESEARCH & DEVELOPMENT (UDO 3.1.C.6) STUDIO - ART, DANCE, MARTIAL ARTS, MUSIC (UDO 3.1.C.3) BAR/TAVERN/MICROBREWERY (UDO 3.1.C.4) NEIGHBORHOOD RETAIL/RESTAURANT - 2,000 SF OR LESS (UDO 5.5E) RESTAURANT (UDO 3.1.C.4) GENERAL RETAIL - 10,000 SF OR LESS (UDO 5.5.E) BUSINESS SUPPORT SERVICES (UDO 5.4.D) GOVERNMENT SERVICES (UDO 3.1.C.3) MEDICAL SERVICES (UDO 3.1.C.3) PERSONAL SERVICES (UDO 5.4.3) PROFESSIONAL SERVICES (UDO 3.1.C.3) TASTING ROOM (UDO 3.1.C.4) AMUSEMENTS, INDOOR - 5,000 SF OR LESS (UDO 3.1.C.5) AMUSEMENTS, INDOOR - 5,001 SF - 20,000 SF (UDO 3.1.C.5) AMUSEMENTS, INDOOR - GREATER THAN 20,000 SF (UDO 3.1.C.5) RECREATION FACILITIES, INDOOR (UDO 5.6.C)
WATERSHED:	LOWER NEUSE
PROPOSED NO. BUILDINGS:	2
FLEX BUILDING AREA:	23,400 SF
RETAIL BUILDING AREA:	10,800 SF
TOTAL BUILDING AREA:	34,200 SF
PHASING:	PHASE 1 - FLEX BUILDING PHASE 2 - RETAIL BUILDING
FRONT YARD SETBACK (MIN.):	0 FT
FRONT YARD SETBACK (MAX.):	10 FT
SIDE YARD SETBACK (MIN.):	6 FT
REAR YARD SETBACK (MIN.):	10 FT

**PARKING CALCULATIONS**

USE TYPE: MANUFACTURING, LIGHT & GENERAL RETAIL (10,001 SF - 50,000 SF)  
 MAXIMUM NO. OF PARKING SPACES: 1.5 PER KSF GFA (MANUFACTURING, LIGHT)  
 6 PER KSF GFA (GENERAL RETAIL - 10,001 - 50,000 SF)  
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 \*\*KSF = 1,000 SF; GFA = GROSS FLOOR AREA

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FLEX	23,400	35	18	35
RETAIL	10,800	64	32	57

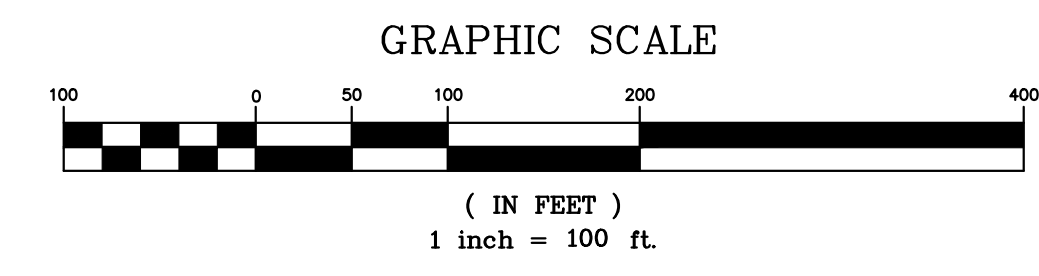
ELECTRIC VEHICLE REQUIREMENTS: 1 PER 40 SPACES = 2 SPACES  
 # OF CHARGING STATIONS/DEDICATED SPACES PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 1 PER 10 PARKING SPACES = 9 SPACES  
 BICYCLE PARKING PROVIDED: 10 SPACES

**GENERAL NOTES**

- ALL PARKING AREAS MUST BE PAVED AND HAVE STANDARD CURB & GUTTER.

**LEGEND**

● Iron Pipe Found	— Ex. Fence Line
● Calculated Point	— Ex. Property Line
● Railroad Spike	— Property Line
✱ PK Nail Found	○ Ex. Wetlands



PLAN PREPARED BY:

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fax 919.336.5127

PLAN PREPARED FOR:

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fax 704.558.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County

**KNIGHTDALE GATEWAY OUTPARCEL**

MASTER PLAN FOR BEACON PARTNERS

**OVERALL SITE PLAN**

10/23/2023

Issue Dates:  
10/23/2023 - Master Plan Submittal #1

Date: 10/23/2023  
Scale: 1" = 100'

Drawn By: AMK  
Checked By: JRR

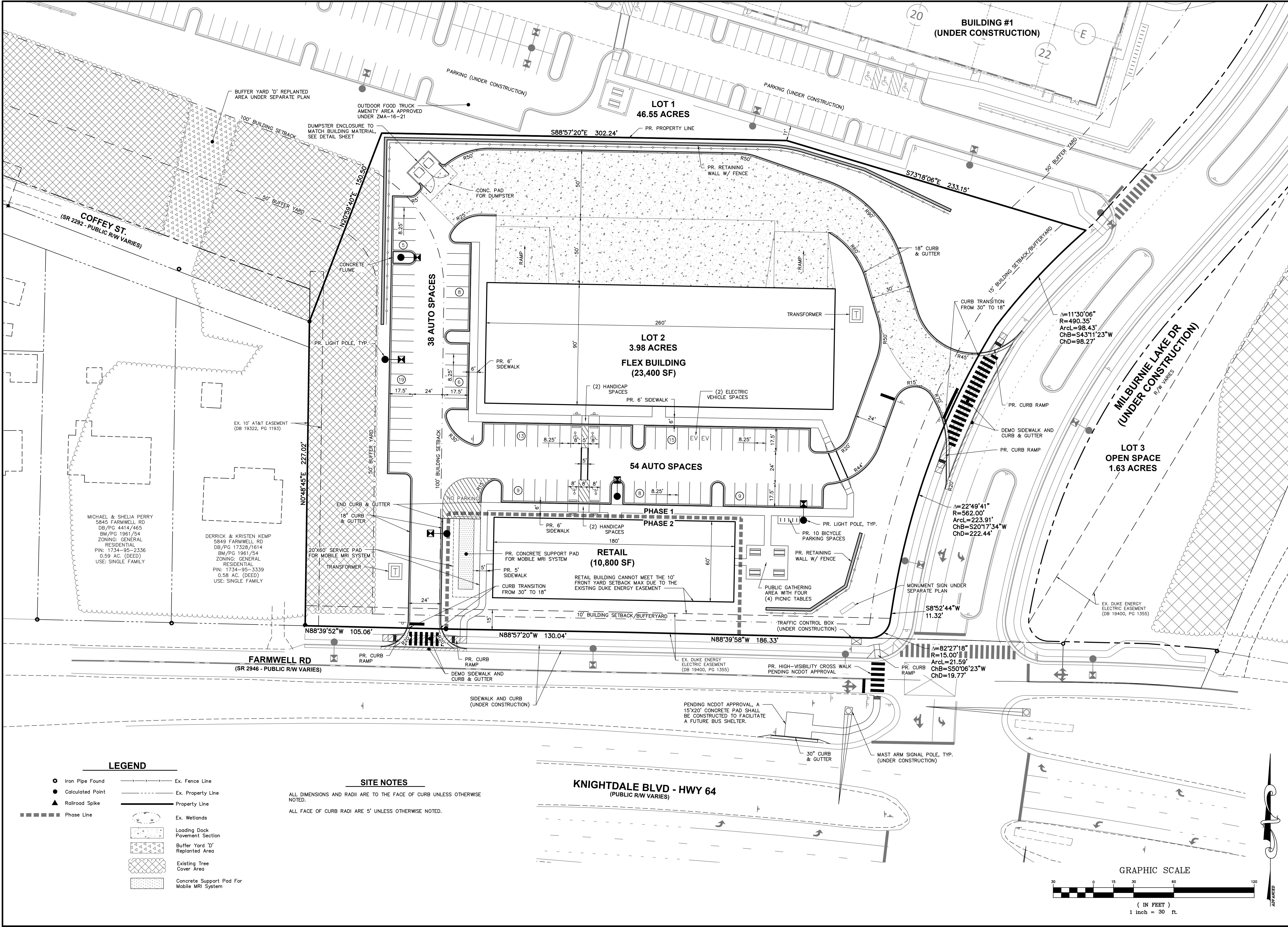
Project Number:  
**21-0011-504**

Drawing Number:  
**C.3.0**

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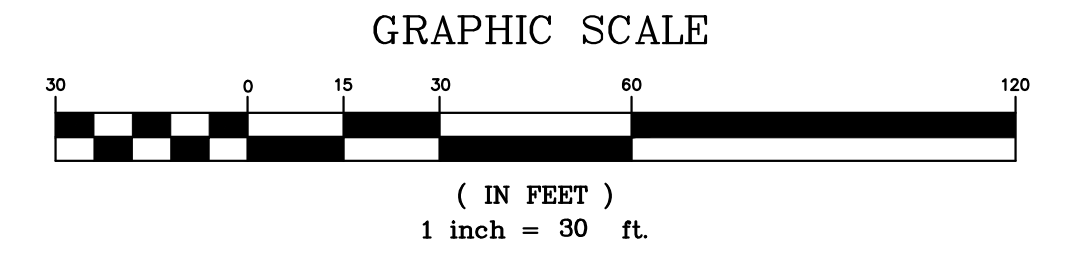


**LEGEND**

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ▬▬▬▬▬ Phase Line
- Ex. Fence Line
- - - Ex. Property Line
- Property Line
- Ex. Wetlands
- Loading Dock Pavement Section
- Buffer Yard 'D' Replanted Area
- Existing Tree Cover Area
- Concrete Support Pad For Mobile MRI System

**SITE NOTES**

ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.  
 ALL FACE OF CURB RADII ARE 5' UNLESS OTHERWISE NOTED.



PLAN PREPARED BY:  
**ADVANCED CIVIL DESIGN**  
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 tel. 704.557.7757  
 fax 704.558.6335

5901 Formwell Road, Knightdale, NC 27610 - Wake County  
**KNIGHTDALE GATEWAY OUTPARCEL**  
**MASTER PLAN**  
 FOR  
**BEACON PARTNERS**  
**SITE PLAN**



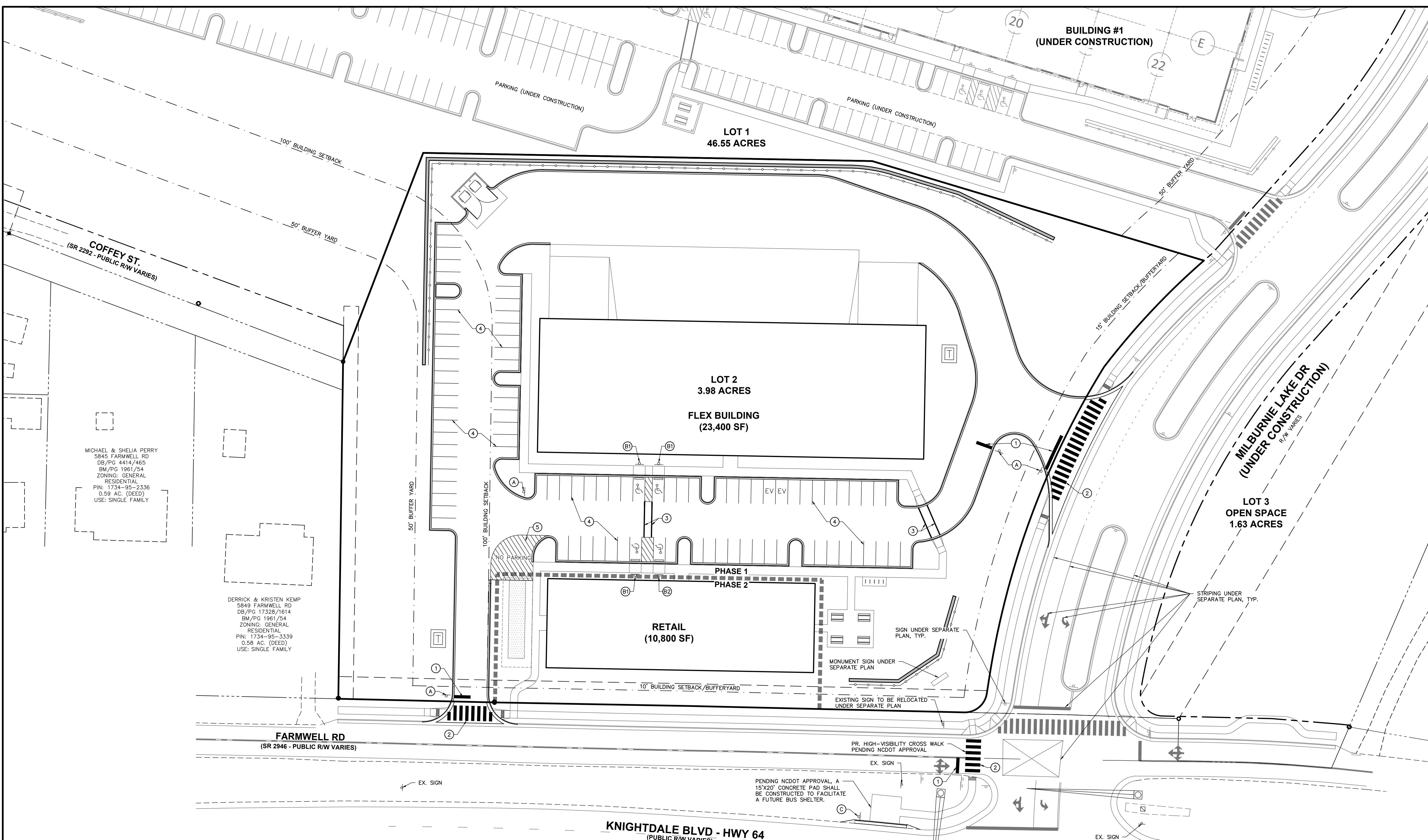
10/23/2023

Issue Dates:  
 10/23/2023 - Master Plan Submittal #1

Date: 10/23/2023  
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 Checked By: JRR  
 Project Number:  
**21-0011-504**  
 Drawing Number:  
**C.3.1**



