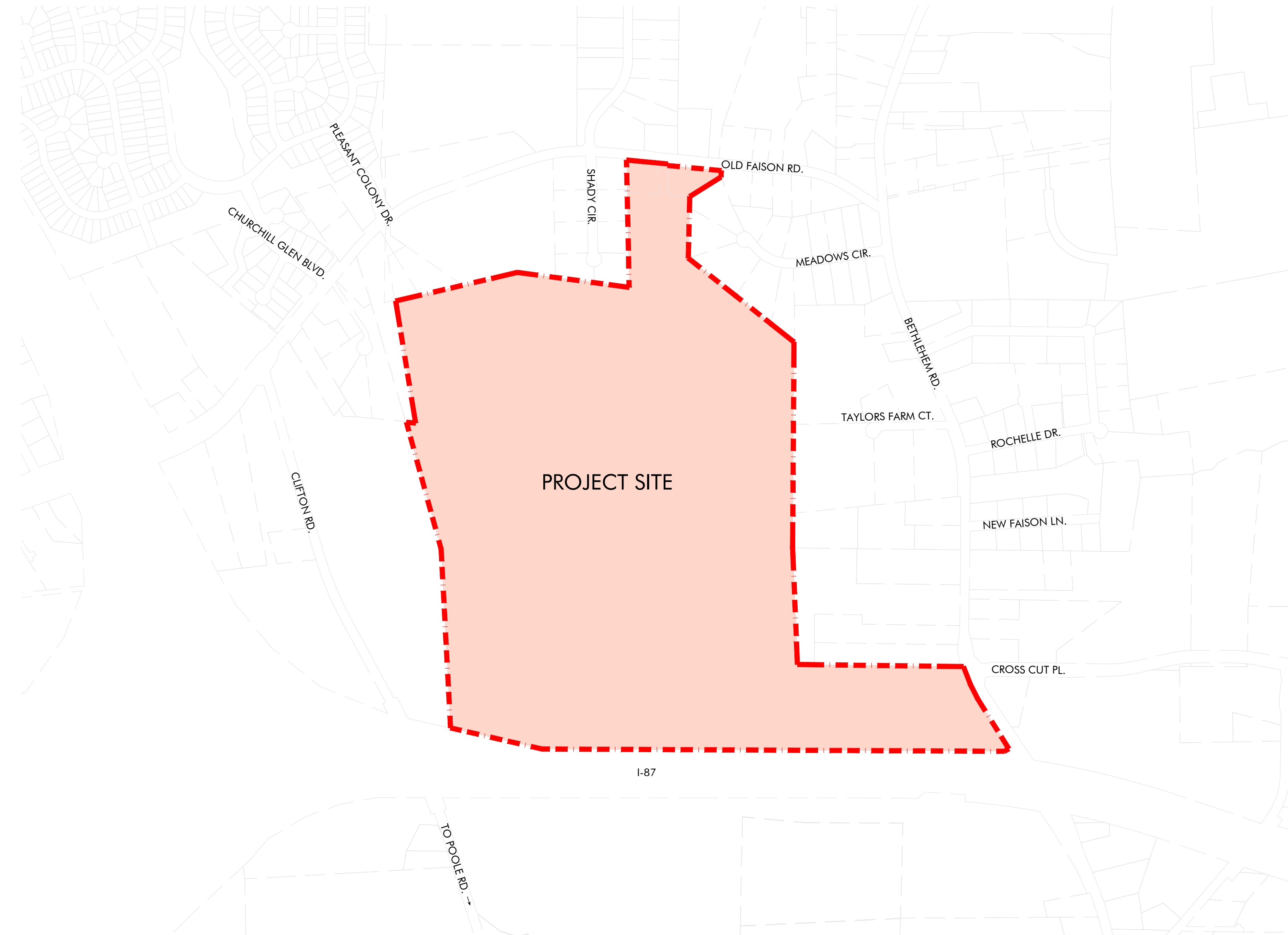


Lyndon Oaks Master Plan

Town of Knightdale RMX-PUD Master Plan Submittal: ZMA-2-23 Third Submittal: 03/28/2024



VICINITY MAP 1" = 500'

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- NO WORK WILL BE ALLOWED WITHIN NCDOT ROW UNTIL ALL ENCROACHMENT AGREEMENTS ARE APPROVED BY NCDOT.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDINGS OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY TOWN OF KNIGHTDALE INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" TOWN OF KNIGHTDALE STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BEAM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH TOWN OF KNIGHTDALE PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO NCDOT SPECIFICATIONS AND DETAILS AND CONTACT TOWN OF KNIGHTDALE PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF KNIGHTDALE ENGINEERING DEPARTMENT TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT TOWN OF KNIGHTDALE INSPECTOR'S OFFICE AT 919-217-2250 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE AT THE TIME OF SITE PLAN/CONSTRUCTION DOCUMENTS.

BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- REAR:	10' MIN
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN
COMMERCIAL:	
- FRONT:	10' MIN
- REAR:	0' MIN
- SIDE:	6' MIN
CLUBHOUSE:	
- FRONT:	10' MIN
- REAR:	0' MIN
- SIDE:	6' MIN

Sheet List Table

Sheet Number	Sheet Title	
C-1.0	Cover Sheet	C-4.7 Signage & Marking Plan Enlargement 7
--	Existing Conditions ALTA	C-4.8 Street Sections
--	Existing Conditions TOPO	C-4.9 Connectivity Index
--	Wetland Report	C-4.10 Pedestrian Circulation
C-3.0	Overall Site Plan	C-5.0 Overall Storm Drainage Plan
C-3.1	Site Plan Enlargement 1	C-6.0 Overall Utility Plan
C-3.2	Site Plan Enlargement 2	C-6.1 Utility Plan Enlargement 1
C-3.3	Site Plan Enlargement 3	C-6.2 Utility Plan Enlargement 2
C-3.4	Site Plan Enlargement 4	C-6.3 Utility Plan Enlargement 3
C-3.5	Site Plan Enlargement 5	C-6.4 Utility Plan Enlargement 4
C-3.6	Site Plan Enlargement 6	C-6.5 Utility Plan Enlargement 5
C-3.7	Site Plan Enlargement 7	C-6.6 Utility Plan Enlargement 6
C-3.8	Open Space Plan	C-6.7 Utility Plan Enlargement 7
C-3.9	Phasing Plan	LS-1.0 Overall Landscape Plan
C-4.0	Overall Signage & Marking Plan	LS-1.1 Landscape Plan Enlargement 1
C-4.1	Signage & Marking Plan Enlargement 1	LS-1.2 Landscape Plan Enlargement 2
C-4.2	Signage & Marking Plan Enlargement 2	LS-1.3 Landscape Plan Enlargement 3
C-4.3	Signage & Marking Plan Enlargement 3	LS-1.4 Landscape Plan Enlargement 4
C-4.4	Signage & Marking Plan Enlargement 4	LS-1.5 Landscape Plan Enlargement 5
C-4.5	Signage & Marking Plan Enlargement 5	LS-1.6 Landscape Plan Enlargement 6
C-4.6	Signage & Marking Plan Enlargement 6	LS-1.7 Landscape Plan Enlargement 7
		LS-2.0 Landscape Details
		LS-2.1 Landscape Details
		LS-3.0 Lighting Plan
		A-1.0 Architectural Elevations

USE AREAS

USE TYPE	TYP. LOT SIZE (SF)	# OF LOTS	TOTAL AREA (SF)	ACRES
SINGLE FAMILY				
30' LOT	3,600	51	183,600	
35' LOT	4,200	53	222,600	
40' LOT	4,800	27	129,600	
60' LOT	7,200	68	489,600	
70' LOT	8,400	25	210,000	
80' LOT	9,600	12	115,200	
			1,350,600	31.0
DUPLEX / TOWNHOUSE				
20' TH	1,800	116	208,800	
22' TH	1,980	126	249,480	
22' DUPLEX	2,160	22	47,520	
DISTRIBUTION OF USES			505,800	11.6
COMM/RETAIL*			25,689	0.6

DISTRIBUTION OF USES		ACRES	
GROSS SITE AREA (PER SURVEY)		171.8	
DEDICATED RECREATIONAL OPEN SPACE		20.5	
PUBLIC R/W		28.3	
NET AREA**		123	
USE TYPE	PROP. (AC)	MIN.-MAX. DISTRIBUTION(%)	PROV. DIST. (%)
SINGLE FAMILY	31.0	15%-60%	25.2%
DUPLEX / TOWNHOUSE	11.6	10%-40%	9.4%
COMMERCIAL / RETAIL	0.6	5%-20%	0.5%

CONTACT INFO:

OWNER:
CONTACT: TERRY LANCE FERRELL, RANDAL HUTCHINS FERRELL
ADDRESS: 26 SAINT JULIANS CT
PAWLEYS ISLAND, SC 29585-6309

OWNER:
CONTACT: WAYNE L. HARPER, EUGENE J. HARPER
ADDRESS: 4113 BREWSTER DR
RALEIGH, NC 27606-1711

OWNER:
CONTACT: DEBORAH JANE TART, MELTON E JR
ADDRESS: 4325 OLD FASHION RD
KNIGHTDALE NC 27545-9179

OWNER:
CONTACT: MILTON EDWARD III TART, JANET STANLEY TART
ADDRESS: 106 TART FARM RD
KNIGHTDALE NC 27545-8134

OWNER:
CONTACT: LEE T ALFORD
ADDRESS: 4313 OLD FASHION RD
KNIGHTDALE NC 27545-9179

OWNER:
CONTACT: MILTON E JR TART, PATSY P TART
ADDRESS: 4325 OLD FASHION RD
KNIGHTDALE NC 27545-9179

CIVIL ENGINEER:
URBAN DESIGN PARTNERS PLLC
CONTACT: SALMAN MOAZZAM, PE
ADDRESS: 150 FAYETTEVILLE ST. SUITE 1310
RALEIGH, NC 27601
PHONE: 919-275-5002
EMAIL: SMOAZZAM@URBANDESIGNPARTNERS.COM

LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS PLLC
CONTACT: BRIAN RICHARDS, PLA
ADDRESS: 150 FAYETTEVILLE ST. SUITE 1310
RALEIGH, NC 27601
PHONE: 919-275-5002
EMAIL: BRICHARDS@URBANDESIGNPARTNERS.COM

DEVELOPER:
D.R. HORTON
CONTACT: REESE BRIDGES, PE
ADDRESS: 7208 FALLS OF NEUSE RD. SUITE 201
RALEIGH, NC 27615
PHONE: 984-247-9614
EMAIL: TBRIDGES@DRHORTON.COM

SITE DATA:

PIN(S): 1743953683; 1743971085; 1753071583; 1743976575; 1743989384; 1743986356; 1753152116

TOTAL ACRES: ± 171.88 ACRES

EXISTING ZONING: RT (RURAL TRANSITIONAL)
PROPOSED ZONING: RMX-PUD

EXISTING USE: RESIDENTIAL & AGRICULTURAL
PROPOSED USE: RESIDENTIAL & COMMERCIAL OUTPARCEL

DEVELOPMENT SUMMARY:

COMMERCIAL:
*TOTAL LAND AREA: ± 0.6 AC
*BUILDINGS: 1 BLDG (±15,000 SF)
*BUILDING HEIGHT: MAXIMUM 2 STORES
ALLOWABLE USES: CHILD/ADULT DAY CARE CENTER (6 OR MORE PEOPLE), PERSONAL SERVICES, PROFESSIONAL SERVICES, MEDICAL SERVICES, NEIGHBORHOOD RETAIL/RESTAURANT (2,000 SF OR LESS), ALLOWED RMX ACCESSORY USES, BAR/TAVERN/MICROBREWERY, STUDIO (ARTS, DANCE, MARTIAL ARTS, MUSIC)
*NOTE: SEE PUD DOCUMENT FOR MORE INFORMATION

RESIDENTIAL:
*TOTAL LAND AREA: ± 132.09 AC
*PROPOSED DENSITY: 500 UNITS/171.88 AC
2.91 UNITS/AC

*PROPOSED UNITS: 500 DU TOTAL
→ TOWNHOMES/DUPLEXES
20' UNIT: 116 UNITS
22' TOWNHOME: 126 UNITS
22' DUPLEX: 22 UNITS
→ SINGLE FAMILY (REAR-LOAD)
30' LOT: 51 LOTS
35' LOT: 53 LOTS
40' LOT: 27 LOTS
→ SINGLE FAMILY (FRONT-LOAD)
60' LOT: 68 LOTS
70' LOT: 25 LOTS
80' LOT: 12 LOTS

OPEN SPACE:
→ REQUIRED: 17.90 AC TOTAL REQUIRED
- ACTIVE: 8.95 AC (50% OF REQ. OPEN SPACE)
- PASSIVE: 8.95 AC (50% OF REQ. OPEN SPACE)
→ PROPOSED: 20.55 AC TOTAL PROPOSED
- ACTIVE: 9.28 AC ACTIVE OPEN SPACE PROP.
- PASSIVE: 11.27 AC PASSIVE OPEN SPACE PROP.

TREE PRESERVATION:
→ REQUIRED: 6.44 AC TOTAL REQUIRED
→ PROPOSED: 18.64 AC TOTAL PROPOSED

PARKING CALCS: SEE SHEET C-3.0 FOR BREAKDOWN & REQUIREMENTS

LAND USE TOTALS:
→ TOTAL ACRES: 171.88 AC TOTAL
- COMMERCIAL: ± 0.60 AC TOTAL PROP.
- RESIDENTIAL: ± 132.09 AC TOTAL PROP.
- OPEN SPACE: ± 20.55 AC TOTAL PROP.
- TREE PRESERVATION: ± 18.64 AC TOTAL PROP.



150 Fayetteville st ste 1310
raleigh, nc 27601
+ 919.275.5002
urbanesignpartners.com

nc firm no: P-2671 sc coo no: C-03044
PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY
03/28/2024

D.R. Horton
7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

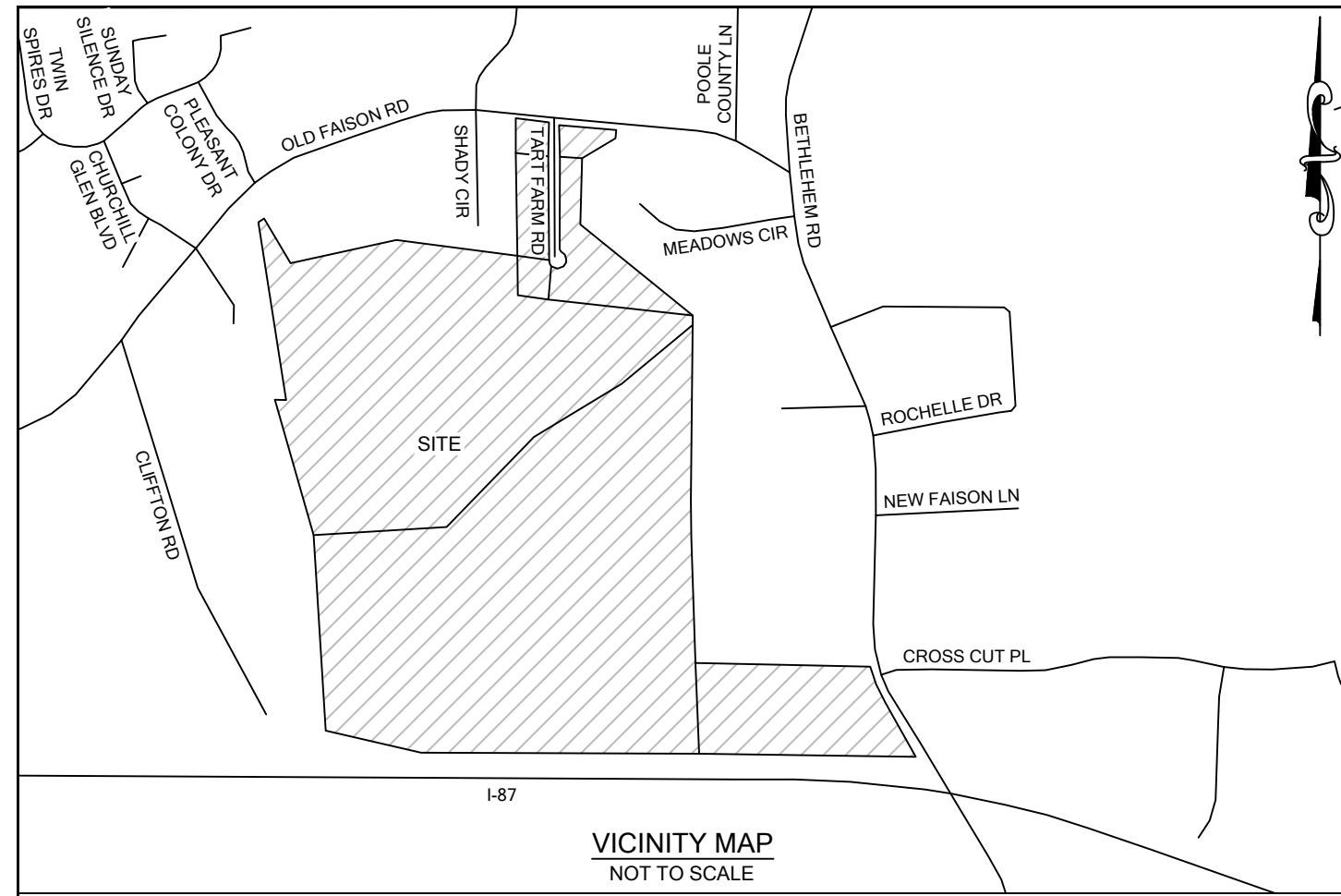
LYNDON OAKS Master Plan Cover Sheet

Knightsdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	03/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024

Sheet No:
C-1.0



VICINITY MAP
NOT TO SCALE

LEGEND

●	EXISTING BOUNDARY CORNER FOUND
○	BOUNDARY CORNER SET (3/4" IPS UNLESS OTHERWISE NOTED)
○	COMPUTED POINT
■	CONCRETE MONUMENT FOUND
□	CLEAN OUT
□	TRANSFORMER / ELECTRIC BOX
○	LIGHT POLE
○	UTILITY POLE
○	WATER METER
○	FIRE HYDRANT
○	UTILITY VALVE
○	TELEPHONE PEDESTAL
○	CABLE PEDESTAL
○	CATCH BASIN
○	DROP INLET
○	UTILITY MANHOLE
○	UTILITY HAND HOLE
○	AIR CONDITIONING UNIT
○	WELL
○	SIGN
—	UNDERGROUND FIBER
—	UNDERGROUND TELEPHONE
—	UNDERGROUND GAS
—	UNDERGROUND ELECTRIC
—	STORM DRAIN
—	OVERHEAD UTILITY
—	GUY WIRE
—	BURIED UTILITY MARKER
—	EXISTING IRON PIPE
—	EXISTING IRON REBAR
—	IRON PIPE SET
—	PK NAIL SET
—	PK NAIL FOUND
—	SANITARY SEWER MANHOLE
—	NORTH
—	EAST
—	SOUTH
—	WEST
—	NORTHEAST
—	SOUTHWEST
—	NORTHWEST
—	DEED BOOK
—	PAGE
—	BOOK OF MAPS
—	RIGHT OF WAY
—	POINT OF BEGINNING
—	TOTAL
—	TIE (INDICATES TWO PARTS OF THE SAME PARCEL)

NOTES

1. THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 3720174300K, DATED 07/19/2022.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON GPS OBSERVATIONS, NAD 83/NSRS 2011/SPC UNLESS OTHERWISE SHOWN.
3. SITE ZONED "RT" AND "GR3" FOR THE TOWN OF KNIGHTDALE PER WAKE COUNTY GIS.
4. AREAS COMPUTED BY COORDINATE METHOD.
5. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY, UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
6. THIS MAP HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
7. NO CEMETERIES OR GRAVES WERE OBSERVED AS A RESULT OF THIS SURVEY.
8. WETLANDS SHOWN PER FLAGGING SET BY SAGE ECOLOGICAL SERVICES AND REVISED WETLAND SKETCH MAP DATED FEBRUARY 6, 2024.

TO: DHI TITLE OF NORTH CAROLINA, AND D. R. HORTON, INC., A DELAWARE CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS OF TABLE A THEREOF (NONE SELECTED). THE FIELDWORK WAS COMPLETED ON OCTOBER 3RD, 2022.

PRELIMINARY

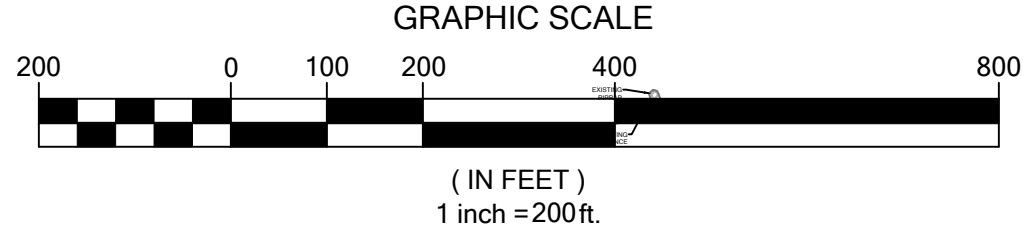
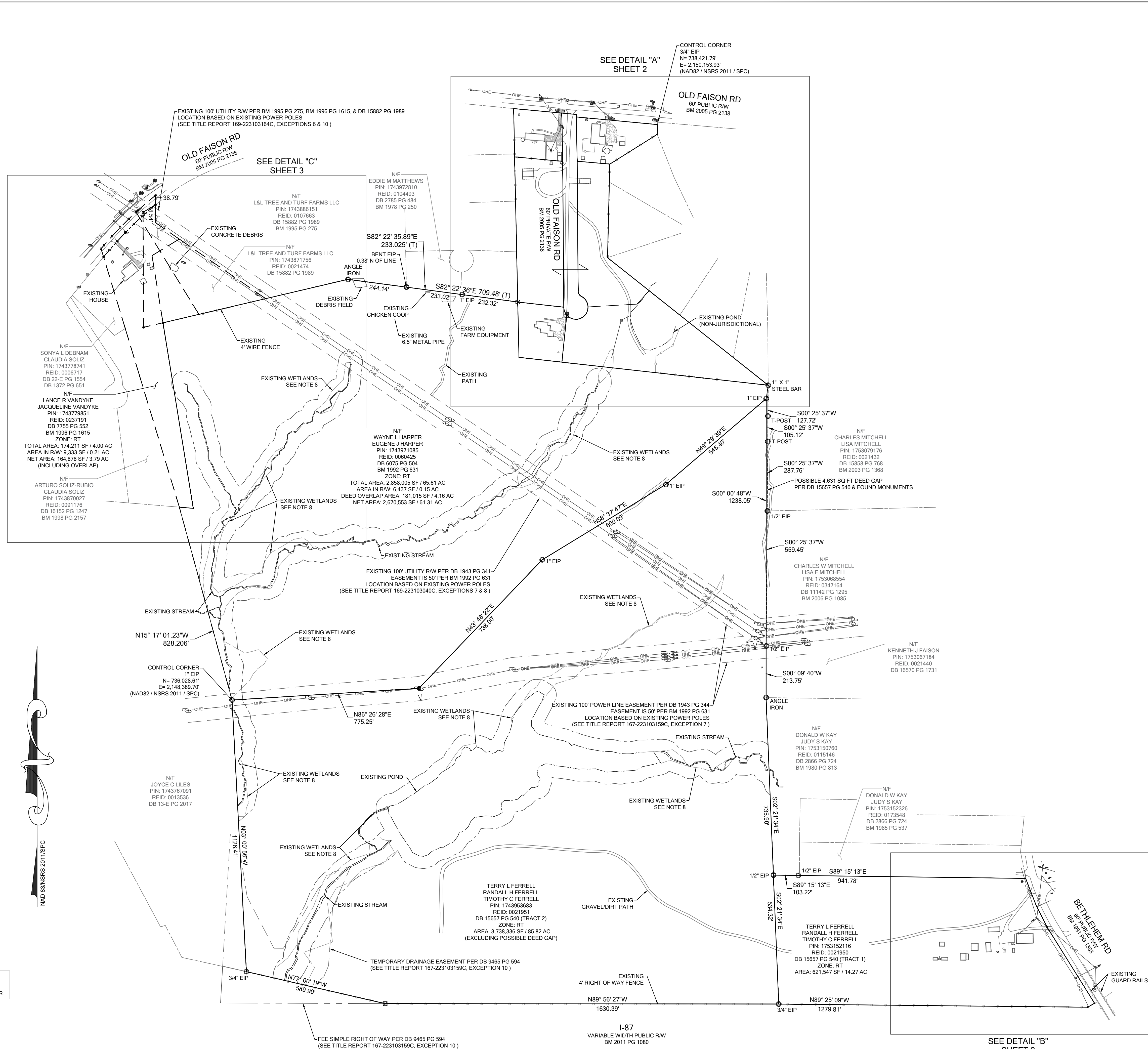
STEVEN P. CARSON, PLS. DATE
NC LICENSE NO. 4752

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED REFERENCES AS SHOWN IN TITLE BLOCK), THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND AS SHOWN HERE ON, THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000 +, THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS DAY OF A.D., 2022.

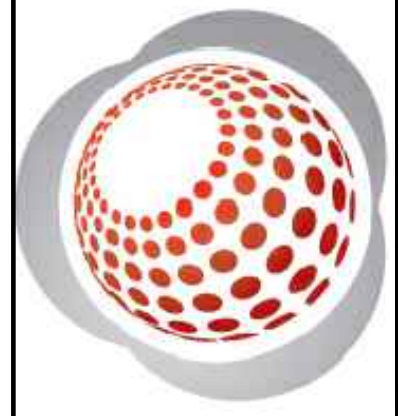
I, FURTHER THAT IN ACCORDANCE WITH G.S. 47-30-F-11-C-1, CERTIFY THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. FOR THE PURPOSES OF THIS SUBSECTION, AN "EXISTING PARCEL" OR "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED IN A SINGULAR LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

PRELIMINARY

STEVEN P. CARSON, PLS.
NC LICENSE NO. 4752



BATEMAN CIVIL SURVEY COMPANY
ENGINEERS • SURVEYORS • PLANNERS
2524 RELIANCE AVENUE - APEX, NC 27539
PHONE: (919) 577-1080 FAX: (919) 577-1081
INFO@BATEMANCIVILSURVEY.COM
NCBELS FIRM# C-2378



ALTANSPS/LAND TITLE SURVEY
EXCLUSIVELY FOR: DR HORTON
PROPERTY PINS: 1753162116, 1743953683, 1743971085, 1743986556, 1743986384, 175071983, 1743978575 & 174379851
AS RECORDED IN: DB 15657 PG 540, DB 2253 PG 285, DB 15474 PG 755, BM 2000, PG 1887, DB 9018 PG 621, DB 6075 PG 504 & DB 7755 PG 552
ST MATTHEWS TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

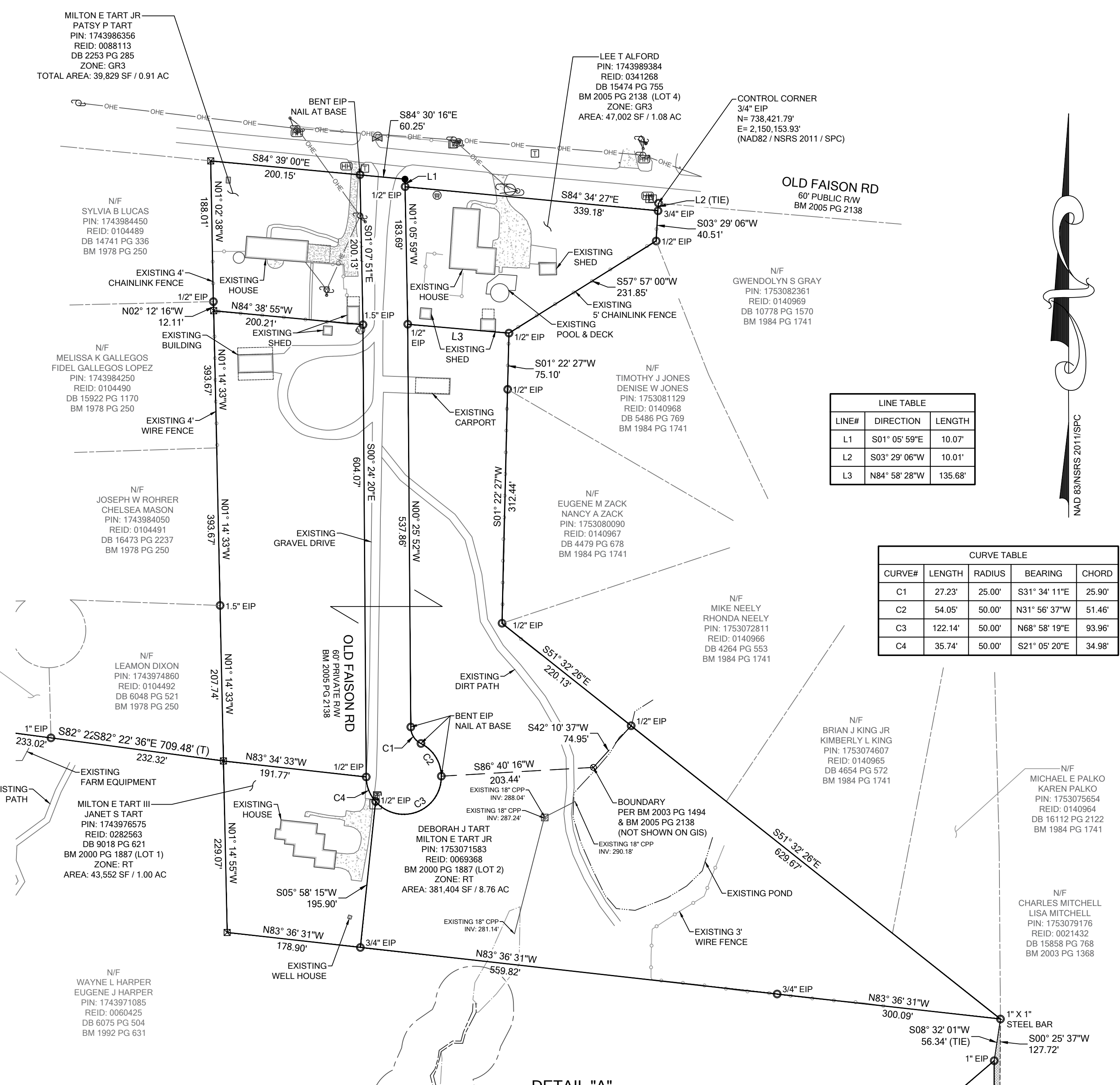
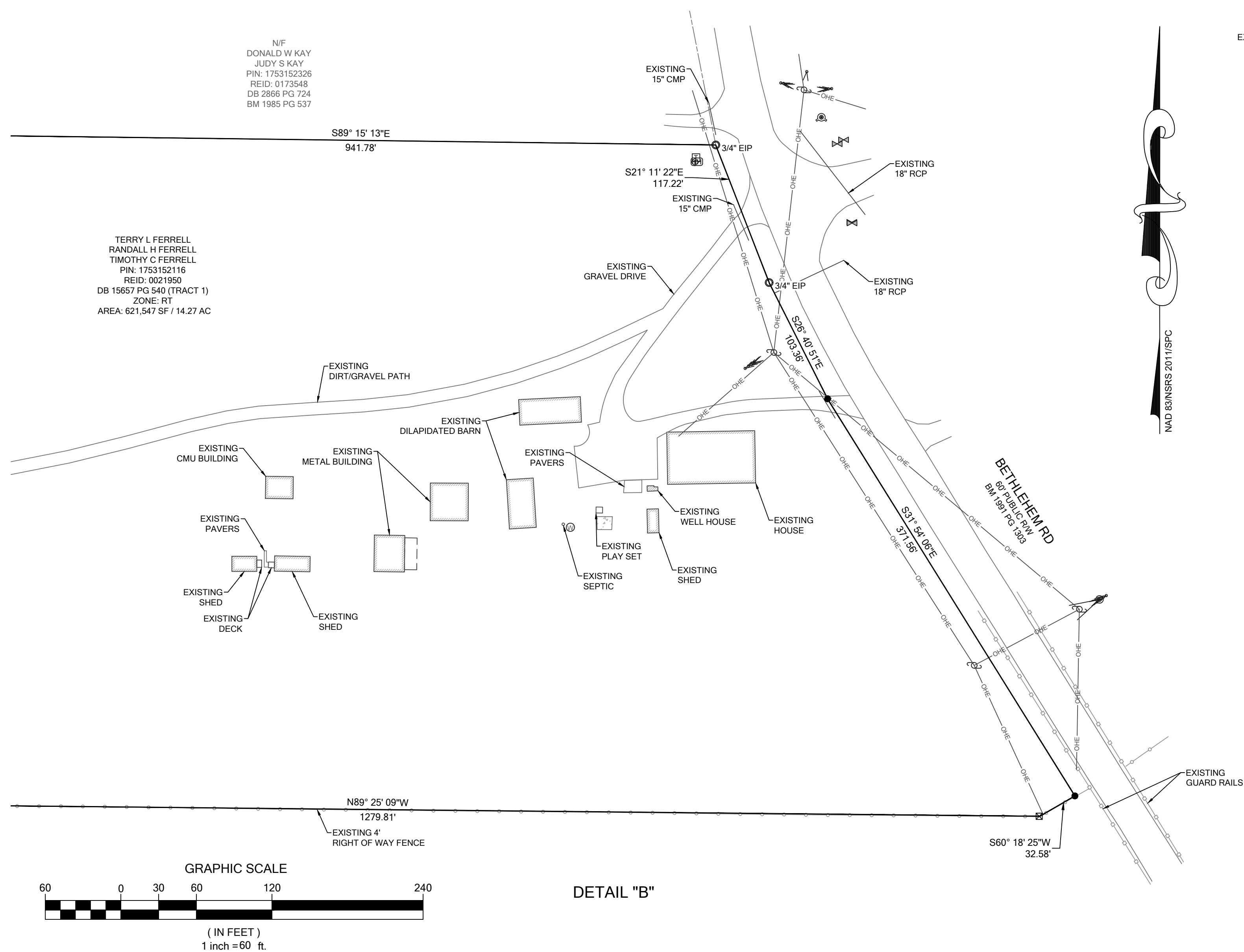
REVISIONS	
1.	
2.	
3.	
4.	
5.	

DESIGNED BY: N/A
DRAWN BY: ELS
CHECKED BY: SPC
SCALE: 1" = 200'
DATE: 1/27/2023
JOB NUMBER: 220655

SHEET 1 OF 4

LEGEND	
○	EXISTING BOUNDARY CORNER FOUND
●	BOUNDARY CORNER SET (3/4" IPS UNLESS OTHERWISE NOTED)
⊕	COMPUTED POINT
⊞	CONCRETE MONUMENT FOUND
⊞	CLEAN OUT
⊞	TRANSFORMER / ELECTRIC BOX
⊞	LIGHT POLE
⊞	UTILITY POLE
⊞	WATER METER
⊞	FIRE HYDRANT
⊞	UTILITY VALVE
⊞	TELEPHONE PEDESTAL
⊞	CABLE PEDESTAL
⊞	CATCH BASIN
⊞	DROP INLET
⊞	UTILITY MANHOLE
⊞	UTILITY HAND HOLE
⊞	AIR CONDITIONING UNIT
⊞	WELL
⊞	SIGN
— F —	UNDERGROUND FIBER
— T —	UNDERGROUND TELEPHONE
— GAS —	UNDERGROUND GAS
— E —	UNDERGROUND ELECTRIC
— SD —	STORM DRAIN
— OHE —	OVERHEAD UTILITY
— GUY WIRE —	GUY WIRE
⊞	BURIED UTILITY MARKER
⊞	EXISTING IRON PIPE
⊞	EXISTING IRON REBAR
⊞	IRON PIPE SET
⊞	PK NAIL SET
⊞	PK NAIL FOUND
⊞	SANITARY SEWER MANHOLE
N	NORTH
E	EAST
S	SOUTH
W	WEST
NE	NORTHEAST
SE	SOUTHEAST
SW	SOUTHWEST
NW	NORTHWEST
DB	DEED BOOK
PG	PAGE
BM	BOOK OF MAPS
R/W	RIGHT OF WAY
POB	POINT OF BEGINNING
(T)	TOTAL
(T)	TIE (INDICATES TWO PARTS OF THE SAME PARCEL)

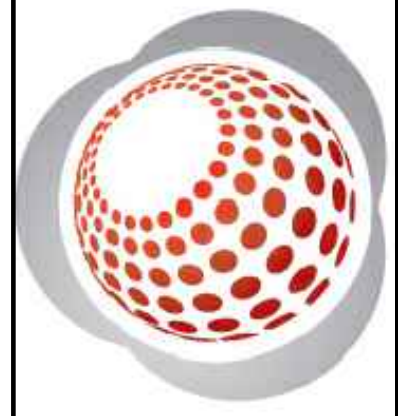
THIS MAP IS CONSIDERED PRELIMINARY, NOT FOR RECORDATION, CONVEYANCE OR SALES UNLESS SIGNED AND SEALED BY THE LICENSED SURVEYOR.



LINE TABLE		
LINE#	DIRECTION	LENGTH
L1	S01° 05' 59\"E	10.07'
L2	S03° 29' 06\"W	10.01'
L3	N84° 58' 28\"W	135.68'

CURVE TABLE				
CURVE#	LENGTH	RADIUS	BEARING	CHORD
C1	27.23'	25.00'	S31° 34' 11\"E	25.90'
C2	54.05'	50.00'	N31° 56' 37\"W	51.46'
C3	122.14'	50.00'	N68° 58' 19\"E	93.96'
C4	35.74'	50.00'	S21° 05' 20\"E	34.98'

BATEMAN CIVIL SURVEY COMPANY
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 2524 RELIANCE AVENUE - APEX, NC 27539
 PHONE: (919) 577-1080 FAX: (919) 577-1081
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 NCBELS FIRM# C-2378



ALTANSP/LAND TITLE SURVEY
EXCLUSIVELY FOR: DR HORTON
 PROPERTY PINS: 1753162116, 1743958683, 1743971085, 1743986356, 1743989384, 1750071983, 1743978575 & 1743779851
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 ST MATTHEWS TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

REVISIONS	
1.	
2.	
3.	
4.	
5.	

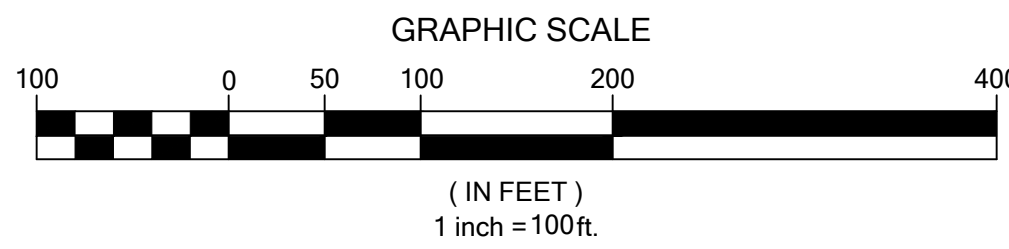
DESIGNED BY: N/A
DRAWN BY: ELS
CHECKED BY: SPC
SCALE: VARIES
DATE: 1/27/2023
JOB NUMBER: 220655

SHEET 2 OF 4

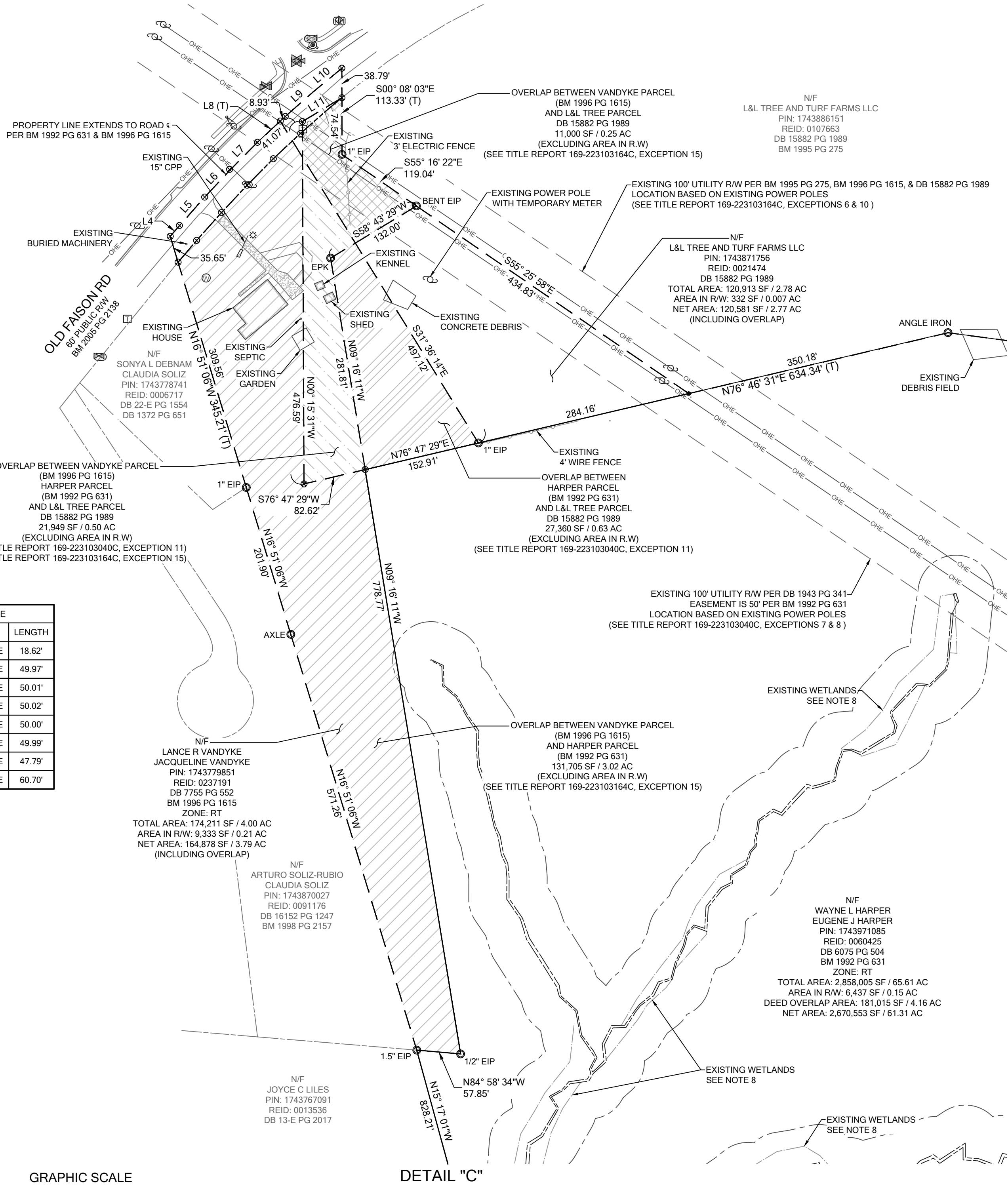
P:\2022 Projects\220655 Old Faison ALTA - DR Horton\DWG\220655 Old Faison ALTA.dwg



LINE#	DIRECTION	LENGTH
L4	N40° 26' 43"E	18.62'
L5	N41° 41' 39"E	49.97'
L6	N43° 09' 47"E	50.01'
L7	N44° 37' 45"E	50.02'
L8	N47° 05' 10"E	50.00'
L9	N48° 40' 18"E	49.99'
L10	N50° 32' 01"E	47.79'
L11	N58° 56' 59"E	60.70'



THIS MAP IS CONSIDERED PRELIMINARY, NOT FOR RECORDATION, CONVEYANCE OR SALES UNLESS SIGNED AND SEALED BY THE LICENSED SURVEYOR.



DETAIL "C"

LEGEND	
○	EXISTING BOUNDARY CORNER FOUND
●	BOUNDARY CORNER SET (3/4" IPS UNLESS OTHERWISE NOTED)
⊙	COMPUTED POINT
⊗	CONCRETE MONUMENT FOUND
□	CLEAN OUT
⊠	TRANSFORMER / ELECTRIC BOX
⊕	LIGHT POLE
⊖	UTILITY POLE
⊗	WATER METER
⊕	FIRE HYDRANT
⊖	UTILITY VALVE
⊗	TELEPHONE PEDESTAL
⊕	CABLE PEDESTAL
⊖	CATCH BASIN
⊗	DROP INLET
⊕	UTILITY MANHOLE
⊖	UTILITY HAND HOLE
⊗	AIR CONDITIONING UNIT
⊕	WELL
⊖	SIGN
—F—	UNDERGROUND FIBER
—T—	UNDERGROUND TELEPHONE
—G—	UNDERGROUND GAS
—E—	UNDERGROUND ELECTRIC
—SD—	STORM DRAIN
—O—	OVERHEAD UTILITY
⊕	GLY WIRE
⊖	BURIED UTILITY MARKER
EIP	EXISTING IRON PIPE
EIR	EXISTING IRON REBAR
IPS	IRON PIPE SET
PNS	PK NAIL SET
PKF	PK NAIL FOUND
SSMH	SANITARY SEWER MANHOLE
N	NORTH
E	EAST
S	SOUTH
W	WEST
NE	NORTHEAST
SE	SOUTHEAST
SW	SOUTHWEST
NW	NORTHWEST
DB	DEED BOOK
PG	PAGE
BM	BOOK OF MAPS
R/W	RIGHT OF WAY
POB	POINT OF BEGINNING
T	TOTAL
—TIE—	TIE (INDICATES TWO PARTS OF THE SAME PARCEL)

SURVEY COMMENTS
SURVEY MADE BY BATEMAN CIVIL SURVEY COMPANY
DATED 12/12/2022, JOB NO. 220655

SCHEDULE A

ISSUING OFFICE: DHI TITLE OF NORTH CAROLINA, 12276 SAN JOSE BLVD, SUITE 739, JACKSONVILLE, FL 32223
COMMITMENT NO.: 167-223103159C
PROPERTY ADDRESS: LOT ACQUISITION FERRELL; MASTER, N/A, NC 00000

1. COMMITMENT DATE: NOVEMBER 8, 2022 AT 09:00 AM
2. POLICY TO BE ISSUED:
(A) ALTA OWNER'S POLICY (06-16-07)
PROPOSED INSURED: D.R. HORTON, INC., A DELAWARE CORPORATION
PROPOSED POLICY AMOUNT: \$10,000.00
3. THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS COMMITMENT IS:
FEE SIMPLE
4. THE TITLE IS, AT THE COMMITMENT DATE, VESTED IN:
TIMOTHY CLARENCE FERRELL, RANDALL HUTCHINS FERRELL, AND TERRY LANCE FERRELL AND CHERYL ANNE FERRELL, TRUSTEES OF THE TERRY LANCE FERRELL AND CHERYL ANN FERRELL FAMILY TRUST DATED JULY 26, 2018
5. THE LAND IS DESCRIBED AS FOLLOWS:
LYING AND BEING IN WAKE COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FIRST TRACT:
LOCATED ON THE WEST SIDE OF PAVED ROAD NO. 2049 AND BEGINNING AT POINT IN CENTER OF SAID ROAD BEING THE SOUTHEAST CORNER OF TRACT NO. 2 ON MAP HEREAFTER REFERRED TO, AND RUNS THENCE SOUTH 29 DEG. 00 MIN. EAST 632 FEET TO CORNER IN SAID ROAD; THENCE NORTH 85 DEG. 33 MIN. WEST 1350 FEET TO CORNER; THENCE NORTH 00 DEG. 48 MIN. EAST 551 FEET TO THE SOUTHWEST CORNER OF THE NORTH PORTION OF TRACT NO. L; THENCE A DIVIDING LINE BETWEEN THE NORTH AND SOUTH PORTIONS OF TRACT NO. L, SOUTH 85 DEG. 33 MIN. EAST 1045 FEET TO THE POINT OF BEGINNING, AND BEING THE SOUTH PORTION OF TRACT NO. L OF THE PROPERTY OF THE J. J. FERRELL HEIRS AS SHOWN ON MAP PREPARED BY SMITH AND SMITH, APEX, N. C. FROM DEEDS NOTED ON SAID MAP. CONTAINS 1 1/4 ACRES MORE OR LESS.

SECOND TRACT:
BOUNDED ON THE NORTH BY A ROAD; ON THE EAST BY THE FAISON AND FERRELL LAND; ON THE SOUTH BY A. C. SPARKS AND ON THE WEST BY A BRANCH, AND DESCRIBED AS FOLLOWS: BEGINNING AT A FENCE POST, CORNER BETWEEN J. J. FERRELL AND A. C. SPARKS, AND RUNS THENCE NORTH 86 DEG. WEST 2331 FEET TO A BRANCH, SAID POINT BEING WITNESSED BY A STAKE AND POINTERS; THENCE ALONG SAID BRANCH IN A NORTHERLY DIRECTION 1100 FEET TO A ROAD; THENCE ALONG SAID ROAD THE FOLLOWING COURSES AND DISTANCES, N. 88 DEG. 30 MIN. EAST 770 FEET; N. 48 DEG. 10 MIN. E. 758 FEET; N. 53 DEG. 50 MIN. E. 546.3 FEET TO A STAKE IN FAISON'S LINE ON SOUTH SIDE OF SAID ROAD; THENCE ALONG FAISON'S LINE S. 4 DEG. 40 MIN. W. 1238.7 FEET TO A STAKE, A CORNER BETWEEN THE FAISON AND FERRELL LANDS; THENCE ALONG THE FERRELL LINE S. 1 DEG. 45 MIN. W. 1295 FEET TO THE BEGINNING, CONTAINING 82 ACRES MORE OR LESS ACCORDING TO A SURVEY AND MAP MADE BY PITTMAN STELL, C. S. DATED DEC. 14, 1944, AND BEING THE NORTHERN END OF TRACT NO. 13 OF "THE OAKS FARM", SEE SURVEY AND MAP MADE G. SAM ROWE, C. E. DATED NOVEMBER 1944.

LESS AND EXCEPT THAT PROPERTY DESCRIBED IN THE CONSENT JUDGMENT WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION OF RECORD IN BOOK 9465, PAGE 594, WAKE COUNTY REGISTRY.

COMMITMENT NO.: 167-223103159C

SCHEDULE B, PART I
EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

THE POLICY WILL NOT INSURE AGAINST LOSS OR DAMAGE RESULTING FROM THE TERMS AND PROVISIONS OF ANY LEASE OR EASEMENT IDENTIFIED IN SCHEDULE A, AND WILL INCLUDE THE FOLLOWING EXCEPTIONS UNLESS CLEARED TO THE SATISFACTION OF THE COMPANY:

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I - REQUIREMENTS ARE MET.
(NO MATTER OF SURVEY)
2. TAXES AND ASSESSMENTS FOR THE YEAR 2023, A LIEN NOW DUE AND PAYABLE AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE.
(NO MATTER OF SURVEY)
3. TITLE TO ANY AREAS WITHIN STREET, HIGHWAY OR RAILROAD RIGHTS OF WAY, IF ANY.
(NO MATTER OF SURVEY)
4. THE CREATION OR LOSS OF LAND BY NATURAL OR ARTIFICIAL CHANGES ALONG WATER FORMING PART OF THE BOUNDARY OF THE LAND; AND/OR TITLE TO LAND LYING BELOW THE HIGHER OF THE MEAN HIGH WATER MARK AND/OR THE NORMAL BOUNDS OF ANY BODY OF WATER; AND/OR RIPARIAN RIGHTS INCIDENT TO ANY BRANCHES, CREEKS, STREAMS, LAKES OR OTHER WATERS COURSING OR ABUTTING THE LAND.
(NO MATTER OF SURVEY)
5. ANY DISCREPANCY, CONFLICT, ACCESS, SHORTAGE IN AREA OR BOUNDARY LINES, ENCROACHMENT, ENCUMBRANCE, VIOLATION, OVERLAP, SETBACK, EASEMENT OR CLAIMS OF EASEMENT, RIPARIAN RIGHT, AND TITLE TO LAND WITHIN ROADS, WAYS, RAILROADS, WATERCOURSES, BURIAL GROUNDS, MARSHES, DREGGED OR FILLED AREAS OR LAND BELOW THE MEAN HIGH WATER MARK OR WITHIN THE BOUNDS OF ANY ADJOINING BODY OF WATER, OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY A CURRENT INSPECTION AND ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
(AS SHOWN HEREON)
6. ALL DEFERRED TAXES
(NO MATTER OF SURVEY)
7. EASEMENTS TO CAROLINA POWER & LIGHT RECORDED IN BOOK 1828, PAGE 340; BOOK 1943, PAGE 344; AND BOOK 4023, PAGE 701, WAKE COUNTY REGISTRY.
(AS SHOWN HEREON)
8. MEMORANDUM OF CONTRACT DATED JULY 14, 2022, RECORDED IN BOOK 19098, PAGE 869, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)
9. THE CORRECTNESS OF THE SQUARE FOOTAGE/ACREAGE COMPUTATION CONTAINED IN THE DESCRIPTION OF THE LAND IS NOT INSURED.
(NO MATTER OF SURVEY)
10. CONSENT JUDGMENT IN FAVOR OF THE DEPARTMENT OF TRANSPORTATION FOR 1.193 ACRES, WAKE COUNTY CIVIL ACTION 01-CVS-3306, RECORDED IN BOOK 9465, PAGE 594, WAKE COUNTY REGISTRY.
(AS SHOWN HEREON)
11. UTILITY EASEMENTS AFFECTING THE LAND.
(NO DOCUMENTS CITED)
12. ACCESS TO SECOND TRACT THE LAND IS AVAILABLE ONLY BY MEANS OF ACCESS OVER FIRST TRACT, AND IS CONDITIONED UPON OWNERSHIP OF SAID ADJOINING PARCEL BY THE INSURED.
(NO MATTER OF SURVEY)
13. ACCESS BY WAY OF INTERSTATE 87, A CONTROLLED ACCESS HIGHWAY, IS NOT INSURED.
(NO MATTER OF SURVEY)
14. NO CLOSING SERVICES INSURANCE: AS TO THE TRANSACTION FOR WHICH THIS COMMITMENT IS ISSUED, THE COMPANY DOES NOT AFFORD INSURED CLOSING PROTECTION/CLOSING SERVICES INSURANCE ABSENT REVISION OF THIS COMMITMENT TO INCLUDE A STATEMENT THAT COVERAGE IS AFFORDED TO THOSE PARTIES IDENTIFIED IN A SEPARATE CLOSING PROTECTION LETTER ISSUED SIMULTANEOUSLY WITH REVISION OF THE COMMITMENT. ANY CLOSING PROTECTION COVERAGE OR LETTER WHICH HERETOFORE MAY HAVE BEEN ISSUED IS HEREBY RESCINDED AND SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION. ANY CLOSING PROTECTION LETTER SUBSEQUENTLY ISSUED SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION ABSENT THE ACCOMPANYING REQUISITE REVISION OF THIS COMMITMENT.
(NO MATTER OF SURVEY)

BATEMAN CIVIL SURVEY COMPANY
ENGINEERS • SURVEYORS • PLANNERS
2524 RELIANCE AVENUE - APEX, NC 27539
PHONE: (919) 577-1080 FAX: (919) 577-1081
INFO@BATEMANCIVILSURVEY.COM
NCBELS FIRM# C-2378



ALTANSP/LAND TITLE SURVEY
EXCLUSIVELY FOR: DR HORTON
PROPERTY PINS: 1753162116; 1743953663; 1743971085; 1743986356; 1743986384;
1753071983; 1743978575 & 1743779851
AS RECORDED IN: DB 15657 PG 540, DB 2253 PG 285, DB 15474 PG 755, BM 2000,
PG 1887, DB 9018 PG 621, DB 6075 PG 504 & DB 7755 PG 552
ST MATTHEWS TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

REVISIONS	
1.	
2.	
3.	
4.	
5.	

DESIGNED BY: N/A
DRAWN BY: ELS
CHECKED BY: SPC
SCALE: 1" = 100'
DATE: 1/27/2023
JOB NUMBER: 220655
SHEET 3 OF 4

SURVEY COMMENTS
SURVEY MADE BY BATEMAN CIVIL SURVEY COMPANY
DATED 12/12/2022, JOB NO. 220655

SCHEDULE A

ISSUING OFFICE: DHI TITLE OF NORTH CAROLINA, 12276 SAN JOSE BLVD, SUITE 739, JACKSONVILLE, FL 32223
COMMITMENT NO.: 169-223103040C
PROPERTY ADDRESS: LOT ACQUISITION TRACT 12, N/A, NC 00000

1. COMMITMENT DATE: OCTOBER 28, 2022 AT 12:00 AM

2. POLICY TO BE ISSUED:
(A) ALTA OWNER'S POLICY (06-16-07)
PROPOSED INSURED: D.R. HORTON, INC., A DELAWARE CORPORATION
PROPOSED POLICY AMOUNT: \$10,000.00

3. THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS COMMITMENT IS:
FEE SIMPLE

4. THE TITLE IS, AT THE COMMITMENT DATE, VESTED IN:
WAYNE L. HARPER AND EUGENE J. HARPER

5. THE LAND IS DESCRIBED AS FOLLOWS:

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, CONTAINING 61.35 ACRES MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN ON THAT CERTAIN PLAT OF SURVEY TITLED, "SURVEY OF TRACT #12 OF THE OAKS FARM IN THE D. J. ROBERTSON ESTATE", BY TALLEY AND ASSOCIATES, WHICH PLAT IS RECORDED IN BOOK OF MAPS 1992, PAGE 631, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

COMMITMENT NO.: 169-223103040C

SCHEDULE B, PART II
EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

THE POLICY WILL NOT INSURE AGAINST LOSS OR DAMAGE RESULTING FROM THE TERMS AND PROVISIONS OF ANY LEASE OR EASEMENT IDENTIFIED IN SCHEDULE A, AND WILL INCLUDE THE FOLLOWING EXCEPTIONS UNLESS CLEARED TO THE SATISFACTION OF THE COMPANY:

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I - REQUIREMENTS ARE MET.
(NO MATTER OF SURVEY)

2. TAXES AND ASSESSMENTS FOR THE YEAR 2023, A LIEN NOW DUE AND PAYABLE AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE.
(NO MATTER OF SURVEY)

3. TITLE TO ANY AREAS WITHIN STREET, HIGHWAY OR RAILROAD RIGHTS OF WAY, IF ANY.
(NO MATTER OF SURVEY)

4. THE CREATION OR LOSS OF LAND BY NATURAL OR ARTIFICIAL CHANGES ALONG WATER FORMING PART OF THE BOUNDARY OF THE LAND; AND/OR TITLE TO LAND LYING BELOW THE HIGHER OF THE MEAN HIGH WATER MARK AND/OR THE NORMAL BOUNDS OF ANY BODY OF WATER; AND/OR RIPARIAN RIGHTS INCIDENT TO ANY BRANCHES, CREEKS, STREAMS, LAKES OR OTHER WATERS COURSING OR ABUTTING THE LAND.
(NO MATTER OF SURVEY)

5. ANY DISCREPANCY, CONFLICT, ACCESS, SHORTAGE IN AREA OR BOUNDARY LINES, ENCROACHMENT, ENCUMBRANCE, VIOLATION, OVERLAP, SETBACK, EASEMENT OR CLAIMS OF EASEMENT, RIPARIAN RIGHT, AND TITLE TO LAND WITHIN ROADS, WAYS, RAILROADS, WATERCOURSES, BURIAL GROUNDS, MARSHES, DREDGED OR FILLED AREAS OR LAND BELOW THE MEAN HIGHWATER MARK OR WITHIN THE BOUNDS OF ANY ADJOINING BODY OF WATER, OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY A CURRENT INSPECTION AND ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
(AS SHOWN HEREON)

6. ALL DEFERRED TAXES.
(NO MATTER OF SURVEY)

7. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK OF MAPS 1992, AT PAGE 631 AND MATTERS SHOWN THEREON.
(AS SHOWN HEREON)

8. RIGHT OF WAY TO CAROLINA POWER AND LIGHT OF RECORD IN BOOK 1943, PAGE 341, BOOK 4945, PAGE 929, WAKE COUNTY REGISTRY.
(AS SHOWN HEREON)

9. RIGHT OF WAY TO THE NC STATE HIGHWAY COMMISSION OF RECORD IN BOOK 1445, PAGE 577, WAKE COUNTY REGISTRY.
(NO PLOTTABLE DESCRIPTION FOUND)

10. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK OF MAPS 1996, AT PAGE 1615 AND MATTERS SHOWN THEREON.
(AS SHOWN HEREON)

11. SUBJECT TO THE CLAIMS OF L&L TREE AND TURF FARMS, LLC BASED UPON THE DEED INTO L&L TREE AND TURF FARMS, LLC IN BOOK 15882, PAGE 1989 (TRACT 3).
(AS SHOWN HEREON)

12. THE CORRECTNESS OF THE SQUARE FOOTAGE/ACREAGE COMPUTATION CONTAINED IN THE DESCRIPTION OF THE LAND IS NOT INSURED.
(NO MATTER OF SURVEY)

13. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK OF MAPS _____, AT PAGE _____ AND MATTERS SHOWN THEREON.
(NO DOCUMENT CITED)

14. NO CLOSING SERVICES INSURANCE: AS TO THE TRANSACTION FOR WHICH THIS COMMITMENT IS ISSUED, THE COMPANY DOES NOT AFFORD INSURED CLOSING PROTECTION/CLOSING SERVICES INSURANCE ABSENT REVISION OF THIS COMMITMENT TO INCLUDE A STATEMENT THAT COVERAGE IS AFFORDED TO THOSE PARTIES IDENTIFIED IN A SEPARATE CLOSING PROTECTION LETTER ISSUED SIMULTANEOUSLY WITH REVISION OF THE COMMITMENT. ANY CLOSING PROTECTION COVERAGE OR LETTER WHICH HERETOFORE MAY HAVE BEEN ISSUED IS HEREBY RESCINDED AND SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION. ANY CLOSING PROTECTION LETTER SUBSEQUENTLY ISSUED SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION ABSENT THE ACCOMPANYING REQUISITE REVISION OF THIS COMMITMENT.
(NO MATTER OF SURVEY)

THIS MAP IS CONSIDERED PRELIMINARY, NOT FOR RECORDATION, CONVEYANCE OR SALES UNLESS SIGNED AND SEALED BY THE LICENSED SURVEYOR.

