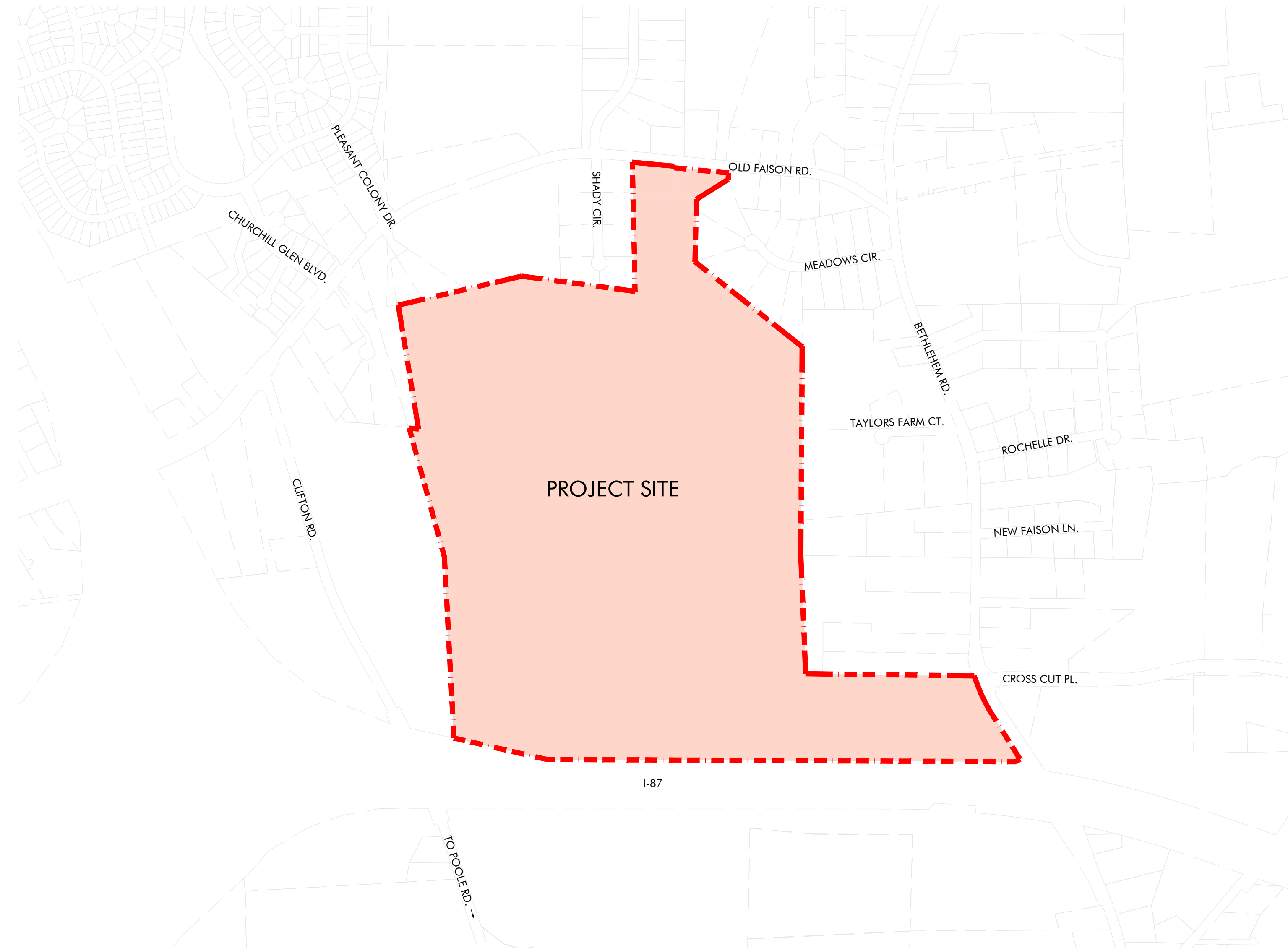


Lyndon Oaks Master Plan

Town of Knightdale RMX-PUD Master Plan Submittal: ZMA-2-23 Second Submittal: 02/05/2024

Sheet List Table

Sheet Number	Sheet Title
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--	Wetland Report
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C-3.2	Site Plan Enlargement 2
C-3.3	Site Plan Enlargement 3
C-3.4	Site Plan Enlargement 4
C-3.5	Site Plan Enlargement 5
C-3.6	Site Plan Enlargement 6
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LS-2.0	Landscape Details
LS-2.1	Landscape Details
A-1.0	Architectural Elevations



VICINITY MAP 1" = 500'

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- NO WORK WILL BE ALLOWED WITHIN NCDOT ROW UNTIL ALL ENCROACHMENT AGREEMENTS ARE APPROVED BY NCDOT.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY TOWN OF KNIGHTDALE INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" TOWN OF KNIGHTDALE STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARBOARD DUMPS(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH TOWN OF KNIGHTDALE PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEGESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO NCDOT SPECIFICATIONS AND DETAILS AND CONTACT TOWN OF KNIGHTDALE PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF KNIGHTDALE ENGINEERING DEPARTMENT TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT TOWN OF KNIGHTDALE INSPECTIONS OFFICE AT 919-217-2250 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE AT THE TIME OF SITE PLAN/CONSTRUCTION DOCUMENTS.

CONTACT INFO:

OWNER:
CONTACT: TERRY LANCE FERRELL, RANDAL HUTCHINS FERRELL
ADDRESS: 26 SAINT JULIANS CT
PAWLEYS ISLAND, SC 29585-6309

OWNER:
CONTACT: WAYNE L. HARPER, EUGENE J. HARPER
ADDRESS: 4113 BREWSTER DR
RALEIGH, NC 27606-1711

OWNER:
CONTACT: DEBORAH JANÉ TART, MELTON E JR
ADDRESS: 4325 OLD FASION RD
KNIGHTDALE NC 27545-9179

OWNER:
CONTACT: MILTON EDWARD III TART, JANET STANLEY TART
ADDRESS: 106 TART FARM RD
KNIGHTDALE NC 27545-8134

OWNER:
CONTACT: LEE T ALFORD
ADDRESS: 4313 OLD FASION RD
KNIGHTDALE NC 27545-9179

OWNER:
CONTACT: MILTON E JR TART, PATSY P TART
ADDRESS: 4325 OLD FASION RD
KNIGHTDALE NC 27545-9179

CIVIL ENGINEER:
URBAN DESIGN PARTNERS PLLC
CONTACT: SALMAN MOAZZAM, PE
ADDRESS: 150 FAYETTEVILLE ST. SUITE 1310
RALEIGH, NC 27601
PHONE: 919-275-5002
EMAIL: SMOAZZAM@URBANDESIGNPARTNERS.COM

LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS PLLC
CONTACT: BRIAN RICHARDS, PLA
ADDRESS: 150 FAYETTEVILLE ST. SUITE 1310
RALEIGH, NC 27601
PHONE: 919-275-5002
EMAIL: BRICHARDS@URBANDESIGNPARTNERS.COM

DEVELOPER:
D.R. HORTON
CONTACT: REESE BRIDGES, PE
ADDRESS: 7208 FALLS OF NEUSE RD. SUITE 201
RALEIGH, NC 27615
PHONE: 984-247-9614
EMAIL: TBRIDGES@DRHORTON.COM

SITE DATA:

PIN(S): 1743953683; 1743971085; 1753071583;
1743976575; 1743989384; 1743986356;
1753152116

TOTAL ACRES: ± 171.88 ACRES

EXISTING ZONING: RT (RURAL TRANSITIONAL)
PROPOSED ZONING: RMX-PUD

EXISTING USE: RESIDENTIAL & AGRICULTURAL
PROPOSED USE: RESIDENTIAL

DEVELOPMENT SUMMARY:

COMMERCIAL:
•TOTAL LAND AREA: ± 0.6 AC
•BUILDINGS: 1 BLDG
•BUILDING HEIGHT: MAXIMUM 2 STORIES

RESIDENTIAL:
•TOTAL LAND AREA: ± 133.75 AC
•PROPOSED DENSITY: 500 UNITS/171.88 AC
2.91 UNITS/AC

•PROPOSED UNITS: 500 DU TOTAL
-- TOWNHOMES/DUPLEXES
20' UNIT: 96 UNITS
22' UNIT: 106 UNITS
24' UNIT: 18 UNITS
-- SINGLE FAMILY (REAR-LOAD)
30' LOT: 71 LOTS
35' LOT: 53 LOTS
40' LOT: 49 LOTS
-- SINGLE FAMILY (FRONT-LOAD)
60' LOT: 71 LOTS
70' LOT: 25 LOTS
80' LOT: 11 LOTS

OPEN SPACE:
-- REQUIRED: 17.90 AC TOTAL REQUIRED
- ACTIVE: 8.95 AC (50% OF REQ. OPEN SPACE)
- PASSIVE: 8.95 AC (50% OF REQ. OPEN SPACE)

-- PROPOSED: 20.1 AC TOTAL PROPOSED
- ACTIVE: 9.0 AC ACTIVE OPEN SPACE PROP.
- PASSIVE: 11.1 AC PASSIVE OPEN SPACE PROP.

TREE PRESERVATION:
-- REQUIRED: 6.46 AC TOTAL REQUIRED
-- PROPOSED: 17.63 AC TOTAL PROPOSED

PARKING CALCS: SEE SHEET C-3.0 FOR BREAKDOWN & REQUIREMENTS

LAND USE TOTALS:
-- TOTAL ACRES: 171.88 AC TOTAL
- COMMERCIAL: ± 0.60 AC TOTAL PROP.
- RESIDENTIAL: ± 133.75 AC TOTAL PROP.
- OPEN SPACE: ± 20.1 AC TOTAL PROP.
- TREE PRESERVATION: ± 17.63 AC TOTAL PROP.

DISTRIBUTION OF USES

USE AREAS				
USE TYPE	TYP. LOT SIZE (SF)	# OF LOTS	TOTAL AREA (SF)	ACRES
SINGLE FAMILY				
30' LOT	3,600	71	255,600	
35' LOT	4,200	53	222,600	
40' LOT	4,800	49	235,200	
60' LOT	7,200	71	511,200	
70' LOT	8,400	25	210,000	
80' LOT	9,600	11	105,600	
			1,540,200	35.4
DUPLEX / TOWNHOUSE				
20' TH	1,800	96	172,800	
22' TH	1,980	106	209,880	
24' DUPLEX	2,160	18	38,880	
			421,560	9.7
COMM/RETAIL*			25,689	0.6
DISTRIBUTION OF USES				ACRES
GROSS SITE AREA (PER SURVEY)				171.8
DEDICATED RECREATIONAL OPEN SPACE				20.1
PUBLIC R/W				28.3
NET AREA**				123.4
USE TYPE	PROP. (AC)	MIN.-MAX. DISTRIBUTION(%)	PROV. DIST. (%)	
SINGLE FAMILY	35.4	15%-60%	28.7%	
DUPLEX / TOWNHOUSE	9.7	10%-40%	7.8%	
COMMERCIAL / RETAIL	0.6	5%-20%	0.5%	



150 Fayetteville st ste 1310
raleigh, nc 27601
+ 919.275.5002
urbandesignpartners.com

nc firm no: P-2671 sc cca no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

02/05/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

LYNDON OAKS Master Plan

Cover Sheet
Knightdale, North Carolina

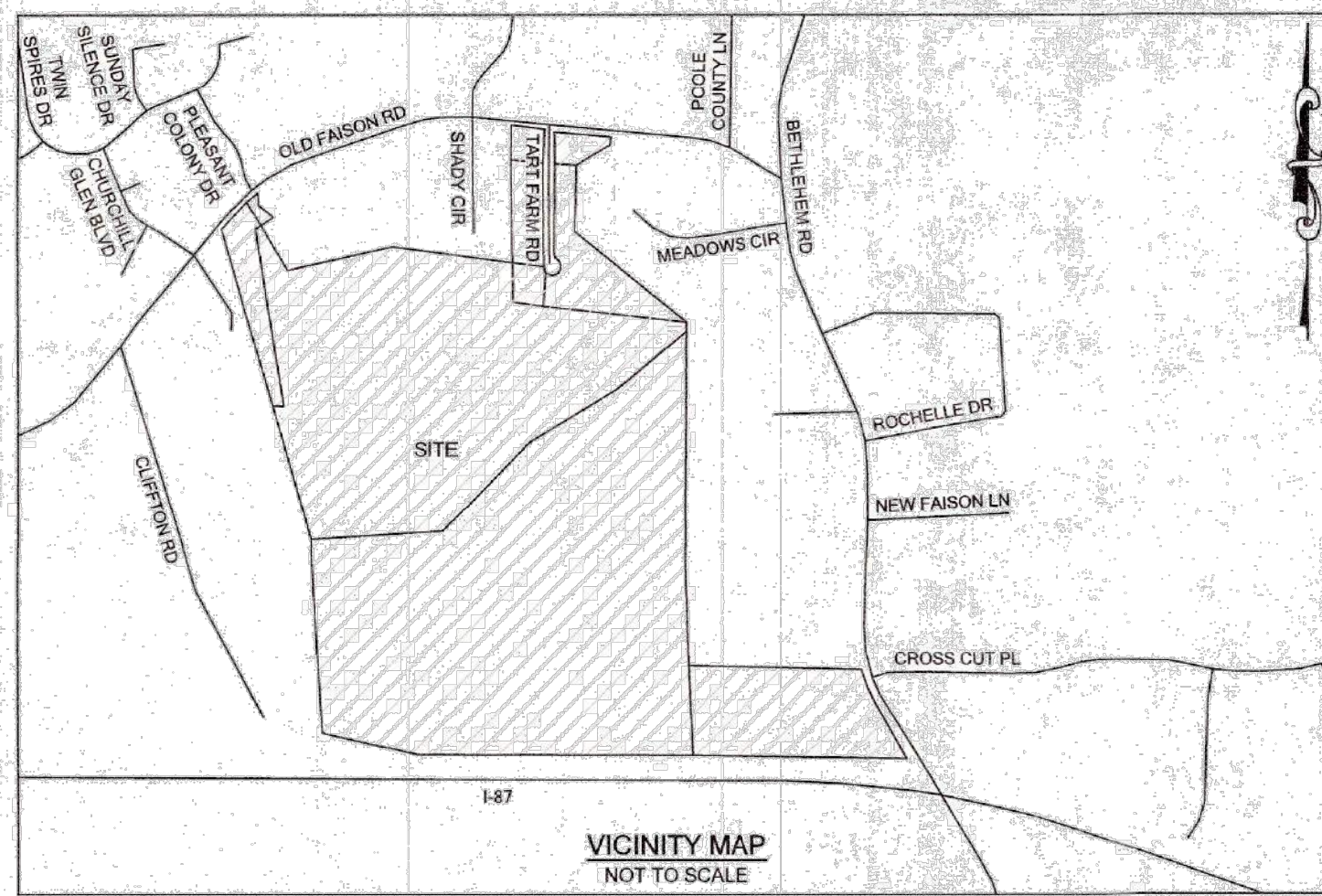
NO.	DATE	BY	REVISIONS:
1	11/27/2023		

Project No: 22-RDU-083

Date: 02/05/2024

Sheet No:

C-1.0



LEGEND

	EXISTING BOUNDARY CORNER FOUND
	BOUNDARY CORNER SET (3/4" IPS UNLESS OTHERWISE NOTED)
	COMPUTED POINT
	CONCRETE MONUMENT FOUND
	CLEAN OUT
	TRANSFORMER/ELECTRIC BOX
	LIGHT POLE
	UTILITY POLE
	WATER METER
	FIRE HYDRANT
	UTILITY VALVE
	TELEPHONE PEDestal
	CABLE PEDestal
	CATCH BASIN
	DROP INLET
	UTILITY MANHOLE
	UTILITY HAND HOLE
	AIR CONDITIONING UNIT
	WELL
	SIGN
	UNDERGROUND FIBER
	UNDERGROUND TELEPHONE
	UNDERGROUND GAS
	UNDERGROUND ELECTRIC
	STORM DRAIN
	OVERHEAD UTILITY
	GUY WIRE
	BURIED UTILITY MARKER
	EXISTING IRON PIPE
	EXISTING IRON REBAR
	IRON PIPE SET
	PK NAIL SET
	PKF NAIL FOUND
	SANITARY SEWER MANHOLE
	NORTH
	EAST
	WEST
	NORTHEAST
	SOUTHEAST
	SOUTHWEST
	NORTHWEST
	DEED BOOK
	PAGE
	BOOK OF MAPS
	RIGHT OF WAY
	POINT OF BEGINNING
	TOTAL
	TIE (INDICATES TWO PARTS OF THE SAME PARCEL)

- NOTES**
- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 3720174300K, DATED 07/19/2022.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON GPS OBSERVATIONS, NAD 83/NSRS 2011/SPC UNLESS OTHERWISE SHOWN.
 - SITE ZONED "RT" AND "GR3" FOR THE TOWN OF KNIGHTDALE PER WAKE COUNTY GIS.
 - AREAS COMPUTED BY COORDINATE METHOD.
 - THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY, UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
 - THIS MAP HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
 - NO CEMETERIES OR GRAVES WERE OBSERVED AS A RESULT OF THIS SURVEY.
 - WETLANDS SHOWN PER FLAGGING SET BY SAGE ECOLOGICAL SERVICES AND DRAFT WETLAND SKETCH MAP DATED OCTOBER 20, 2022.

TO: DHI TITLE OF NORTH CAROLINA, AND D. R. HORTON, INC., A DELAWARE CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS OF TABLE A THEREOF (NONE SELECTED). THE FIELDWORK WAS COMPLETED ON OCTOBER 3RD, 2022.

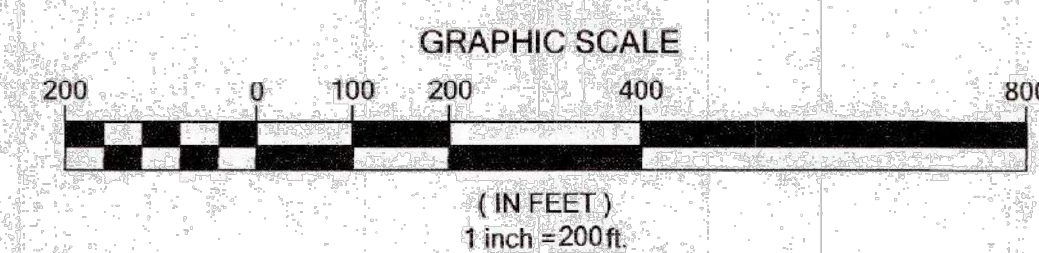
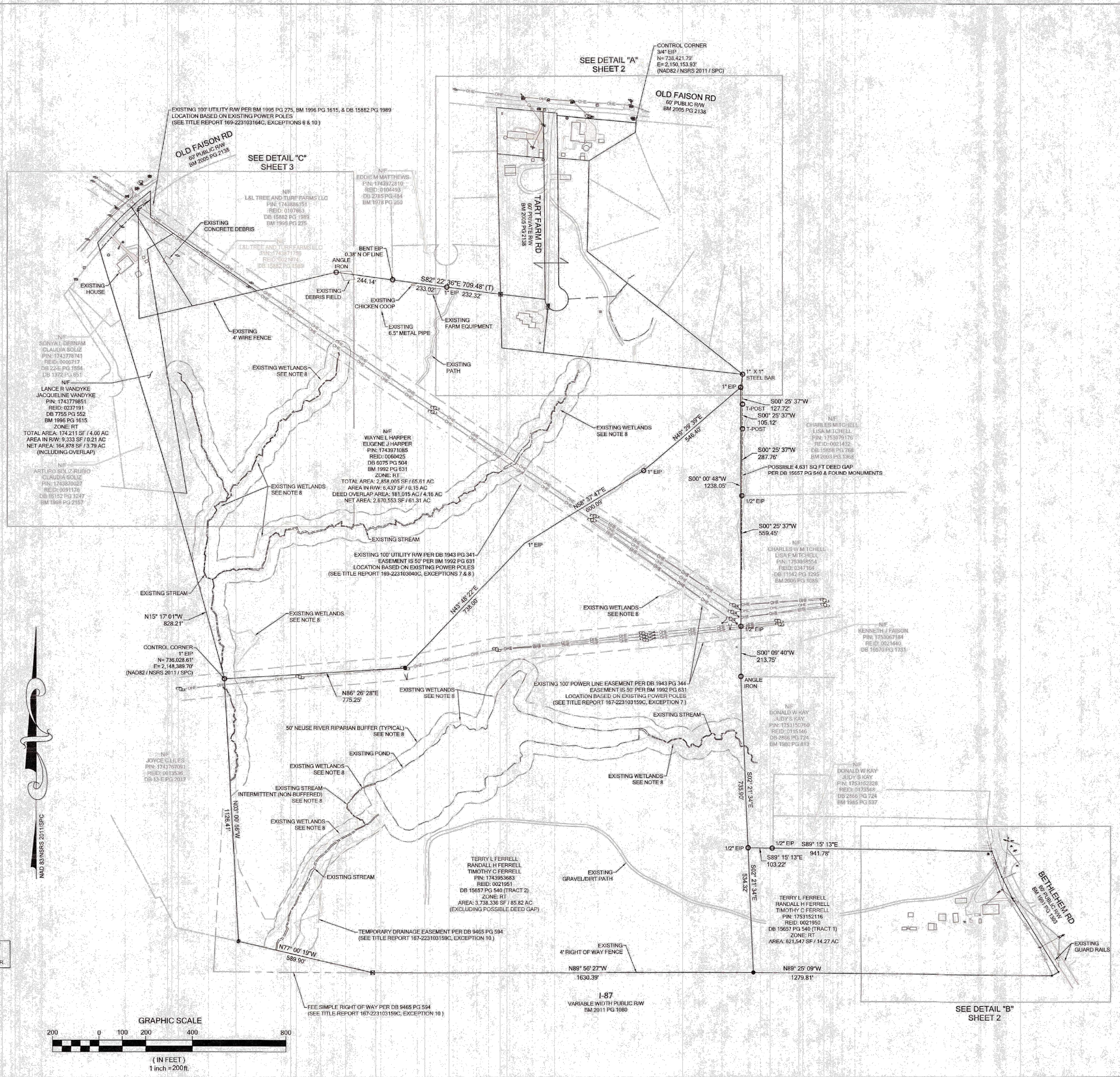
Signature
STEVEN P. CARSON, PLS
NC LICENSE NO. 4782
DATE

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED REFERENCES AS SHOWN IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND AS SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS DAY OF *October*, A.D., 2022.

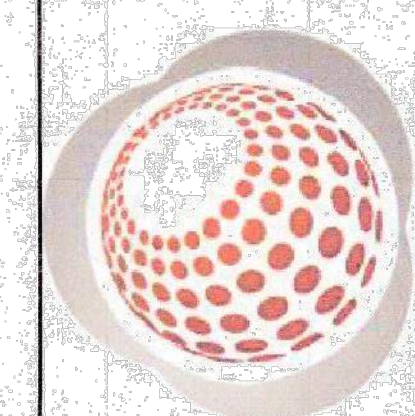
I, FURTHER THAT IN ACCORDANCE WITH G.S. 47-30-F-11-C-1; CERTIFY THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. FOR THE PURPOSES OF THIS SUBSECTION, AN "EXISTING PARCEL" OR "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED IN A SINGLE LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

THIS MAP IS CONSIDERED PRELIMINARY, NOT FOR RECORDATION, CONVEYANCE OR SALES UNLESS SIGNED AND SEALED BY THE LICENSED SURVEYOR.

Signature
STEVEN P. CARSON, PLS
NC LICENSE NO. 4782



BATEMAN CIVIL SURVEY COMPANY
ENGINEERS • SURVEYORS • PLANNERS
2524 RELIANCE AVENUE, APEX, NC 27539
PHONE: (919) 577-1080 FAX: (919) 577-1081
INFO@BATEMANCIVILSURVEY.COM
NCBELLS FIR# C-2378



ALTA/NSPS/LAND TITLE SURVEY
EXCLUSIVELY FOR: DR HORTON
PROPERTY PINS: 1753162116, 1743850683, 1745971035, 1743386556, 1743880384, 1753071583, 1743970575 & 174379851
AS RECORDED IN: DB 19687 PG 621, DB 6075 PG 604 & DB 7755 PG 552
ST MATTHEWS TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

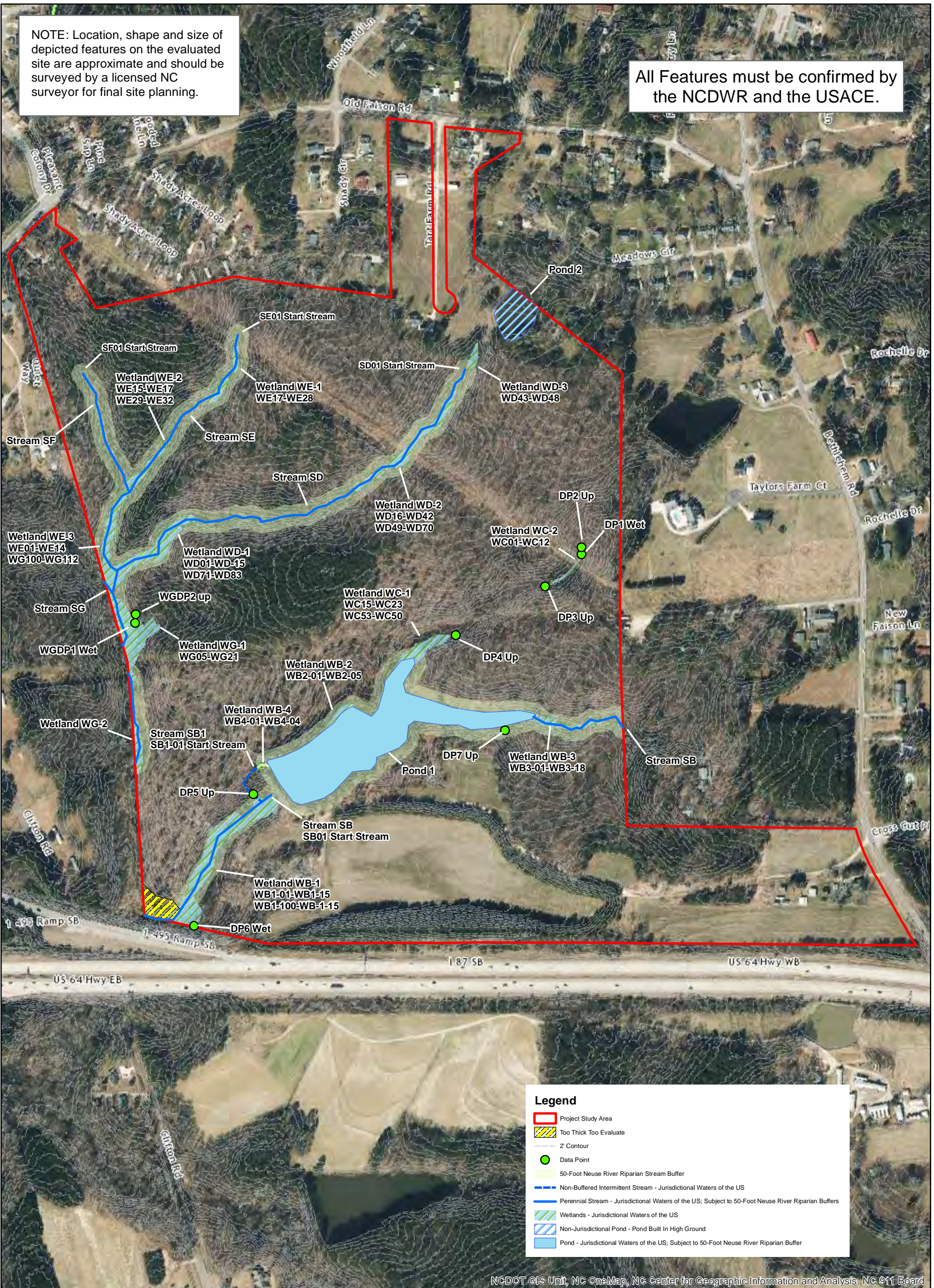
REVISIONS
1.
2.
3.
4.
5.

DESIGNED BY: N/A
DRAWN BY: ELS
CHECKED BY: SPC
SCALE: 1" = 200'
DATE: 12/12/2022
JOB NUMBER: 220655

SHEET 1 OF 4

NOTE: Location, shape and size of depicted features on the evaluated site are approximate and should be surveyed by a licensed NC surveyor for final site planning.

All Features must be confirmed by the NCDWR and the USACE.



NCDOT GIS Unit, NC OneMap, NC Center for Geographic Information and Analysis, NC 911 Board

Map Location



Wetland Sketch Map

**Bethlehem Rd. Project
Sage Project # 2022.105**

October 31, 2022

1" = 400'

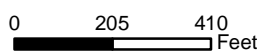


Figure 3

**Drawn By:
David Gainey**

Sage Ecological Services, Inc.
Office: 919-335-6757
Cell: 919-559-1537



150 Fayetteville st ste 1310
Raleigh, NC 27601
919.275.5022
urbandesignpartners.com

nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

02/05/2024

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LYNDON OAKS Master Plan Overall Site Plan

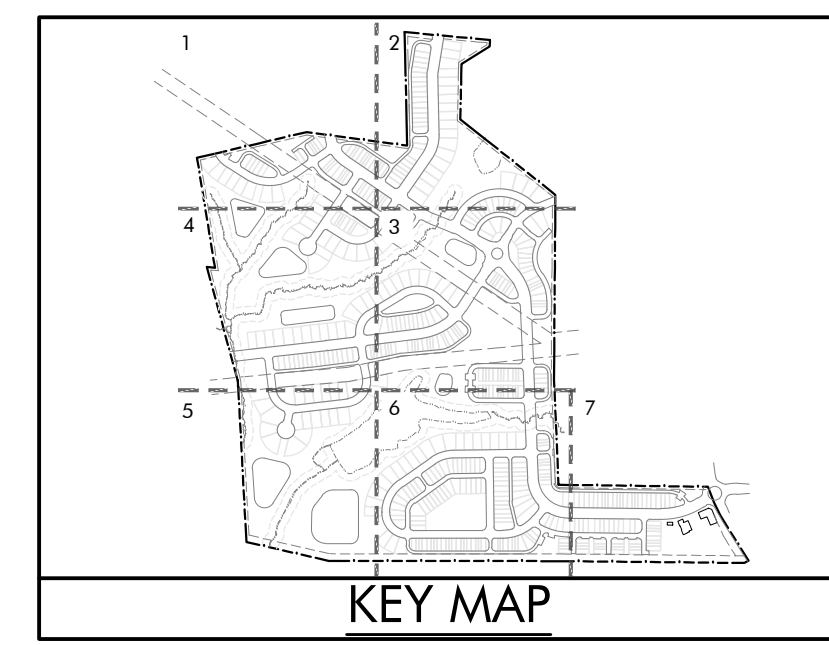
Knightsdale, North Carolina

NO. DATE: BY: REVISIONS:
#1 11/27/2023

Project No: 22-RDU-083
Date: 02/05/2024

Sheet No:

C-3.0



PARKING CALCS

COMMERCIAL*
VEHICULAR PARKING
• REQUIRED: 27-53 SPACES
(15,000 SF x 3.5 SP/1000 SF = 52.5 MAX
52.5/2 = 26.2 MIN)

• PROPOSED: 27 SPACES

BICYCLE PARKING
• REQUIRED: 3 SPACES
• PROPOSED: 3 SPACES

RESIDENTIAL*
TOWNHOMES/DUPLEX
• REQUIRED: 660 SP (1.0 SP/BED)
220 DU x 3 BED** = 660 SP

• PROPOSED: 660 SPACES TOTAL

SINGLE FAMILY REAR-LOADED
• REQUIRED: 519 SP (1.0 SP/BED)
173 DU x 3 BED** = 519 SP

• PROPOSED: 519 SPACES TOTAL

SINGLE FAMILY FRONT-LOADED
• REQUIRED: 321 SP (1.0 SP/BED)
107 DU x 3 BED** = 321 SP

• PROPOSED: 321 SPACES TOTAL

ON STREET PARKING: 268 SPACES PROP.

*NOTE: PARKING SPACES TOTALS SUBJECT TO CHANGE AS MASTER PLAN SET PROGRESSES
**NOTE: ALL RESIDENTIAL UNITS ASSUMED TO BE 3 BEDROOMS.