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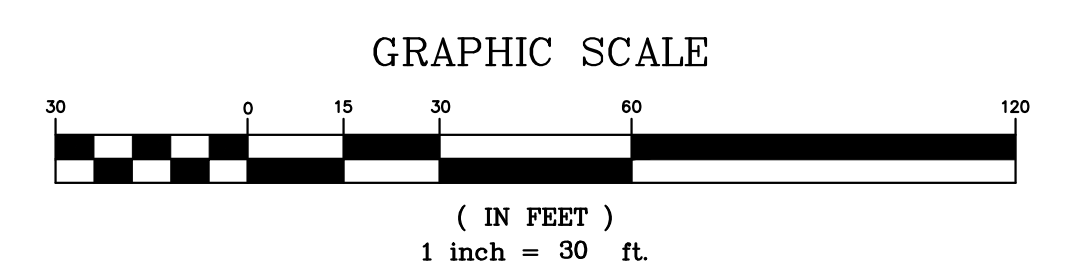
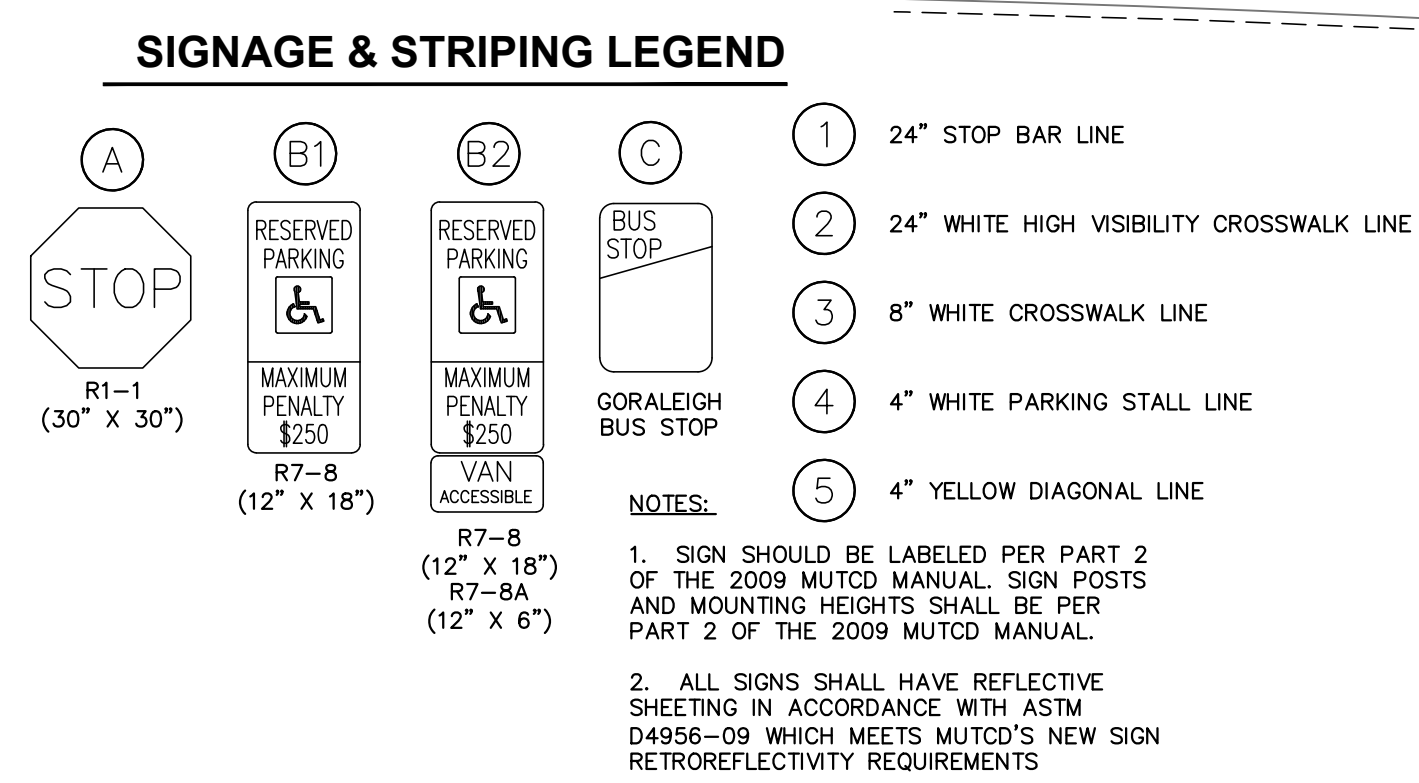
**PROJECT NOTES**

- SIGNS SHOULD BE LABELED PER PART 2 OF THE 2009 MUTCD MANUAL. SIGN POSTS AND MOUNTING HEIGHTS SHALL BE PER PART 2 OF THE 2009 MUTCD MANUAL.
- STRIPING SHALL BE INSTALLED PER PART 3 OF THE 2009 MUTCD MANUAL.
- ALL PAVEMENT MARKINGS WITHIN THE FUTURE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC.

**NCDOT ROADWAY STANDARD DRAWING LIST**

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE A PART THEREOF.

STD. DWG 1205.01 SHEET 1 OF 2  
 STD. DWG 1205.01 SHEET 2 OF 2  
 STD. DWG 1205.07 SHEET 1 OF 1



PLAN PREPARED BY: **ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS**  
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PLAN PREPARED FOR: **BEACON PARTNERS**  
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5901 Formwell Road, Knightdale, NC 27610 - Wake County  
**KNIGHTDALE GATEWAY OUTPARCEL**  
**MASTER PLAN**  
 FOR  
**BEACON PARTNERS**  
**SIGNAGE & MARKING PLAN**

**RELEASARY**  
 NORTH CAROLINA PROFESSIONAL ENGINEER  
 J. R. ROYAL, JR.  
 10/23/2023

Issue Dates:  
 10/23/2023 - Master Plan Submittal #1

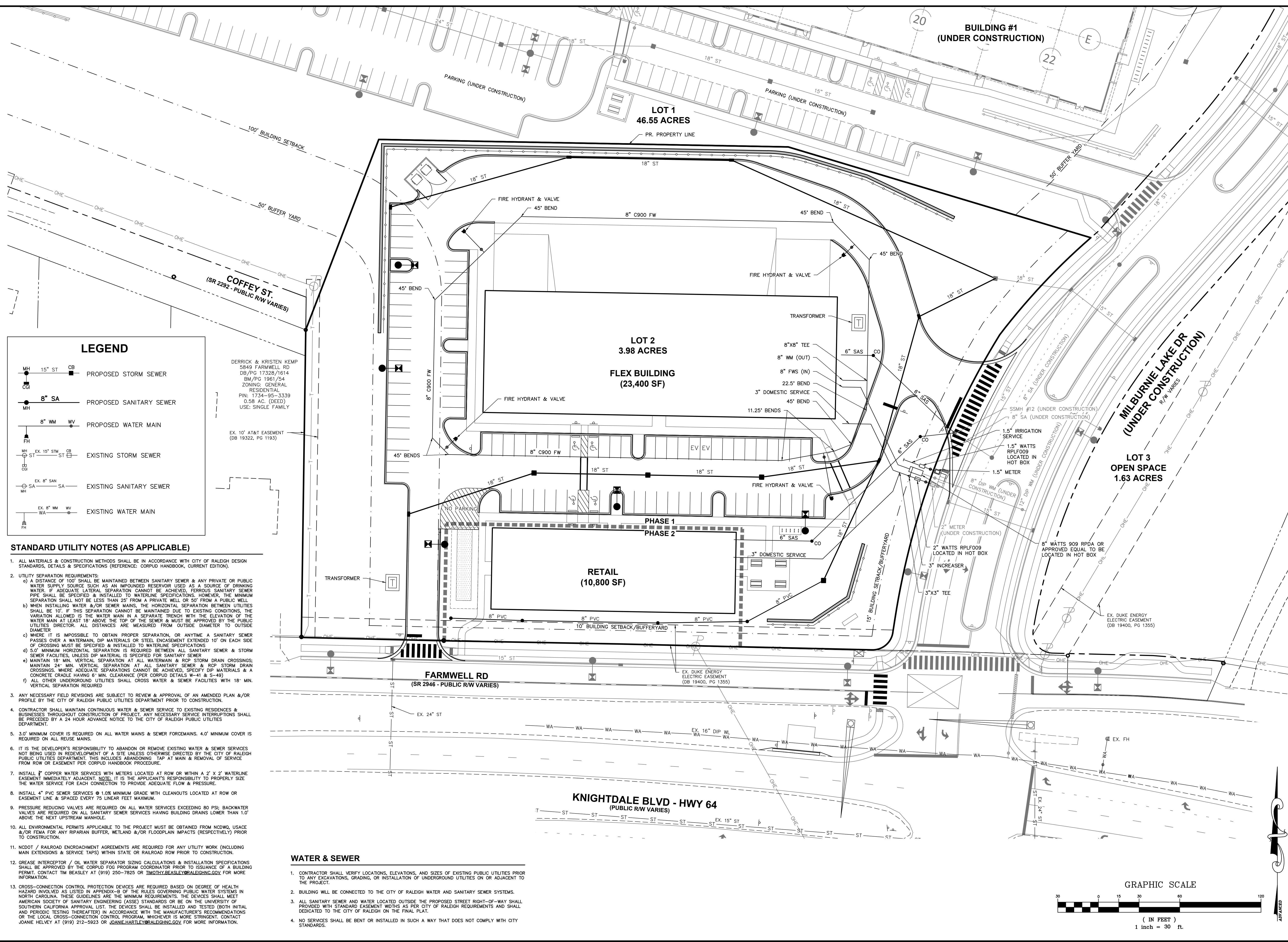
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 Scale: 1" = 30'

Drawn By: AMK Checked By: JRR

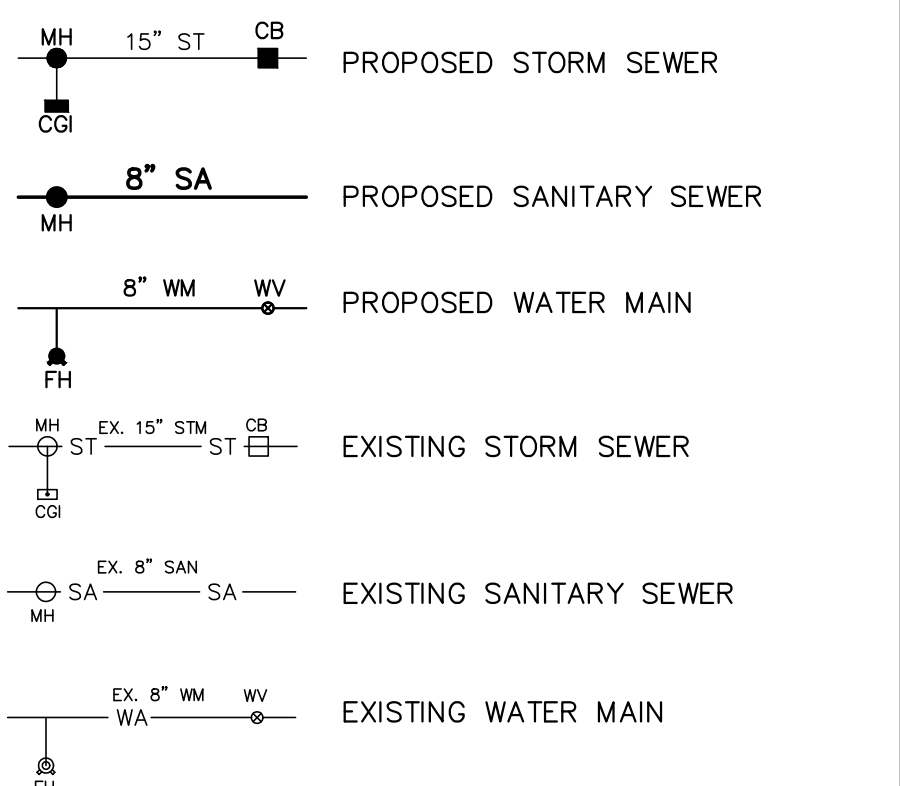
Project Number:  
**21-0011-504**

Drawing Number:  
**C.3.2**

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**LEGEND**



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BM/PG 1961/54  
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PIN: 1734-95-3339  
0.58 AC. (DEED)  
USE: SINGLE FAMILY

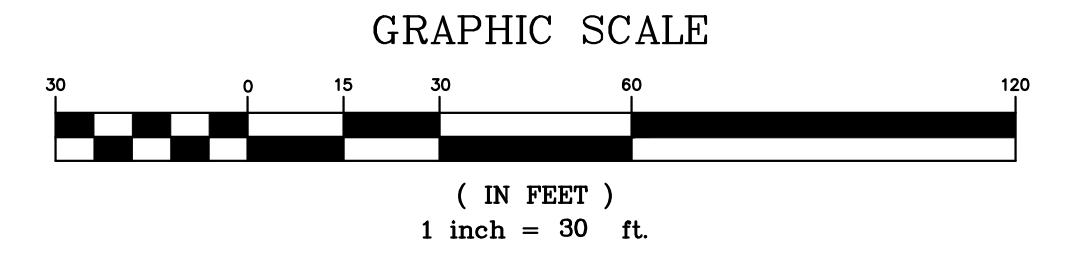
EX. 10' AT&T EASEMENT  
(DB 19322, PG 1193)

**STANDARD UTILITY NOTES (AS APPLICABLE)**

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 250-7825 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION.
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 212-5923 OR JOANIE.HELVEY@RALEIGH.GOV FOR MORE INFORMATION.

**WATER & SEWER**

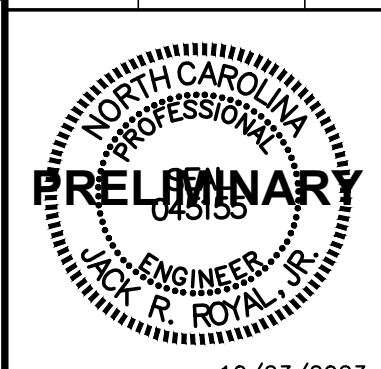
- 1. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
- 2. BUILDING WILL BE CONNECTED TO THE CITY OF RALEIGH WATER AND SANITARY SEWER SYSTEMS.
- 3. ALL SANITARY SEWER AND WATER LOCATED OUTSIDE THE PROPOSED STREET RIGHT-OF-WAY SHALL PROVIDED WITH STANDARD EASEMENT WIDTHS AS PER CITY OF RALEIGH REQUIREMENTS AND SHALL BE DEDICATED TO THE CITY OF RALEIGH AT THE FINAL PLAT.
- 4. NO SERVICES SHALL BE BENT OR INSTALLED IN SUCH A WAY THAT DOES NOT COMPLY WITH CITY STANDARDS.