SURVEY COMMENTS
SURVEY MADE BY BATEMAN CIVIL SURVEY COMPANY
DATED 12/12/2022, JOB NO. 220655

SCHEDULE A

ISSUING OFFICE: DHI TITLE OF NORTH CAROLINA, 12276 SAN JOSE BLVD, SUITE 739, JACKSONVILLE, FL 32223
COMMITMENT NO.: 167-223103038C
PROPERTY ADDRESS: FOUR TRACTS IN WAKE COUNTY TO BE KNOWN AS TART, N/A, NC 00000

1. COMMITMENT DATE: OCTOBER 27, 2022 AT 12:00 AM

2. POLICY TO BE ISSUED:
(A) ALTA OWNER'S POLICY (06-16-07)
PROPOSED INSURED: D.R. HORTON, INC., A DELAWARE CORPORATION
PROPOSED POLICY AMOUNT: \$1,800,000.00

3. THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS COMMITMENT IS:
FEE SIMPLE

4. THE TITLE IS, AT THE COMMITMENT DATE, VESTED IN:
TRACT 1
DEBORAH JANE TART AND MILTON E. TART, JR. AS TENANTS IN COMMON

TRACT 2
MILTON EDWARD TART, III AND WIFE, JANET STANLEY TART

TRACT 3
MILTON EDWARD TART, JR. AND WIFE, PATSY PRICE TART

TRACT 4
LEE T. ALFORD

5. THE LAND IS DESCRIBED AS FOLLOWS:

TRACT 1
PARCEL 1
ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, CONTAINING 2.694 ACRES MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN AS LOT 2 ON THAT CERTAIN PLAT OF SURVEY ENTITLED, "FINAL PLAT MINOR FAMILY SUBDIVISION GLADYS F. TART", BY GIL CLARK SURVEYING, WHICH PLAT IS RECORDED IN BOOK OF MAPS 2003, PAGE 194, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

PARCEL 2
ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, CONTAINING 3.896 ACRES MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN AS LOT 5 ON THAT CERTAIN PLAT OF SURVEY BY GIL CLARK SURVEYING, WHICH PLAT IS RECORDED IN BOOK OF MAPS 2003, PAGE 1494, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

PARCEL 3
ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, CONTAINING 2.166 ACRES MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN AS LOT 3 ON THAT CERTAIN PLAT OF SURVEY BY GIL CLARK SURVEYING, WHICH PLAT IS RECORDED IN BOOK OF MAPS 2000, PAGE 2138, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

PARCEL 4
ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, SHOWN AS "TART FARM RD NEW 6 PRIVATE RW" ON THAT CERTAIN PLAT OF SURVEY BY GIL CLARK SURVEYING, WHICH PLAT IS RECORDED IN BOOK OF MAPS 2000, PAGE 1877, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

TRACT 2
ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, CONTAINING 1.000 ACRE MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN AS LOT 1 ON THAT CERTAIN PLAT OF SURVEY BY GIL CLARK SURVEYING, WHICH PLAT IS RECORDED IN BOOK OF MAPS 2000, PAGE 1877, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

TRACT 3
BEGINNING AT A NAIL AND CAP IN THE CENTER OF FAISON ROAD (STATE ROAD 2515) AND THE NORTHEASTERN CORNER OF THE PROPERTY OF JAMES R. FAISON, SOUTHERN LINE OF THE PROPERTY HERETOFORE BELONGING TO OLLIE W. FAISON AND WIFE DAISY P. FAISON AND FROM THE POINT AND PLACE OF BEGINNING SOUTH 00 DEGREES 19 MINUTES WEST 230.74 FEET TO A STAKE IN THE EASTERN LINE OF THE PROPERTY OF JAMES R. FAISON AND THE WESTERN LINE OF GLADYS FAISON TART; THENCE SOUTH 83 DEGREES 4 MINUTES EAST 200 FEET TO A STAKE; THENCE NORTH 00 DEGREES 19 MINUTES EAST 230.74 FEET TO A NAIL AND CAP LOCATES IN THE CENTER OF FAISON ROAD (STATE ROAD 2515); THENCE WITH THE CENTER OF SAID ROAD NORTH 83 DEGREES 4 MINUTES WEST 200 FEET TO THE POINT AND PLACE OF BEGINNING CONTAINING 1.05 ACRES MORE OR LESS INCLUSIVE OF THE RIGHT OF WAY OF FAISON ROAD (STATE ROAD 2515).

TRACT 4
ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING IN SAINT MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, CONTAINING 1.079 ACRES MORE OR LESS, AND BEING MORE PARTICULARLY SHOWN AS LOT 4 ON THAT CERTAIN PLAT OF SURVEY BY GIL CLARK SURVEYING, WHICH PLAT IS RECORDED IN BOOK OF MAPS 2006, PAGE 2138, WAKE COUNTY REGISTRY, AND IS BY REFERENCE, INCORPORATED HEREIN AS A PART OF THIS DESCRIPTION.

COMMITMENT NO.: 167-223103038C

SCHEDULE B, PART II
EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

THE POLICY WILL NOT INSURE AGAINST LOSS OR DAMAGE RESULTING FROM THE TERMS AND PROVISIONS OF ANY LEASE OR EASEMENT IDENTIFIED IN SCHEDULE A, AND WILL INCLUDE THE FOLLOWING EXCEPTIONS UNLESS CLEARED TO THE SATISFACTION OF THE COMPANY:

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I - REQUIREMENTS ARE MET.
(NO MATTER OF SURVEY)

2. TAXES AND ASSESSMENTS FOR THE YEAR 2023, A LIEN NOW DUE AND PAYABLE AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE.
(NO MATTER OF SURVEY)

3. TITLE TO ANY AREAS WITHIN STREET, HIGHWAY OR RAILROAD RIGHTS OF WAY, IF ANY.
(NO MATTER OF SURVEY)

4. THE CREATION OR LOSS OF LAND BY NATURAL OR ARTIFICIAL CHANGES ALONG WATER FORMING PART OF THE BOUNDARY OF THE LAND; AND/OR TITLE TO LAND LYING BELOW THE HIGHER OF THE MEAN HIGH WATER MARK AND/OR THE NORMAL BOUNDS OF ANY BODY OF WATER; AND/OR RIPARIAN RIGHTS INCIDENT TO ANY BRANCHES, CREEKS, STREAMS, LAKES OR OTHER WATERS COURSING OR ABUTTING THE LAND.
(NO MATTER OF SURVEY)

5. ANY DISCREPANCY, CONFLICT, ACCESS, SHORTAGE IN AREA OR BOUNDARY LINES, ENCROACHMENT, ENCUMBRANCE, VIOLATION, OVERLAP, SETBACK, EASEMENT OR CLAIMS OF EASEMENT, RIPARIAN RIGHT, AND TITLE TO LAND WITHIN ROADS, WAYS, RAILROADS, WATERCOURSES, BURIAL GROUNDS, MARSHES, DREDGED OR FILLED AREAS OR LAND BELOW THE MEAN HIGHWATER MARK OR WITHIN THE BOUNDS OF ANY ADJOINING BODY OF WATER, OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY A CURRENT INSPECTION AND ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
(AS SHOWN HEREON)

6. ALL DEFERRED TAXES
(NO MATTER OF SURVEY)

7. TRACT 1:
A. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK MAP 2003, AT PAGE 1494 AND BOOK MAP 2005, PAGE 2138 AND MATTERS SHOWN THEREON.
(AS SHOWN HEREON)

8. TRACTS 1 AND 2:
A. EASEMENTS TO CAROLINA POWER & LIGHT COMPANY OF RECORD IN BOOK 1946, PAGE 168; BOOK 4327, PAGE 198; AND BOOK 9483, PAGE 792, WAKE COUNTY REGISTRY.
(LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENTS)

B. ORDER GRANTING A VARIANCE BY THE KNIGHTDALE BOARD OF ADJUSTMENT, DATED JULY 19, 2000, OF RECORD IN BOOK 8647, PAGE 1755, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

C. ROAD MAINTENANCE AGREEMENT FOR TART FARM ROAD BETWEEN GLADYS F. TART, MILTON EDWARD TART, JR., AND MILTON EDWARD TART, III, OF RECORD IN BOOK 8692, PAGE 161, AND RE-RECORDED IN BOOK 8710, PAGE 2779, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

D. MEMORANDUM OF CONTRACT WITH D.R. HORTON, INC. OF RECORD IN BOOK 19098, PAGE 791, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

9. TRACT 2:
A. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK MAP 2000, AT PAGE 1877 AND MATTERS SHOWN THEREON.
(AS SHOWN HEREON)

10. TRACTS 3 AND 4:
A. RIGHT OF WAY AGREEMENT BETWEEN MILTON E. TART, GLADYS F. TART, AND THE STATE HIGHWAY COMMISSION FOR SR# 2515, RECORDED IN BOOK 1445, PAGE 579, WAKE COUNTY REGISTRY.
(NO PLOTTABLE DESCRIPTION FOUND)

B. EASEMENTS TO CAROLINA POWER AND LIGHT RECORDED IN BOOK 1946, PAGE 168; BOOK 4327, PAGE 199; AND BOOK 9483, PAGE 790, WAKE COUNTY REGISTRY.
(LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENTS)

C. ROAD MAINTENANCE AGREEMENT FOR TART FARM ROAD BETWEEN GLADYS F. TART, MILTON EDWARD TART, JR., AND MILTON EDWARD TART, III, OF RECORD IN BOOK 8692, PAGE 161, AND RE-RECORDED IN BOOK 8710, PAGE 2779, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

D. MEMORANDUM OF CONTRACT WITH D.R. HORTON, INC., DATED JULY 13, 2022, OF RECORD IN BOOK 19098, PAGE 791, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

E. ORDER GRANTING A VARIANCE BY THE KNIGHTDALE BOARD OF ADJUSTMENT, DATED JULY 19, 2000, OF RECORD IN BOOK 8647, PAGE 1755, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

11. TRACT 4:
A. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK MAP 2005, AT PAGE 2138 AND MATTERS SHOWN THEREON.
(AS SHOWN HEREON)

12. THE CORRECTNESS OF THE SQUARE FOOTAGE/ACREAGE COMPUTATION CONTAINED IN THE DESCRIPTION OF THE LAND IS NOT INSURED.
(NO MATTER OF SURVEY)

13. NO CLOSING SERVICES INSURANCE: AS TO THE TRANSACTION FOR WHICH THIS COMMITMENT IS ISSUED, THE COMPANY DOES NOT AFFORD INSURED CLOSING PROTECTION/CLOSING SERVICES INSURANCE ABSENT REVISION OF THIS COMMITMENT TO INCLUDE A STATEMENT THAT COVERAGE IS AFFORDED TO THOSE PARTIES IDENTIFIED IN A SEPARATE CLOSING PROTECTION LETTER ISSUED SIMULTANEOUSLY WITH REVISION OF THE COMMITMENT. ANY CLOSING PROTECTION COVERAGE OR LETTER WHICH HERETOFORE MAY HAVE BEEN ISSUED IS HEREBY RESCINDED AND SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION. ANY CLOSING PROTECTION LETTER SUBSEQUENTLY ISSUED SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION ABSENT THE ACCOMPANYING REQUISITE REVISION OF THIS COMMITMENT.
(NO MATTER OF SURVEY)

SURVEY COMMENTS
SURVEY MADE BY BATEMAN CIVIL SURVEY COMPANY
DATED 12/12/2022, JOB NO. 220655

SCHEDULE A

ISSUING OFFICE: DHI TITLE OF NORTH CAROLINA, 12276 SAN JOSE BLVD, SUITE 739, JACKSONVILLE, FL 32223
COMMITMENT NO.: 169-223103164C
PROPERTY ADDRESS: ACQUISITION TRACT 4, ED PLUMMER ESTATE PROPERTY, N/A, NC 00000

1. COMMITMENT DATE: NOVEMBER 8, 2022 AT 12:00 AM

2. POLICY TO BE ISSUED:
(A) ALTA OWNER'S POLICY (06-16-07)
PROPOSED INSURED: D.R. HORTON, INC., A DELAWARE CORPORATION
PROPOSED POLICY AMOUNT: \$1,400,000.00

3. THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THIS COMMITMENT IS:
FEE SIMPLE

4. THE TITLE IS, AT THE COMMITMENT DATE, VESTED IN:
LANCE R. VANDYKE AND WIFE, JACQUELINE VANDYKE

5. THE LAND IS DESCRIBED AS FOLLOWS:

BEING ALL OF TRACT 4 OF THE ED PLUMMER ESTATE PROPERTY ON OLD FAISON RD. AS DEPICTED IN MAP BOOK 1996, PAGE 1615, WAKE COUNTY REGISTRY.

COMMITMENT NO.: 169-223103164C

SCHEDULE B, PART II
EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

THE POLICY WILL NOT INSURE AGAINST LOSS OR DAMAGE RESULTING FROM THE TERMS AND PROVISIONS OF ANY LEASE OR EASEMENT IDENTIFIED IN SCHEDULE A, AND WILL INCLUDE THE FOLLOWING EXCEPTIONS UNLESS CLEARED TO THE SATISFACTION OF THE COMPANY:

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I - REQUIREMENTS ARE MET.
(NO MATTER OF SURVEY)

2. TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS, NOT YET DUE AND PAYABLE.
(NO MATTER OF SURVEY)

3. TITLE TO ANY AREAS WITHIN STREET, HIGHWAY OR RAILROAD RIGHTS OF WAY, IF ANY.
(NO MATTER OF SURVEY)

4. THE CREATION OR LOSS OF LAND BY NATURAL OR ARTIFICIAL CHANGES ALONG WATER FORMING PART OF THE BOUNDARY OF THE LAND; AND/OR TITLE TO LAND LYING BELOW THE HIGHER OF THE MEAN HIGH WATER MARK AND/OR THE NORMAL BOUNDS OF ANY BODY OF WATER; AND/OR RIPARIAN RIGHTS INCIDENT TO ANY BRANCHES, CREEKS, STREAMS, LAKES OR OTHER WATERS COURSING OR ABUTTING THE LAND.
(NO MATTER OF SURVEY)

5. ANY DISCREPANCY, CONFLICT, ACCESS, SHORTAGE IN AREA OR BOUNDARY LINES, ENCROACHMENT, ENCUMBRANCE, VIOLATION, OVERLAP, SETBACK, EASEMENT OR CLAIMS OF EASEMENT, RIPARIAN RIGHT, AND TITLE TO LAND WITHIN ROADS, WAYS, RAILROADS, WATERCOURSES, BURIAL GROUNDS, MARSHES, DREDGED OR FILLED AREAS OR LAND BELOW THE MEAN HIGHWATER MARK OR WITHIN THE BOUNDS OF ANY ADJOINING BODY OF WATER, OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY A CURRENT INSPECTION AND ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
(AS SHOWN HEREON)

6. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN BOOK OF MAPS 1996, AT PAGE 1615, OF THE WAKE COUNTY REGISTRY.
(AS SHOWN HEREON)

7. EASEMENT FOR ROADWAY DATED 11/10/1945 IN BOOK 930, PAGE 590, WAKE COUNTY REGISTRY
(NO PLOTTABLE DESCRIPTION FOUND)

8. RIGHT OF WAY EASEMENT DATED 4/11/1949 IN BOOK 1018, PAGE 553, WAKE COUNTY REGISTRY.
(EASEMENT HAS TERMINATED PER TERMS)

9. EASEMENT TO CAROLINA POWER AND LIGHT DATED 9/13/1956 OF RECORD IN BOOK 1252, PAGE 485, WAKE COUNTY REGISTRY.
(EASEMENT IS BLANKET IN NATURE)

10. RIGHT OF WAY AGREEMENT DATED 12/7/1960 TO THE STATE HIGHWAY COMMISSION IN BOOK 1445, PAGE 575, WAKE COUNTY REGISTRY.
(NO PLOTTABLE DESCRIPTION FOUND)

11. EASEMENT TO CAROLINA POWER AND LIGHT DATED 7/14/1970 OF RECORD IN BOOK 1939, PAGE 230, WAKE COUNTY REGISTRY.
(AS SHOWN HEREON)

12. EASEMENT TO CAROLINA POWER AND LIGHT DATED 1/13/1972 OF RECORD IN BOOK 2052, PAGE 131, WAKE COUNTY REGISTRY.
(EASEMENT IS BLANKET IN NATURE)

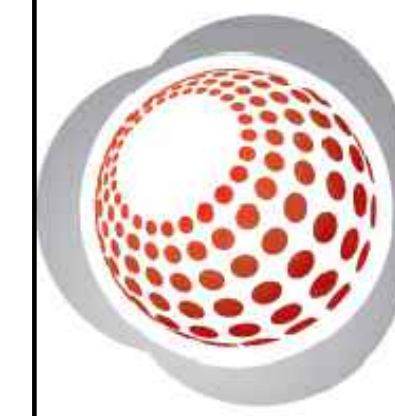
13. EQUITY LINE DEED OF TRUST TO COASTAL FEDERAL CREDIT UNION DATED 2/14/2022 OF RECORD IN BOOK 18924, PAGE 945, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

14. MEMORANDUM OF CONTRACT WITH DR HORTON, INC. OF RECORD IN BOOK 19098, PAGE 653, WAKE COUNTY REGISTRY.
(NO MATTER OF SURVEY)

15. SUBJECT TO THE CLAIMS OF PROPERTY OWNERS TO THE EAST BASED UPON THE MAP IN BM 1996, PAGE 1615, WHICH CREATES AN OVERLAP AND SHOWS THE ADJACENT TRACT WITH NO ACCESS AND NOT ADJACENT TO THE PUBLIC ROAD
(AS SHOWN HEREON)

16. NO CLOSING SERVICES INSURANCE: AS TO THE TRANSACTION FOR WHICH THIS COMMITMENT IS ISSUED, THE COMPANY DOES NOT AFFORD INSURED CLOSING PROTECTION/CLOSING SERVICES INSURANCE ABSENT REVISION OF THIS COMMITMENT TO INCLUDE A STATEMENT THAT COVERAGE IS AFFORDED TO THOSE PARTIES IDENTIFIED IN A SEPARATE CLOSING PROTECTION LETTER ISSUED SIMULTANEOUSLY WITH REVISION OF THE COMMITMENT. ANY CLOSING PROTECTION COVERAGE OR LETTER WHICH HERETOFORE MAY HAVE BEEN ISSUED IS HEREBY RESCINDED AND SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION. ANY CLOSING PROTECTION LETTER SUBSEQUENTLY ISSUED SHALL NOT BE EFFECTIVE AS TO THIS TRANSACTION ABSENT THE ACCOMPANYING REQUISITE REVISION OF THIS COMMITMENT.
(NO MATTER OF SURVEY)

BATEMAN CIVIL SURVEY COMPANY
ENGINEERS • SURVEYORS • PLANNERS
2524 RELIANCE AVENUE - APEX, NC 27539
PHONE: (919) 577-1080 FAX: (919) 577-1081
INFO@BATEMANCIVILSURVEY.COM
NCBELS FIRM# C-2378



**ALTANSPS/LAND TITLE SURVEY
EXCLUSIVELY FOR: DR HORTON**

PROPERTY PINS: 1753162116, 1743953663, 1743971085, 1743966556, 1743969364,
1753071983, 1743978575 & 1743779851
AS RECORDED IN: DB 15657 PG 540, DB 2253 PG 265, DB 15474 PG 755, BM 2000,
PG 1887, DB 9018 PG 621, DB 6075 PG 904 & DB 7755 PG 552
ST MATTHEWS TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

REVISIONS	
1.	
2.	
3.	
4.	
5.	
DESIGNED BY:	N/A
DRAWN BY:	ELS
CHECKED BY:	SPC
SCALE:	VARIES
DATE:	1/27/2023
JOB NUMBER:	220655
SHEET 4 OF 4	



NOTES:
TOPOGRAPHY PER WAKE COUNTY GIS



150 Fayetteville st ste 1310
Raleigh, NC 27601
+ 919.275.5022
urbandesignpartners.com
nc firm no: P-2671 sc coo no: C-03044

FOR
REFERENCE
ONLY

03/28/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

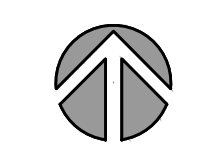
LYNDON OAKS
Master Plan
Existing Conditions TOPO
Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:

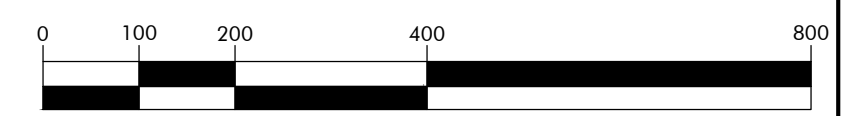
Project No: 22-RDU-083

Date: 03/28/2024

Sheet No:



GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

NOTE: Location, shape and size of depicted features on the evaluated site are approximate and should be surveyed by a licensed NC surveyor for final site planning.

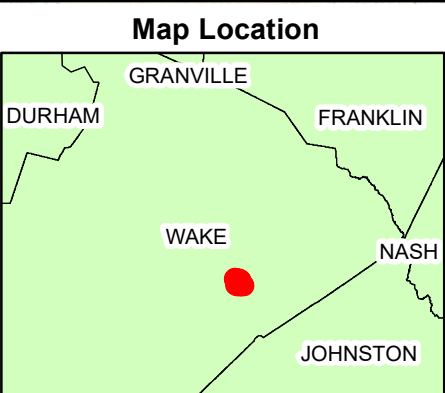
NOTE: This map is a revision of the previously submitted map based on the ite meeting with Matt Martin of the U.S. Army Corp of Engineers Raleigh Regulatory Field Office on January 25, 2024.



Legend

- Project Study Area
- 2' Contour
- A/D Boundary
- Stream Form
- Data Point
- Potential Non-Wetland - Non-Buffered Intermittent Stream - Jurisdictional Waters of the US
- Potential Non-Wetland - Perennial Stream - Jurisdictional Waters of the US; Subject to 50-Foot Neuse River Riparian Buffers
- Potential Wetlands - Jurisdictional Waters of the US
- Non-Jurisdictional Pond - Pond Built In High Ground
- Potential Non-Wetland - Pond - Jurisdictional Waters of the US; Subject to 50-Foot Neuse River Riparian Buffer

NCDOT GIS Unit, NC OneMap, NC Center for Geographic Information and Analysis, NC 911 Board



AJD/ PJD Revised Wetland Sketch Map

**Bethlehem Rd. Project
Sage Project # 2022.105**

February 6, 2024

1" = 400'

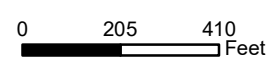


Figure 3

**Drawn By:
David Gainey**

Sage Ecological Services, Inc.
Office: 919-335-6757
Cell: 919-559-1537



150 Fayetteville st ste 1310
raleigh, nc 27601
+ 919.275.5022
urbandesignpartners.com

nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY
03/28/2024

D.R. Horton
7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

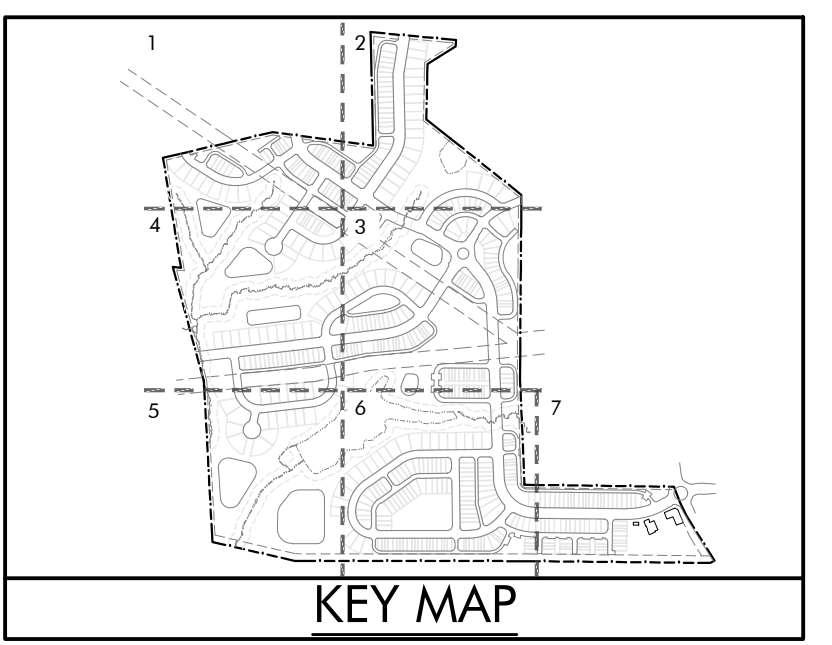
LYNDON OAKS Master Plan Overall Site Plan

Knightsdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	03/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024
Sheet No:

C-3.0



PARKING CALCS

COMMERCIAL*
VEHICULAR PARKING
• REQUIRED: 27-53 SPACES
15,000 SF x 3.5 SP/1000 SF = 52.5 MAX
52.5/2 = 26.2 MIN
• PROPOSED: 27 SPACES

BICYCLE PARKING
• REQUIRED: 3 SPACES
• PROPOSED: 3 SPACES

RESIDENTIAL*
TOWNHOMES/DUPLEX
• REQUIRED: 792 SP (1.0 SP/BED)
244 DU x 3 BED** = 792 SP
• PROPOSED: 792 SPACES TOTAL

SINGLE FAMILY REAR-LOADED
• REQUIRED: 393 SP (1.0 SP/BED)
131 DU x 3 BED** = 393 SP
• PROPOSED: 393 SPACES TOTAL

SINGLE FAMILY FRONT-LOADED
• REQUIRED: 315 SP (1.0 SP/BED)
105 DU x 3 BED** = 315 SP
• PROPOSED: 315 SPACES TOTAL

ON STREET PARKING: 233 SPACES PROP.

*NOTE: VEHICULAR, BICYCLE, AND ELECTRIC VEHICLE CHARGING STATION TOTALS SUBJECT TO CHANGE AS MASTER PLAN SET PROGRESSES AND AS USES/TENANTS ARE ESTABLISHED.
**NOTE: ALL RESIDENTIAL UNITS ASSUMED TO BE 3 BEDROOMS.

BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):
- FRONT: 0' MIN TO 25' MAX
- SIDE: 10' MIN

SINGLE FAMILY DETACHED (REAR-LOADED):
- FRONT: 10' MIN
- REAR: 10' MIN
- SIDE: 3' MIN
- CORNER: 10' MIN

SINGLE FAMILY DETACHED (FRONT-LOADED):
- FRONT: 10' MIN
- REAR: 20' MIN
- SIDE: 5' MIN
- CORNER: 10' MIN

COMMERCIAL:
- FRONT: 10' MIN
- REAR: 0' MIN
- SIDE: 6' MIN

CLUBHOUSE:
- FRONT: 10' MIN
- REAR: 0' MIN
- SIDE: 6' MIN

SITE DATA:

PIN(S): 1743953683; 1743971085; 1753071583;
1743976575; 1743989384; 1743986356;
1753152116

TOTAL ACRES: ± 171.88 ACRES

EXISTING ZONING: RT (RURAL TRANSITIONAL)
PROPOSED ZONING: RMX-PUD

EXISTING USE: RESIDENTIAL & AGRICULTURAL
PROPOSED USE: RESIDENTIAL & COMMERCIAL OUTPARCEL

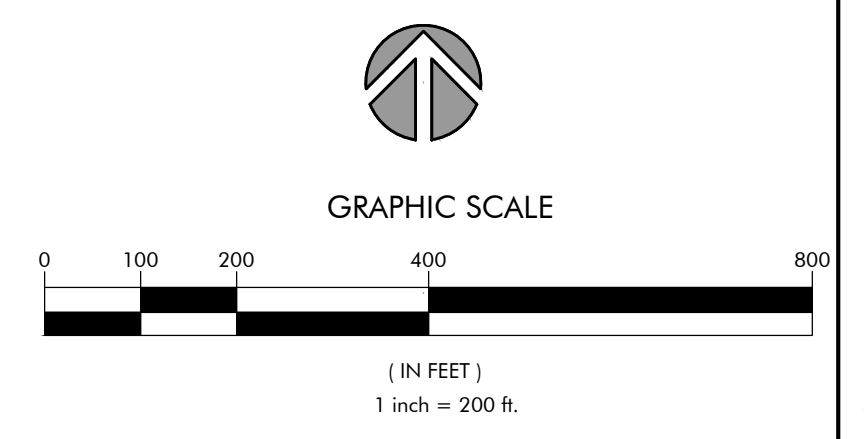
DEVELOPMENT SUMMARY:

COMMERCIAL
• TOTAL LAND AREA: ± 0.6 AC
• BUILDINGS: 1 BLDG
• BUILDING HEIGHT: MAX. 2 STORES
• POTENTIAL USES: USES SET FORTH IN PLANNED UNIT DEVELOPMENT (SEE ZMA-2-23)

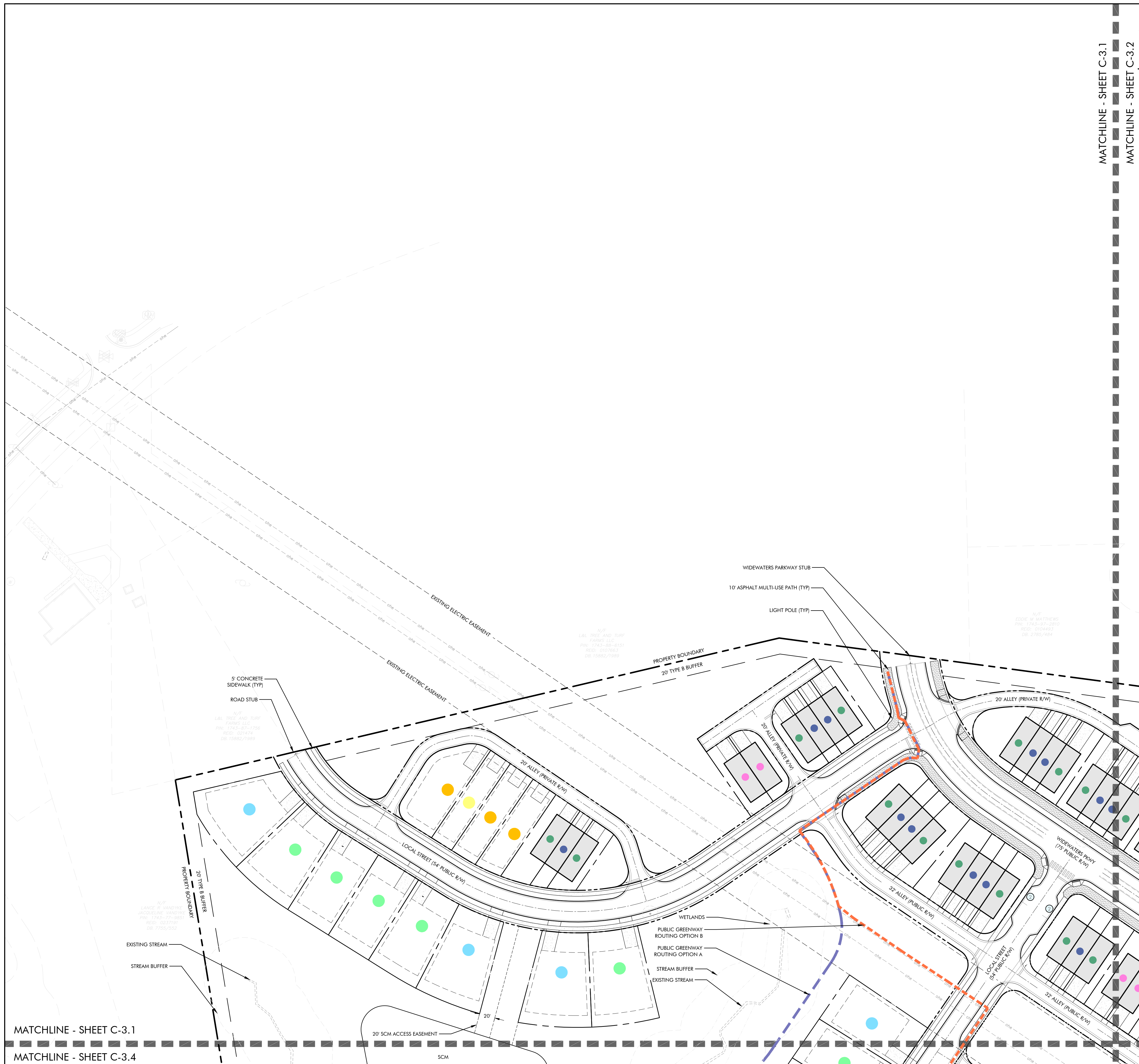
RESIDENTIAL
• TOTAL LAND AREA: ± 133.55 AC
• PROPOSED UNITS: 500 DU TOTAL
-- TOWNHOMES: 242 TOWNHOMES
• 20' (MIN.) UNIT: 116 UNITS
TYP LOT SIZE: 20' X 90' (1,800 SF)
• 22' (MIN.) UNIT: 126 UNITS
TYP LOT SIZE: 22' X 90' (1,980 SF)
-- DUPLEX: 22 DUPLEX UNITS
• 22' (MIN.) UNIT: 22 UNITS
TYP LOT SIZE: 32' X 90' (2,880 SF)
-- SINGLE FAMILY (REAR-LOAD): 131 REAR LOAD SINGLES
• 30' (MIN.) LOT: 51 LOTS
TYP LOT SIZE: 30' X 120' (3,600 SF)
• 35' (MIN.) LOT: 53 LOTS
TYP LOT SIZE: 35' X 120' (4,200 SF)
• 40' (MIN.) LOT: 27 LOTS
TYP LOT SIZE: 40' X 120' (4,800 SF)
-- SINGLE FAMILY (FRONT-LOAD): 105 FRONT LOAD SINGLES
• 60' (MIN.) LOT: 68 LOTS
TYP LOT SIZE: 60' X 120' (7,200 SF)
• 70' (MIN.) LOT: 25 LOTS
TYP LOT SIZE: 70' X 120' (8,400 SF)
• 80' (MIN.) LOT: 12 LOTS
TYP LOT SIZE: 80' X 120' (9,600 SF)



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.2
MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.4
MATCHLINE - SHEET C-3.4
MATCHLINE - SHEET C-3.4
MATCHLINE - SHEET C-3.5
MATCHLINE - SHEET C-3.5
MATCHLINE - SHEET C-3.5
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MATCHLINE - SHEET C-3.6
MATCHLINE - SHEET C-3.7
MATCHLINE - SHEET C-3.7
MATCHLINE - SHEET C-3.7
MATCHLINE - SHEET C-3.7



MATCHLINE - SHEET C-3.1

MATCHLINE - SHEET C-3.2

BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):

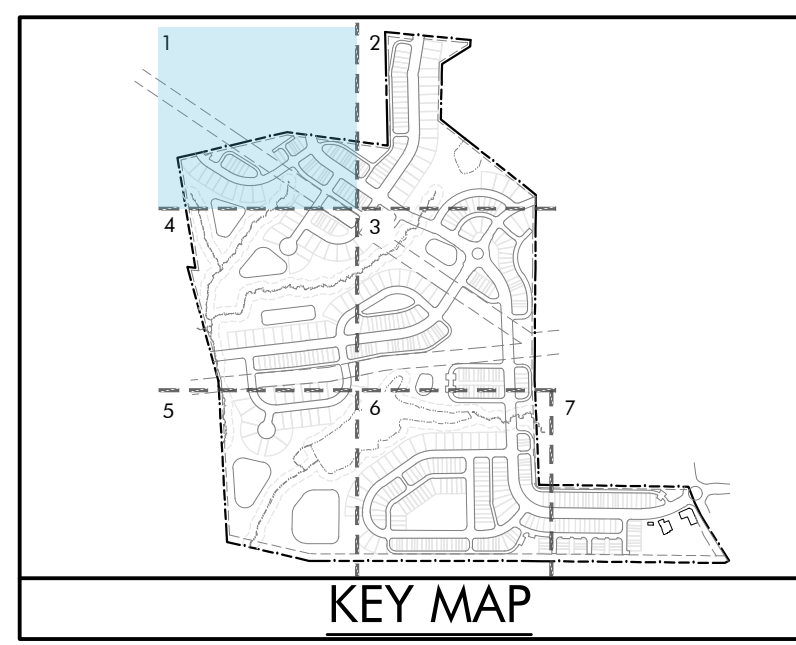
- FRONT: 0' MIN TO 25' MAX
- SIDE: 10' MIN

SINGLE FAMILY DETACHED (REAR-LOADED):

- FRONT: 10' MIN
- REAR: 10' MIN
- SIDE: 3' MIN
- CORNER: 10' MIN

SINGLE FAMILY DETACHED (FRONT-LOADED):

- FRONT: 10' MIN
- REAR: 20' MIN
- SIDE: 5' MIN
- CORNER: 10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES	25 DU
● 20' UNIT	12 DU
● 22' UNIT	13 DU
DUPLEXES	2 DU
● 22' UNIT	2 DU
SINGLE FAM. (REAR-LOAD)	4 DU
● 30' LOT	1 DU
● 35' LOT	3 DU
● 40' LOT	0 DU
SINGLE FAM. (FRONT-LOAD)	9 DU
● 60' LOT	5 DU
● 70' LOT	4 DU
● 80' LOT	0 DU

*NOTE: UNIT COUNTS REFLECT NUMBER OF UNITS THAT FIT WITHIN MATCHLINES OF EACH SHEET. ANY UNITS SHOWN OUTSIDE OF MATCHLINES WILL BE COUNTED ON THEIR RESPECTIVE SHEETS.
TOTAL UNIT COUNT FOUND ON OVERALL SITE PLAN SHEET & COVER SHEET.

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY: BATEMAN CIVIL SURVEY COMPANY, 2524 RELIANCE AVENUE, APEX, NC 27539, 919-577-1080
 - SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS. PREPARED BY: D.R. HORTON, 7208 FALLS OF NEUSE RD, SUITE 201, RALEIGH, NC 27615, 919-604-7929
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - LOCATIONS OF SITE LIGHTING ARE APPROXIMATE. THE FINAL NUMBER AND LOCATIONS OF LIGHTS SHALL BE DETERMINED BY THE OWNER AND DUKE ENERGY.
 - ALL UTILITIES WILL BE UNDERGROUND.
 - UNIT MIX SUBJECT TO CHANGE AS MASTER PLAN SET PROGRESSES.



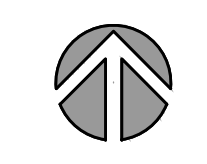
nc firm no: P-2671 sc coo no: C-03044
PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

03/28/2024
D.R. Horton
7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

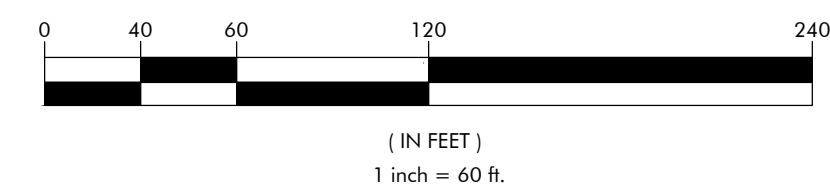
LYNDON OAKS
Master Plan
Site Plan Enlargement 1
Knightdale, North Carolina



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N.C. ONE-CALL CENTER
IT'S THE LAW!



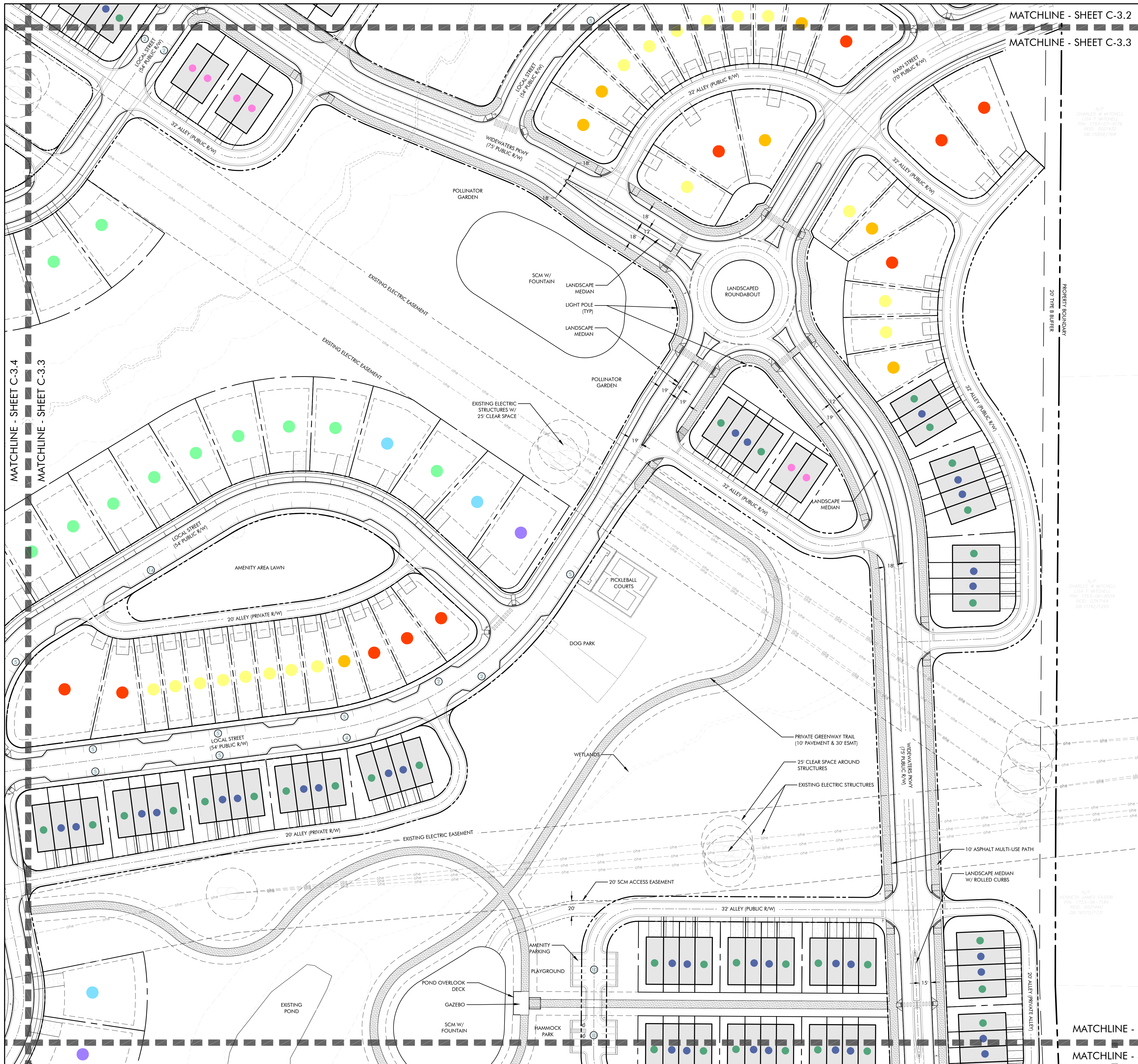
GRAPHIC SCALE



NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	09/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024
Sheet No:

C-3.1



MATCHLINE - SHEET C-3.2
 MATCHLINE - SHEET C-3.3

MATCHLINE - SHEET C-3.4
 MATCHLINE - SHEET C-3.3

PROPERTY BOUNDARY
 20' TYPE B BUFFER

PROPERTY BOUNDARY
 20' TYPE B BUFFER

PROPERTY BOUNDARY
 20' TYPE B BUFFER

MATCHLINE - SHEET C-3.3
 MATCHLINE - SHEET C-3.6

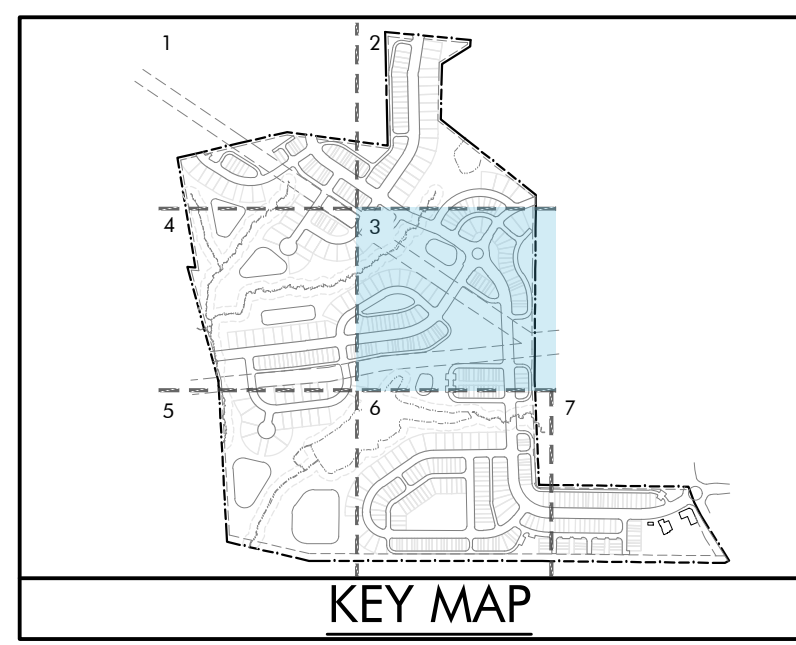
BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN

LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES	53 DU
20' UNIT	26 DU
22' UNIT	27 DU
DUPLEXES	6 DU
22' UNIT	6 DU
SINGLE FAM. (REAR-LOAD)	31 DU
30' LOT	15 DU
35' LOT	6 DU
40' LOT	10 DU
SINGLE FAM. (FRONT-LOAD)	15 DU
60' LOT	11 DU
70' LOT	3 DU
80' LOT	1 DU

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nc firm no: P-2671 sc coo no: C-03044
 PRELIMINARY DRAWING
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 Raleigh, NC 27615

LYNDON OAKS

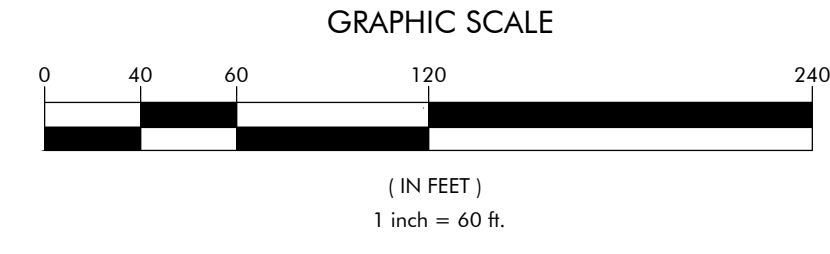
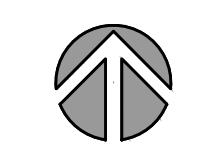
Master Plan

Site Plan Enlargement 3

Knightsdale, North Carolina



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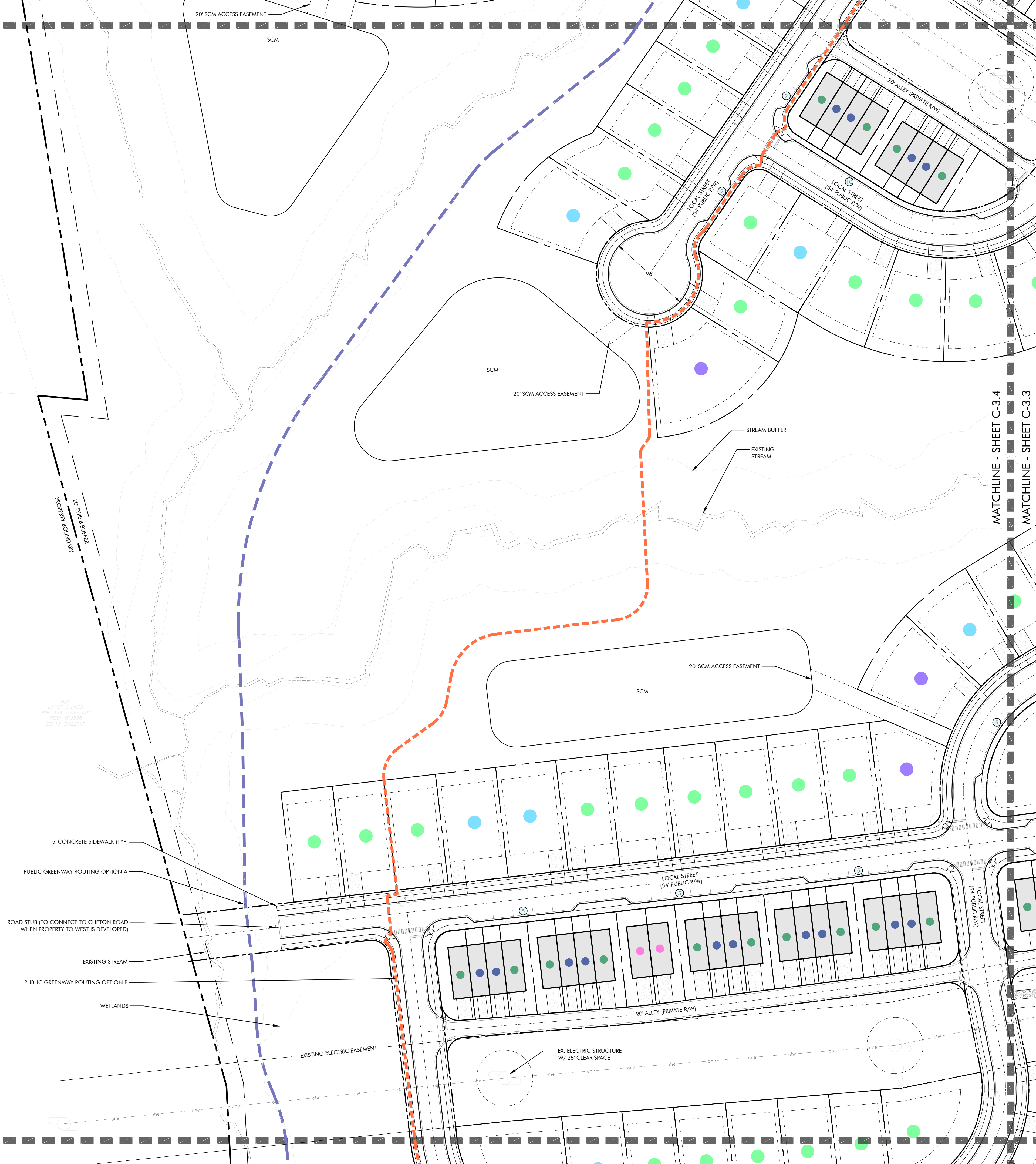


NO. DATE: BY: REVISIONS:
 #1 11/27/2023
 #2 02/05/2024

Project No: 22-RDU-083
 Date: 03/28/2024
 Sheet No:
C-3.3

MATCHLINE - SHEET C-3.1
 MATCHLINE - SHEET C-3.4

MATCHLINE - SHEET C-3.4
 MATCHLINE - SHEET C-3.5



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):

- FRONT: 0' MIN TO 25' MAX
- SIDE: 10' MIN

SINGLE FAMILY DETACHED (REAR-LOADED):

- FRONT: 10' MIN
- REAR: 10' MIN
- SIDE: 3' MIN
- CORNER: 10' MIN

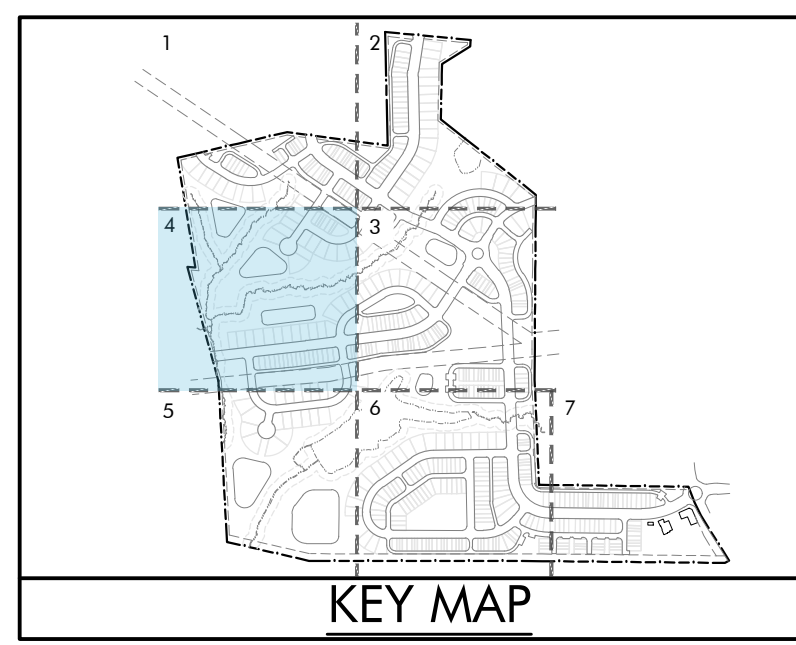
SINGLE FAMILY DETACHED (FRONT-LOADED):

- FRONT: 10' MIN
- REAR: 20' MIN
- SIDE: 5' MIN
- CORNER: 10' MIN

LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES	28 DU
● 20' UNIT	14 DU
● 22' UNIT	14 DU
DUPLEXES	2 DU
● 22' UNIT	2 DU
SINGLE FAM. (REAR-LOAD)	0 DU
● 30' LOT	0 DU
● 35' LOT	0 DU
● 40' LOT	0 DU
SINGLE FAM. (FRONT-LOAD)	27 DU
● 60' LOT	19 DU
● 70' LOT	5 DU
● 80' LOT	3 DU

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PRELIMINARY DRAWING
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LYNDON OAKS
Master Plan
Site Plan Enlargement 4
 Knightdale, North Carolina

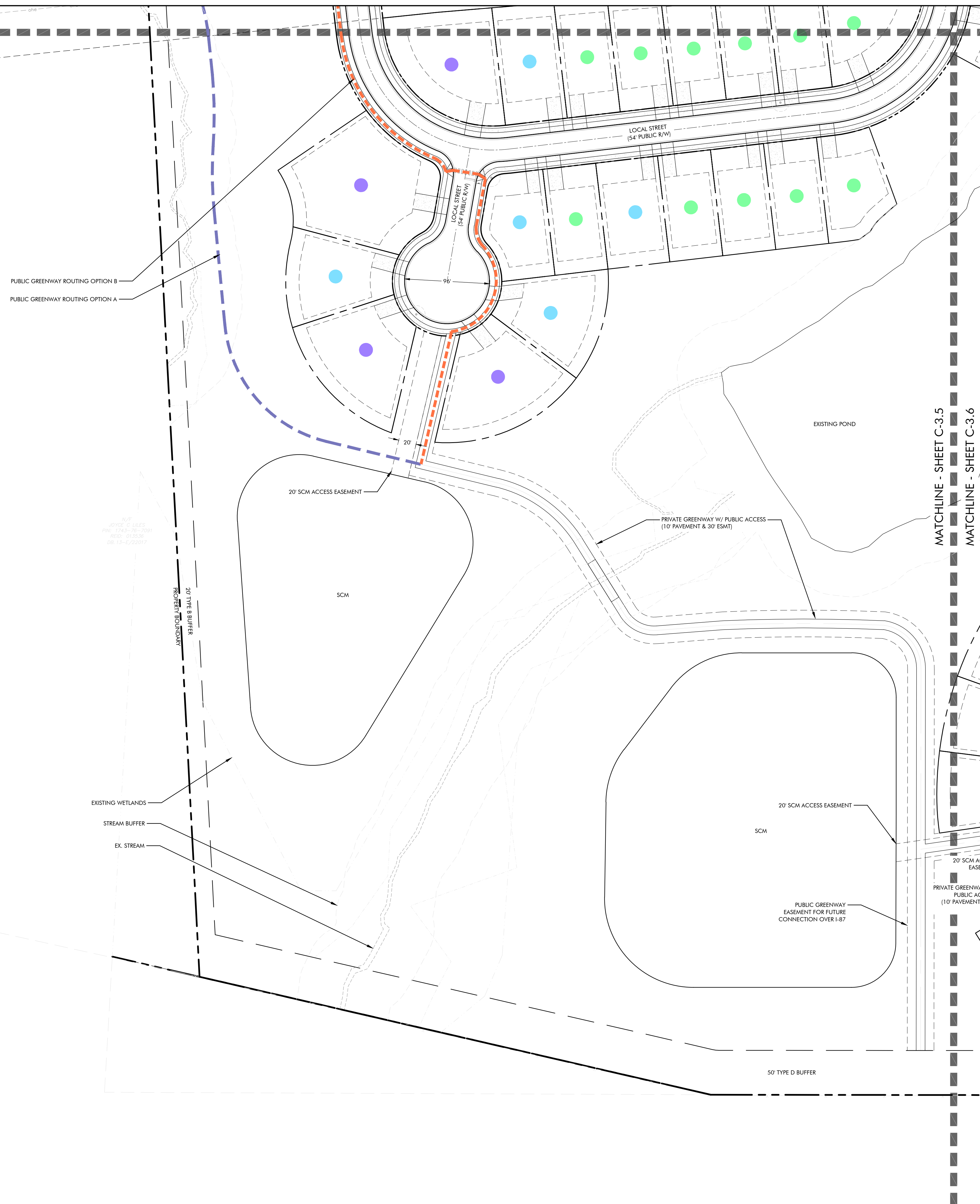
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GRAPHIC SCALE
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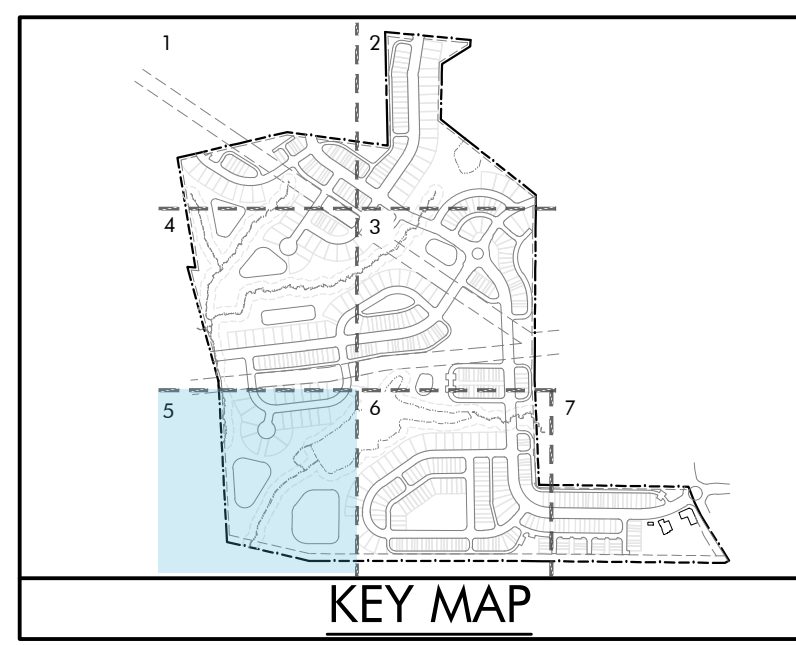
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 Date: 03/28/2024
 Sheet No:
C-3.4

MATCHLINE - SHEET C-3.4
 MATCHLINE - SHEET C-3.5



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES	0 DU
● 20' UNIT	0 DU
● 22' UNIT	0 DU
DUPLEXES	0 DU
● 22' UNIT	0 DU
SINGLE FAM. (REAR-LOAD)	0 DU
● 30' LOT	0 DU
● 35' LOT	0 DU
● 40' LOT	0 DU
SINGLE FAM. (FRONT-LOAD)	19 DU
● 60' LOT	10 DU
● 70' LOT	5 DU
● 80' LOT	4 DU

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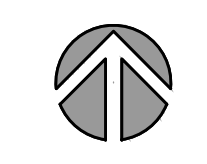
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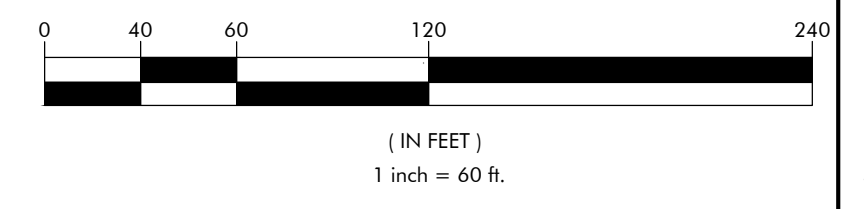
LYNDON OAKS
Master Plan
Site Plan Enlargement 5
 Knightdale, North Carolina



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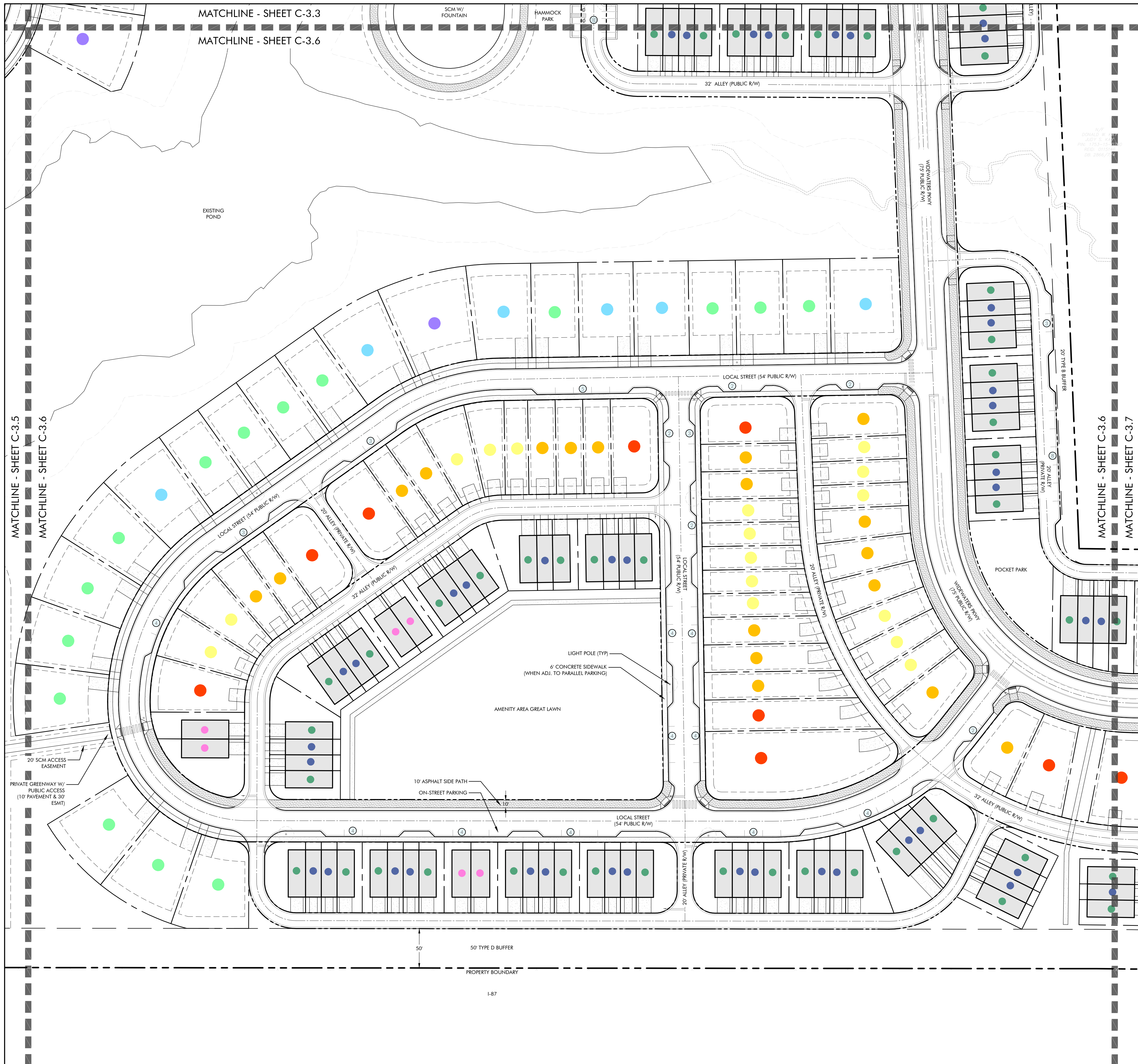
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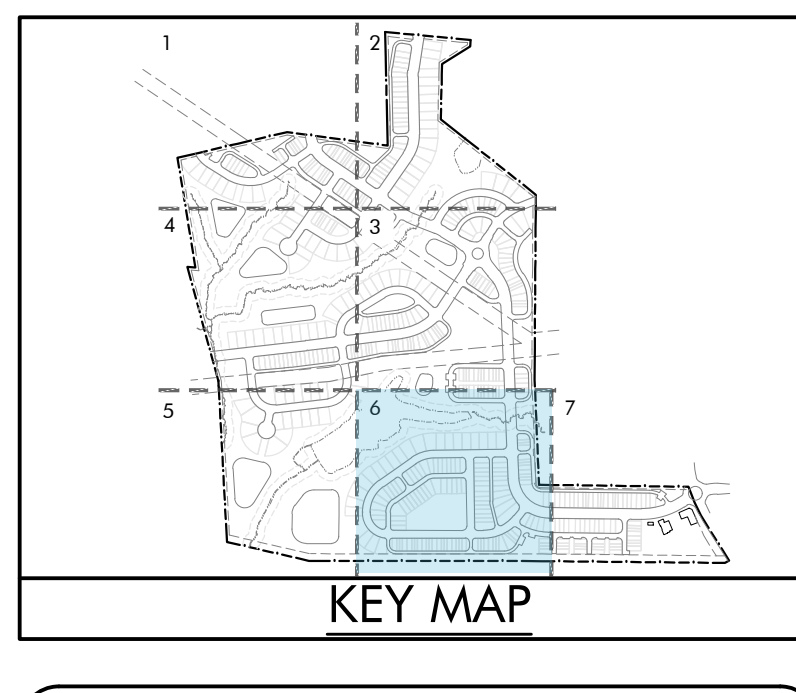
Project No: 22-RDU-083
 Date: 03/28/2024
 Sheet No:

C-3.5



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED)	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED)	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED)	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES	83 DU
20' UNIT	41 DU
22' UNIT	42 DU
DUPLEXES	6 DU
22' UNIT	6 DU
SINGLE FAM. (REAR-LOAD)	42 DU
30' LOT	16 DU
35' LOT	18 DU
40' LOT	8 DU
SINGLE FAM. (FRONT-LOAD)	23 DU
60' LOT	15 DU
70' LOT	6 DU
80' LOT	2 DU

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PRELIMINARY DRAWING
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03/28/2024

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Raleigh, NC 27615

LYNDON OAKS

Master Plan

Site Plan Enlargement 6

Knightsdale, North Carolina

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(IN FEET)
1 inch = 60 ft.