SITE DATA:

PIN(S): 1743953683; 1743971085; 1753071583;
1743976575; 1743989384; 1743986356;
1753152116

TOTAL ACRES: ± 171.88 ACRES

EXISTING ZONING: RT (RURAL TRANSITIONAL)
PROPOSED ZONING: RMX-PUD

EXISTING USE: RESIDENTIAL & AGRICULTURAL
PROPOSED USE: RESIDENTIAL

DEVELOPMENT SUMMARY:

COMMERCIAL

- TOTAL LAND AREA: ± 0.6 AC
- BUILDINGS: 1 BLDG
- BUILDING HEIGHT: MAX. 2 STORIES
- POTENTIAL USES: USES SET FORTH IN PLANNED UNIT DEVELOPMENT (SEE ZMA-2-23)

RESIDENTIAL

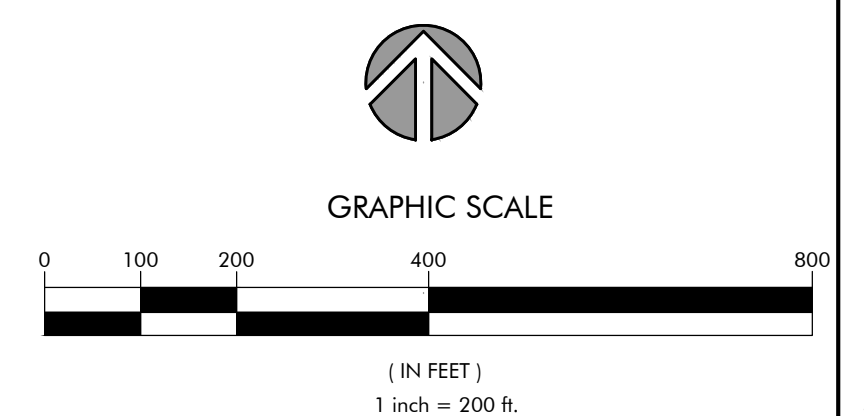
- TOTAL LAND AREA: ± 133.75 AC
- PROPOSED UNITS: 500 DU TOTAL
- TOWNHOMES/DUPLEXES: 220 TOWNHOMES
- 20' UNIT: 96 UNITS
- AVG. LOT SIZE: 20' X 90' (1,800 SF)
- 22' UNIT: 106 UNITS
- AVG. LOT SIZE: 22' X 90' (1,980 SF)
- 24' UNIT: 18 UNITS
- AVG. LOT SIZE: 24' X 90' (2,160 SF)
- SINGLE FAMILY (REAR-LOAD): 173 REAR LOAD SINGLES
- 30' LOT: 71 LOTS
- AVG. LOT SIZE: 30' X 120' (3,600 SF)
- 35' LOT: 53 LOTS
- AVG. LOT SIZE: 35' X 120' (4,200 SF)
- 40' LOT: 49 LOTS
- AVG. LOT SIZE: 40' X 120' (4,800 SF)
- SINGLE FAMILY (FRONT-LOAD): 107 FRONT LOAD SINGLES
- 60' LOT: 71 LOTS
- AVG. LOT SIZE: 60' X 120' (7,200 SF)
- 70' LOT: 25 LOTS
- AVG. LOT SIZE: 70' X 120' (8,400 SF)
- 80' LOT: 11 LOTS
- AVG. LOT SIZE: 80' X 120' (9,600 SF)

SETBACKS

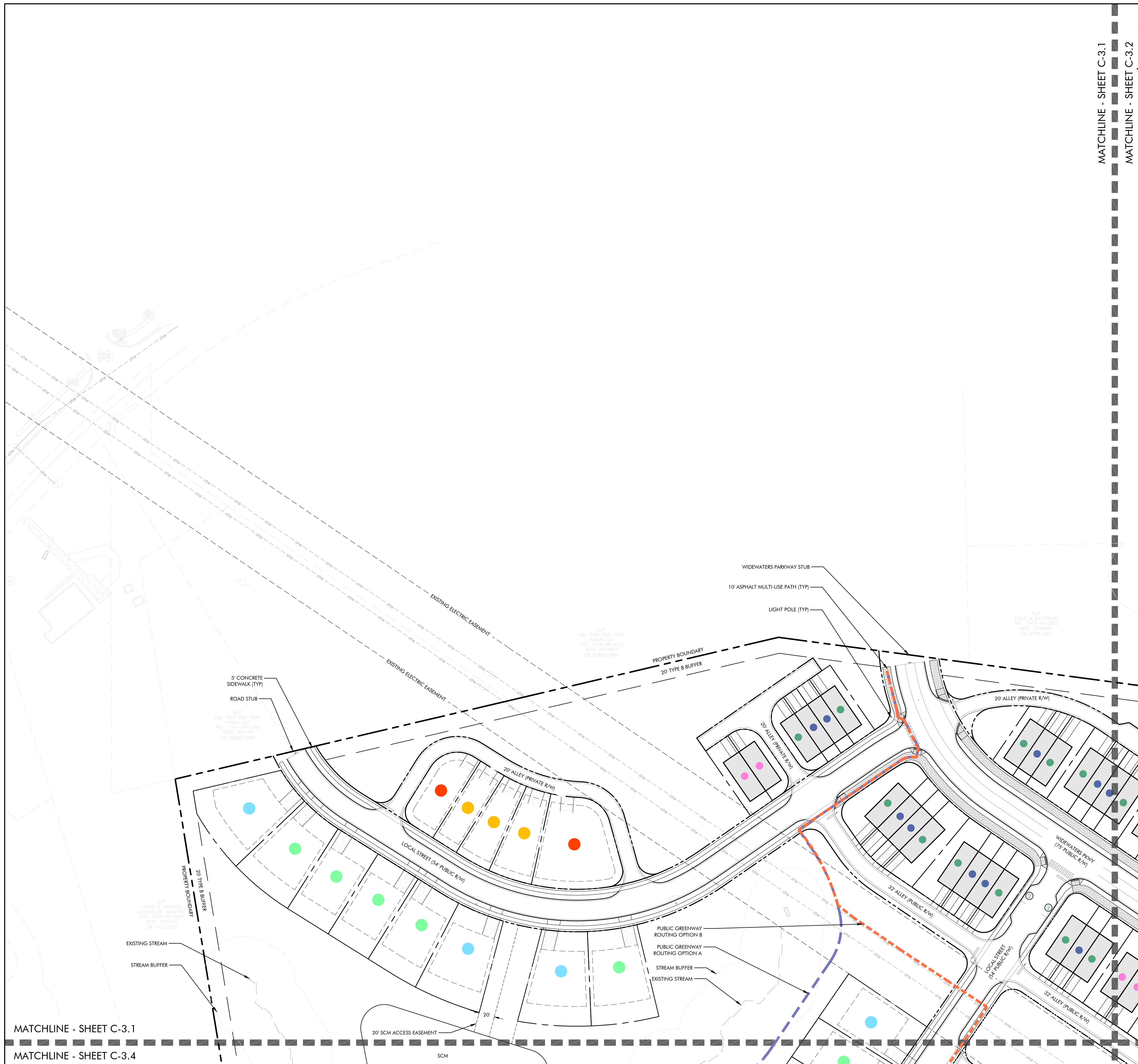
- TOWNHOMES/DUP: 0' MIN TO 25' MAX
- FRONT: 10' MIN
- SIDE: 10' MIN
- SINGLE FAM. (REAR-LOADED): 10' MIN
- FRONT: 10' MIN
- REAR: 10' MIN
- SIDE: 3' MIN
- CORNER: 10' MIN
- SINGLE FAM. (FRONT-LOADED): 10' MIN
- FRONT: 10' MIN
- REAR: 20' MIN
- SIDE: 5' MIN
- CORNER: 10' MIN



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.2
MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.4
MATCHLINE - SHEET C-3.4
MATCHLINE - SHEET C-3.5
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MATCHLINE - SHEET C-3.7
MATCHLINE - SHEET C-3.7

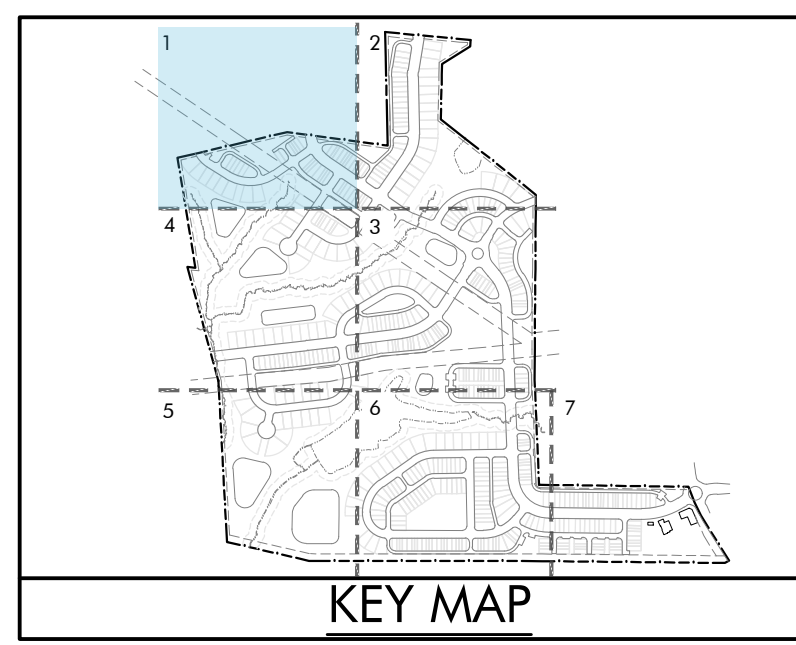


MATCHLINE - SHEET C-3.1

MATCHLINE - SHEET C-3.2

BUILDING SETBACKS

TOWNHOMES/DUPEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPEXES	23 DU
● 20' UNIT	10 DU
● 22' UNIT	11 DU
● 24' UNIT	2 DU
SINGLE FAM. (REAR-LOAD)	5 DU
● 30' LOT	0 DU
● 35' LOT	3 DU
● 40' LOT	2 DU
SINGLE FAM. (FRONT-LOAD)	9 DU
● 60' LOT	5 DU
● 70' LOT	4 DU
● 80' LOT	0 DU

*NOTE: UNIT COUNTS REFLECT NUMBER OF UNITS THAT FIT WITHIN MATCHLINES OF EACH SHEET. ANY UNITS SHOWN OUTSIDE OF MATCHLINES WILL BE COUNTED ON THEIR RESPECTIVE SHEETS.
TOTAL UNIT COUNT FOUND ON OVERALL SITE PLAN SHEET & COVER SHEET.

- NOTES:**
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PRELIMINARY DRAWING
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02/05/2024

D.R. Horton
7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

MATCHLINE - SHEET C-3.1

MATCHLINE - SHEET C-3.4

LYNDON OAKS

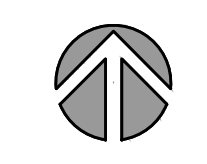
Master Plan

Site Plan Enlargement 1

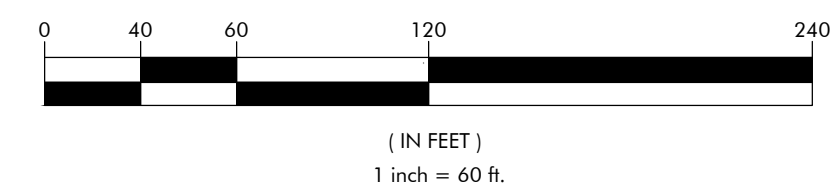
Knightsdale, North Carolina



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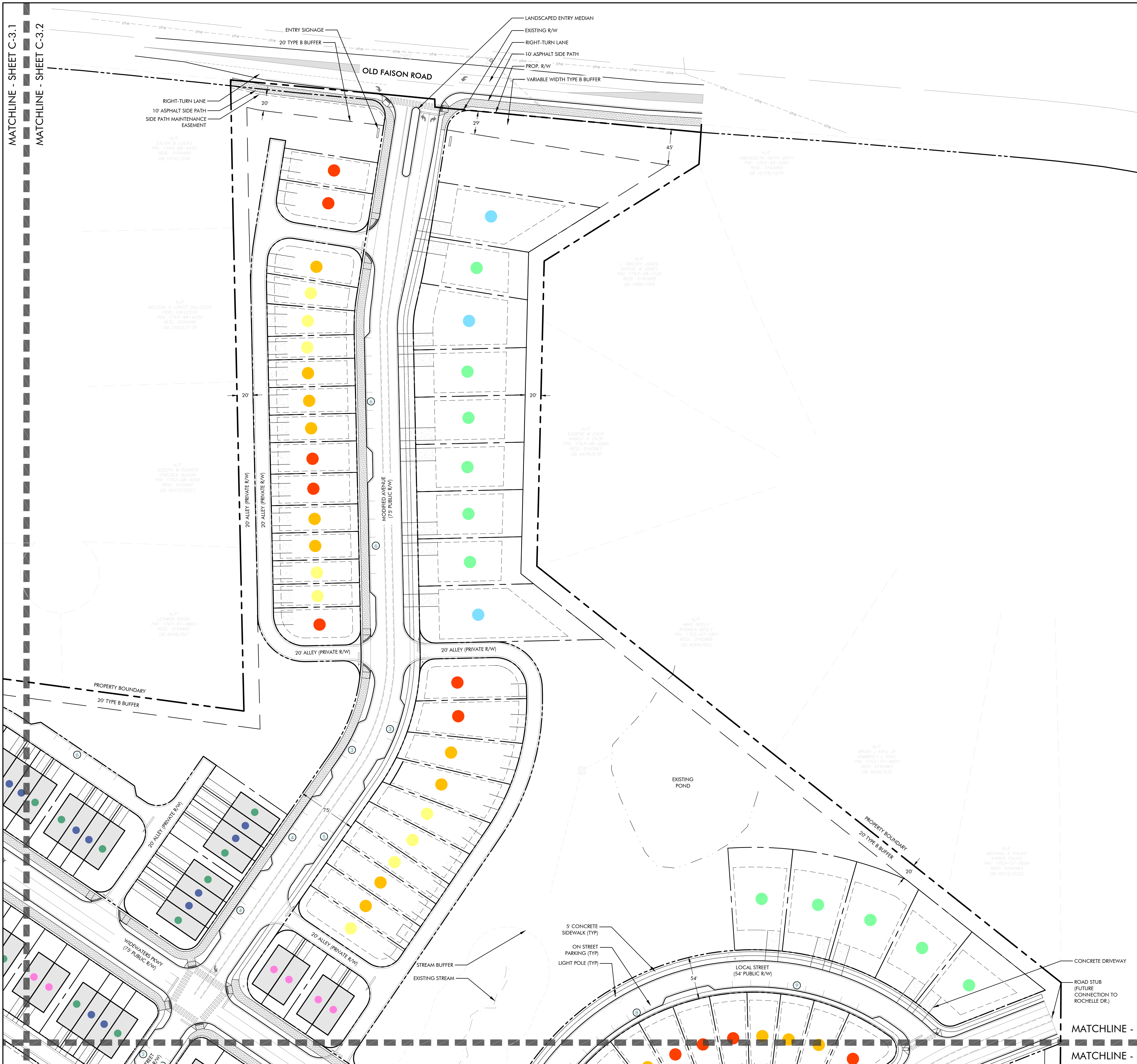
GRAPHIC SCALE



NO.	DATE	BY	REVISIONS:
1	11/27/2023		

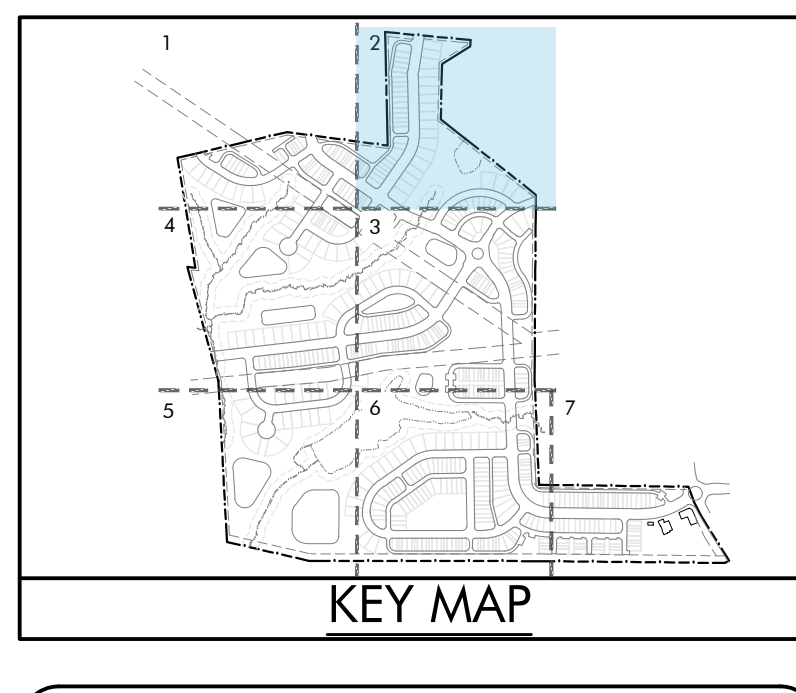
Project No: 22-RDU-083
Date: 02/05/2024

Sheet No:
C-3.1



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPLEXES	23 DU
20' UNIT	8 DU
22' UNIT	9 DU
24' UNIT	6 DU
SINGLE FAM. (REAR-LOAD)	29 DU
30' LOT	9 DU
35' LOT	12 DU
40' LOT	8 DU
SINGLE FAM. (FRONT-LOAD)	14 DU
60' LOT	11 DU
70' LOT	3 DU
80' LOT	0 DU

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nc firm no: P-2671 sc coo no: C-03044

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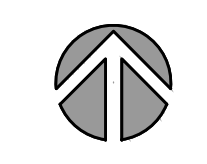
02/05/2024

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7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

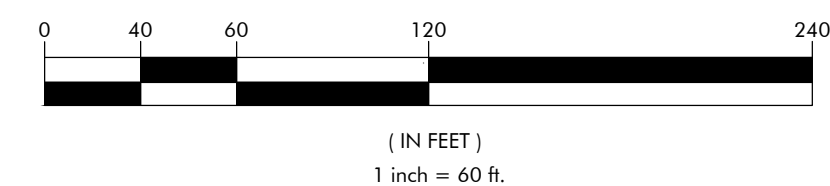
LYNDON OAKS
Master Plan
Site Plan Enlargement 2
Knightdale, North Carolina



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GRAPHIC SCALE

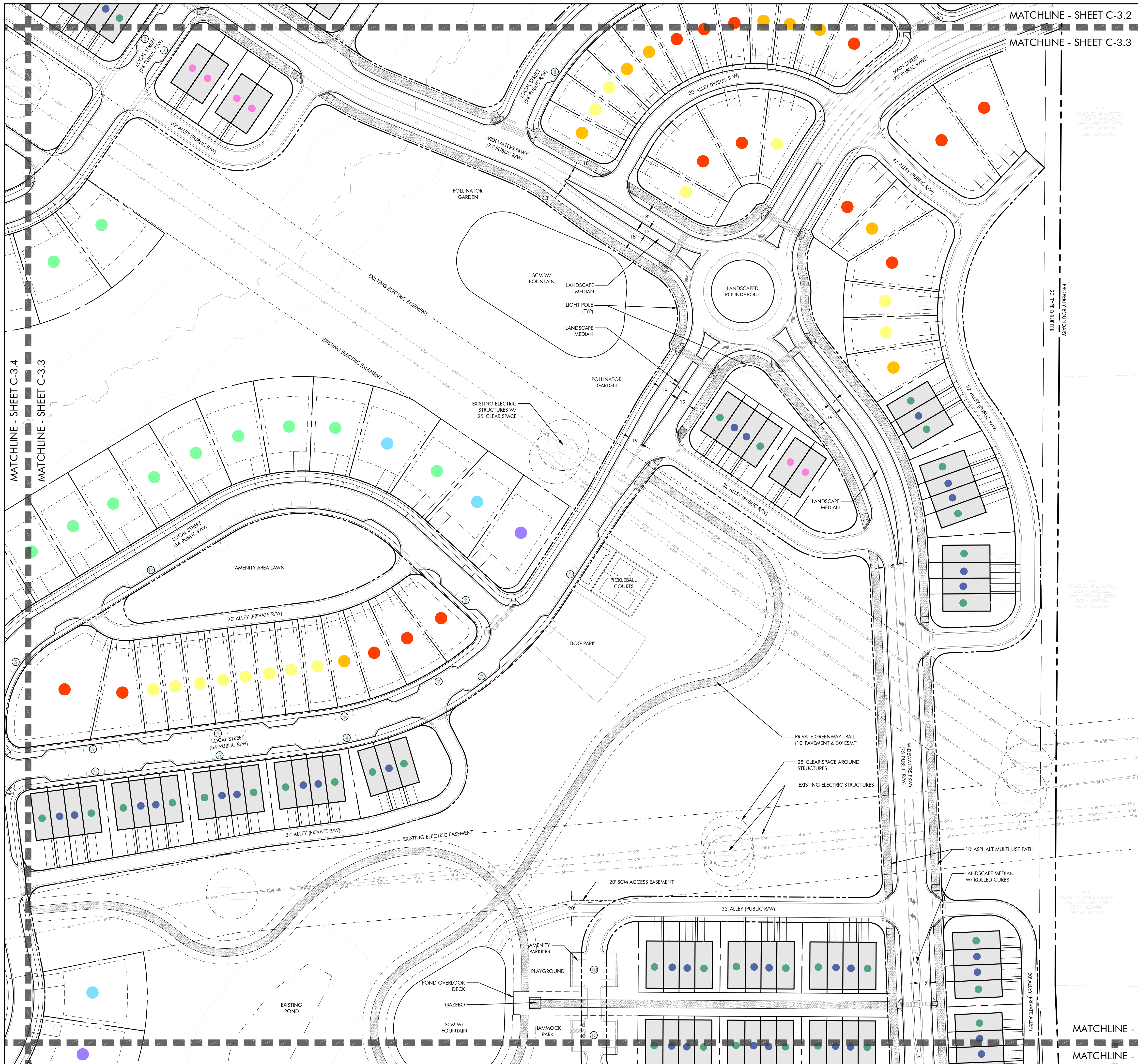


NO. _____ DATE: 11/27/2023 BY: REVISIONS: #1

Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:

C-3.2

MATCHLINE - SHEET C-3.2
MATCHLINE - SHEET C-3.3



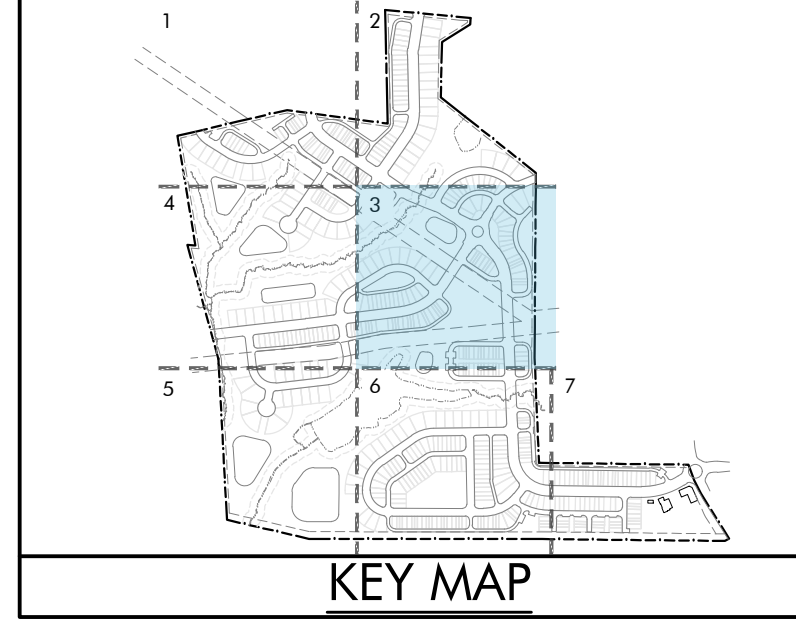
MATCHLINE - SHEET C-3.2
 MATCHLINE - SHEET C-3.3

MATCHLINE - SHEET C-3.4
 MATCHLINE - SHEET C-3.3

MATCHLINE - SHEET C-3.3
 MATCHLINE - SHEET C-3.6

BUILDING SETBACKS

TOWNHOMES/DUPEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPEXES	58 DU
20' UNIT	25 DU
22' UNIT	27 DU
24' UNIT	6 DU
SINGLE FAM. (REAR-LOAD)	35 DU
30' LOT	14 DU
35' LOT	7 DU
40' LOT	14 DU
SINGLE FAM. (FRONT-LOAD)	15 DU
60' LOT	11 DU
70' LOT	3 DU
80' LOT	1 DU

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nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
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02/05/2024

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 7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS

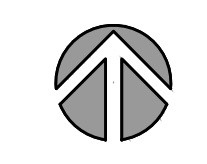
Master Plan

Site Plan Enlargement 3

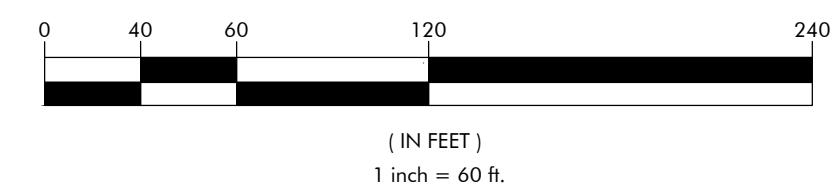
Knightsdale, North Carolina



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GRAPHIC SCALE



NO. _____	DATE: _____	BY: _____	REVISIONS: _____
#1	11/27/2023		

Project No: 22-RDU-083
 Date: 02/05/2024
 Sheet No:

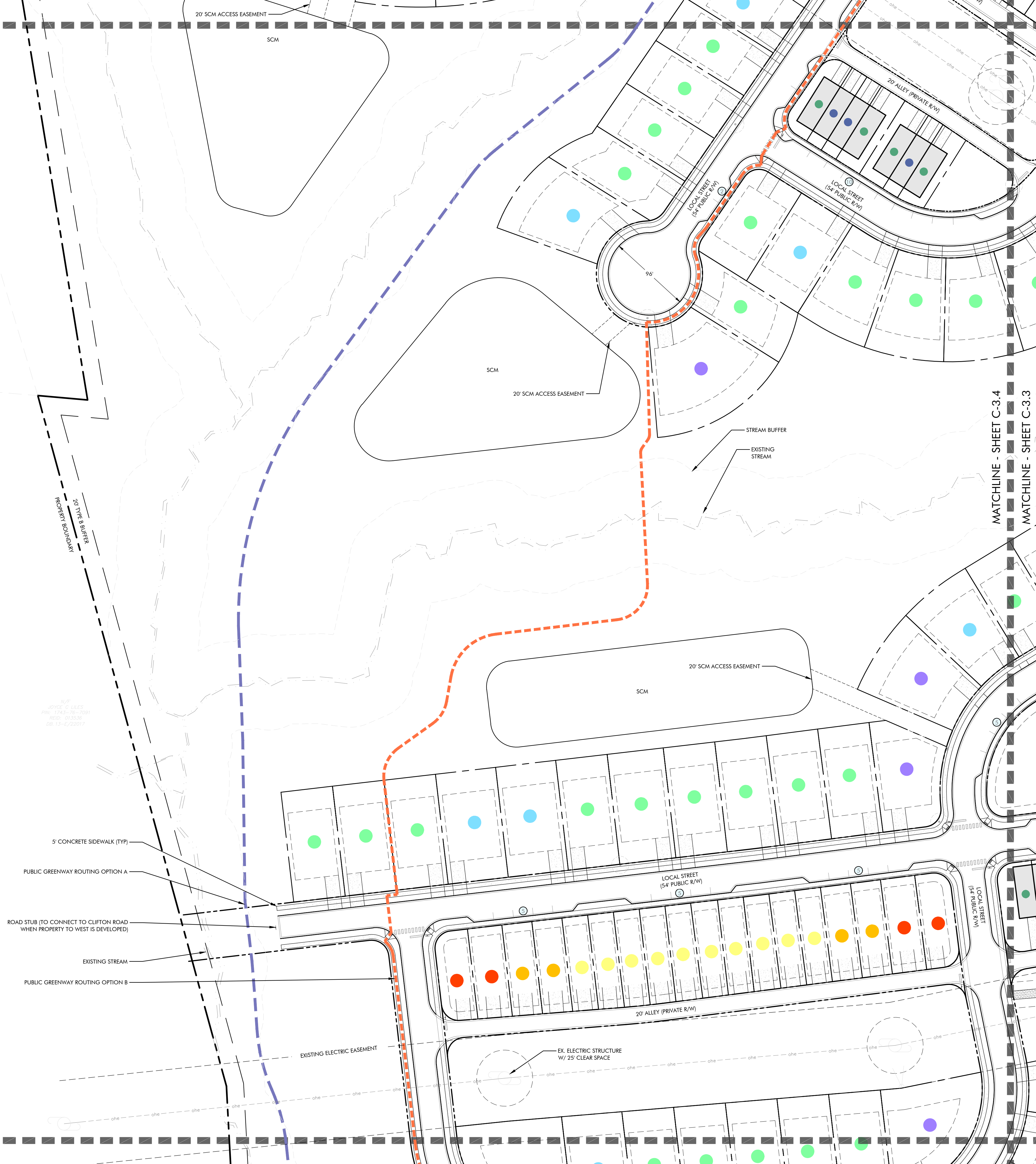
C-3.3

MATCHLINE - SHEET C-3.1

MATCHLINE - SHEET C-3.4

MATCHLINE - SHEET C-3.4

MATCHLINE - SHEET C-3.5



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):

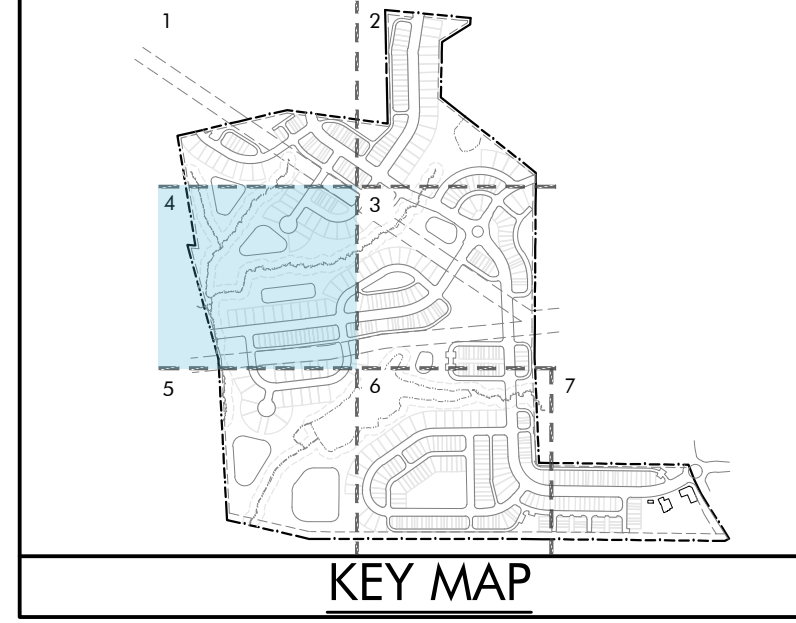
- FRONT: 0' MIN TO 25' MAX
- SIDE: 10' MIN

SINGLE FAMILY DETACHED (REAR-LOADED):

- FRONT: 10' MIN
- REAR: 10' MIN
- SIDE: 3' MIN
- CORNER: 10' MIN

SINGLE FAMILY DETACHED (FRONT-LOADED):

- FRONT: 10' MIN
- REAR: 20' MIN
- SIDE: 5' MIN
- CORNER: 10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPLEXES	7 DU
20' UNIT	3 DU
22' UNIT	4 DU
24' UNIT	0 DU
SINGLE FAM. (REAR-LOAD)	18 DU
30' LOT	10 DU
35' LOT	4 DU
40' LOT	4 DU
SINGLE FAM. (FRONT-LOAD)	27 DU
60' LOT	18 DU
70' LOT	5 DU
80' LOT	4 DU

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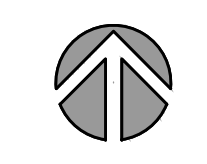
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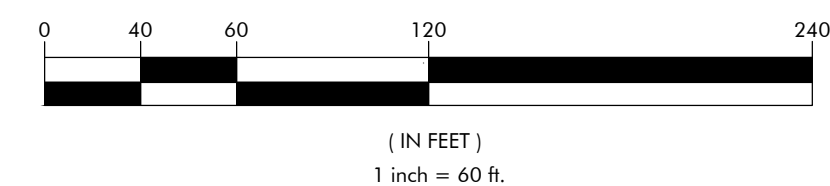
LYNDON OAKS
Master Plan
Site Plan Enlargement 4
Knightdale, North Carolina



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GRAPHIC SCALE



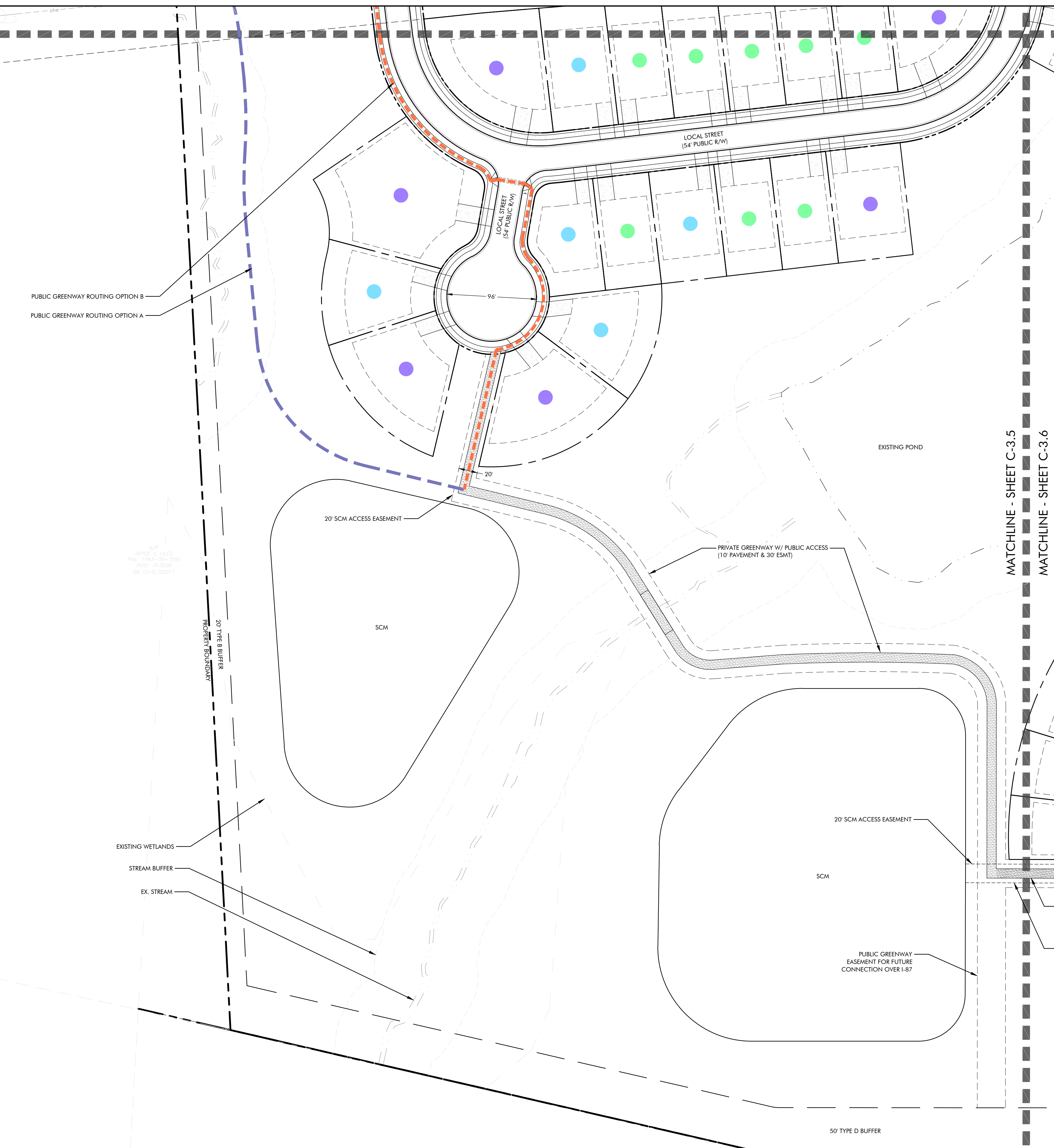
NO. DATE BY: REVISIONS:

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Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:

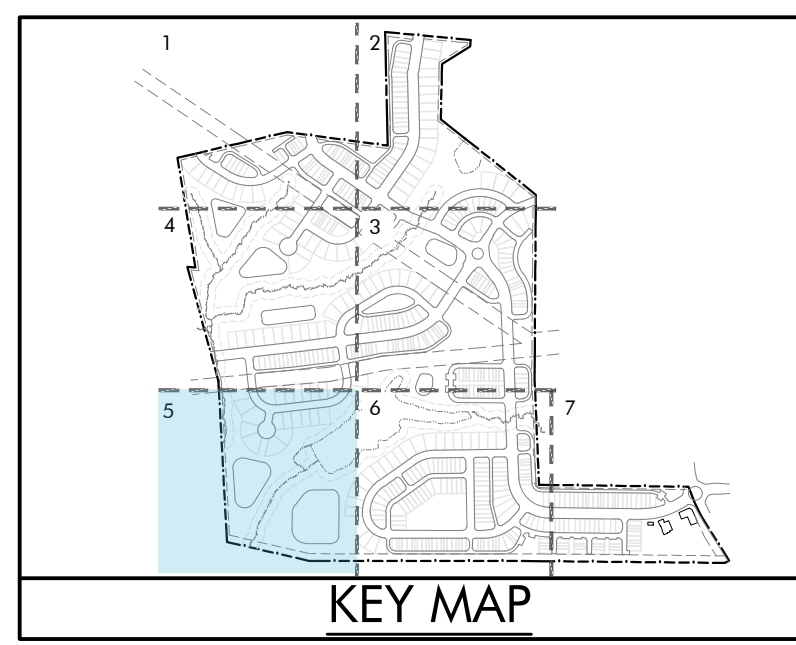
C-3.4

MATCHLINE - SHEET C-3.4
 MATCHLINE - SHEET C-3.5



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
- SIDE:	10' MIN
SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPLEXES	0 DU
20' UNIT	0 DU
22' UNIT	0 DU
24' UNIT	0 DU
SINGLE FAM. (REAR-LOAD)	0 DU
30' LOT	0 DU
35' LOT	0 DU
40' LOT	0 DU
SINGLE FAM. (FRONT-LOAD)	18 DU
60' LOT	8 DU
70' LOT	5 DU
80' LOT	5 DU

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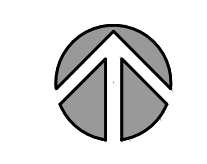
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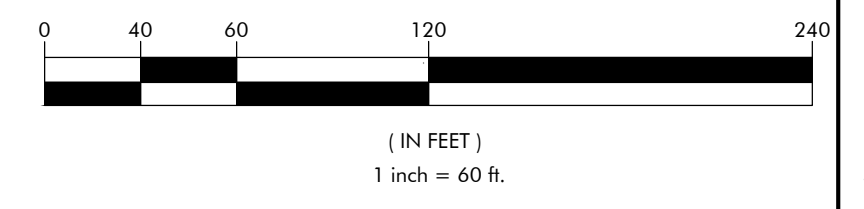
LYNDON OAKS
Master Plan
Site Plan Enlargement 5
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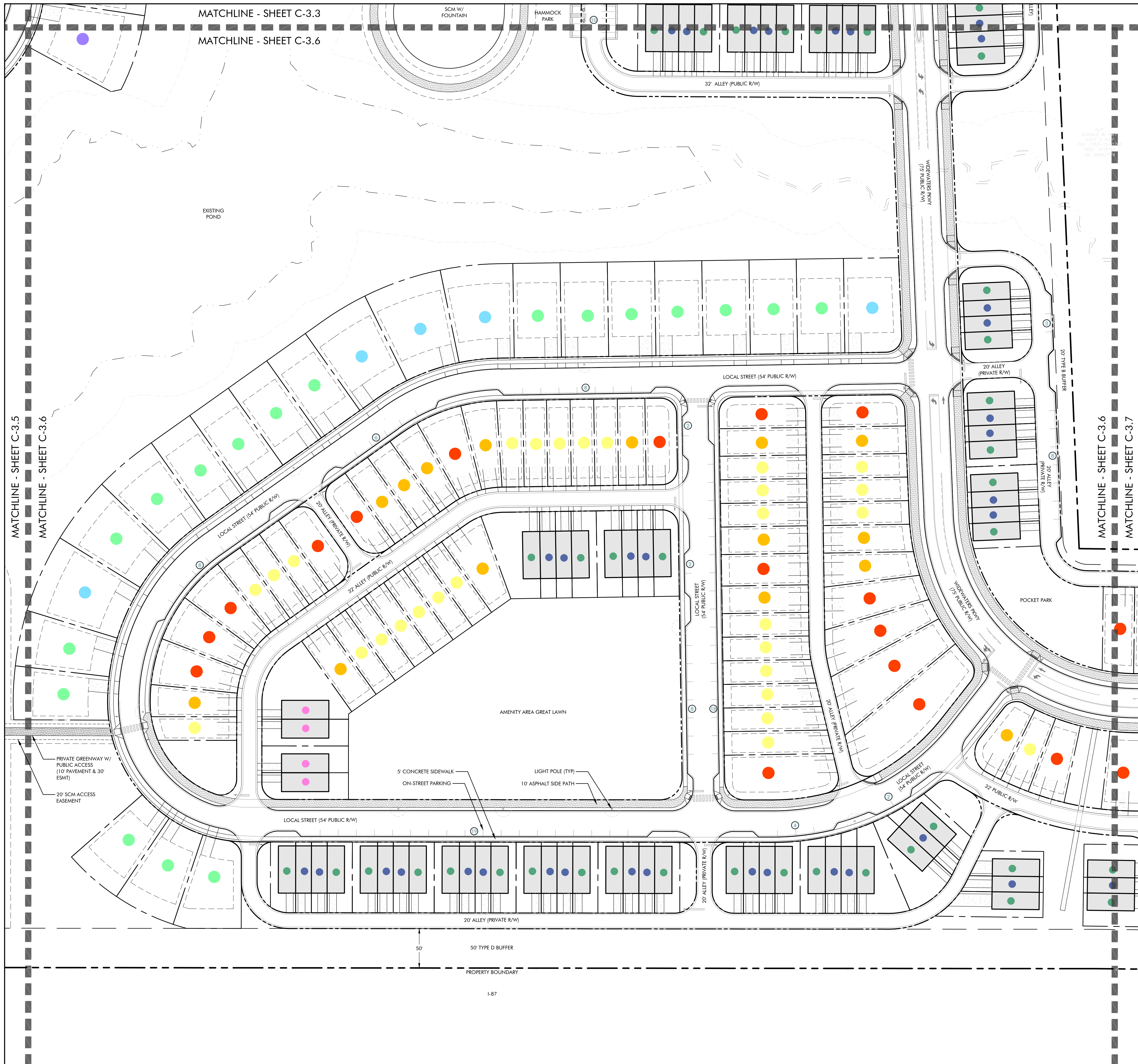
GRAPHIC SCALE



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Project No: 22-RDU-083
 Date: 02/05/2024
 Sheet No:

C-3.5



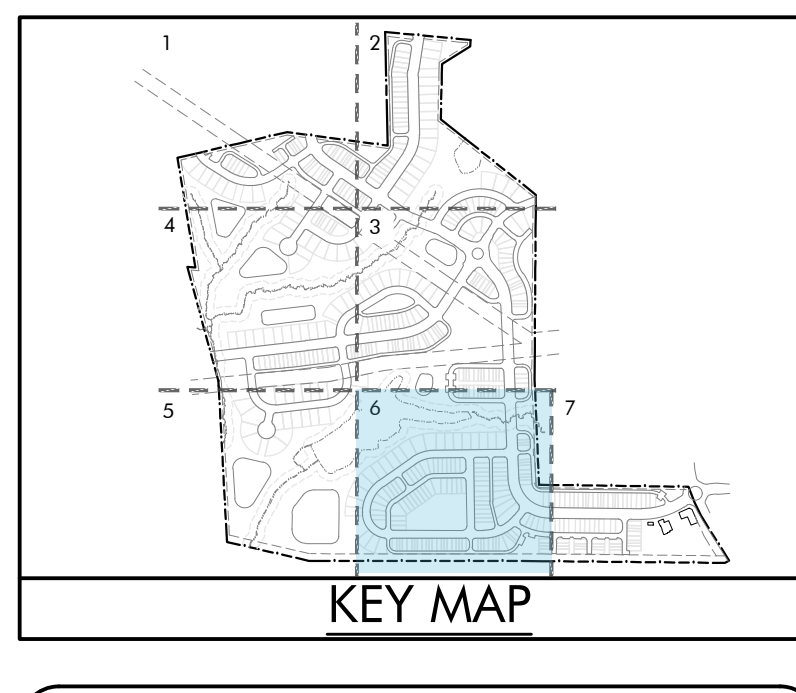
MATCHLINE - SHEET C-3.3
 MATCHLINE - SHEET C-3.6

MATCHLINE - SHEET C-3.5
 MATCHLINE - SHEET C-3.6

MATCHLINE - SHEET C-3.6
 MATCHLINE - SHEET C-3.7

BUILDING SETBACKS

TOWNHOMES/DUPEX (REAR-LOADED):	
- FRONT:	0' MIN TO 25' MAX
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SINGLE FAMILY DETACHED (REAR-LOADED):	
- FRONT:	10' MIN
- REAR:	10' MIN
- SIDE:	3' MIN
- CORNER:	10' MIN
SINGLE FAMILY DETACHED (FRONT-LOADED):	
- FRONT:	10' MIN
- REAR:	20' MIN
- SIDE:	5' MIN
- CORNER:	10' MIN



LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPEXES	75 DU
20' UNIT	34 DU
22' UNIT	37 DU
24' UNIT	4 DU
SINGLE FAM. (REAR-LOAD)	59 DU
30' LOT	28 DU
35' LOT	15 DU
40' LOT	16 DU
SINGLE FAM. (FRONT-LOAD)	24 DU
60' LOT	18 DU
70' LOT	5 DU
80' LOT	1 DU

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02/05/2024

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 Raleigh, NC 27615

LYNDON OAKS

Master Plan

Site Plan Enlargement 6

Knightsdale, North Carolina

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Project No: 22-RDU-083
 Date: 02/05/2024
 Sheet No: _____

C-3.6

GRAPHIC SCALE
 0 40 60 120 240
 (IN FEET)
 1 inch = 60 ft.



BUILDING SETBACKS

TOWNHOMES/DUPLEX (REAR-LOADED):
 - FRONT: 0' MIN TO 25' MAX
 - SIDE: 10' MIN

SINGLE FAMILY DETACHED (REAR-LOADED):
 - FRONT: 10' MIN
 - REAR: 10' MIN
 - SIDE: 3' MIN
 - CORNER: 10' MIN

SINGLE FAMILY DETACHED (FRONT-LOADED):
 - FRONT: 10' MIN
 - REAR: 20' MIN
 - SIDE: 5' MIN
 - CORNER: 10' MIN

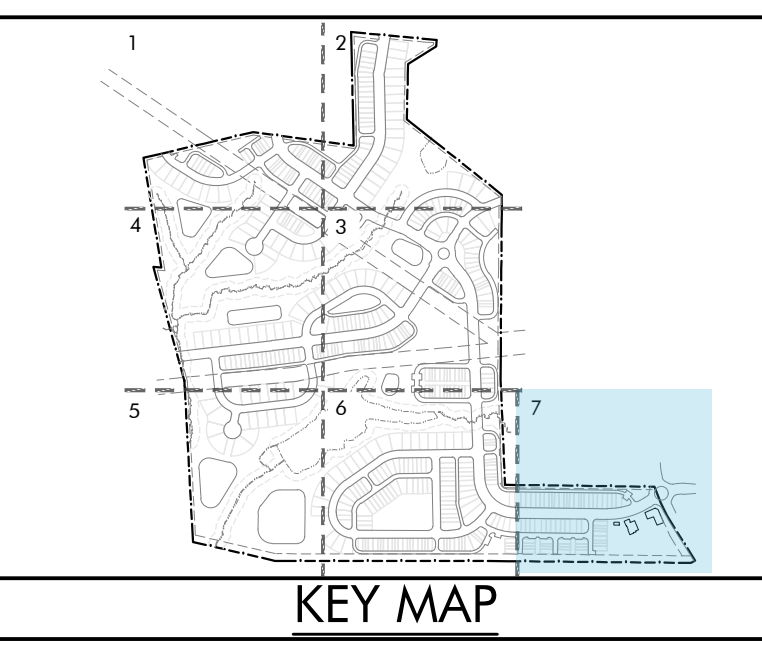
COMMERCIAL:
 - FRONT: 10' MIN
 - REAR: 0' MIN
 - SIDE: 6' MIN

CLUBHOUSE:
 - FRONT: 10' MIN
 - REAR: 0' MIN
 - SIDE: 6' MIN

LEGEND

UNIT TYPE	DU COUNT*
TOWNHOMES/DUPLEXES	34 DU
20' UNIT	16 DU
22' UNIT	18 DU
24' UNIT	0 DU
SINGLE FAM. (REAR-LOAD)	27 DU
30' LOT	10 DU
35' LOT	12 DU
40' LOT	5 DU
SINGLE FAM. (FRONT-LOAD)	0 DU
60' LOT	0 DU
70' LOT	0 DU
80' LOT	0 DU

*NOTE: UNIT COUNTS REFLECT NUMBER OF UNITS THAT FIT WITHIN MATCHLINES OF EACH SHEET. ANY UNITS SHOWN OUTSIDE OF MATCHLINES WILL BE COUNTED ON THEIR RESPECTIVE SHEETS.
 TOTAL UNIT COUNT FOUND ON OVERALL SITE PLAN SHEET & COVER SHEET.



- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY: BATEMAN CIVIL SURVEY COMPANY, 2524 RELIANCE AVENUE, APEX, NC 27539, 919-577-1989
 - SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS. PREPARED BY: D.R. HORTON, 7208 FALLS OF NEUSE RD, SUITE 201, RALEIGH, NC 27615, 919-604-7929
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - LOCATIONS OF SITE LIGHTING ARE APPROXIMATE. THE FINAL NUMBER AND LOCATIONS OF LIGHTS SHALL BE DETERMINED BY THE OWNER AND DUKE ENERGY.
 - ALL UTILITIES WILL BE UNDERGROUND.
 - UNIT MIX SUBJECT TO CHANGE AS MASTER PLAN SET PROGRESSES.



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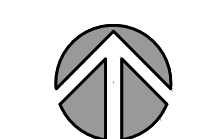
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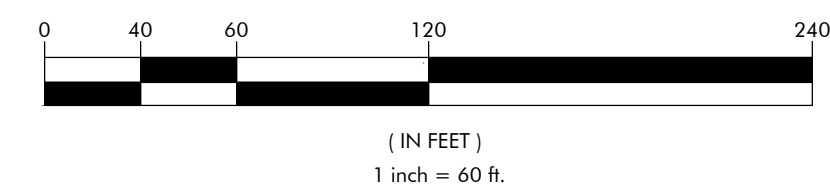
LYNDON OAKS
Master Plan
Site Plan Enlargement 7
 Knightdale, North Carolina



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LYNDON OAKS Master Plan Open Space Plan

Knightsdale, North Carolina

NO. #1	DATE: 11/27/2023	BY: REVISIONS:
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Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:

C-3.8

OPEN SPACE LEGEND

	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE

OPEN SPACE CALCULATIONS

TOTAL SITE AREA: ± 171.88 ACRES

DWELLING UNITS:
• SINGLE FAM. DETACHED: 280 DU
• TOWNHOMES/DUPLEXES: 220 DU

DENSITY: 2.91 DU/AC

RECREATIONAL OPEN SPACE DEDICATION:
• PROXIMITY ZONE: OUTSIDE 1/2 MILE

• BEDROOM ESTIMATE:
→ SINGLE FAMILY DETACHED: 280 DU x 3 BEDS = 840 BEDS
→ TOWNHOMES/DUPLEXES: 220 DU x 3 BEDS = 660 BEDS

• DEDICATION RATE:
520
→ SINGLE FAMILY DETACHED: 840 BEDS x 520 SF = 436,800 SF
→ TOWNHOMES/DUPLEXES: 660 BEDS x 520 SF = 343,200 SF

• CALCS:
560,560 SF + 249,600 SF = 780,000 SF
± 780,000 SF (17.9 AC) TOTAL OPEN SPACE REQUIRED

• REQUIRED OPEN SPACE: 17.90 AC TOTAL REQUIRED
→ REQ. ACTIVE: 8.95 AC (50% OF REQ. OPEN SPACE)
→ REQ. PASSIVE: 8.95 AC (50% OF REQ. OPEN SPACE)

• PROPOSED OPEN SPACE: 20.1 AC TOTAL PROPOSED (2.2 AC EXTRA PROV.)

→ PROP. ACTIVE: 9.0 AC ACTIVE OPEN SPACE PROPOSED
- REQUIRED: 8.95 AC (TO MEET 50% OF TOTAL REQ. OPEN SPACE)
- PROPOSED: 6.77 AC ACTIVE OPEN SPACE PROP.
- CREDIT: 2.23 AC CREDIT DUE TO PROP. NEIGHBORHOOD AMENITIES**
- NET: 0.05 AC EXTRA PROVIDED

→ PROP. PASSIVE: 11.1 AC PASSIVE OPEN SPACE PROPOSED
- REQUIRED: 8.95 AC (TO MEET 50% OF TOTAL REQ. OPEN SPACE)
- PROPOSED: 8.91 AC PASSIVE OPEN SPACE REQUIRED
- CREDIT: 2.23 AC CREDIT DUE TO PROP. NEIGHBORHOOD AMENITIES**
- NET: 2.1 AC EXTRA PROVIDED

* PER DEDICATION MATRIX LOCATED IN TOWN OF KNIGHTSDALE UDO SEC. 11.2.C.4
** PER TOWN OF KNIGHTSDALE UDO SECTION 11.2.D.3, DEVELOPMENTS THAT PROVIDE NEIGHBORHOOD AMENITY FACILITIES WILL RECEIVE A CREDIT OF TWENTY-FIVE (25) PERCENT OF THE REQUIRED PASSIVE OPEN SPACE, AND TWENTY-FIVE (25) PERCENT OF THE REQUIRED ACTIVE OPEN SPACE TO BE EQUALLY DIVIDED.

WATER ALLOCATION

MAJOR SUBDIVISION	
MAJOR SUBDIVISION BASE POINTS	15 pts.
CONSERVATION OF NATURAL HABITAT	7 pts.
CONSTRUCT A FOUNTAIN WITHIN THE BMP	4 pts.
ON-STREET PARKING	4 pts.
RESIDENTIAL ARCHITECTURAL STANDARDS	15 pts.
3,000' OR MORE OF A 6-FOOT WIDE PATH	3 pts.
RESORT STYLE POOL	2 pts.
DECK/PATIO (2,000 SF MIN.)	2 pts.
CLUBHOUSE (NO MEETING SPACE, BATHROOMS & CHANGING ROOMS ONLY)	3 pts.
IPEMA CERTIFIED PLAYGROUND EQUIPMENT	2 pts.
TOTAL	57 pts.

SINGLE-USE RETAIL	
SINGLE USE RETAIL BASE POINTS	41 pts.
NEARBY INTERSECTION IMPROVEMENTS	5 pts.
DECK/PATIO (2,000 SF MIN)	2 pts.
CONSTRUCT LESS THAN 1000 LF OF 10' WIDE PATH	2 pts.
TOTAL	50 pts.

NOTE: SINGLE-USE RETAIL WATER ALLOCATION POLICY POINTS ARE PRELIMINARY AND SUBJECT TO CHANGE WHEN THE DEVELOPER OF THE OUTPARCEL SUBMITS A SITE PLAN.

OPEN SPACE TOTALS

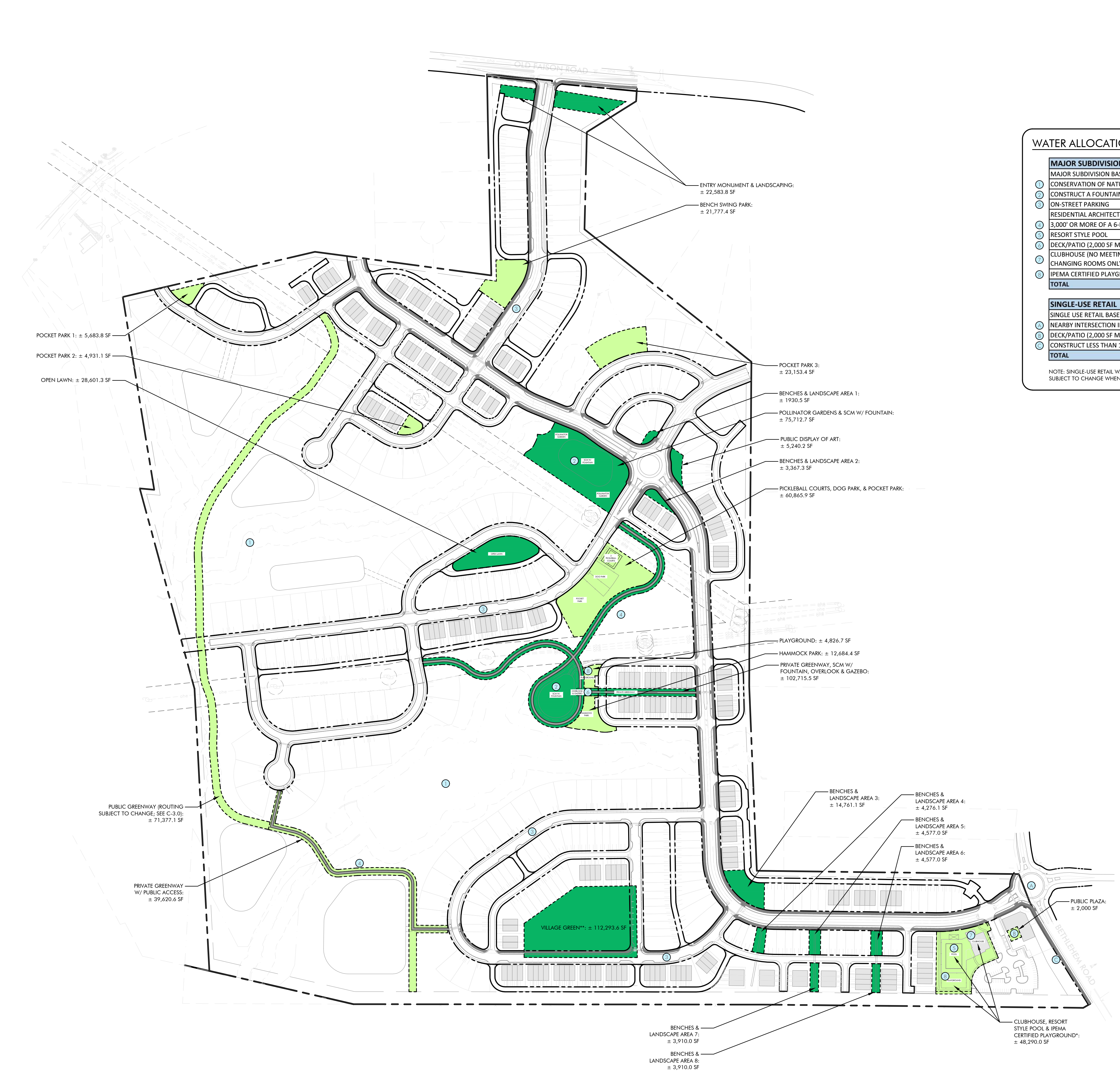
ACTIVE OPEN SPACE TABLE

NAME	AREA	
	SF	AC
PUBLIC PLAZA	2,000.0	0.046
CLUBHOUSE, POOL & PLAYGROUND*	48,290.0	1.109
POCKET PARK 1	5,683.8	0.130
POCKET PARK 2	4,931.1	0.113
POCKET PARK 3	23,153.4	0.532
BENCH SWING PARK	21,777.4	0.500
PICKLEBALL COURTS & DOG PARK	60,865.9	1.397
PLAYGROUND	4,826.7	0.111
HAMMOCK PARK	12,684.4	0.291
PRIVATE GREENWAY W/ PUBLIC ACCESS	39,620.6	0.910
PUBLIC GREENWAY TRAIL**	71,377.1	1.639
TOTAL	295,210.4	6.777

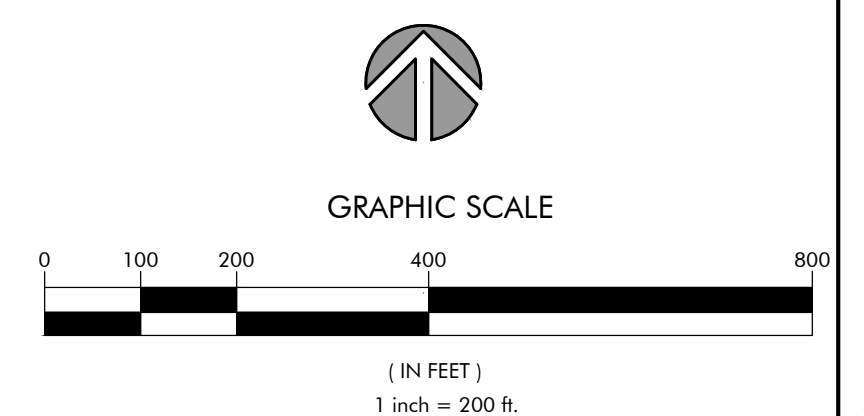
PASSIVE OPEN SPACE TABLE

NAME	AREA	
	SF	AC
VILLAGE GREEN***	112,293.6	2.578
OPEN LAWN	28,601.3	0.657
SCM W/ FOUNTAIN & POLLINATOR GARDENS	75,712.7	1.738
PRIVATE GREENWAY, SCM W/ FOUNTAIN, OVERLOOK & GAZEBO	102,715.5	2.358
BENCHES & LANDSCAPE AREA 1	1,930.5	0.044
BENCHES & LANDSCAPE AREA 2	3,367.3	0.077
BENCHES & LANDSCAPE AREA 3	14,761.1	0.339
BENCHES & LANDSCAPE AREA 4	4,276.1	0.098
BENCHES & LANDSCAPE AREA 5	4,577.0	0.105
BENCHES & LANDSCAPE AREA 6	4,577.0	0.105
BENCHES & LANDSCAPE AREA 7	3,910.0	0.09
BENCHES & LANDSCAPE AREA 8	3,910.0	0.09
PUBLIC DISPLAY OF ART	5,240.2	0.12
ENTRY MONUMENT & LANDSCAPING	22,583.80	0.52
TOTAL	388,456.1	8.918

* PER TOWN OF KNIGHTSDALE UDO SECTION 11.2.D.3, DEVELOPMENTS THAT PROVIDE NEIGHBORHOOD AMENITY FACILITIES WILL RECEIVE A CREDIT OF TWENTY-FIVE (25) PERCENT OF THE REQUIRED PASSIVE OPEN SPACE, AND TWENTY-FIVE (25) PERCENT OF THE REQUIRED ACTIVE OPEN SPACE TO BE EQUALLY DIVIDED.
** LOCATION OF PUBLIC GREENWAY TRAIL SUBJECT TO CHANGE AS DESIGN PROGRESSES; WILL COORDINATE WITH TOWN OF KNIGHTSDALE STAFF.
*** PER TOWN OF KNIGHTSDALE UDO SECTION 11.2.D.1 FOR EACH STREET SEGMENT WITHIN A DEVELOPMENT THAT IS SINGLE-LOADED, THE AREA CONSISTING OF THE LENGTH TIMES HALF OF THE WIDTH OF SAID STREET SEGMENT RIGHT-OF-WAY SHALL BE CREDITED AT A RATE OF ONE HUNDRED (100) PERCENT AGAINST THE PASSIVE RECREATIONAL OPEN SPACE SQUARE FOOT REQUIREMENT.



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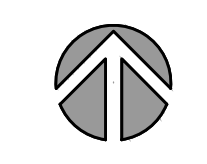
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LYNDON OAKS Master Plan

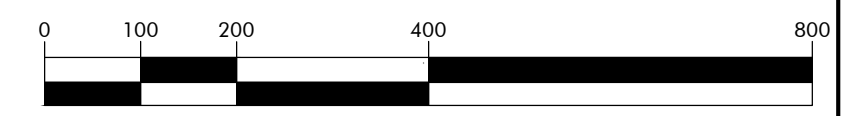
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(IN FEET)
 1 inch = 200 ft.

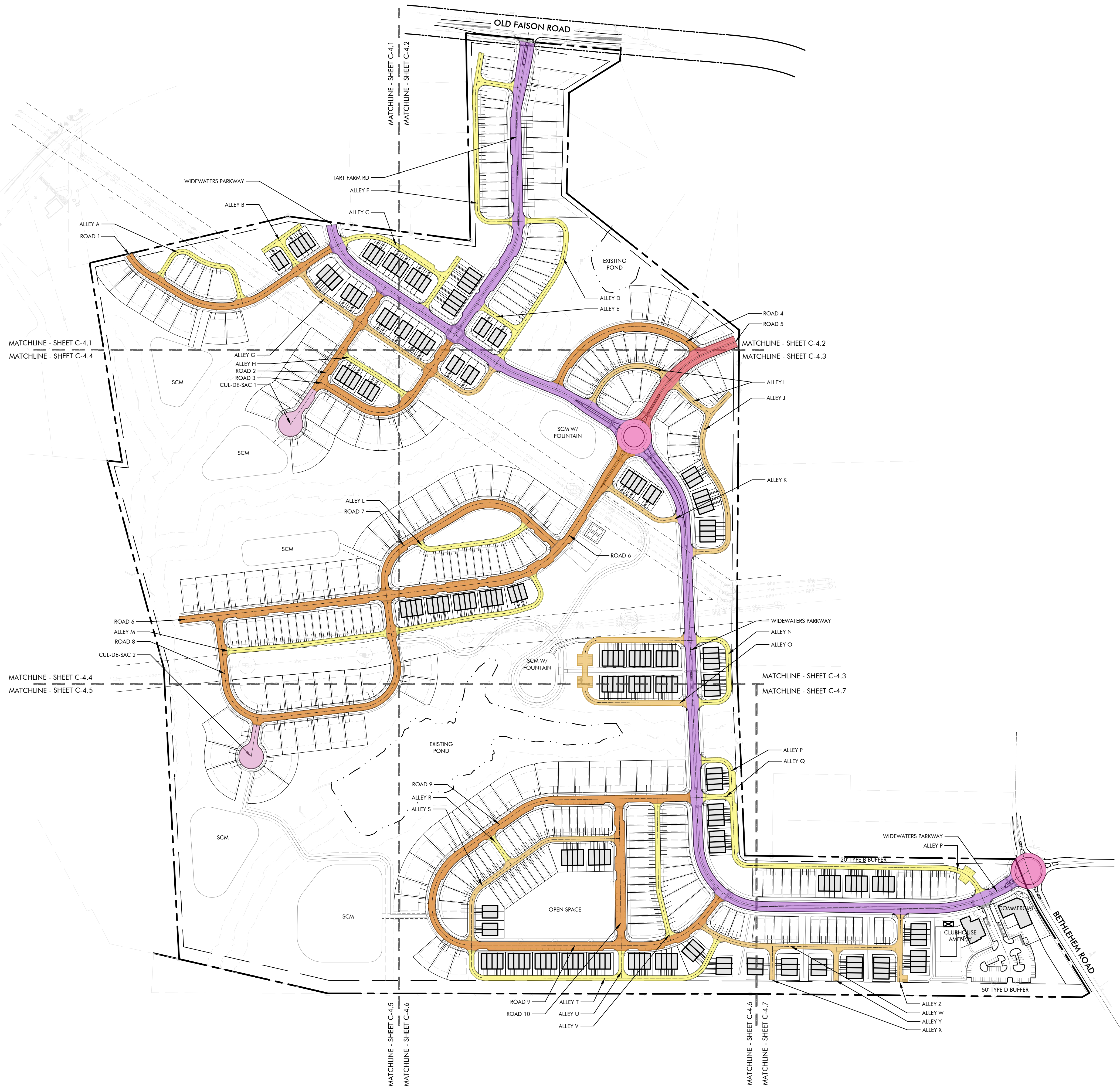
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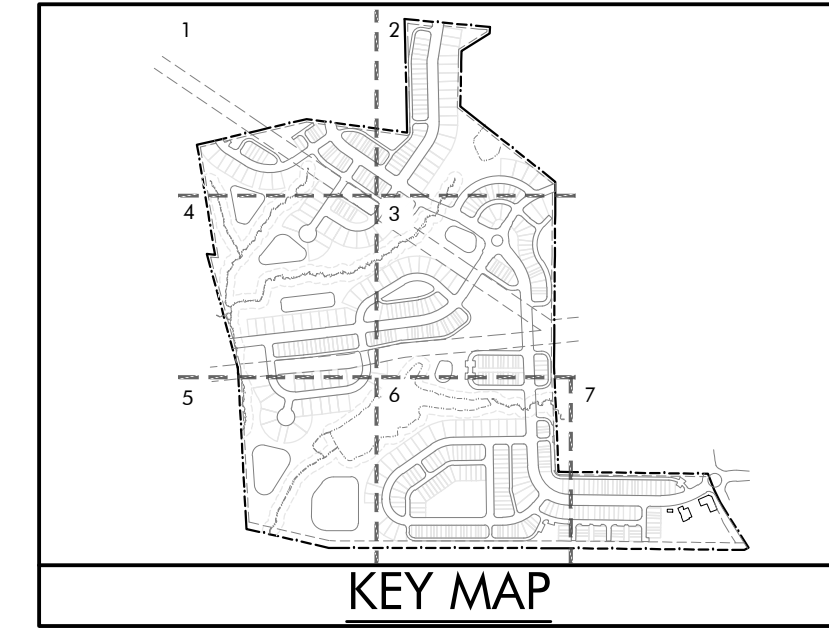
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STREET TABLE	
NAME	LENGTH (LF)
ROAD 1	934'
ROAD 2	443'
ROAD 3	698'
ROAD 4	708'
ROAD 5	501'
ROAD 6	1,973'
ROAD 7	923'
ROAD 8	1,372'
ROAD 9	2,504'
ROAD 10	565'
CUL-DE-SAC 1	200'
CUL-DE-SAC 2	152'
TART FARM ROAD	1,246'
WIDEWATERS PARKWAY	4,418'

ALLEY TABLE	
NAME	LENGTH
ALLEY A	495'
ALLEY B	316'
ALLEY C	722'
ALLEY D	787'
ALLEY E	193'
ALLEY F	960'
ALLEY G	981'
ALLEY H	325'
ALLEY I	615'
ALLEY J	805'
ALLEY K	354'
ALLEY L	478'
ALLEY M	1,372'
ALLEY N	487'
ALLEY O	1,015'
ALLEY P	1,516'
ALLEY Q	138'
ALLEY R	153'
ALLEY S	828'
ALLEY T	1,148'
ALLEY U	127'
ALLEY V	555'
ALLEY W	799'
ALLEY X	131'
ALLEY Y	131'
ALLEY Z	284'



LEGEND:

- PRIVATE ALLEY**
R/W: 20'
WIDTH: 20' (BOC-BOC)
SPEED: 10 MPH
- PUBLIC ALLEY**
R/W: 32'
WIDTH: 32' (BOC-BOC)
SPEED: 10' MPH
- LOCAL STREET**
R/W: 54'
WIDTH: 27'-41' (BOC-BOC)*
SPEED: 20 MPH
- MAIN STREET (MODIFIED)**
R/W: 70'
WIDTH: 44.5'-53' (BOC-BOC)*
SPEED: 20-25 MPH
- AVENUE - 3 LANE DIVIDED (MODIFIED)**
R/W: 75'
WIDTH: 43'-55' (BOC-BOC)*
SPEED: 30-35 MPH
- CUL-DE-SAC**
R/W: 61.5' RADIUS
WIDTH: 48' RADIUS (BOC-BOC)
LENGTH: 200' MAX
- ROUNDABOUT**
R/W: VARIES
SPEED: 20-25 MPH

*NOTE: ON STREET PARKING UTILIZED WHERE APPROPRIATE. SEE PLAN FOR LOCATIONS.