PLAN PREPARED BY:  
**ADVANCED CIVIL DESIGN**  
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51 Kilmoyne Drive, Suite 102  
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fax 919.336.5127

PLAN PREPARED FOR:  
**BEACON PARTNERS**  
500 East Morehead St.  
Suite 200  
Charlotte, North Carolina 28269  
tel. 704.557.7757  
fax 704.558.6335

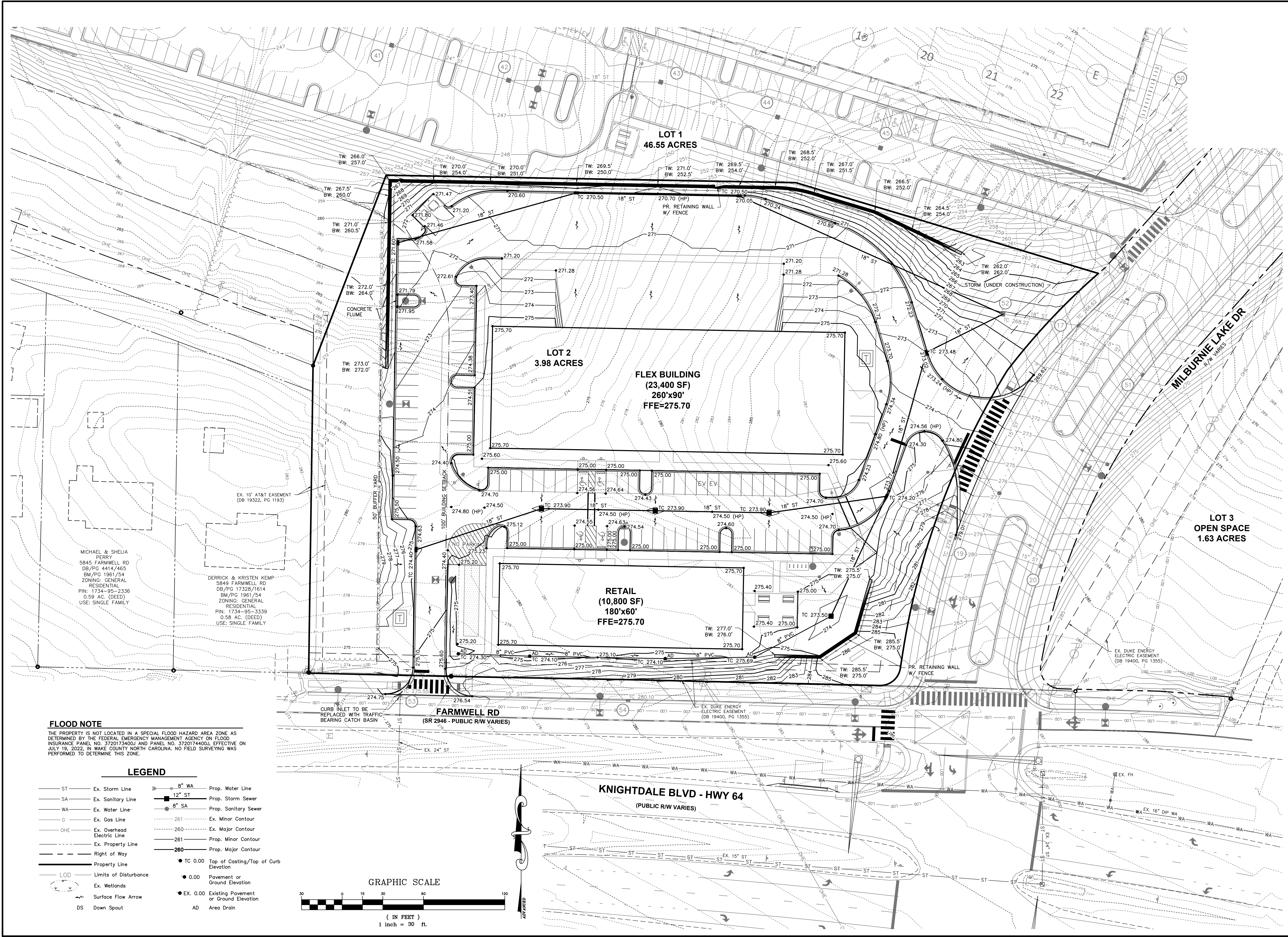
5901 Formwell Road, Knightdale, NC 27610 - Wake County  
**KNIGHTDALE GATEWAY OUTPARCEL**  
MASTER PLAN  
FOR  
BEACON PARTNERS  
UTILITY PLAN



Issue Dates:  
10/23/2023 - Master Plan Submittal #1  
Date: 10/23/2023  
Scale: 1" = 30'  
Drawn By: AMK  
Checked By: JRR  
Project Number:  
21-0011-504  
Drawing Number:  
**C.4.0**



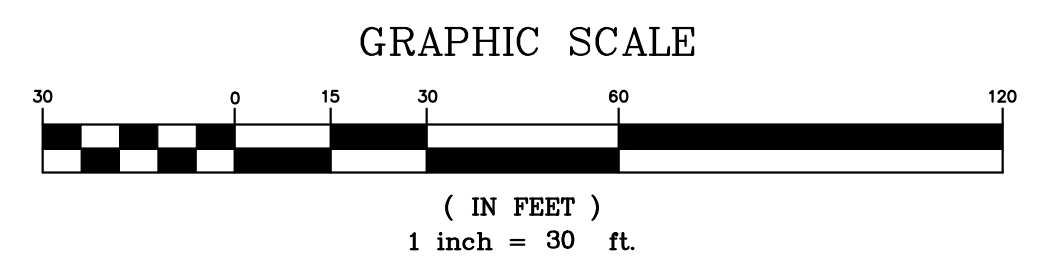
C:\31-001-504NC\DWG\Production Drawings\MASTER PLAN\OUTPARCEL 0011-504NC GRADING AND DRAINAGE PLAN.dwg GRADING 1 Oct 19, 2023 - 4:41:46pm ckring



**FLOOD NOTE**  
 THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE PANEL NO. 37201734001 AND PANEL NO. 37201744001, EFFECTIVE ON JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

**LEGEND**

ST	Ex. Storm Line	8" WA	Prop. Water Line
SA	Ex. Sanitary Line	12" ST	Prop. Storm Sewer
WA	Ex. Water Line	8" SA	Prop. Sanitary Sewer
G	Ex. Gas Line	261	Ex. Minor Contour
OHE	Ex. Overhead Electric Line	260	Ex. Major Contour
---	Ex. Property Line	261	Prop. Minor Contour
---	Right of Way	260	Prop. Major Contour
---	Property Line	TC 0.00	Top of Casting/Top of Curb Elevation
LOD	Limits of Disturbance	0.00	Pavement or Ground Elevation
DS	Down Spout	EX. 0.00	Existing Pavement or Ground Elevation
	Surface Flow Arrow	AD	Area Drain



PLAN PREPARED BY:  
  
 ADVANCED CIVIL DESIGN  
 ENGINEERS SURVEYORS  
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 Cary, North Carolina 27511  
 ph 919.481.6990  
 fax 919.336.5127

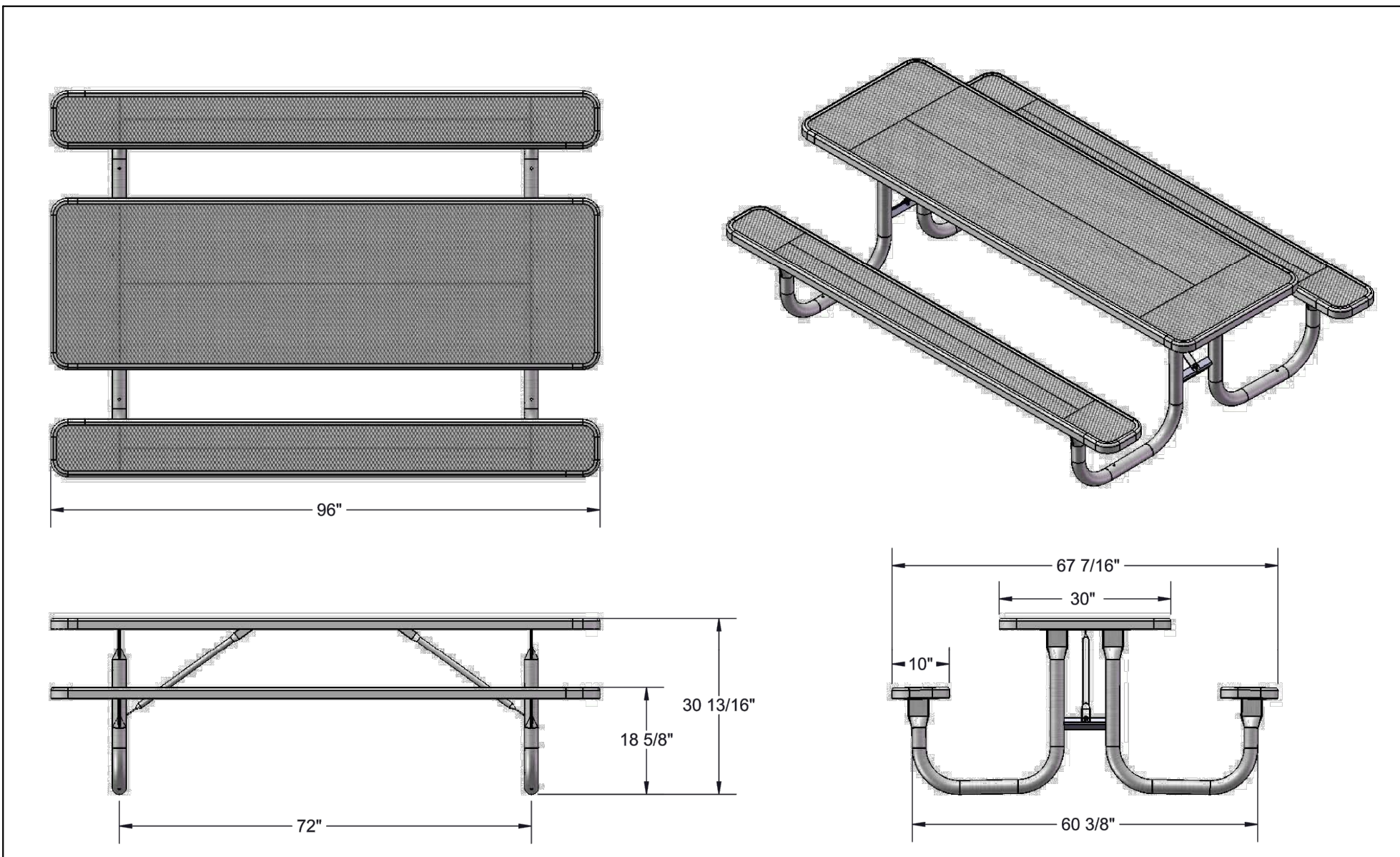
PLAN PREPARED FOR:  
  
 BEACON PARTNERS  
 500 East Morehead St.  
 Charlotte, North Carolina 28269  
 tel. 704.597.7757  
 fax 704.598.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County  
**KNIGHTDALE GATEWAY OUTPARCEL**  
**MASTER PLAN**  
 FOR  
**BEACON PARTNERS**  
**GRADING PLAN**

10/23/2023

Issue Dates:  
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 Drawn By: AMK  
 Checked By: JRR  
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 Drawing Number:  
**C.5.0**





**Top & Seats:** 12 gauge die formed angle frame 1"x1-7/8" with 3" radius corners. 3/4" #9 steel expanded metal. 10 gauge x 1-1/2" flat bar center support and mounting bracket understructure. Electrically MIG welded.

**Coating:** Oven fused functionalized polyethylene copolymer-based thermoplastic. Fluidized bed coating application with superior mechanical performance, impact resistance and UV-stability.

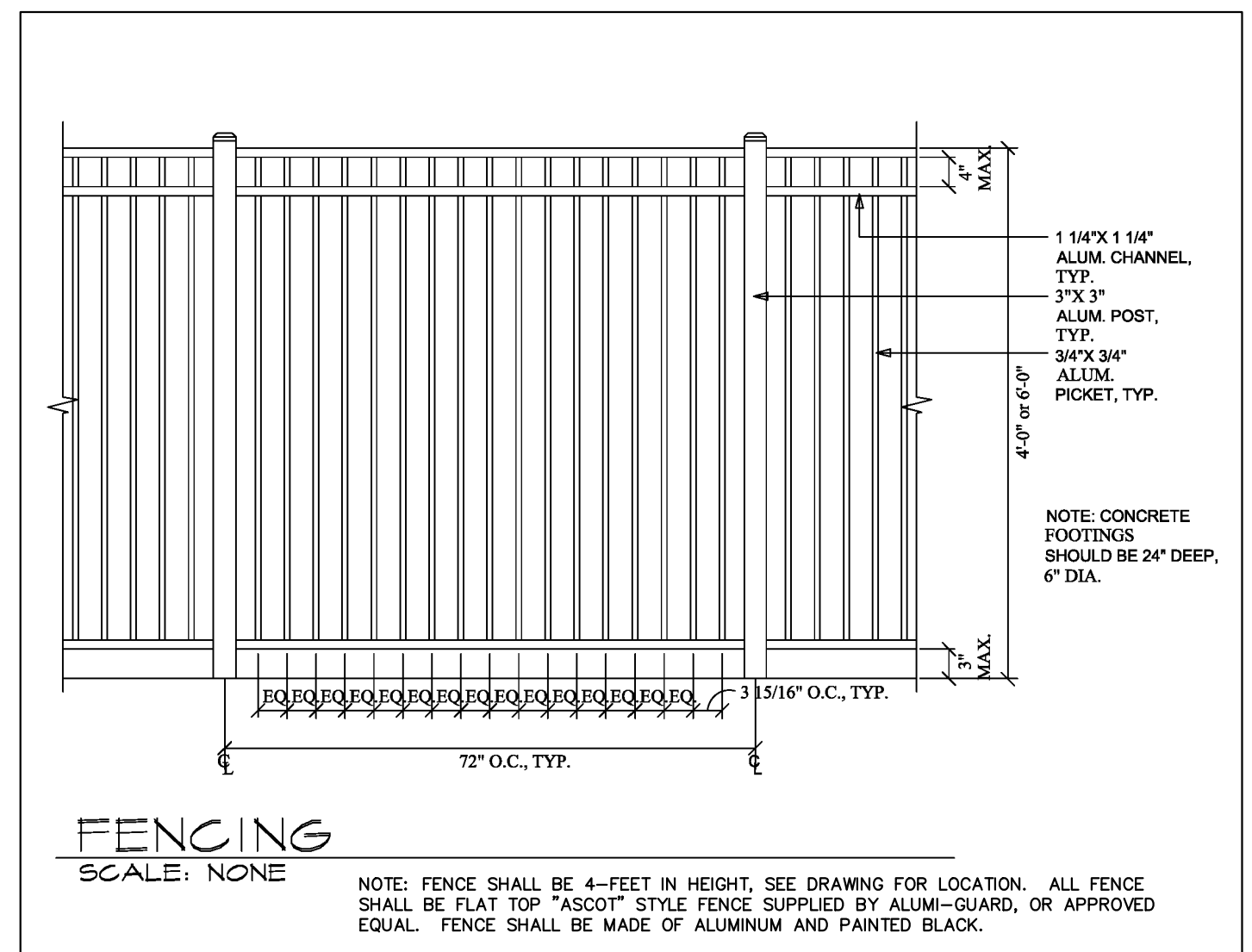
**Frame:** 2-3/8" O.D. x 12 gauge pre-galvanized structural steel tubing. Cross braces 1" O.D. x 16 gauge pre-galvanized structural steel tubing. Brace attachment points 1-1/2"x1-1/2"x3/16" steel angle. Seat and top mounting points 7 gauge x 1-1/2" die stamped steel flat bar. Legs are bent over a mandrel through the bend radius producing a wrinkle free bend. Holes are predrilled in legs for optional surface mounting. All electrically MIG welded.