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Date: 03/28/2024
Sheet No:

C-3.6



MATCHLINE - SHEET C-3.6
 MATCHLINE - SHEET C-3.7

N/P
 DONALD B. HAY
 407 S. WAT
 P.O. 1753-15-2308
 REXD. 0173349
 DB. 4405/2028

N/P
 DONALD B. HAY
 407 S. WAT
 P.O. 1753-15-2308
 REXD. 0173349
 DB. 3985/2024

BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):

- FRONT: 0' MIN TO 25' MAX
- SIDE: 10' MIN

SINGLE FAMILY DETACHED (REAR-LOADED):

- FRONT: 10' MIN
- REAR: 10' MIN
- SIDE: 3' MIN
- CORNER: 10' MIN

SINGLE FAMILY DETACHED (FRONT-LOADED):

- FRONT: 10' MIN
- REAR: 20' MIN
- SIDE: 5' MIN
- CORNER: 10' MIN

COMMERCIAL:

- FRONT: 10' MIN
- REAR: 0' MIN
- SIDE: 6' MIN

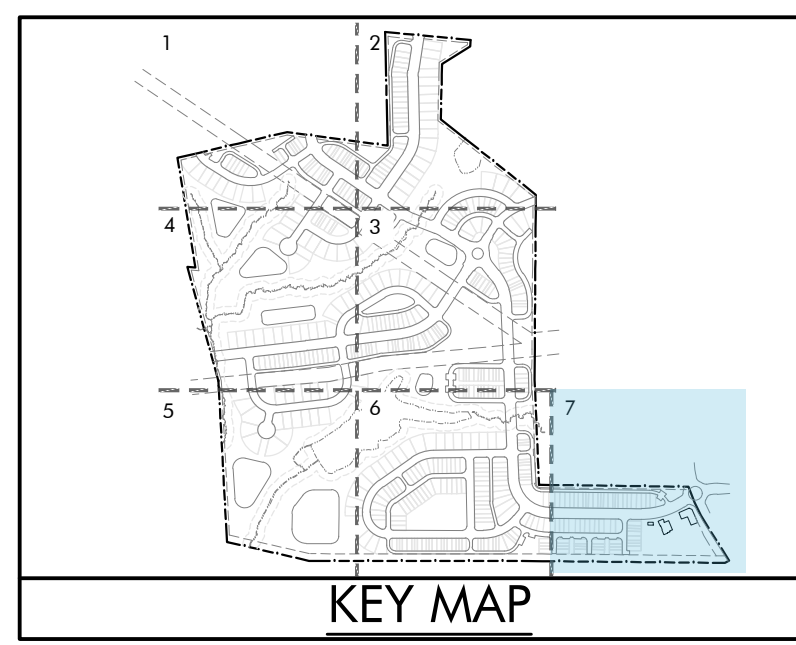
CLUBHOUSE:

- FRONT: 10' MIN
- REAR: 0' MIN
- SIDE: 6' MIN

LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES	36 DU
● 20' UNIT	15 DU
● 22' UNIT	21 DU
DUPLEXES	0 DU
● 22' UNIT	0 DU
SINGLE FAM. (REAR-LOAD)	24 DU
● 30' LOT	8 DU
● 35' LOT	11 DU
● 40' LOT	5 DU
SINGLE FAM. (FRONT-LOAD)	0 DU
● 60' LOT	0 DU
● 70' LOT	0 DU
● 80' LOT	0 DU

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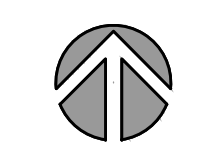
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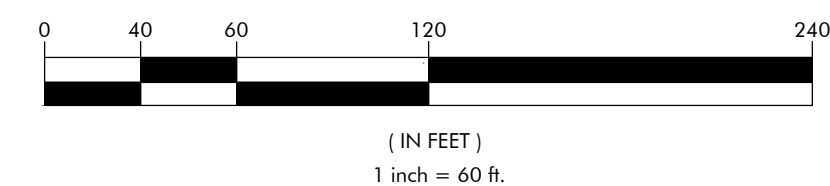
LYNDON OAKS
Master Plan
Site Plan Enlargement 7
 Knightdale, North Carolina



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 Sheet No:

C-3.7



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LYNDON OAKS Master Plan Open Space Plan

Knightsdale, North Carolina

NO.	DATE	BY	REVISIONS:
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#2	03/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024
Sheet No:

C-3.8

OPEN SPACE CALCULATIONS

TOTAL SITE AREA:	± 171.88 ACRES
DWELLING UNITS:	500 DU PROP. TOTAL
• SINGLE FAM. DETACHED:	236 DU
• TOWNHOMES/DUPLEXES:	264 DU
DENSITY:	2.91 DU/AC

RECREATIONAL OPEN SPACE DEDICATION:

• PROXIMITY ZONE: OUTSIDE ½ MILE

• BEDROOM ESTIMATE:

- SINGLE FAMILY DETACHED: 236 DU x 3 BEDS = 708 BEDS
- TOWNHOMES/DUPLEXES: 264 DU x 3 BEDS = 792 BEDS

• DEDICATION RATE: 520

- SINGLE FAMILY DETACHED: 708 BEDS x 520 SF = 368,160 SF
- TOWNHOMES/DUPLEXES: 792 BEDS x 520 SF = 411,840 SF

• CALCS: 368,160 SF + 411,840 SF = 780,000 SF
± 780,000 SF (17.9 AC) TOTAL OPEN SPACE REQUIRED

• REQUIRED OPEN SPACE: 17.90 AC TOTAL REQUIRED

- REQ. ACTIVE: 8.95 AC (50% OF REQ. OPEN SPACE)
- REQ. PASSIVE: 8.95 AC (50% OF REQ. OPEN SPACE)

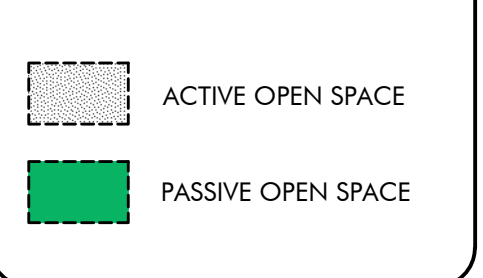
• PROPOSED OPEN SPACE: 20.55 AC TOTAL PROPOSED (2.65 AC EXTRA PROV.)

- PROP. ACTIVE: 9.28 AC ACTIVE OPEN SPACE PROPOSED
- REQUIRED: 8.95 AC (TO MEET 50% OF TOTAL REQ. OPEN SPACE)
- PROPOSED: 7.05 AC ACTIVE OPEN SPACE PROP.
- CREDIT: 2.23 AC CREDIT DUE TO PROP. NEIGHBORHOOD AMENITIES**
- NET: 0.33 AC EXTRA PROVIDED

- PROP. PASSIVE: 11.27 AC PASSIVE OPEN SPACE PROPOSED
- REQUIRED: 8.95 AC (TO MEET 50% OF TOTAL REQ. OPEN SPACE)
- PROPOSED: 9.04 AC PASSIVE OPEN SPACE PROP.
- CREDIT: 2.23 AC CREDIT DUE TO PROP. NEIGHBORHOOD AMENITIES**
- NET: 2.32 AC EXTRA PROVIDED

* PER DEDICATION MATRIX LOCATED IN TOWN OF KNIGHTSDALE UDO SEC. 11.2.C.4
** PER TOWN OF KNIGHTSDALE UDO SECTION 11.2.D.3, "DEVELOPMENTS THAT PROVIDE NEIGHBORHOOD AMENITY FACILITIES WILL RECEIVE A CREDIT OF TWENTY-FIVE (25) PERCENT OF THE REQUIRED PASSIVE OPEN SPACE, AND TWENTY-FIVE (25) PERCENT OF THE REQUIRED ACTIVE OPEN SPACE TO BE EQUALLY DIVIDED."

OPEN SPACE LEGEND



WATER ALLOCATION

MAJOR SUBDIVISION	
MAJOR SUBDIVISION BASE POINTS	15 pts.
① CONSERVATION OF NATURAL HABITAT	7 pts.
② CONSTRUCT A FOUNTAIN WITHIN THE BMP	4 pts.
③ ON-STREET PARKING	4 pts.
RESIDENTIAL ARCHITECTURAL STANDARDS	
④ 3,000' OR MORE OF A 6-FOOT WIDE PATH	3 pts.
⑤ RESORT STYLE POOL	2 pts.
⑥ DECK/PATIO (2,000 SF MIN.)	2 pts.
⑦ CLUBHOUSE (NO MEETING SPACE, BATHROOMS & CHANGING ROOMS ONLY)	3 pts.
⑧ IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4 pts.
⑨ OUTDOOR DISPLAY OF PUBLIC ART	4 pts.
TOTAL	63 pts.
SINGLE-USE RETAIL	
SINGLE USE RETAIL BASE POINTS	41 pts.
① CONSTRUCTION OF GATEWAY LANDSCAPING	5 pts.
② DECK/PATIO (2,000 SF MIN.)	2 pts.
③ CONSTRUCT LESS THAN 1000 LF OF 10' WIDE PATH	2 pts.
TOTAL	50 pts.

NOTE: SINGLE-USE RETAIL WATER ALLOCATION POLICY POINTS ARE PRELIMINARY AND SUBJECT TO CHANGE WHEN THE DEVELOPER OF THE OUTPARCEL SUBMITS A SITE PLAN.

OPEN SPACE TOTALS

NAME	AREA	
	SF	AC
PUBLIC PLAZA	2,000.0	0.05
CLUBHOUSE, POOL & PLAYGROUND*	49,711.8	1.14
POCKET PARK 1	4,721.3	0.11
POCKET PARK 2	3,170.4	0.07
POCKET PARK 3	21,100.4	0.48
BENCH SWING PARK	37,100.6	0.85
PICKLEBALL COURTS & DOG PARK	60,865.9	1.40
PLAYGROUND	4,826.7	0.11
HAMMOCK PARK	12,684.4	0.29
PRIVATE GREENWAY W/ PUBLIC ACCESS	39,620.6	0.91
PUBLIC GREENWAY TRAIL**	71,377.1	1.64
TOTAL	307,179.4	7.052

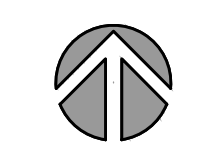
PASSIVE OPEN SPACE TABLE

NAME	AREA	
	SF	AC
VILLAGE GREEN***	92,463.9	2.12
OPEN LAWN	27,718.0	0.64
SCM W/ FOUNTAIN & POLLINATOR GARDENS	75,712.7	1.74
PRIVATE GREENWAY, SCM W/ FOUNTAIN, OVERLOOK & GAZEBO	102,715.5	2.36
BENCHES & LANDSCAPE AREA 1	1,930.5	0.04
BENCHES & LANDSCAPE AREA 2	3,367.3	0.08
BENCHES & LANDSCAPE AREA 3	11,527.4	0.26
BENCHES & LANDSCAPE AREA 4	4,031.6	0.09
BENCHES & LANDSCAPE AREA 5	4,080.0	0.09
BENCHES & LANDSCAPE AREA 6	4,080.0	0.09
BENCHES & LANDSCAPE AREA 7	6,634.4	0.15
BENCHES & LANDSCAPE AREA 8	3,329.9	0.08
BENCHES & LANDSCAPE AREA 9	3,305.7	0.08
PUBLIC DISPLAY OF ART	5,240.2	0.12
ENTRY MONUMENT & LANDSCAPING	47,714.00	1.10
TOTAL	393,851.2	9.042

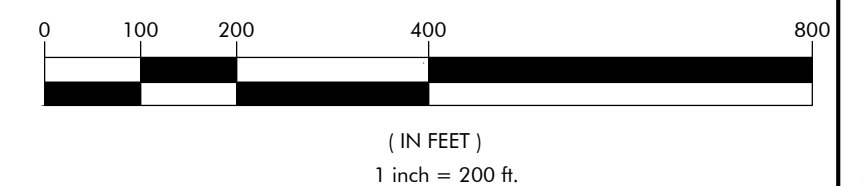
* PER TOWN OF KNIGHTSDALE UDO SECTION 11.2.D.3, "DEVELOPMENTS THAT PROVIDE NEIGHBORHOOD AMENITY FACILITIES WILL RECEIVE A CREDIT OF TWENTY-FIVE (25) PERCENT OF THE REQUIRED PASSIVE OPEN SPACE, AND TWENTY-FIVE (25) PERCENT OF THE REQUIRED ACTIVE OPEN SPACE TO BE EQUALLY DIVIDED."
** LOCATION OF PUBLIC GREENWAY TRAIL SUBJECT TO CHANGE AS DESIGN PROGRESSES. WILL COORDINATE WITH TOWN OF KNIGHTSDALE STAFF.
*** PER TOWN OF KNIGHTSDALE UDO SECTION 11.2.D.1 FOR EACH STREET SEGMENT WITHIN A DEVELOPMENT THAT IS SINGLE-LOADED, THE AREA CONSISTING OF THE LENGTH TIMES HALF OF THE WIDTH OF SAID STREET SEGMENT RIGHT-OF-WAY SHALL BE CREDITED AT A RATE OF ONE HUNDRED (100) PERCENT AGAINST THE PASSIVE RECREATIONAL OPEN SPACE SQUARE FOOT REQUIREMENT.



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NOTES:
 COMMERCIAL PARCEL WILL BE PLATTED WITH FIRST PHASE OF DEVELOPMENT.



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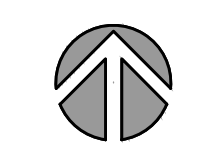
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LYNDON OAKS Master Plan Phasing Plan

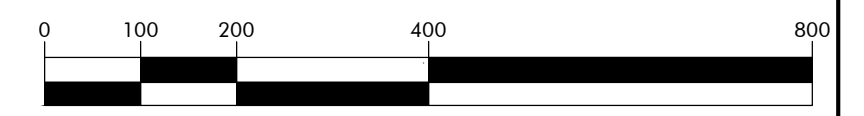
Knightsdale, North Carolina



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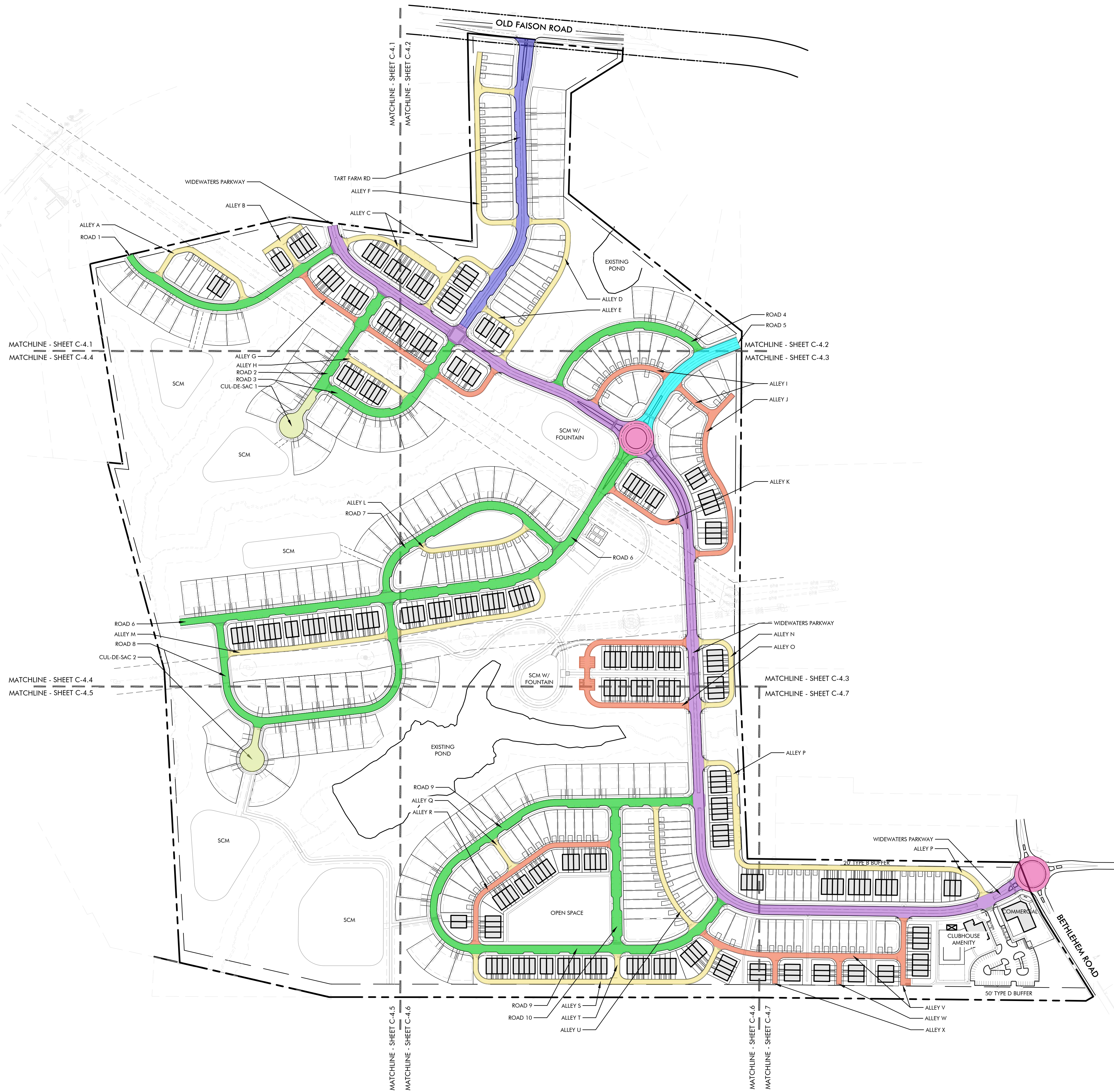


(IN FEET)
 1 inch = 200 ft.

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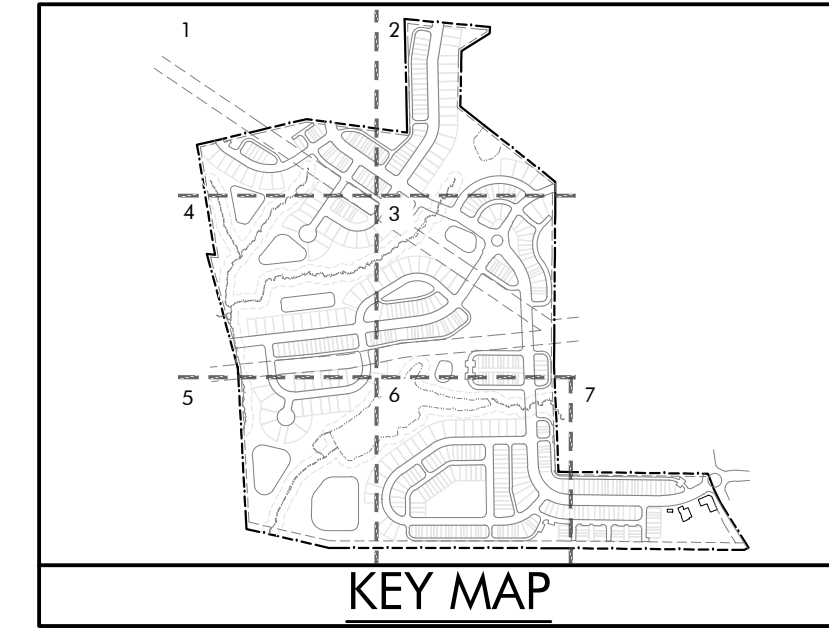
Project No: 22-RDU-083
 Date: 03/28/2024

Sheet No:
C-3.9



STREET TABLE	
NAME	LENGTH (LF)
ROAD 1	934'
ROAD 2	443'
ROAD 3	698'
ROAD 4	728'
ROAD 5	501'
ROAD 6	1,973'
ROAD 7	923'
ROAD 8	1,372'
ROAD 9	2,504'
ROAD 10	565'
CUL-DE-SAC 1	200'
CUL-DE-SAC 2	152'
TART FARM ROAD	1,238'
WIDEWATERS PARKWAY	4,418'

ALLEY TABLE	
NAME	LENGTH
ALLEY A	501'
ALLEY B	316'
ALLEY C	878'
ALLEY D	787'
ALLEY E	193'
ALLEY F	974'
ALLEY G	981'
ALLEY H	325'
ALLEY I	604'
ALLEY J	810'
ALLEY K	354'
ALLEY L	475'
ALLEY M	1,372'
ALLEY N	487'
ALLEY O	1,015'
ALLEY P	1,513'
ALLEY Q	165'
ALLEY R	788'
ALLEY S	1,211'
ALLEY T	127'
ALLEY U	539'
ALLEY V	1,096'
ALLEY W	110'
ALLEY X	110'



LEGEND:

- PRIVATE ALLEY**
R/W: 20'
WIDTH: 20' (BOC-BOC)
SPEED: 10 MPH
- PUBLIC ALLEY**
R/W: 32'
WIDTH: 18' (FOC-FOC)
SPEED: 10' MPH
- LOCAL STREET**
R/W: 54'
WIDTH: 26'-41' (FOC-FOC)*
SPEED: 20-25 MPH
- MAIN STREET**
R/W: 70'
WIDTH: 46'
SPEED: 20-25 MPH
- AVENUE - 3 LANE DIVIDED (MODIFIED)**
R/W: 75'
WIDTH: 43'-55' (BOC-BOC)*
SPEED: 30-35 MPH
- AVENUE - 3 LANE DIVIDED (WIDEWATERS PKW)**
R/W: 75'
WIDTH: VARIES (BOC-BOC)
SPEED: 30-35 MPH
- CUL-DE-SAC**
R/W: 61.5' RADIUS
WIDTH: 48' RADIUS (BOC-BOC)
LENGTH: 200' MAX
- ROUNDBOUT**
R/W: VARIES
SPEED: 20-25 MPH

*NOTE: ON STREET PARKING UTILIZED WHERE APPROPRIATE. SEE PLAN FOR LOCATIONS.



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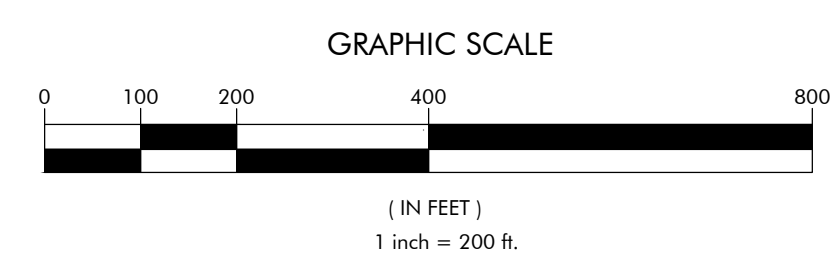
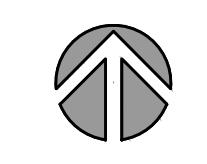
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LYNDON OAKS Master Plan Overall Signage & Marking Plan

Knightsdale, North Carolina



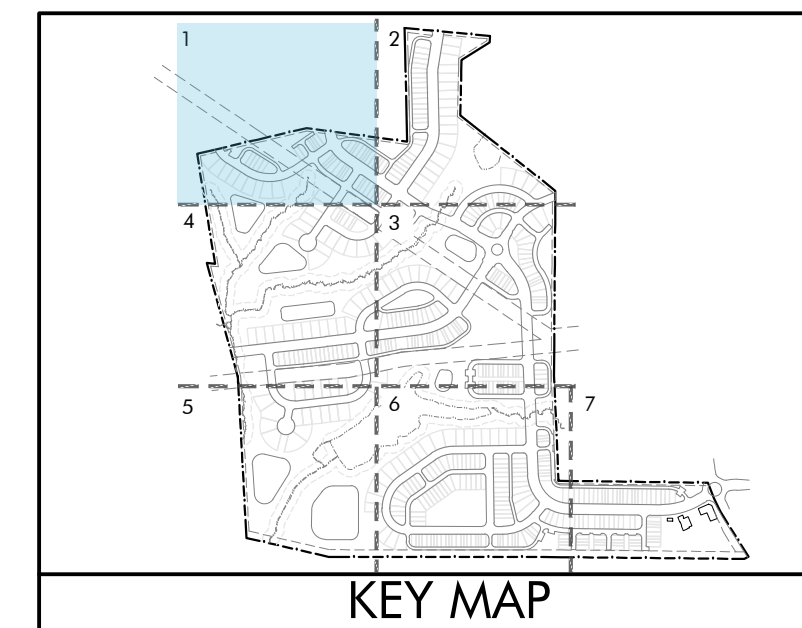
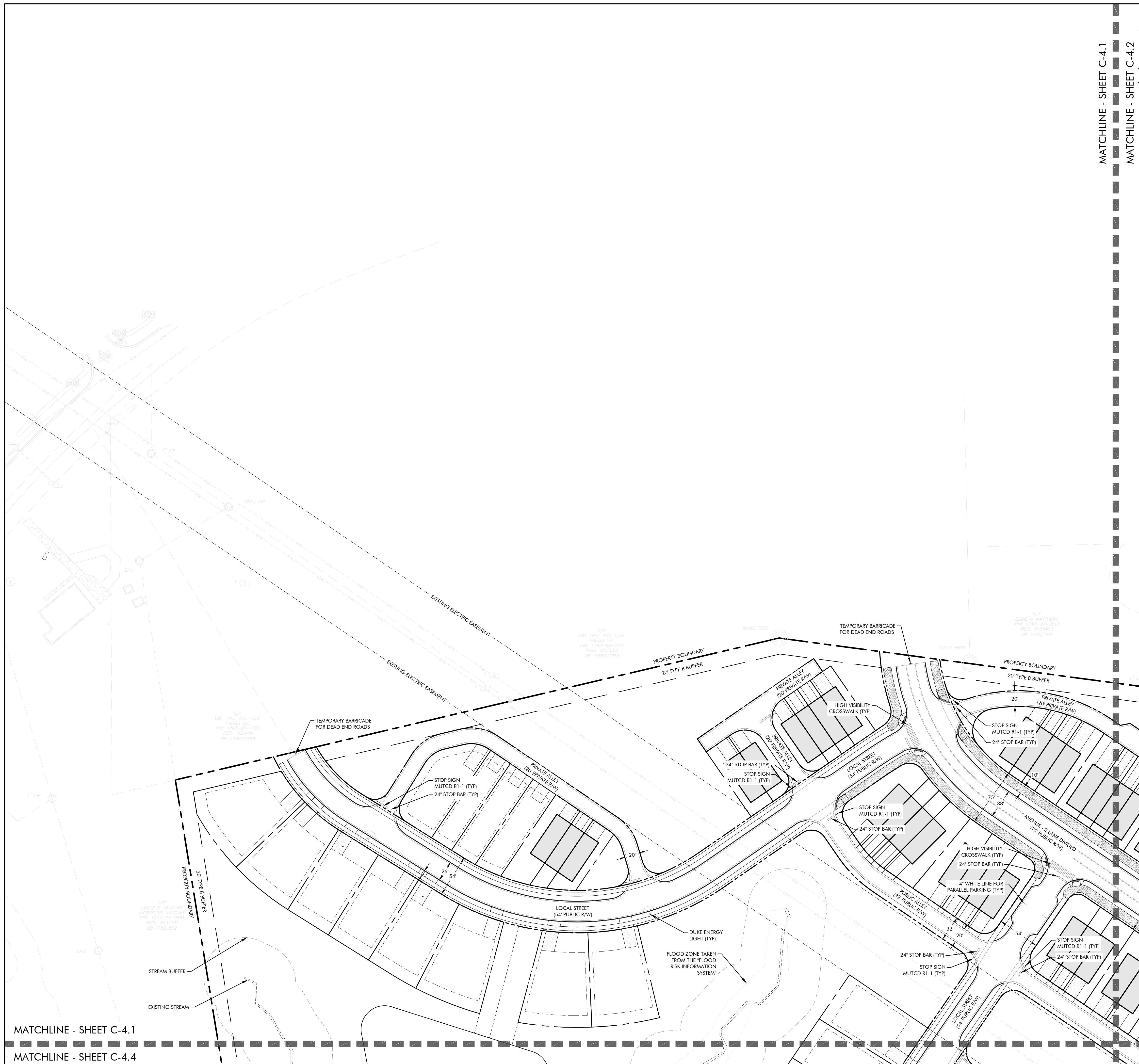
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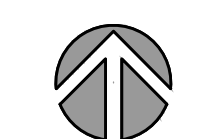
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LYNDON OAKS Master Plan Signage & Marking Plan Enlargement 1

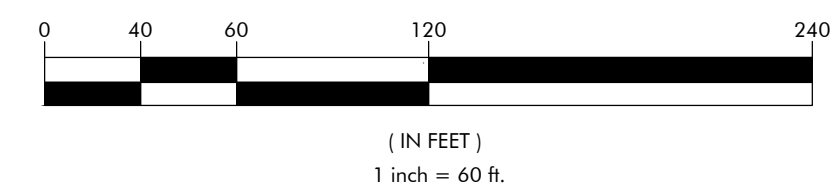
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GRAPHIC SCALE



MATCHLINE - SHEET C-4.1
MATCHLINE - SHEET C-4.4

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Sheet No:

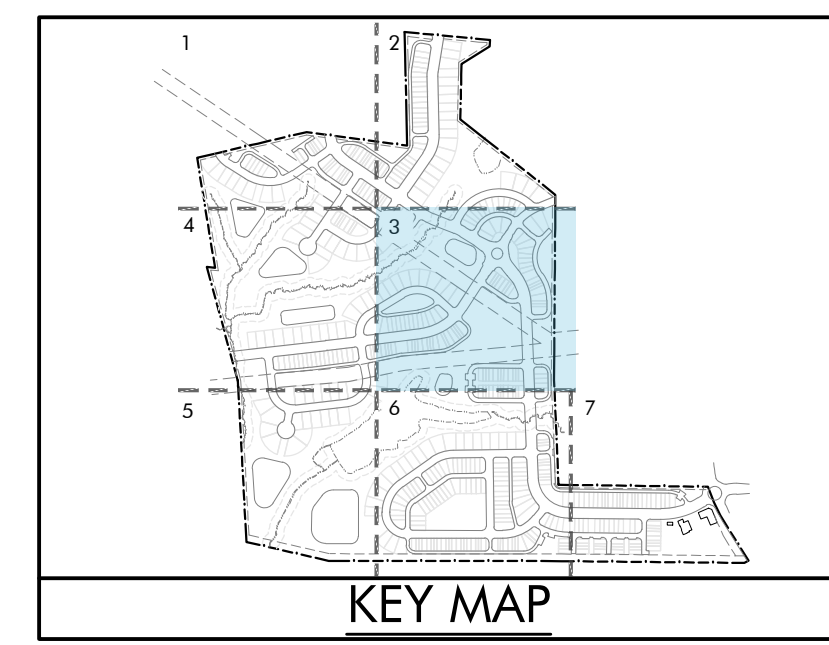
C-4.1



MATCHLINE - SHEET C-4.2
 MATCHLINE - SHEET C-4.3

MATCHLINE - SHEET C-4.4
 MATCHLINE - SHEET C-4.3

MATCHLINE - SHEET C-4.3
 MATCHLINE - SHEET C-4.6



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LYNDON OAKS

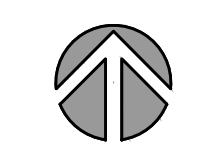
Master Plan

Signage & Marking Plan Enlargement 3

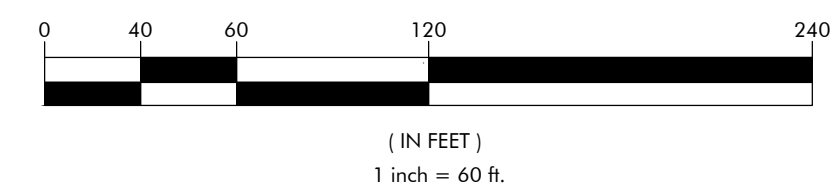
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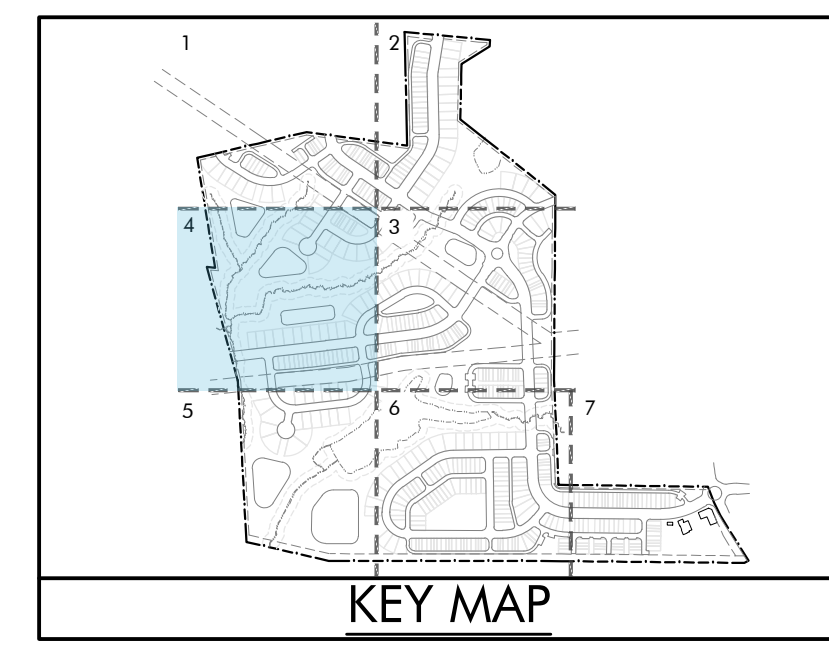
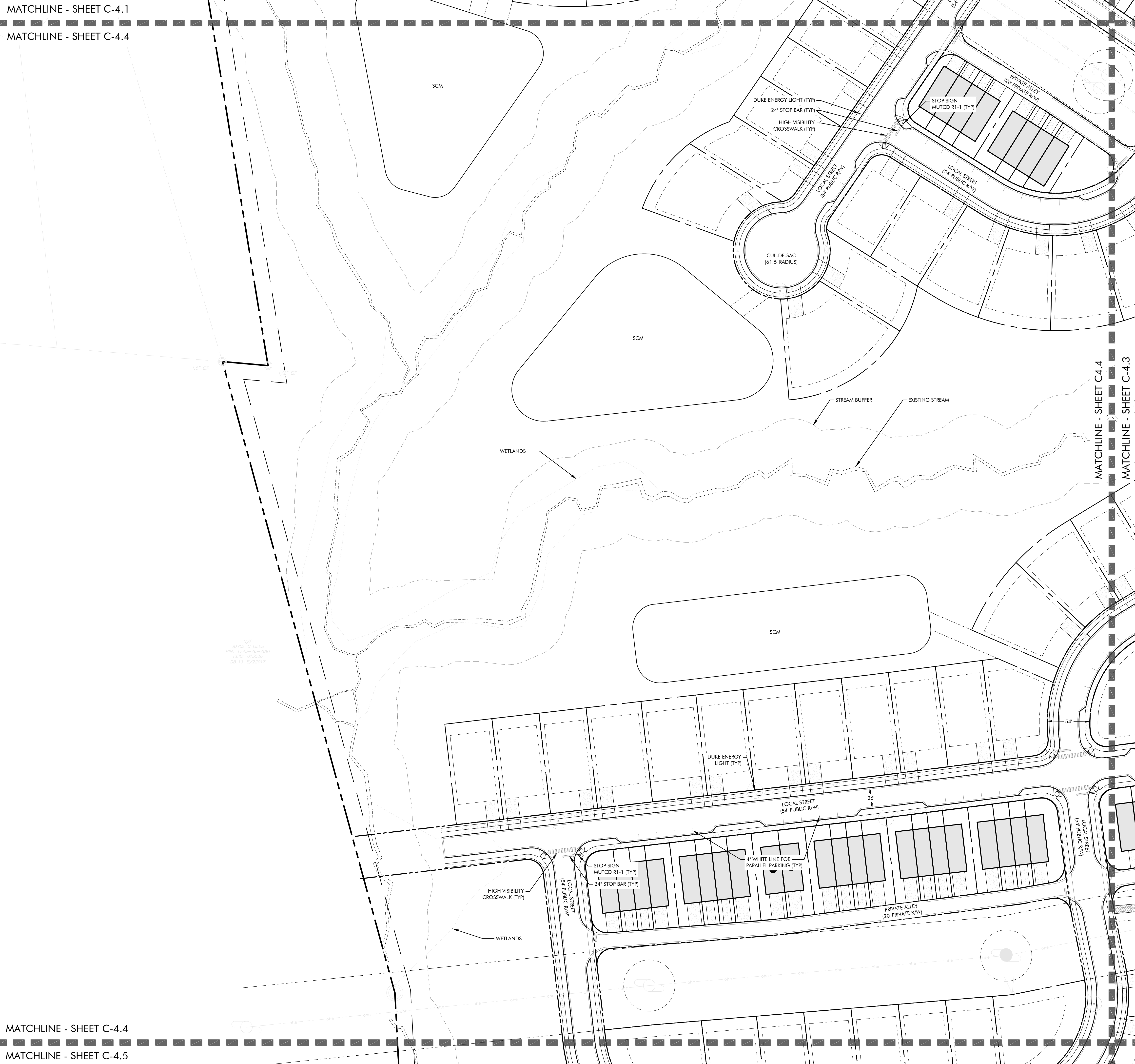
Sheet No:
C-4.3

MATCHLINE - SHEET C-4.1

MATCHLINE - SHEET C-4.4

MATCHLINE - SHEET C-4.4

MATCHLINE - SHEET C-4.5



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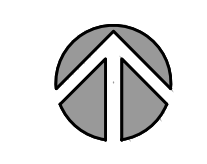
Master Plan

Signage & Marking Plan Enlargement 4

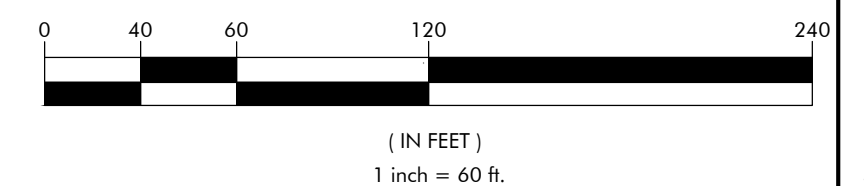
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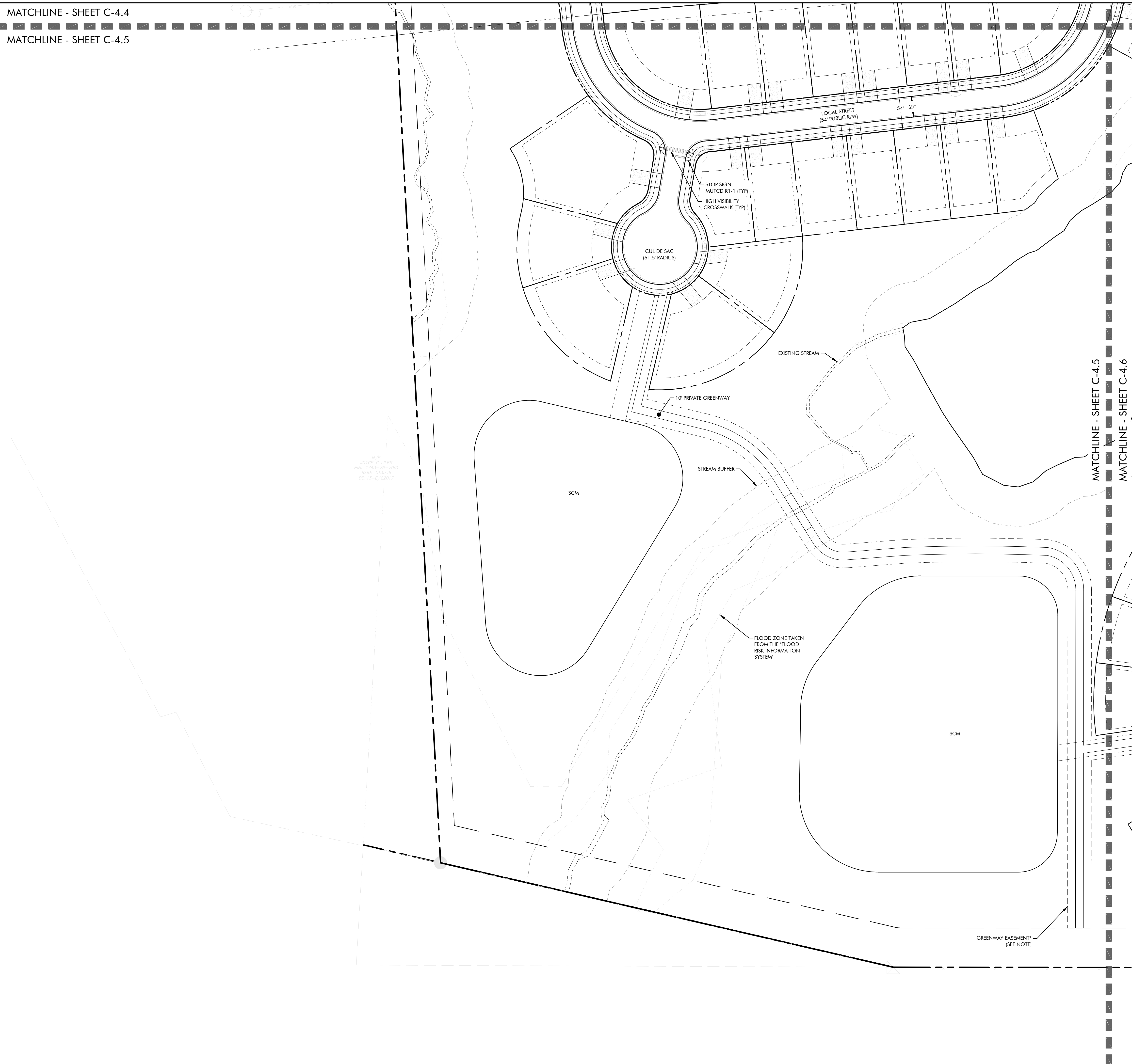
Date: 03/28/2024

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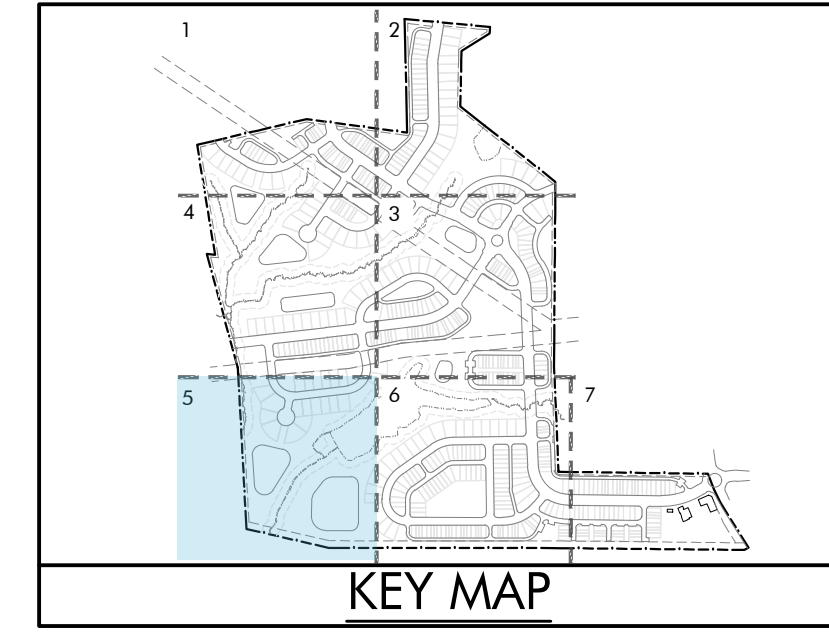
C-4.4

MATCHLINE - SHEET C-4.4

MATCHLINE - SHEET C-4.5



NOTES:
 1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STREAM UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE GREENWAY UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE FLOOD ZONE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE EASEMENT UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PROPERTY UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE NOTED.



NOTES:
 PER ZMA-2-23 REGARDING EASEMENT FOR FUTURE PEDESTRIAN BRIDGE OVER I-87:
 PRIOR TO APPROVAL OF CONSTRUCTION DRAWINGS FOR THE FIRST PHASE OF DEVELOPMENT, THE APPLICANT WILL OFFER A MINIMUM OF 100 SQUARE FEET OF SITE AREA AS A NON-EXCLUSIVE, PERMANENT EASEMENT AREA TO BE DEDICATED TO THE TOWN FOR CONSTRUCTION, MAINTENANCE, AND REPAIR OF FOOTINGS FOR A FUTURE PEDESTRIAN BRIDGE OVER I-87. TOGETHER WITH SUCH TEMPORARY CONSTRUCTION EASEMENTS AS NECESSARY FOR COMPLETION OF SUCH WORK, IF ACCEPTED BY THE TOWN TRANSPORTATION DIRECTOR, SUCH EASEMENT AREA SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS AND SUBDIVISION PLAT AND GRANTED TO THE TOWN PURSUANT TO A RECORDED DEED OF EASEMENT.



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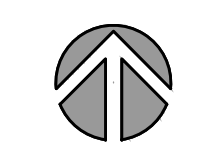
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LYNDON OAKS Master Plan Signage & Marking Plan Enlargement 5

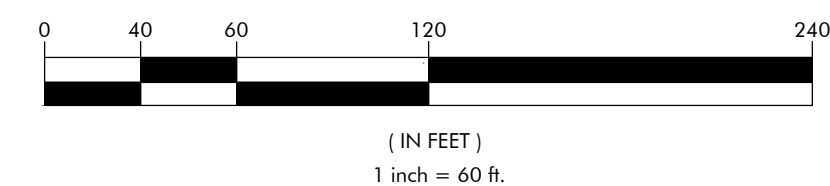
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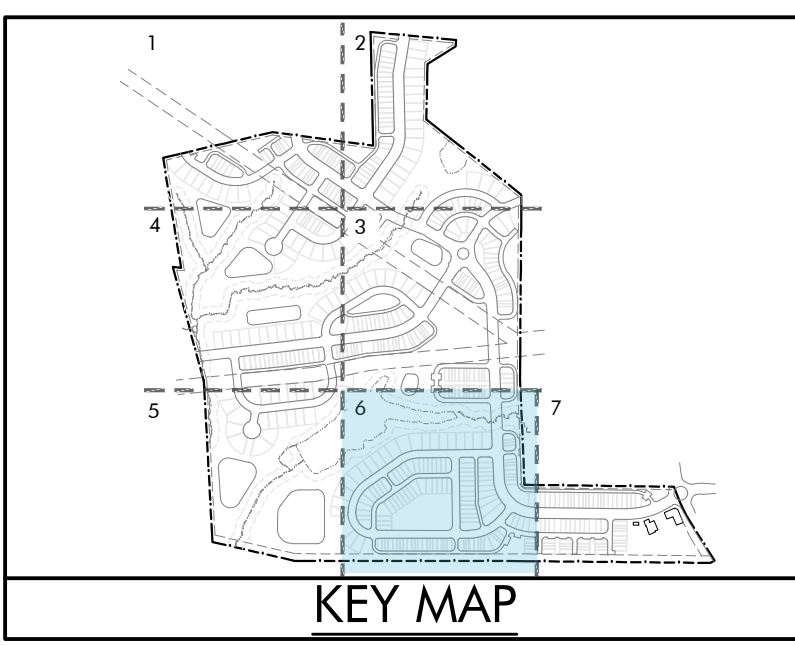
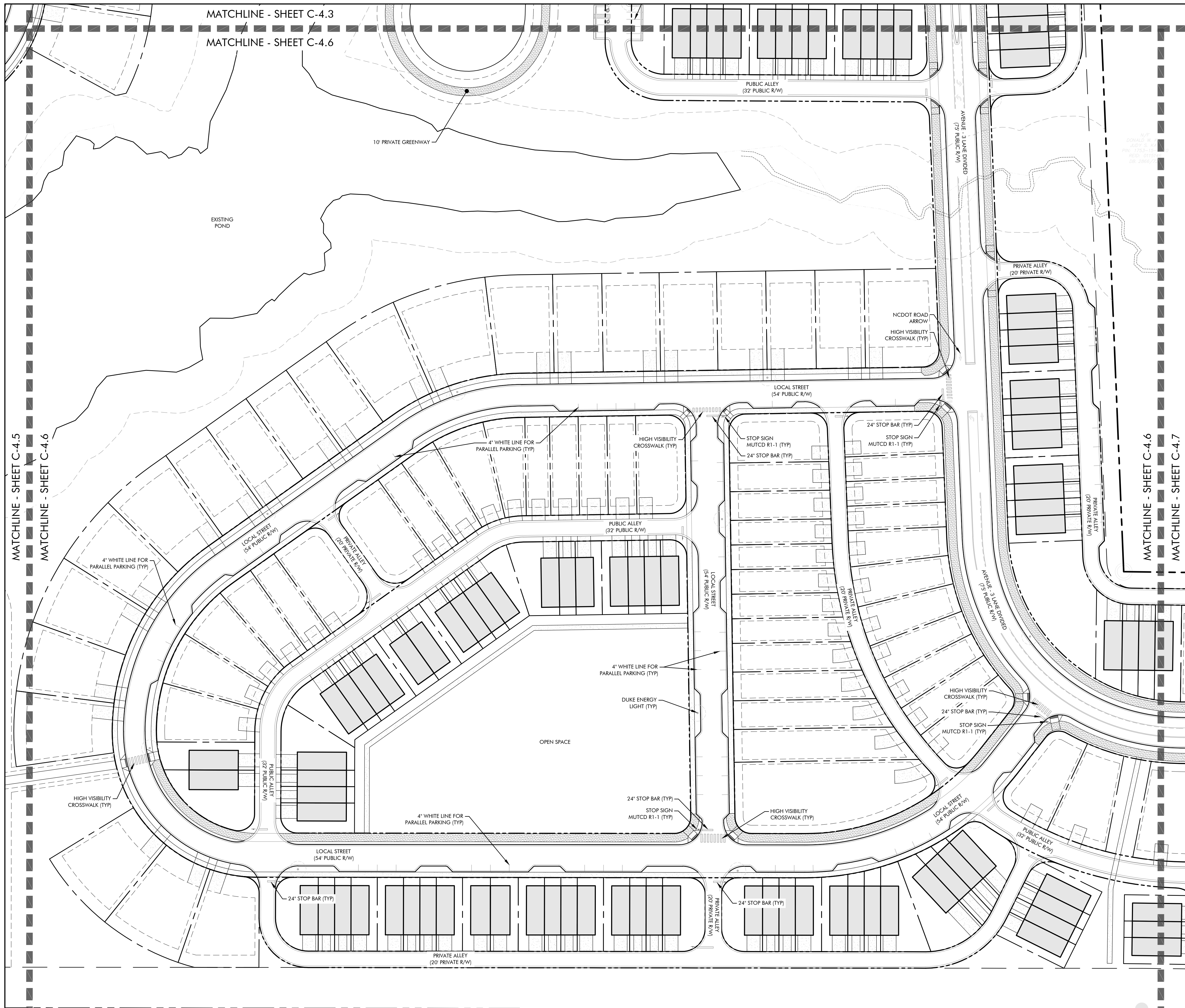
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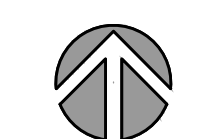
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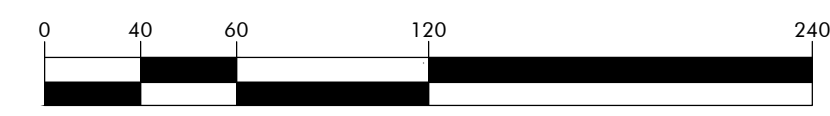
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GRAPHIC SCALE



(IN FEET)
 1 inch = 60 ft.