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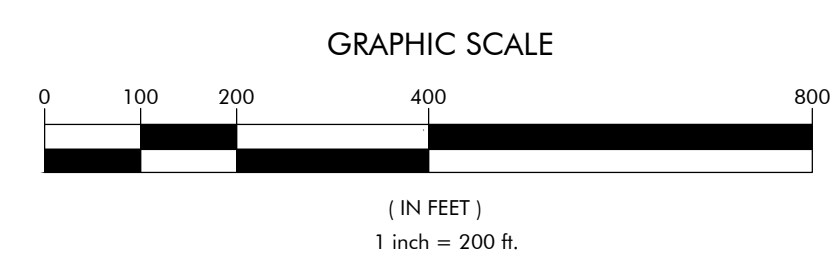
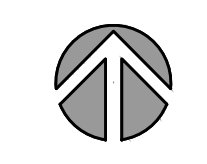
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LYNDON OAKS Master Plan Overall Signage & Marking Plan

Knightsdale, North Carolina



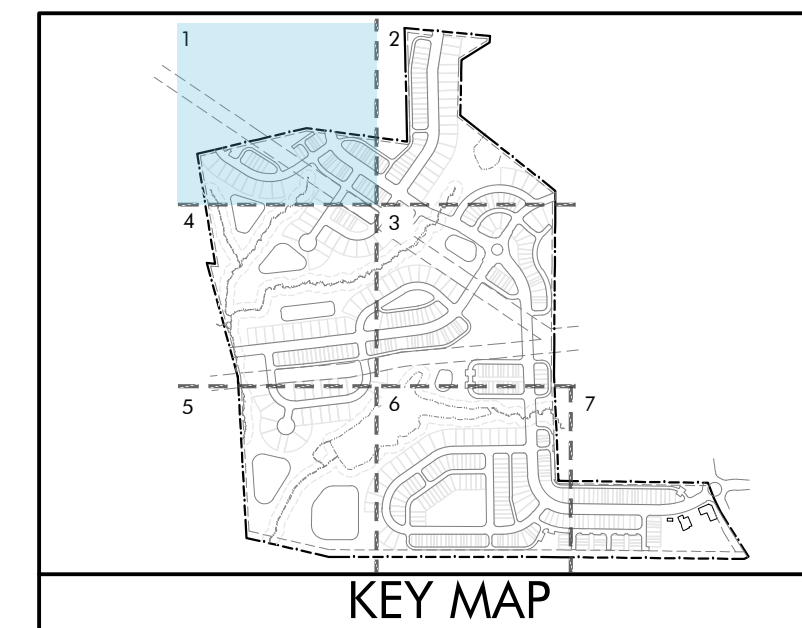
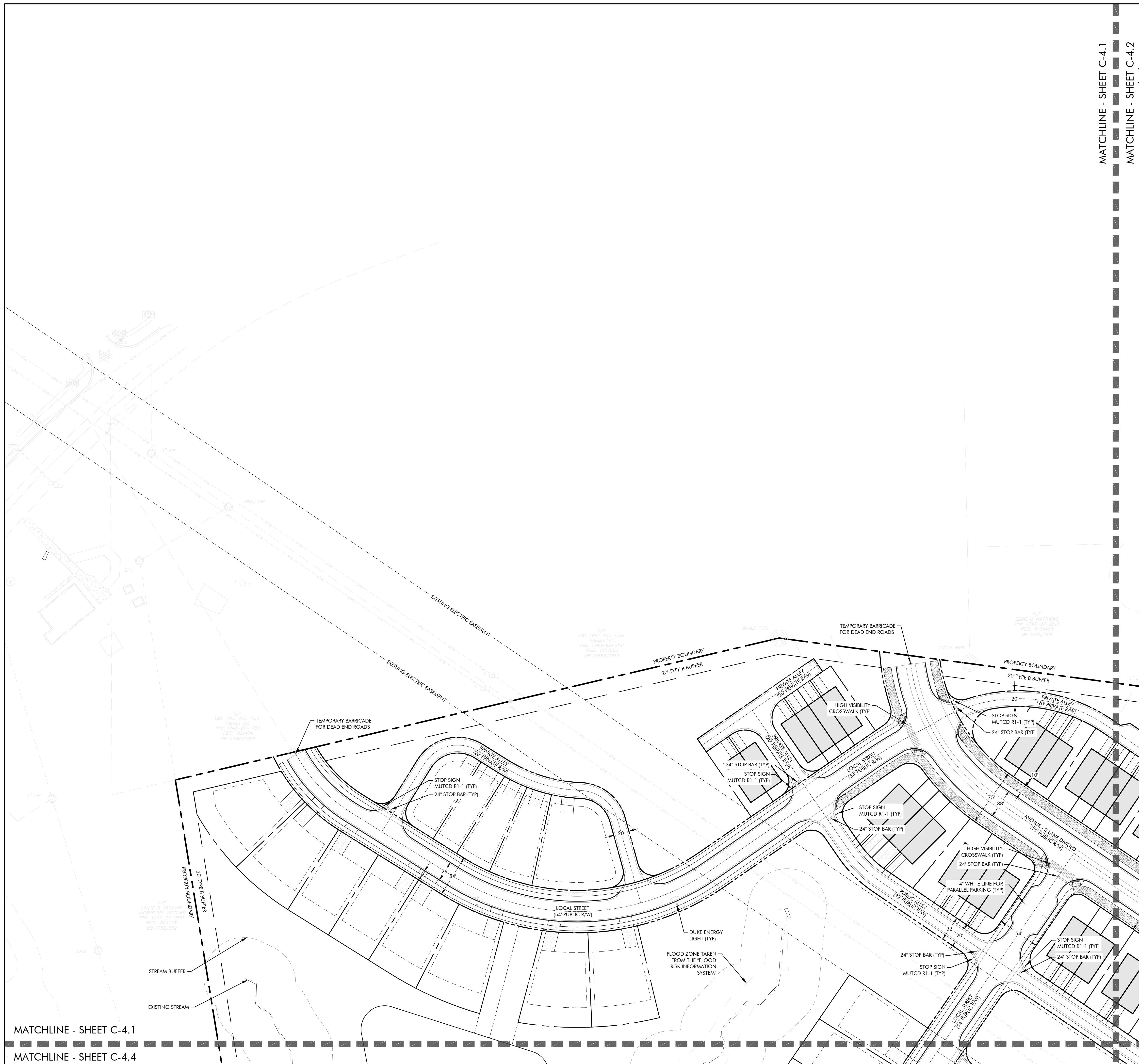
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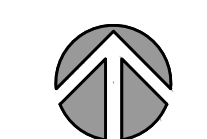
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MATCHLINE - SHEET C-4.2

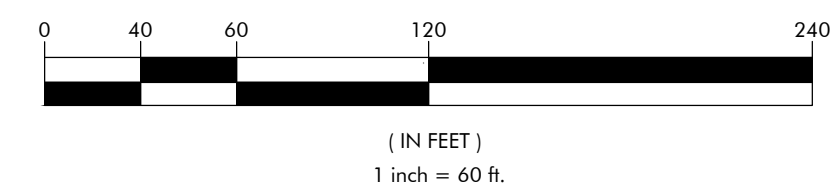
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LYNDON OAKS Master Plan Signage & Marking Plan Enlargement 1

Knightsdale, North Carolina

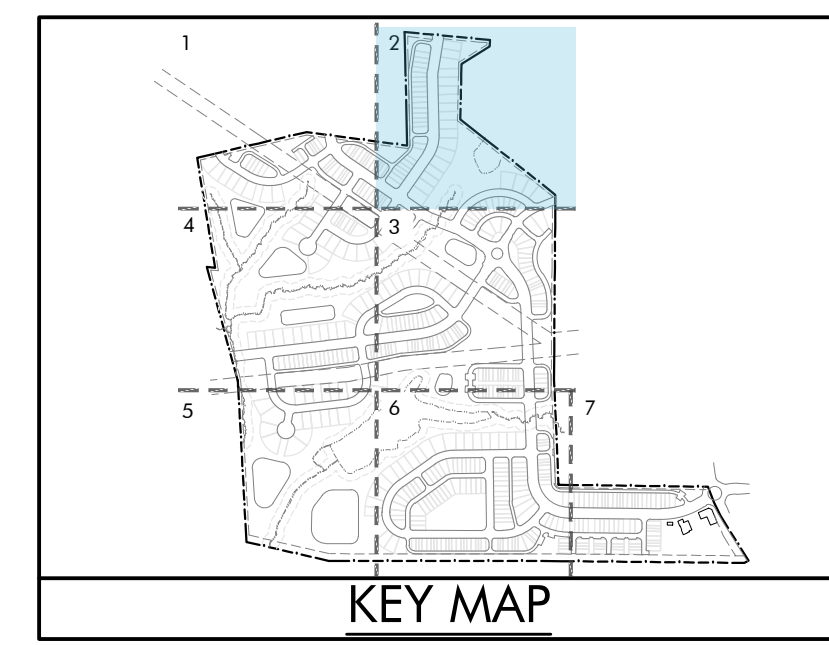
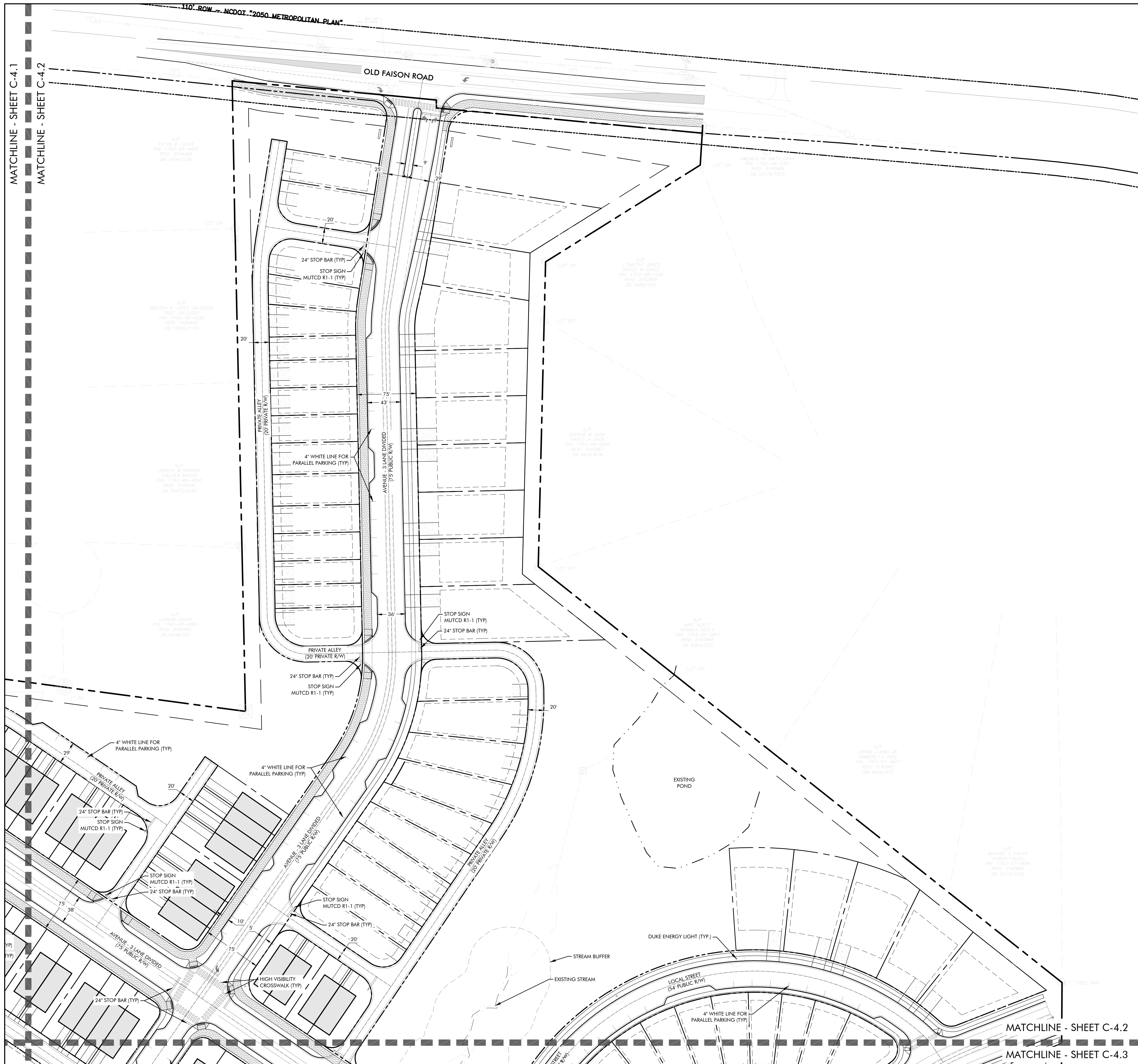
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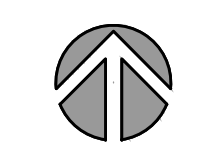
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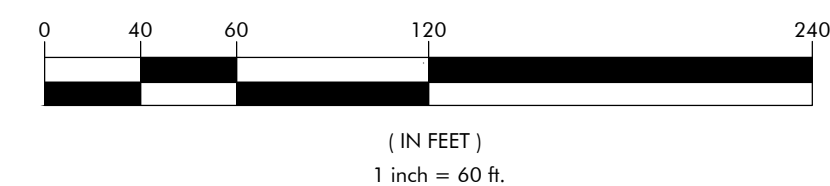
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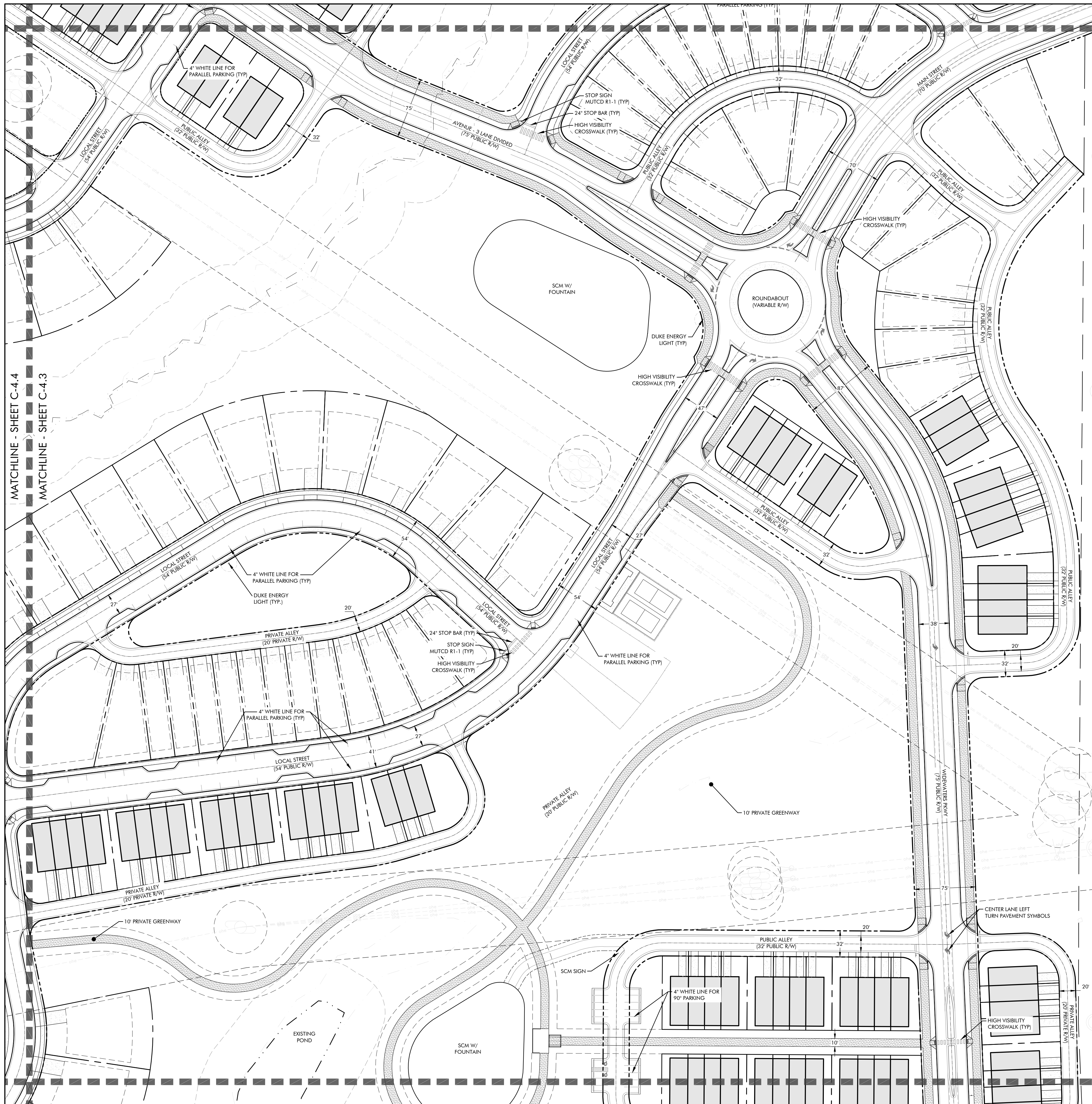
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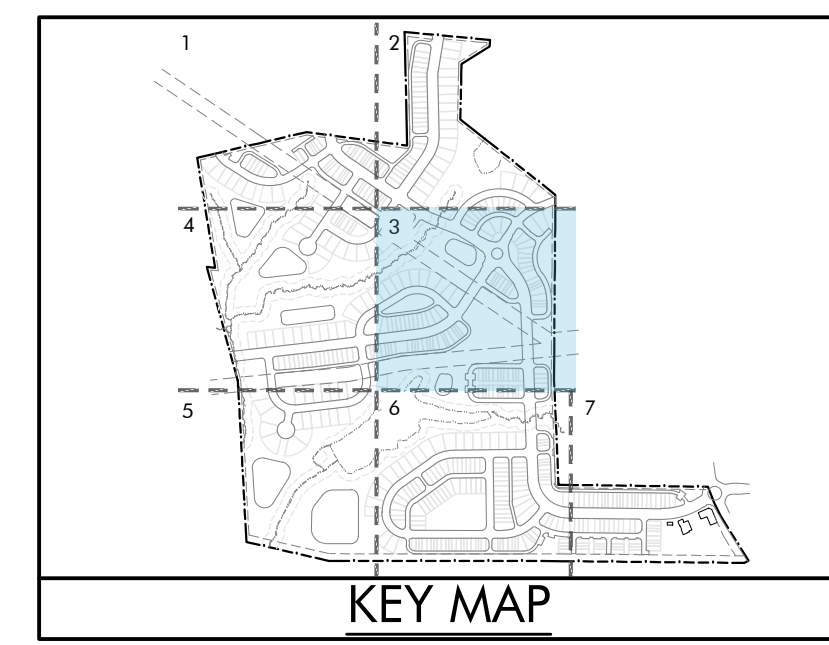
C-4.2

MATCHLINE - SHEET C-4.2

MATCHLINE - SHEET C-4.3



MATCHLINE - SHEET C-4.2
 MATCHLINE - SHEET C-4.3



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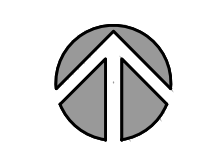
Master Plan

Signage & Marking Plan Enlargement 3

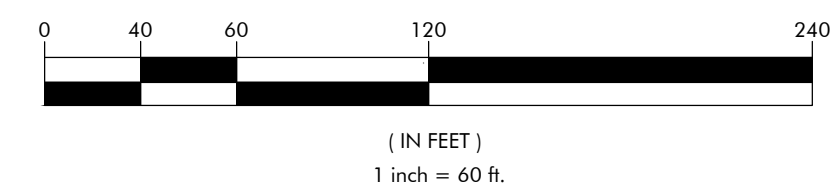
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MATCHLINE - SHEET C-4.3
 MATCHLINE - SHEET C-4.6

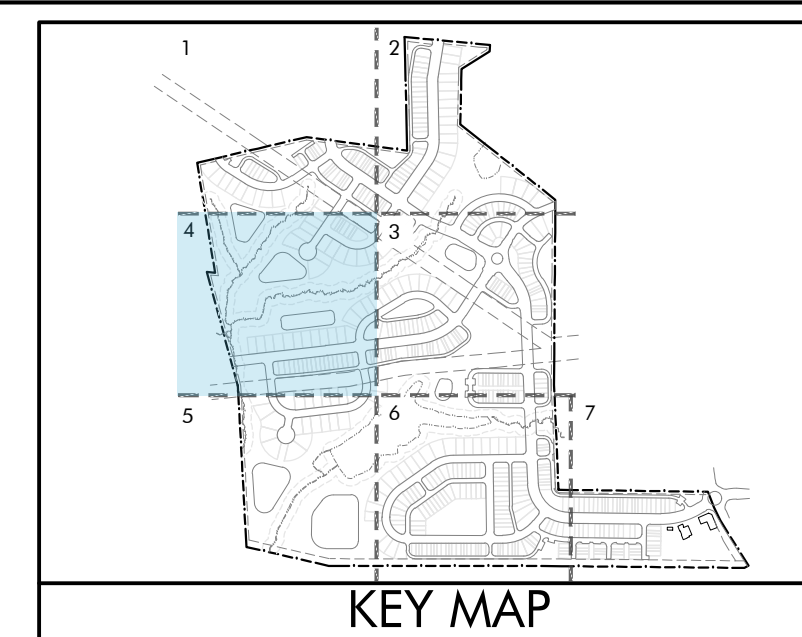
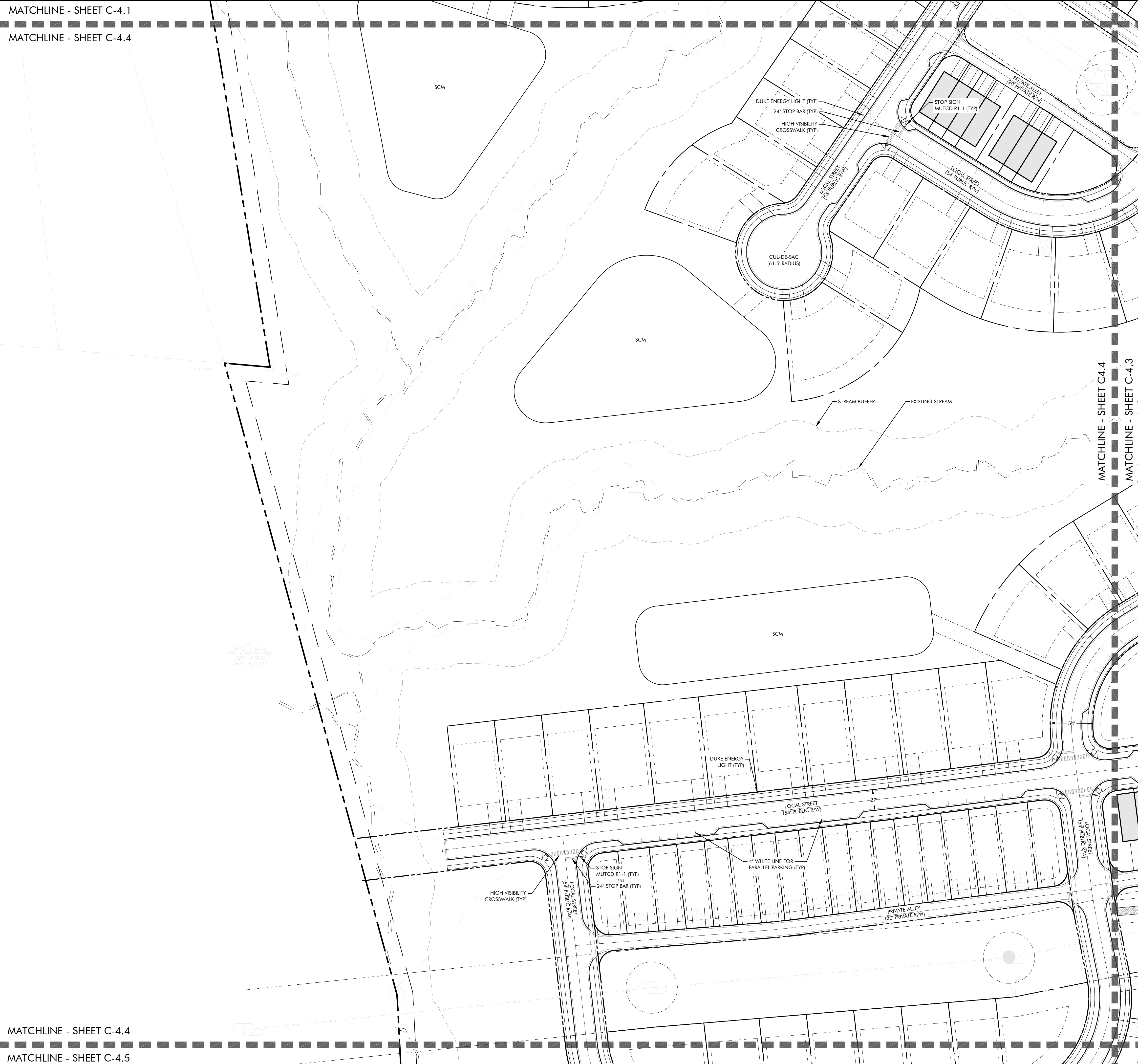
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MATCHLINE - SHEET C-4.1
MATCHLINE - SHEET C-4.4

MATCHLINE - SHEET C-4.4
MATCHLINE - SHEET C-4.5



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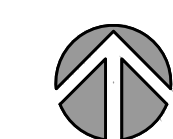
Master Plan

Signage & Marking Plan Enlargement 4

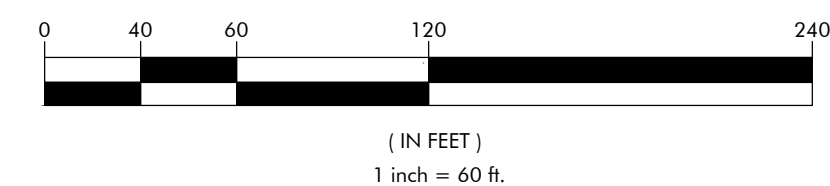
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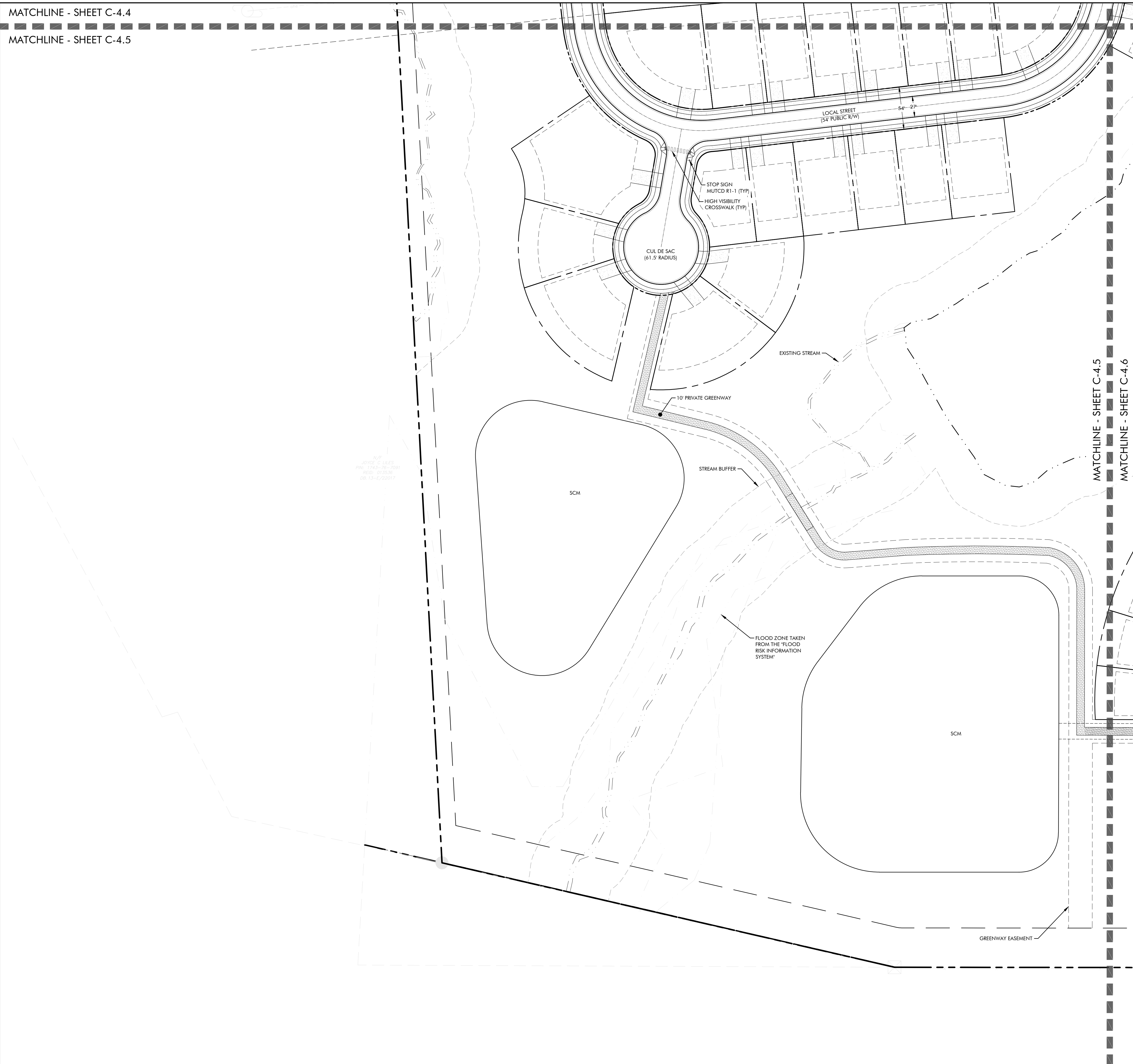
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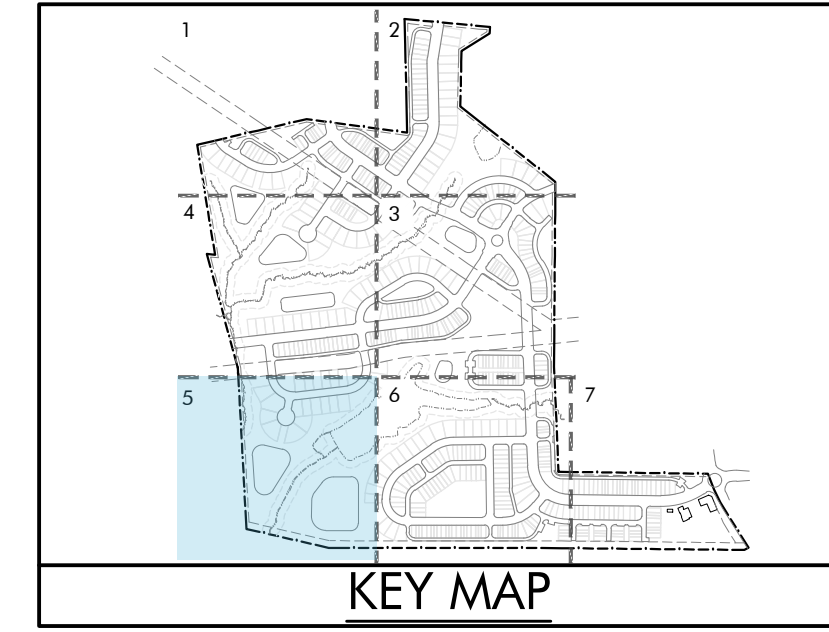
C-4.4

MATCHLINE - SHEET C-4.4

MATCHLINE - SHEET C-4.5



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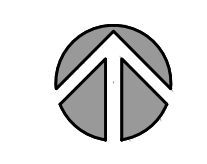
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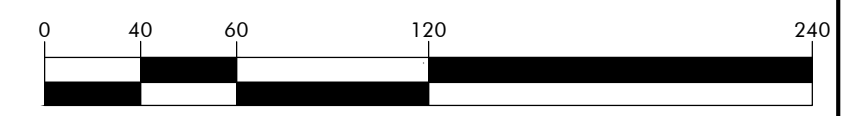
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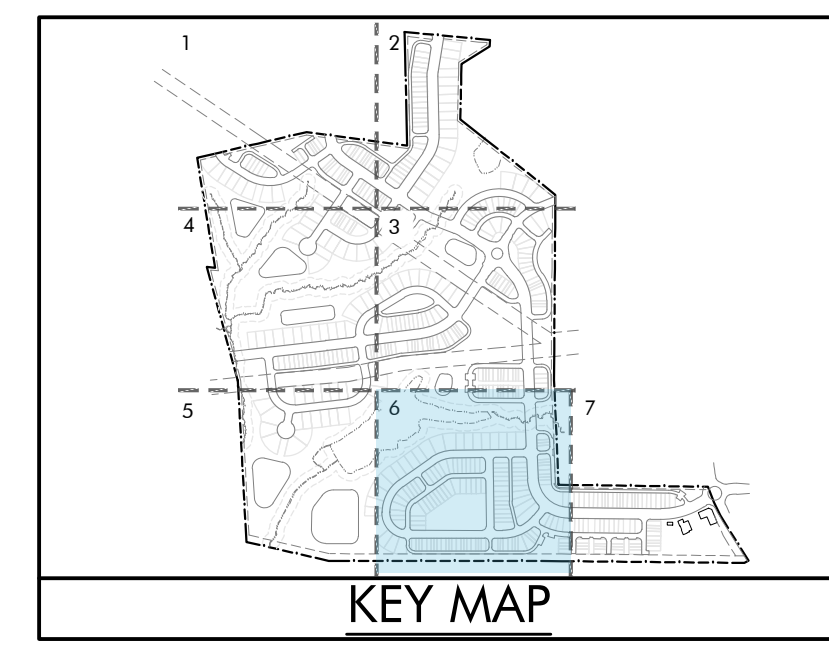
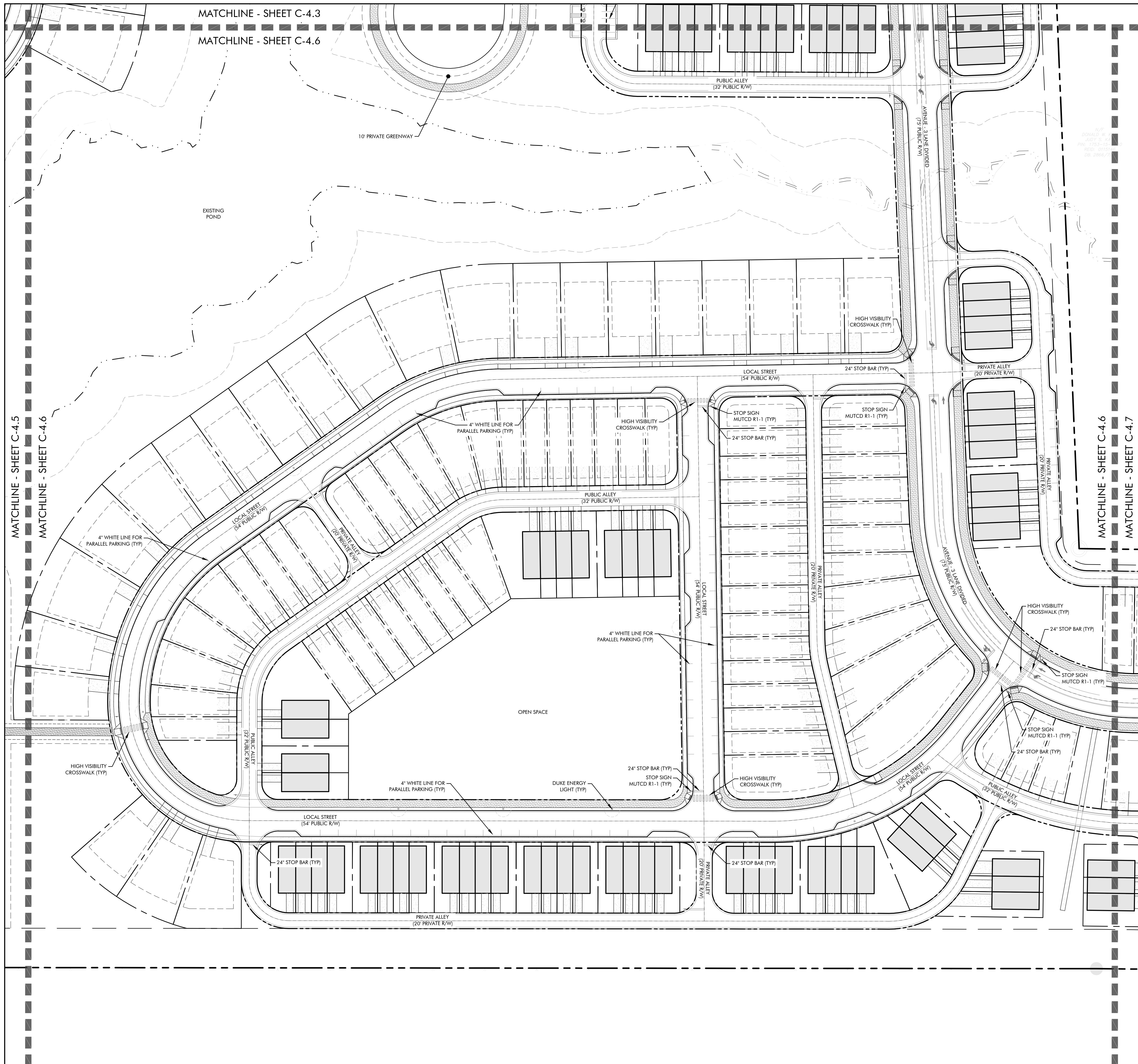


(IN FEET)
 1 inch = 60 ft.