**Frame Coating:** Electrostatic powder coated application oven cured.

**Hardware:** All stainless steel hardware fasteners.

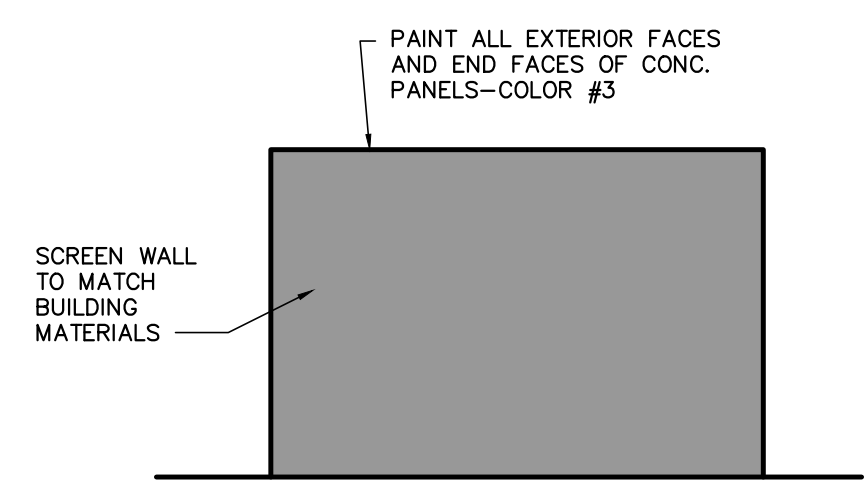
**Dimensions:** 8' portable picnic table walk-through design. Top is 30" wide x 96" long and is 30-1/4" high. Seats are 10" wide x 96" long and 18-1/2" high. Outside to outside dimension is 66-1/2" x 96".

**PICNIC TABLE DETAIL**  
NOT TO SCALE

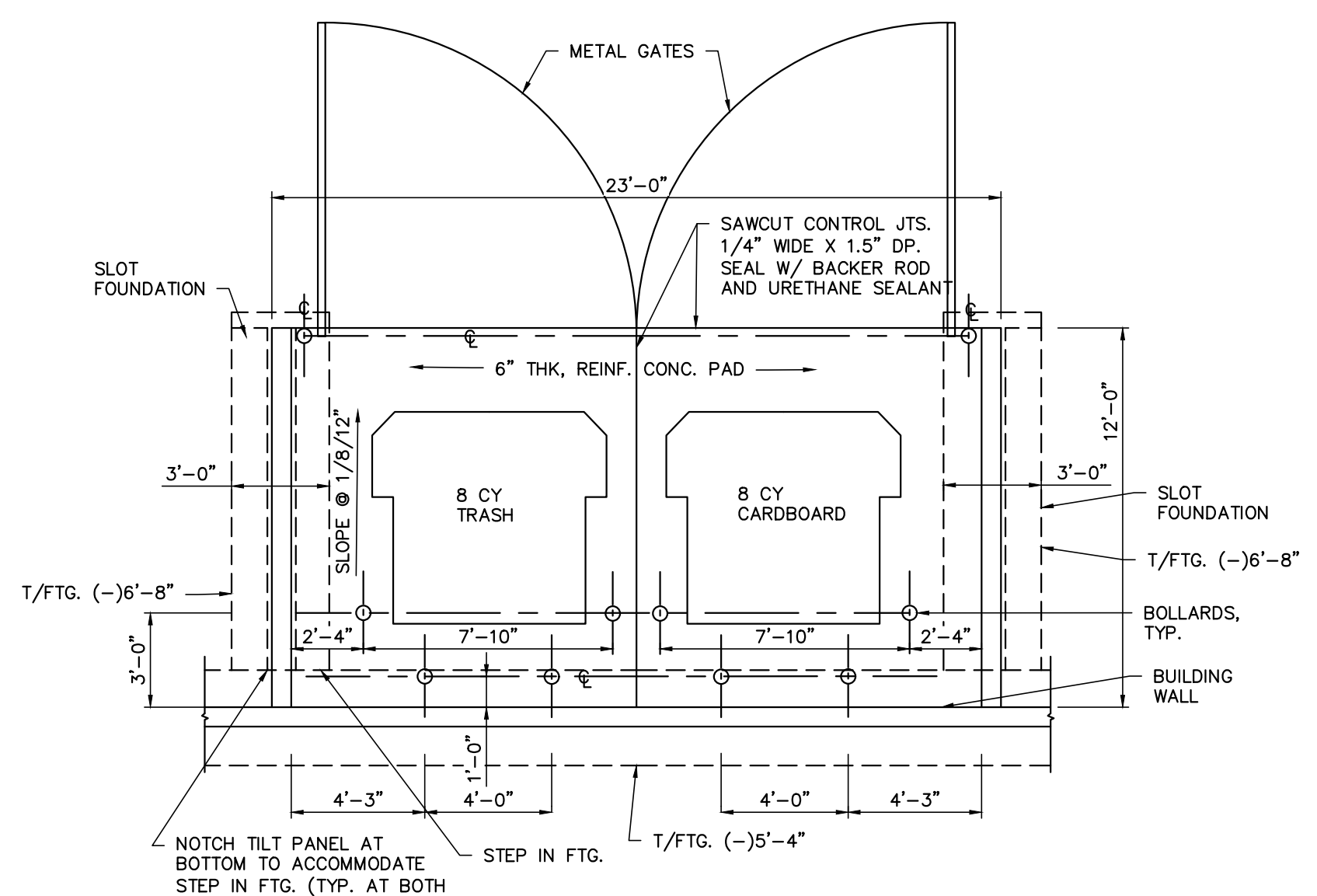


**FENCING**  
SCALE: NONE

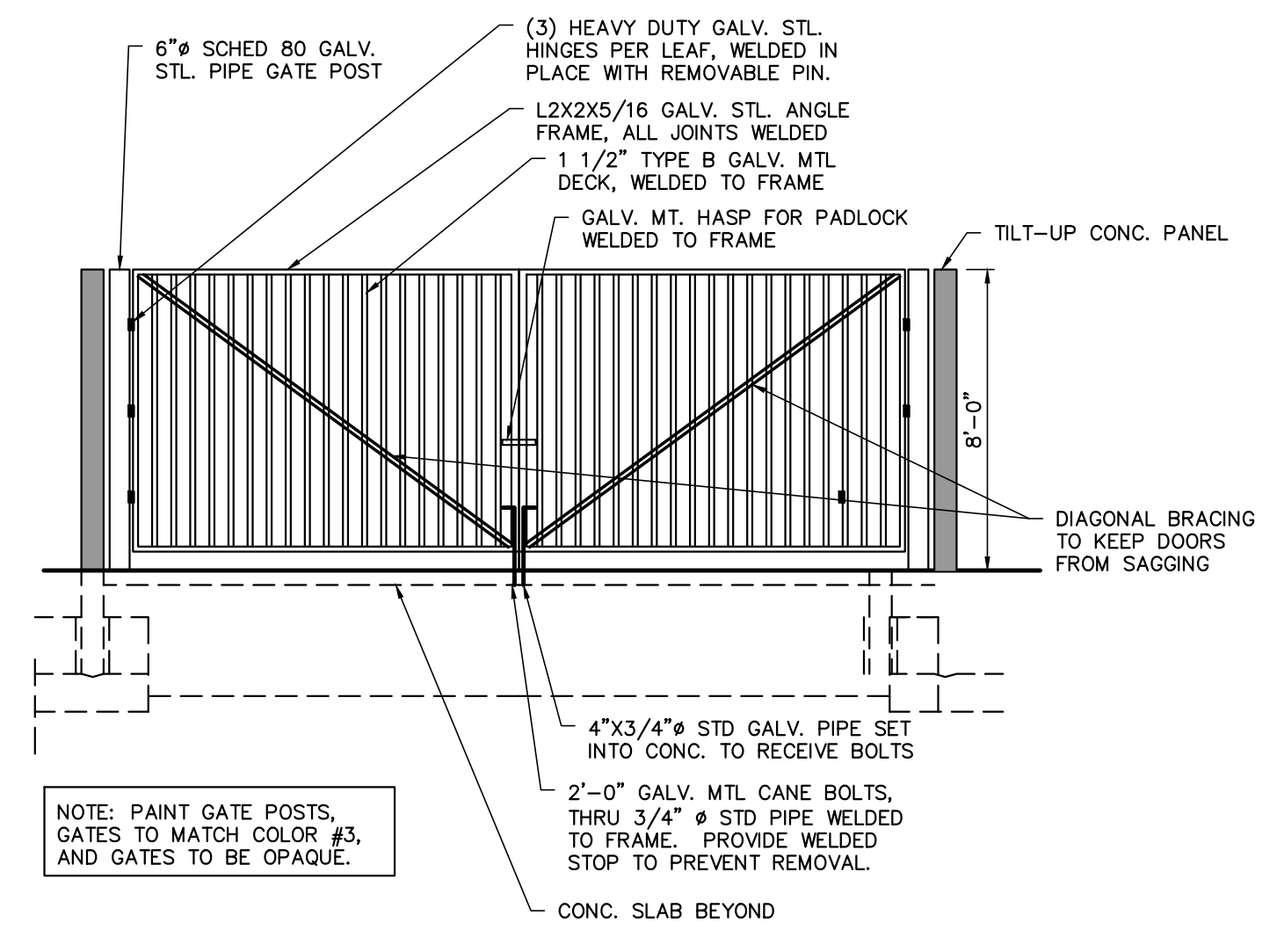
**RETAINING WALL FENCE DETAIL**  
(NO SCALE)



**DUMPSTER SCREEN WALL**  
NOT TO SCALE



**DUMPSTER PAD**  
NOT TO SCALE

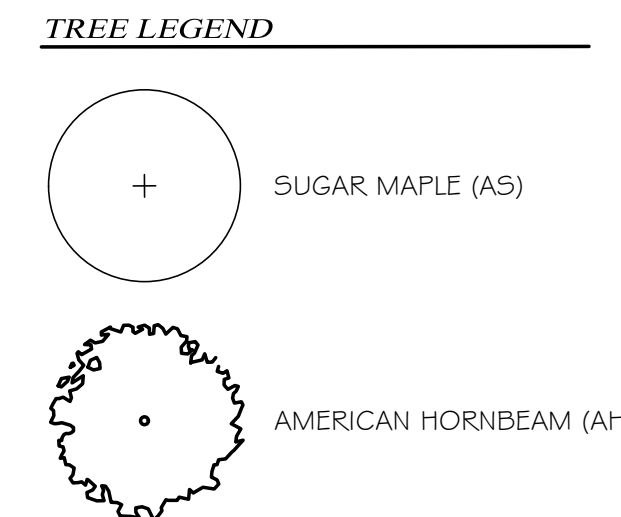
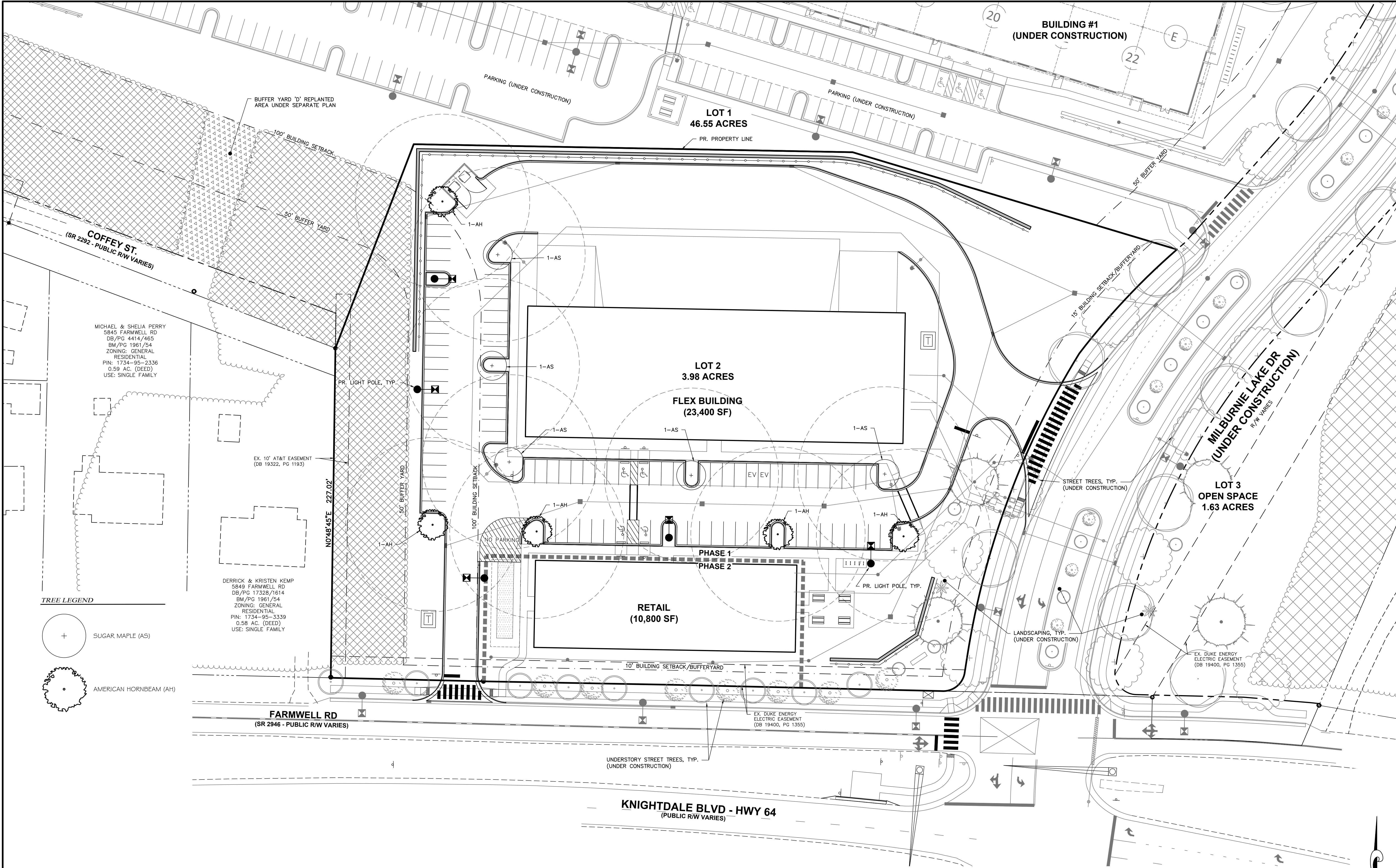