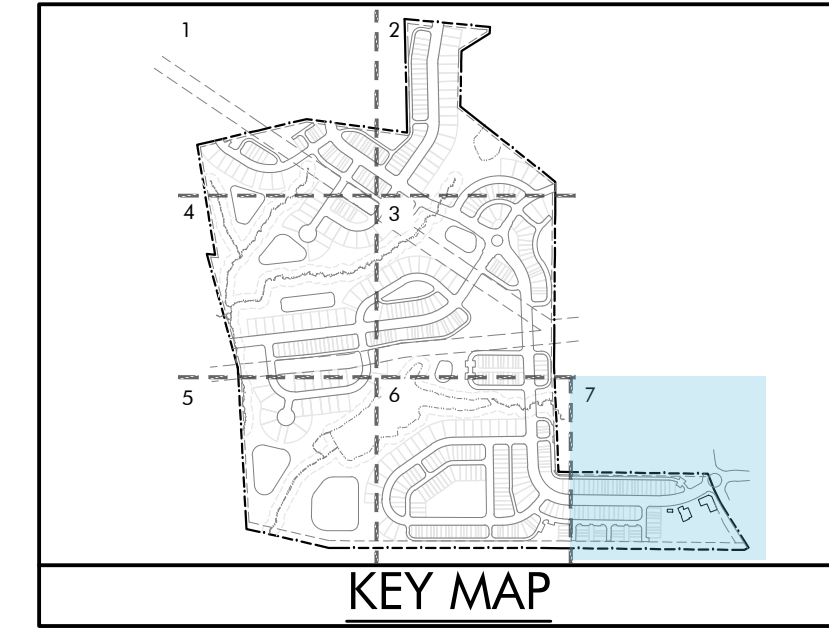
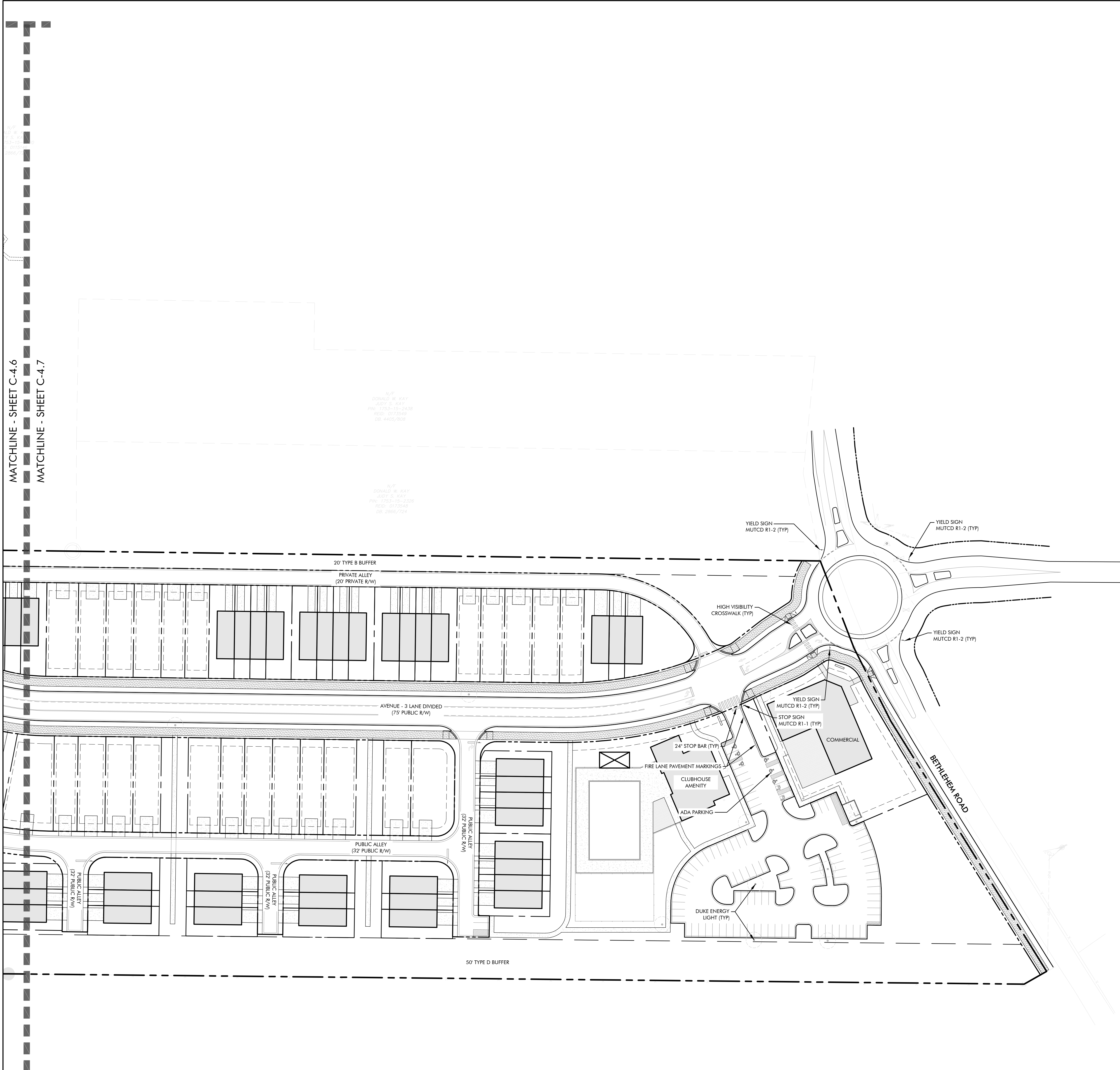
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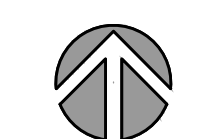
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LYNDON OAKS Master Plan Signage & Marking Plan Enlargement 7

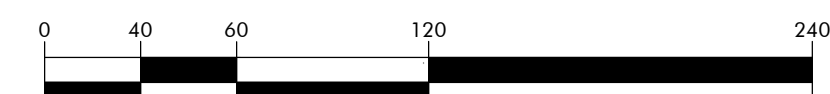
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(IN FEET)
 1 inch = 60 ft.

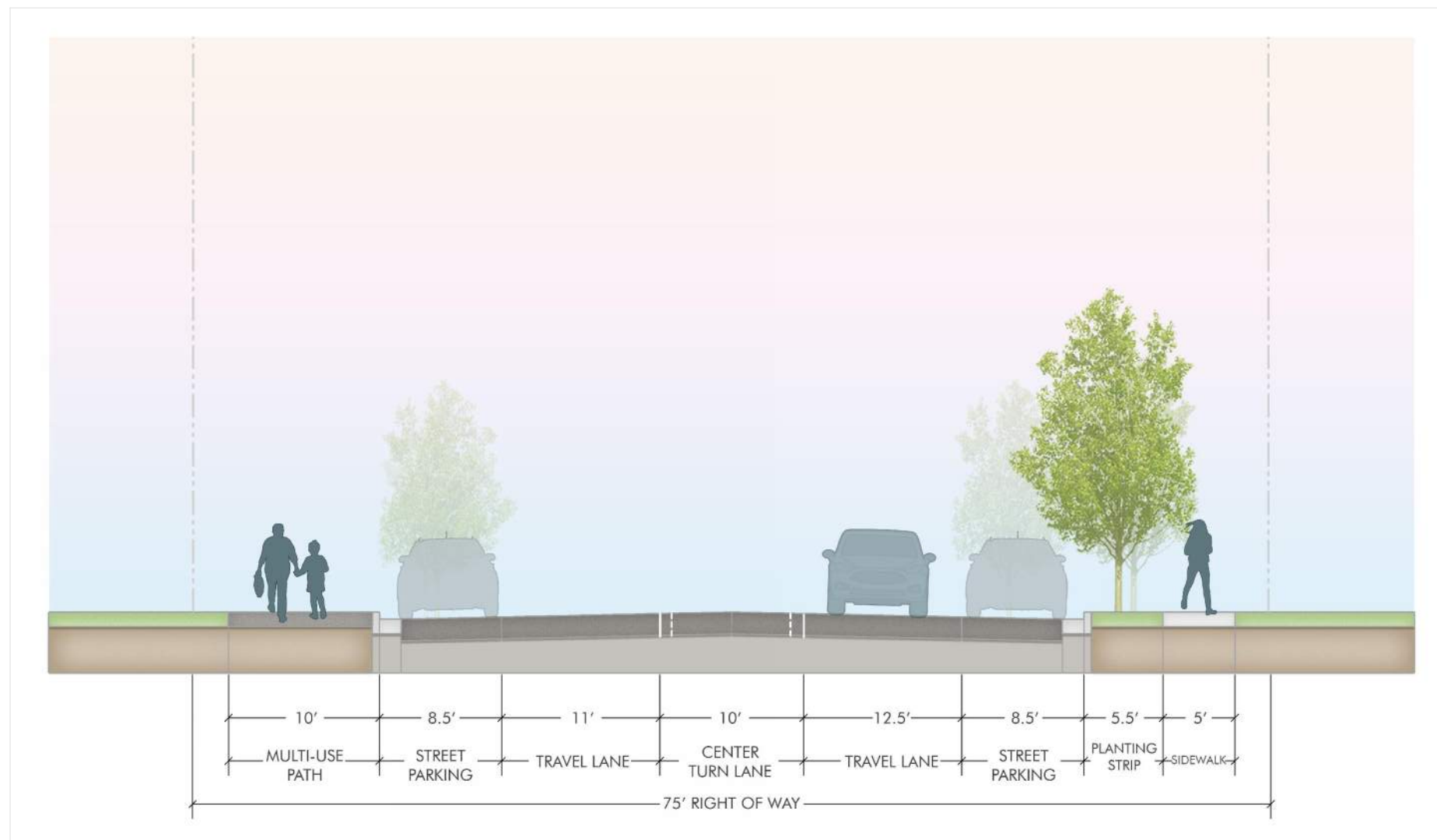
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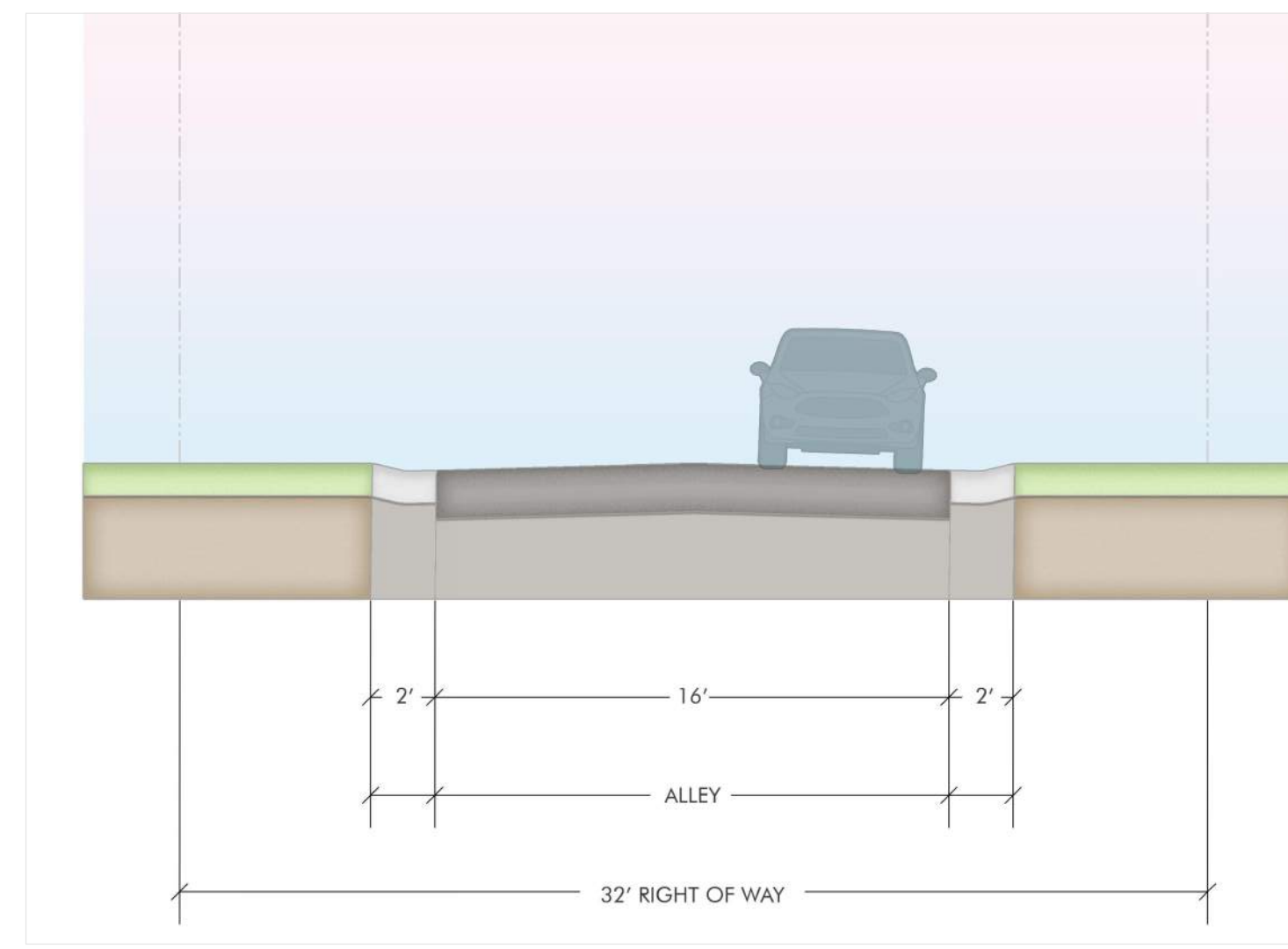
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MODIFIED AVENUE STREET SECTION

SCALE: NTS

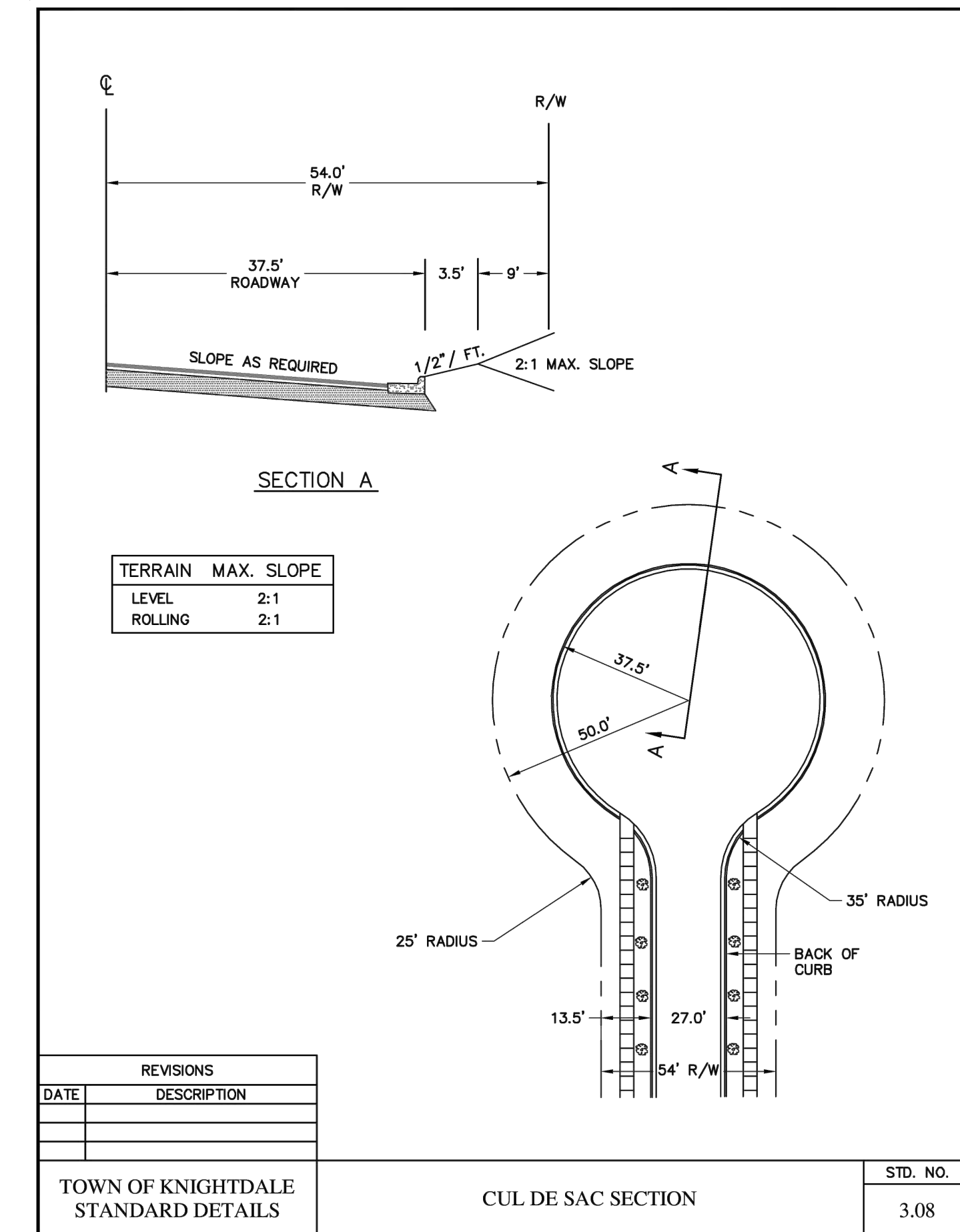
SECTION



32' PUBLIC ALLEY STREET SECTION

SCALE: NTS

SECTION

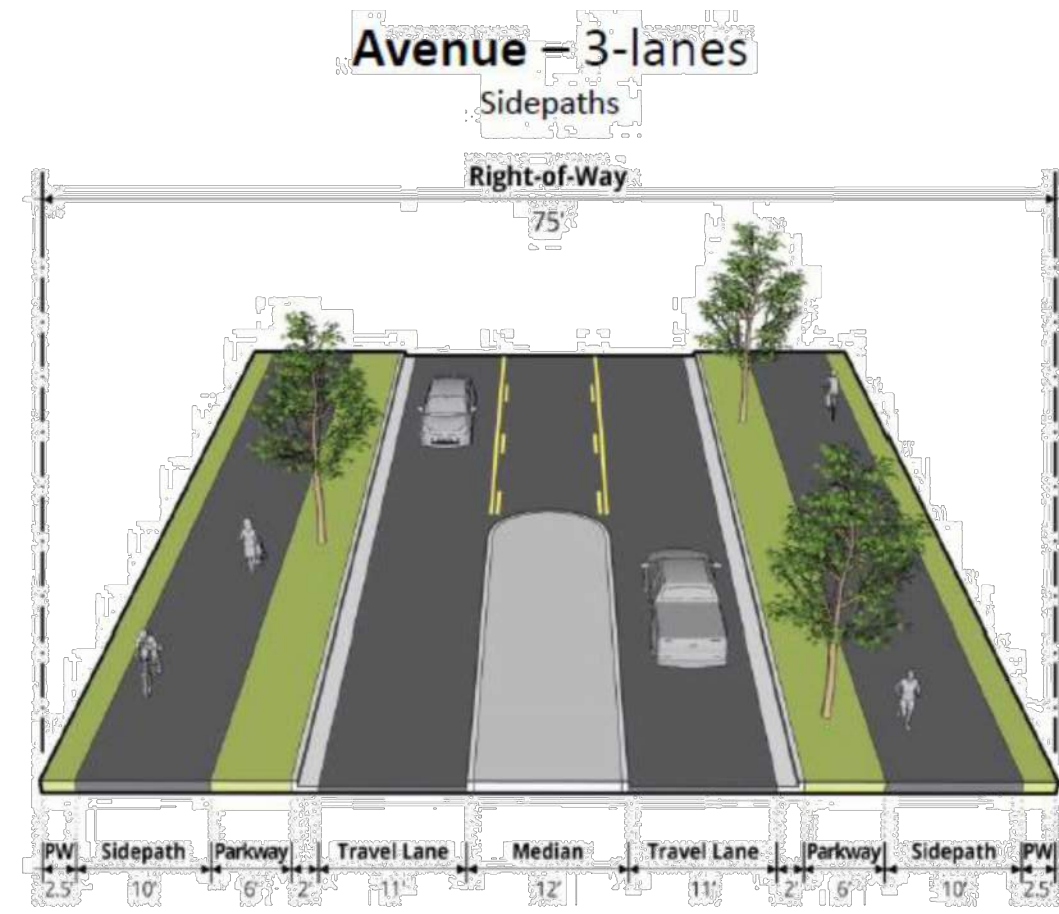


CUL-DE-SAC

SCALE: NTS

SECTION

NOTE:
TOWN OF KNIGHTDALE IS CURRENTLY UPDATING THEIR STANDARD DETAILS AND THE STREET SECTIONS SHOWN ON TOWN OF KNIGHTDALE TITLEBLOCKS WILL BE UPDATED TO MEET NEW REQUIREMENTS PER THE UDO.
STREET SECTIONS USED IN PLAN REFLECT THE DIMENSIONS SET FORTH IN THE UDO.



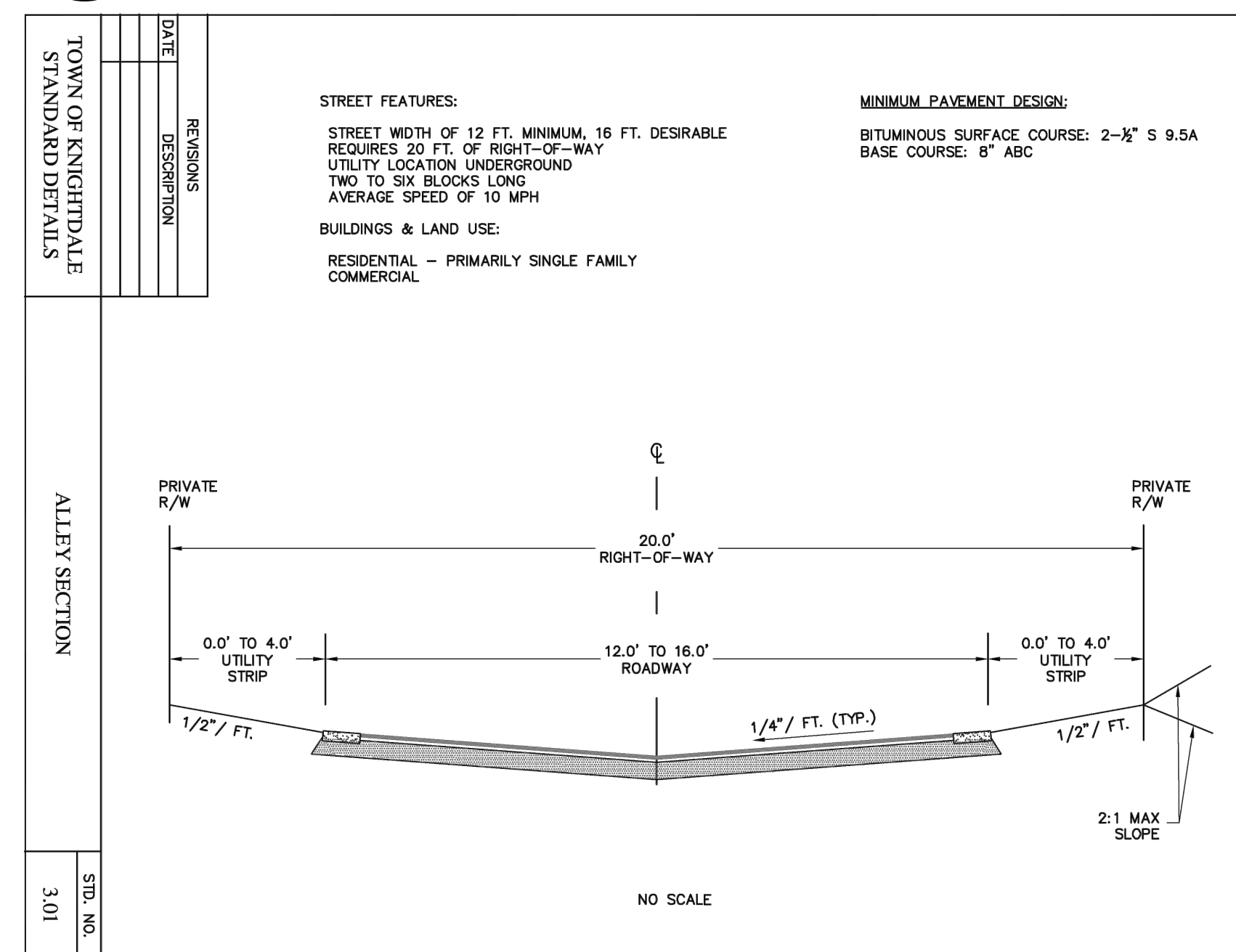
Town of Knightdale
Knightdale Next UDO Update

Chapter 10 – Infrastructure Improvement Standards
Page 11 of 23

AVENUE STREET SECTION - SIDEPATHS

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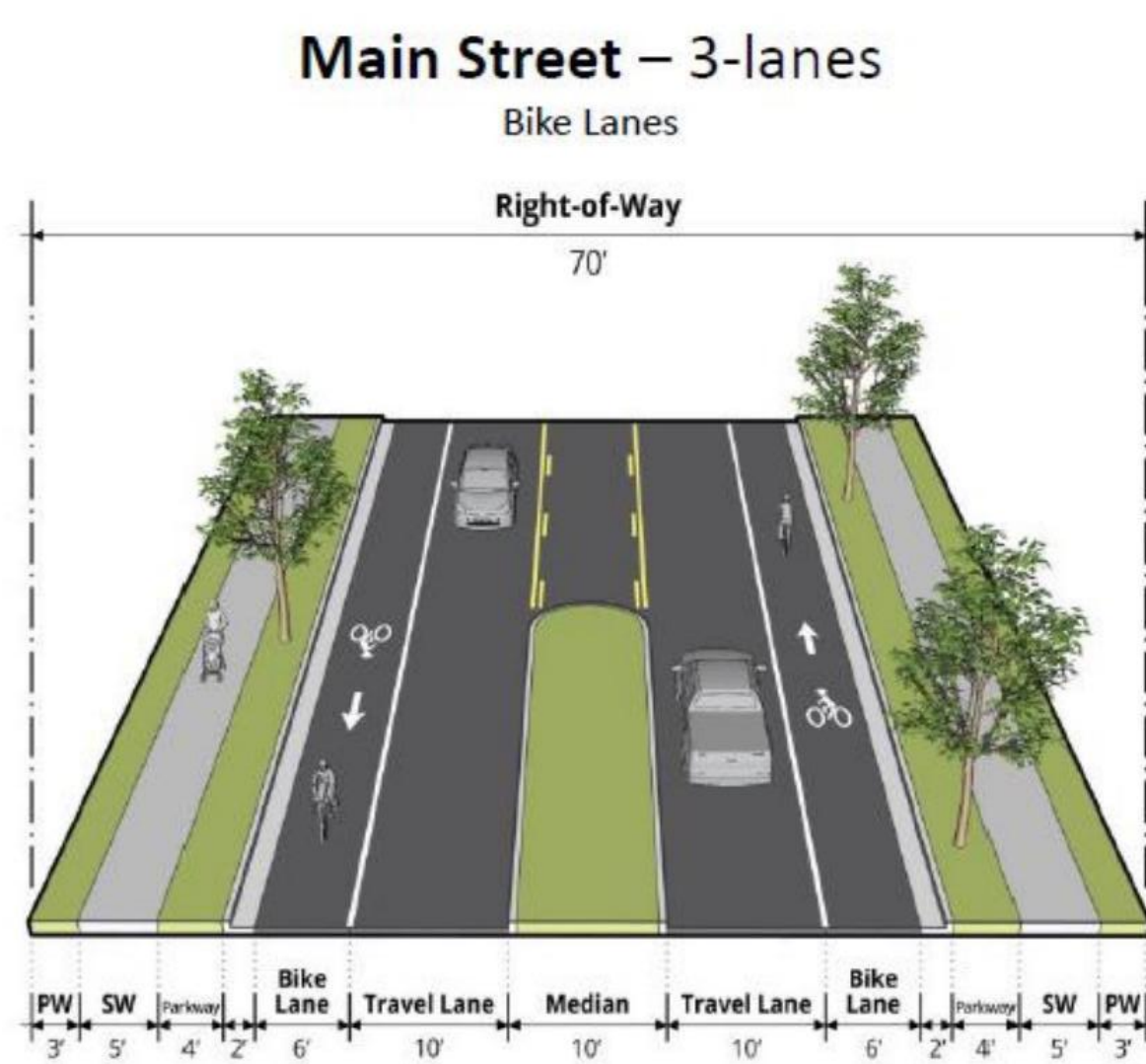
SECTION



20' PRIVATE ALLEY

SCALE: NTS

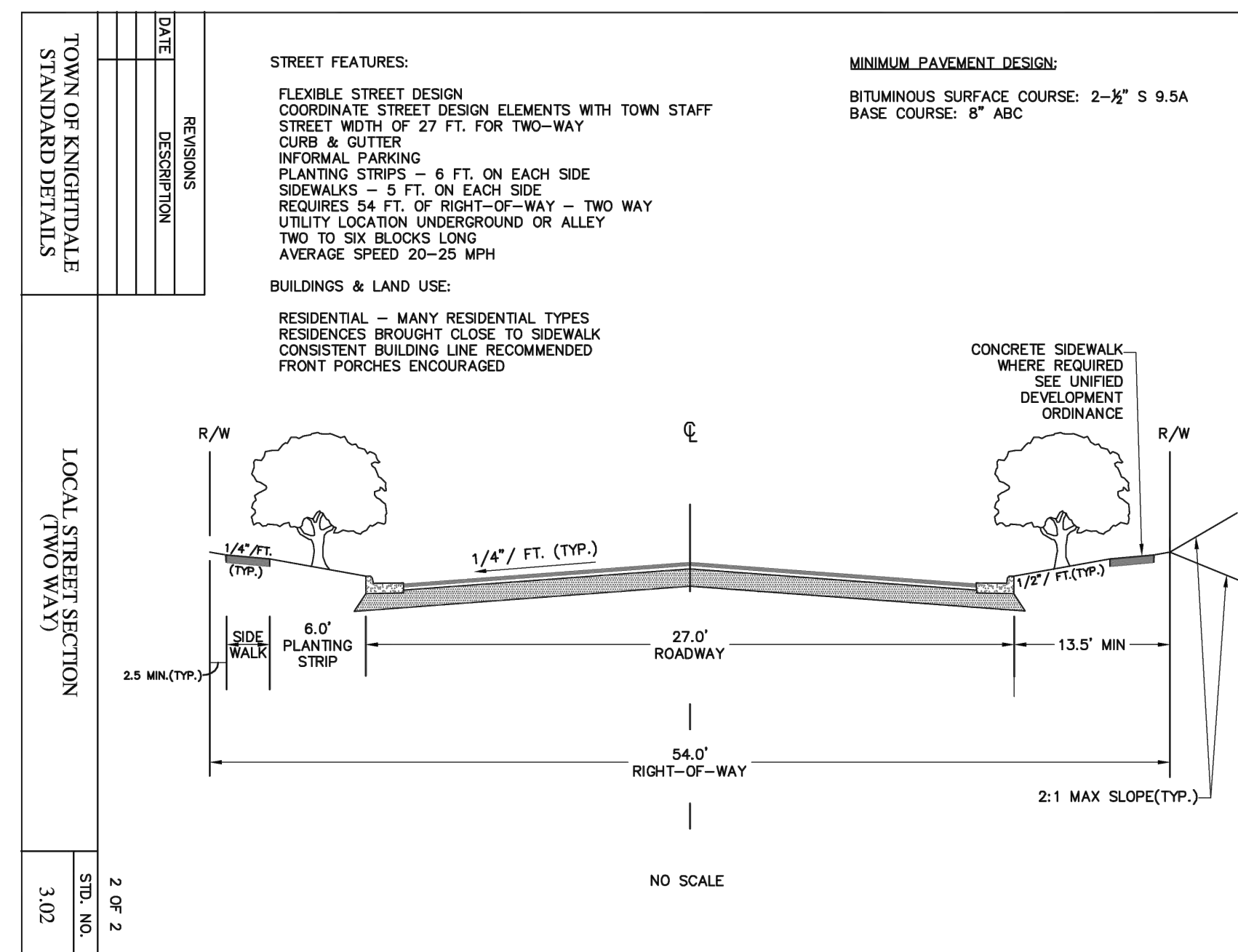
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70' MAIN STREET SECTION

SCALE: NTS

SECTION



LOCAL STREET

SCALE: NTS

SECTION



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LYNDON OAKS
Master Plan
Street Sections
Knightdale, North Carolina

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Date: 03/28/2024

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CONNECTIVITY INDEX

LINKS: 28

NODES: 19

MINIMUM REQUIRED: 1.40
 PROVIDED: 1.47
 $\frac{28}{19} = 1.47$

*CONNECTIVITY INDEX IS CALCULATED ACCORDING TO TOWN OF KNIGHTDALE LDD SEC. 11.3.E.7



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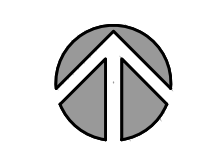
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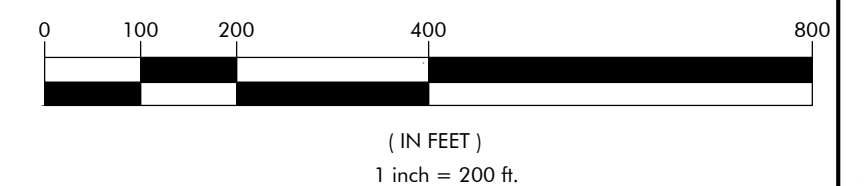
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Master Plan
 Connectivity Index
 Knightdale, North Carolina



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PEDESTRIAN CIRCULATION

- 10' ASPHALT SIDEWALK
- 5' CONCRETE SIDEWALK*
- 5' CONCRETE SIDEWALK*
- 10' PRIVATE TRAIL
- 10' PRIVATE TRAIL W/PUBLIC ACCESS
- 10' PUBLIC TRAIL OPTION A
- 10' PUBLIC TRAIL OPTION B
- TRAIL STUB FOR FUTURE CONNECTION
- PEDESTRIAN PLAZA

*NOTE: STREET SECTIONS CALL FOR 5' WIDE CONCRETE SIDEWALK, BUT WHERE SIDEWALK ADJUTS CURB ADJACENT TO PARALLEL PARKING SPACES, SIDEWALK SHALL BE 6' WIDE.



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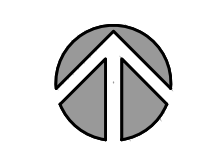
nc firm no: P-2671 sc coo no: C-03044
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D.R. Horton
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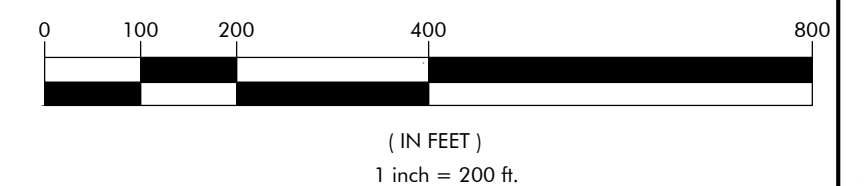
LYNDON OAKS
Master Plan
Pedestrian Circulation
Knightdale, North Carolina



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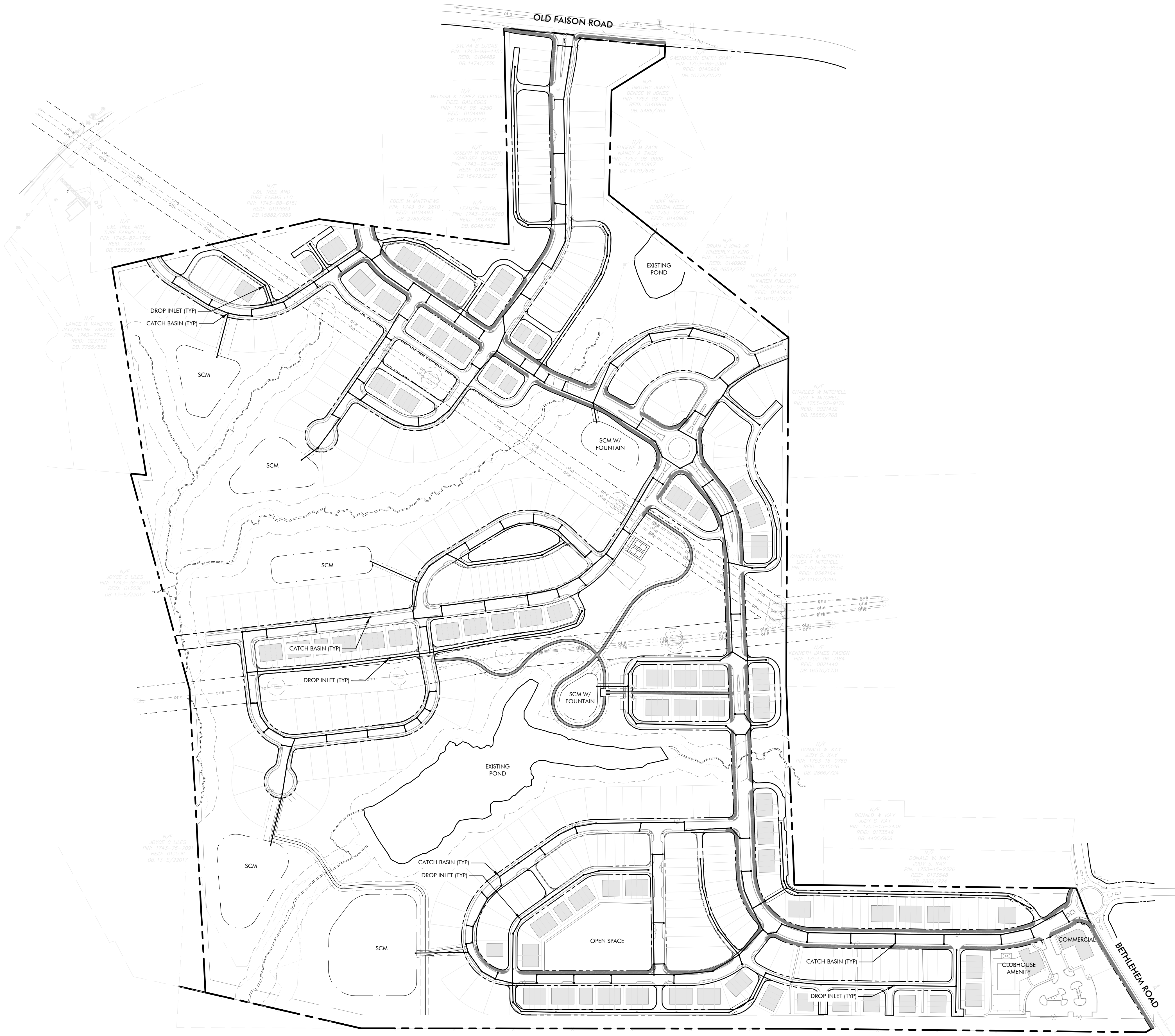
GRAPHIC SCALE



NO.	DATE	BY	REVISIONS:
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#2	02/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024
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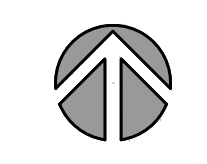
LYNDON OAKS Master Plan

Overall Storm Drainage Plan

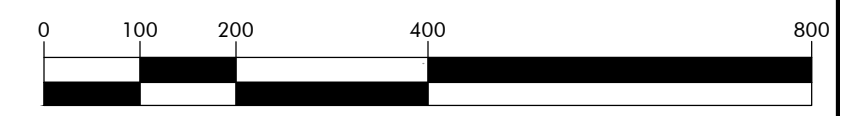
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GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

NO.	DATE	BY	REVISIONS:
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#2	03/05/2024		

Project No: 22-RDU-083

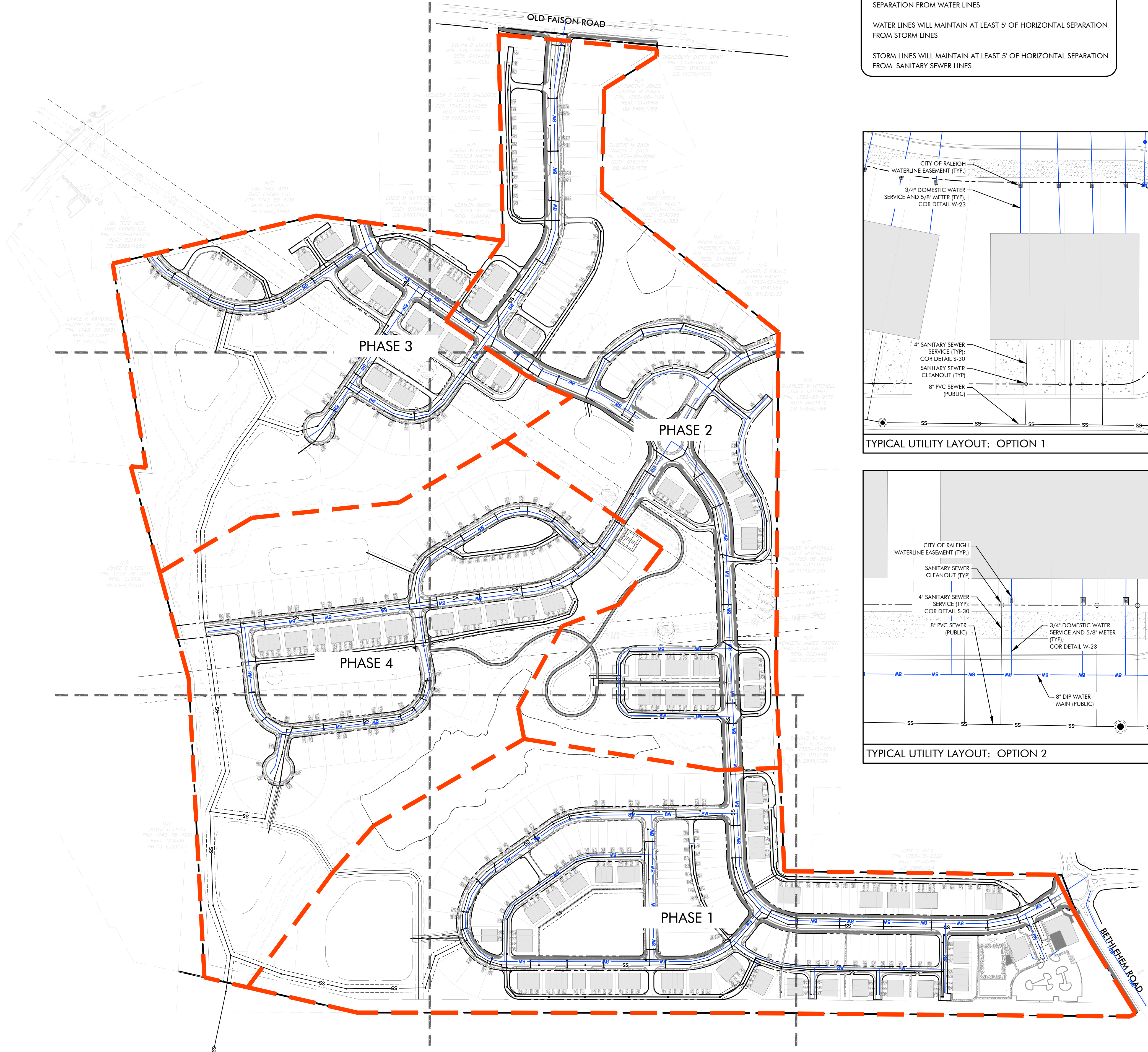
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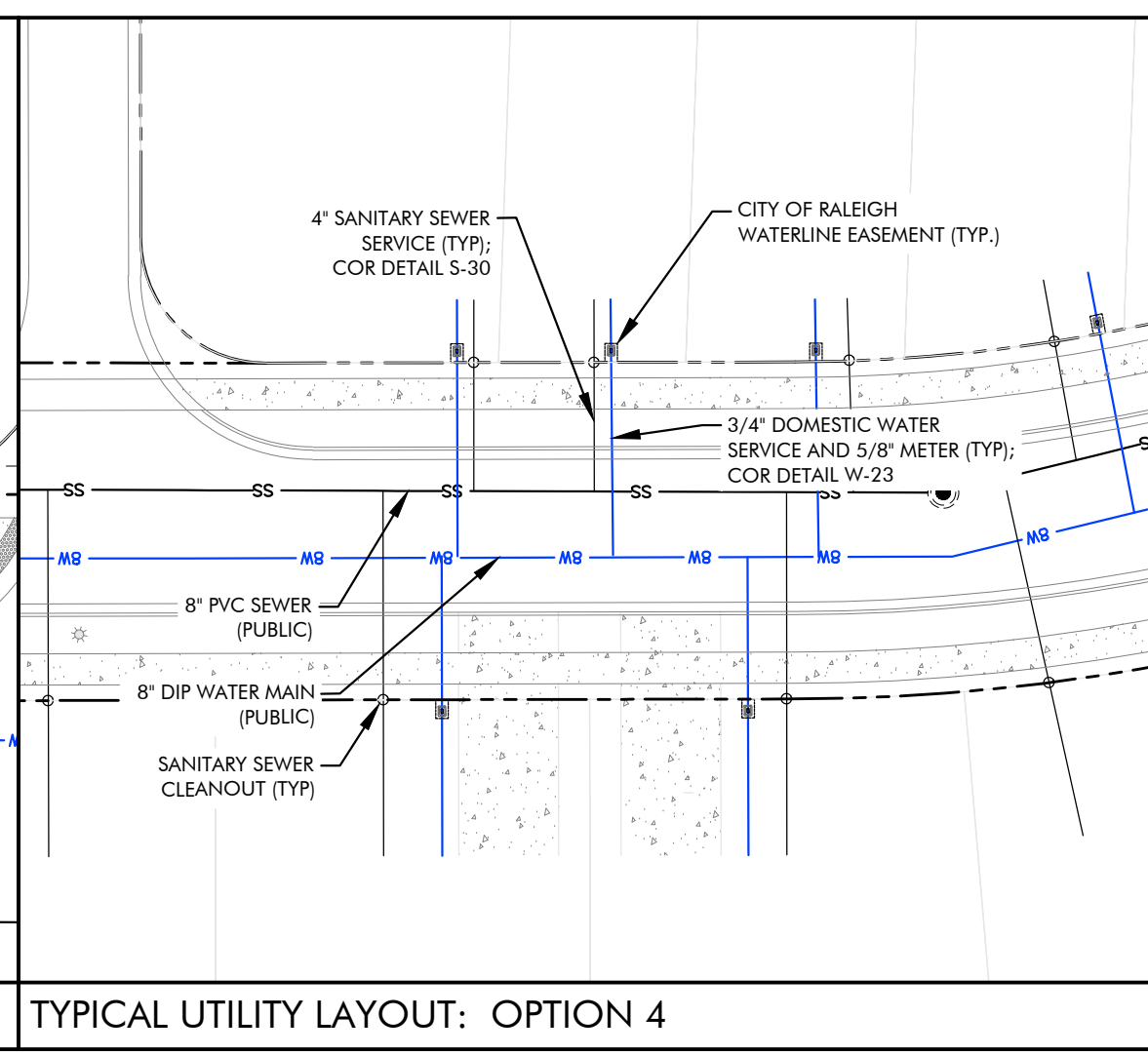
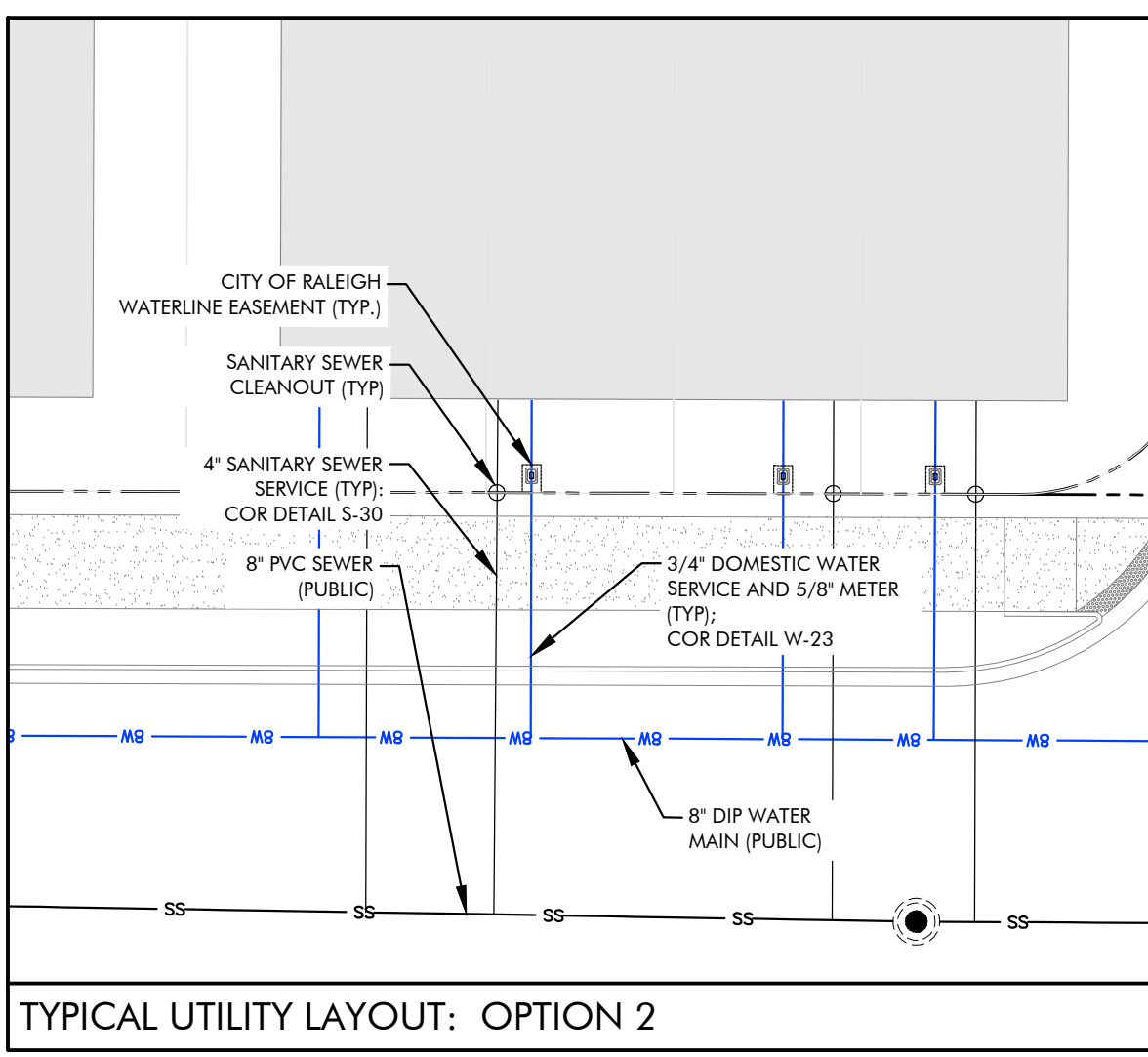
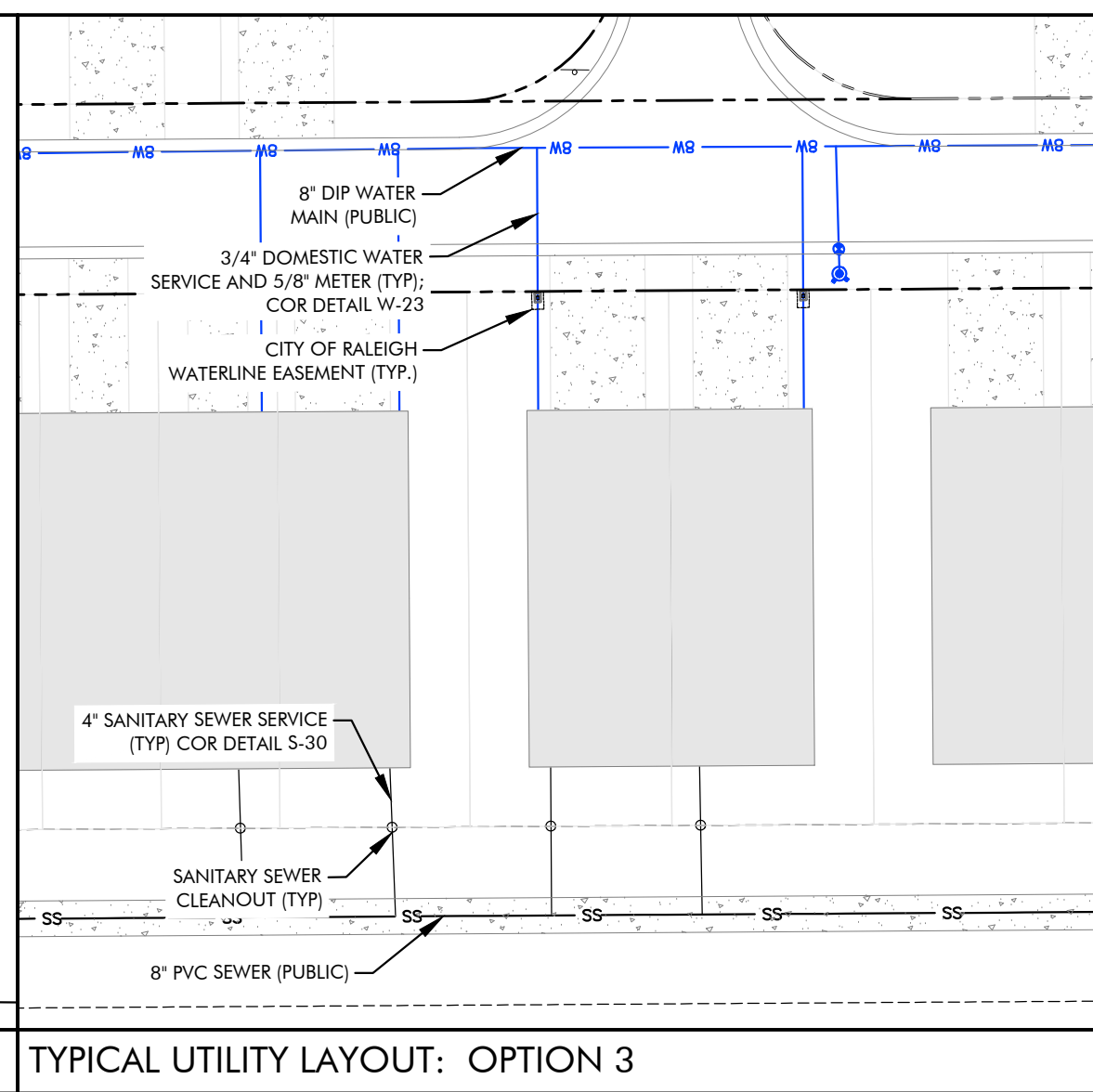
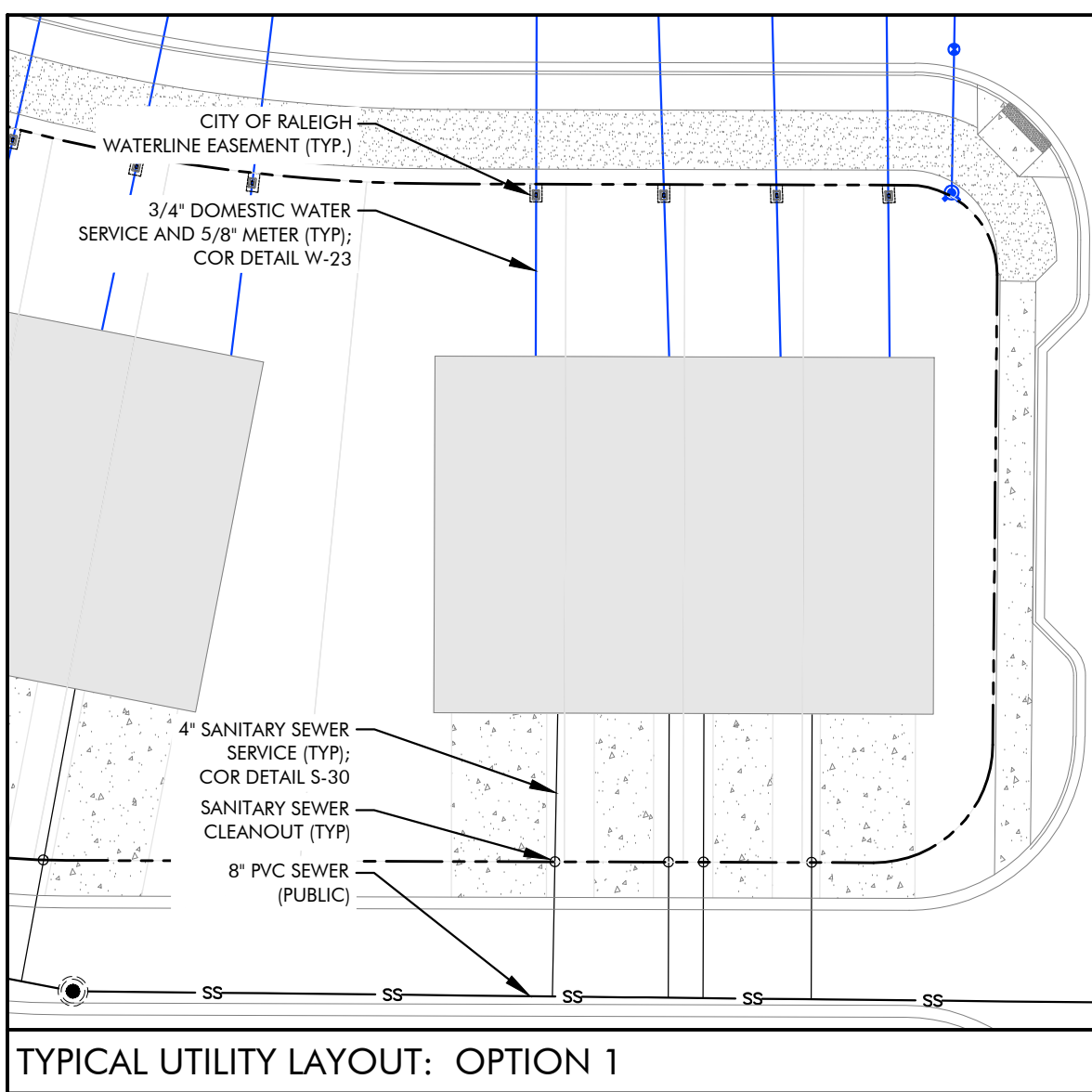
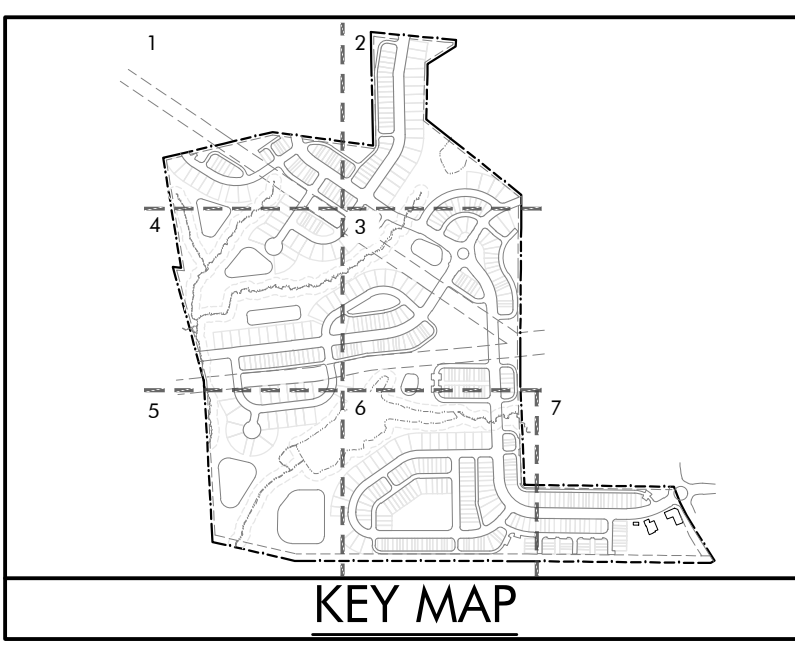


NOTES

SANITARY SEWER LINES WILL MAINTAIN AT LEAST 10' OF HORIZONTAL SEPARATION FROM WATER LINES

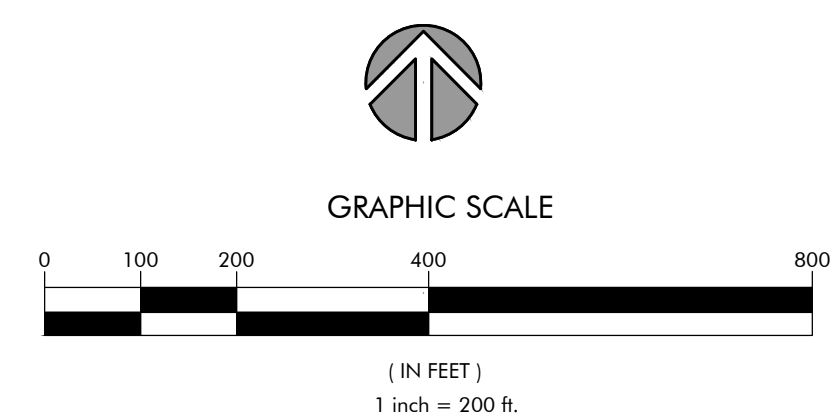
WATER LINES WILL MAINTAIN AT LEAST 5' OF HORIZONTAL SEPARATION FROM STORM LINES

STORM LINES WILL MAINTAIN AT LEAST 5' OF HORIZONTAL SEPARATION FROM SANITARY SEWER LINES



WATER ALLOCATION POLICY

Category	Item	Points
MAJOR SUBDIVISION	MAJOR SUBDIVISION BASE POINTS	15 pts.
	CONSERVATION OF NATURAL HABITAT	7 pts.
	CONSTRUCT A FOUNTAIN WITHIN THE BMP	4 pts.
	ON-STREET PARKING	4 pts.
	RESIDENTIAL ARCHITECTURAL STANDARDS	15 pts.
	3,000' OR MORE OF A 6-FOOT WIDE PATH	3 pts.
	RESORT STYLE POOL	2 pts.
	DECK/PATIO (2,000 SF MIN.)	2 pts.
	CLUBHOUSE (NO MEETING SPACE, BATHROOMS & CHANGING ROOMS ONLY)	3 pts.
	IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4 pts.
SINGLE-USE RETAIL	SINGLE USE RETAIL BASE POINTS	41 pts.
	CONSTRUCTION OF GATEWAY LANDSCAPING	5 pts.
	DECK/PATIO (2,000 SF MIN)	2 pts.
	CONSTRUCT LESS THAN 1000 LF OF 10' WIDE PATH	2 pts.
TOTAL		63 pts.
TOTAL		50 pts.