NO.	DATE	BY	REVISIONS
1	11/27/2023		

Project No: 22-RDU-083
 Date: 02/05/2024

Sheet No:
C-4.5



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 urbandesignpartners.com

nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
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02/05/2024

D.R. Horton

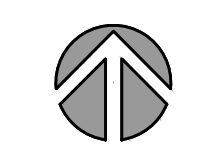
7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS Master Plan Signage & Marking Plan Enlargement 6

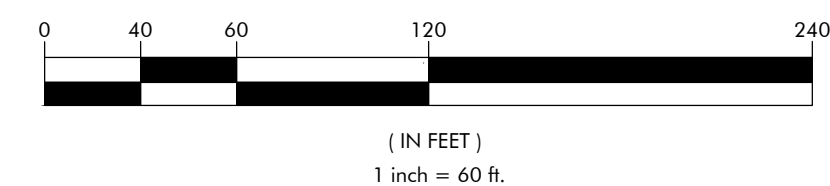
Knightsdale, North Carolina



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GRAPHIC SCALE



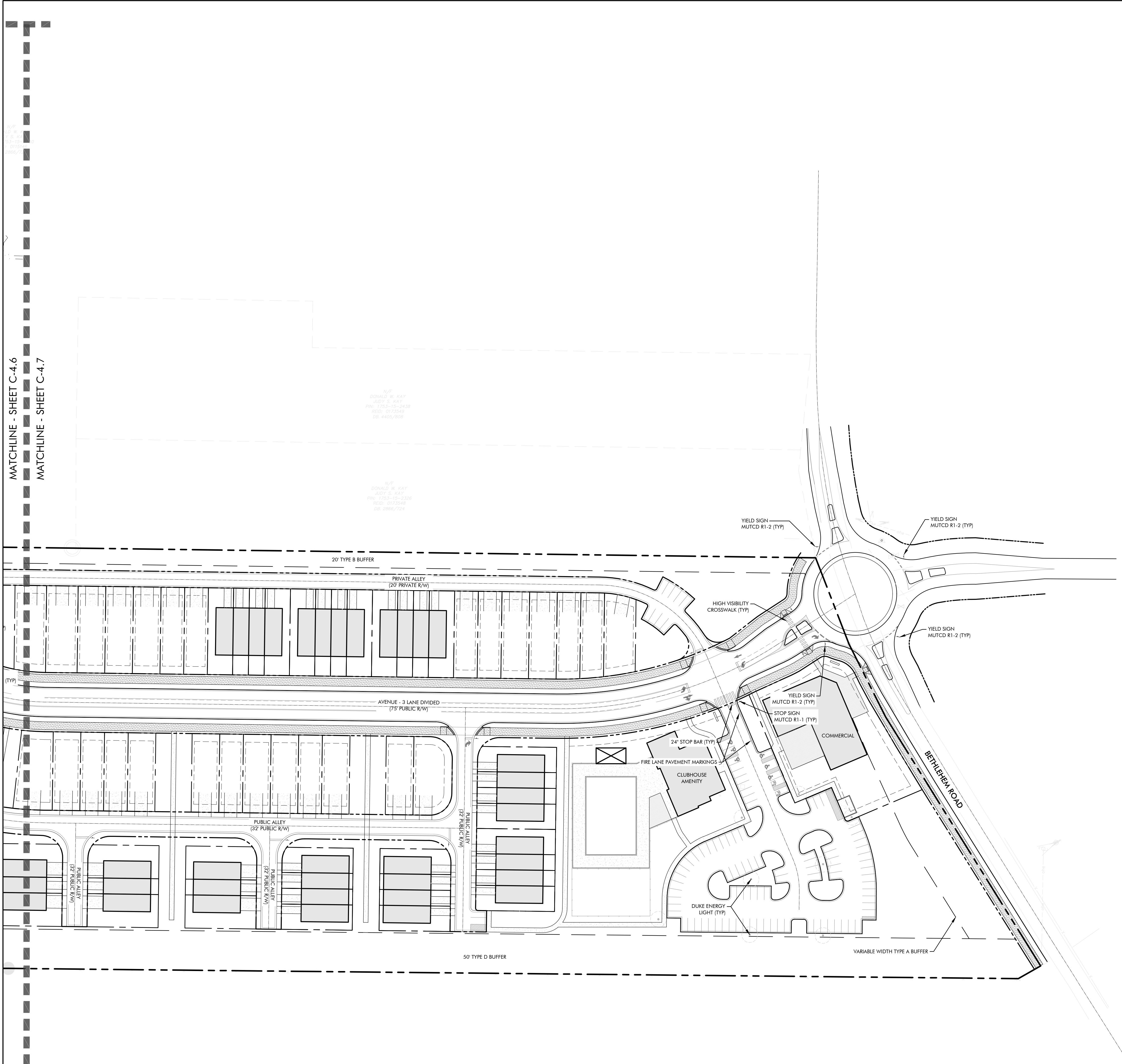
NO.	DATE	BY	REVISIONS:
1	11/27/2023		

Project No: 22-RDU-083

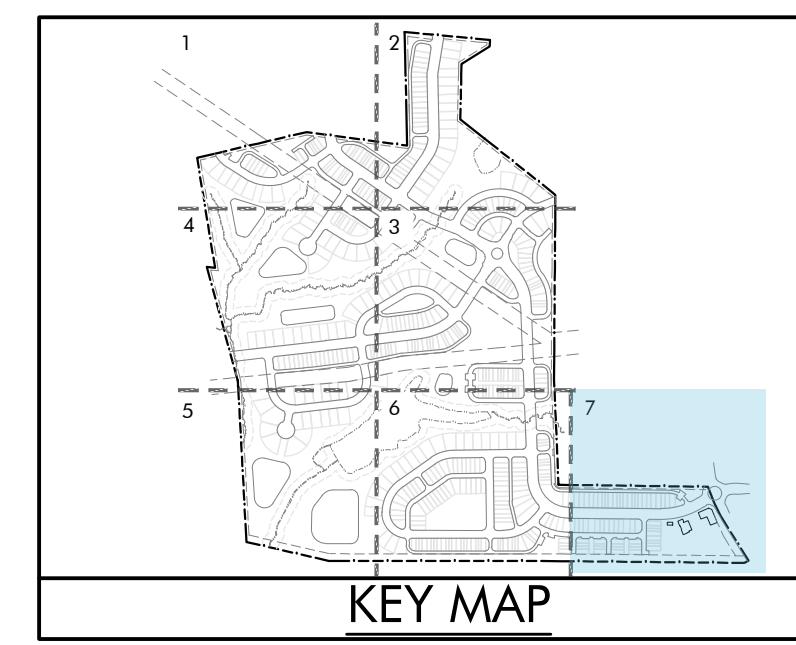
Date: 02/05/2024

Sheet No:

C-4.6



MATCHLINE - SHEET C-4.6
 MATCHLINE - SHEET C-4.7



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LYNDON OAKS

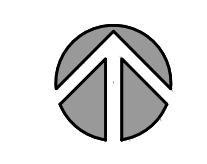
Master Plan

Signage & Marking Plan Enlargement 7

Knightsdale, North Carolina



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GRAPHIC SCALE



(IN FEET)
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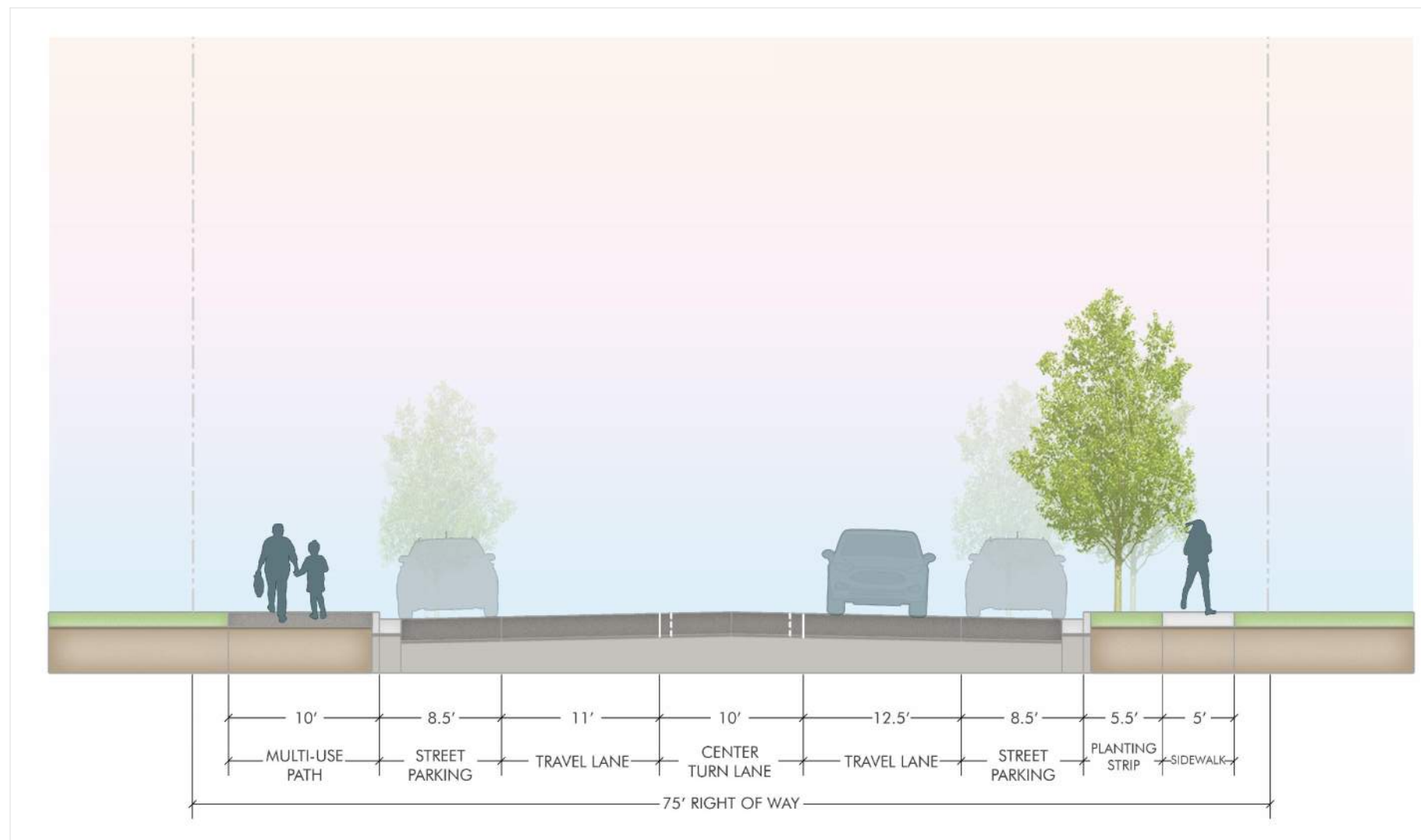
NO. DATE BY: REVISIONS:
 #1 11/27/2023

Project No: 22-RDU-083

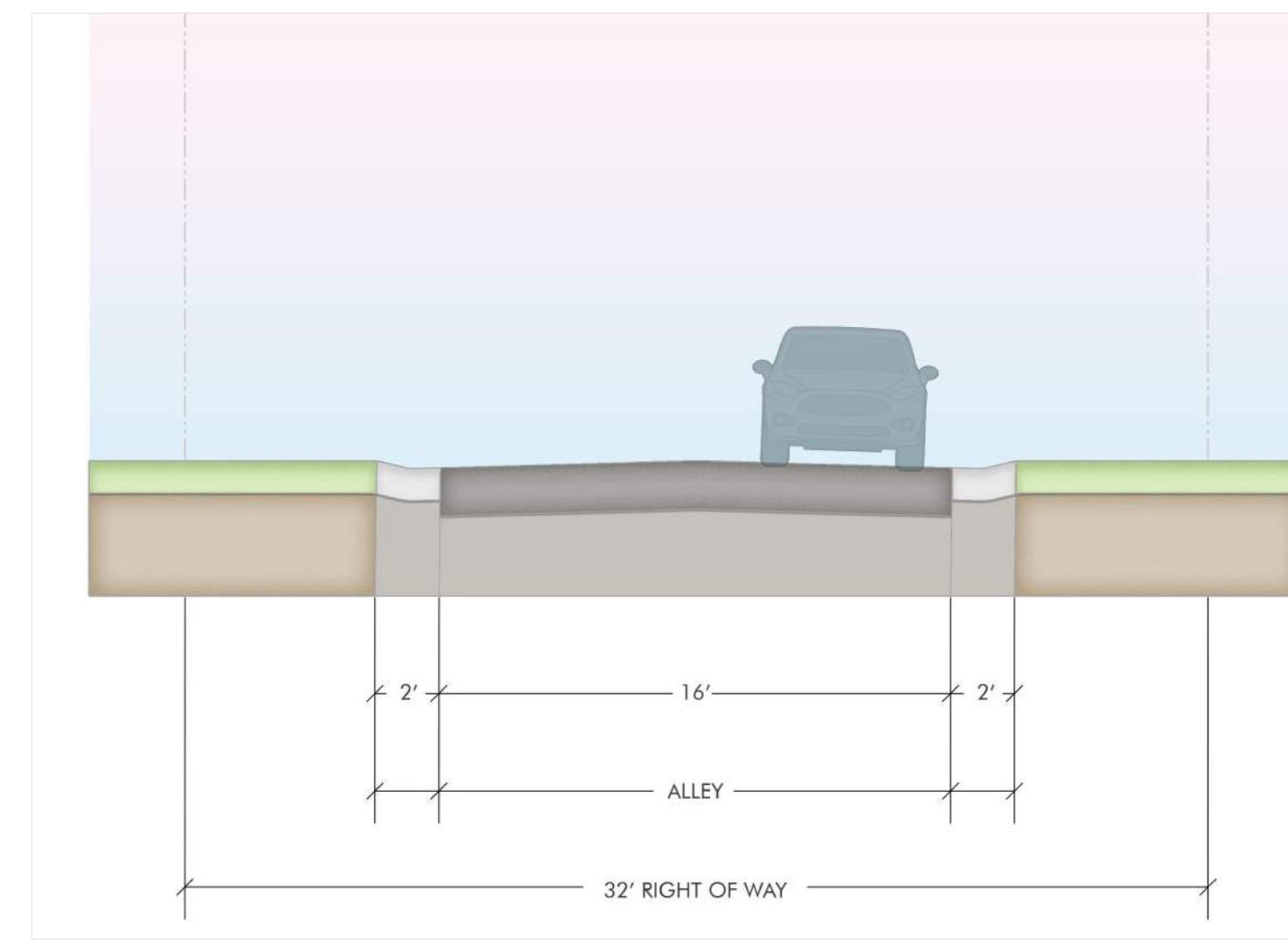
Date: 02/05/2024

Sheet No:

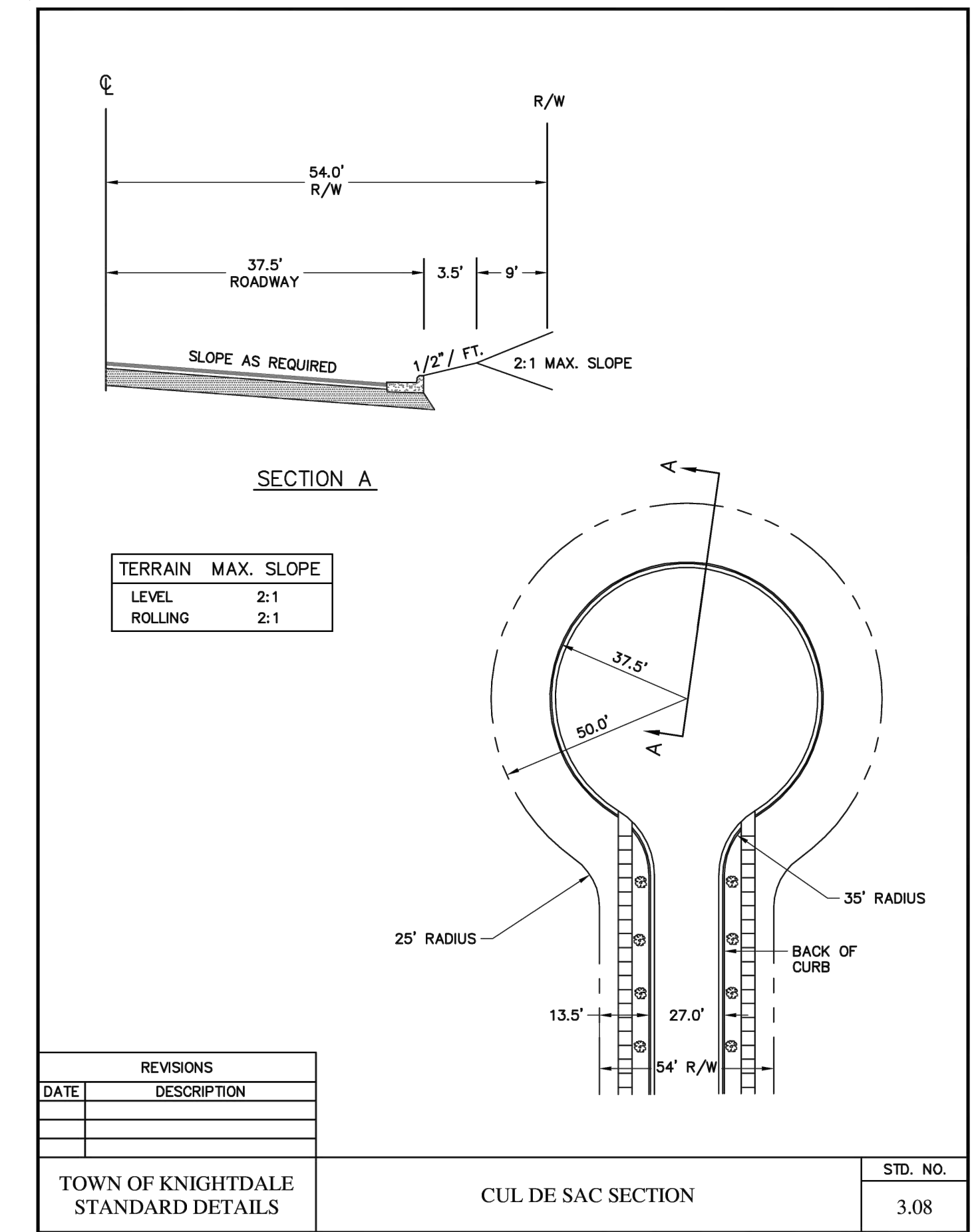
C-4.7



1A MODIFIED AVENUE STREET SECTION SECTION
SCALE: NTS

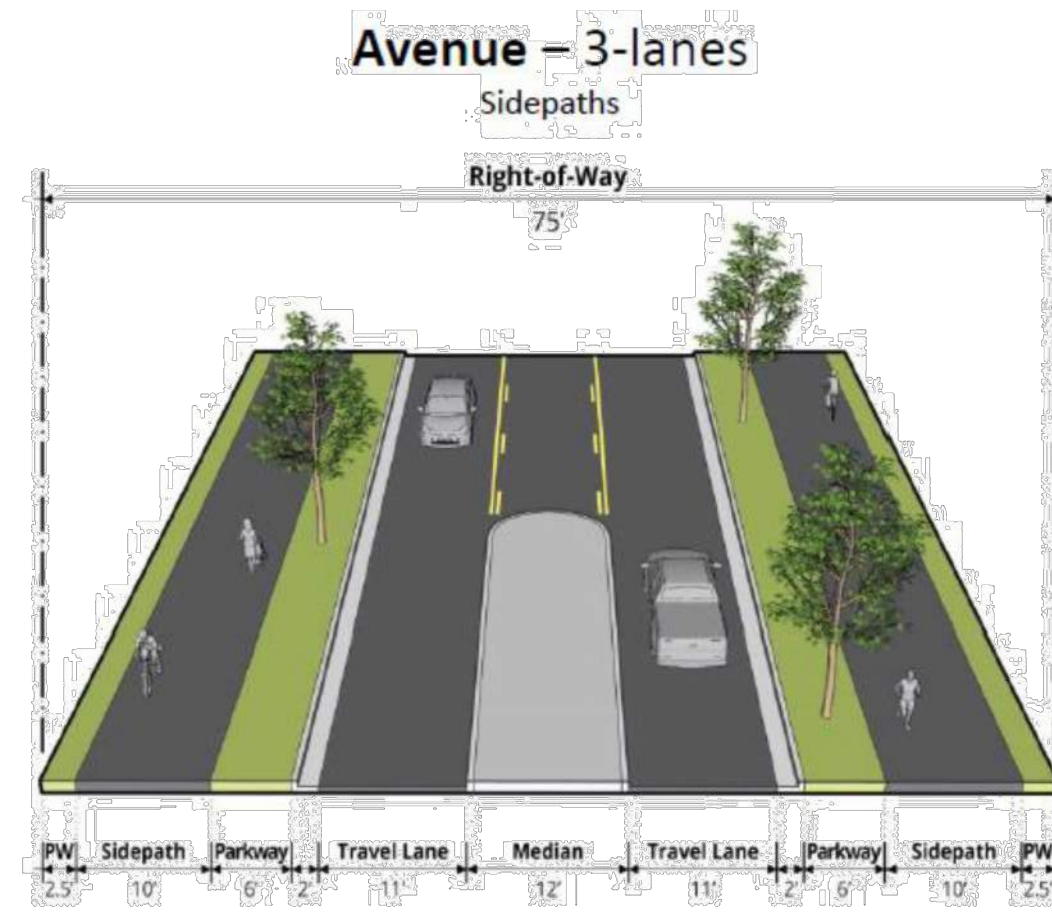


3 32' PUBLIC ALLEY STREET SECTION SECTION
SCALE: NTS



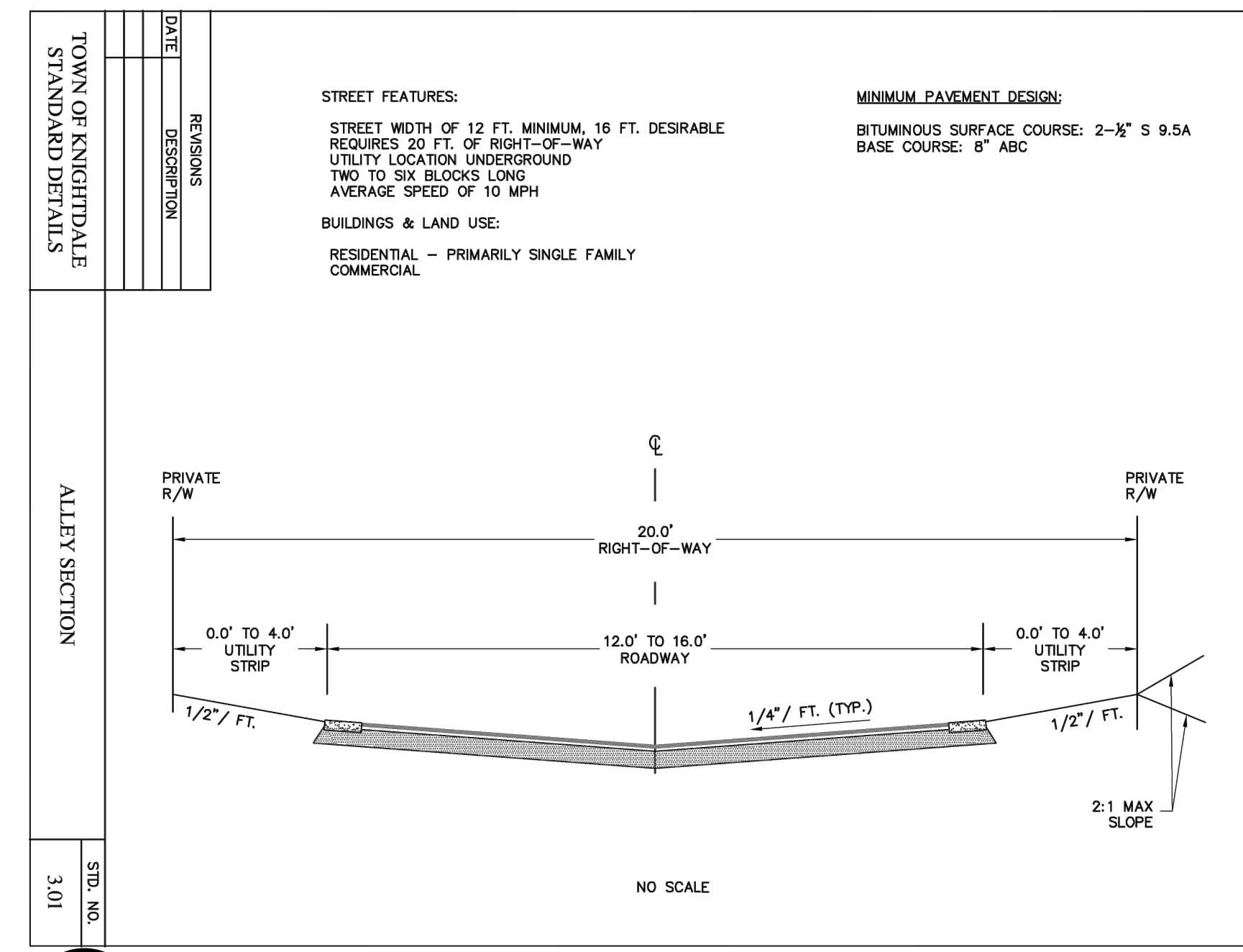
6 CUL-DE-SAC SECTION SECTION
SCALE: NTS

NOTE:
TOWN OF KNIGHTDALE IS CURRENTLY UPDATING THEIR STANDARD DETAILS AND THE STREET SECTIONS SHOWN ON TOWN OF KNIGHTDALE TITLEBLOCKS WILL BE UPDATED TO MEET NEW REQUIREMENTS PER THE UDO.
STREET SECTIONS USED IN PLAN REFLECT THE DIMENSIONS SET FORTH IN THE UDO.