**DUMPSTER GATE**  
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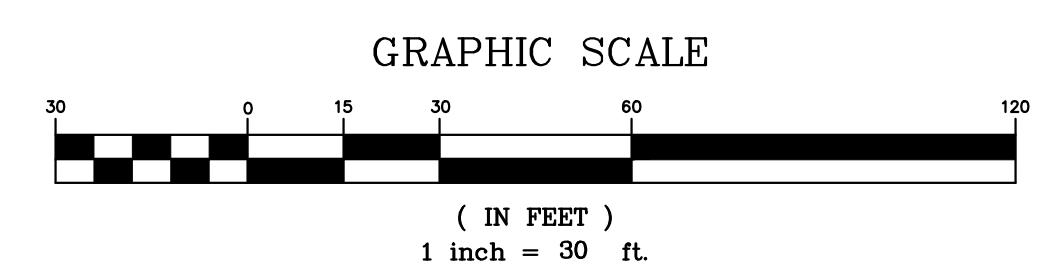
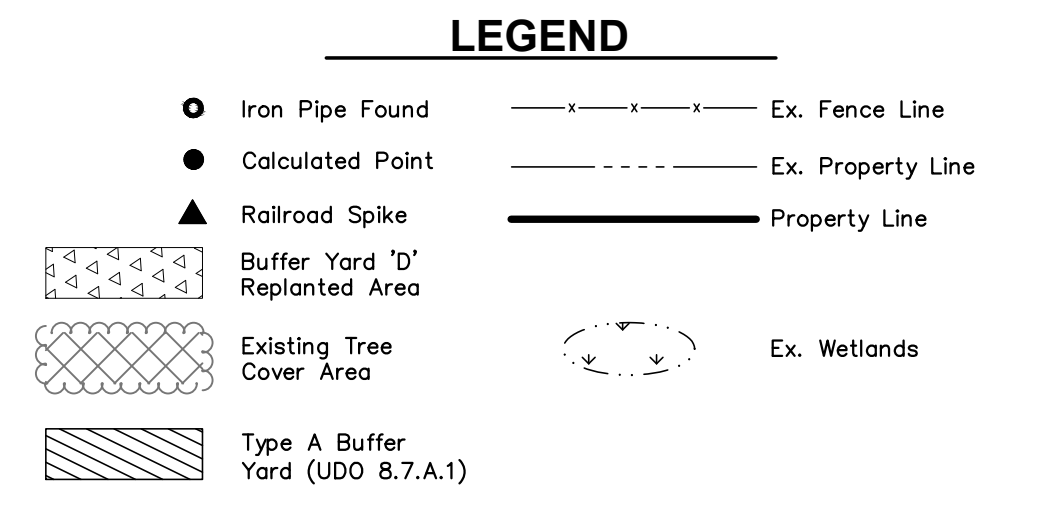
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**PARKING LOT TREES**

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
<b>CANOPY TREES</b>						
DECIDUOUS	AS	5	ACER SACCHARUM	SUGAR MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	AH	5	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL. & 8' HT.	B&B

- LANDSCAPE NOTES**
- AT TIME OF INSTALLATION, CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND 8' IN HEIGHT; UNDERSTORY TREES SHALL BE A MINIMUM OF 1 1/4" CALIPER AND 6' IN HEIGHT; AND SHRUBS SHALL BE AT LEAST 18" IN HEIGHT AND A 3 GALLON CONTAINER SIZE.
  - ANY ABOVE GROUND UTILITIES HAVE TO BE SCREENED IN ACCORDANCE WITH UDO SECTION 8.7.
  - 40-60% OF CANOPY TREES AND 40-60% OF UNDERSTORY TREES HAVE TO BE EVERGREEN PER UDO SECTION 8.6.



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fax 704.598.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County  
**KNIGHTDALE GATEWAY OUTPARCEL MASTER PLAN FOR BEACON PARTNERS LANDSCAPE PLAN**

NORTH CAROLINA PROFESSIONAL ENGINEER  
RELEASARY  
10/23/2023

Issue Dates:  
10/23/2023 - Master Plan Submittal #1

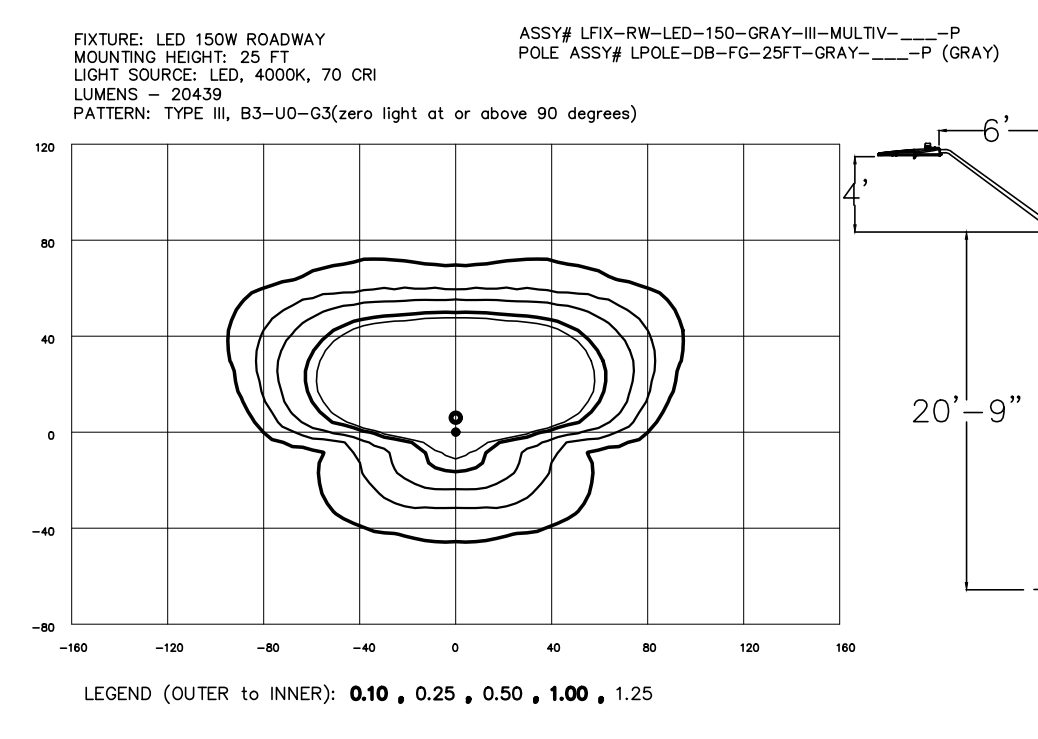
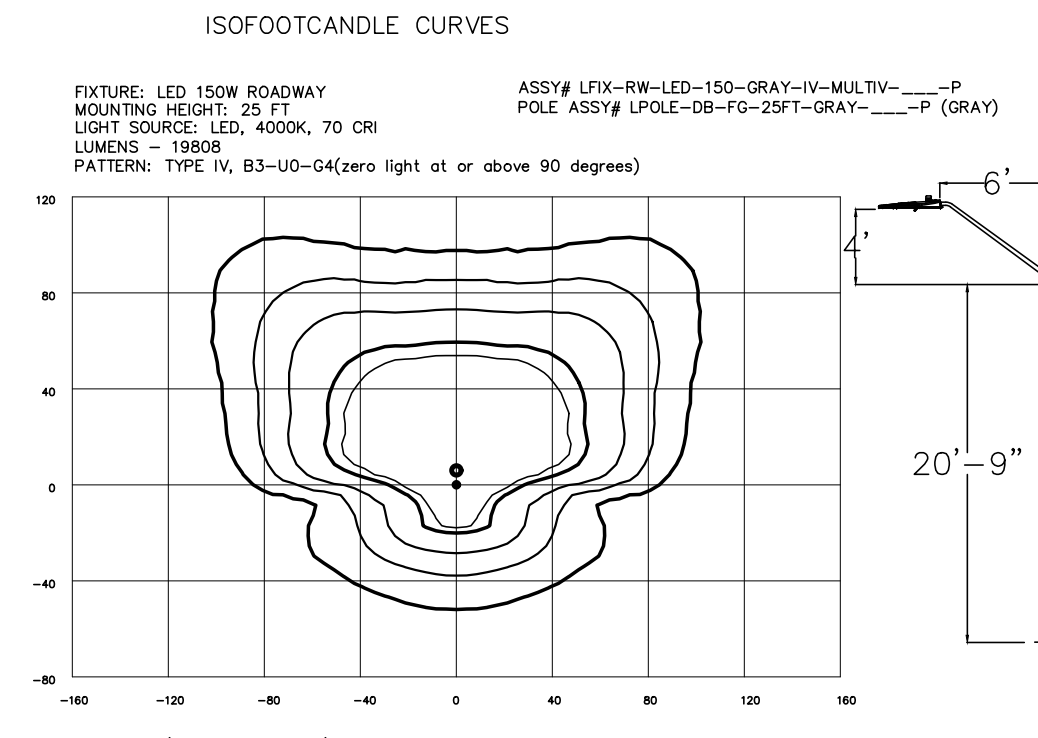
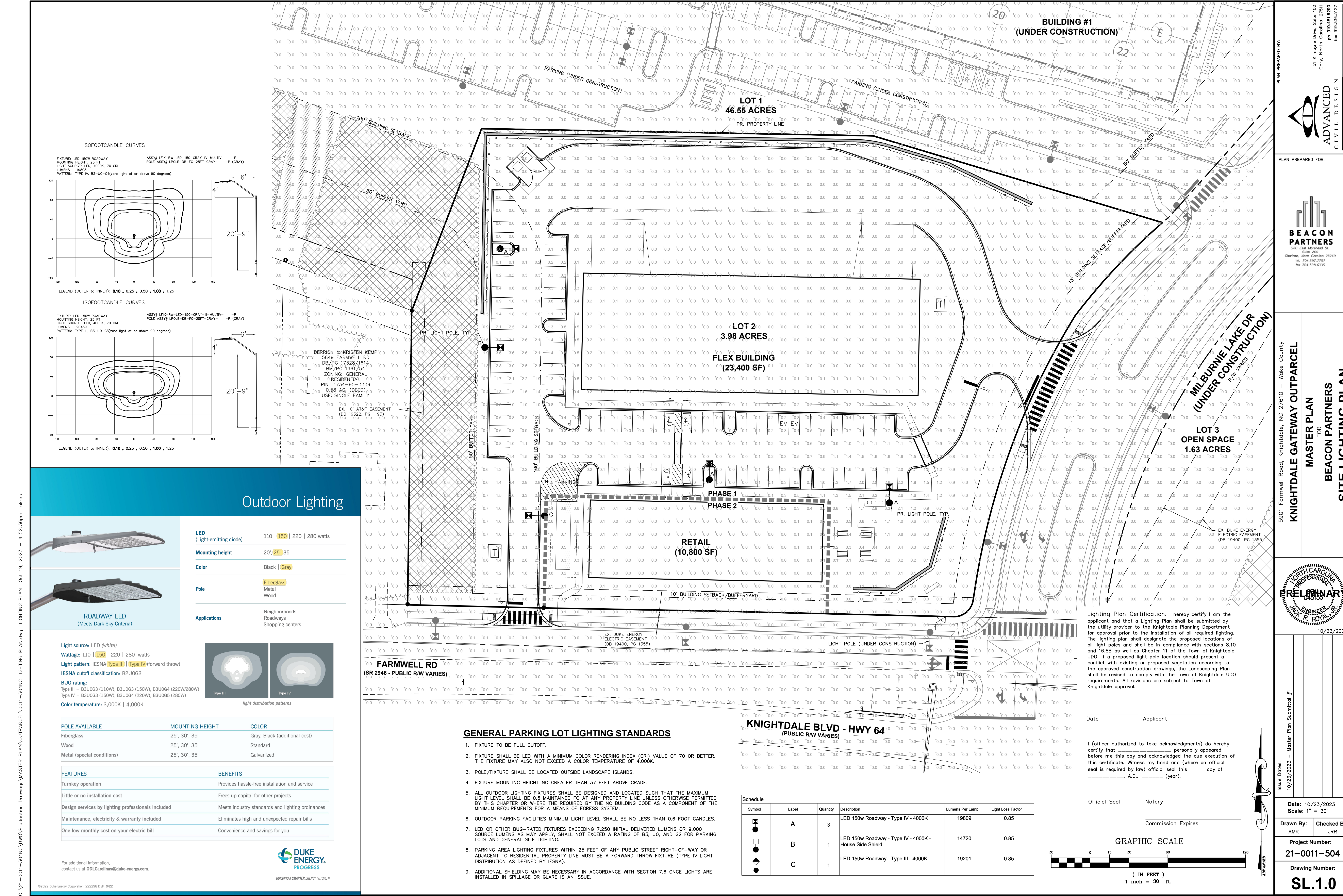
Date: 10/23/2023  
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Drawn By: AMK  
Checked By: JRR


Project Number:  
**21-0011-504**

Drawing Number:  
**L.1.0**





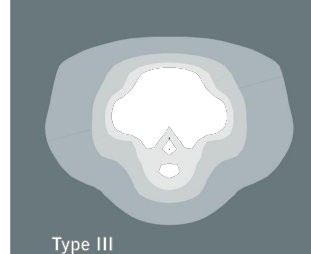
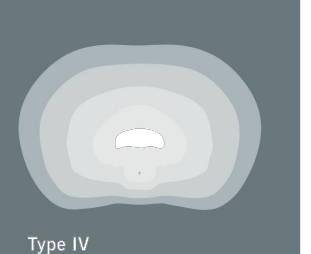
## Outdoor Lighting



**ROADWAY LED**  
(Meets Dark Sky Criteria)

Light source: LED (white)  
Wattage: 110 | 150 | 220 | 280 watts  
Light pattern: IESNA Type III | Type IV (forward throw)  
IESNA cutoff classification: B2U0G3  
BUG rating:  
Type III = B3U0G3 (110W), B3U0G3 (150W), B3U0G4 (220W/280W)  
Type IV = B3U0G3 (150W), B3U0G4 (220W), B3U0G5 (280W)  
Color temperature: 3,000K | 4,000K


<b>LED</b> (Light-emitting diode)	110   150   220   280 watts
<b>Mounting height</b>	20', 25', 35'
<b>Color</b>	Black   Gray
<b>Pole</b>	Fiberglass Metal Wood
<b>Applications</b>	Neighborhoods Roadways Shopping centers

light distribution patterns

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Fiberglass	25', 30', 35'	Gray, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)	25', 30', 35'	Galvanized

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you



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PROGRESS  
BUILDING A SMARTER ENERGY FUTURE™

For additional information, contact us at ODL.Carolinas@duke-energy.com.