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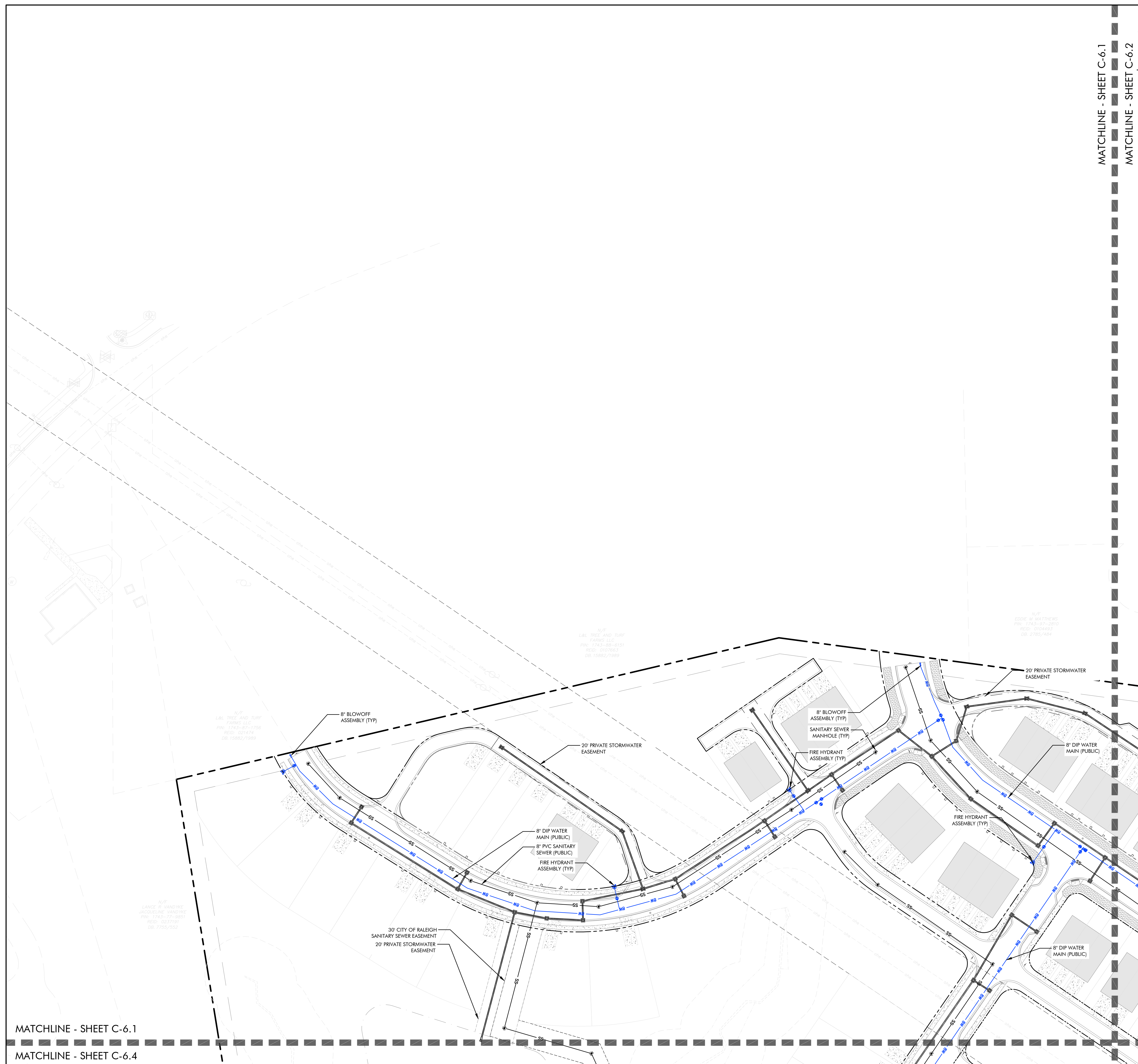
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Raleigh, NC 27615

LYNDON OAKS
Master Plan
Overall Utility Plan
Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:
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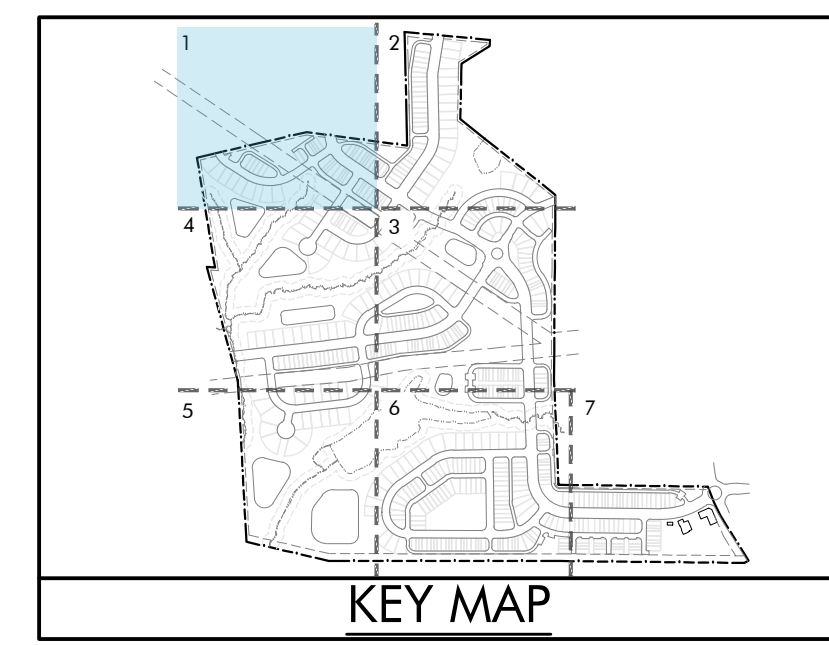
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Sheet No:

C-6.0



MATCHLINE - SHEET C-6.1
 MATCHLINE - SHEET C-6.4

MATCHLINE - SHEET C-6.1
 MATCHLINE - SHEET C-6.2



- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
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 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
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 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS, 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
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 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
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NOTES

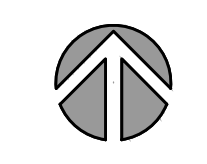
SANITARY SEWER LINES WILL MAINTAIN AT LEAST 10' OF HORIZONTAL SEPARATION FROM WATER LINES

WATER LINES WILL MAINTAIN AT LEAST 5' OF HORIZONTAL SEPARATION FROM STORM LINES

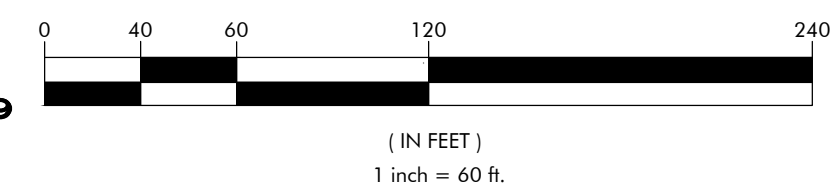
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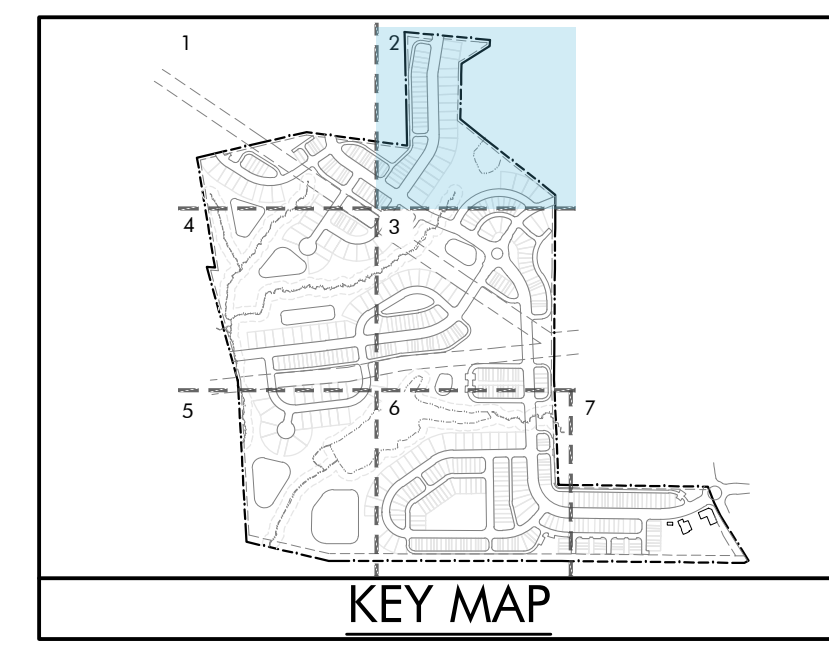
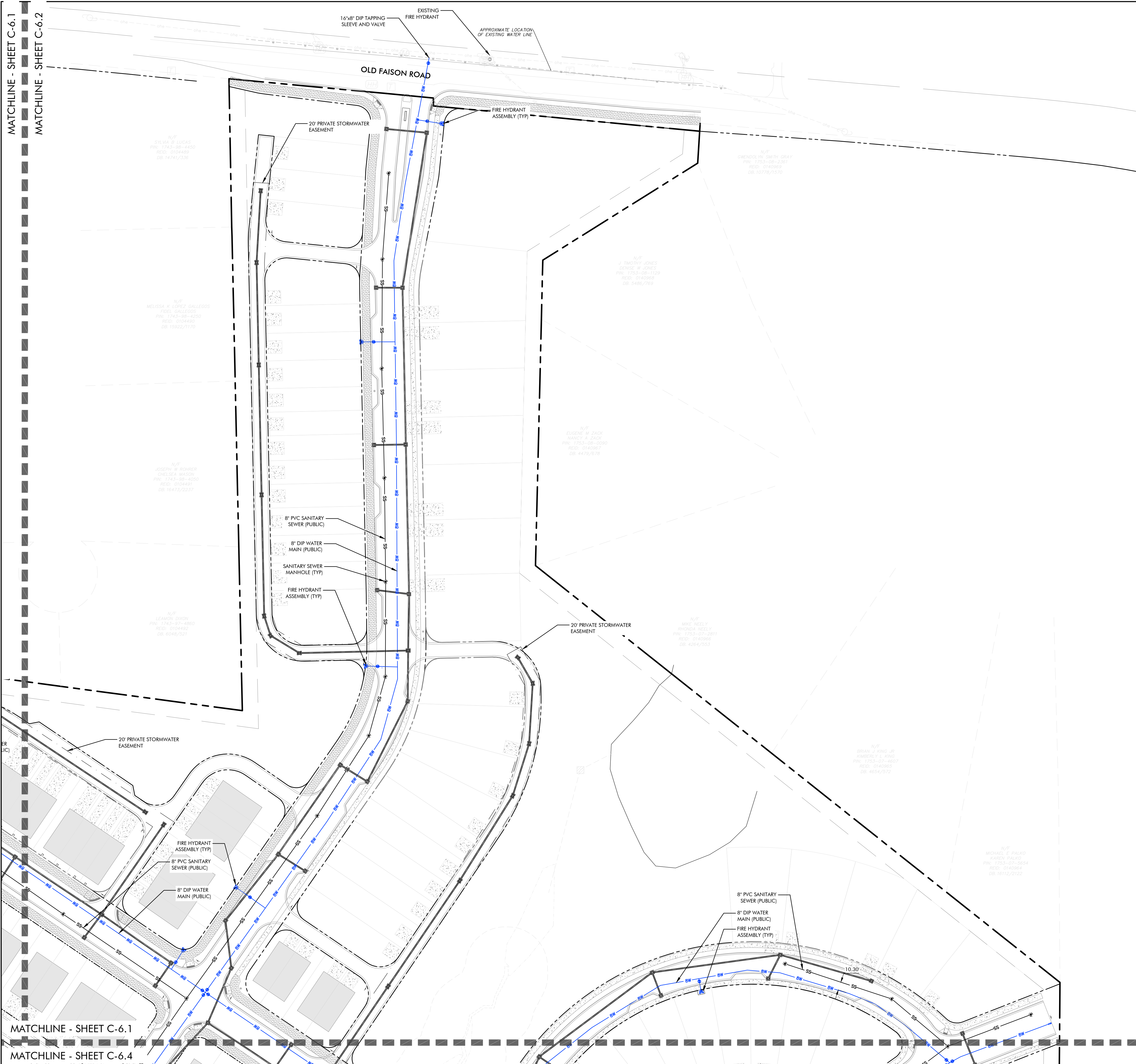
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LYNDON OAKS
Master Plan
 Utility Plan Enlargement 1
 Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:
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#2	03/05/2024		

Project No: 22-RDU-083
 Date: 03/28/2024

Sheet No:
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STANDARD UTILITY NOTES (AS APPLICABLE):

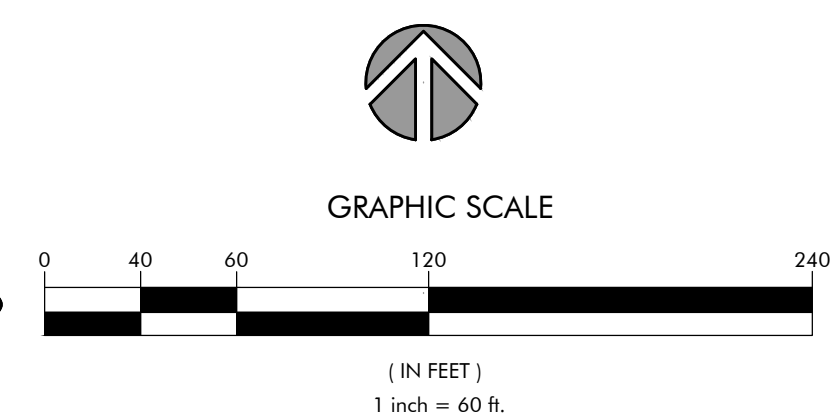
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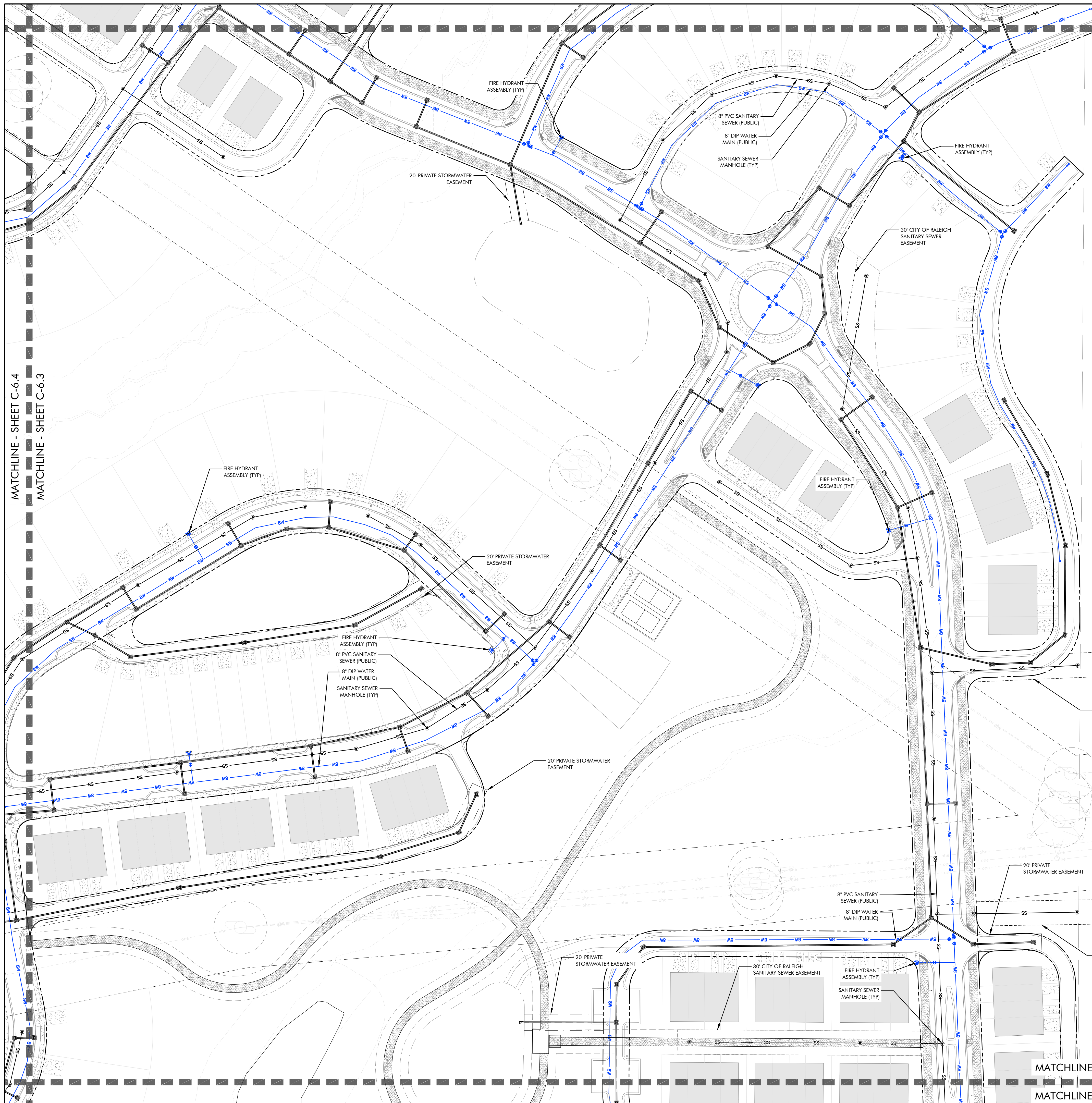
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 7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS
Master Plan
 Utility Plan Enlargement 2
 Knightdale, North Carolina

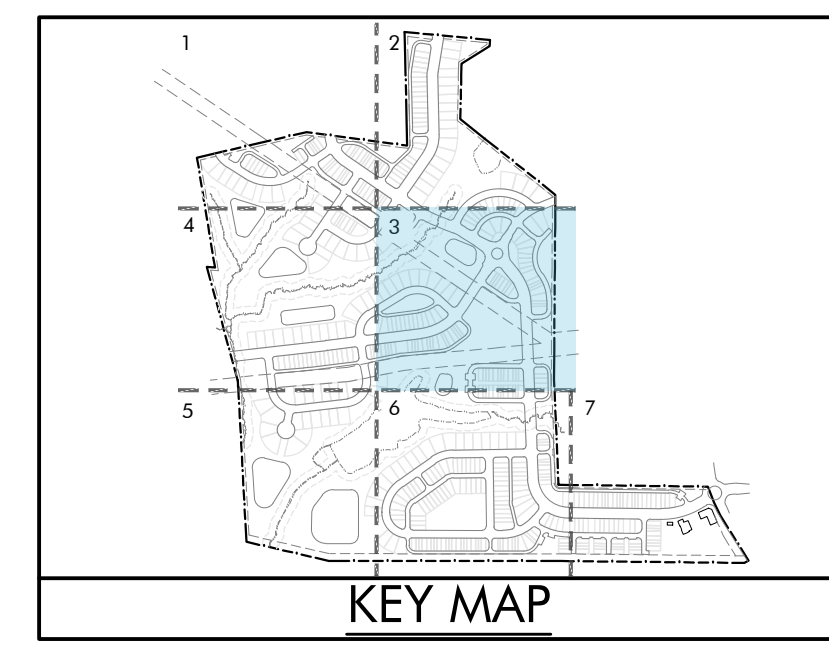
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Project No: 22-RDU-083
 Date: 03/28/2024
 Sheet No:

C-6.2



MATCHLINE - SHEET C-6.2
 MATCHLINE - SHEET C-6.3



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 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
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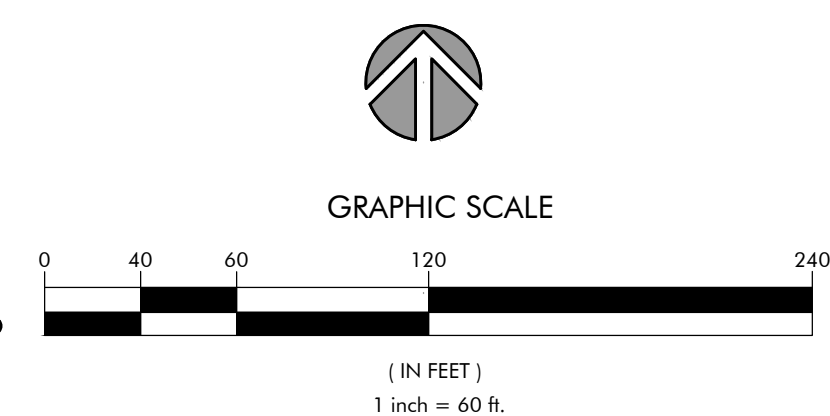
SANITARY SEWER LINES WILL MAINTAIN AT LEAST 10' OF HORIZONTAL SEPARATION FROM WATER LINES

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PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY

03/28/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS
Master Plan
 Utility Plan Enlargement 3

Knightsdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	03/05/2024		

Project No: 22-RDU-083
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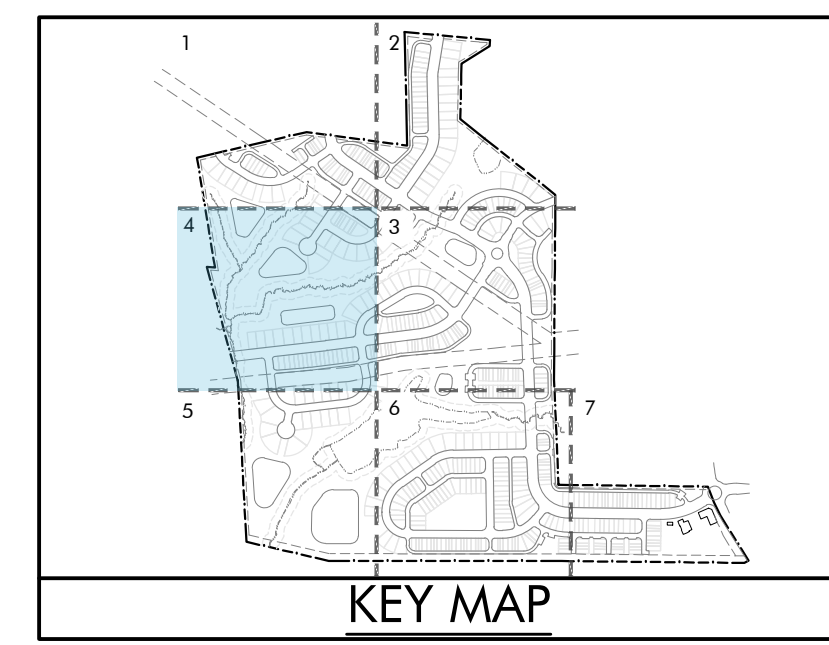
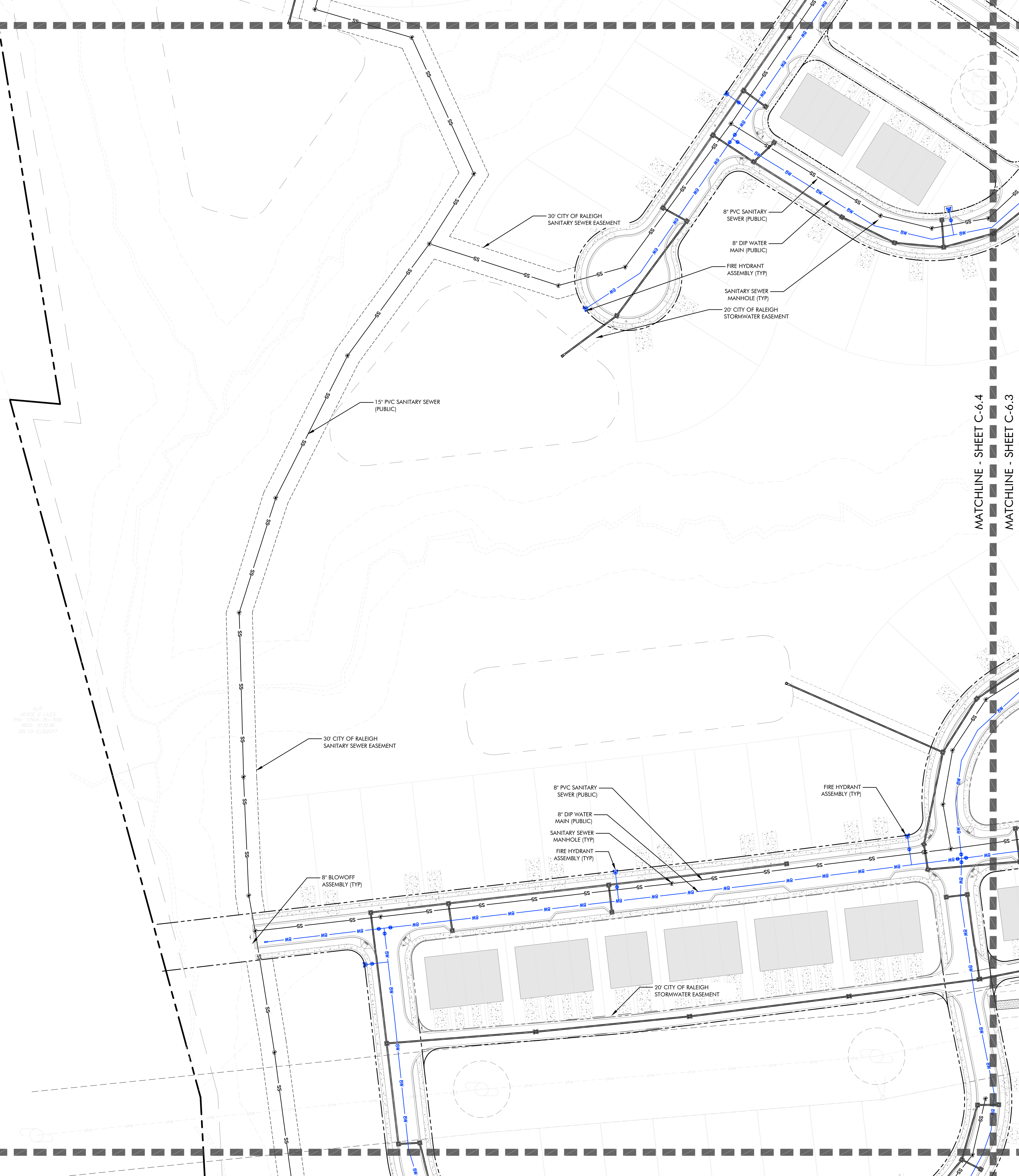
C-6.3

MATCHLINE - SHEET C-6.1

MATCHLINE - SHEET C-6.4

MATCHLINE - SHEET C-6.4

MATCHLINE - SHEET C-6.5



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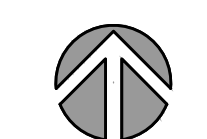
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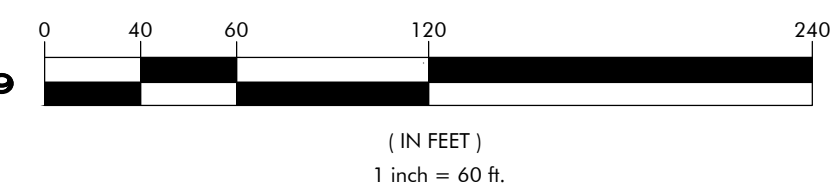
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**LYNDON OAKS
Master Plan
Utility Plan Enlargement 4**
Knightdale, North Carolina

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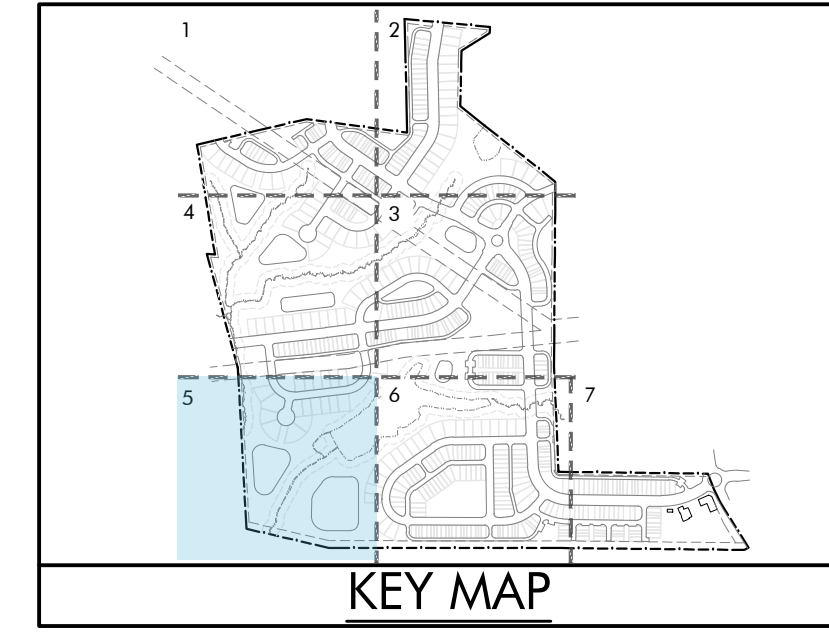
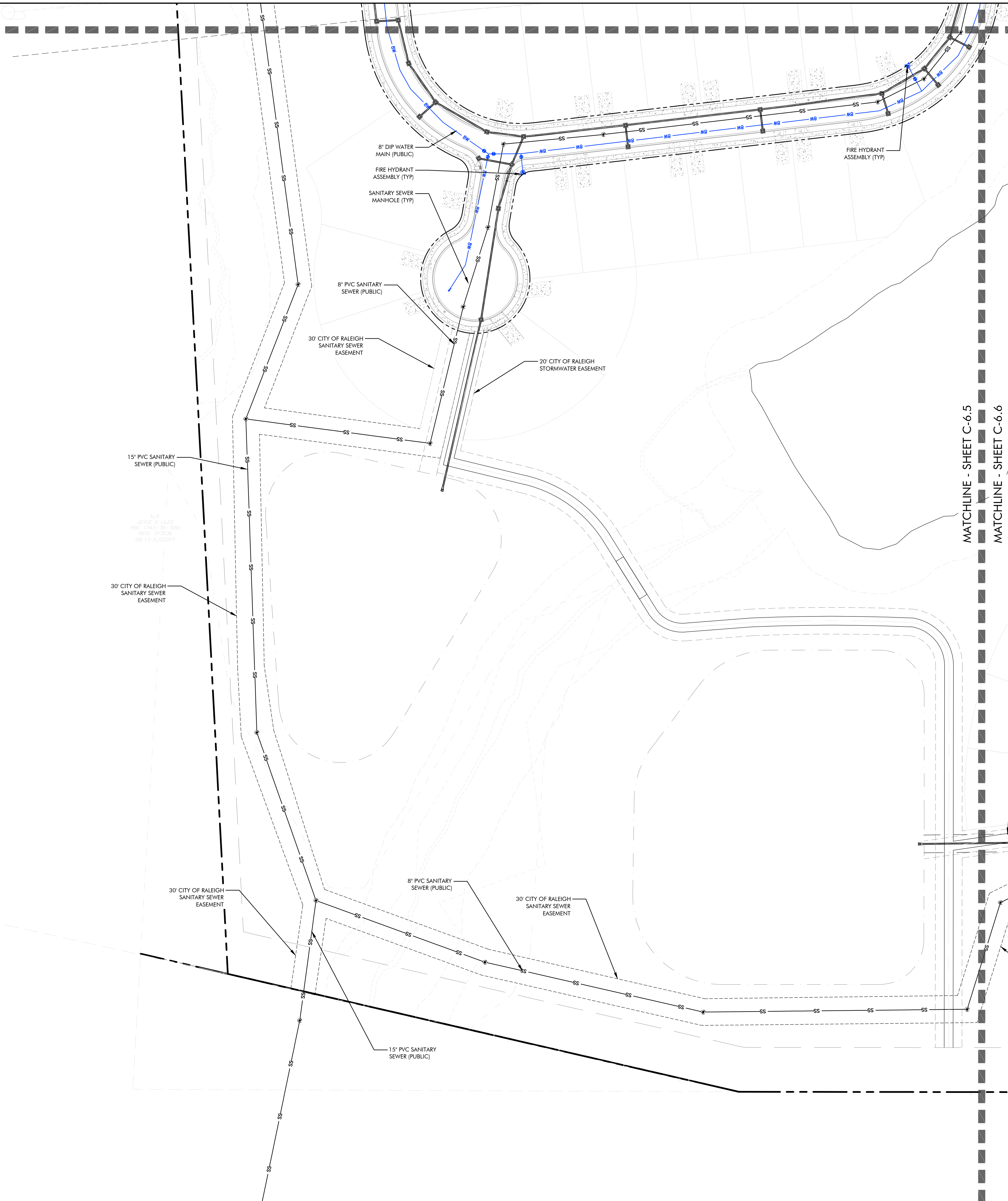
Date: 03/28/2024

Sheet No:

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MATCHLINE - SHEET C-6.4

MATCHLINE - SHEET C-6.5



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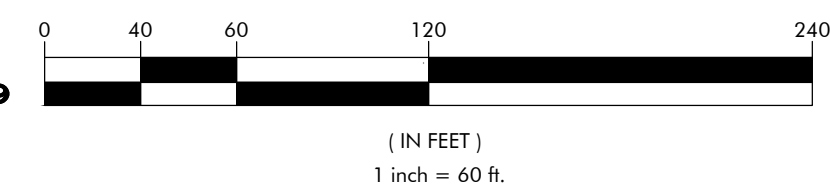
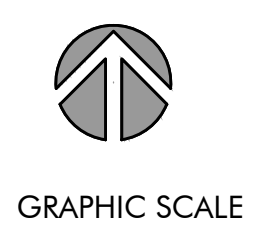
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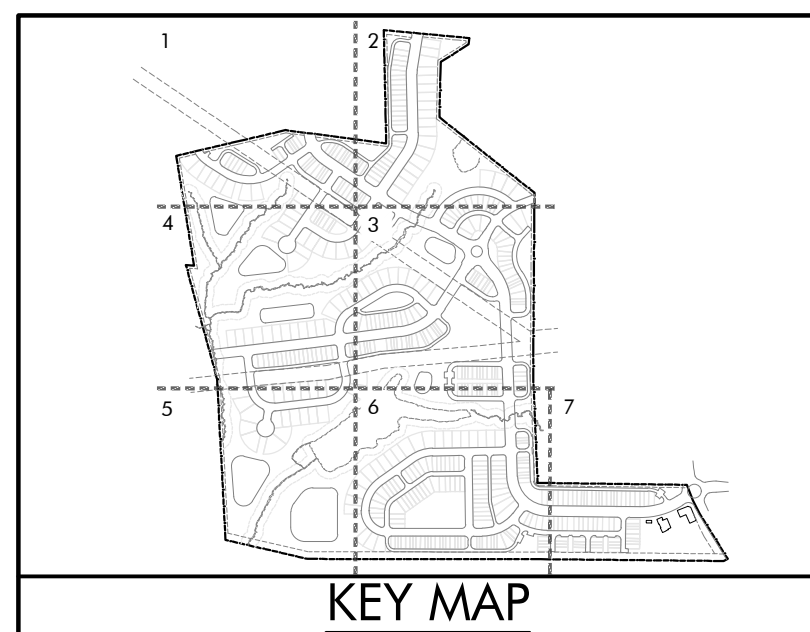
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Project No: 22-RDU-083
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C-6.5



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CANOPY TREES						
AD	16		ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	8.8	2'CAL	8' HT
AB	114		ACER SACCHARUM 'NONPARE' / NONPARE SUGAR MAPLE	8.8	2'CAL	8' HT
CA	27		CARPINUS CAROLINIANA / AMERICAN HORNBEAM	8.8	2'CAL	8' HT
GK	13		GYMNOCYCLUS DIOICA / KENTUCKY COFFEETREE	8.8	2'CAL	8' HT
LA	9		LIRODENDRON TULIPERA 'ARNOLD' / ARNOLD TULIP POPLAR	8.8	2'CAL	8' HT
QA	100		QUERCUS ACUTIFORMIS / SAWTOOTH OAK	8.8	2'CAL	8' HT
UF	106		ULMUS PARVIFLORA 'BOSQUE' TM / BOSQUE LACEBARK ELM	8.8	2'CAL	8' HT
ZG	113		ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE JAPANESE ZELKOVA	8.8	2'CAL	8' HT
UNDERSTORY TREES						
AS2	35		ACER BUERGERIANUM 'STREETWISE' / STREETWISE TRIDENT MAPLE	8.8	1.25'CAL	6' HT
AS	16		AHELANCHER LAEVIS 'SHOWCLOUD' / SHOWCLOUD ALLEGHENY SERVICEBERRY	8.8	1.25'CAL	4' HT
CT	2		CERCIS CANADENSIS 'NC2016-2' / FLAME THROWER EASTERN REDBUD	8.8	1.25'CAL	6' HT
CS	29		CORNUS KOUSA 'SATOMI' / SATOMI RED KOUSA DOGWOOD	8.8	1.25'CAL	6' HT
LW	35		LAGERSTROEMIA INDICA 'WHITE' / PINK VELOURB CRAPE MYRTLE	8.8	MULTI-STEM (3 STALKS MIN)	8' HT
LY	19		LAGERSTROEMIA X 'YUMA' / YUMA CRAPE MYRTLE	8.8	MULTI-STEM (3 STALKS MIN)	8' HT
SHRUBS						
BG	40		BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD	18'	HT	
CS2	22		CALAMAGROSTIS X ACUTIFLORA 'STRICTA' / KARL FÖRSTER FEATHER REED GRASS	18'	HT	
CA2	12		CALLICARPA AMERICANA / AMERICAN BEAUBERRY	18'	HT	
FG	19		FOTHERGILLA GARDENII / DWARF FOTHERGILLA	18'	HT	
IG	41		ILEX CRISTATA 'GREEN LUSTER' / GREEN LUSTER JAPANESE HOLLY	18'	HT	
JM	1		JUNIPERUS CHINENSIS 'MINT JULEP' / MINT JULEP JUNIPER	18'	HT	
PG	7		PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE	18'	HT	

- NOTES:**
- EXISTING PLANT MATERIAL TO BE PRESERVED IN ALL BUFFER AREAS AS PRIORITY TIER 1 TREE SAVE AREAS. WHERE SUFFICIENT MATERIAL DOES NOT MEET REQUIREMENTS, SUPPLEMENTAL PLANT MATERIAL WILL BE REQUIRED TO MEET BUFFER CAPACITY STANDARDS.
 - FINAL LOCATION OF SUPPLEMENTAL BUFFER PLANTINGS TO BE COORDINATED WHEN CONSTRUCTION DOCUMENTS ARE DEVELOPED. SEE SHEET LS-2.0 FOR TYPICAL BUFFER SECTIONS.
 - ANY REQUIRED SCREENING AREAS THAT OVERLAP WITH SIGHT DISTANCE TRIANGLES WILL WAIVE PLANTING REQUIREMENTS AND USE GROUND COVER PLANTINGS.
 - ALL SIDES OF PARKING LOTS FRONTING RIGHT-OF-WAYS WILL BE SCREENED WITH A TYPE B BUFFER YARD PER UDO.
 - IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
 - TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 6" DIAMETER MULCH RING.
 - LIMITS OF IRRIGATION INCLUDE DENOTED LANDSCAPE BEDS, ALL SOD/SEED AREAS, AND TREES NOT LOCATED IN A LANDSCAPE BED.
 - FULL LANDSCAPE SCHEDULE ON SHEET LS-2.0
 - LANDSCAPE SPECIES, LOCATION, AND QUANTITY IS SUBJECT TO CHANGE AT TIME OF CONSTRUCTION DOCUMENTS.
 - EACH SINGLE-FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF LOT AREA OR FRACTION THEREOF UP TO TWENTY THOUSAND (20,000) SQUARE FEET IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE LAND USE ADMINISTRATOR.
 - THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN SIX (6) INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
 - REQUIRED STREET TREES (UDO SECTION 7.4 (L)) MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT, APART FROM REQUIRED STREET TREES. ALL OTHER TREES SHALL BE PLANTED WITHIN THE PRIVATE LOT.
 - FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO (2) FEET IN HEIGHT PLANTED AT FOUR (4) FOOT INTERVALS.

LANDSCAPE REQUIREMENTS:

- BUFFER YARD TYPE B (PERIMETER BUFFER)**
- BUFFER TYPE: B
 - WIDTH REQD: 20' MIN.
 - WIDTH PROV: 20'
 - LENGTH: ≥ 12,730 LF TOTAL
 - REQUIRED PLANTINGS:
 - CANOPY TREES: 3 TREES/100 LF
 - UNDERSTORY TREES: 5 TREES/100 LF
 - SHRUBS: 20 SHRUBS/100 LF
 - (12,730 LF / 100 LF)(3) = 382 CANOPY TREES REQD
 - (12,730 LF / 100 LF)(5) = 637 UNDERSTORY TREES REQD
 - (12,730 LF / 100 LF)(20) = 2,546 SHRUBS REQD
 - PROPOSED PLANTINGS: EXISTING PLANT MATERIAL IN BUFFERS TO REMAIN AND BE SUPPLEMENTED TO MEET REQUIREMENTS AS STATED ABOVE
- BUFFER YARD TYPE D (PERIMETER BUFFER)**
- BUFFER TYPE: D
 - WIDTH REQD: 50' MIN.
 - WIDTH PROV: 50'
 - LENGTH: ≥ 3,486 LF
 - MIN WALL HT & OPACITY: A FULLY OPAQUE, MASONRY WALL WITH A MINIMUM HEIGHT OF SIX (6) FEET AND A MAXIMUM HEIGHT OF EIGHT (8) FEET SHALL BE PROVIDED.
 - REQUIRED PLANTINGS:
 - CANOPY TREES: 5 TREES/100 LF
 - UNDERSTORY TREES: 8 TREES/100 LF
 - SHRUBS: 35 SHRUBS/100 LF
 - (3,486 LF / 100 LF)(5) = 175 CANOPY TREES REQD
 - (3,486 LF / 100 LF)(8) = 279 UNDERSTORY TREES REQD
 - (3,486 LF / 100 LF)(35) = 1,221 SHRUBS REQD
 - PROPOSED PLANTINGS: EXISTING PLANT MATERIAL IN BUFFERS TO REMAIN AND BE SUPPLEMENTED TO MEET REQUIREMENTS AS STATED ABOVE
- STREET TREES**
- SPACING: 40' O.C. (CANOPY)
 - 30' O.C. (UNDERSTORY)
 - SPECIES: SPECIES OF EVERY OTHER TREE ALONG THE STREET FRONTAGE SHALL ALTERNATE
- OVERALL TREE CANOPY/TREE PRESERVATION (UDO SEC 7.4.M)**
- REQUIRED: A TREE COVER AREA EQUAL TO THE PERIMETER OF THE DEVELOPMENT IN FEET MULTIPLIED BY 20 SHALL BE MAINTAINED ON SITE.
 - (14,079 LF)(20) = 281,580 SF (6.46 AC) REQUIRED
 - 6.46 AC / 171.88 AC = 3.7% OF SITE
 - PROVIDED: 812,080.0 SF (18.64 AC) TREE PRESERVATION PROV.

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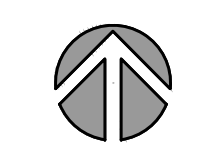
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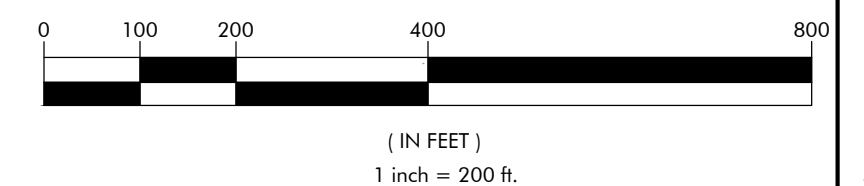
LYNDON OAKS
Master Plan
Overall Landscape Plan
Knightdale, North Carolina



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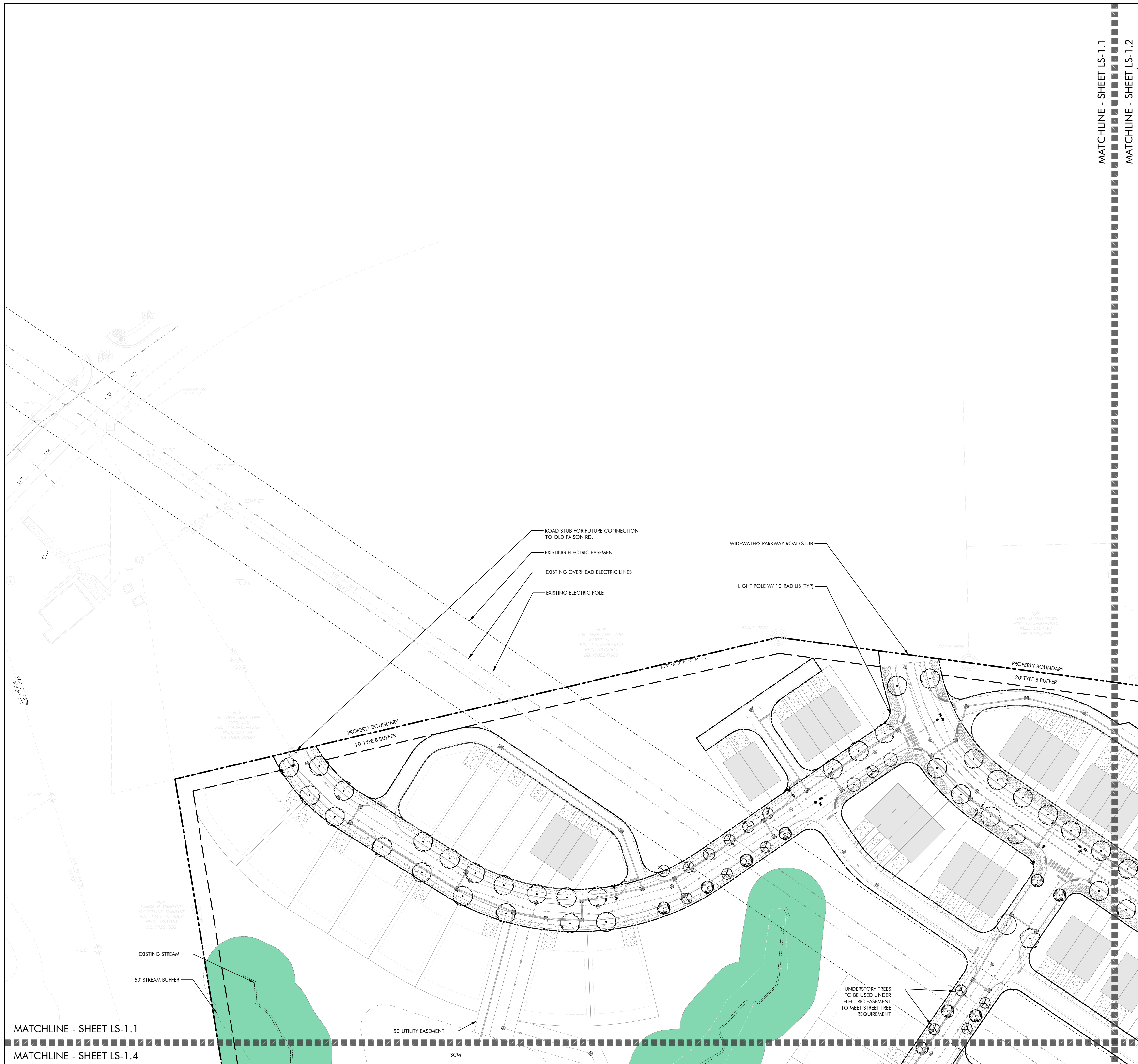


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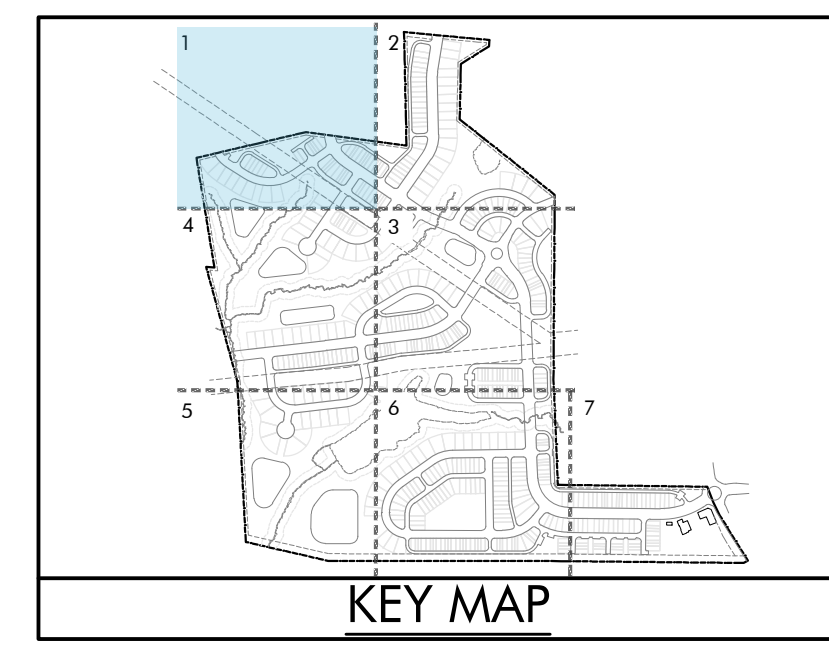
Project No: 22-RDU-083
Date: 03/28/2024
Sheet No:
LS-1.0



MATCHLINE - SHEET LS-1.1

MATCHLINE - SHEET LS-1.2

MATCHLINE - SHEET LS-1.1
 MATCHLINE - SHEET LS-1.4



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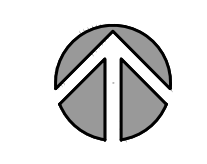
Master Plan

Landscape Plan Enlargement 1

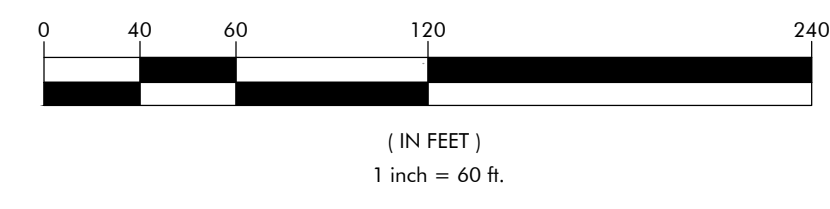
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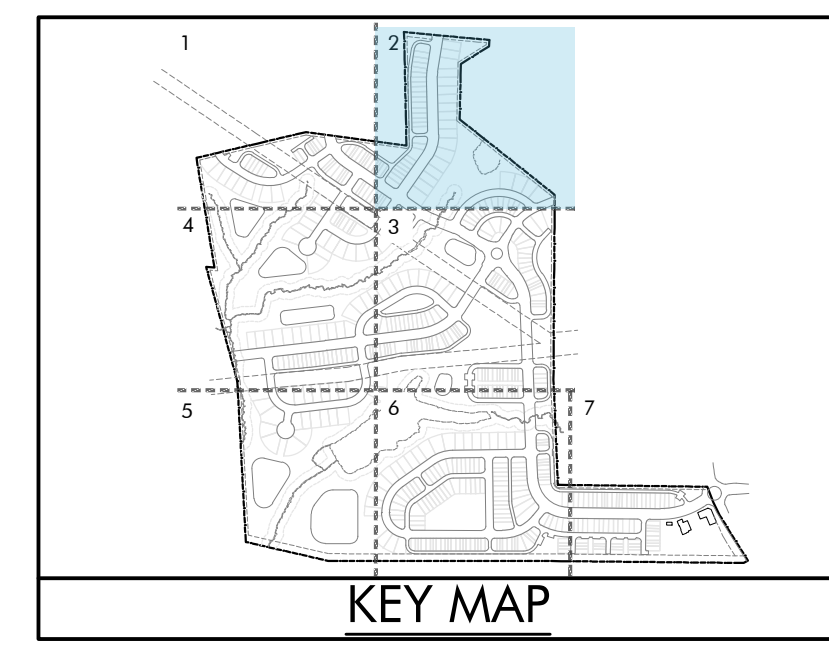
Project No: 22-RDU-083
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Sheet No:
LS-1.1



MATCHLINE - SHEET LS-1.1
 MATCHLINE - SHEET LS-1.2

MATCHLINE - SHEET LS-1.2
 MATCHLINE - SHEET LS-1.3



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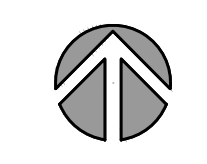
Master Plan

Landscape Plan Enlargement 2

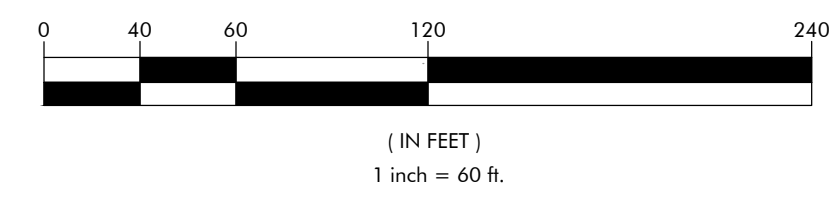
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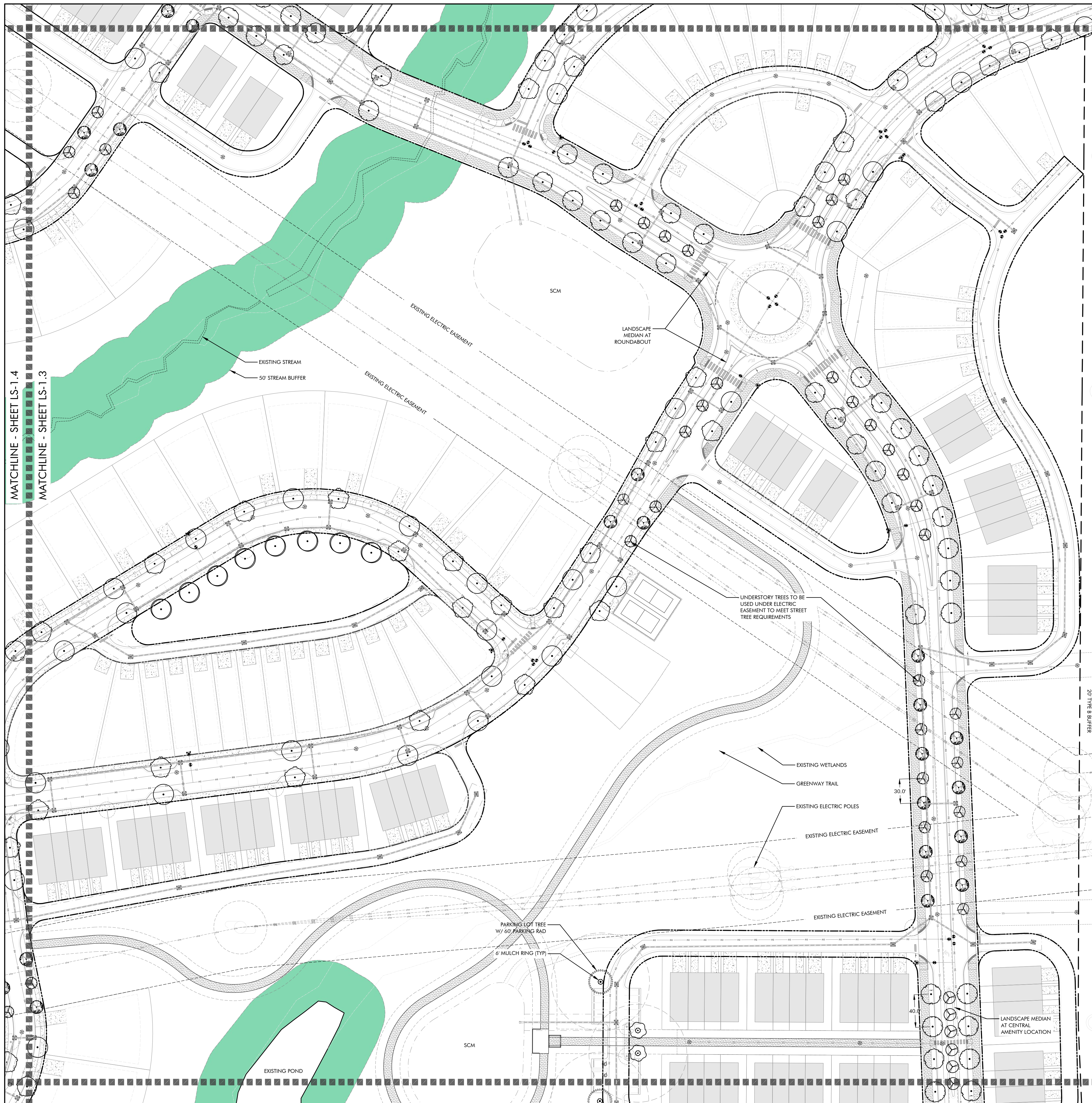
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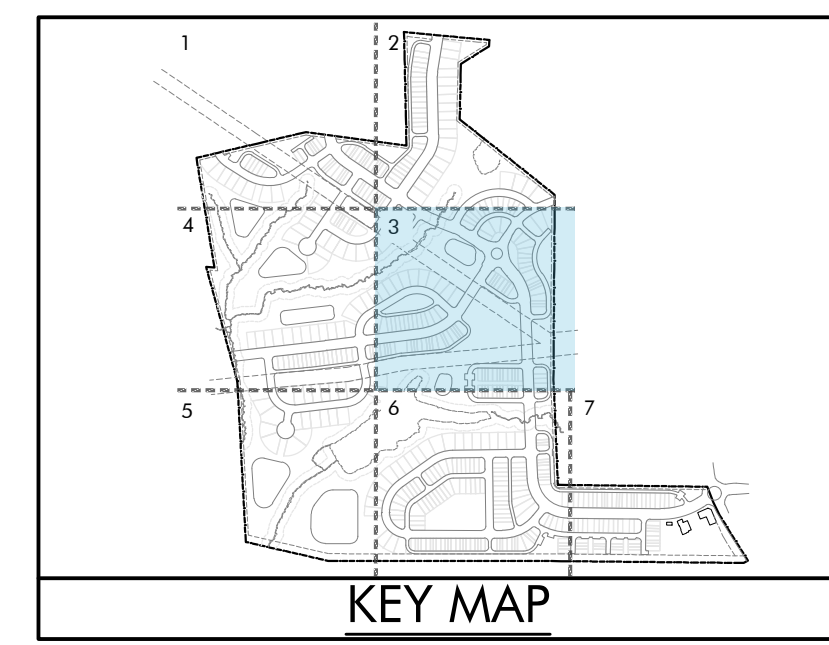
LS-1.2



MATCHLINE - SHEET LS-1.4
 MATCHLINE - SHEET LS-1.3

MATCHLINE - SHEET LS-1.2
 MATCHLINE - SHEET LS-1.3

MATCHLINE - SHEET LS-1.3
 MATCHLINE - SHEET LS-1.6



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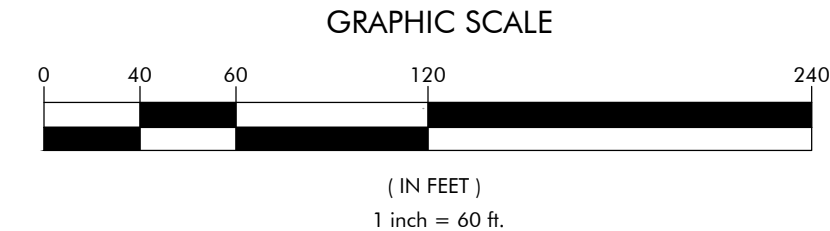
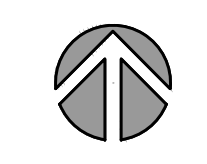
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Landscape Plan Enlargement 3

Knightsdale, North Carolina



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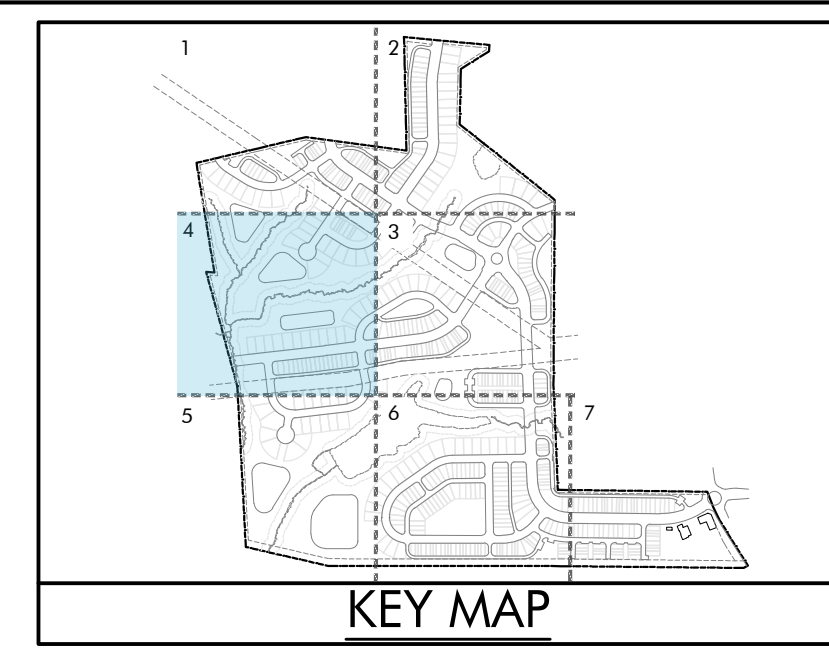
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LS-1.3

MATCHLINE - SHEET LS-1.1
MATCHLINE - SHEET LS-1.4

MATCHLINE - SHEET LS-1.4
MATCHLINE - SHEET LS-1.5



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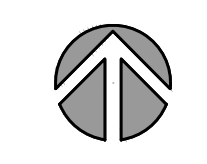
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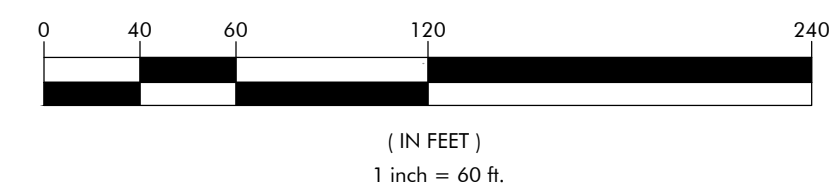
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Landscape Plan Enlargement 4
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LS-1.4

MATCHLINE - SHEET LS-1.4

MATCHLINE - SHEET LS-1.5

EXISTING CREEK

STREAM BUFFER

WETLANDS

GREENWAY TRAIL

N/A
2010 © L&L
PH: 1764-78-7081
MO: 813-556
08-13-272017

SCM

WETLANDS

TREE PRESERVATION IN STREAM BUFFER

SCM

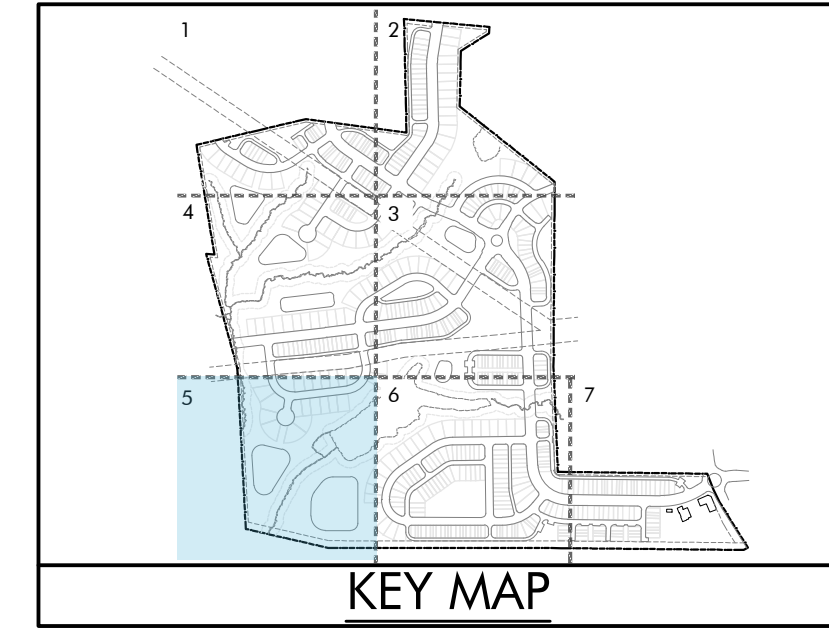
50' TYPE D BUFFER

PROPERTY BOUNDARY

EXISTING POND

MATCHLINE - SHEET LS-1.5

MATCHLINE - SHEET LS-1.6

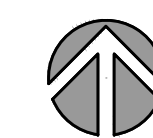


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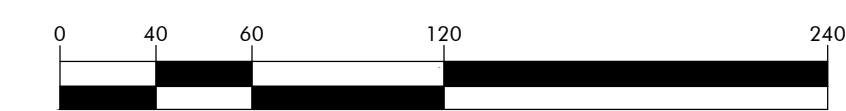
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(IN FEET)
1 inch = 60 ft.