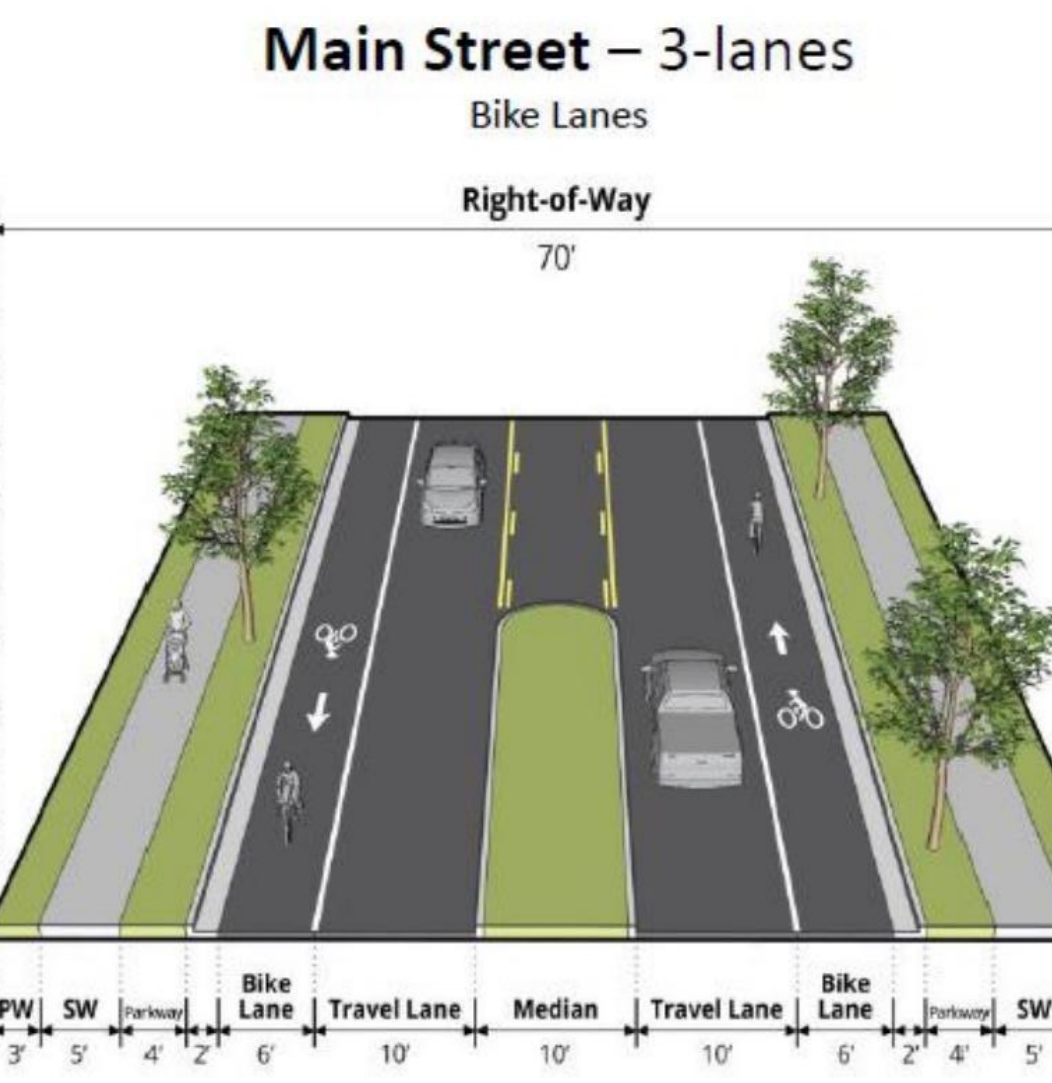


Town of Knightdale Knightdale Next UDO Update Chapter 10 – Infrastructure Improvement Standards Page 11 of 23

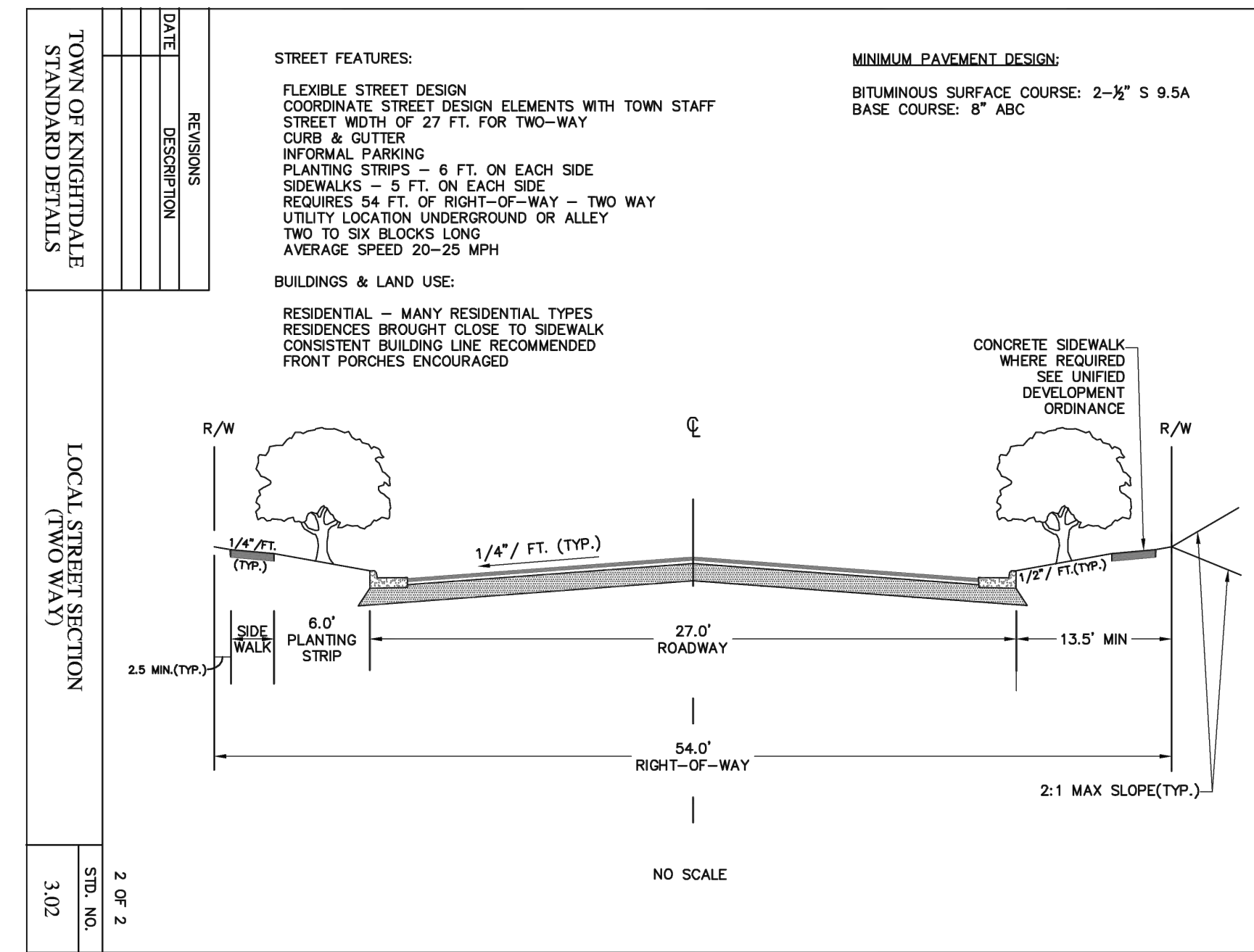
1B AVENUE STREET SECTION - SIDEPATHS SECTION
SCALE: NTS



4 20' PRIVATE ALLEY SECTION SECTION
SCALE: NTS



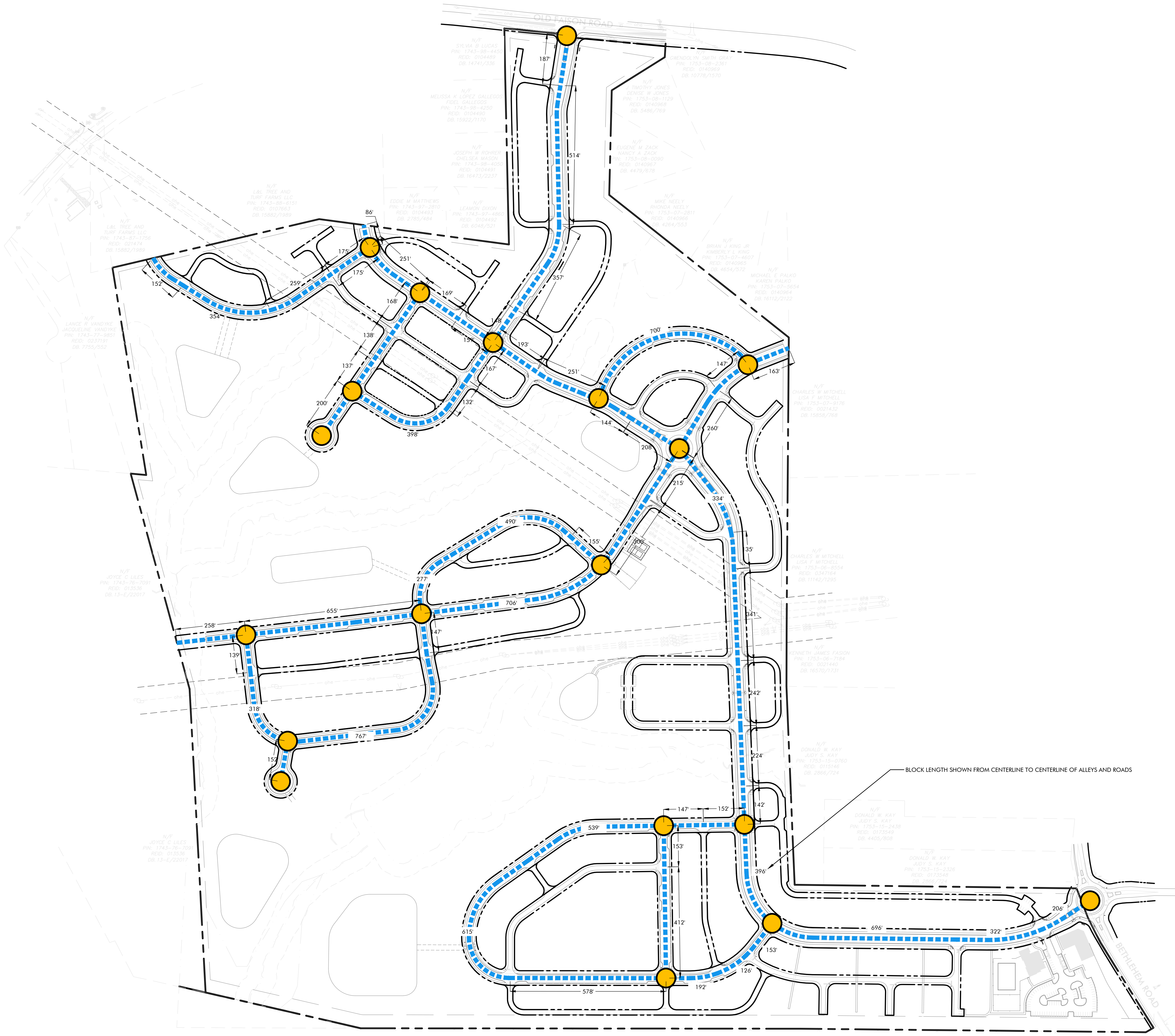
2 70' MAIN STREET SECTION SECTION
SCALE: NTS



5 LOCAL STREET SECTION SECTION
SCALE: NTS

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		

Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:



CONNECTIVITY INDEX

LINKS: 27

NODES: 19

MINIMUM REQUIRED: 1.40
 PROVIDED: 1.42
 $\frac{1.42}{1.40} = 1.42$

* CONNECTIVITY INDEX IS CALCULATED ACCORDING TO TOWN OF KNIGHTDALE UDO SEC. 11.3.E.7



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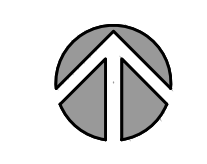
D.R. Horton

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 Raleigh, NC 27615

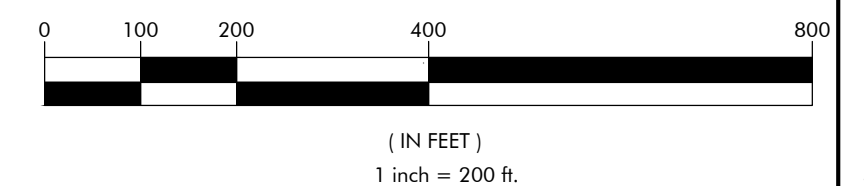
LYNDON OAKS
Master Plan
 Connectivity Index
 Knightdale, North Carolina



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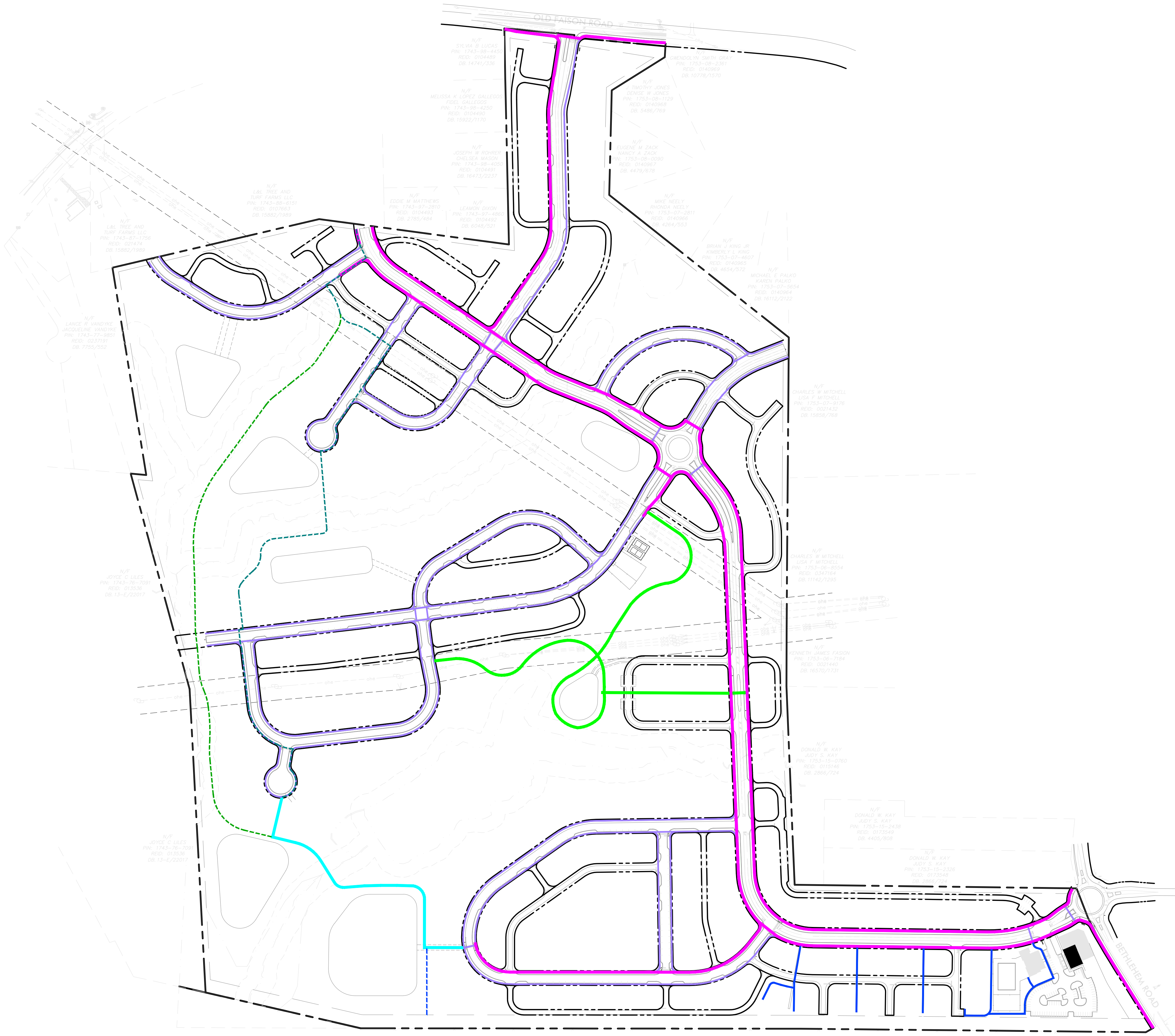
GRAPHIC SCALE



NO.	DATE	BY	REVISIONS:
#1	11/27/2023		

Project No: 22-RDU-083
 Date: 02/05/2024
 Sheet No:

C-4.9



PEDESTRIAN CIRCULATION

- █ 10' SIDEWALK
- █ 5' SIDEWALK
- █ 6' SIDEWALK
- █ 10' PRIVATE TRAIL
- █ 10' PRIVATE TRAIL W/PUBLIC ACCESS
- - - 10' PUBLIC TRAIL OPTION A
- - - 10' PUBLIC TRAIL OPTION B
- - - TRAIL STUB FOR FUTURE CONNECT
- █ PLAZA



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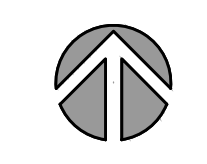
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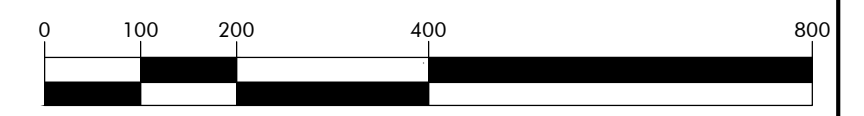
LYNDON OAKS
Master Plan
 Pedestrian Circulation
 Knightdale, North Carolina



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GRAPHIC SCALE



(IN FEET)
 1 inch = 200 ft.

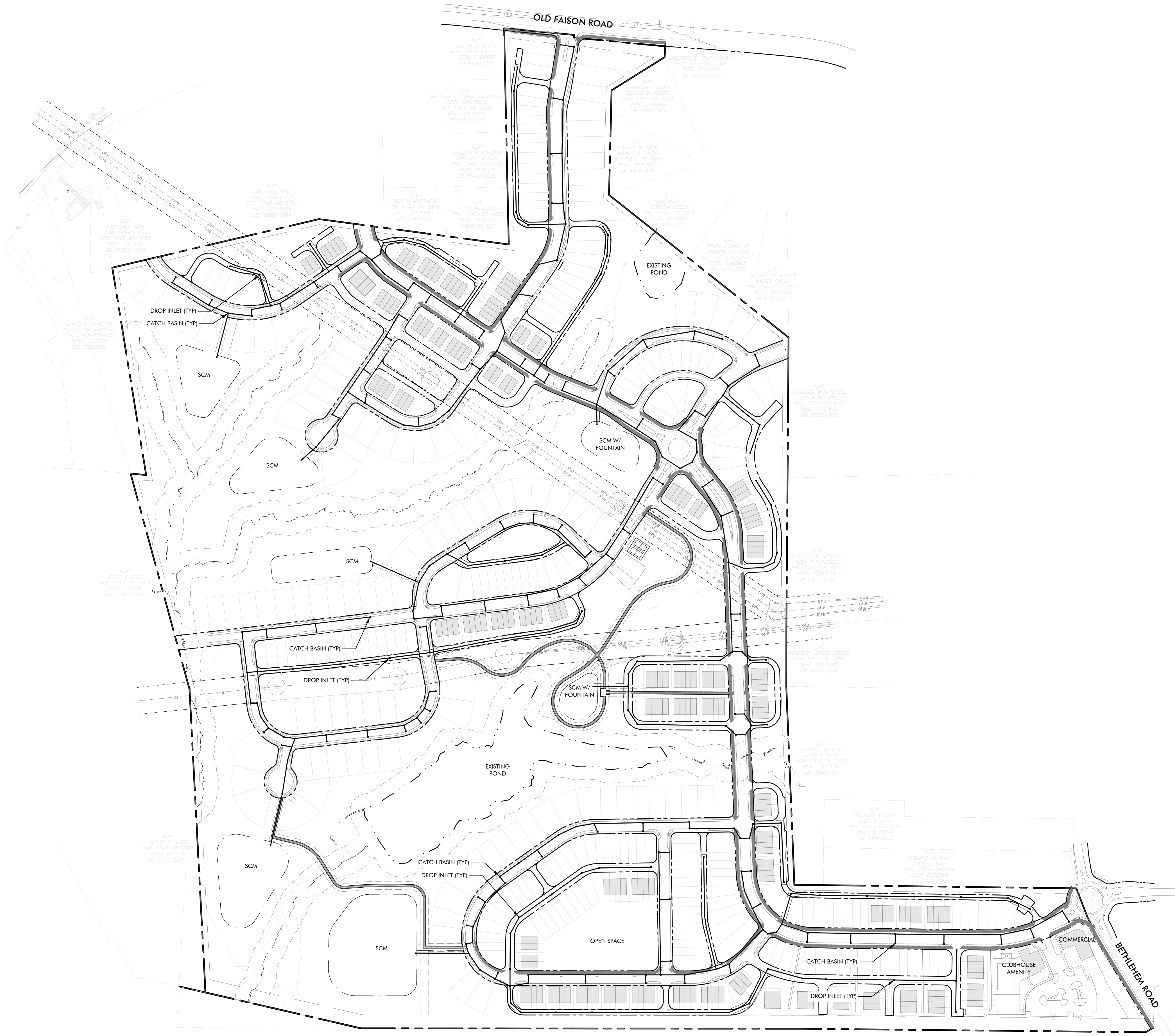
NO.	DATE	BY	REVISIONS:
1	11/27/2023		

Project No: 22-RDU-083

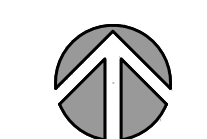
Date: 02/05/2024

Sheet No:

C-4.10



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1 inch = 200 ft.



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LYNDON OAKS Master Plan

Overall Storm Drainage Plan

Knightsdale, North Carolina

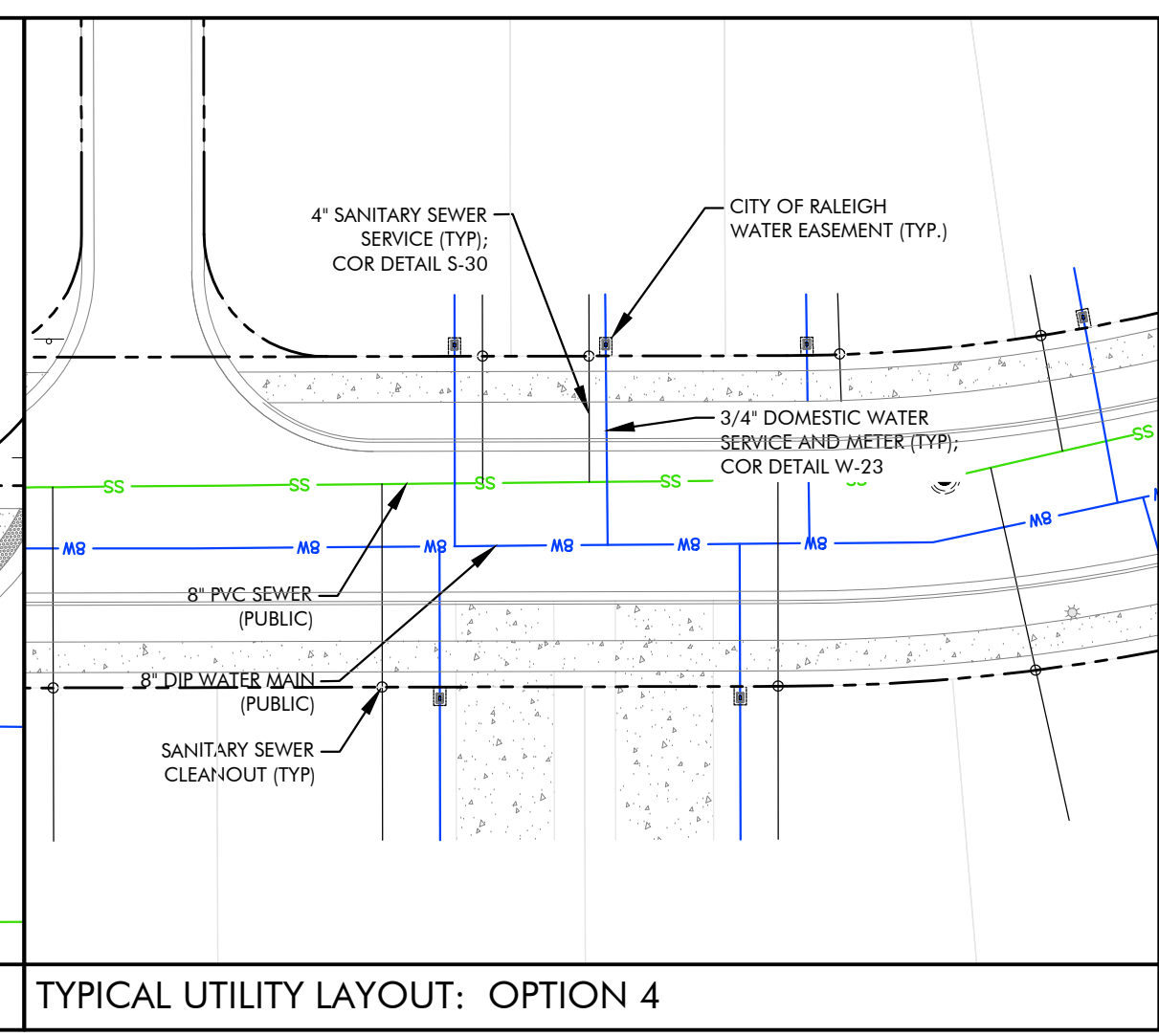
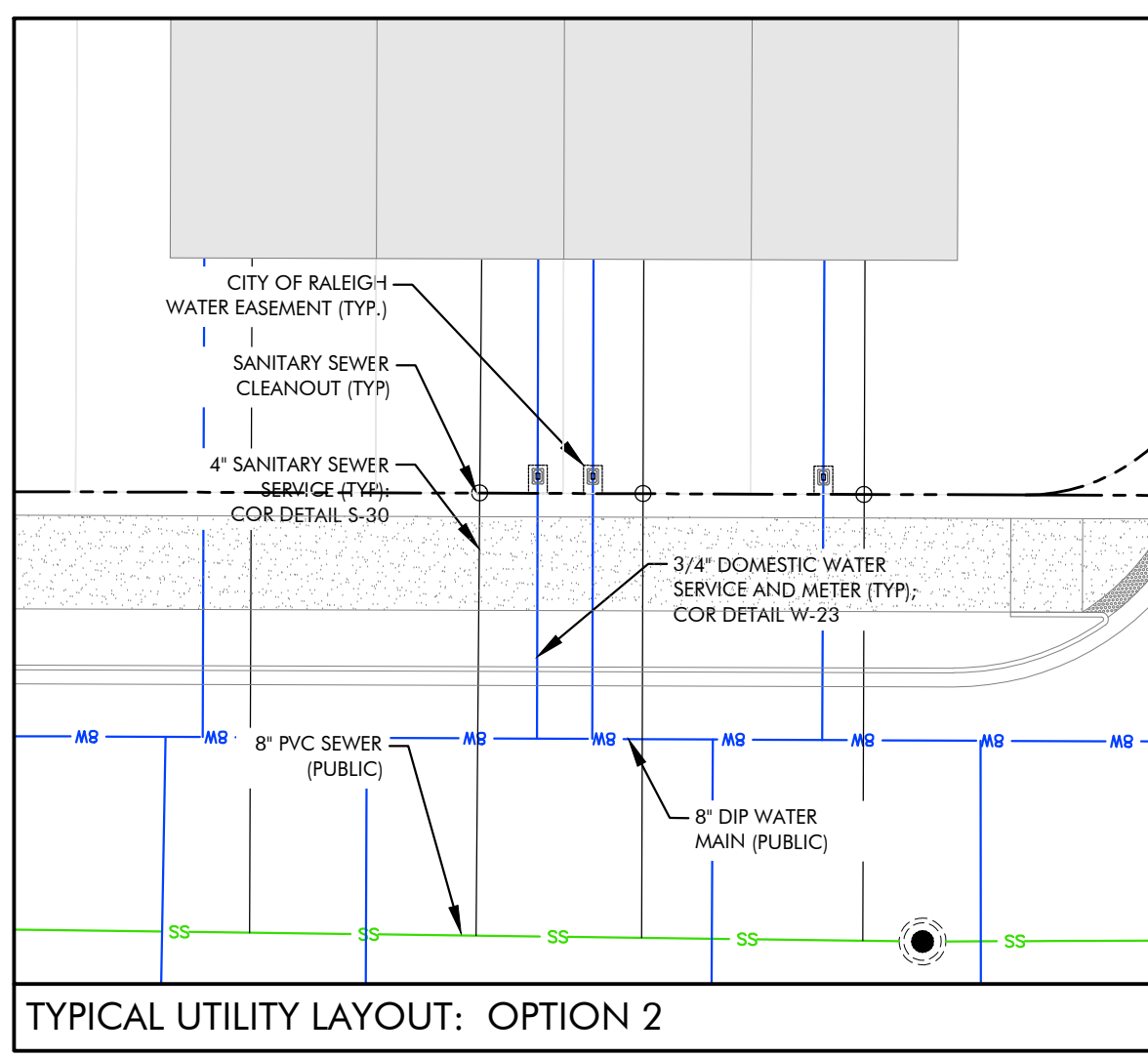
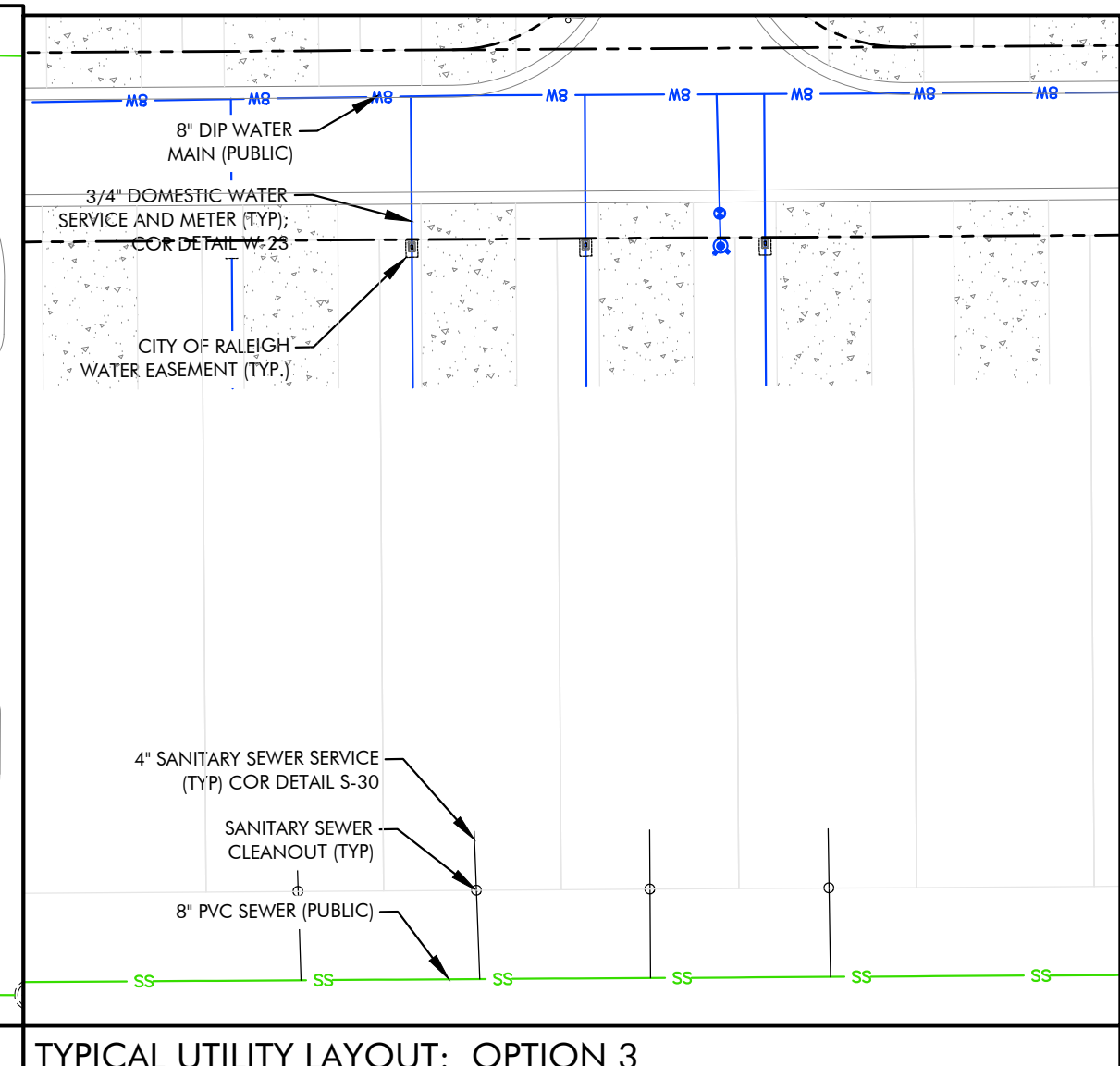
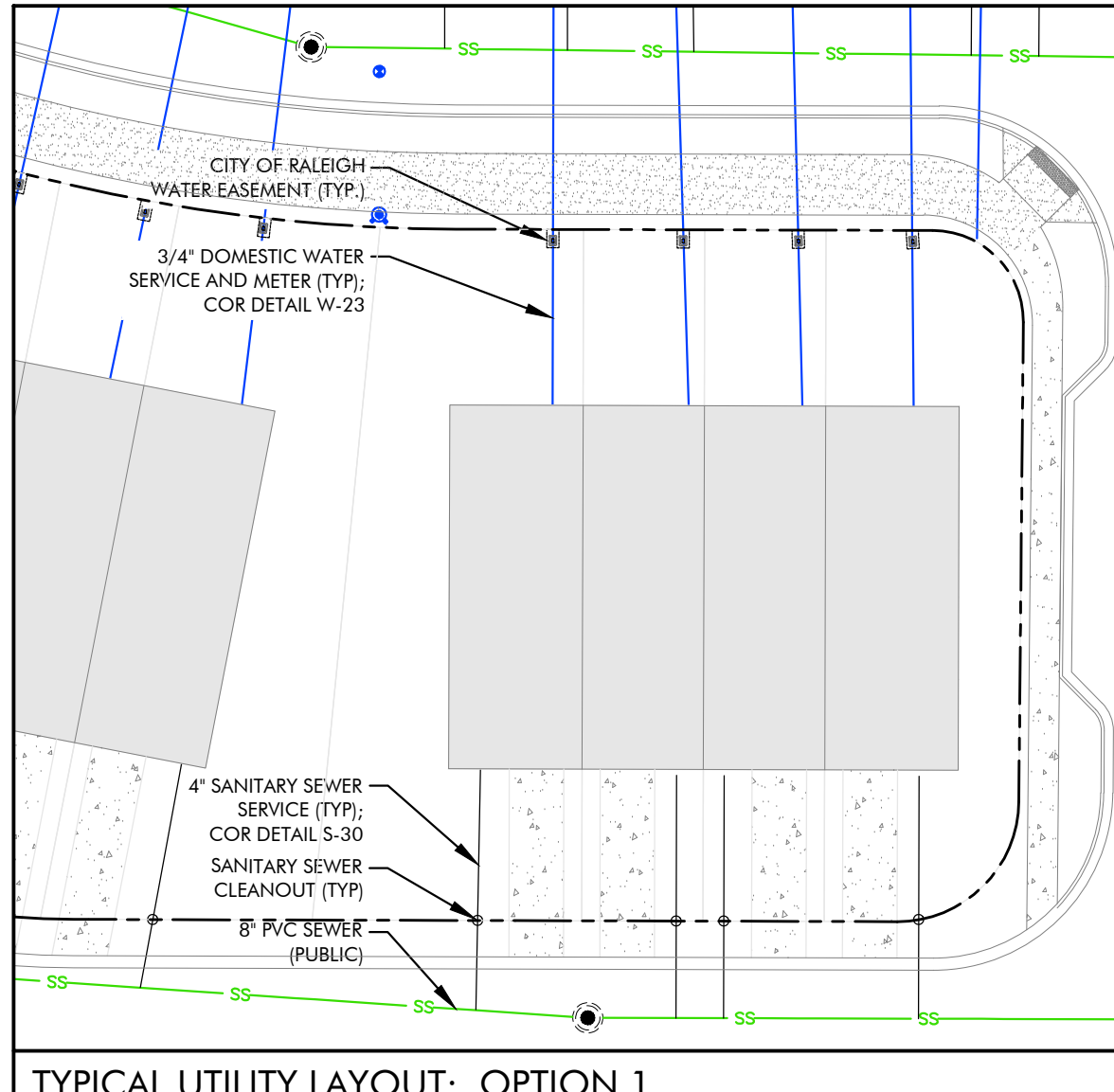
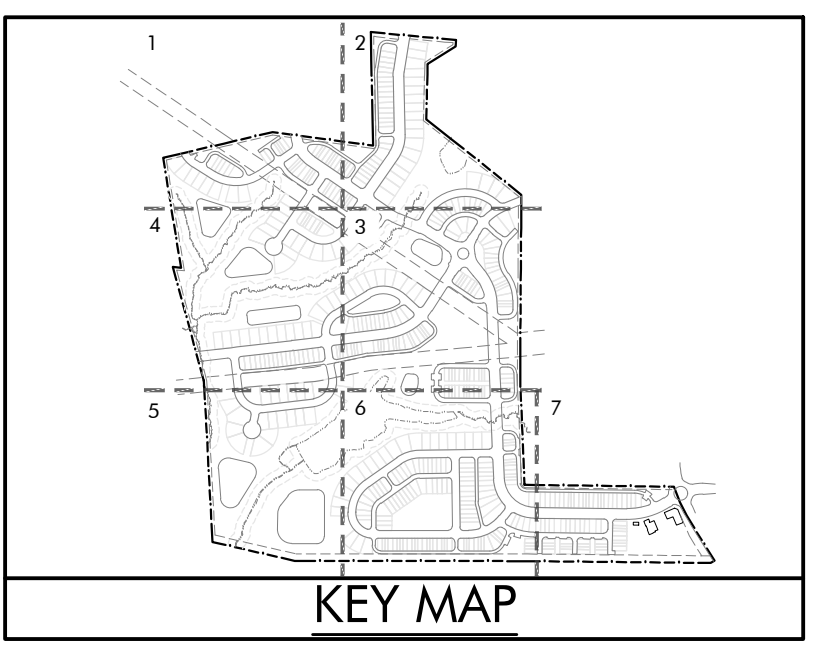
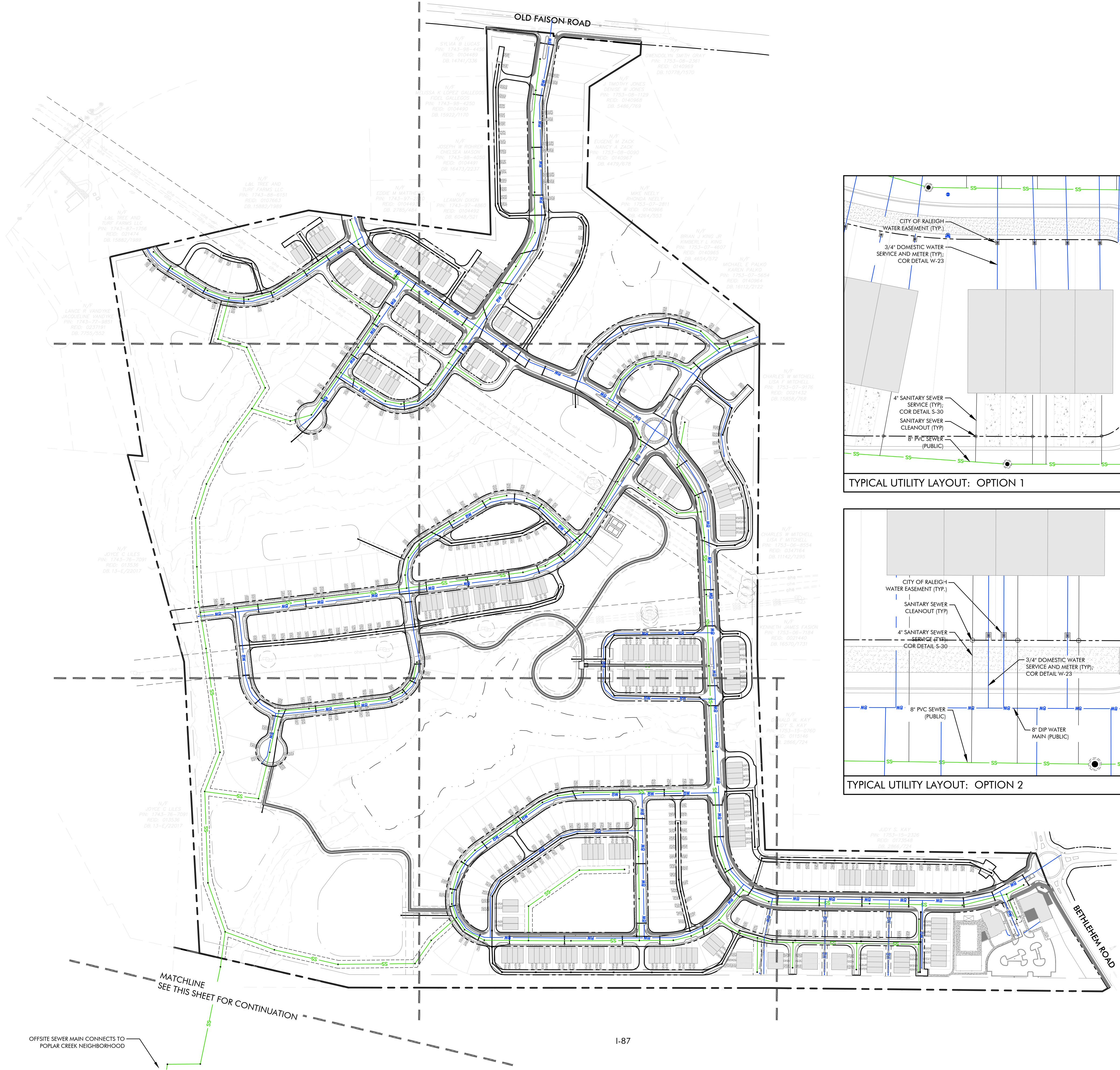
NO.	DATE	BY	REVISIONS:
#1	11/27/2023		