### GENERAL PARKING LOT LIGHTING STANDARDS

1. FIXTURE TO BE FULL CUTOFF.
2. FIXTURE SHALL BE LED WITH A MINIMUM COLOR RENDERING INDEX (CRI) VALUE OF 70 OR BETTER. THE FIXTURE MAY ALSO NOT EXCEED A COLOR TEMPERATURE OF 4,000K.
3. POLE/FIXTURE SHALL BE LOCATED OUTSIDE LANDSCAPE ISLANDS.
4. FIXTURE MOUNTING HEIGHT NO GREATER THAN 37 FEET ABOVE GRADE.
5. ALL OUTDOOR LIGHTING FIXTURES SHALL BE DESIGNED AND LOCATED SUCH THAT THE MAXIMUM LIGHT LEVEL SHALL BE 0.5 MAINTAINED FC AT ANY PROPERTY LINE UNLESS OTHERWISE PERMITTED BY THIS CHAPTER OR WHERE THE REQUIRED BY THE NC BUILDING CODE AS A COMPONENT OF THE MINIMUM REQUIREMENTS FOR A MEANS OF EGRESS SYSTEM.
6. OUTDOOR PARKING FACILITIES MINIMUM LIGHT LEVEL SHALL BE NO LESS THAN 0.6 FOOT CANDLES.
7. LED OR OTHER BUG-RATED FIXTURES EXCEEDING 7,250 INITIAL DELIVERED LUMENS OR 9,000 SOURCE LUMENS AS MAY APPLY, SHALL NOT EXCEED A RATING OF B3, U0, AND G2 FOR PARKING LOTS AND GENERAL SITE LIGHTING.
8. PARKING AREA LIGHTING FIXTURES WITHIN 25 FEET OF ANY PUBLIC STREET RIGHT-OF-WAY OR ADJACENT TO RESIDENTIAL PROPERTY LINE MUST BE A FORWARD THROW FIXTURE (TYPE IV LIGHT DISTRIBUTION AS DEFINED BY IESNA).
9. ADDITIONAL SHIELDING MAY BE NECESSARY IN ACCORDANCE WITH SECTION 7.6 ONCE LIGHTS ARE INSTALLED IN SPILLAGE OR GLARE IS AN ISSUE.

### Schedule

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
⊠	A	3	LED 150w Roadway - Type IV - 4000K	19809	0.85
●	B	1	LED 150w Roadway - Type IV - 4000K - House Side Shield	14720	0.85
◆	C	1	LED 150w Roadway - Type III - 4000K	19201	0.85

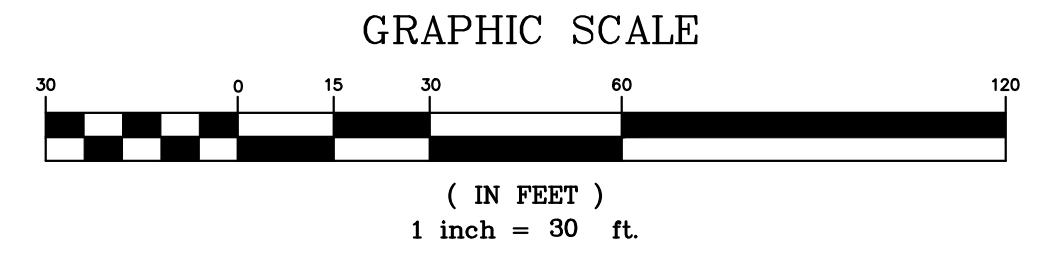
Lighting Plan Certification: I hereby certify I am the applicant and that a Lighting Plan shall be submitted by the utility provider to the Knightdale Planning Department for approval prior to the installation of all required lighting. The lighting plan shall designate the proposed locations of all light poles and shall be in compliance with sections 8.10 and 16.8B as well as Chapter 11 of the Town of Knightdale UDO. If a proposed light pole location should present a conflict with existing or proposed vegetation according to the approved construction drawings, the Landscaping Plan shall be revised to comply with the Town of Knightdale UDO requirements. All revisions are subject to Town of Knightdale approval.

Date: \_\_\_\_\_ Applicant: \_\_\_\_\_


I (officer authorized to take acknowledgments) do hereby certify that \_\_\_\_\_ personally appeared before me this day and acknowledged the due execution of this certificate. Witness my hand and (where an official seal is required by law) official seal this \_\_\_\_\_ day of \_\_\_\_\_, A.D., \_\_\_\_\_ (year).

Official Seal: \_\_\_\_\_ Notary: \_\_\_\_\_

Commission Expires: \_\_\_\_\_




PLAN PREPARED BY:



**ADVANCED CIVIL DESIGN**  
ENGINEERS & SURVEYORS

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PLAN PREPARED FOR:



**BEACON PARTNERS**  
500 East Main Street  
Charlotte, North Carolina 28209  
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fax 704.558.6335

**KNIGHTDALE GATEWAY OUTPARCEL**  
MASTER PLAN  
FOR  
**BEACON PARTNERS**  
SITE LIGHTING PLAN

5901 Formwell Road, Knightdale, NC 27610 - Wake County

10/23/2023

Issue Dates:  
10/23/2023 - Master Plan Submittal #1

Date: 10/23/2023  
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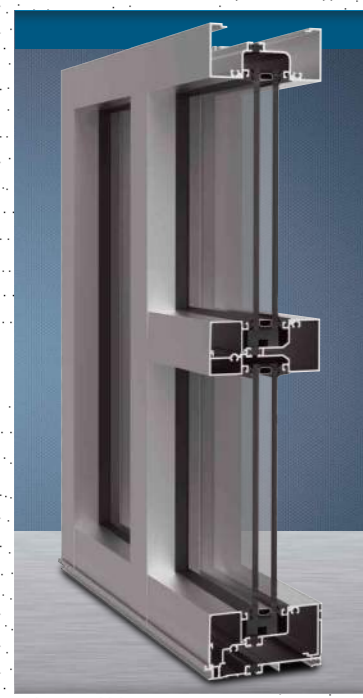
Project Number:  
**21-0011-504**

Drawing Number:  
**SL.1.0**





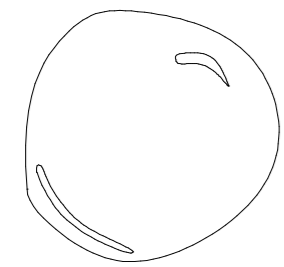




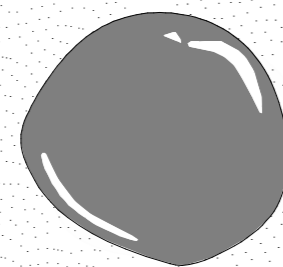
**Bronze**  
WINDOW FRAMES AND DOORS TO  
BE BRONZE ALUMINUM FINISH



CERAMIC TILE ACCENTS TO BE GIO TILE  
METALLO IN RUST COLOR



**PB - PAINT BASEWALL COLOR -  
EIDER WHITE SW7014**



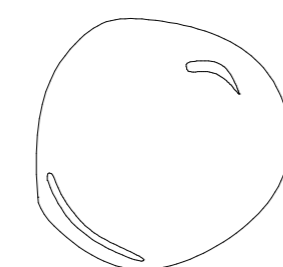
**PA3 - PAINT ACCENT 03 -  
GRIZZLE GRAY SW7068**



**PA4 - PAINT ACCENT 04 -  
IRON ORE SW7069**



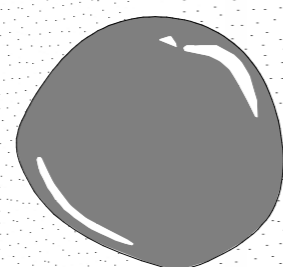
CERAMIC TILE ACCENTS TO BE GIO TILE  
METALLO IN RUST COLOR



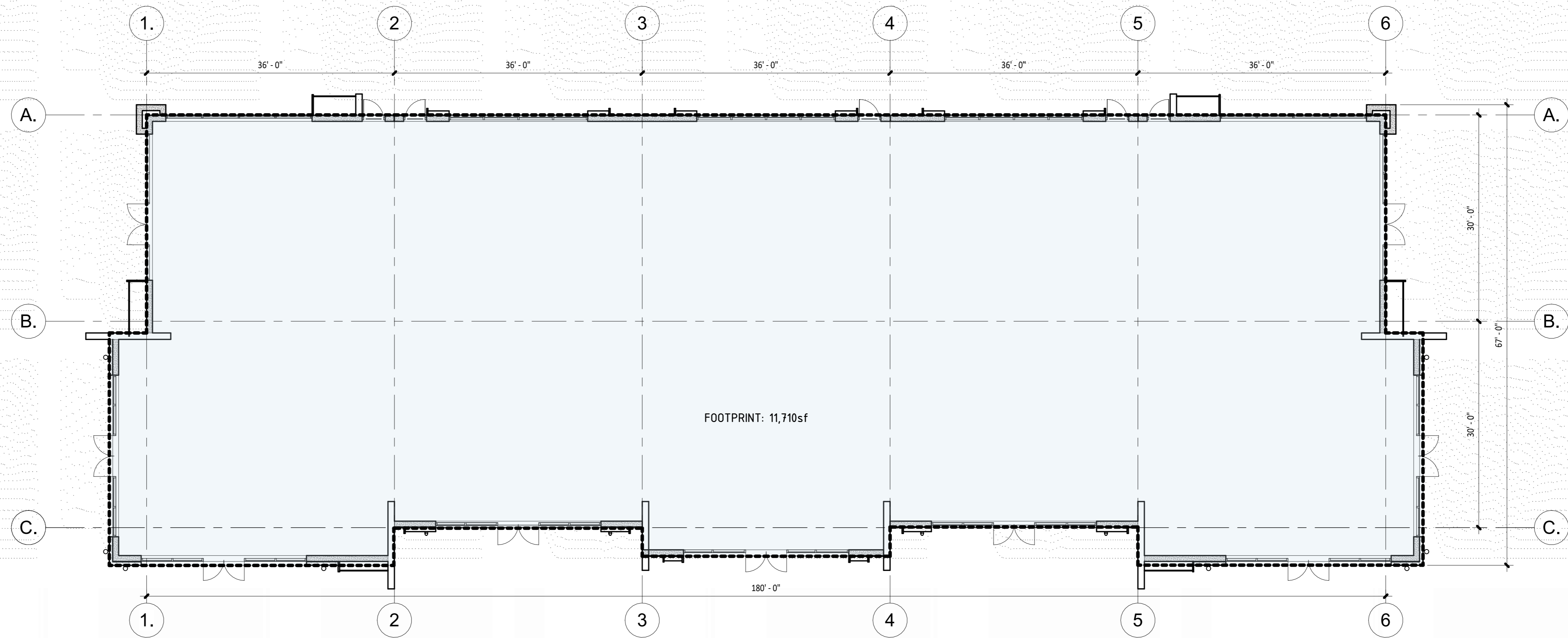
**PB - PAINT BASEWALL COLOR -  
EIDER WHITE SW7014**



**PA4 - PAINT ACCENT 04 -  
IRON ORE SW7069**



**PA3 - PAINT ACCENT 03 -  
GRIZZLE GRAY SW7068**



**5 Floor Plan**  
1" = 10'-0"



**4 Rear Elevation.**  
1" = 10'-0"

TRANSPARENCY:  
AREA OF FIRST FLOOR FACADE,  
MEASURED FROM THE FLOOR LEVEL TO 18':  
3333sf \* 40% = 1334sf REQUIRED - 1470sf PROVIDED



**3 Side Elevation.**  
1" = 10'-0"

TRANSPARENCY:  
AREA OF FIRST FLOOR FACADE,  
MEASURED FROM THE FLOOR LEVEL TO 18':  
1223sf \* 40% = 489sf REQUIRED - 784sf PROVIDED



**2 Side Elevation**  
1" = 10'-0"

TRANSPARENCY:  
AREA OF FIRST FLOOR FACADE,  
MEASURED FROM THE FLOOR LEVEL TO 18':  
1223sf \* 40% = 489sf REQUIRED - 784sf PROVIDED



**1 Front Elevation**  
1" = 10'-0"

TRANSPARENCY:  
AREA OF FIRST FLOOR FACADE,  
MEASURED FROM THE FLOOR LEVEL TO 18':  
3417sf \* 40% = 1377sf REQUIRED - 1977sf PROVIDED



919 829 4969  
115 1/2 E. Hargett Street  
Suite 300  
Raleigh, NC 27601



**FOR CLIENT REVIEW  
& APPROVAL**

**NOT FOR  
CONSTRUCTION**



**KNIGHTDALE FLEX**  
**US HWY 64 / NEW BERN AVE**  
KNIGHTDALE, NORTH CAROLINA

Issued For:

CLIENT REVIEW & APPROVAL 09.15.23

Revision

No. Description Date

No.	Description	Date

**Schematic  
Retail Shell  
Exterior  
Elevations**

Project Number 23000

Date 09.15.23

Drawn By mm

Checked By mm

**A200**

Scale 1" = 10'-0"



# Knightsdale Gateway

Planned Unit Development

Knightsdale, North Carolina

## Submittal Dates

First Submittal Amendment: October 23, 2023

## Developer

Beacon Partners  
500 East Morehead St, Suite 200  
Charlotte, NC 28202



## Civil Engineer

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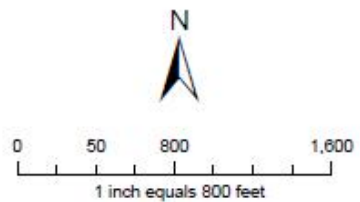
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1. VICINITY MAP



**Knightdale Gateway**



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## 2. PROJECT DATA

<b>Name of Project:</b>	Knightdale Gateway
<b>Property Owners:</b>	Beacon KG LLC 500 E. Morehead Street, Suite 200 Charlotte, NC 28202
<b>Developer:</b>	<b>Beacon Partners</b> 500 East Morehead St, Suite 200 Charlotte, NC 28202
<b>Prepared by:</b>	<b>Parker Poe Adams &amp; Bernstein LLP</b> 301 Fayetteville Street, Suite 1400 Raleigh, NC 27601  <b>Advanced Civil Design, Inc.</b> 51 Kilmayne Dr., Suite 102 Cary, NC 27511
<b>Current Zoning:</b>	Manufacturing and Industrial - Planned Unit Development (MI-PUD)
<b>Proposed Zoning:</b>	Manufacturing and Industrial - Planned Unit Development (MI-PUD)
<b>Knightdale Next Growth and Conservation Map Designation:</b>	Retail and Mixed Density Neighborhood
<b>Site Primary Address:</b>	5901 Farmwell Road, Knightdale, NC 27610
<b>Property Identification Numbers:</b>	1734966119
<b>Total Acreage:</b>	54.14 acres
<b>Current Land Use:</b>	Mixed Use Business Park / Vacant
<b>Proposed Land Use:</b>	Mixed Use Business Park

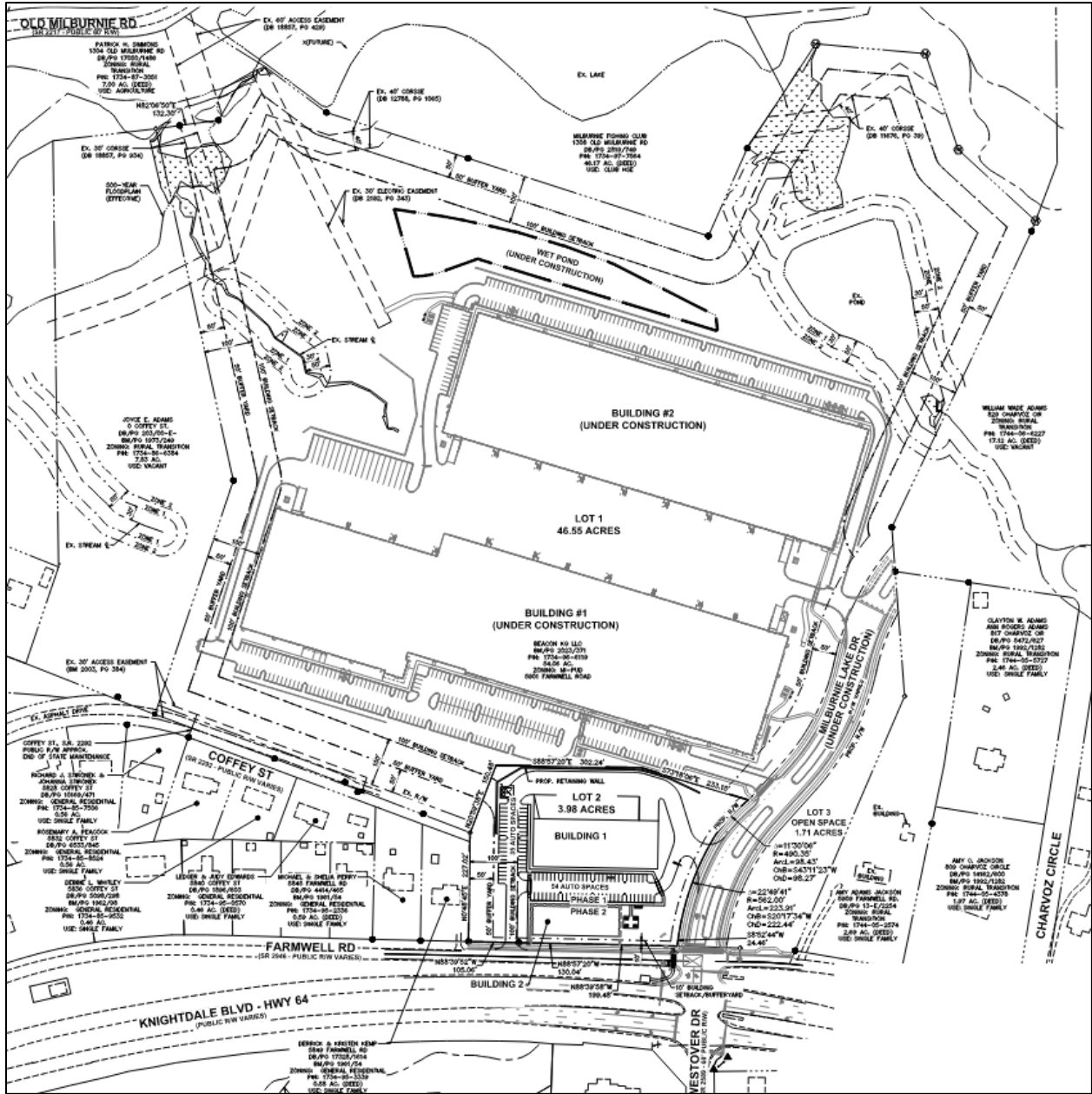


### 3. EXISTING CONDITIONS





4. MASTER PLAN






## 5. VISION STATEMENT

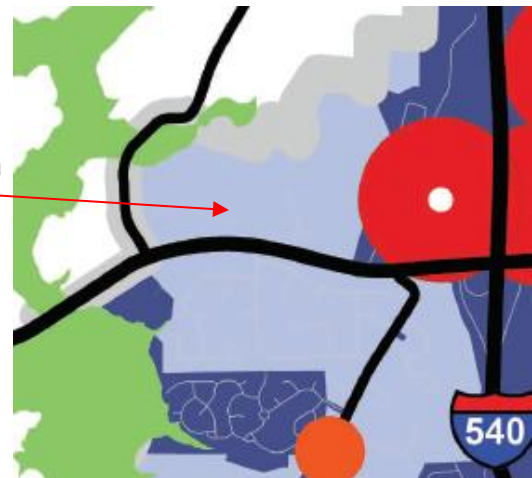
Knightdale Gateway is a proposed class A business park that incorporates high-quality design to offer a unique employment center in a campus setting. The development incorporates the recommendations of the Knightdale Next 2035 Comprehensive Plan and Street Network Plan to create a unique gateway into Knightdale. Ideally situated near the Knightdale Boulevard and 540 interchange, Knightdale Gateway is designed to accommodate a variety of high end users, including life science, research and development, office, and traditional wholesaling and distribution users. As the name suggests and with frontage along Knightdale Boulevard, Knightdale Gateway is designed to create a distinctive entrance to the Town of Knightdale. The master plan places an emphasis on architectural features and landscaping focused on the pedestrian scale. The buildings are designed for the long term in terms of the quality of materials and the ability of the buildings to be easily adapted for future tenant needs and tenant mixes.

## 6. STATEMENT OF CONSISTENCY: COMPREHENSIVE PLAN

The KnightdaleNext Comprehensive Plan establishes a vision and guiding principles, analyzes existing conditions and emerging trends, describes and illustrates a plan for future development and supporting infrastructure, and outlines steps for implementation. The Comprehensive Plan features the Growth Framework Map, a high-level tool for assisting in the decision making process for development proposals with the intent to prioritize development proposals based on how well each fits within the surrounding area. Knightdale Gateway is within the Target Investment Area, which recommends that future growth should be guided into more compact and efficient development patterns that will help manage the timing, location, and magnitude (length and size) of expensive infrastructure investment.

### LEGEND

	Corporate Limits		Street Centerlines
	Target Investment Area		Knightdale Next Study Area
	Rural Planning Area		Major Roads
	Extraterritorial Jurisdiction (Expansion Area)		Growth Activity Center
	Floodprone Areas		Priority Investment Area Around Activity Centers
	Old Town		Neighborhood Node



Knightdale Gateway is consistent with the Target Investment Area recommendations of the Growth Framework Map. The proposed uses and master plan will facilitate a more compact and efficient development pattern along a major transportation corridor into the Town. The site is also near the intersection of Knightdale Boulevard and 540, where future growth is anticipated.

The KnightdaleNext Comprehensive Plan also features the Growth and Conservation Map, which refines the intent and focus of the Growth Framework Map and organizes the community into different place types. The place types are prioritized for varying degrees of land conservation and growth that supports a series of existing and proposed mixed-use, walkable neighborhoods and centers that vary in scale and character. The Map is intended to show, in a general sense, the desired types, locations, patterns, and intensities of future development.

Knightdale Gateway is within the Retail and Mixed-Density Neighborhood place types. Retail place types are intended to serve the daily shopping needs of the region, the community, and surrounding residential neighborhoods, typically located near high-volume roads and key intersections and designed with public spaces throughout. Mixed-Density Neighborhoods are formed as subdivisions or communities with a mix of housing types and densities designed to support a cohesive, well-connected community with a network of open space and gathering places.



PLACETYPE CATEGORIES

 Preserved Open Space	 Business Office
 Rural Living	 Light Industrial
 Recreation Open Space	 Heavy Industrial
 Single Family Neighborhood	 Civic & Institutional
 Mixed-Density Neighborhood	 Old Town
 Multifamily Community	 Mixed-Use Center
 Neighborhood Node	 Mixed-Use Center (Suburban Retrofit)
 Retail	 Transit-Oriented Development (BRT)
	 Regional Mixed-Use Center



The KnightdaleNext Playbook Approach gives guidance to when a parcel may be considered for revisions to the Growth & Conservation Map. The approach describes new realities that may support an amendment. Per KnightdaleNext, “Any changes considered to the Map should be evaluated against the community vision, guiding principles, and the Growth Framework Map to determine if they are in the best long-term interests of the Town and its residents, businesses, and property owners.”














Knightdale Gateway is consistent with several aspects of the Retail place type, but inconsistent with the Mixed-Density Neighborhoods place type. However, Knightdale Gateway directly conforms to the definition of the Business Office place type. The Business Office place type provides opportunities to concentrate employment in the Town on normal workdays, and includes both largescale buildings with employees for one business and areas with one or more buildings for multiple businesses that support and serve one another. They are buffered from surrounding development by transitional uses or landscaped areas and are often located in close proximity to major highways or thoroughfares.

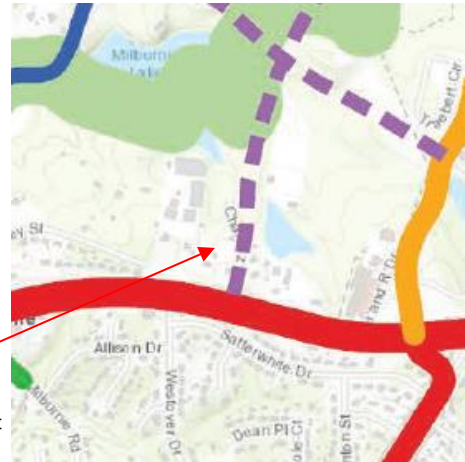
In addition, Knightdale Gateway will support and advance the Community Design and Economic Vitality guiding principles of the KnightdaleNext 2035 Comprehensive Plan.

- Knightdale Gateway is consistent with the Community Design guiding principle by providing a quality, distinctive business park. By incorporating street improvements, distinct architectural features, public spaces, and landscaping, Knightdale Gateway will support the Town’s identity and reputation as a place for business owners to invest in.
- Knightdale Gateway is consistent with the Economic Vitality guiding principle by promoting a healthy and sustainable business environment by investing in infrastructure and building a campus like setting that is attractive to employers and their workers. Knightdale Gateway will promote Knightdale as a vibrant place with a competitive advantage to attract knowledge-based businesses to the area. Further, Knightdale Gateway will promote economic vitality for businesses and increase access to employment opportunities in the Town.

The KnightdaleNext Street Network Map identifies a proposed Town-Maintained Collector within the project boundary. The Knightdale Gateway master plan is consistent with the Street Network Map by incorporating the segment of the proposed collector that is within the project boundary.