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LYNDON OAKS

Master Plan

Landscape Plan Enlargement 5

Knightsdale, North Carolina

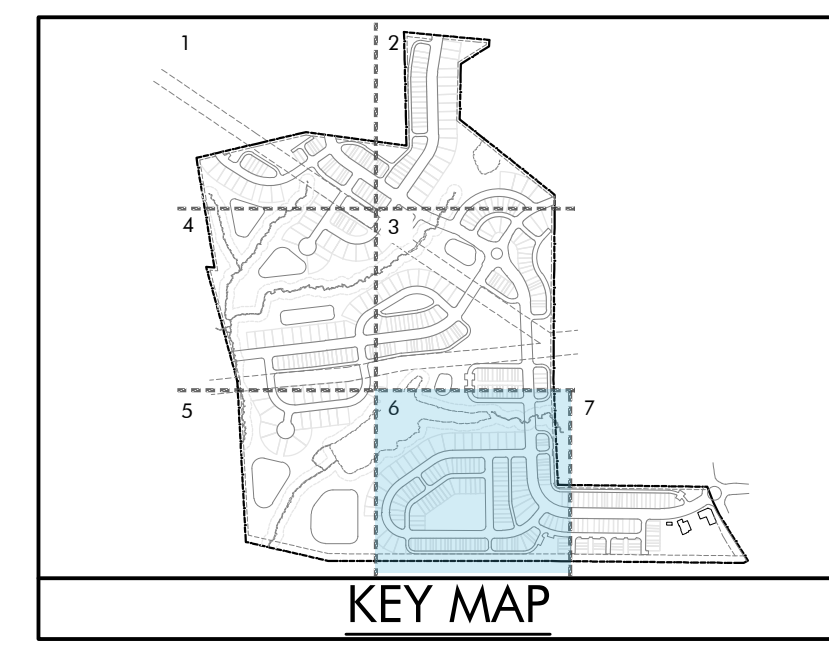
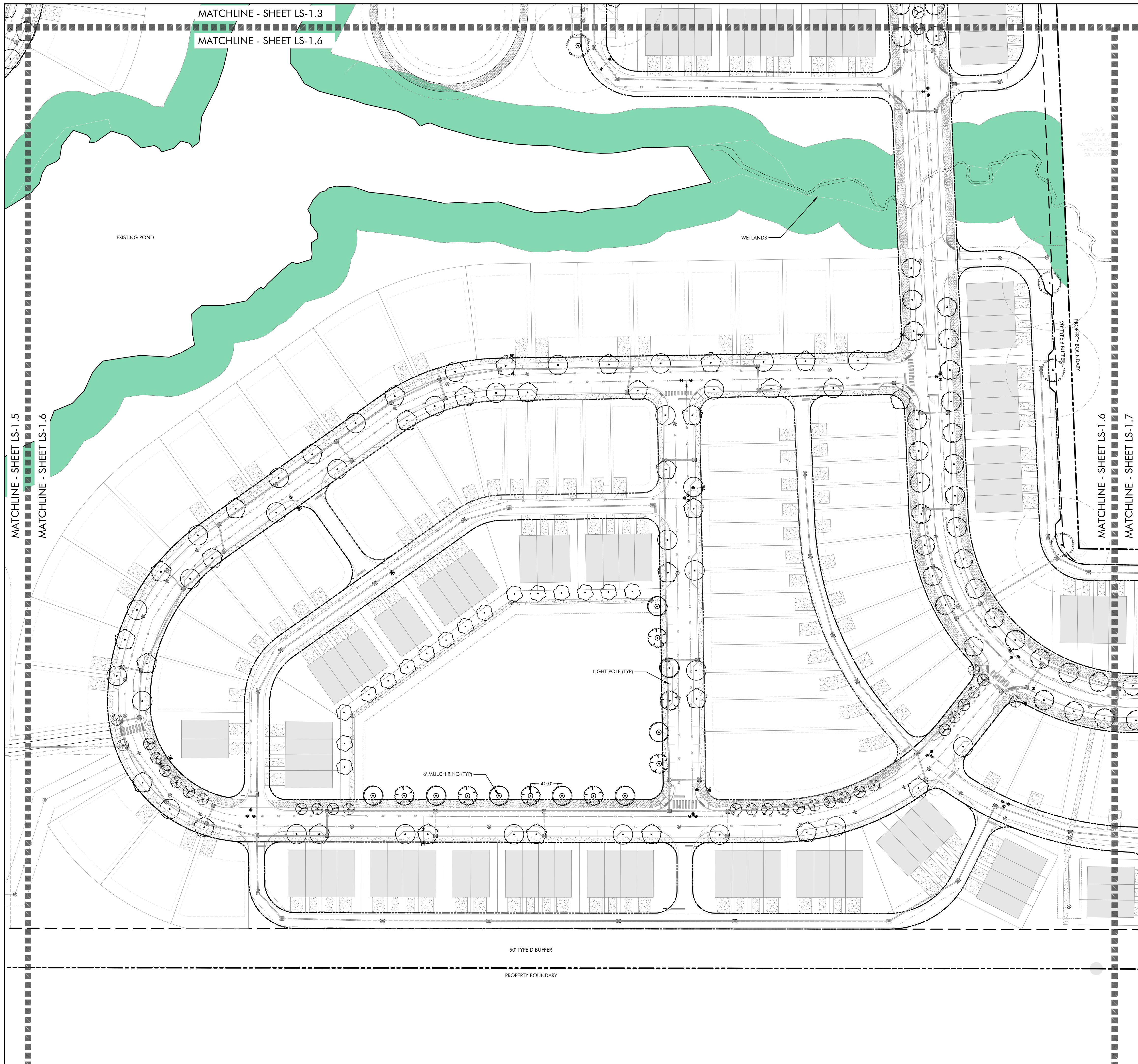
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LS-1.5



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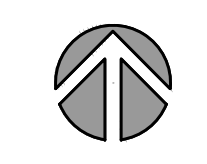
Master Plan

Landscape Plan Enlargement 6

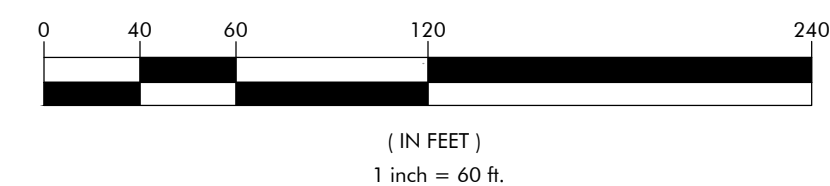
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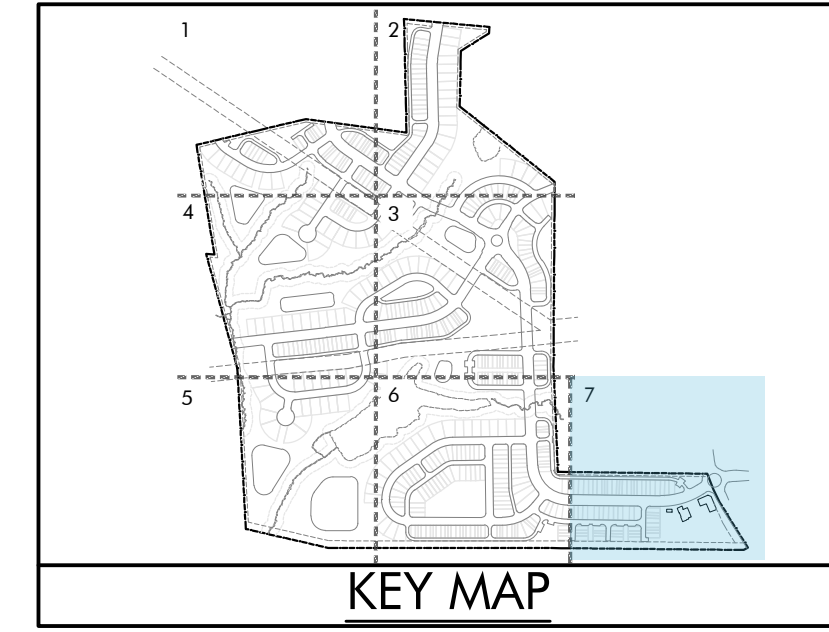
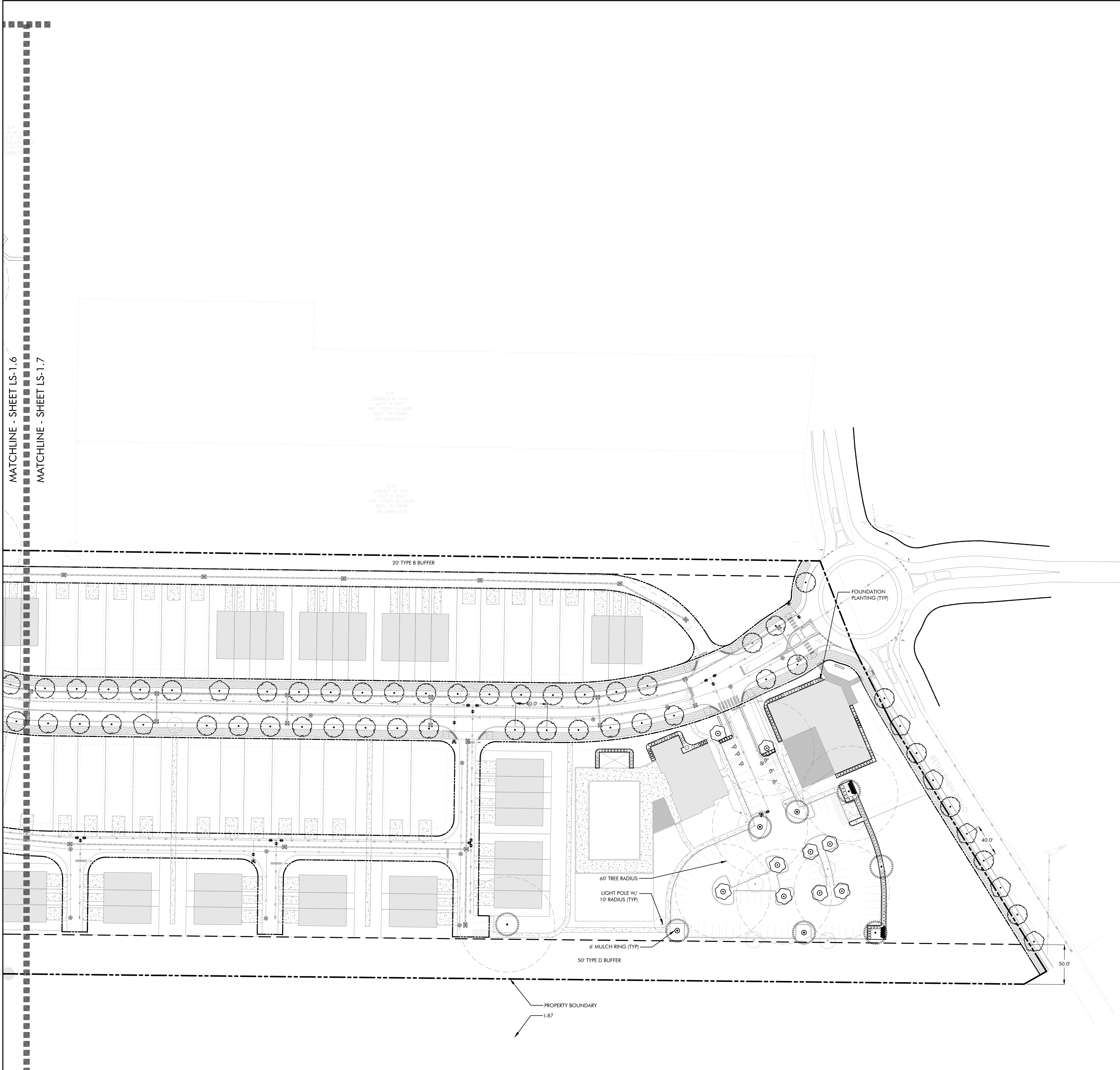
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Sheet No:
LS-1.6



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 - ANY REQUIRED SCREENING AREAS THAT OVERLAP WITH SIGHT DISTANCE TRIANGLES WILL WAIVE PLANTING REQUIREMENTS AND USE GROUND COVER PLANTINGS.
 - ALL SIDES OF PARKING LOTS FRONTING RIGHT-OF-WAYS WILL BE SCREENED WITH A TYPE B BUFFER YARD PER UDO.
 - IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
 - TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 6" DIAMETER MULCH RING.
 - LIMITS OF IRRIGATION INCLUDE DENOTED LANDSCAPE BEDS, ALL SOD/SEED AREAS, AND TREES NOT LOCATED IN A LANDSCAPE BED.
 - FULL LANDSCAPE SCHEDULE ON SHEET LS-2.0
 - LANDSCAPE SPECIES, LOCATION, AND QUANTITY IS SUBJECT TO CHANGE AT TIME OF CONSTRUCTION DOCUMENTS.



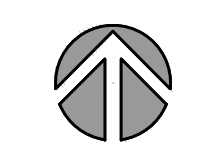
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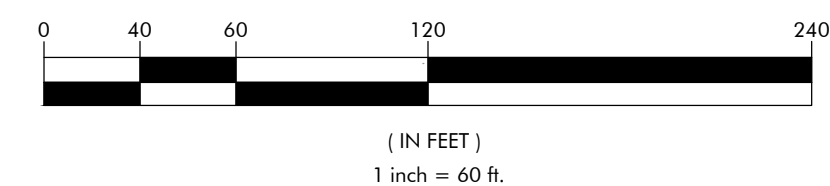
LYNDON OAKS
Master Plan
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GRAPHIC SCALE



NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	02/05/2024		

Project No: 22-RDU-083
 Date: 03/28/2024

Sheet No:
LS-1.7

GENERAL PLANTING NOTES

PLANT MATERIAL

- REQUIRED PLANTINGS SHALL MEET ALL REQUIREMENTS SET FORTH IN THE TOWN OF KNIGHTDALE UDO.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GRIDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/4" INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED.
- SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY THE UDO.
- ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
- ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE TOWN ARBORIST AND/OR NCDOT.

TOWN OF KNIGHTDALE RESIDENTIAL LANDSCAPING & PLANT NOTES (UDO 7.4.K.)

- EACH SINGLE FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF 1 CANOPY TREE FOR EVERY 2,000 SQUARE FEET OF LOT AREA OR FRACTION THEREOF UP TO 20,000 SF IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE LAND USE ADMINISTRATOR.
- THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN 6 INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
- REQUIRED STREET TREES MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT. APART FROM REQUIRED STREET TREES, ALL OTHER TREES REQUIRED UNDER THIS CHAPTER SHALL BE PLANTED WITHIN THE PRIVATE LOT.
- FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF 2 FEET IN HEIGHT PLANTED AT 4 FOOT INTERVALS.

TOWN OF KNIGHTDALE INSTALLATION AND MAINTENANCE STANDARDS

- LANDSCAPING SHOULD BE OF SUFFICIENT SIZE SO THAT MATURE APPEARANCE WILL BE ACHIEVED WITHIN THREE (3) YEARS OF INSTALLATION FOR SHRUBS AND WITHIN FIVE (5) YEARS OF INSTALLATION FOR TREES.
- MINIMUM SIZE OF PLANTINGS AS FOLLOWING:
 - EVERGREEN TREES: 6' HEIGHT MIN. & 2" CAL. MIN.
 - MULTI-STEMMED TREES: 8' HEIGHT MIN. & 3 STALKS MIN.
 - CANOPY TREES: 8' HEIGHT MIN. & 2" CAL. MIN.
 - UNDERSTORY TREES: 6' HEIGHT MIN. & 1.25" CAL. MIN.
 - SHRUBS: 18" HEIGHT MIN. & 12" SPREAD MIN. (3 GAL)
 - GROUNDCOVERS: 4" SPREAD MIN. (1.5"-2.5" POTS)
- AT A MINIMUM, THE SPECIES OF EVERY OTHER TREE ALONG THE STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE DIVERSITY AS DEEMED APPROPRIATE BY THE LAND USE ADMINISTRATOR.
- A MINIMUM OF 75% OF THE LANDSCAPE FEATURES UTILIZED ON A PARCEL THAT IS GREATER THAN 5 ACRES SHALL BE DROUGHT AND SALT TOLERANT NATIVE SPECIES.
- TOTAL LANDSCAPE FEATURES, EXCLUDING TURF, SHALL NOT BE COMPRISED OF MORE THAN 20% OF ANY SINGLE SPECIES OR 25% OF ANY GENUS.
- ALL NEW TREES SHALL BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.

UTILITY & EASEMENTS

- WHERE A CANOPY TREE IS REQUIRED AND OVERHEAD UTILITY LINES EXIST, TWO (2) UNDERSTORY TREES SHALL BE SUBSTITUTED WITH THE APPROVAL OF THE LAND USE ADMINISTRATOR.
- IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY SPECIALIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
- IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING OR PROPOSED UNDERGROUND UTILITIES. CANOPY TREES SHALL BE PLACED AT LEAST 10 FEET FROM LIGHT POLES, AND 12 FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED. UNDERSTORY TREES MAY BE PLACED WITHIN 5 FEET OF SUCH DEVICES.
- NOTHING SHALL BE PLANTED OR INSTALLED WITHIN AN UNDERGROUND OR OVERHEAD UTILITY EASEMENT WITHOUT CONSENT OF THE TOWN.
- ALL UNDERGROUND UTILITIES SHALL BE LOCATED BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UNDERGROUND OR OVERHEAD UTILITY LINES.

TOPSOIL/PLANTING MIX - MINIMUM REQUIREMENTS:

- WHERE PAVEMENT CUTOFFS ON RENOVATED SITES ARE REQUIRED AND/OR WHERE NEW PLANTING STRIPS OR ISLANDS ARE REQUIRED, ALL PAVEMENT CONSTRUCTION DEBRIS AND GRAVEL SUB-BASE MUST BE REMOVED BEFORE PREPARING SOIL AND PLANTING TREES. EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITH 2" OF TOPSOIL/PLANTING MIX. OR EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET TOPSOIL STANDARDS FOR THE ENTIRE PLANTING AREA.
- SOIL IN ALL PLANTING STRIPS OR ISLANDS, WHETHER EXISTING OR NEW/ON NEW OR RENOVATED SITES), MUST MEET THE MINIMUM TOPSOIL/PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH TOPSOIL/PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE ORIGINAL TOPSOIL IS OF POOR QUALITY. HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DURING GRADING.
- TOPSOIL/PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT, WITH ADMIXTURE OF SUBSOIL. IT SHOULD BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. TOPSOIL SHOULD NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
- TOPSOIL/PLANTING MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5-7.0 AND THE FOLLOWING COMPOSITION:
 - CLAY (RED CLAY, WELL PULVERIZED) MIN 10% MAX 35%
 - COMPOST/ORGANIC MIN 5% MAX 10%
 - SILT MINIMUM 30% MAX 50%
 - COARSE SAND (FREE OF ROCKS, 0.5 TO 1.0 MM Ø) MIN 30% MAX 45%

- *ORGANIC MATERIAL SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS.
- ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO INSURE PROPER TREE GROWTH AND SURVIVAL. THE FOLLOWING LEVEL OF NUTRIENT ELEMENTS IS RECOMMENDED FOR PROPER GROWTH:
 - *CALCIUM 55 - 80%
 - *MAGNESIUM 10 - 30%
 - *POTASSIUM 5 - 8%

GENERAL PLANTING NOTES:

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF QUANTITIES AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVARS AND/OR VARIETIES AS INDICATED ON THE PLANT SCHEDULE. ANY SUBSTITUTIONS INSTALLED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL BE REJECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIALS DUE TO ON SITE CONDITIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO LANDSCAPE ARCHITECTS APPROVAL ARE SUBJECT TO RELOCATION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL BE SPECIMEN QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY STOCK AND SHALL CONFORM TO THE CODE OF STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- HEIGHT AND SPREAD DIMENSION SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50% OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL HAVE A STRONG CENTRAL LEADER UNLESS OTHERWISE SPECIFIED.
- LEAVES MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCESSION PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
- PROVIDE 4" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE SINGLE HAMMERED HARDWOOD MULCH (UNLESS NOTED OTHERWISE). IT SHALL BE CLEAN, FRESH, AND FREE OF STICKS, BRANCHES, SOIL OR OTHER FOREIGN MATERIAL.
- BACKFILL PLANTING MIXTURE SHALL BE ONE PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR SHRUB BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT AT NURSERY OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BID SUBMITTAL IF REQUESTED BY LANDSCAPE ARCHITECT OR OWNER.
- THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL PROVIDE ONE COPY OF THE TEST RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED AS INDICATED BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
- FERTILIZER SHALL BE A COMPLETE FERTILIZER; 50% OF NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREAFORM. FERTILIZER

SHALL BE DELIVERED TO THE SITE IN STANDARD SIZE UNOPENED CONTAINERS WHICH SHOW THE WEIGHT, CHEMICAL ANALYSIS, AND MANUFACTURER. IT SHALL BE STORED IN A DRY LOCATION UNTIL ITS USE. FERTILIZER FOR TREES, SHRUBS, AND GROUND COVER AREAS SHALL BE A SLOW RELEASE TYPE AND SHALL BE APPLIED AS FOLLOWS:

TREES AND SHRUBS
 MARCH-MAY 10-10-10
 JUNE-OCTOBER 6-10-10
 NOVEMBER-FEBRUARY 6-12-12

SHRUBS: 1/2 LB / INCH HEIGHT
TREES: 1 LB / INCH CALIPER

LANDSCAPE CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL TREE PITS. IF PITS DO NOT DRAIN WITHIN 30 MINUTES, CONTACT LANDSCAPE ARCHITECT AND DO NOT PLANT THE TREE WITHOUT ON SITE INSPECTION OF DRAINAGE. LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SUBSURFACE DRAIN LINES FROM THE TREE PITS.

IF SURFACE DRAINAGE IS NOT SUFFICIENT (STANDING WATER) NOTIFY LANDSCAPE ARCHITECT IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANTS.

CERTIFICATE OF INSPECTION AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION OF PLANT MATERIALS SHALL ACCOMPANY EACH INVOICE FOR EACH SHIPMENT OF PLANTS. CERTIFICATES SHALL BE FILED WITH LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF MATERIAL. INSPECTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE MATERIAL BY THE LANDSCAPE ARCHITECT.

ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SUPPLIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THIS PROJECT.

CONTRACTORS PRICES SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (i.e. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.).

THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. WITHIN TEN DAYS NOTICE BY THE CONTRACTOR OF SUBSTANTIAL COMPLETION THE LANDSCAPE ARCHITECT WILL INSPECT THE PROPERTY. HE WILL EITHER APPROVE THE WORK FOR THE OWNERS ACCEPTANCE OR WILL ISSUE A "PUNCH LIST" OF ITEMS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS SOON AS THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.

AMENDED SOIL MEDIA REQUIREMENTS: A PLANTING MIX MAY BE DEVELOPED THAT WILL BE AN ACCEPTABLE PLANTING MEDIA BY AMENDING THE EXISTING SOIL OR BY REMOVING THE EXISTING SOIL AND REPLACING IT WITH NEW PLANTING MIX. THE PLANTING MIX SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEOUS MATTER. IT SHALL CONTAIN NO MANMADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.

*NOTE: CONTRACTOR TO PROVIDE TEST SAMPLES OF AMENDED SOIL WITH TESTING DATA FOR ALL BED AREAS AMENDED ON SITE. TEST SAMPLES SHALL FALL WITHIN TOLERANCES SHOWN ABOVE. PLANTING SHALL NOT BEGIN UNTIL SOIL HAS BEEN AMENDED AND SOIL TEST SAMPLES HAVE BEEN REVIEWED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY	SITE PLANTING	STREET TREES	CONT	CAL	SIZE
CANOPY TREES								
AO	ACER RUBRUM	'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	16		16	B & B	2" CAL	8' HT
AB	ACER SACCHARUM	'BOHNIRE' / BOHNIRE SUGAR MAPLE	114		114	B & B	2" CAL	8' HT
CA	CARPINUS CAROLINIANA	'AMERICAN HORNEBAM'	27	11	16	B & B	2" CAL	8' HT
GK	GYMNOCLADUS DIOICA	'KENTUCKY COFFEETREE'	13	13				
LA	LIRIODENDRON TULIPIFERA	'ARNOLD' / ARNOLD TULIP POPLAR	9		9	B & B	2" CAL	8' HT
QA	QUERCUS ACUTISSIMA	'SAWTOOTH OAK'	100		100	B & B	2" CAL	8' HT
UF	ULMUS PARVIFLORA	'ROSGUE' TM / ROSGUE LACEBARK ELM	106		106	B & B	2" CAL	8' HT
ZG	ZELKOVA SERRATA	'GREEN VASE' / GREEN VASE JAPANESE ZELKOVA	113		113	B & B	2" CAL	8' HT
UNDERSTORY TREES								
AJ2	ACER BURGERSIANUM	'SWEETBEE' / SWEETBEE TRIDEND MAPLE	35		35	B & B	1.25" CAL	6' HT
AS	AMELANCHIER LAEVIS	'SNOWCLOUD' / SNOWCLOUD ALLEGHENY SERVICEBERRY	15		15	B & B	1.25" CAL	6' HT
CT	CERCIS CANADENSIS	'NC2016-2' / FLAME THROWER EASTERN REDBUD	2		2	B & B	1.25" CAL	6' HT
CS	CORNUS KOUSA	'SATOMI' / SATOMI RED KOUSA DOGWOOD	29		29	B & B	1.25" CAL	6' HT
LW	LAGERSTROEMIA INDICA	'WHIT IF' / PINK VELOUR CRAPE MYRTLE	35		35	B & B	MULTI-STEM (3 STALKS MIN)	8' HT
LY	LAGERSTROEMIA X 'YUMA'	'YUMA CRAPE MYRTLE'	19		19	B & B	MULTI-STEM (3 STALKS MIN)	8' HT
SHRUBS								
BG	BUXUS 'GREEN GEM'	'GREEN GEM BOXWOOD'	40	40				18" HT
CS2	CALAMAGROSTIS X ACUTIFLORA	'STRICTA' / KARL FOEBSTER FEATHER REED GRASS	22	22				18" HT
CA2	CALLICARPA AMERICANA	'AMERICAN BEAUTYBERRY'	12	12				18" HT
FG	FOTHERGILLA GARDENI	'DWARF FOTHERGILLA'	19	19				18" HT
IG	ILEX CRENATA	'GREEN LUSTRE' / GREEN LUSTRE JAPANESE HOLLY	61	61				18" HT
JM	JUNIPERUS CHINENSIS	'MINT JULEP' / MINT JULEP JUNIPER	1	1				18" HT
PG	PICEA PUNGENS	'GLOBOSA' / DWARF GLOBE BLUE SPRUCE	7	7				18" HT



150 Fayetteville st ste 1310
 Raleigh, nc 27601
 + 919.275.5002
 urbandesignpartners.com

nc firm no: P-2671 sc cda no: C-0344

PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY

03/28/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS
Master Plan
 Landscape Details
 Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	02/05/2024		

Project No: 22-RDU-083

Date: 03/28/2024

Sheet No:

LS-2.0

BUFFER INFORMATION

BUFFER NOTES:

- EXISTING PLANT MATERIAL TO BE PRESERVED IN ALL BUFFER AREAS AS PRIORITY TIER 1 TREE SAVE AREAS. WHERE SUFFICIENT MATERIAL DOES NOT MEET REQUIREMENTS, SUPPLEMENTAL PLANT MATERIAL WILL BE REQUIRED TO MEET BUFFER OPACITY STANDARDS.
- FINAL LOCATION OF SUPPLEMENTAL BUFFER PLANTINGS TO BE COORDINATED WHEN CONSTRUCTION DOCUMENTS ARE DEVELOPED.
- ALL SIDES OF PARKING LOTS FRONTING RIGHT-OF-WAYS WILL BE SCREENED WITH A TYPE B BUFFER YARD PER UDO.
- TYPICAL SECTIONS SHOWN BELOW ARE GRAPHIC IN NATURE AND SUBJECT TO CHANGE AT THE TIME OF CONSTRUCTION DOCUMENTS. PLANT LAYOUT AND QUANTITIES WILL BE DETERMINED WHEN CONSTRUCTION DOCUMENTS ARE DEVELOPED.

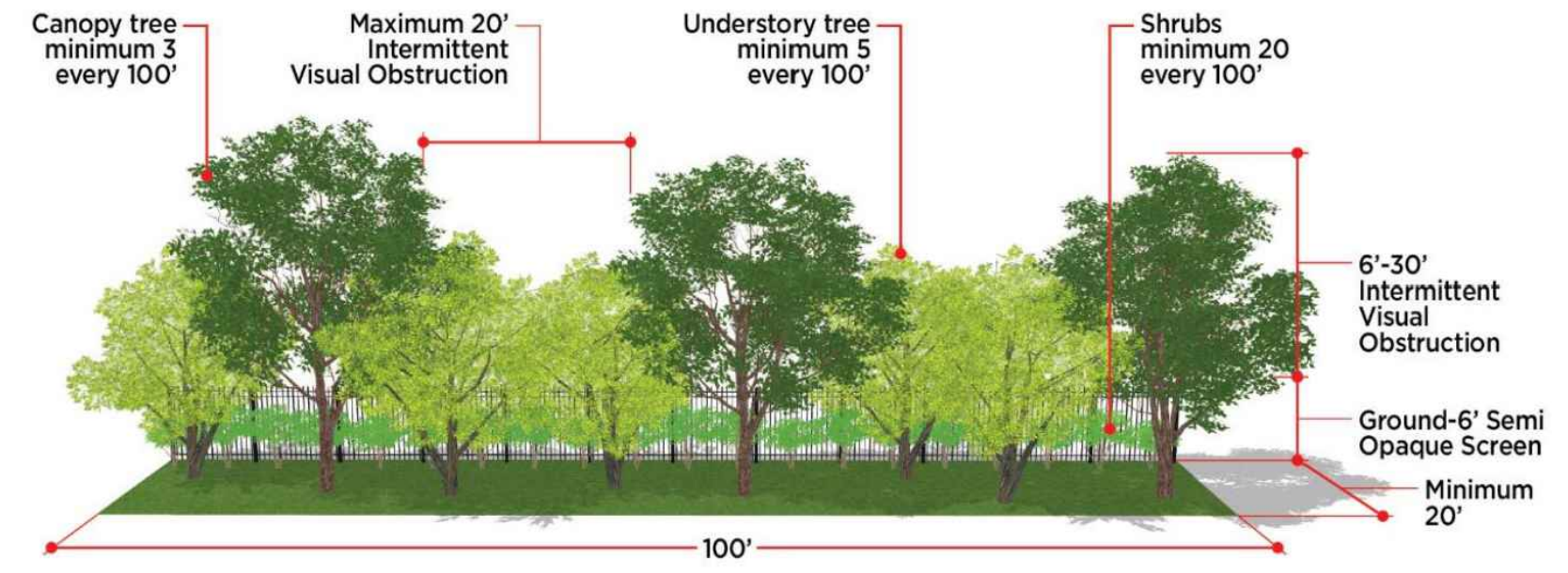
EVERGREEN VS. DECIDUOUS BUFFER REQUIREMENTS
 - CANOPY TREES: 40% MIN. - 60% MAX. MUST BE EVERGREEN
 - UNDERSTORY TREES: 40% MIN. - 60% MAX. MUST BE EVERGREEN
 - SHRUBS: 80% MIN. MUST BE EVERGREEN

TYPE B BUFFER YARD STANDARDS (UDO SEC. 7.4.1.2)

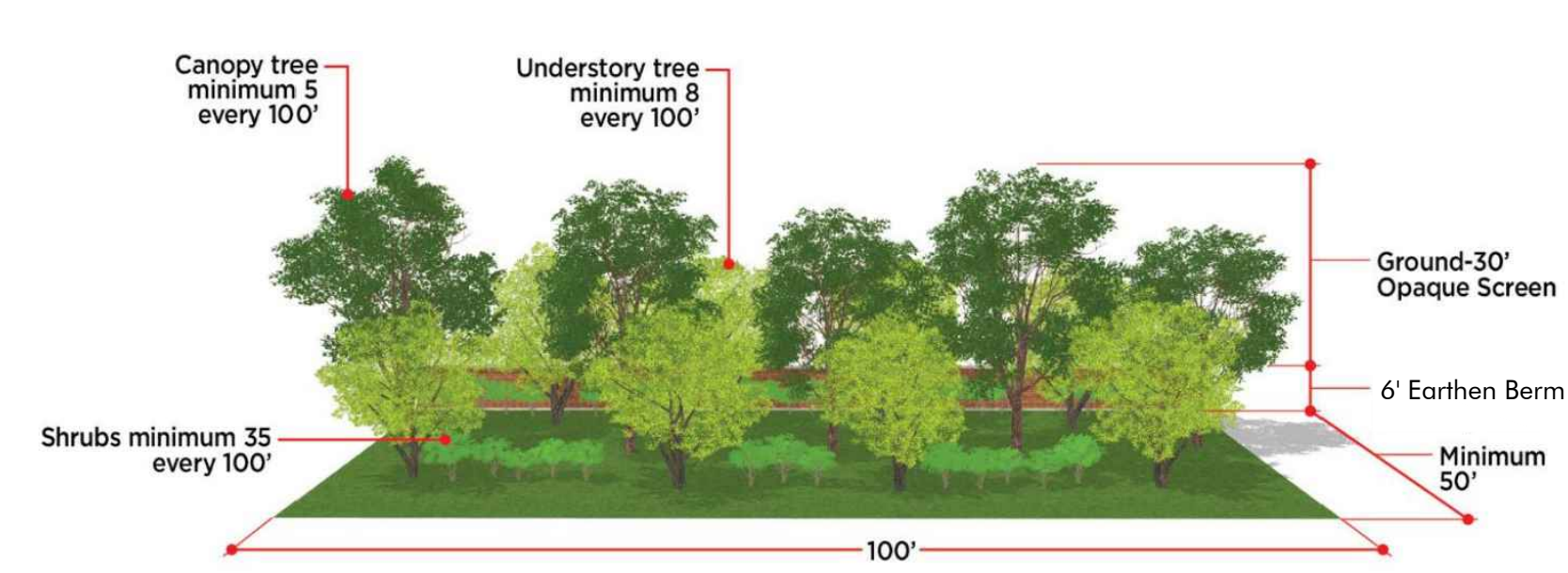
- *WIDTH: 20' MIN.
- *HEIGHT/OPACITY:
 - GROUND TO 6' SEMI-OPAQUE SCREEN
 - 6'-30' INTERMITTENT VISUAL OBSTRUCTION
- *REQUIRED PLANTINGS:
 - CANOPY TREES: 3 TREES/100 LF
 - UNDERSTORY TREES: 5 TREES/100 LF
 - REQUIRED SHRUBS: 20 SHRUBS/100 LF

TYPE D BUFFER YARD STANDARDS (UDO SEC. 7.4.1.2)

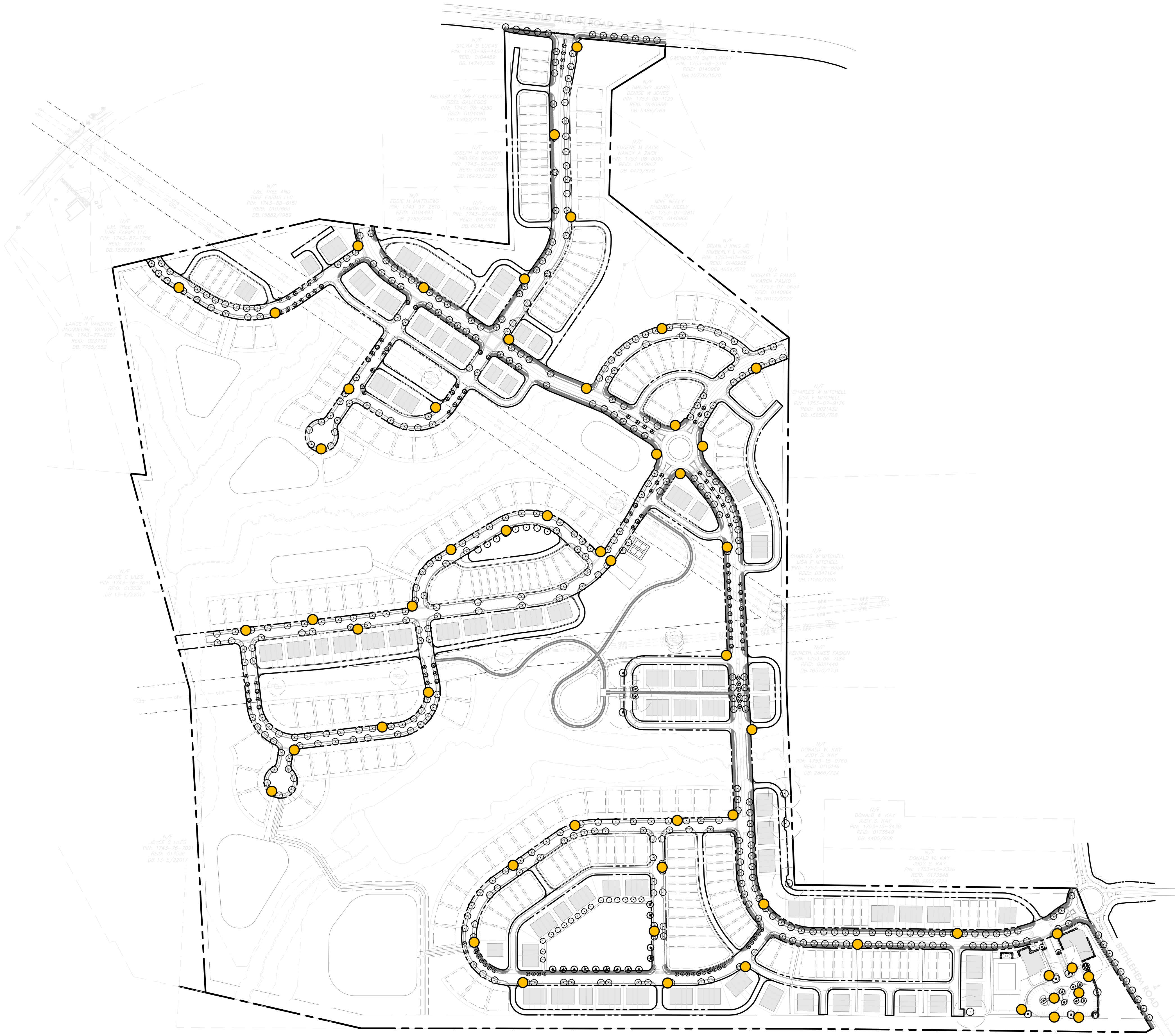
- *WIDTH: 50' MIN.
- *HEIGHT/OPACITY:
 - GROUND TO 30' OPAQUE SCREEN
 - GROUND TO 6' EARTHEN BERM W/ LANDSCAPING
- *REQUIRED PLANTINGS:
 - CANOPY TREES: 5 TREES/100 LF
 - UNDERSTORY TREES: 8 TREES/100 LF
 - REQUIRED SHRUBS: 35 SHRUBS/100 LF



1 TYPE B BUFFER (TYP)
 SCALE: NTS SECTION



2 TYPE D BUFFER (TYP)
 SCALE: NTS SECTION



LIGHTING LEGEND

LIGHT POLE

* LIGHTING PLAN IS CONCEPTUAL IN NATURE & SUBJECT TO CHANGE AT THE TIME OF CONSTRUCTION DOCUMENTS.

Outdoor Lighting
SHOEBOX LED

SHOEBOX LED

LED (Light-emitting diode) 150/220/420/530 watts

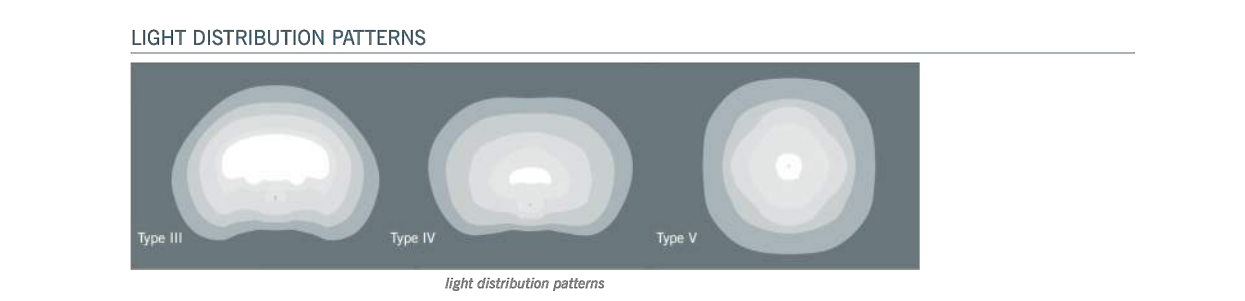
Mounting height 25' - 35'

Color Black, Bronze, Gray (Special conditions)

Pole Wood, Style A

IESNA cutoff classification: Full-cutoff
Color temperature: 3,000K Primary, 4,000K Available

FIXTURE	WATTS	LUMENS	PATTERN	BUG RATING
Shoebox 150	150	19,007	III	B2-U0-G3
		18,460	IV	B3-U0-G4
		19,580	V	B5-U0-G3
Shoebox 220	220	23,744	III	B3-U0-G4
		23,061	IV	B3-U0-G4
		24,461	V	B5-U0-G3
Shoebox 420	420	41,379	IV	B3-U0-G5
		45,868	V	B5-U0-G5
Shoebox 530	530	51,429	IV	B3-U0-G5
		57,009	V	B5-U0-G5



POLE AVAILABLE	MOUNTING HEIGHT	FOUNDATION
Style A	25', 30', 35'	Direct Bury, Anchor Base
Wood	25', 30', 35'	Direct Bury

For additional information, contact us at ODL.Carolina@duke-energy.com.

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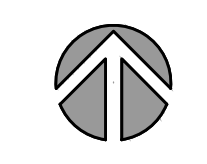
nc firm no: P-2671 sc coo no: C-03044
PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

03/28/2024
D.R. Horton
7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

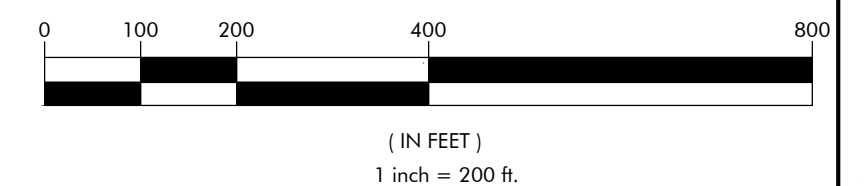
LYNDON OAKS
Master Plan
Lighting Plan
Knightsdale, North Carolina



BEFORE YOU DIG!
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N.C. ONE-CALL CENTER
IT'S THE LAW!



GRAPHIC SCALE



NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	02/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024
Sheet No:

LS-3.0



SINGLE FAMILY DETACHED
SCALE: NTS

ELEVATION

NOTE:
ELEVATIONS SHOWN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.
SEE ZMA-2-23 FOR LIST OF ARCHITECTURAL STANDARDS.



TOWNHOMES
SCALE: NTS

ELEVATION



150 Fayetteville St Ste 1310
Raleigh, NC 27601
919.275.5022
urbandesignpartners.com

nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

03/28/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

LYNDON OAKS Master Plan Architectural Elevations

Knightsdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		
#2	03/05/2024		

Project No: 22-RDU-083
Date: 03/28/2024
Sheet No:

A-1.0

LYNDON OAKS

RMX PLANNED UNIT DEVELOPMENT

The Town of Knightdale
Case Number: ZMA-2-23
March 28, 2024



URBAN
DESIGN
PARTNERS

LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING

LYNDON OAKS

RMX PLANNED UNIT DEVELOPMENT

PREPARED FOR
The Town of Knightdale

DEVELOPER
DR Horton
7208 Falls of Neuse Road
Suite 201
Raleigh, NC 27615

PROJECT TEAM
Urban Design Partners
Planning | Landscape Architecture | Civil Engineering
150 Fayetteville Street
Suite 1310
Raleigh, NC 27601

Parker Poe
Land Use Attorney

Ramey Kemp & Associates
Traffic Engineers

Bateman Civil Survey Company
Surveyors

Sage Ecological Services, Inc.
Environmental Consultant

SUBMITTAL DATE
March 28, 2024

URBAN DESIGN PARTNERS



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01



**VISION
+ INTENT**

Community Vision

Lyndon Oaks is envisioned as a place of community. The development team believes that through **quality placemaking**, a **mix of uses**, and a **variety of housing options**, will arise a place of creativity and diversity that will reveal a vibrant and active community. Lyndon Oaks will be a community that both embraces and engages nature by providing a network of trails and open space that encourages social interactions and physical activity.



VISION

Community Intent

Section 2.4.C. of the Town of Knightdale Unified Development Ordinance states that, “the Planned Unit Development Overlay District process **encourages creativity and innovation** in the design of developments through a master planning process that allows for flexibility from underlying zoning as approved by the Town Council.” These developments bring “**tangible benefits**” to the Town, including “exceptional amenities, outstanding environmental, landscape, architectural, or site design, or conservation of special man-made or natural features of the site.”

Lyndon Oaks meets the intent of the **Planned Unit Development Overlay District** requirements per Town of Knightdale UDO Section 12.2.G.3.g.ii.a. through the following findings:

» Comprehensive Plan

- Lyndon Oaks conforms to the planning policies of the Town as laid out in the KnightdaleNext2035 Comprehensive Plan. The site is designated as a Mixed-Density Neighborhood place type, in a Target Investment Area, and the planned variety of residential densities and neighborhood-serving commercial meet the Town’s future planned growth. In addition, Lyndon Oaks is a neighborhood that exemplifies many of the Guiding Principles for growth and development in Knightdale (Guiding Principles found on page 9).

» Public Welfare

- Lyndon Oaks is maintaining the riparian buffer that bisects the site and large existing pond to allow for maximized preservation of natural features that will be not only preserved, but amenitized through walking trails and greenways to be enjoyed by residents and the surrounding community on public greenways and sidepaths. The supply of light and air to adjacent properties will not be negatively impacted due to the tree preservation, preserved open space, and buffer plantings around the perimeter of the site. There will be no increased danger of fire to current or future residents in the area, and the public health, safety, and welfare will not only be protected but will increase through the new pedestrian and vehicular connectivity, intersection design and improvements that prioritize safety, ample behind-the-curb multi-use paths for cyclists, fountains in the SCMs to keep water aerated, and new public utilities being brought to the area.

» Impact on Other Property

- Lyndon Oaks is primarily a mixed-density residential community. The adjacent land uses consist of existing single family residences and vacant wooded lots. Lyndon Oaks consists of like uses and helps to provide increased connectivity and access to amenities like the greenway trail and a future neighborhood-serving commercial amenity on Bethlehem Road.

» Impact on Public Facilities & Resources

- Lyndon Oaks will provide adequate utilities, road access, drainage, and other necessary facilities to properly serve residents of the site. The project will dedicate a large section of the planned Widewaters Parkway extension to the Town, and plans to provide the greenway connectivity as well.

» Archaeological, Historical, or Cultural Impact

- Lyndon Oaks is maintaining the riparian buffer that bisects the site and large existing pond to allow for preservation of natural features on the property. No archaeological, historical, or cultural resources will be adversely impacted in the development. Lyndon Oaks will preserve and enhance existing natural resources on site for the benefit of the residents and surrounding community that utilizes the greenway.

» Parking & Traffic

- Lyndon Oaks is a pedestrian friendly community. The mix of housing types and rear-loaded units minimizes pedestrian-vehicular conflicts and creates a safer, more appealing streetscape. Proper sight distance triangles are also used at intersections to prevent conflicts when turning a vehicle. All street radii are adequate for emergency vehicle access. There is ample guest parking through the use of on-street parking. Traffic impacts from Lyndon Oaks have been studied and will be mitigated through TIA recommended improvements that will benefit the entire area and alleviate some existing congestion issues. Furthermore, the public roads running through the site will create additional connectivity and routes on local, multimodal streets to existing roads in the area. The public and private trails also provide a safe public pedestrian connection throughout Lyndon Oaks.

» Appropriate Buffering

- A 20’ Type B Buffer is proposed along the perimeter of Lyndon Oaks to provide visual and acoustical privacy between Lyndon Oaks and the surrounding neighbors. A Type B Buffer is also provided between the parking lot at the commercial parcel and Bethlehem Rd. per requirements set forth in the UDO.
- A 50’ Type D Buffer with a 6’ earthen berm and dense plantings is proposed along I-87 to provide visual and acoustical privacy between Lyndon Oaks and the adjacent interstate. The maintained riparian buffers in the center of the site will also create a buffer within the community itself to allow for a greater sense of privacy between houses and a sense of place, such that each section of the neighborhood, each home, is a stone’s throw from the natural environment and open space.

» Performance

- D.R. Horton is America’s largest homebuilder, and the local team that have proposed this project have a proven track record of building successful residential neighborhoods in surrounding communities, as well as in Knightdale, most recently with the Haywood Glen community. The D.R. Horton team is excited to bring a new neighborhood to the Town that reflects the Town’s plans and aligns with the Town’s and D.R. Horton’s shared vision for great neighborhoods.

02



KNIGHTDALENEXT
2035

Comprehensive Plan Consistency

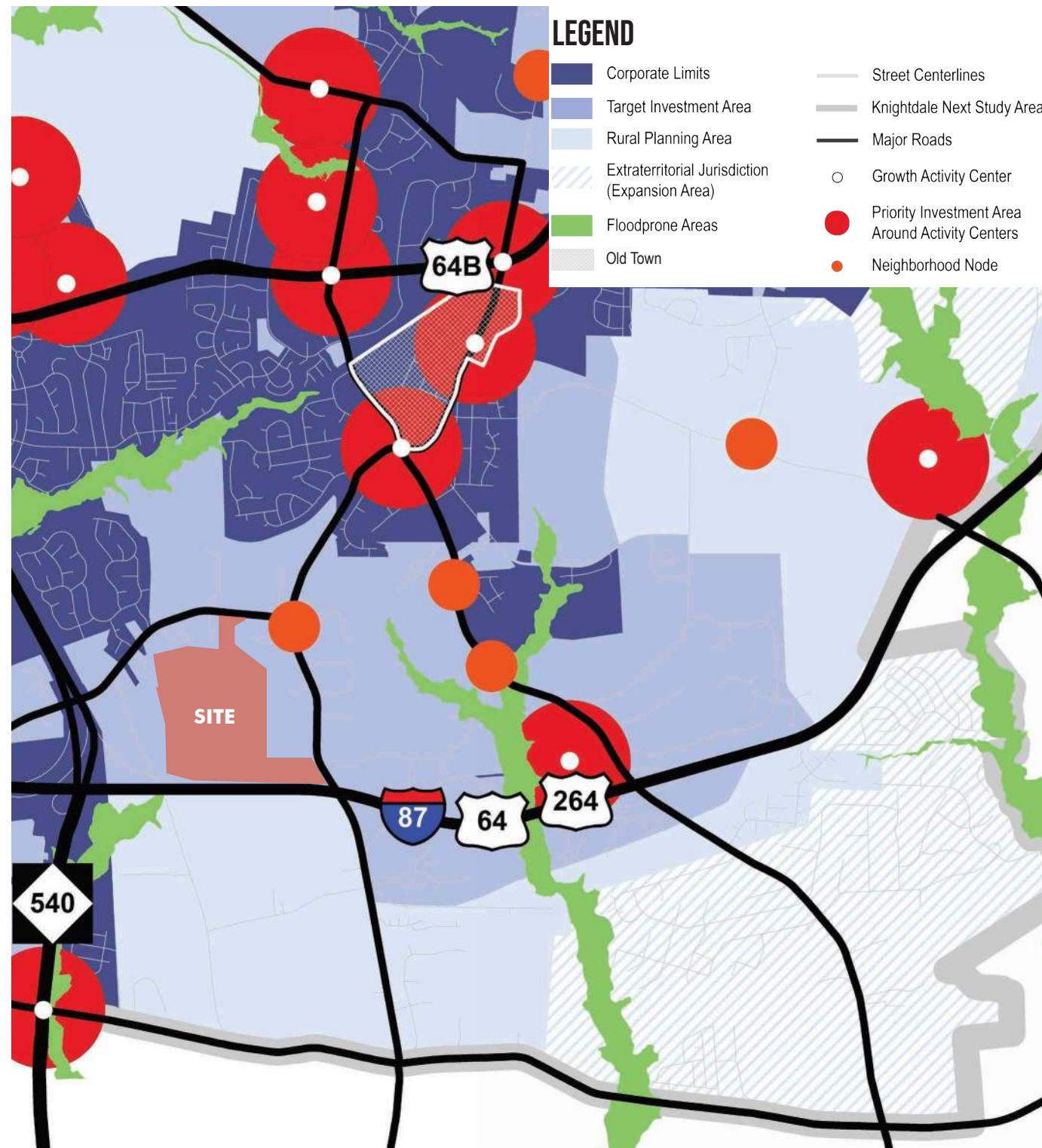


Figure 1: Growth Framework Map from KnightdaleNext2035 Comprehensive Plan

Growth Framework

This PUD request is proposing a **rezoning from RT to RMX-PUD** to better meet the desired outcome laid out in the KnightdaleNext2035 Comprehensive Plan.