Project No: 22-RDU-083

Date: 02/05/2024

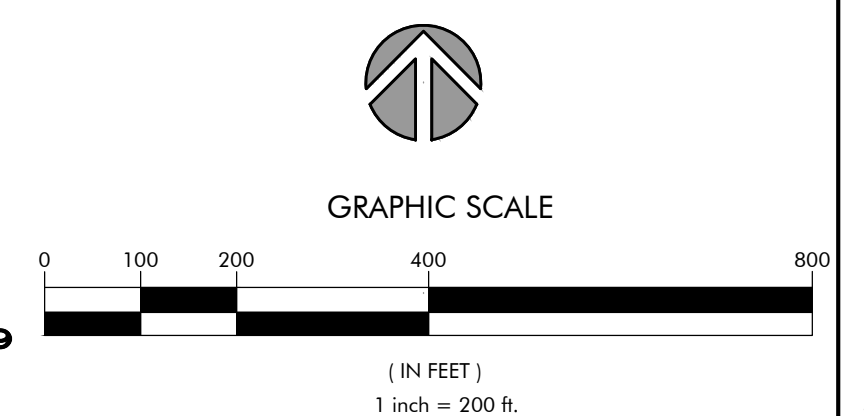
Sheet No:

C-5.0



WATER ALLOCATION POLICY

MAJOR SUBDIVISION	
MAJOR SUBDIVISION BASE POINTS	15 pts.
CONSERVATION OF NATURAL HABITAT	7 pts.
CONSTRUCT A FOUNTAIN WITHIN THE BMP	4 pts.
ON-STREET PARKING	4 pts.
RESIDENTIAL ARCHITECTURAL STANDARDS	15 pts.
3,000' OR MORE OF A 6-FOOT WIDE PATH	3 pts.
RESORT STYLE POOL	2 pts.
DECK/PATIO (2,000 SF MIN.)	2 pts.
CLUBHOUSE (NO MEETING SPACE, BATHROOMS & CHANGING ROOMS ONLY)	3 pts.
IPEMA CERTIFIED PLAYGROUND EQUIPMENT	2 pts.
TOTAL	57 pts.



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nc firm no: P-2671 sc coo no: C-03044

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LYNDON OAKS

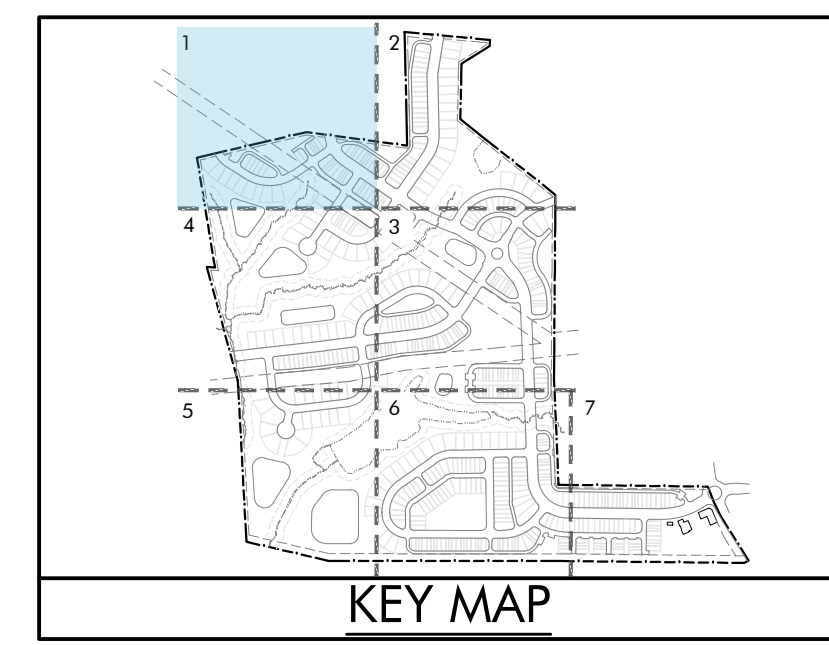
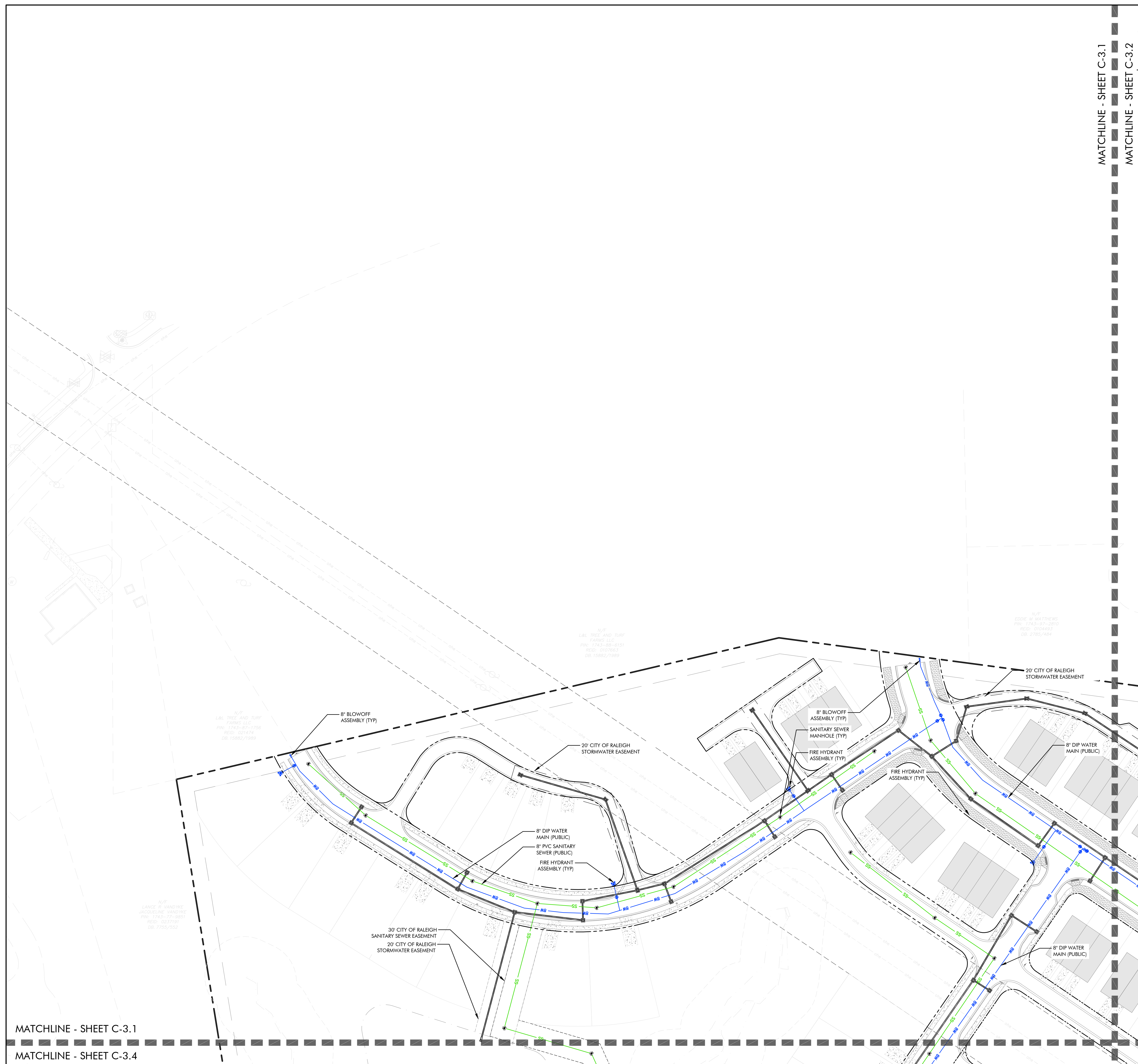
Master Plan

Overall Utility Plan

Knightsdale, North Carolina

NO.	DATE	BY	REVISIONS:
1	11/27/2023		

Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:
C-6.0



MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.2

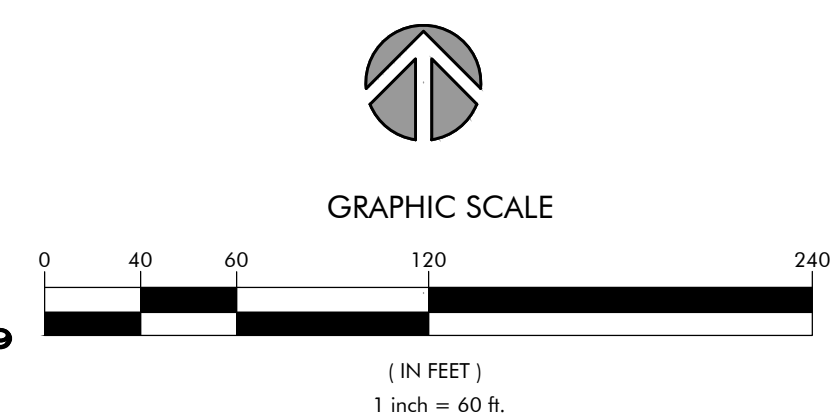
MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.4

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACE OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.

WATER ALLOCATION POLICY

MAJOR SUBDIVISION	
MAJOR SUBDIVISION BASE POINTS	15 pts.
CONSERVATION OF NATURAL HABITAT	7 pts.
CONSTRUCT A FOUNTAIN WITHIN THE BMP	4 pts.
ON-STREET PARKING	4 pts.
RESIDENTIAL ARCHITECTURAL STANDARDS	15 pts.
3,000' OR MORE OF A 6-FOOT WIDE PATH	3 pts.
RESORT STYLE POOL	2 pts.
DECK/PATIO (2,000 SF MIN.)	2 pts.
CLUBHOUSE (NO MEETING SPACE, BATHROOMS & CHANGING ROOMS ONLY)	3 pts.
IPEMA CERTIFIED PLAYGROUND EQUIPMENT	2 pts.
TOTAL	57 pts.



nc firm no: P-2671 sc coo no: C-03044
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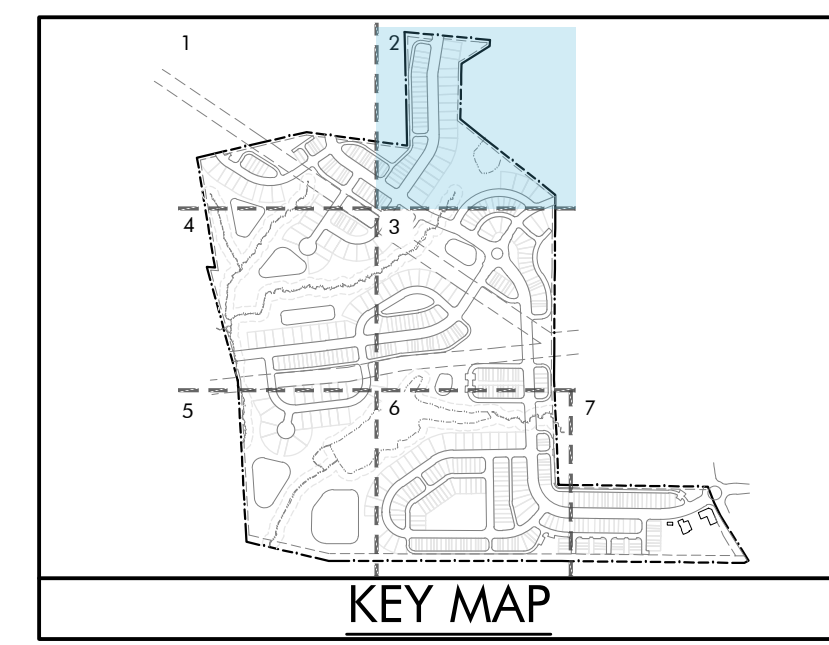
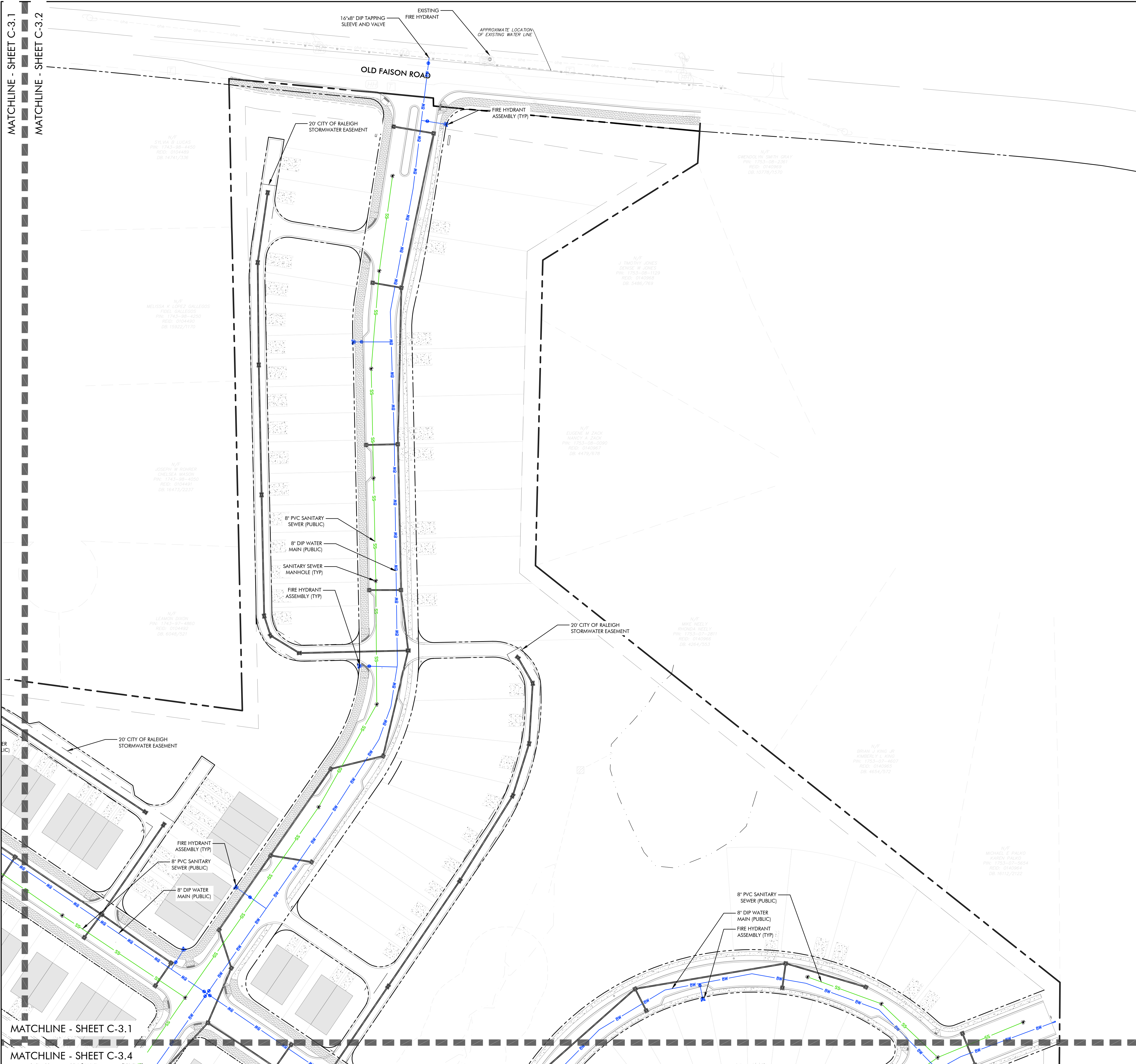
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Raleigh, NC 27615

LYNDON OAKS
Master Plan
Utility Plan Enlargement 1
Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		

Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:

C-6.1

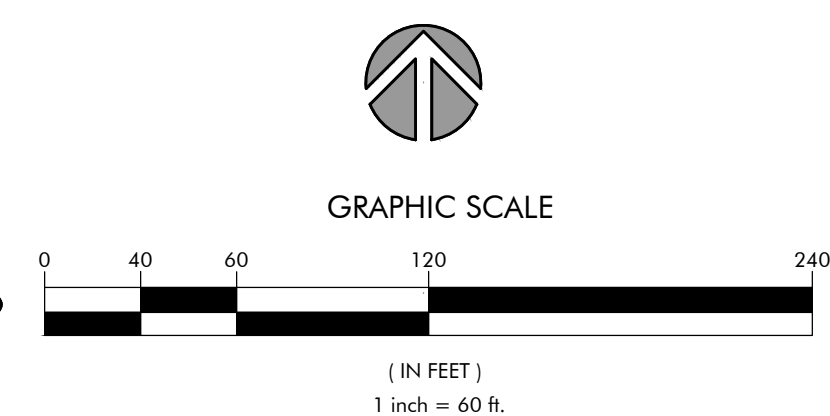


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TOTAL	57 pts.



nc firm no: P-2671 sc coo no: C-03044
 PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY
 02/05/2024

D.R. Horton
 7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS
Master Plan
 Utility Plan Enlargement 2
 Knightdale, North Carolina

NO. DATE BY: REVISIONS:

1	11/27/2023	
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Project No: 22-RDU-083
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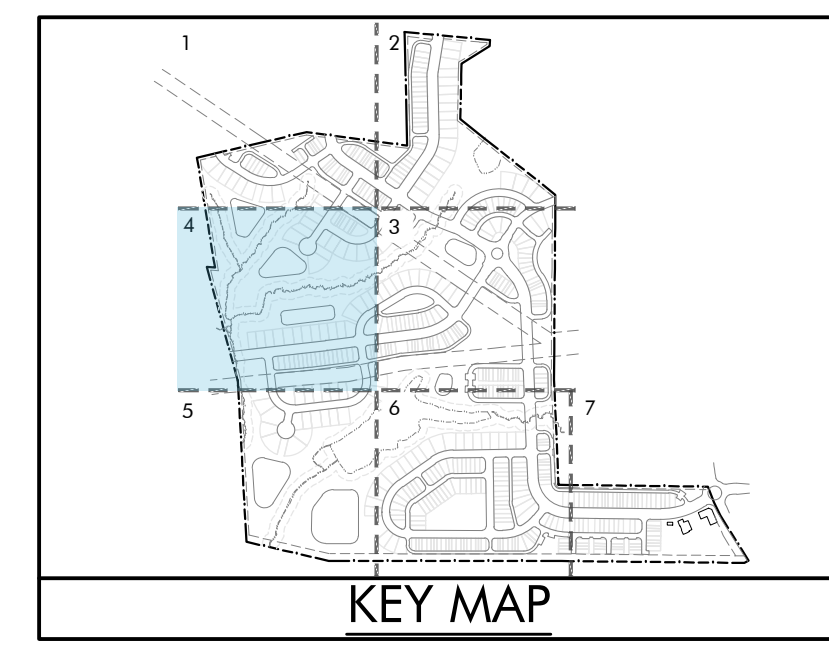
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MATCHLINE - SHEET C-3.1

MATCHLINE - SHEET C-3.4

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MATCHLINE - SHEET C-3.5



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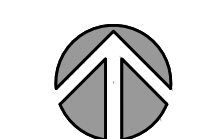
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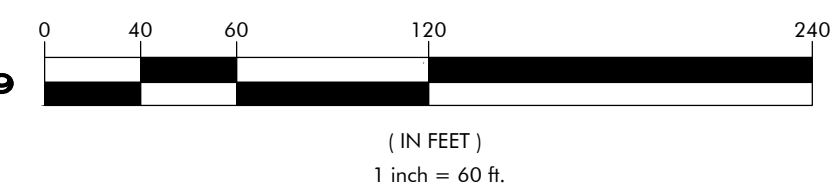
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nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

02/05/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

**LYNDON OAKS
Master Plan
Utility Plan Enlargement 4**
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NO. DATE: BY: REVISIONS:
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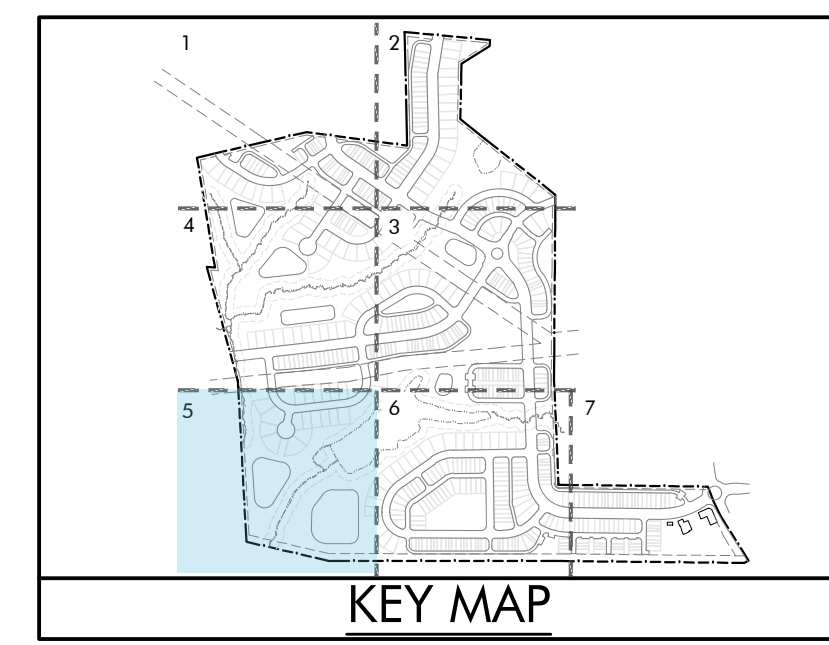
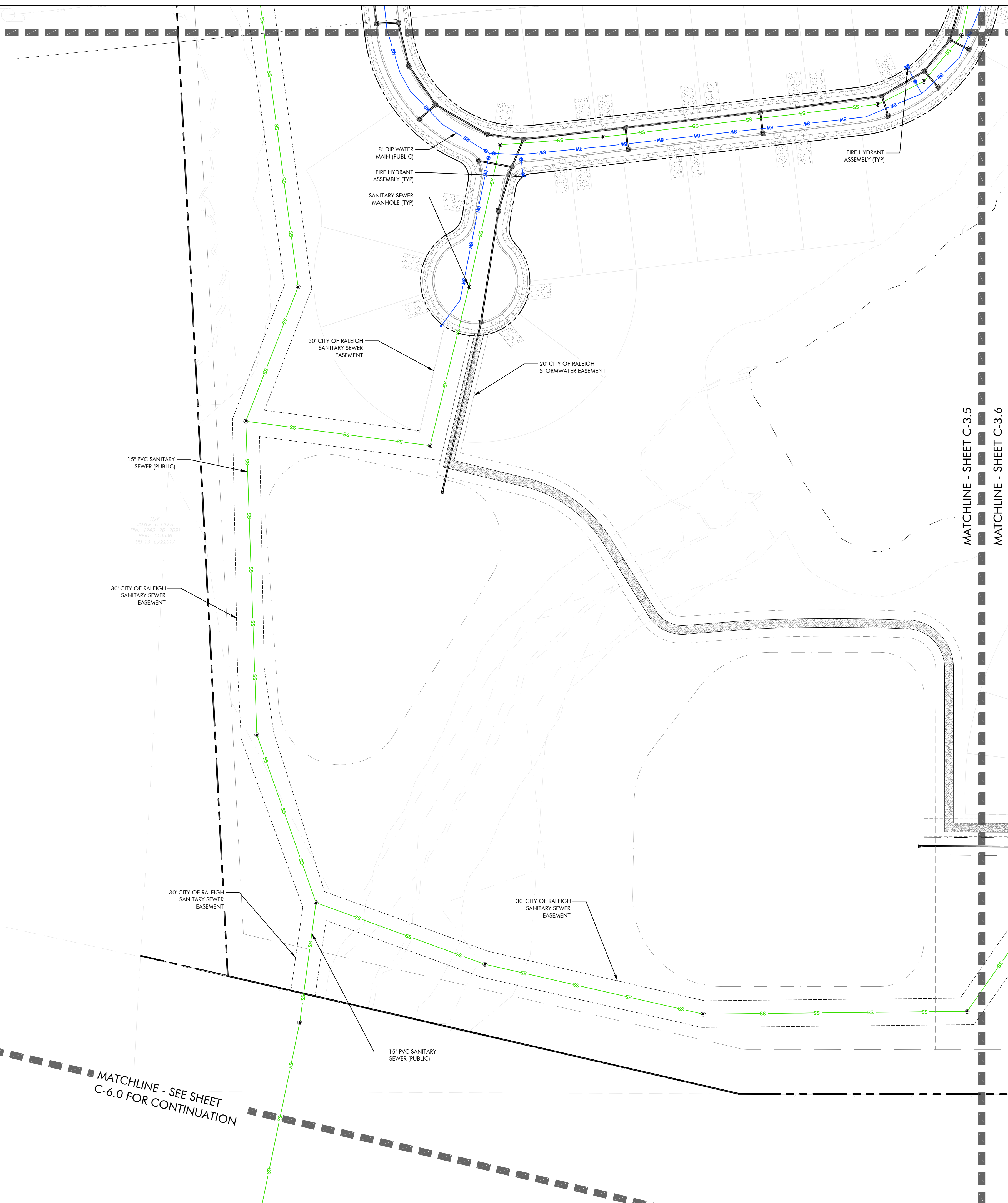
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MATCHLINE - SHEET C-3.5

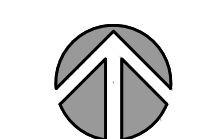


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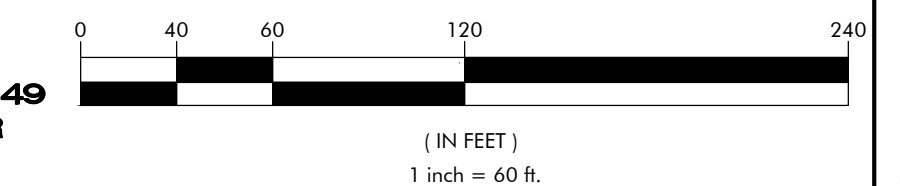
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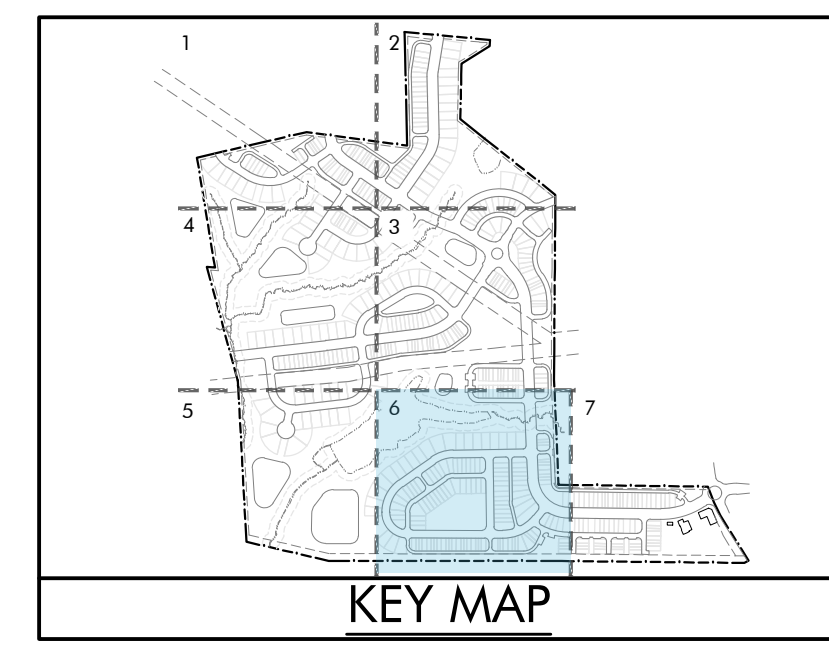
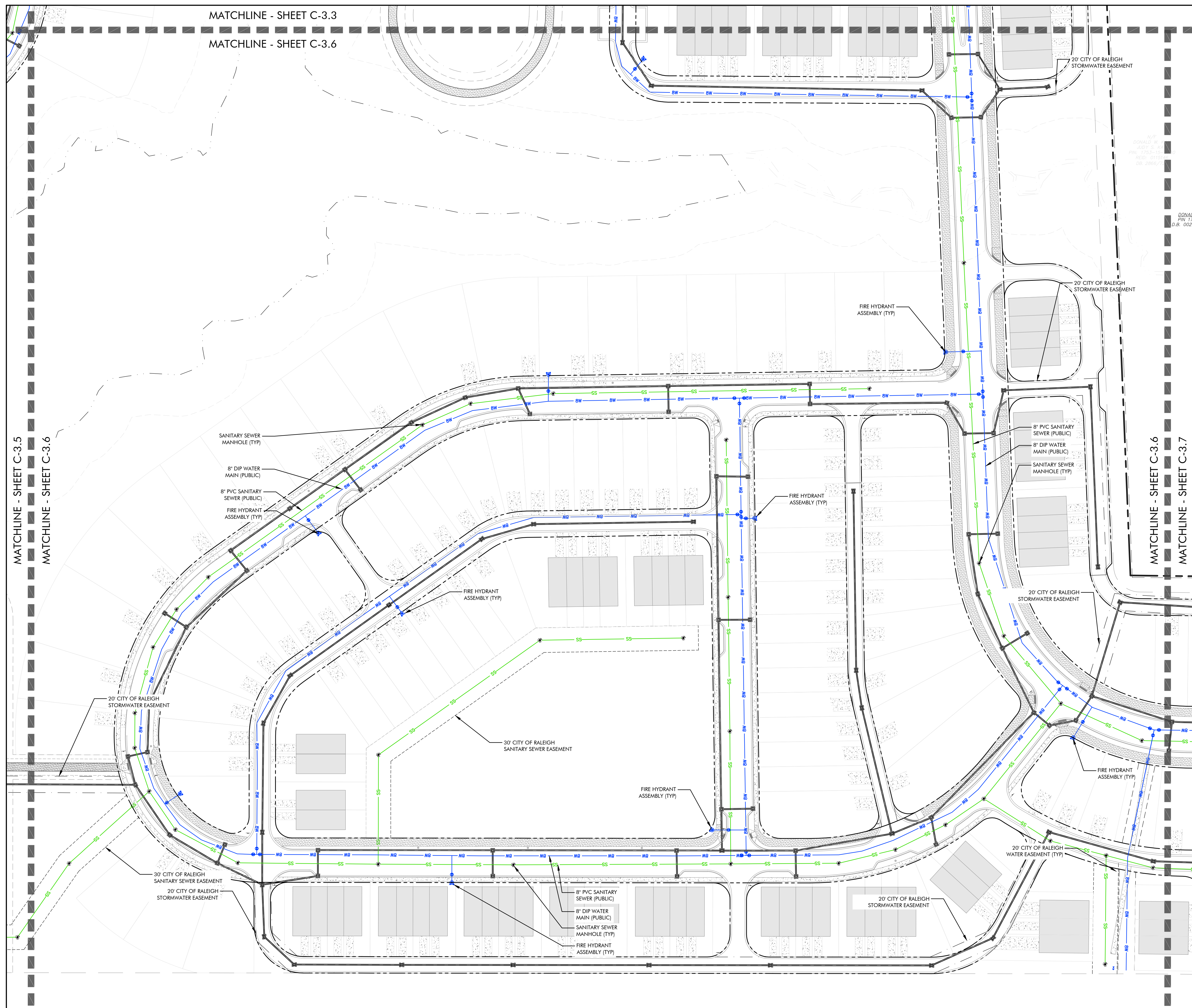
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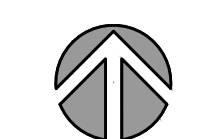
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- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
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- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
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WATER ALLOCATION POLICY

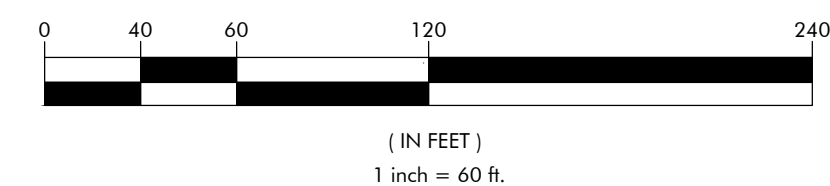
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IPEMA CERTIFIED PLAYGROUND EQUIPMENT	2 pts.
TOTAL	57 pts.