## LEGEND

	Knightdale Next Study Area		Existing State-Maintained Collector
	Existing Limited Access Facility		Proposed State-Maintained Collector
	Proposed Limited Access Facility		Future Local Street Connection
	Existing State-Maintained Arterial		Existing Town-Maintained Collector (Complete Street Concept Retrofit)
	Proposed State-Maintained Arterial		Proposed Town-Maintained Collector (Complete Street Concept)
	Existing Town-Maintained Arterial (Complete Street Retrofit Concept)		Proposed Walkable Spine Street, Serving Nearby Mixed-Use Development (Complete Street Concept)
	Proposed Town-Maintained Arterial (Complete Street Concept)		



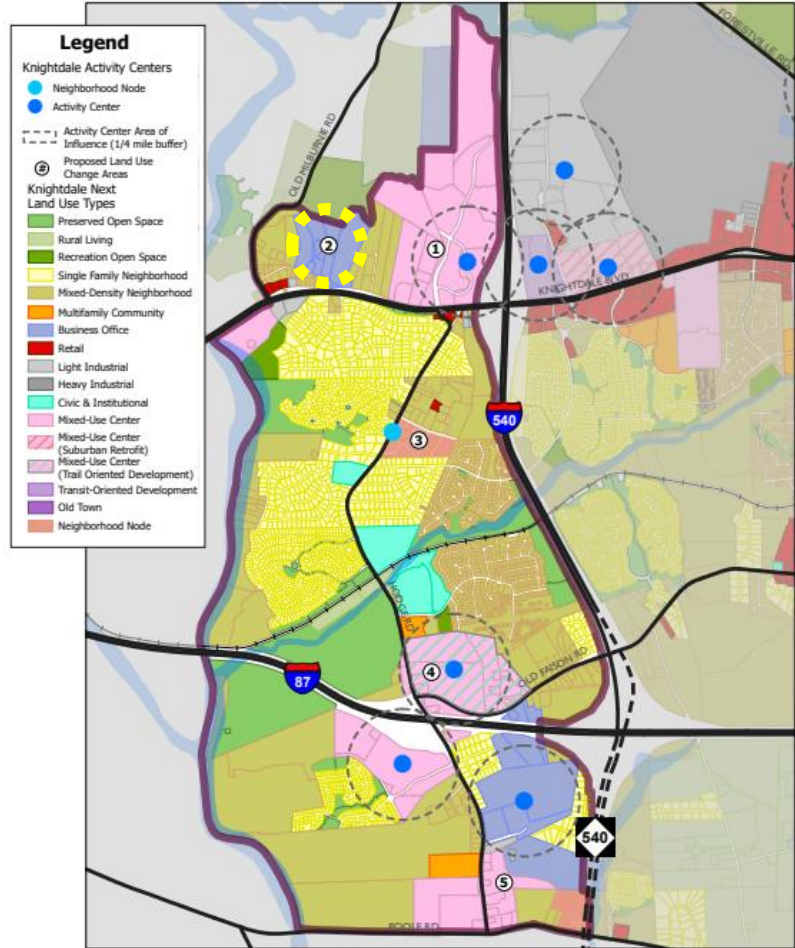
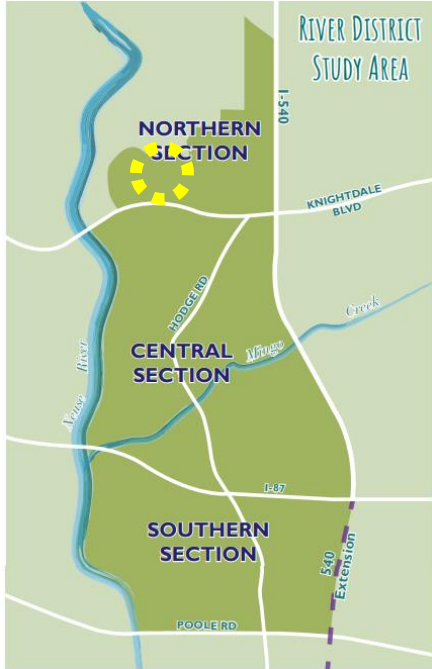
Therefore, a revision of the Growth & Conservation Map to change the rezoning site to the Business Office place type is reasonable and in the public interest because Knightdale Gateway is consistent with the community vision, guiding principles, and Growth Framework Map, and is in the best long-term interests of the Town and its residents, businesses, and property owners.

Knightdale Gateway is also located in the Northern Section of the River District Small Area Plan. More specifically, the site is located within the “Knightdale Gateway Site” of the Growth and Conservation Map. See River District Small Area Plan, page 16. The recommendation for this area state that a “shift in Place Type from Light Industrial to Business Office will provide opportunities to concentrate employment in the Town on normal workdays and should include both large-scale buildings and areas with one or more buildings for multiple businesses that support and serve one another. This area is an ideal location to designate as a Business Office Place Type due to its nearby access to major transportation corridors and close proximity to a mixed-use center that is anticipated to expand. A Business Office Place Type, coupled with the overarching goals of the Town to improve mobility and provide multi-modal options can facilitate a strong economy and a greater quality of life through increasing access to jobs, community services, commercial destinations, and natural resources. To assist with creating a distinct sense of place and identity that is unique to The River District, development within this area should incorporate design features that create a vibrant, sustainable, and safe community where people not only desire to visit, but to also live, work, and play.”

This project is consistent with these recommendations by creating an employment center with large-scale buildings to house complimentary businesses. Knightdale Gateway will also improve mobility through multi-modal transportation improvements consistent with the Transportation Plan. Commitments to River District themed signage and quality architecture will create a distinct sense of place.



Growth and Conservation Map



## **7. STATEMENT OF CONSISTENCY: UNIFIED DEVELOPMENT ORDINANCE**

Knightdale Gateway is proposed to be developed as a Planned Unit Development Overlay District (PUD), according to the base Manufacturing and Industrial zoning district (MI). The Knightdale Gateway master plan is designed to comply with the development standards outlined in the Town of Knightdale's Unified Development Ordinance (UDO), as well as the Town's standards and specifications for the design and construction of the project.



## 8. DEVELOPMENT STANDARDS

Knightdale Gateway is a master planned class A business park designed to the development standards of the MI zoning district.

### 8.1 PERMITTED USES

The Knightdale Gateway property may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

#### **Manufacturing/Wholesale/Storage Uses**

- Brewery / Winery / Distillery
- Laboratory – medical, analytical, research & development
- Manufacturing, Light
- Research and Development
- Storage – Warehouse, indoor storage
- Wholesaling and Distribution

#### **Office / Service Uses**

- Studio – Art, dance, martial arts, music
- Business Support Services
- Government Services
- Medical Services
- Personal Services
- Professional Services

#### **Retail / Restaurant Uses**

- Bar / Tavern / Microbrewery
- Neighborhood Retail / Restaurant – 2,000 sf or less
- Restaurant
- General Retail – 10,000 sf or less
- Tasting Room

#### **Entertainment / Recreation Uses**

- Amusements, Indoor – 5,000 sf or less
- Amusements, Indoor – 5,001 sf – 20,000 sf
- Amusements, Indoor – Greater than 20,000 sf
- Recreation Facilities, Indoor

### 8.2 OPEN SPACE AND TREE SAVE AREAS

There is no residential component proposed with this development, therefore recreational open space is not required per UDO 11.2.C.

Knightdale Gateway is designed to meet the minimum public gathering space required as described in UDO Section 6.12.

In accordance with UDO Section 7.4(M), Knightdale Gateway provides the following Tree Cover Area:

Perimeter of Site:	6,950 ft
<b>Required Tree Cover Area:</b>	<b>6,950 ft x 20 = 139,000 sf</b>
Required Area % of Total Lot Area:	139,000 sf / 2,358,143 sf = 5.89%
	5.89% of total lot area (<10% maximum)
<b>Existing Tree Cover Area to be Utilized:</b>	<b>521,245 sf</b>
Additional Tree Cover Area Required:	0 sf
Re-planted Tree Cover Area Required:	0 sf
Re-planted Tree Cover Area Provided:	25,086 sf

**8.3 PERIMETER BUFFERS AND ENHANCED LANDSCAPING**

In accordance with UDO Section 7.4.I, Knightdale Gateway is designed with 50 ft Type D buffer yards with landscaping to provide an opaque screen.

Knightdale Gateway is providing an additional 10 ft Type A buffer along the northern parking Lot of Building #2. This will add an extra layer of screening between Milburnie Lake and the northern parking lot.

Knightdale Gateway is providing an additional 50 ft of Type D buffer along along Coffey Street, resulting in a 100 ft buffer to preserve the viewshed of existing uses on Coffey Street. The majority of this 100 ft buffer will utilize existing vegetation and tree cover, and approximately 11,200 sf will be re-planted to Type D buffer standards.

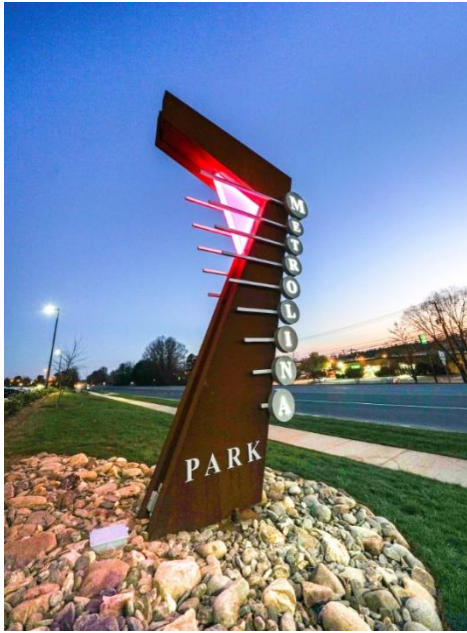
**8.4 SIGN STANDARDS**

Knightdale Gateway, designed as a class A business park that incorporates high-quality design to offer a unique employment center in a campus setting, shall incorporate a monument sign at its main entrance off of the proposed new road (the “Monument Sign”). For purposes of place-making, the Monument Sign shall include a mixture of materials and colors that are consistent with the architecture of buildings. In addition, and to assist in achieving the creation of a new River District, the applicant shall provide hardscaping such as stacked stone and incorporate “Knightdale’s River District” into signage for the development along Farmwell Road, Westover Drive, and internal to the site. In order to allow additional creative flexibility in the design of the Monument Sign, the Monument Sign shall be exempt from the dimensional standards of UDO Section 8.6(C)(5). The maximum height of the Monument Sign shall be limited to 10 ft, and have



## KNIGHTDALE GATEWAY PLANNED UNIT DEVELOPMENT

a maximum area of no greater than 100 square ft. The exhibits below are examples of monument signs that are intended to create a campus setting. The design of the Knightdale Gateway Monument Sign shall be determined at the site plan stage.



Metrolina Park (Charlotte, NC)



Carolina Logistics Park (Pineville, NC)

## 9. INFRASTRUCTURE

### 9.1 STREETS AND SIDEWALKS

Streets and sidewalks within Knightdale Gateway are designed to meet the standards of the Town of Knightdale, including roadway improvements along Farmwell Road.

Consistent with the KnightdaleNext Street Network Map’s proposed Town-Maintained Collector street located within the Knightdale Gateway project boundary, the master plan incorporates a segment of the proposed Collector St. The street is proposed as a 2-lane, median divided cross section with bike lanes and sidewalks on both sides, according to UDO Section 10.4.B.2.c.

A 30’ Public Greenway Easement shall be dedicated along the northern portion of the property.

### 9.2 PARKING

Knightdale Gateway is designed to meet the parking and loading standards as described in UDO Section 7.1.

Maximum No. of Parking Spaces: 1.5 per ksf GFA  
 Minimum No. of Parking Spaces: 0.5 x maximum

Building No.	GFA (sf)	Max Spaces	Min Spaces	Auto Spaces Provided
1	221,000	331	166	200
2	286,000	429	215	248

Electric Vehicle Parking Requirements: 1 per 40 spaces = 11 spaces  
 EV Charging Stations/Dedicated Spaces Provided: 11 spaces

Bicycle Parking Required: 1 per 10 parking spaces = 45 spaces  
 Bicycle Parking Provided: 46 spaces

#### **Knightdale Gateway Outparcel Parking Requirements**

Maximum No. of Parking Spaces (Manufacturing, Light): 1.5 per ksf GFA  
 Maximum No. of Parking Spaces (General Retail: 10,001-50,000 sf): 6.0 per ksf GFA  
 Minimum No. of Parking Spaces: 0.5 x maximum

Building No.	GFA (sf)	Max Spaces	Min Spaces	Auto Spaces Provided
1	26,000	39	19	35
2	12,000	64	32	54

Electric Vehicle Parking Requirements: 1 per 40 spaces = 2 spaces EV  
 Charging Stations/Dedicated Spaces Provided: 2 spaces



Bicycle Parking Required:	1 per 10 parking spaces = 9 spaces
Bicycle Parking Provided:	10 spaces

### **9.3 STORMWATER MANAGEMENT**

Knightdale Gateway will meet all applicable requirements and standards as described in UDO Chapter 9. The Stormwater Control Measures are designed to meet the stormwater reduction requirements, including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff for the 1-year, 2-year, and 10-year storm events. The project will use approved devices to control the stormwater sediment runoff. These devices may include wet detention basins, constructed wetlands, bioretention areas, sand filters or any other approved stormwater control measure.

## 10. ARCHITECTURAL STANDARDS

1. In order to divide and create vertical orientation on building facades and add visual interest, expanses of blank wall shall not exceed seventy (70) feet in width without being interrupted with an architectural feature such as, but not limited to:
  - a. columns,
  - b. recesses in or projections from the building façade,
  - c. piers,
  - d. rooflines,
  - e. brick patterns, or
  - f. reveals in concrete tilt construction with contrasting paint colors.
  
2. Each building façade shall have architectural features that are repeated through the pattern of walls and openings. Each building façade shall have an identifiable base, body, and cap with horizontal elements separating these components. The body of the building shall constitute a minimum of 50% of the total building height.
  
3. Buildings shall be architecturally compatible by way of colors and use of materials.
  - a. Each building exterior shall have a minimum of two different colors.
  - b. Each building exterior shall have a minimum of two different materials.
  - c. The primary façade of each building shall include one of the following materials:
    - i. Concrete tilt or precast concrete wall panels, with a base wall paint color in conjunction with varying complimentary accent paint colors,
    - ii. Brick masonry,
    - iii. Stone or Ceramic Tile accents, or
    - iv. Aluminum storefronts with anodized or pre-finished colors.
  - d. The following exterior building materials shall be prohibited:
    - i. Vinyl siding,
    - ii. Painted, smooth faced concrete block (decorative blocks are acceptable).
  
4. EIFS or synthetic stucco shall not be used in the first four feet above grade and shall be limited to only 25% of each building façade.
  
5. Soffit and fascia materials shall be EIFS, architectural metal panels (ACM), or tongue and groove wood.



6. Windows and storefront glazing shall have mullions that provide rhythm and visual interest.
7. Each building's primary entrance shall emphasize street level, pedestrian focused visual interest through the use of features such as, but not limited to:
  - a. columns,
  - b. piers,
  - c. windows,
  - d. recessed entries,
  - e. sheltering elements,
  - f. rooflines,
  - g. trim,
  - h. color change,
  - i. material change, or
  - j. and masonry patterns.
8. Each building's secondary entrances shall emphasize street level, pedestrian focused visual interest through the use of features such as, but not limited to:
  - a. recessed entries,
  - b. sheltering elements, or
  - c. adjacent storefront windows.
9. Building facades facing public streets shall incorporate enhanced architectural features to create visual interest
10. The façade of building corners shall maintain a relation to each other, but are not required to be identical.
11. Each building shall have a minimum of two parapet heights.
12. Simple parapet roof edges with coping shall be used.
13. Roof features may include architectural standing seam metal or canopies using architectural prefinished metal panels (Aluminum Composite Material).

KNIGHTDALE GATEWAY PLANNED UNIT DEVELOPMENT