On the Growth Framework Map, Lyndon Oaks is located near a Neighborhood Node at the intersection of Old Faison and Bethlehem Roads, and the site is within a Target Investment Area as identified in the Growth Framework Plan. Target Investment Areas are areas with existing or relatively easy potential access to water and sewer, where growth is supported, and the development will bring additional water and gravity sewer lines to this area to support continued growth and development. The plan says growth in these areas should encourage active living with a complete and comprehensive network of walkable streets in a general grid pattern. It also says that growth in these areas should be guided into more compact and efficient development patterns to justify infrastructure investments. Thus, Lyndon Oaks, which proposes compact residential growth at less than 3 units per acre and neighborhood-oriented commercial uses, in an area that will only continue to feel more growth pressure with the forthcoming I-540 extension, is supported by the Growth Framework Map.

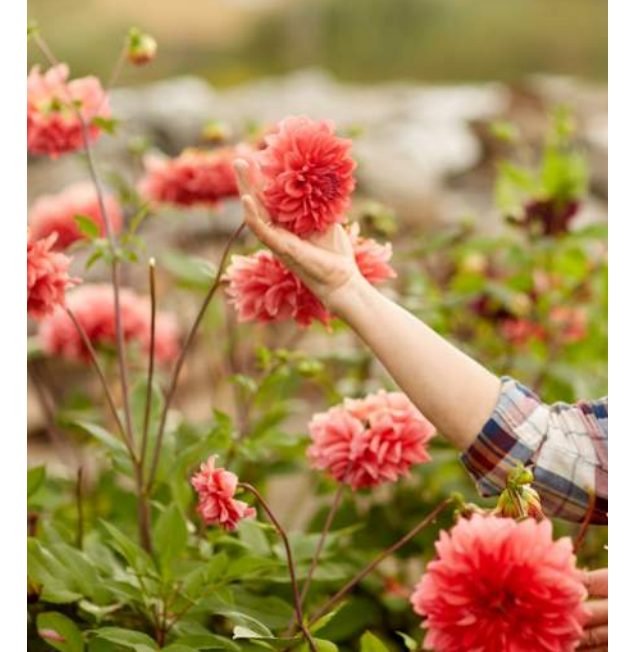
Lyndon Oaks aligns with Knightdale’s vision of neighborhoods throughout the Town feeling a sense of connection. A public greenway trail will be added throughout the site. This aligns with the Sidepaths & Greenways Plan plan found in UDO Appendix B and incorporated into the comprehensive plan. Sidewalks and greenway trails promote pedestrian walkability and connection for the community.

The proposed plan for Lyndon Oaks provides a mix of housing types to promote a diverse and walkable community. The mixed-use community will act as a transition for residential neighborhoods while providing a community-serving commercial outparcel

Comprehensive Plan Consistency

Comprehensive Plan - Guiding Principles

1. **Natural Environment:** Lyndon Oaks promotes and expands opportunities for community residents to enjoy Knightdale's greenways and activates the site's many streams, wetlands, and natural features by preserving them and giving residents access to enjoy those resources.
2. **Parks and Recreation:** Lyndon Oaks will provide the Town's planned pedestrian and cyclist public greenway connectivity from Old Faison Road to Bethlehem Road.
3. **Transportation:** Lyndon Oaks will provide a significant portion of the planned Widewaters Parkway extension, which will eventually provide an important connection from US-64 Business to Bethlehem Road and Crosscut Place. In addition, all of the streets in the neighborhood have been designed with multiple modes of transportation in mind—the project will provide ample safe, behind-the-curb, bicycle and pedestrian facilities for destination - and recreation- focused trips
4. **Compact Development Patterns:** The proposed community provides appropriate residential density and neighborhood-serving commercial in a Target Investment Area, near I-87 and I-540, which will become an even more convenient regional access route when the I-540 extension is built.
5. **Community Design:** Lyndon Oaks is a significant private investment that incorporates the distinctive elements of Knightdale. Roundabouts at intersections, strict architectural standards and commitments to beautiful and quality homes, pedestrian prioritization, preservation of open space and unique public and private recreational amenities dominate the community design.
6. **Great Neighborhoods and Expanded Home Choices:** Lyndon Oaks offers a wide variety of housing choices and lot sizes, mixed throughout the neighborhood, and not segregated to certain portions. This will provide opportunities for people and families at all ages and stages, with many different housing price-points, to find a place in this beautiful, heavily-amenitized community.



Comprehensive Plan Consistency

Growth and Conservation Map

On the Growth and Conservation Map, Lyndon Oaks is designated as a **“Mixed-Density Neighborhood.”** These are described as “subdivisions or communities with a mix of housing types and densities.” These Neighborhoods should “incorporate a comprehensive network of open space throughout to accommodate small parks, gathering places and community gardens; preserve tree stands; and help reduce stormwater runoff.”

Lyndon Oaks is consistent with this vision. The community will have a variety of housing options and price points, with six different lot sizes for single-family detached homes, both front and rear loaded, as well as three lot sizes for rear-loaded townhomes. These housing types are not segregated to their own distinct sections of the neighborhood; rather, they have been mixed in throughout the design. Beautiful gathering spaces and amenities will be programmed throughout the community, and the most sensitive natural areas will be preserved and activated.

It is also close to and will help support the planned desired land uses around the subject site. The retail and commercial amenities desired at the **“Neighborhood Node”** located at the intersection of Bethlehem and Old Faison Road will be much more viable with a new residential community so close, and the road improvements that will come with the project will help support desired development patterns in this area as well.

PLACETYPE CATEGORIES

 Preserved Open Space	 Business Office
 Rural Living	 Light Industrial
 Recreation Open Space	 Heavy Industrial
 Single Family Neighborhood	 Civic & Institutional
 Mixed-Density Neighborhood	 Old Town
 Multifamily Community	 Mixed-Use Center
 Neighborhood Node	 Mixed-Use Center (Suburban Retrofit)
 Retail	 Transit-Oriented Development (BRT)
	 Regional Mixed-Use Center

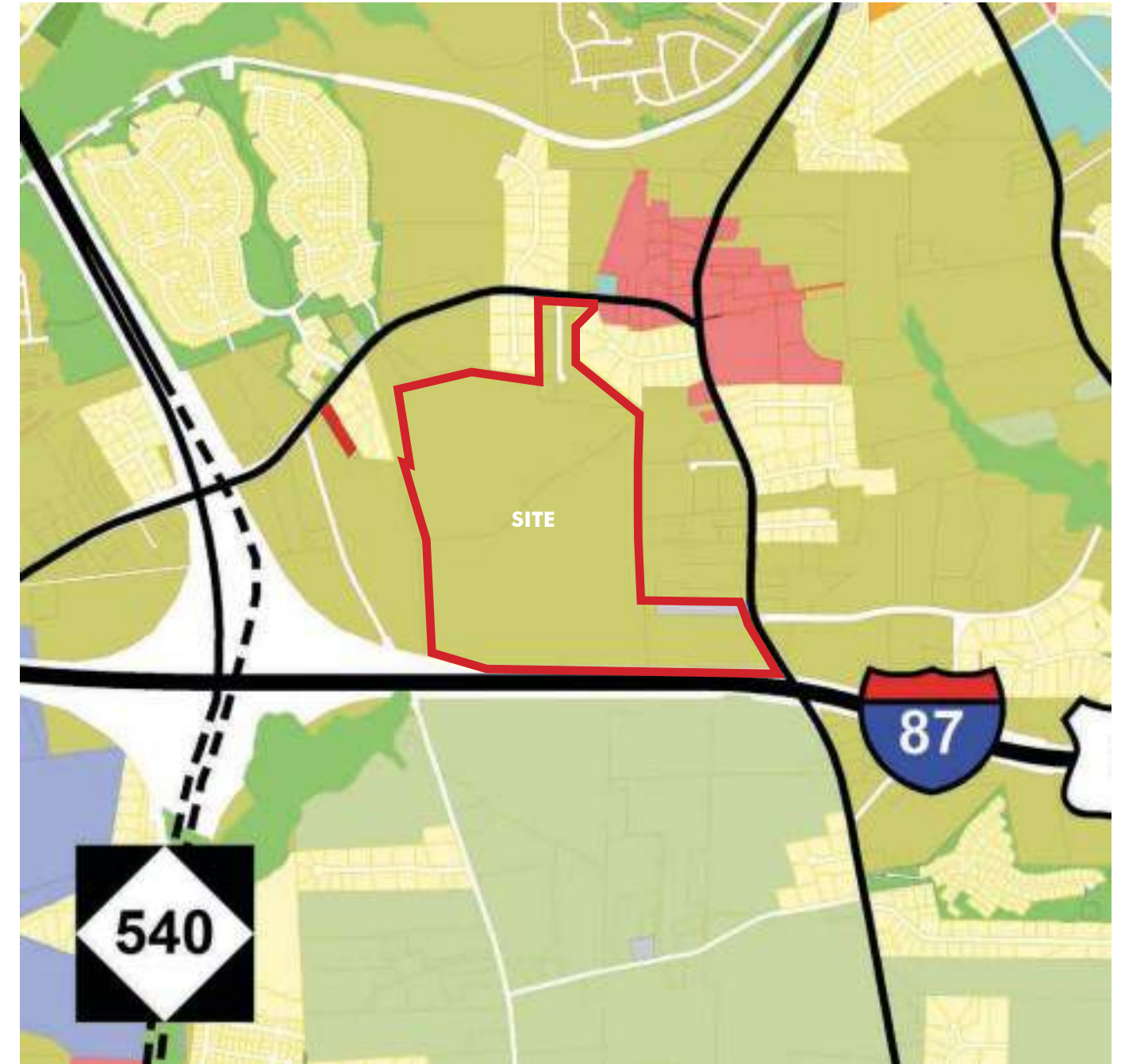


Figure 2: Growth and Conservation Map from KnightdaleNext2035 Comprehensive Plan

Comprehensive Plan Consistency

Transportation

Lyndon Oaks furthers the goals of **Knightdale's Comprehensive Transportation Plan (CTP)** in several ways.

First, with this project, an additional road connection will be made between Old Faison Road (at Tart Farm Road) and Bethlehem Road (at Crosscut Place), creating instant additional connectivity in the area. Additional road connections create more routes for drivers and ease congestion at nearby intersections, and create local streets that are safer for walking and biking, making these more viable forms of transportation. These are just a few of the reasons the CTP encourages additional local connector streets like those planned in Lyndon Oaks.

Second, Lyndon Oaks will construct ± 0.8 miles of the planned Widewaters Parkway extension through the project area, which is a key part of a larger planned connection of Widewaters Parkway to Cross Cut Place on the Roadway Network Plan. When completed across Old Faison Road to the north, this road will make it much easier for residents traveling to and from US 64. The Master Plan has placed the Widewaters Parkway stub in a location that will make it easy to angle in a way that will sync with the alignment of the extension to the north.

Lyndon Oaks also supports the CTP goal of making new streets multimodal and accessible for pedestrians and cyclists. Sidewalks and 10' side paths will line both sides of every planned street to enhance the pedestrian safety and connectivity in the neighborhood. These wider, behind-the-curb sidepaths will line both sides of Widewaters Parkway.

Finally, Lyndon Oaks has studied the projected transportation impact of the development on numerous roads and intersections, and will implement recommended improvements to mitigate those impacts and improve area roads, consistent with the CTP policy of "account[ing] for broader impacts of development on the surrounding mobility networks." See TIA summary in the Infrastructure section of this document.

Legend

	Comprehensive Transportation Plan Planning Area
Street Type & Status:	
	Freeway, Existing
	Freeway, Proposed
	Boulevard, Existing
	Boulevard, Proposed
	Urban Avenue, Existing
	Urban Avenue, Proposed
	Avenue, Existing
	Avenue, Proposed
	Urban Main Street, Existing
	Urban Main Street, Proposed
	Main Street, Existing
	Main Street, Proposed

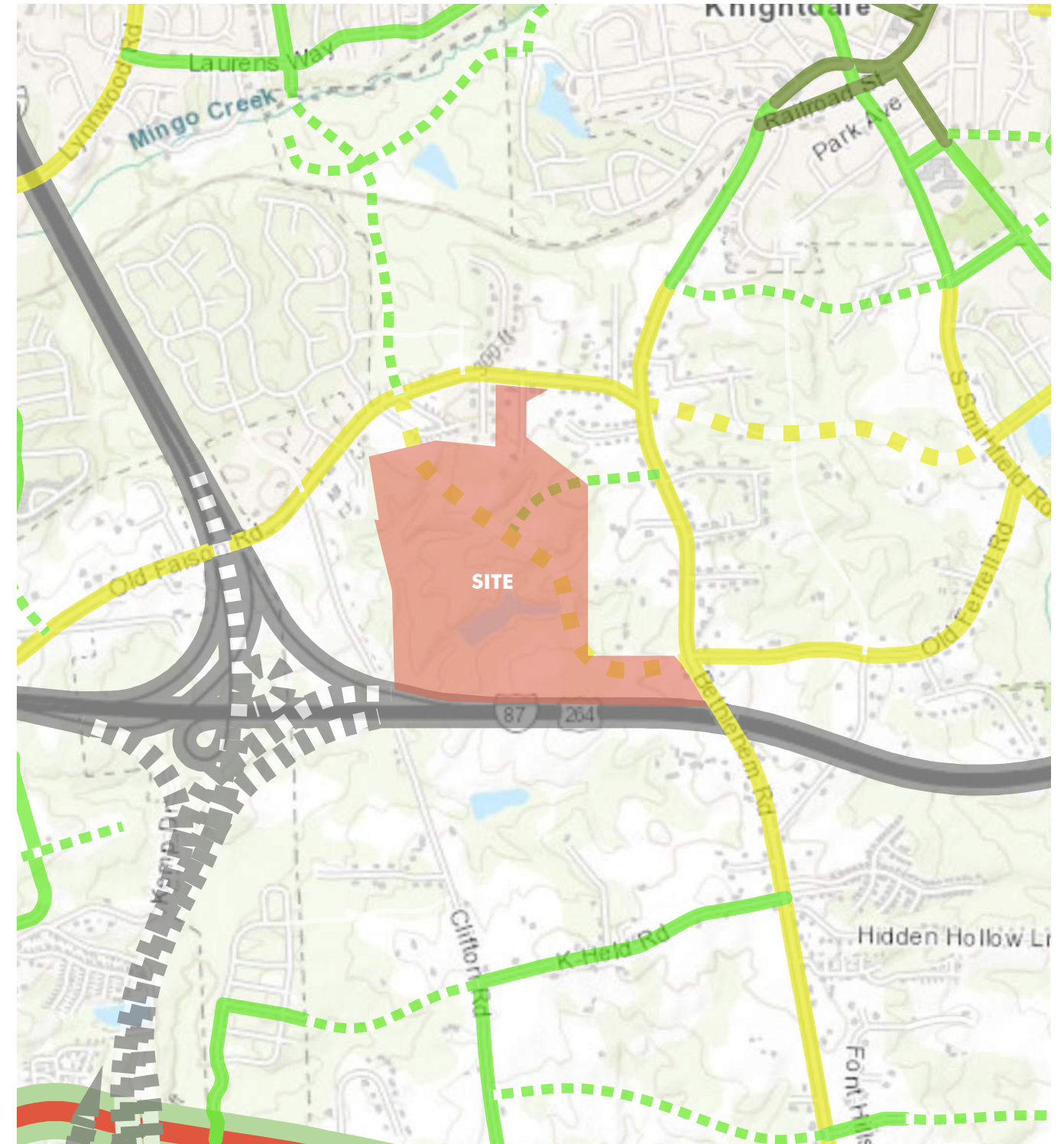


Figure 3: Roadway Network Plan from the Knightdale UDO

Comprehensive Plan Consistency

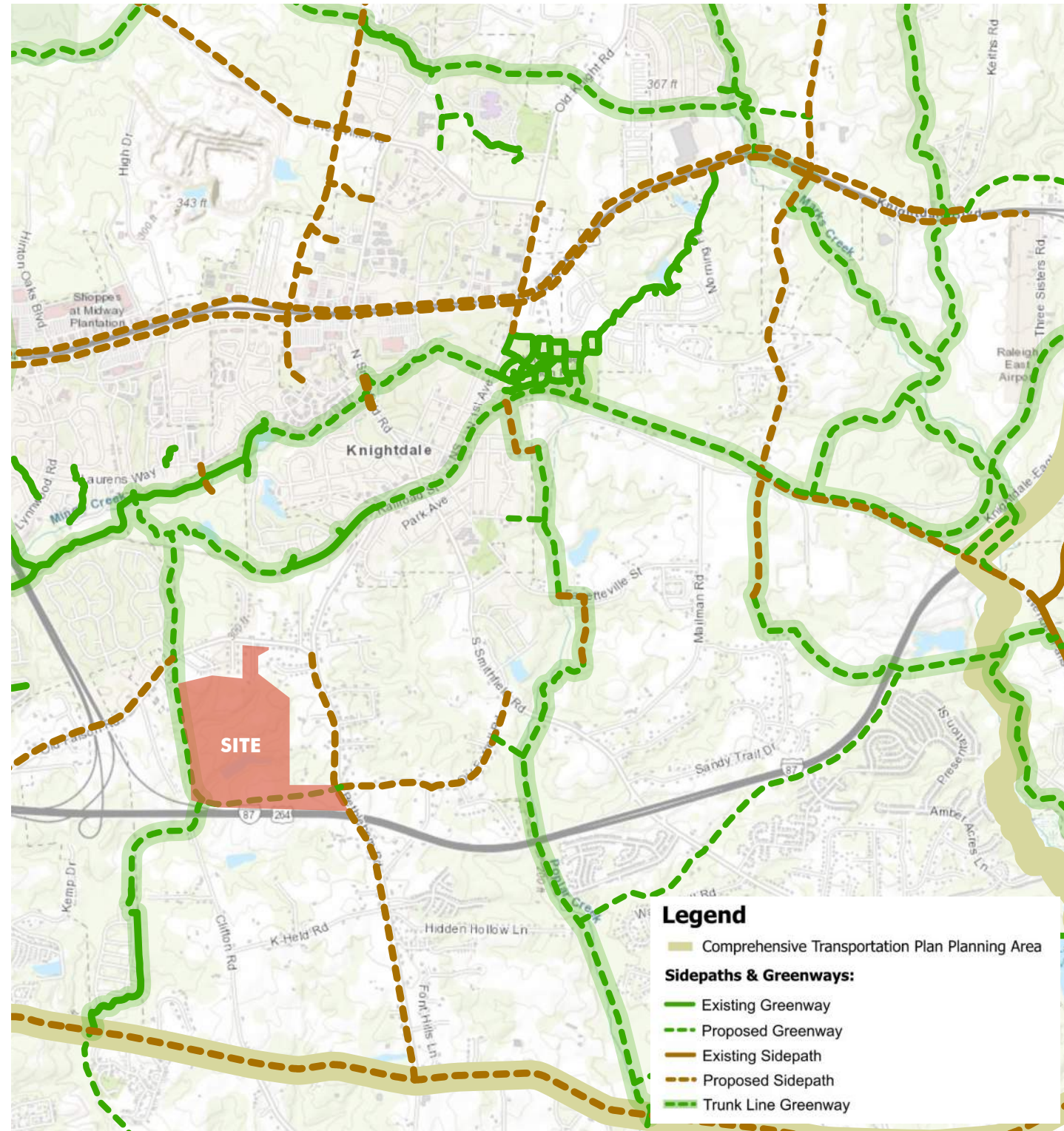


Figure 4: Sidepaths & Greenways Plan from the Knightdale UDO

Trails & Greenways

Lyndon Oaks will provide a network of public greenways and private trails in its open space, as well as recreational amenities while maintaining existing natural features. The plan also provides safe and convenient pedestrian and bicycle access for nearby residents through the use of sidewalks, 10' sidepaths on both sides of Widewaters Parkway and on the west side of Tart Farm Road as well, and trails in the natural areas to connect the neighborhood's residential sections.

Environmental Impacts and Permitting: The Town of Knightdale has planned substantial street and public greenway improvements on a site with many environmentally-sensitive streams and wetlands that will require extensive permitting through state and federal agencies at the next stage of development, and developer will provide the Town's desired public improvements to enhance vehicular and pedestrian connectivity in this area. Developer will provide and will facilitate environmental permitting for the stream and wetlands impacts of the planned Widewaters Parkway extension. Developer will also pursue environmental permitting for a greenway alignment that is substantially similar to the "Option A" alignment of the greenway shown on the Master Plan. If the US Army Corps of Engineers (USACE) defines the "project" in such a way that the project will cause a cumulative stream and wetland impact of 0.5 acres or more, the developer may adjust plans to reduce stream and wetlands impacts by the following:

- » Providing the greenway alignment shown in Option B
- » Providing boardwalks instead of paved bridges over streams and wetlands
- » Removing the turn lane and narrowing the Widewaters Parkway section in the areas where it crosses streams and wetlands
- » Providing the planned public greenway connection from Old Faison Road to Bethlehem Road as a side path on Widewaters Parkway, with private natural trails in the natural areas that connect residential areas of the neighborhood
- » Any other minor plan adjustments approved by Town staff that do not include impacts to planned residential lots.



Comprehensive Plan Consistency



Figure 5: 2021 Town of Knightdale Comprehensive Parks and Rec. Master Plan

Parks and Recreation

Consistent with the **Comprehensive Parks and Recreation Master Plan**, Lyndon Oaks is within the two-and-a-half mile service area of Knightdale Station Park, and part of the neighborhood will be in the one-mile service area of Mingo Creek Park. When the Widewaters Parkway extension is completed to the north, Lyndon Oaks residents will be able to easily walk or bike to this park. The ample amenities, open space, and approximately ± 6.5 miles of trails and sidewalks within the planned community will also provide recreational opportunities for residents.

03

**EXISTING
CONDITIONS**

Vicinity Map

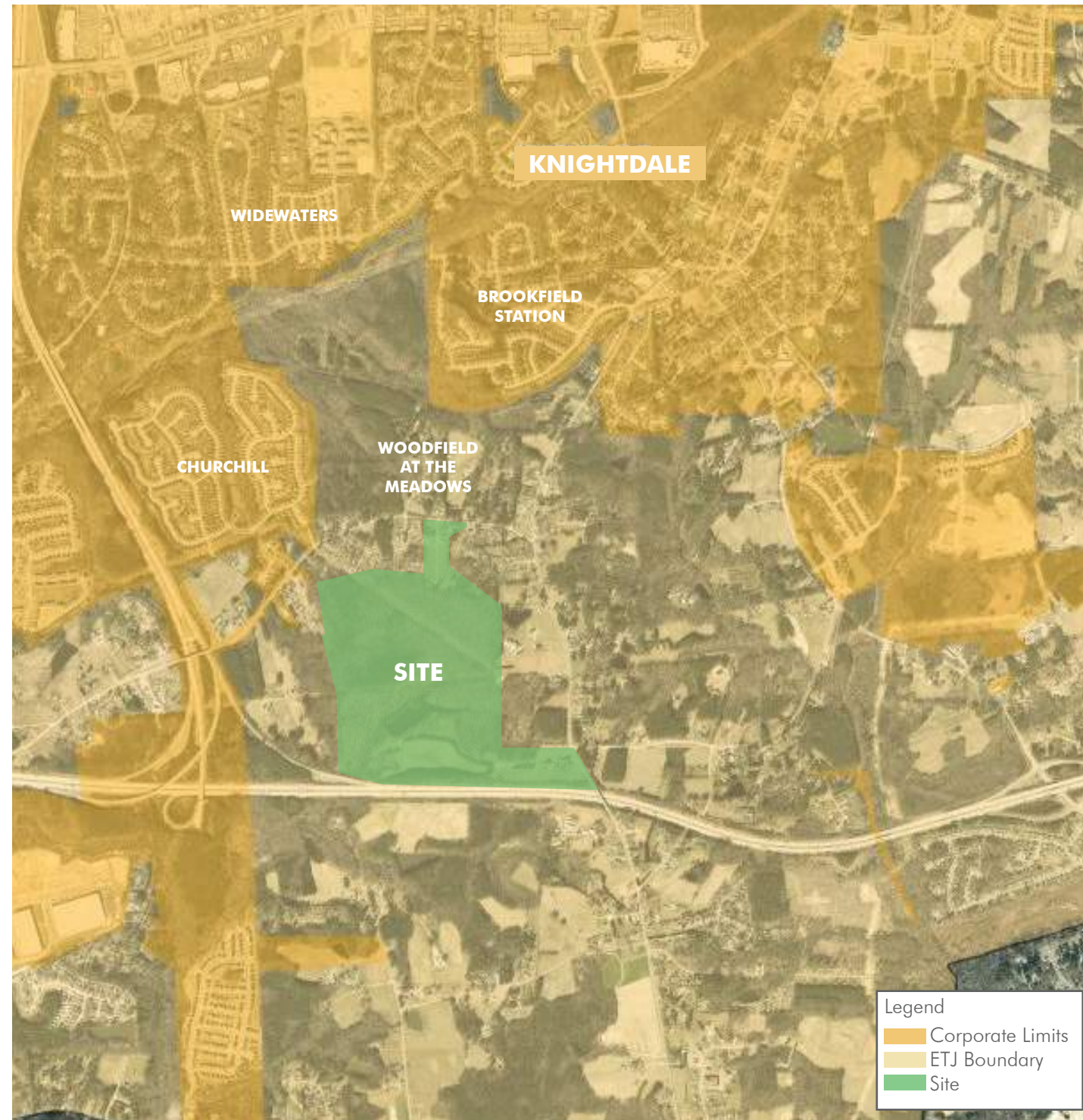


Figure 6: Vicinity Map (Not to Scale)

Vicinity Map

The site is within **Knightdale's ETJ**, and approximately 150 feet from the primary corporate limits at the northwest corner. Most of the site is undeveloped, except for a few larger homes on the portions of the site that front Old Faison Road and Bethlehem Road. The largest portion of the property is bisected by multiple streams and wetlands, and features a large natural pond. Two overhead utility easements also run from east to west through the property.

Uses in the vicinity are almost exclusively residential, as is the current Knightdale ETJ zoning. Residential uses vary in size and housing type. Immediately to the north on Bethlehem Road is a mobile home park. Very large residential lots lie to the east, and the parcel immediately to the west on Clifton Road is vacant. Churchill, an established Knightdale neighborhood, is located to the northwest of the site across Old Faison Road, and it is zoned GR8.

Current Zoning Map

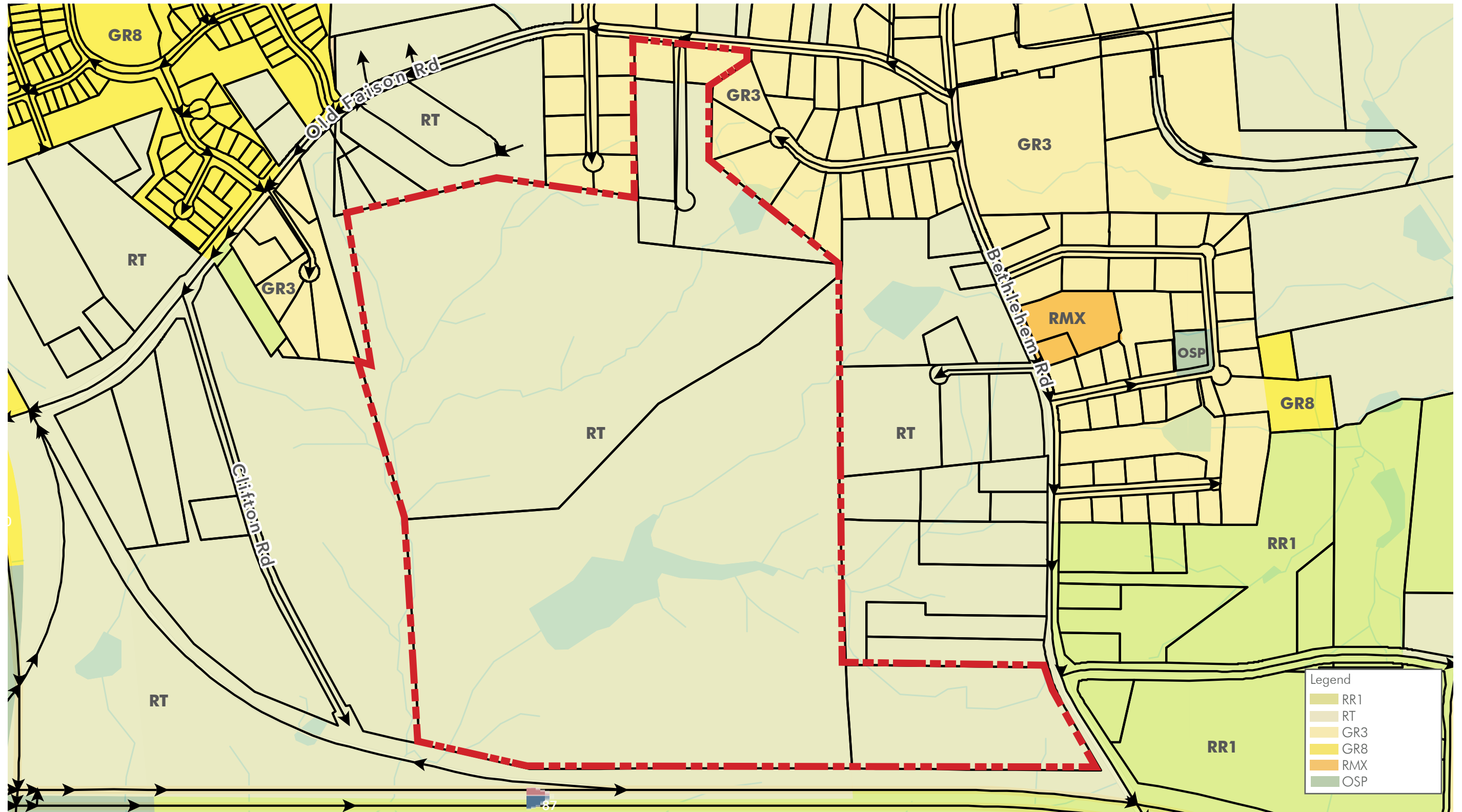


Figure 7: Current Zoning Map

EXISTING CONDITIONS

Current Uses

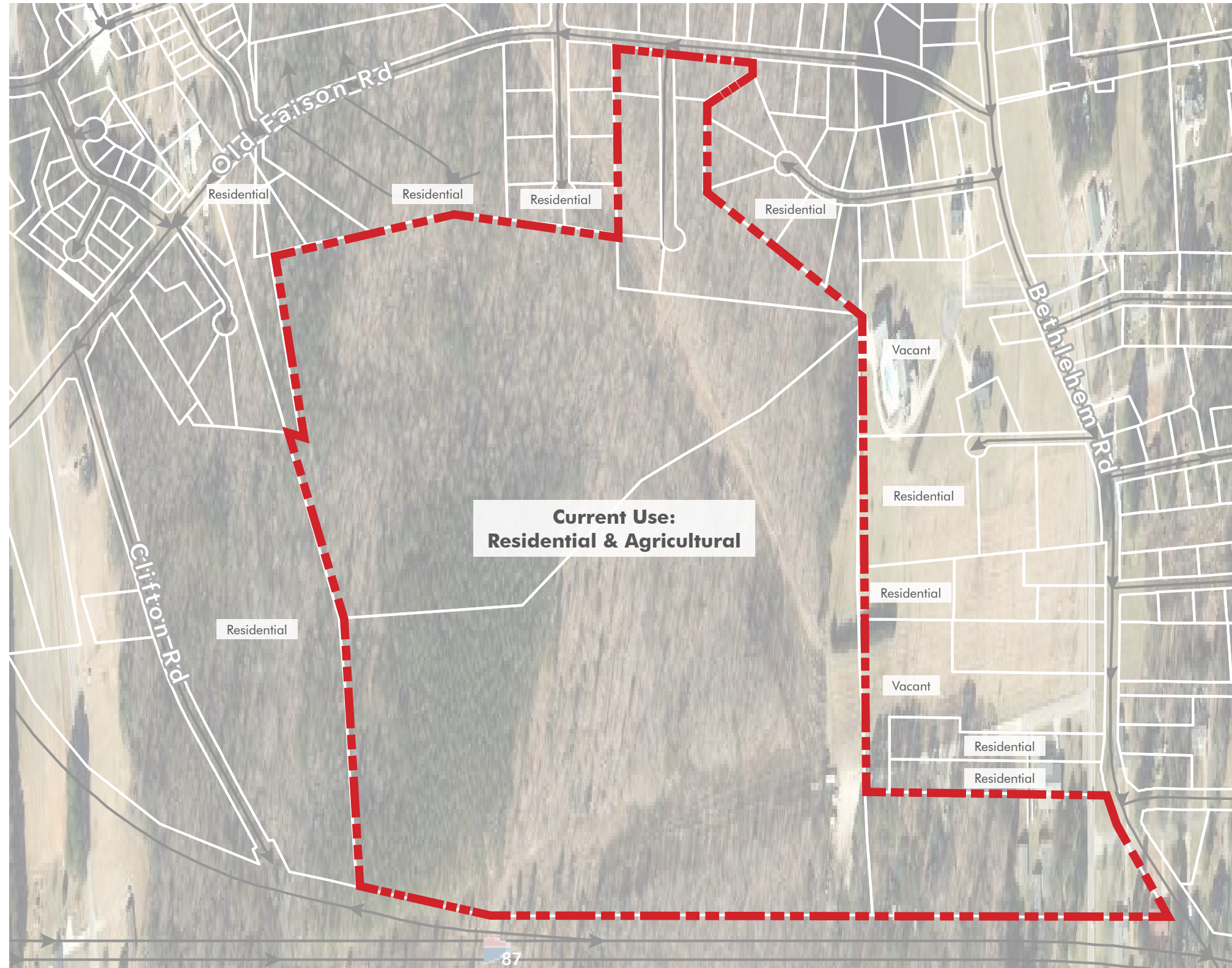


Figure 8: Current Uses Map

EXISTING CONDITIONS



Topography & Boundary Map

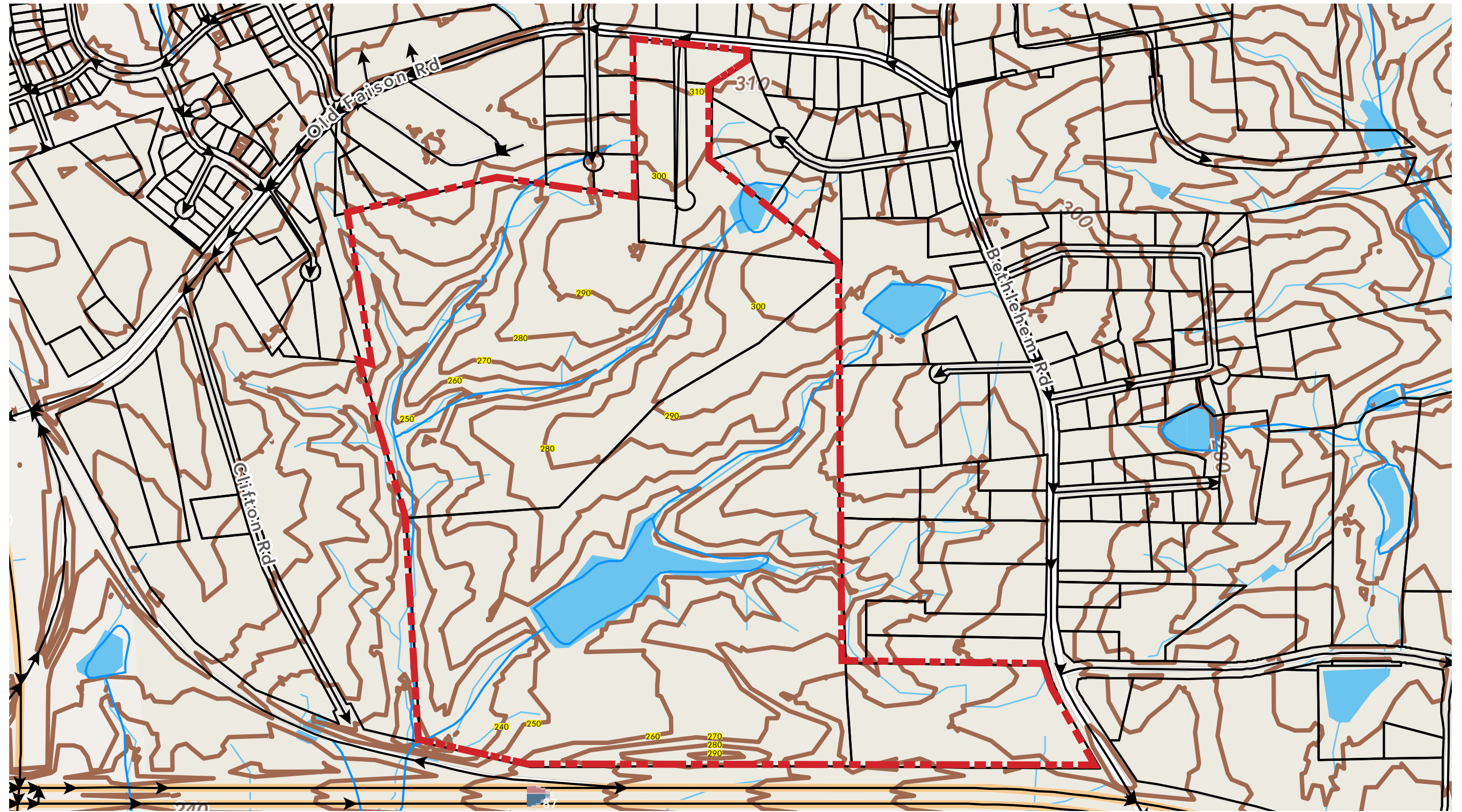


Figure 9: Topography Map



Soils Map

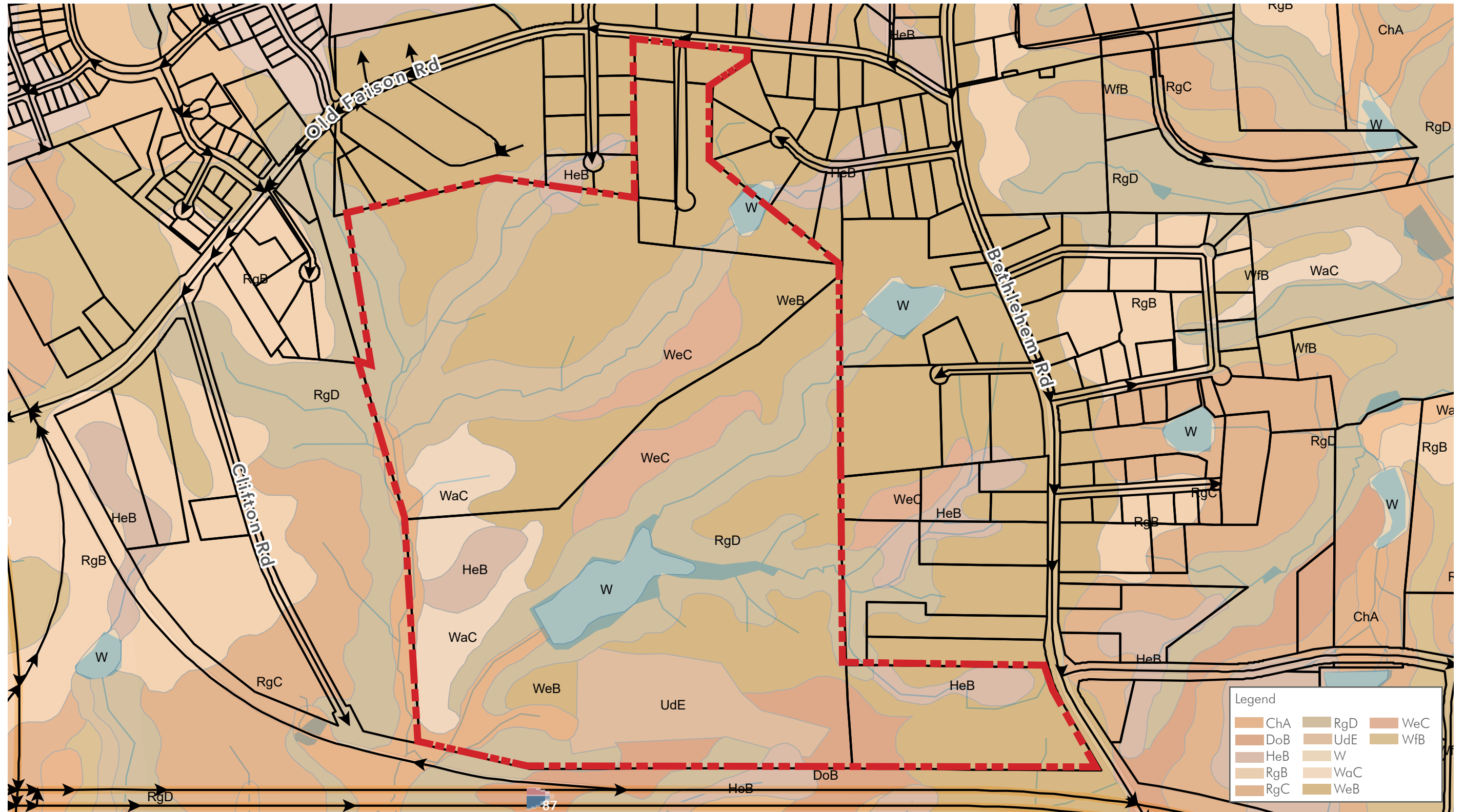
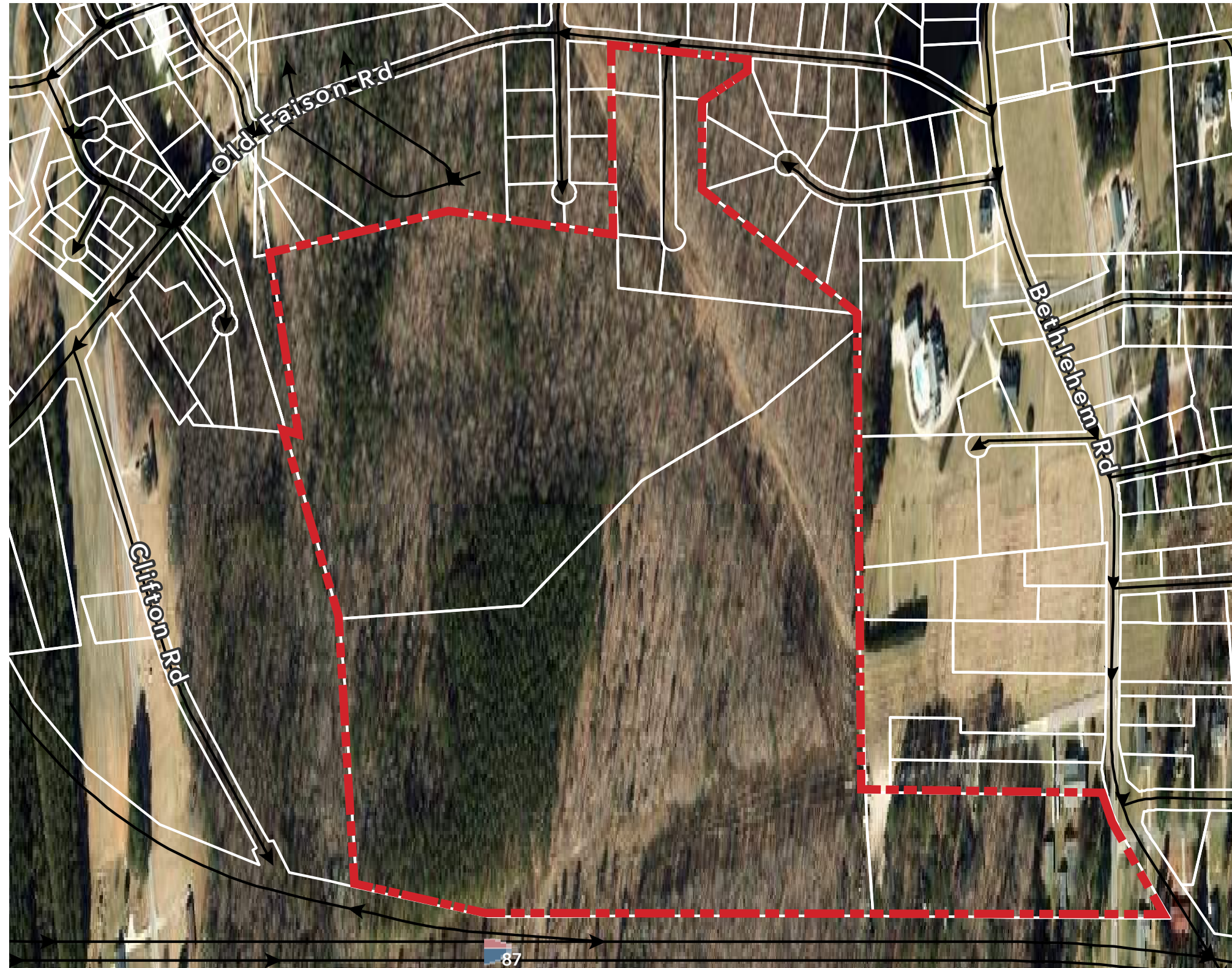


Figure 10: Soils Map

EXISTING CONDITIONS

Vegetation Map



The site currently consists of mainly vacant land, two existing ponds, four perennial streams, two large electric easements, and several single family homes.

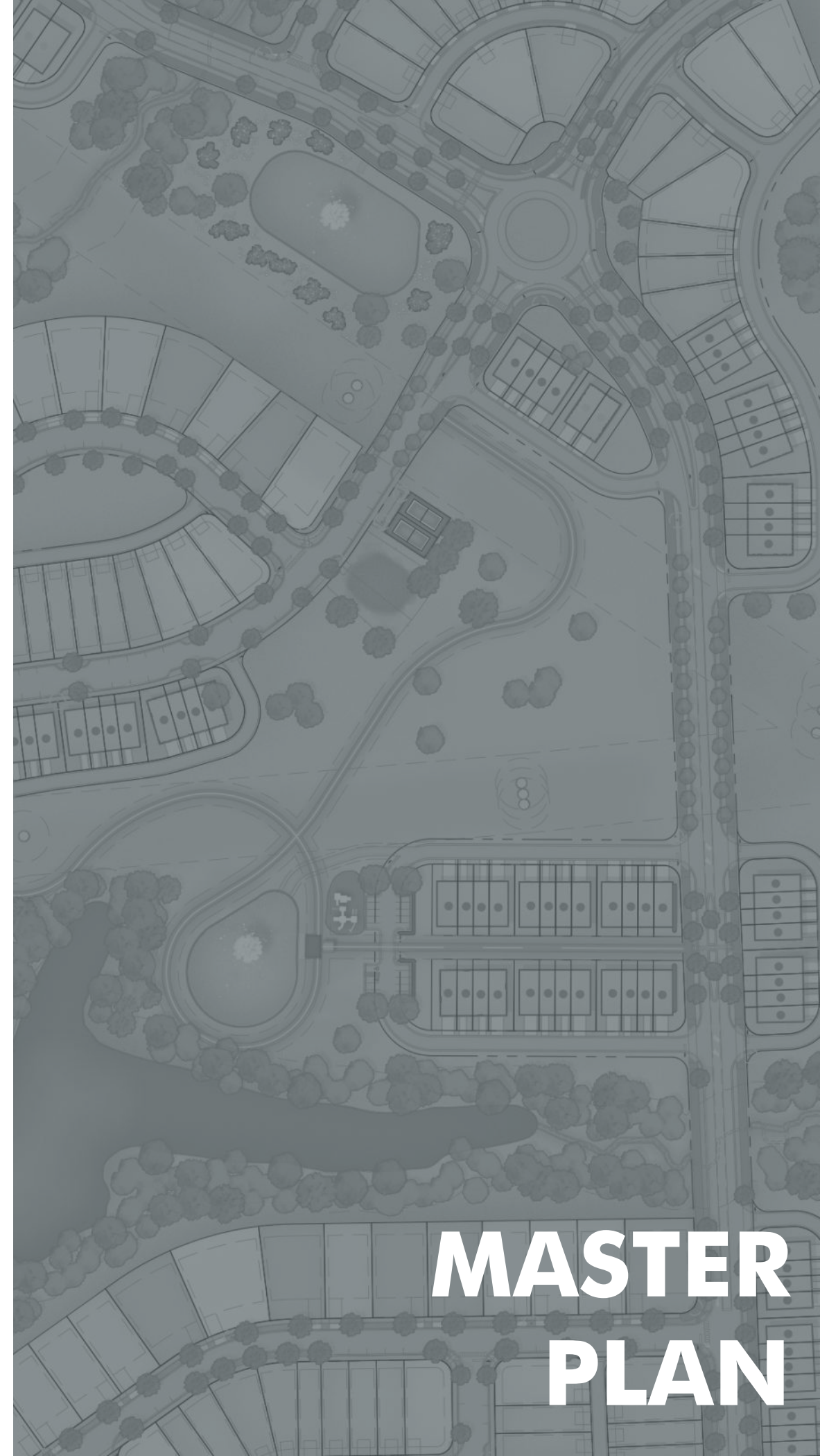
Figure 11: Vegetation Map

EXISTING CONDITIONS



04

**MASTER
PLAN**



Lyndon Oaks - Master Plan



SITE DATA

» ACRES:	± 171.88 AC TOTAL
» PINS:	1753-15-2116; 1743-95-3683; 1743-97-1085; 1743-98-6356; 1743-98-9384; 1753-07-1583; 1743-97-6575
» EXISTING ZONING:	RT
» PROPOSED ZONING:	RMX-PUD

DEVELOPMENT SUMMARY

COMMERCIAL:	± 15,000 SF
RESIDENTIAL:	
FRONT LOADED (SINGLE FAM. DETACHED)	
60' LOTS	68 DU
70' LOTS	25 DU
80' LOTS	12 DU
REAR LOADED (SINGLE FAM. DETACHED)	
30' LOTS	51 DU
35' LOTS	53 DU
40' LOTS	27 DU
TOWNHOMES (REAR LOADED)	
20' UNITS	116 DU
22' UNITS	126 DU
DUPLEXES (REAR LOADED)	
22' UNITS	22 DU
TOTAL:	500 DU
REQ. PARKING (MINIMUM):	
SINGLE FAMILY:	708 SPACES
TOWNHOMES:	792 SPACES
COMMERCIAL:	27 SPACES
• EV	2 SPACES
• BICYCLE	3 SPACES

- NOTES:
1. THIS PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE.
 2. THIS EXHIBIT WAS PREPARED USING AVAILABLE RECORD INFORMATION, ALTA SURVEY, GIS MAPS, RECORD PLANS, AERIAL IMAGERY, AND LAND RECORDS.
 3. THIS PLAN WILL BE SUBJECT TO REVIEW AND APPROVAL BY LOCAL AND STATE PLANNING AND ENGINEERING REVIEW AGENCIES.
 4. THE WORK OF THIS PRODUCT IS THE PROPERTY OF URBAN DESIGN PARTNERS, PLLC. NO USE OR REPRODUCTION OF THIS PLAN IS PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM URBAN DESIGN PARTNERS, PLLC.



Figure 13: Lyndon Oaks Master Plan

Lyndon Oaks - Distribution of Uses

USE AREAS				
USE TYPE	TYP. LOT SIZE (SF)	# OF LOTS	TOTAL AREA (SF)	ACRES
SINGLE FAMILY				
30' LOT	3,600	51	183,600	
35' LOT	4,200	53	222,600	
40' LOT	4,800	27	129,600	
60' LOT	7,200	68	489,600	
70' LOT	8,400	25	210,000	
80' LOT	9,600	12	115,200	
			1,350,600	31.0
DUPLEX / TOWNHOUSE				
20' TH	1,800	116	208,800	
22' TH	1,980	126	249,480	
22' DUPLEX	2,160	22	47,520	
			505,800	11.6
COMM/RETAIL*			25,689	0.6
DISTRIBUTION OF USES				
				ACRES
GROSS SITE AREA (PER SURVEY)				171.8
DEDICATED RECREATIONAL OPEN SPACE				20.5
PUBLIC R/W				28.3
NET AREA**				123
USE TYPE	PROP. (AC)	MIN.-MAX. DISTRIBUTION(%)	PROV. DIST. (%)	
SINGLE FAMILY	31.0	15%-60%	25.2%	
DUPLEX / TOWNHOUSE	11.6	10%-40%	9.4%	
COMMERCIAL / RETAIL	0.6	5%-20%	0.5%	

Lyndon Oaks is proposing a development density of ± 3 dwelling units per acre. The maximum density for RMX zoning is 18 dwelling units per acre. Density is calculated by dividing the amount of dwelling units by the total site area. Knightdale requires use distribution minimum and maximum percentages (based on use areas) for subdivisions with both residential and non residential uses (Section 11.1.B of the UDO). The distribution of uses is calculated by dividing the use areas by the net site area. In this PUD, we are proposing an allowance on the distribution of uses for both duplex/townhomes, and retail. See site allowances page for more information.

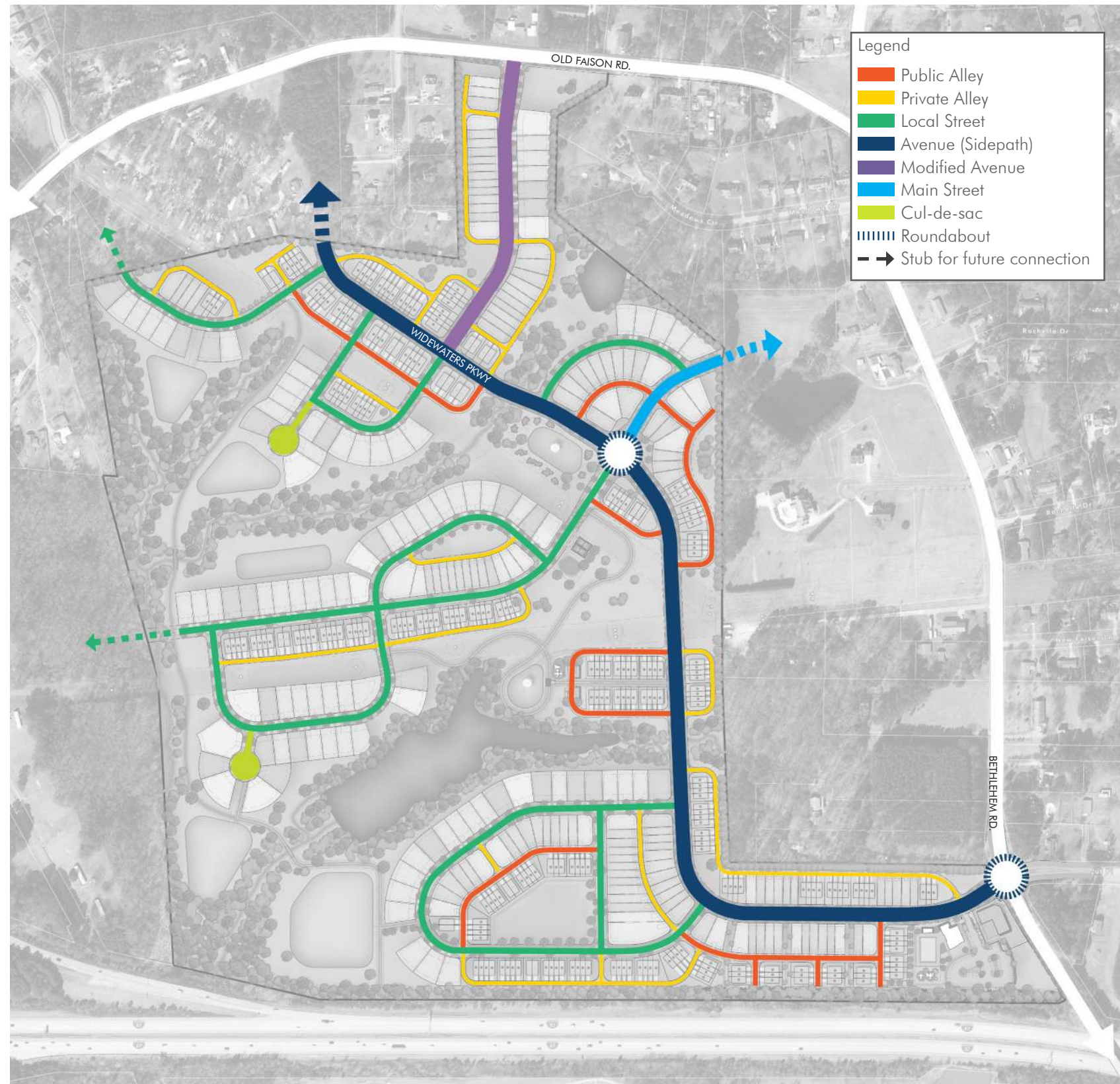
*Note: Retail is not required in Lyndon Oaks because there are no multi-family units being proposed.
 **Note: Net area is calculated by removing the area of open space (required amount) and rights-of-way from the total site area. The Town of Knightdale UDO Sec. 11.1.B states that the required distribution of uses shall be calculated as the net development area which excludes street rights-of-way and dedicated open space.
 *** Note: See page 43 for more information on Commercial Outparcel

05

A grayscale photograph of a young girl riding a bicycle on a dirt path. She is smiling and looking towards the camera. Behind her, a woman is also riding a bicycle, slightly out of focus. The background consists of dense foliage and trees. The overall tone is serene and active.

INFRASTRUCTURE

Street Plan



TOWN OF KNIGHTDALE STREET TYPES

PRIVATE ALLEY

- » RIGHT OF WAY: 20'
- » STREET WIDTH: 20'
- » DESIGN SPEED: 10 MPH

PUBLIC ALLEY

- » RIGHT OF WAY: 32'
- » STREET WIDTH: 18' (FOC-FOC)
- » DESIGN SPEED: 10 MPH

LOCAL STREET

- » RIGHT OF WAY: 54'
- » STREET WIDTH: 26' - 41' (FOC-FOC)
- » DESIGN SPEED: 20 - 25 MPH

MODIFIED AVENUE (3 LANE - SIDEPATH & ON STREET PARKING)

- » RIGHT OF WAY: 75'
- » STREET WIDTH: 43' - 55' (BOC-BOC)
- » DESIGN SPEED: 30 - 35 MPH

CUL-DE-SAC

- » RIGHT OF WAY: 61.5'
- » STREET WIDTH: 48' RADIUS
- » DESIGN SPEED: 20 - 25 MPH

MAIN STREET

- » RIGHT OF WAY: 70'
- » STREET WIDTH: 46'
- » DESIGN SPEED: 20 - 25 MPH

WIDEWATERS PARKWAY AVENUE (3 LANE - SIDEPATHS)

- » RIGHT OF WAY: 75'
- » STREET WIDTH: 38'
- » DESIGN SPEED: 30 - 35 MPH



Figure 14: Vehicular Circulation

Connectivity Index



TOWN OF KNIGHTDALE CONNECTIVITY INDEX*

REQUIRED SCORE: 1.40 MIN.
 PROVIDED SCORE: 1.47

— LINKS: 28 LINKS

● NODES: 19 NODES

$$\frac{28 \text{ LINKS}}{19 \text{ NODES}} = 1.47 \text{ CONNECTIVITY INDEX SCORE}$$

*Connectivity index is calculated according to Town of Knightdale UDO Sec. 11.3.E.7
 ** Block lengths shown are the lengths of the links. Block lengths are all under 800 LF when alleys are included. See Master Plan ZMA-2-23.



Figure 15: Connectivity Index for Lyndon Oaks

Pedestrian Circulation Plan

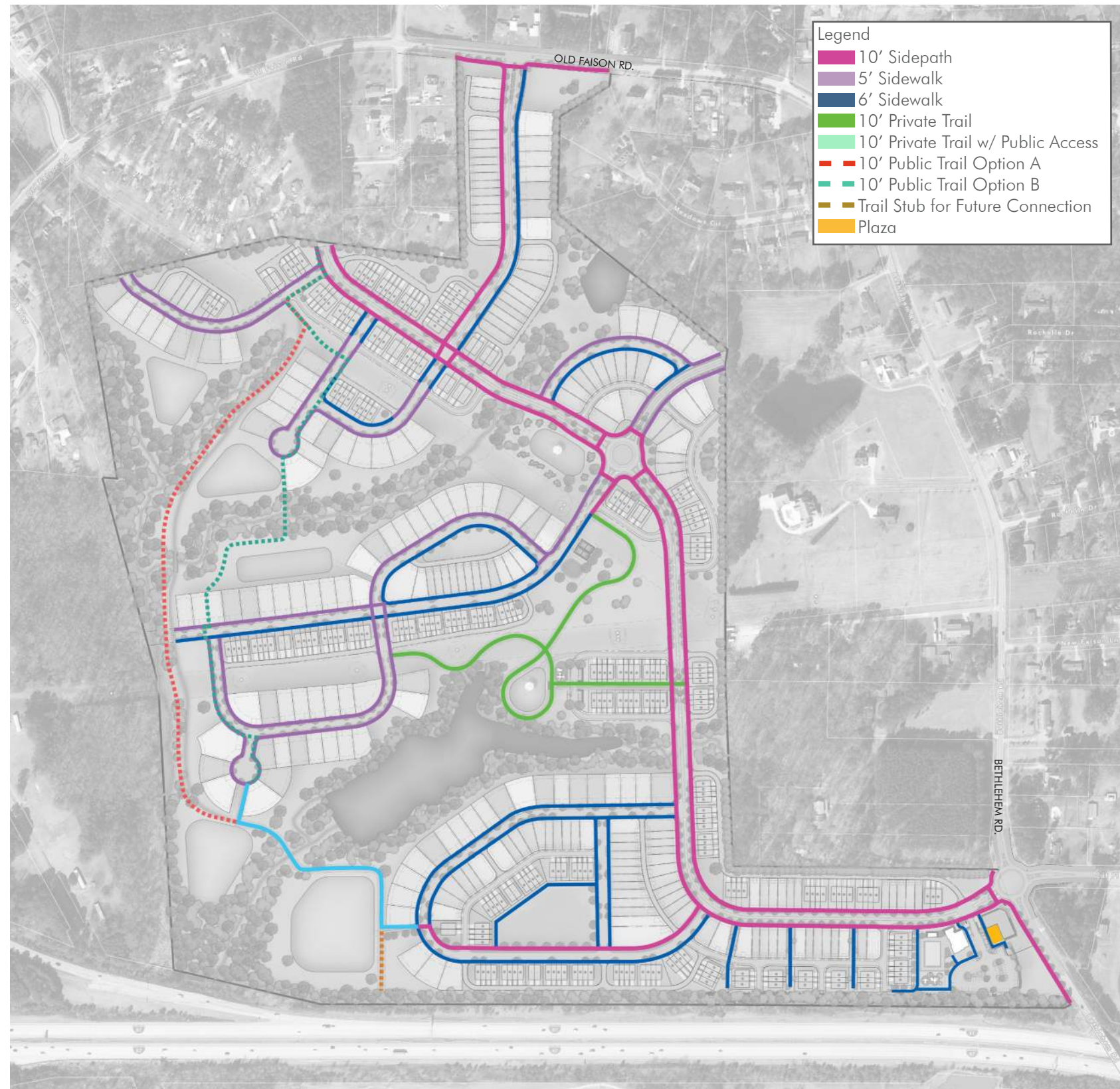


Figure 16: Pedestrian Network for Lyndon Oaks

PEDESTRIAN CIRCULATION

Lyndon Oaks is proposing a connected network of amenity spaces and dwelling units through the use of sidewalks, sidepaths, and greenway trails to create a walkable, pedestrian-friendly community as seen in Figure 16.

» The plan shown is preliminary and subject to change at the time of site plan.

SIDEWALK NETWORK

» WIDTH: 5'-6' wide

SIDE PATH

» WIDTH: 10' wide

GREENWAY TRAIL

» WIDTH: 10' pavement width (30' easement)

PLAZA

» PROVIDED SIZE: ± 2,000 SF

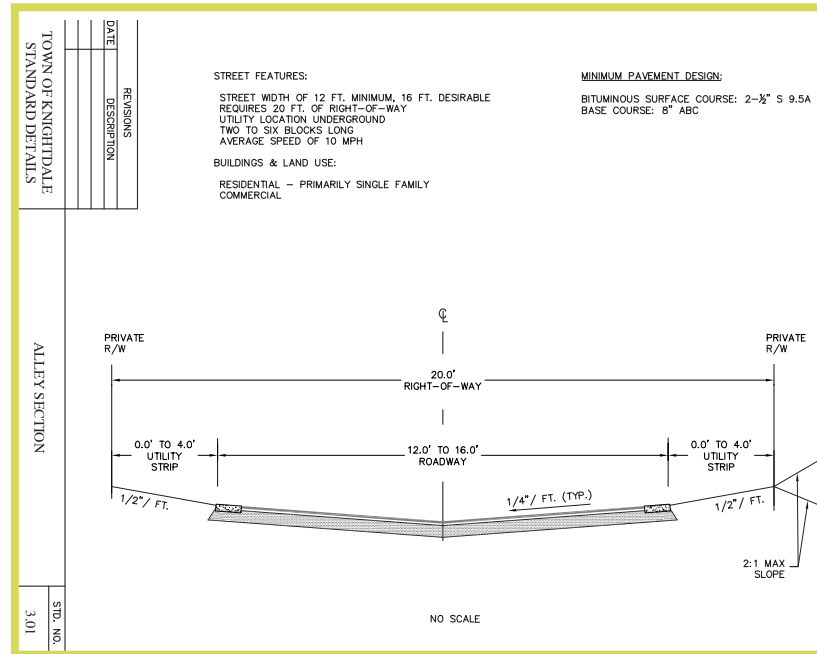
AMENITY SPACES

» See Open Space Plan

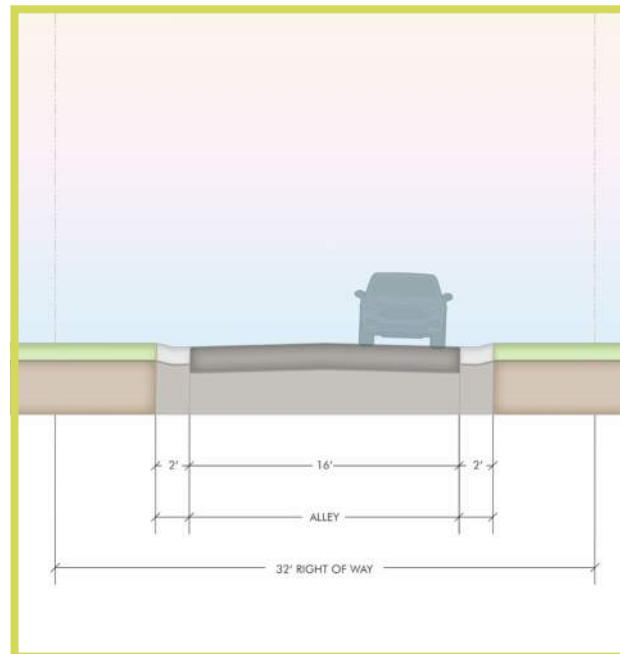
Easement for future pedestrian bridge over I-87: Prior to approval of construction drawings for the first phase of development, the applicant will offer a minimum of 100 square feet of site area as a non-exclusive, permanent easement area to be dedicated to the Town for construction, maintenance, and repair of footings for a future pedestrian bridge over I-87, together with such temporary construction easements as are necessary for completion of such work. If accepted by the Town Transportation Director, such easement area shall be shown on the construction drawings and subdivision plat and granted to the Town pursuant to a recorded Deed of Easement.



Street Sections



Public Alley

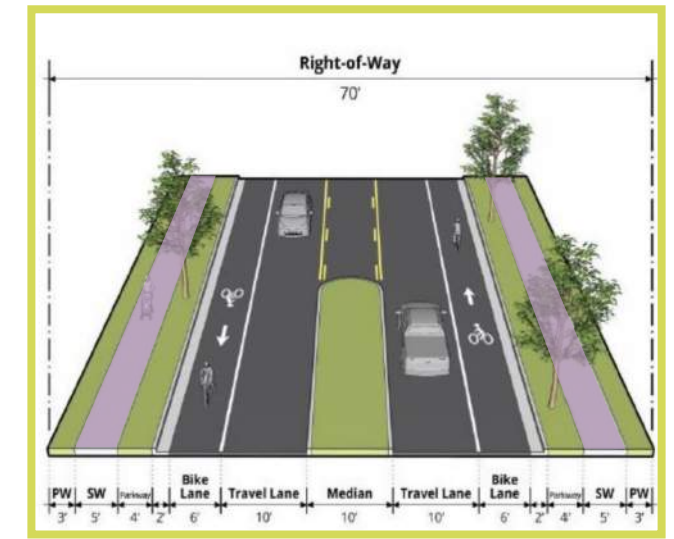


Private Alley

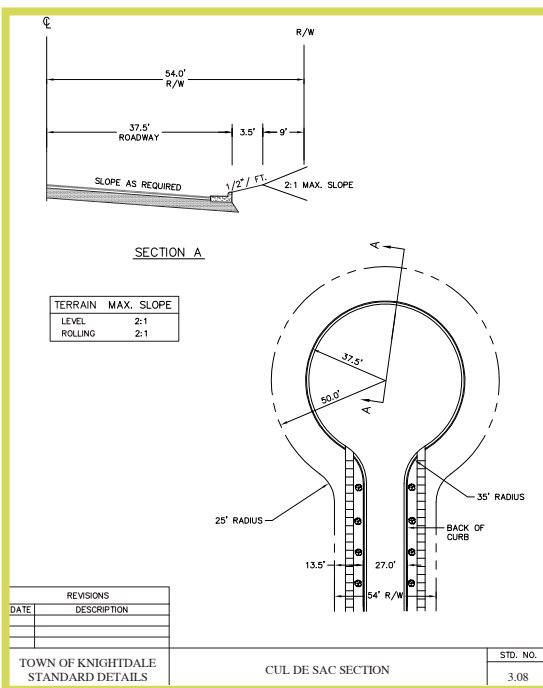
Not to Scale



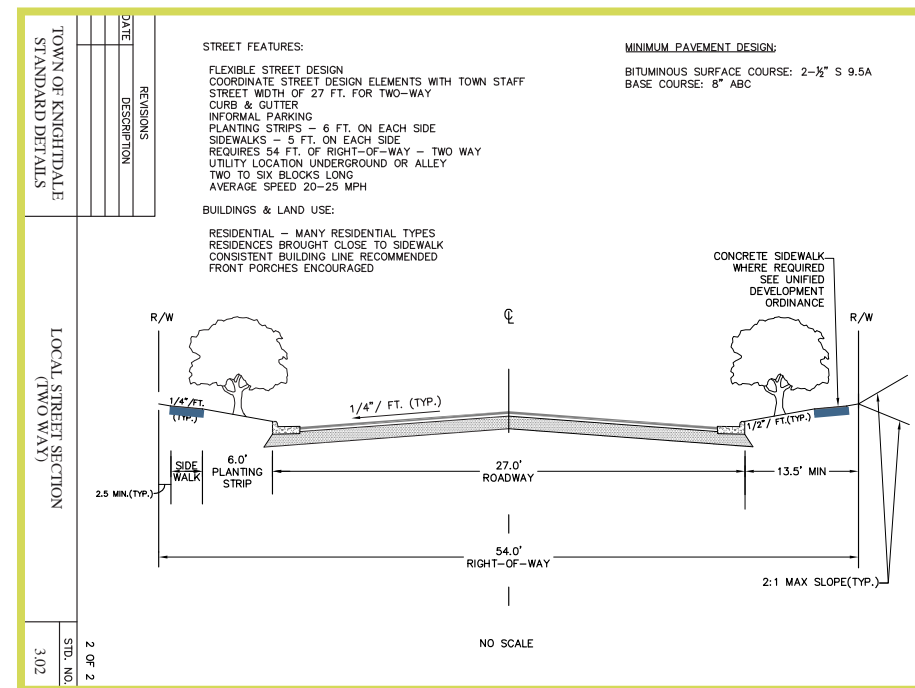
Avenue 3-lane
Multi-use path: 10' pavement width



Main Street
5' Sidewalk

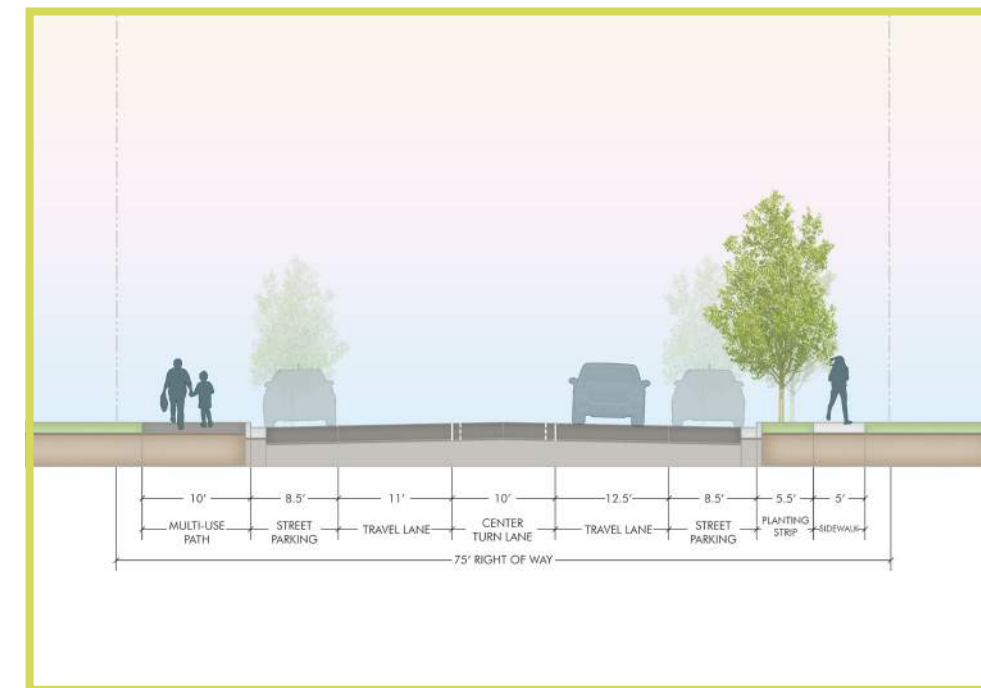


Cul-de-sac



Local Street* 6' Sidewalk 5' Sidewalk

*Note: On-street parking utilized. See Site Development Allowances.

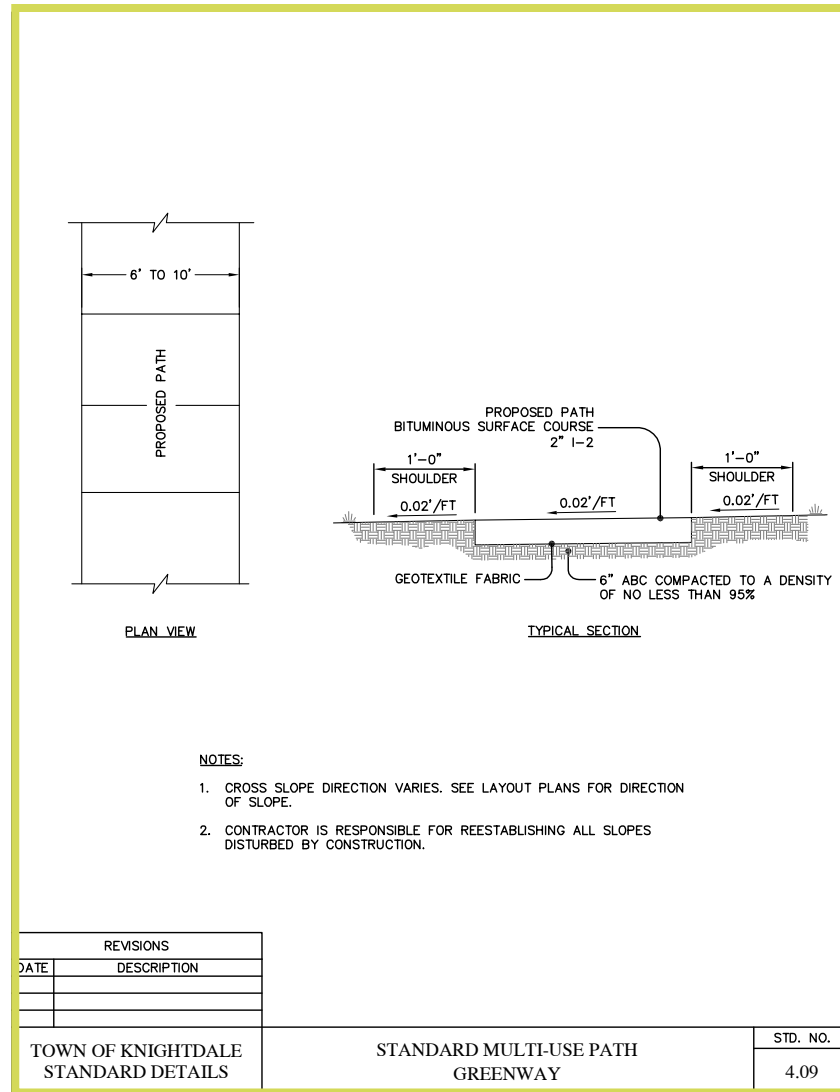


Modified Avenue w/ on Street Parking

Not to Scale

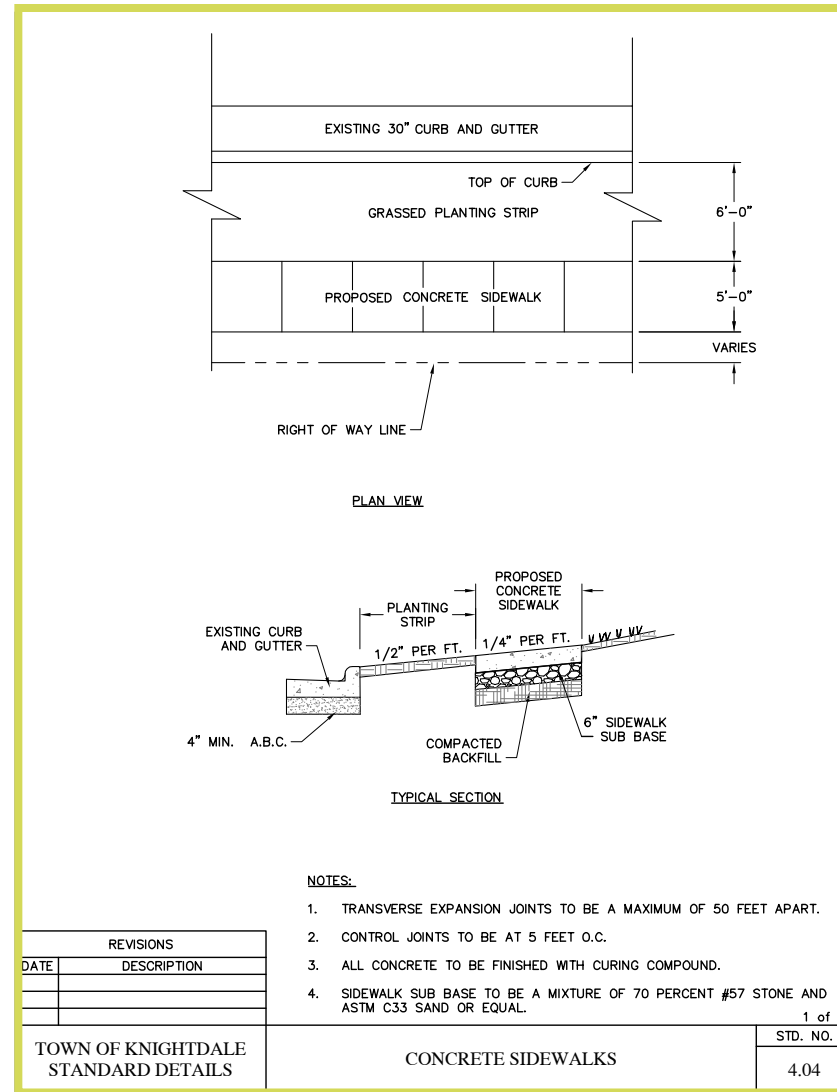
*Note: Staff is developing updated sections and details. Sections to be updated once updates received from Town of Knightdale

Additional Sections & Details

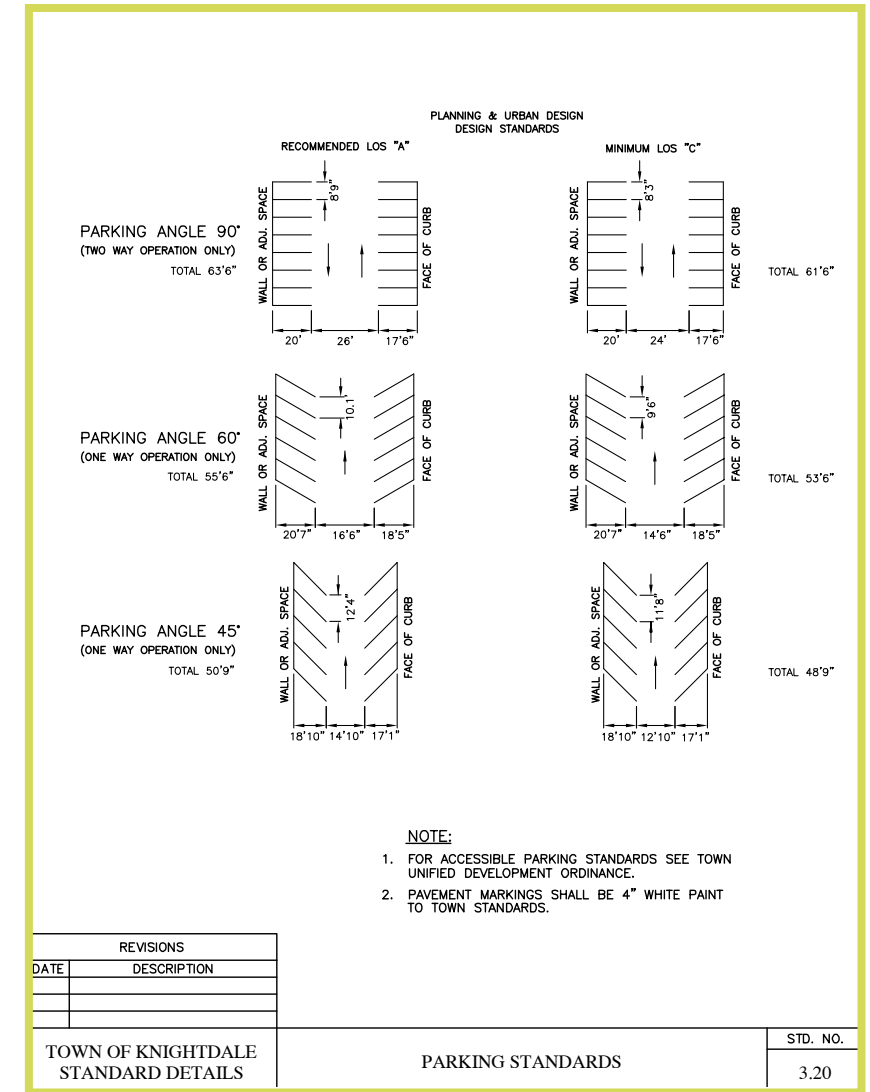


- Greenway: 10' pavement width (8' easement)
- Multi-use path*: 10' pavement width

*Note: The modified Avenue 3-Lane Divided Street section recommended by the Town has 5' sidewalks on one side, and a 10' multi-use path on the other.



- 5' Sidewalks*
- 6' Sidewalks**



*Note: Parking lots located at central amenity space, clubhouse amenity, and commercial outparcel. See Master Plan sheet.

*Note: Staff is developing updated sections and details. Sections to be updated once updates received from Town of Knightdale

Preliminary Stormwater Plan



Figure 17a: Stormwater Plan for Lyndon Oaks

STORMWATER

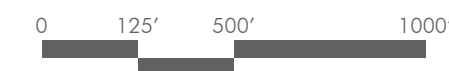
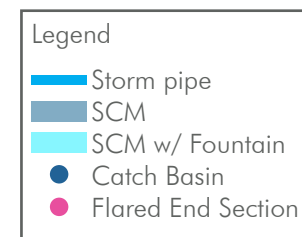
The property is located within the Neuse River Basin. The site consists of two existing ponds, and 4 perennial streams which create four unique drainage areas. Stormwater runoff within these areas will be controlled by multiple SCMs as seen in Figure 17a. The outfall is located at the southwest corner of the property. All stormwater shall be subject to the stormwater management requirements set forth in Chapter 9 of The Town of Knightdale Unified Development Ordinance. The stormwater treatment shall adhere to guidelines established in the NCDEQ Stormwater Design Manual.

The SCM in the center of the site and near the central roundabout will have a fountain installed to create a water amenity. See Figure 17b for an example of a pond fountain.

» The plan shown is preliminary and subject to change per direction from Knightdale staff.



Figure 17b: SCM fountain example



Preliminary Utility Plan



Figure 18: Utility Plan for Lyndon Oaks

WATER & SEWER

Lyndon Oaks will design all water and sewer to meet the standards of the City of Raleigh. Water allocation points will be met for the Major Subdivision through the use of many site elements that listed in the tables below. Precedent images of these elements can be found in the Site Programming section of this PUD.

» The plan shown is preliminary and subject to change per direction from City of Raleigh staff.

WATER ALLOCATION POLICY

Required amount: 50 pts.

MAJOR SUBDIVISION	
Major Subdivision (Base points)	15 pts.
Conservation of Natural Habitat	7 pts.
Construct a fountain within the SCM	4 pts.
On Street Parking	4 pts.
Residential Architectural Standards	15 pts.
3,000' or more of 6-foot wide path	3 pts.
Resort Style Pool	2 pts.
Deck/Patio (2,000 SF minimum)	2 pts.
Clubhouse (No Meeting Space, bathrooms and changing rooms only)	3 pts.
Outdoor display of public art	4 pts.
IPEMA Certified Playground Equipment	4 pts.
TOTAL PROVIDED	63 pts.
TOTAL MIN. REQUIRED	50 pts.
SINGLE-USE RETAIL	
Single Use Retail Base Points	41 pts.
Construction of Gateway Landscaping	5 pts.
Deck/Patio (2,000 SF minimum)	2 pts.
Construct Less Than 1,000 LF of 10' Wide Path	2 pts.
TOTAL PROVIDED	50 pts.
TOTAL MIN. REQUIRED	50 pts.

Note: Any combination of features listed above can be used to meet the 50 point minimum requirement. Single-Use Retail Water Allocation Policy points are preliminary and subject to change when the developer of the commercial outparcel submits a site plan.



Transportation Impact Analysis Summary

A Traffic Impact Analysis (TIA) was conducted by Ramey Kemp Associates in accordance with the Knightdale Unified Development Ordinance (UDO) and the North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. A full copy of the TIA was submitted for review and approval with the PUD submittal. The listed recommended improvements are subject to further review and final approval by NCDOT, and shall be phased with the development.

Study Area

The study area for the TIA was determined through coordination with the Town and NCDOT and consists of the following existing intersections:

- » Old Faison Road & Bethlehem Road
- » Old Faison Road & Tart Farm Road
- » Old Faison Road & Pleasant Colony Drive
- » Old Faison Road & Quiet Way
- » Bethlehem Road & Crosscut Place
- » US 64 EB Ramps & Hodge Road
- » US 64 WB Ramps & Old Faison Road
- » Smithfield Road & Old Ferrell Road
- » Bethlehem Road & Poole Road

Recommended Improvements

Based on the analysis of the TIA (including improvements to be installed by the Lyndon Oaks development), the following improvements have been recommended to be constructed to mitigate traffic impacts by the proposed development.

Westbound I-87 Ramps & Hodge Road (Improvements by STIP W-5705AK)

- Construct a westbound right turn lane with 100 feet of storage and appropriate decel and taper.
- Construct a westbound left turn lane with 100 feet of storage and appropriate decel and taper.
- Modify signal timings and signal phasing.

Old Faison Road & Bethlehem Road (Improvements by Developer)

- Construct a signal
- Construct a northbound left turn lane with 250 feet of storage
- Construct a westbound right turn lane with 250 feet of storage
- Construct a westbound left turn lane with 175 feet of storage
- Roundabout improvement may be provided in lieu of the signal and turn lanes recommended by the TIA if later requested by the Town, sufficient right-of-way is available, and this improvement is approved by NCDOT.

Old Faison Road & Tart Farm Road / Site Access A (Improvements by Developer)

- Construct an eastbound right turn lane with 75 feet of storage and appropriate decel and taper.
- Construct exclusive northbound left turn lane with full storage.
- Provide stop control for northbound approach.

Bethlehem Road & Crosscut Place / Site Access B (Improvements by Developer)

- Construct a single-lane roundabout.
- Construct eastbound approach with one ingress and one egress lane.
- Provide yield control for eastbound approach.

Westbound I-87 Ramps & Hodge Road (Improvements by Developer)

- Extend westbound left turn lane to contain 175 feet of storage and appropriate decel and taper.
- Extend southbound left turn lane to contain 275 feet of storage and appropriate decel and taper.
- Extend eastbound left-through lane to contain 275 feet of storage and appropriate decel and taper.

Bethlehem Road & Poole Road (Improvements by Developer)

- Construct left turn lanes with 100 feet of storage.

06



AMENITIES

Site Programming



Lyndon Oaks will provide a variety of amenities to promote a healthy lifestyle, opportunities to enjoy the outdoors, and foster a sense of community. The site is proposing a network of ±20 acres of open space and recreational amenities. The proposed amenities may include but are not limited to the following:

- 1 Greenway Trail**
 - » Public and private greenway trails will be located throughout Lyndon Oaks and will be 10' wide asphalt paths. In addition to the 10' multi-use paths along Widewaters Parkway, there are many pedestrian routes through the community.
- 2 Village Green**
 - » The Village Green will be a large open green space that can be used for a variety of activities by the community.
- 3 Playground**
 - » The IPEMA certified playground will be located in two open spaces to allow for greater access for families in Lyndon Oaks
- 4 Dog Park**
 - » The playground will be located in one of the active open space areas and will provide a place for residents to let their dogs run.
- 5 SCM Fountains**
 - » The pond fountains will amenitize the stormwater ponds located in both the center of the site, and near the central roundabout active open space.
- 6 Neighborhood Serving Commercial**
 - » The commercial outparcel will be low-intensity, and will meet the needs of nearby residents.
- 7 Pickleball Court**
 - » Two Pickleball courts will allow for additional active recreational opportunities for the neighborhood

Site Programming



1



2



3

1 Pocket Park

» Pocket parks will be located in several places throughout Lyndon Oaks and may include benches, open lawn, landscaping, fire pits, and other recreational opportunities.

2 Bench Swing Park

» A bench Swing Park will be located in one of the open spaces for the community and will provide a fun seating alternative for people of all ages.

3 Hammock Park

» A Hammock Park will be located in Lyndon Oaks to add an additional type of open space that will allow residents of all ages to relax and unwind.



4



5



6

4 Pollinator Garden

» A pollinator garden will be provided around the SCM nearest to the central roundabout to create a habitat for pollinators in the community.

5 Overlook with Gazebo

» The central pond will have an overlook plaza and gazebo to allow for a community gathering focal point.

6 Benches

» Benches will be provided in open spaces around Lyndon Oaks to provide spaces for the community to relax & rest.



7



6



7

7 Public Display of Art

» An art installation and roadside landscaping may be provided near the central roundabout for enjoyment from both vehicular and pedestrian users of the site.

Clubhouse Programming



3



2



3

- 1 Clubhouse**
Lyndon Oaks will have a Clubhouse for the residents that will include community amenities and a resort-style pool.
- 2 Pool**
The Clubhouse will include an outdoor resort-style pool for the neighborhood residents.
- 3 Clubhouse Amenities**
The Clubhouse may include a kitchen, outdoor area, and community room.



1



2

3



1



1

3

AMENITIES

Open Space Plan



Figure 19: Open Space Plan for Lyndon Oaks

Lyndon Oaks provides both active and passive recreation areas throughout the development. All recreation spaces are located in places that are accessible to all residents of the community. The network of Greenway Trails and the 10' Side path** along Widewaters Parkway create additional connection opportunities between all of the provided open spaces.

Active open space areas may include but are not limited to the following uses: A Clubhouse, Resort-style Pool, (2) Playgrounds, (2) Pickleball courts, a Bench Swing Park, a Hammock Park, Greenway Trails, and additional pocket parks.

Passive open space areas may include but are not limited to the following uses: Village Green, Pollinator Gardens, Public Display of Art, Paths & Benches, Private Greenway Trails, Open Lawns and entry landscaping.

Please see Site programming page for example imagery.

RECREATIONAL OPEN SPACE STANDARDS*

PROXIMITY ZONE:	All outside 1/2 mile distance
TOTAL BEDS:	1,500 beds
» SINGLE FAM. DETACHED:	(236 DU) x (3 beds) = 708 beds
» TOWNHOMES/DUPLEX:	(264 DU) x (3 beds) = 792 beds
DEDICATION RATE:	520 sf
» SINGLE FAM. DETACHED:	(708 beds) x (520 sf) = 368,160 sf
» TOWNHOMES/DUPLEX:	(792 beds) x (520 sf) = 411,840 sf
REQ. OPEN SPACE:	± 780,000 sf (17.90 ac)
» REQ. ACTIVE SPACE (50%):	± 8.95 ac (50% of req.)
» REQ. PASSIVE SPACE (50%):	± 8.95 ac (50% of req.)
PROP. OPEN SPACE:	± 20.55 ac total
» PROP. ACTIVE SPACE:	± 9.28 ac (0.33 ac over req.)
» PROP. PASSIVE SPACE:	± 11.27 ac (2.32 ac over req.)

* Open space is calculated according to Town of Knightdale UDO Sec. 11.2.c.

**According to Town of Knightdale UDO Sec. 11.2.A, Recreational Open Space can not include areas covered by buildings, structures, parking lots, dry ponds, required setbacks, or public R/W.



07



LANDSCAPE

Preliminary Landscape Plan



Lyndon Oaks will design all landscape areas according to the Knightdale Unified Development Ordinance. The site is surrounded by a 20' Type B Buffer yard as required in Section 7.4.I.1. of the UDO. The preliminary plan only shows typical buffer plantings and street tree plantings as seen in Figure 20. The riparian buffer will consist of tree preservation to maintain the natural qualities of the site.

- » The plan shown is preliminary and subject to change per direction from Town of Knightdale staff.
- » More detailed landscape plans with planting details and species list will be provided at the time of site plan and are subject to review from Town of Knightdale Staff.
- » Location and amounts of trees are conceptual in nature and subject to change.

Figure 20: Landscape Plan for Lyndon Oaks

Landscape Buffers

The perimeter Lyndon Oaks contains a Type B Buffer Yard per Town of Knightdale Unified Development Ordinance Chapter 7. Figure 21 shows a typical 100' section of the Type B buffer for Lyndon Oaks.

TYPE B BUFFER YARD STANDARDS (UDO Sec. 7.4.1.3)

Minimum width: 20'

Minimum landscape height/opacity:

- » Ground to 6' Semi-opaque screen
- » 6' - 30' Intermittent visual obstruction

Maximum landscape horizontal openings:

- » 5' Semi-opaque screen
- » 20' Intermittent visual obstruction

Required plantings:

- » Canopy Trees 3 per 100 linear feet
- » Understory Trees 5 per 100 linear feet
- » Shrubs 20 per 100 linear feet
- » Evergreen vs. deciduous
 - Canopy trees: A minimum of 40% / maximum 60% must be evergreen
 - Understory trees: A minimum of 40% / maximum 60% must be evergreen
 - Shrubs: At least 80% must be evergreen

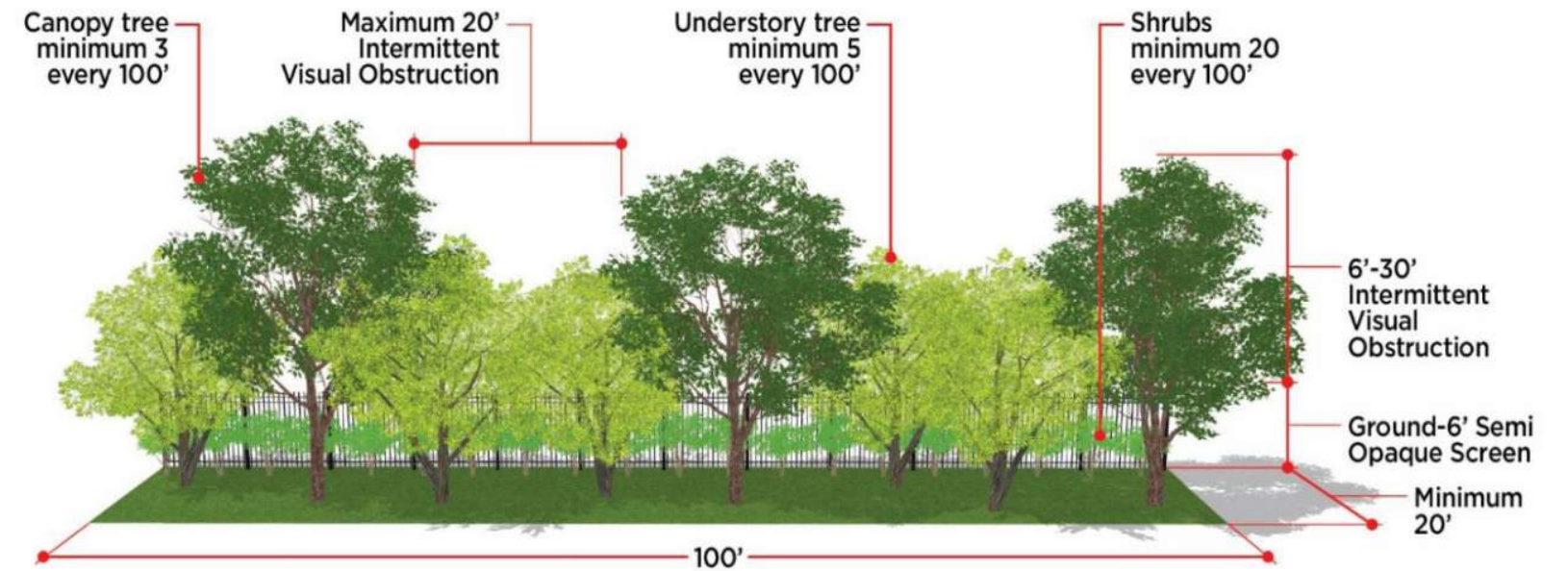


Figure 21: Type B Buffer

The southern property line of Lyndon Oaks contains a Type D Buffer Yard per Town of Knightdale Unified Development Ordinance Chapter 7. Figure 22 shows a typical 100' section of the Type D buffer for Lyndon Oaks.

TYPE D BUFFER YARD STANDARDS (UDO Sec. 7.4.1.5)

Minimum width: 50'

Minimum landscape height/opacity:

- » Ground to 30' Opaque Screen
- » Ground to 6' Earthen Berm

Maximum landscape horizontal openings:

- » None permitted

Required plantings:

- » Canopy Trees 5 per 100 linear feet
- » Understory Trees 8 per 100 linear feet
- » Shrubs 35 per 100 linear feet
- » Evergreen vs. deciduous
 - Canopy trees: A minimum of 40% / maximum 60% must be evergreen
 - Understory trees: A minimum of 40% / maximum 60% must be evergreen
 - Shrubs: At least 80% must be evergreen

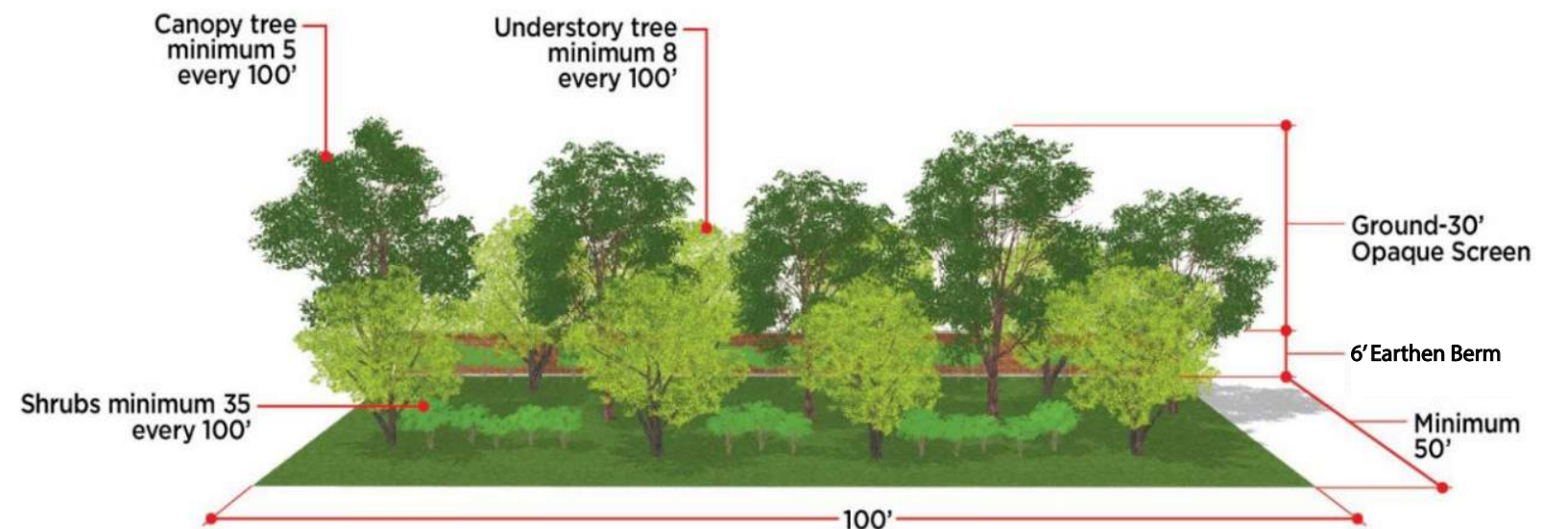


Figure 22: Type D Buffer

08



**ARCHITECTURAL
DESIGN STANDARDS**

Architectural Elevations - Single Family Detached



Note: Elevations shown are conceptual in nature and subject to change. See page 45 for list of architectural standards.



Architectural Elevations - Single Family Attached (Townhomes)



Note: Elevations shown are conceptual in nature and subject to change. See page 45 for list of architectural standards.

Architectural Design Standards

1. Single-family 2 story homes built on lots at least 60-feet wide will have a minimum heated area of 1,900 square feet.
2. Single-family 1 or 1.5 story homes built on lots at least 60-feet wide will have a minimum heated area of 1,600 square feet.
3. Single-family homes built on lots greater than 35' and less than 60-feet wide will have a minimum heated area of 1,500 square feet.
4. All single-family homes with crawl spaces will be wrapped in brick or stone on all sides.
5. Foundation for all single-family detached homes shall be raised to a minimum height of 14 inches above finished yard grade in the front and shall contain a minimum of 2 stair risers up to the front porch.
6. All detached and attached single-family homes will have a combination of two or more of the following materials on the front facade (not including foundation): stone, brick, lap siding, fiber cement siding, shakes or board and batten unless the home is only stone or brick. The exterior siding material on the side and rear facades will be fiber cement. When two materials are used, the materials shall be different but complimentary colors. Vinyl may be used only for window trim, shutters, soffits, fascia, and/or corner boards.
7. All detached single-family homes will have a front porch with a minimum depth of 5 feet, which may encroach up to 6 feet in the front setback. Front porch posts will be at least 6"x6".
8. Main roof pitches (excluding porches) fronting the street for 2-story homes will be at least 6:12.
9. Main roof pitches (excluding porches) fronting the street for 1-story and 1.5-story homes will be at least 6:12 unless an alternate is approved by staff.
10. Garages will not protrude more than 6 feet from the front porch stoop, unless an alternative is approved by staff.
11. All garage doors shall contain window inserts.
12. For every 30 feet (or fraction) of continuous side elevation (calculated on a per floor basis), there shall be one window or door added to the side elevations. Any siding break on the side of the home such as a fireplace, side porch, wall offsets could be used as an alternative to windows.
13. There shall be a minimum 12" overhang on every gable end for every single-family detached home.
14. Anti-monotony provisions: in order to promote variation in home appearances, no attached or detached home located adjacent or across the street shall have the same elevation and color combination.

Development Conditions - Commercial Outparcel



1. Use Standards: The proposed use standards will restrict certain uses otherwise permitted in the RMX zoning district. This will encourage more neighborhood oriented and small businesses to better serve residents.
 - » Businesses with operating hours of 24 hours per day are not permitted.
 - » Vape, Tobacco, and CBD Stores, or businesses that sell these products are not permitted.
 - » The following principal uses shall be the only allowable uses, and shall be permitted by-right:
 - Child/Adult Day Care Center (6 or more people)
 - Personal Services
 - Professional Services
 - Medical Services
 - Neighborhood Retail/Restaurant (2,000 sf or less)
 - Allowed RMX district accessory uses
 - Bar/Tavern/Microbrewery
 - Studio (Arts, dance, martial arts, music)
2. Developer shall stub potable water, sanitary sewer, and storm drainage to commercial outparcel prior to plat recordation, or provide a surety for completion thereof.
3. Developer shall construct curb, gutter, and sidewalk improvements along commercial outparcel prior to plat recordation, or provide a surety for completion thereof.
4. The commercial outparcel shall not be owned by the Homeowners Association.
5. Developer is responsible for maintaining the commercial outparcel in a manner consistent with Lyndon Oaks Homeowners Association properties, until the commercial property is developed and/or sold by developer.
6. A 10' landscape buffer shall be planted adjacent to residential lots prior to plat recordation, or provide a surety for completion thereof.
7. Parking lots shall contain vegetative screening in accordance with Knightdale's UDO.
8. Buildings shall be permitted up to two (2) stories.
9. Buildings shall meet the design standards for commercial buildings in UDO Sec. 6.9, or mixed-use buildings in UDO Sec. 6.8, depending on the use(s).

09



**SITE DEVELOPMENT
ALLOWANCES**

Lyndon Oaks - Site Development Allowances

The proposed zoning for Lyndon Oaks is RMX-PUD. Lyndon Oaks meets all standards set forth in the Town of Knightdale's Unified Development Ordinance with the exception of a few conditions. Due to primarily environmental and other site constraints, and in order to provide more landscape conservation and beneficial common open space for an overall better-integrated design, the applicant is requesting the following site development allowances:

Bulk and Dimensional Standards (UDO Sec. 3.4)

- Lot width (street loaded)
 - » In the RMX base district, the minimum required lot width for a street loaded lot is 80', and the minimum lot width for an alley-loaded lot is 30'.
 - » In order to create a variety of housing types and price-points, and a more walkable community, we are proposing single family detached front-loaded homes with lot widths of less than 80', and single family attached alley-loaded homes with lot widths of less than 30'.
- Driveway length
 - » In the RMX base district, the minimum required driveway length is 35' for a residential lot.
 - » For front-loaded residential types, we are proposing a 20' minimum driveway length and a 20' minimum driveway length for rear-loaded. This is mitigated by ample on-street guest parking, and the proposed driveway lengths allow for homeowners or guests to park a car in the driveways without blocking pedestrian facilities.

Standard Street Sections (UDO Sec. 10.4.A.1.b & Town Standard Details)

- Local Street Section - Two Way
 - » The standard detail calls for a 54.0' right-of-way, and allows for informal parking.
 - » Lyndon Oaks is proposing on-street parking along sections of road where there are no residential driveways. On street parking will allow for guest parking near units. We are not providing on-street parking on streets with front-loaded units to avoid any potential sight triangle conflicts as residents exit their driveways.

Proposed Distribution (UDO Sec. 11.1.B)

- Lyndon Oaks is providing residential uses and nonresidential space, and thus has a required distribution of uses listed in Knightdale's UDO Sec. 11.1.B. Lyndon Oaks will meet the required distribution ranges for single-family homes, but will not be providing a multifamily component, and the commercial component, which is not at a planned Neighborhood Node and will likely be small-scale neighborhood-serving commercial or office use(s), is smaller than the minimum 5%. The proposed distribution range for townhomes is also smaller than the minimum of 5%. The proposed use distribution is as follows:

» Dwelling - Single Family	28.6%
» Dwelling - Townhouse	7.8%
» Retail/Restaurant/Entertainment/Office/Service	0.5%

Residential Clearing & Grading (UDO Sec. 9.3.B)

- Lyndon Oaks will require a site development allowance pertaining to Residential Clearing and Grading as specified in Section 9.3.B of the UDO in order to provide more efficient utility infrastructure and effective stormwater design.
 - » Currently, mass grading is prohibited on lots 60' in width or greater.
 - » Lyndon Oaks requests to mass grade 60' and 70' single-family lots (an additional 96 lots, 19.2% of the lots being developed). Any lot 80' in width or greater shall not be mass graded.

Street Section for Neighborhood Streets (UDO Sec. 11.3.B.3.)

- The project places residential development in pods to avoid additional impacts to the site's many streams and wetlands, and the pod at the center of the site is greater than 20 acres and can only be accessed by the street to the west of the Widewaters Parkway roundabout without creating additional undue environmental impacts. Because the street provides access from Widewaters Parkway to a residential area of over 20 acres, UDO 11.3.B.3 would require a Main Street section; however, Lyndon Oaks proposes a modified Local Street Section - Two Way, which is 16' feet narrower than the Main Street section, and will allow for more green space on the site. The proposed modified Local Street Section - Two Way would not require a median, which would cause the residential sections to the north and south of the road to be disconnected and makes pedestrian crossings more difficult. The project does not wish to build a larger street section than what is needed to access this pod of residential development, and that will not be needed to connect to what is planned to be Mixed Density Residential development on the approximately 20 vacant acres to the east on Clifton Road, which is a dead-end road and is not planned to connect over I-87 on the Roadway Network Plan. Thus, this future street connection will likely only serve to connect two residential neighborhoods and will not collect regional trips, so a more neighborhood-friendly, slower street section is more appropriate.

Lyndon Oaks - Site Development Allowances Continued

Rear-Loaded Homes that Front a Public Green with Pedestrian Facilities (UDO Sec. 11.2.C.11)

- In order to provide flexibility for the proposed neighborhood design that includes small groups of rear-loaded townhomes that front passive open space areas with pedestrian facilities to encourage community gathering and use of alternative forms of transportation, Lyndon Oaks requests a site development allowance for open space areas that have a minimum of 34' of frontage on either a public street or alley, rather than 50' of frontage.

Public Alleys for Utilities (UDO Sec. 10.4.A.1.b)

- Lyndon Oaks requests 32' public rights-of-way (alleys), as shown in the Master Plan, in order to provide utilities to rear-loaded homes that either front public open space rather than a public right-of-way, or do not directly front a public right-of-way, and alley access provides a more-direct route to connect homes to public utilities (particularly around the Widewaters Parkway roundabout).

Modified Avenue (currently called Tart Farm Rd) Median (UDO 7.2.A.2)

- Lyndon Oaks proposes a modified Main Street section for the development's access drive. Consistent with the intermingled mix of housing types in the rest of the neighborhood, this gateway to the community (along current location of Tart Farm Road) will feature larger-lot front-loaded and smaller-lot rear-loaded homes, which, under UDO 7.2.A.2, requires on-street parking on one side of the street and a landscaped median. The proposed modified section meets the requirement, but proposes a center lane instead of median so as to not restrict driveway and alley access to the homeowners on this road.

Modified Avenue (currently called Tart Farm Rd) and Widewaters Parkway Intersection Design (UDO 11.3.B.4)

- Lyndon Oaks proposes a four-way stop with traffic calming measures, including bump-outs to shorten distances of pedestrian crossings and high-visibility crosswalks, at the intersection of the Modified Avenue and Widewaters Parkway. These measures will slow down traffic and ensure pedestrian safety at this intersection, which is very close to the intersection of Widewaters Parkway and the Roadway Network Plan's planned Main Street connection to a future Neighborhood Node at the intersection of Bethlehem and Old Faison Roads, where the development will be providing a roundabout to calm traffic as well.

10

**NEIGHBORHOOD
MEETING**

Meeting Information

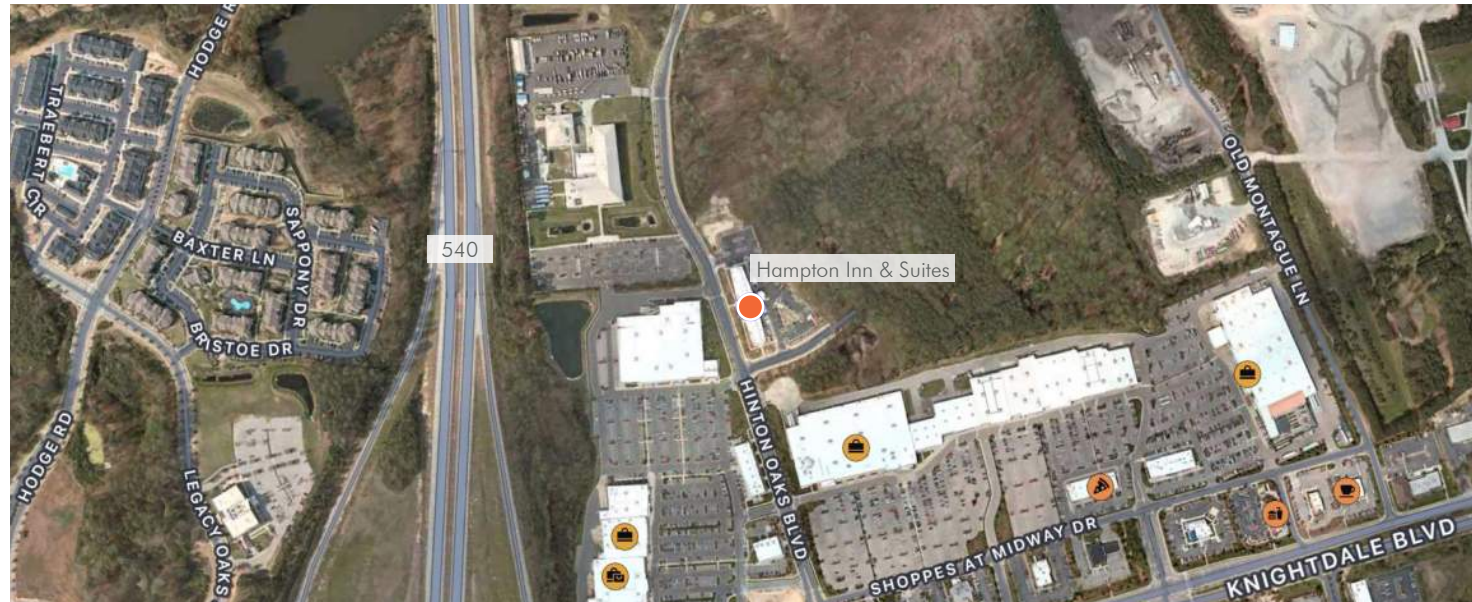


Figure 23: Hampton Inn & Suites Knightdale Vicinity Map (Not to scale)

A neighborhood meeting was held on November 14th, 2023 at 6:00 pm at the Hampton Inn & Suites Knightdale. See Figure 23 for a map of the meeting location. There were approximately 40 neighbors in attendance, along with a member of the development team, four members of the design team, and one Senior Planner from the Town of Knightdale.

Date of meeting:	Tuesday Nov. 14, 2023
Time of meeting:	6:00 pm EST
Meeting address:	Hampton Inn & Suites Knightdale 405 Hinton Oaks Blvd. Knightdale, NC 27545
Developer:	
» DR Horton:	Reese Bridges, PE, Entitlements Manager Cameron Jones
Design consultants:	
» Urban Design Partners:	Brian Richards, PLA
» Ramey Kemp Associates:	Caroline Cheeves, PE
» Parker Poe:	Ashley Honeycutt Terrazas, Land Use Attorney
Town of Knightdale:	Gideon Smith, AICP, Senior Planner

Neighborhood Meeting Questions

At the neighborhood meeting for Lyndon Oaks, the neighbors had questions about stormwater, density, renter vs. owner housing, traffic, number of new children in schools, forced annexation, construction timeline, target price for homes, quality of residents moving, wildlife habitat, and property values. Their questions are as follows:

» **Question/Concern #1: Stormwater, Runoff, and Grading**

- Applicant clarified that grading is not complete but the goal is for the site to be balanced (no import, no export dirt) but ultimately the site will tie into the grade along the perimeter of the site. Stormwater runoff is state-regulated and cannot be increased on adjacent properties. SCMs are monitored yearly.

» **Question/Concern #2: How Is Density Calculated?**

- Applicant clarified that density is calculated based on total gross acreage, it does not exclude amenity areas, thus residential density on the site is less than 3 units/acre.

» **Question/Concern #3: Renter vs. Owner-Occupied Housing**

- Applicant clarified that North Carolina law prohibits regulating occupancy in a zoning ordinance.

» **Question/Concern #4: Traffic on Bethlehem Road & Roundabouts Being Dangerous for Large Emergency Vehicles**

- Applicant clarified that roundabouts are designed such that emergency vehicles can drive over the center island. Roundabouts are safer because they eliminated left turns which are the most dangerous at an intersection. Knightdale UDO has been prioritizing roundabouts to improve community safety.

» **Question/Concern #5: Traffic in General, TIA Process, Intersections Studied**

- Applicant's transportation engineer clarified the Traffic Impact Analysis process and highlighted that focus is on weekday peak hours, 7AM-9AM and 4PM-6PM. She clarified that all of the traffic counts and turning movements are taken into account. She listed the intersections that would be studied. She clarified that the goal of TIA is to determine worst-case scenario (maximum trip generation at buildout). Town requires study of roadway network considering compounded growth until 2042. TIA would be submitted with the application.

» **Question/Concern #6: Number of New Children in Schools & Strain on Emergency Services**

- Applicant clarified information will be submitted to Wake County Public Schools and emergency services.

» **Question/Concern #7: Taking Neighbors Land, Forced Annexation**

- Applicant clarifies that it is giving land to Knightdale to make roadway improvements. Applicant clarified that roadway improvements will be within the already existing public right of way, but if property needed to be acquired to make an improvement, the Town and NCDOT cannot use eminent domain to take property for a private development. NC law now requires voluntary annexation.

» **Question/Concern #8: Timeline of Construction of Development**

- Applicant clarified estimated timing: Zoning process through Spring and Summer of 2024; Design drawings (water, sewer, grading, traffic) 12 months later (end of 2024); At least a year to a year and a half to develop the first phase (end of 2025, beginning 2026); begin wrapping up houses at end of 2026; Early 2027 moving first customers into first phase

Neighborhood Meeting Questions (Continued)

- » **Question/Concern #9: Target Price for the Homes**
 - Applicant clarified that sizes ranged from 1,500 square feet for townhouses and smaller houses to 3,000+ square feet for single family homes; in today's terms, pricing would range from \$200,000 to \$600,000+, but could not commit to pricing for future market rates.

- » **Question/Concern #10: Quality of Residents Moving**
 - Town is strict about architectural standards, and the plan is to provide a high quality product.

- » **Question/Concern #11: Wildlife and Native Habitat**
 - Applicant clarified that natural vegetation will be retained around pond, lake, and streams and there will be a walking trail as a natural amenity onsite and they are doing their homework to develop consistently with the history of the land. Approximately 17 acres of preserved area.

- » **Question/Concern #12: Decrease in Property Values**
 - Applicant clarified they have never seen property values decrease due to development with exception of some industrial projects.

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