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02/05/2024

D.R. Horton
7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

LYNDON OAKS
Master Plan
Utility Plan Enlargement 6
Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:
1	11/27/2023		

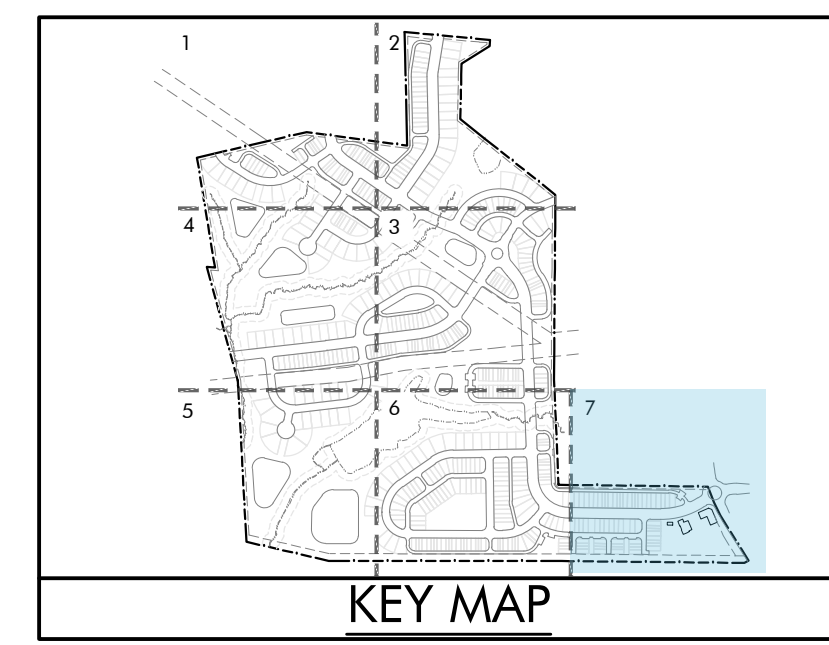
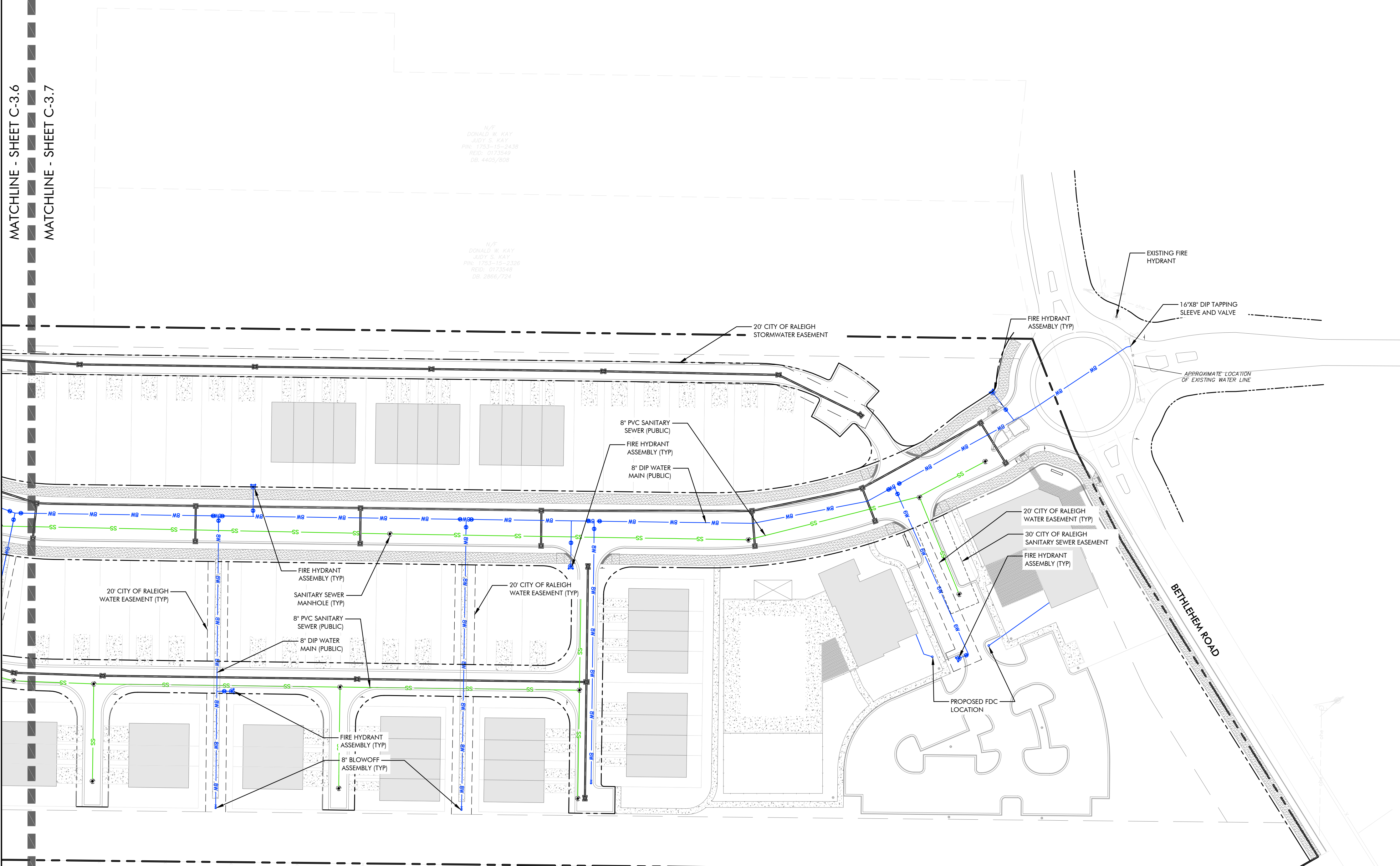
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Date: 02/05/2024
Sheet No:

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MATCHLINE - SHEET C-3.6
MATCHLINE - SHEET C-3.7

N/P
DONALD W. RAY
401 S. WAT
Raleigh, NC 27601
919.275.5022
919.275.5022
dbr.4432/2024

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STANDARD UTILITY NOTES (AS APPLICABLE):

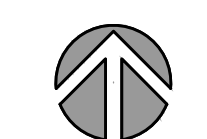
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 5' FROM A PUBLIC WELL
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
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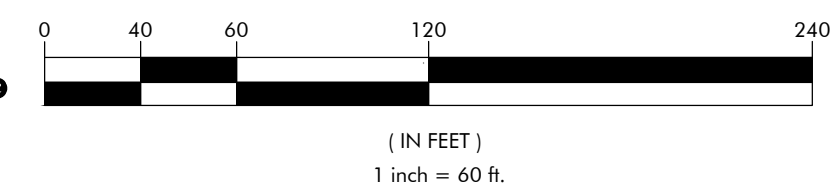
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150 Fayetteville st ste 1310
raleigh, nc 27601
+ 919.275.5022
urbandesignpartners.com
nc firm no: P-2671 sc coo no: C-03044

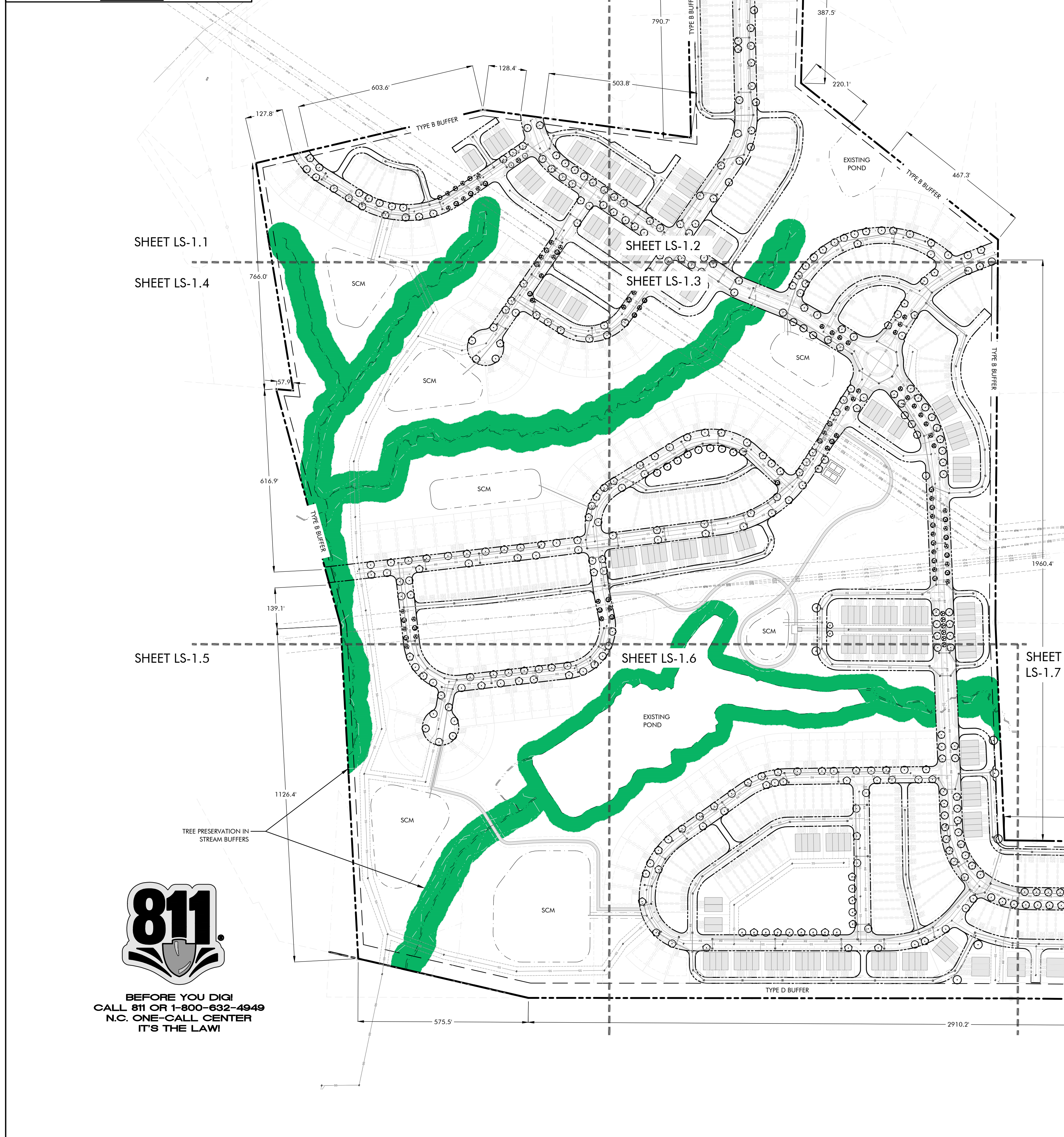
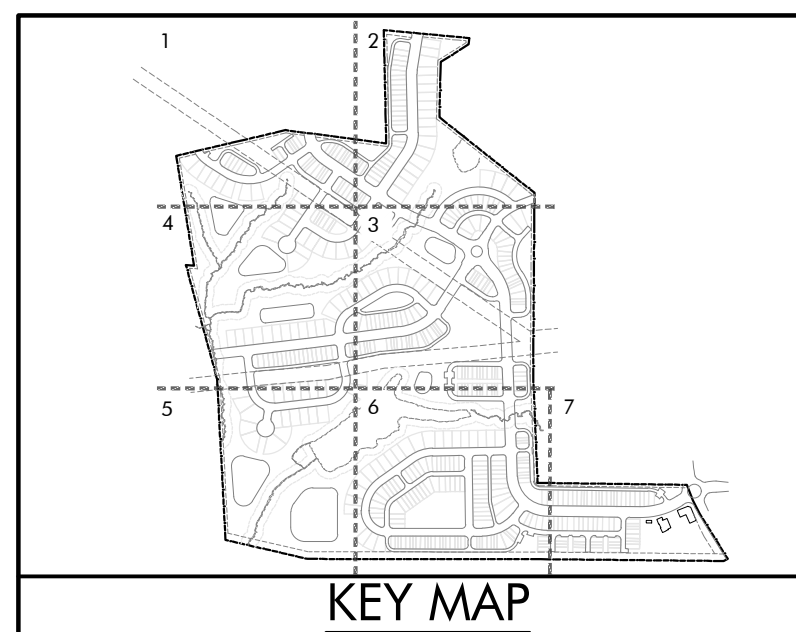
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LYNDON OAKS
Master Plan
Utility Plan Enlargement 7
Knightdale, North Carolina

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Project No: 22-RDU-083
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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CANOPY TREES					
AO	ACER RUBRUM	OCTOBER GLORY / OCTOBER GLORY RED MAPLE	8.8 B	2'CAL	8' HT
AB	ACER SACCHARUM	BONFIRE / BONFIRE SUGAR MAPLE	8.8 B	2'CAL	8' HT
CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	8.8 B	2'CAL	8' HT
GK	GYMNOCLADUS DICICA	KENTUCKY COFFEETREE	8.8 B	2'CAL	8' HT
JB	JUNIPERUS VIRGINIANA	BRODIE / BRODIE EASTERN REDCEDAR	8.8 B	2'CAL	8' HT
LA	LIRIODENDRON TULIPIFERA	ARNOOLD / ARNOOLD TULIP POPLAR	8.8 B	2'CAL	8' HT
MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	8.8 B	2'CAL	8' HT
QA	QUERCUS ACUTISSIMA	SAWTOOTH OAK	8.8 B	2'CAL	8' HT
UF	ULMUS PARVIFOLIA	BORQUE TM / BORQUE LACEBARK ELM	8.8 B	2'CAL	8' HT
ZG	ZELKOVA SERRATA	GREEN VASE / GREEN VASE JAPANESE ZELKOVA	8.8 B	2'CAL	8' HT
UNDERSTORY TREES					
AS2	ACER BUERGERIANUM	STREETWISE / STREETWISE IRIDANT MAPLE	8.8 B	1.25'CAL	6' HT
AS	AMELANCHIER LAEVIS	SHOWCLOUD / SHOWCLOUD ALLEGHENY SERVICEBERRY	8.8 B	1.25'CAL	6' HT
CT	CERCIS CANADENSIS	FLAME THROWER / EASTERN REDBUD	8.8 B	1.25'CAL	6' HT
CS	CORNUS KOUSA	SATOMI / SATOMI RED KOUSA DOGWOOD	8.8 B	1.25'CAL	6' HT
LW	LAGERSTROEMIA INDICA	WHIT B / PINK VELVET CRAPE MYRTLE	8.8 B	MULTI-STEM (3 STALKS MIN)	8' HT
LY	LAGERSTROEMIA X YUKA	YUKA CRAPE MYRTLE	8.8 B	MULTI-STEM (3 STALKS MIN)	8' HT
PV	PRINUS VIRGINIANA	VIRGINIA PINE	8.8 B	2'CAL	6' HT
SHRUBS					
AT	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	3 GAL		
BG	BUXUS	GREEN GEM / GREEN GEM BOXWOOD	3 GAL		
C22	CALAMAGROSTIS X ACUTIFLORA	STRICTA / KARL FOERSTER FEATHER REED GRASS	3 GAL		
CA2	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 GAL		
FG	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	3 GAL		
IG	ILEX CRENATA	GREEN LUSTER / GREEN LUSTER JAPANESE HOLLY	3 GAL		
JM	JUNIPERUS CHINENSIS	WINT JULEP / WINT JULEP JUNIPER	3 GAL		
PR	PENNISETUM SETACEUM	RUBRUM / PURPLE FOUNTAIN GRASS	3 GAL		
PG	PICEA FUNGOSUS	GLOBOSA / DWARF GLOBE BLUE SPRUCE	3 GAL		
SG	SPIRAEA JAPONICA	GOLDMOUND / GOLDMOUND JAPANESE SPIREA	3 GAL		
SB	SPIRAEA PRUNIFOLIA	BIRDAL WHEATH / BIRDAL WHEATH SPIREA	5 GAL		

- ### NOTES:
- EXISTING PLANT MATERIAL TO BE PRESERVED IN ALL BUFFER AREAS AS PRIORITY TIER 1 TREE SAVE AREAS. WHERE SUFFICIENT MATERIAL DOES NOT MEET REQUIREMENTS, SUPPLEMENTAL PLANT MATERIAL WILL BE REQUIRED TO MEET BUFFER OPACITY STANDARDS.
 - FINAL LOCATION OF SUPPLEMENTAL BUFFER PLANTINGS TO BE COORDINATED WHEN CONSTRUCTION DOCUMENTS ARE DEVELOPED. SEE SHEET LS-2.0 FOR TYPICAL BUFFER SECTIONS.
 - ANY REQUIRED SCREENING AREAS THAT OVERLAP WITH SIGHT DISTANCE TRIANGLES WILL WAIVE PLANTING REQUIREMENTS AND USE GROUND COVER PLANTINGS.
 - ALL SIDES OF PARKING LOTS FRONTING RIGHT-OF-WAYS WILL BE SCREENED WITH A TYPE B BUFFER YARD PER UDO.
 - IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
 - TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 6" DIAMETER MULCH RING.
 - LIMITS OF IRRIGATION INCLUDE DENOTED LANDSCAPE BEDS, ALL SOD/SEED AREAS, AND TREES NOT LOCATED IN A LANDSCAPE BED.
 - FULL LANDSCAPE SCHEDULE ON SHEET LS-2.0
 - LANDSCAPE SPECIES, LOCATION, AND QUANTITY IS SUBJECT TO CHANGE AT TIME OF CONSTRUCTION DOCUMENTS.
 - EACH SINGLE-FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF LOT AREA OR FRACTION THEREOF UP TO TWENTY THOUSAND (20,000) SQUARE FEET IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE LAND USE ADMINISTRATOR.
 - THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN SIX (6) INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
 - REQUIRED STREET TREES (UDO SECTION 7.4 (L)) MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT, APART FROM REQUIRED STREET TREES. ALL OTHER TREES SHALL BE PLANTED WITHIN THE PRIVATE LOT.
 - FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO (2) FEET IN HEIGHT PLANTED AT FOUR (4) FOOT INTERVALS.

- ### LANDSCAPE REQUIREMENTS:
- BUFFER YARD TYPE B (BETHLEHEM ROAD)**
- BUFFER TYPE: B
 - WIDTH REQ'D: 20' MIN.
 - WIDTH PROV: VARIABLE WIDTH
 - LENGTH: ± 412 LF
 - REQUIRED PLANTINGS:
 - CANOPY TREES: 3 TREES/100 LF
 - UNDERSTORY TREES: 5 TREES/100 LF
 - SHRUBS: 20 SHRUBS/100 LF
 - (412 LF / 100 LF)(3) = 12 CANOPY TREES REQ'D
 - (412 LF / 100 LF)(5) = 21 UNDERSTORY TREES REQ'D
 - (412 LF / 100 LF)(20) = 83 REQ'D
 - PROPOSED PLANTINGS:
 - CANOPY TREES: 13 TREES PROP.
 - UNDERSTORY TREES: 21 TREES PROP.
 - SHRUBS: 199 SHRUBS PROP.
- BUFFER YARD TYPE B (OLD FAISON ROAD)**
- BUFFER TYPE: B
 - WIDTH REQ'D: 20' MIN.
 - WIDTH PROV: 20'
 - LENGTH: ± 507 LF
 - REQUIRED PLANTINGS:
 - CANOPY TREES: 3 TREES/100 LF
 - UNDERSTORY TREES: 5 TREES/100 LF
 - SHRUBS: 20 SHRUBS/100 LF
 - (507 LF / 100 LF)(3) = 15 CANOPY TREES REQ'D
 - (507 LF / 100 LF)(5) = 25 UNDERSTORY TREES REQ'D
 - (507 LF / 100 LF)(20) = 102 SHRUBS REQ'D
 - PROPOSED PLANTINGS:
 - CANOPY TREES: 13 TREES PROP.
 - UNDERSTORY TREES: 25 TREES PROP.
 - SHRUBS: 219 SHRUBS PROP.
- BUFFER YARD TYPE B (PERIMETER BUFFER)**
- BUFFER TYPE: B
 - WIDTH REQ'D: 20' MIN.
 - WIDTH PROV: 20'
 - LENGTH: ± 12,730 LF TOTAL
 - REQUIRED PLANTINGS:
 - CANOPY TREES: 3 TREES/100 LF
 - UNDERSTORY TREES: 5 TREES/100 LF
 - SHRUBS: 20 SHRUBS/100 LF
 - (12,730 LF / 100 LF)(3) = 382 CANOPY TREES REQ'D
 - (12,730 LF / 100 LF)(5) = 637 UNDERSTORY TREES REQ'D
 - (12,730 LF / 100 LF)(20) = 2,546 SHRUBS REQ'D
 - PROPOSED PLANTINGS: EXISTING PLANT MATERIAL IN BUFFERS TO REMAIN AND BE SUPPLEMENTED TO MEET REQUIREMENTS AS STATED ABOVE.
- BUFFER YARD TYPE D (PERIMETER BUFFER)**
- BUFFER TYPE: D
 - WIDTH REQ'D: 50' MIN.
 - WIDTH PROV: 50'
 - LENGTH: ± 3,486 LF
 - MIN WALL HT & OPACITY: A FULLY OPAQUE, MASONRY WALL WITH A MINIMUM HEIGHT OF SIX (6) FEET AND A MAXIMUM HEIGHT OF EIGHT (8) FEET SHALL BE PROVIDED.
 - REQUIRED PLANTINGS:
 - CANOPY TREES: 5 TREES/100 LF
 - UNDERSTORY TREES: 8 TREES/100 LF
 - SHRUBS: 35 SHRUBS/100 LF
 - (3,486 LF / 100 LF)(5) = 175 CANOPY TREES REQ'D
 - (3,486 LF / 100 LF)(8) = 279 UNDERSTORY TREES REQ'D
 - (3,486 LF / 100 LF)(35) = 1,221 SHRUBS REQ'D
 - PROPOSED PLANTINGS: EXISTING PLANT MATERIAL IN BUFFERS TO REMAIN AND BE SUPPLEMENTED TO MEET REQUIREMENTS AS STATED ABOVE.
- STREET TREES**
- SPACING: 40' O.C. (CANOPY)
 - SPECIES: 30' O.C. (UNDERSTORY)
 - SPECIES: SPECIES OF EVERY OTHER TREE ALONG THE STREET FRONTAGE SHALL ALTERNATE
- OVERALL TREE CANOPY/TREE PRESERVATION (UDO SEC 7.4.M)**
- REQUIRED: A TREE COVER AREA EQUAL TO THE PERIMETER OF THE DEVELOPMENT IN FEET MULTIPLIED BY 20 SHALL BE MAINTAINED ON SITE.
 - (14,079 LF)(20) = 281,580 SF (6.46 AC) REQUIRED
 - 6.46 AC / 171.88 AC = 3.7% OF SITE
 - PROVIDED: 768,099.3 SF (17.6 AC) TREE PRESERVATION PROV.



150 Fayetteville at Ste 1310
Raleigh, NC 27601
919.275.5022
urbandesignpartners.com

nc firm no: P-2671 sc cca no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

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D.R. Horton

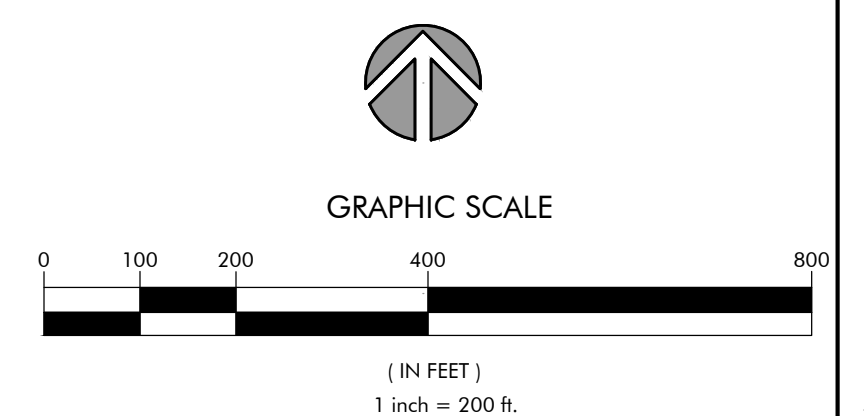
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LYNDON OAKS

Master Plan

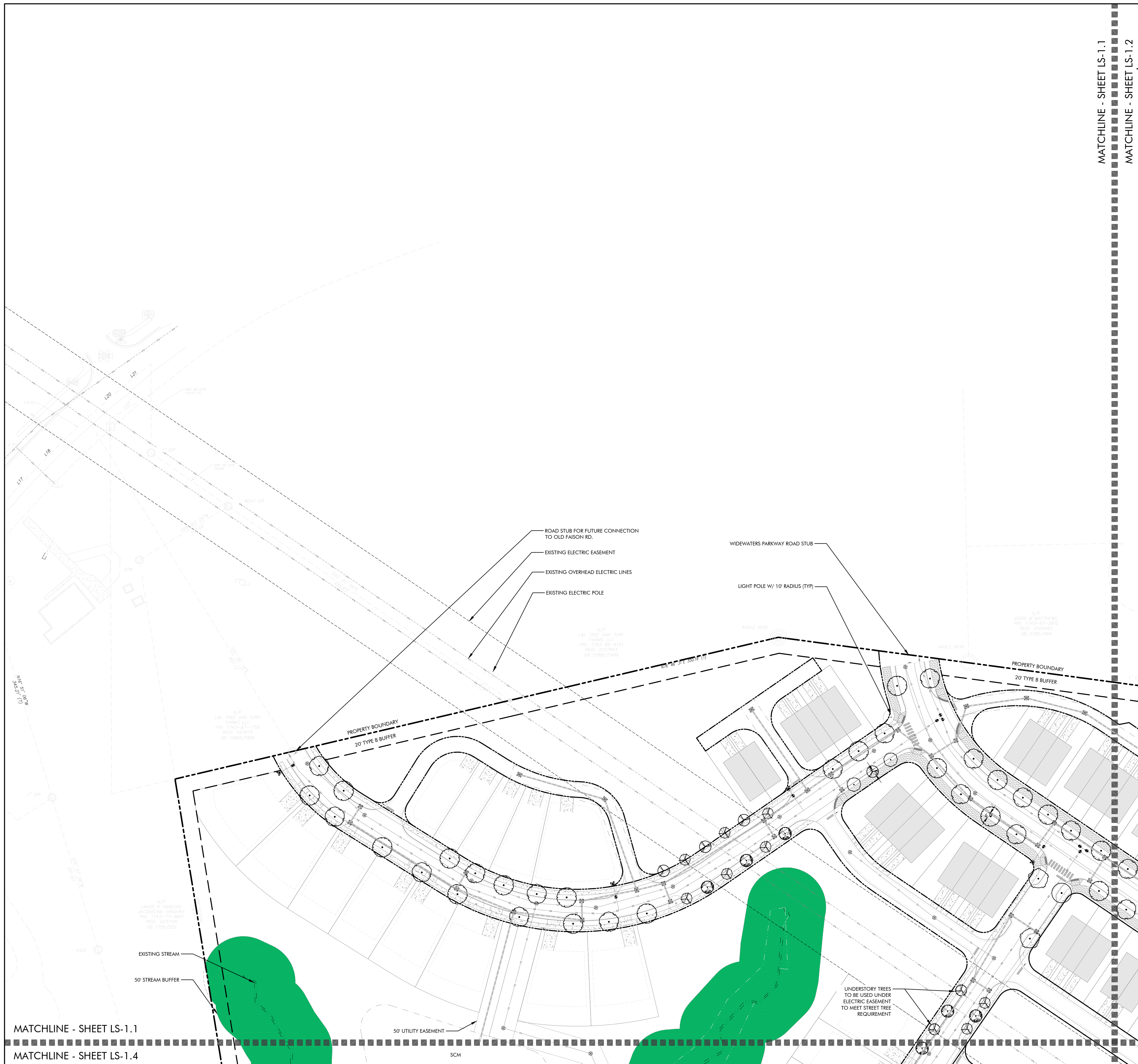
Overall Landscape Plan

Knightsdale, North Carolina



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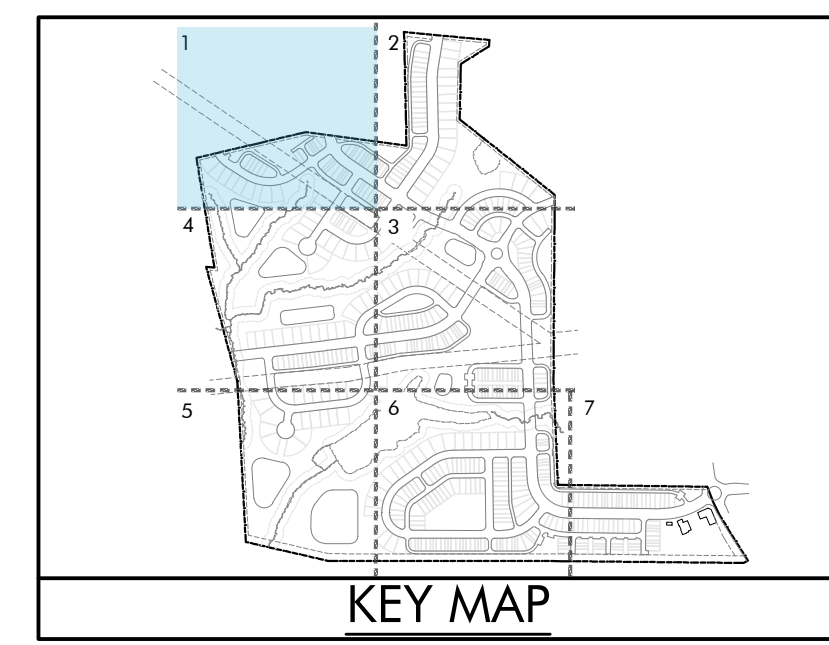
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MATCHLINE - SHEET LS-1.1

MATCHLINE - SHEET LS-1.2

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MATCHLINE - SHEET LS-1.4



- NOTES:**
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LYNDON OAKS

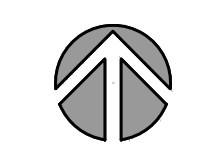
Master Plan

Landscape Plan Enlargement 1

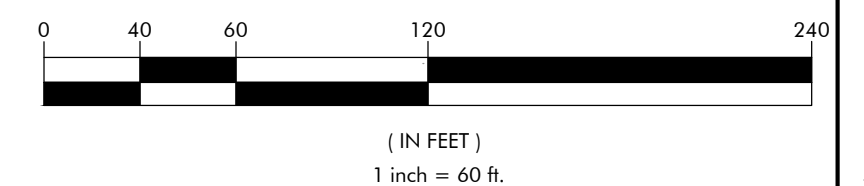
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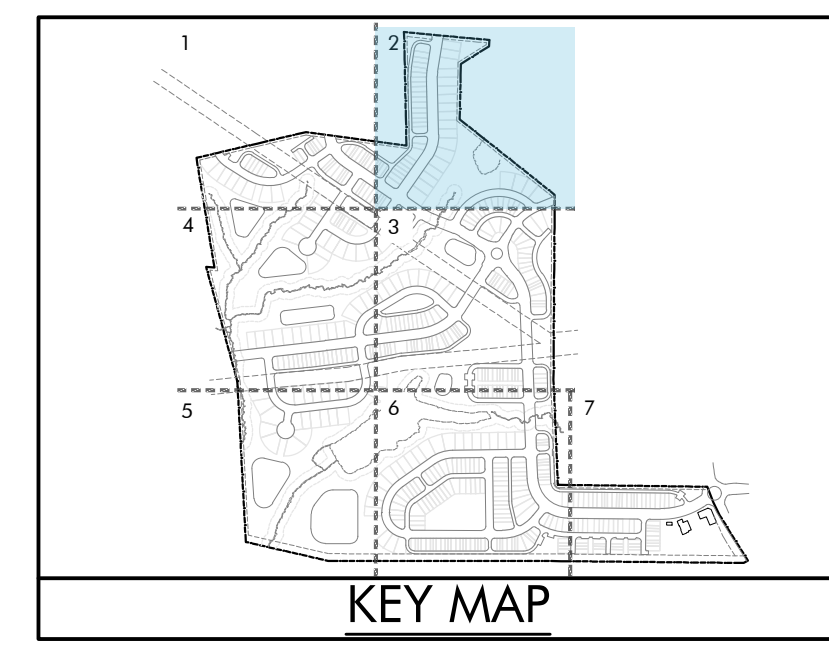
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Project No: 22-RDU-083
Date: 02/05/2024
Sheet No:

LS-1.1



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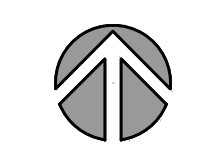
Master Plan

Landscape Plan Enlargement 2

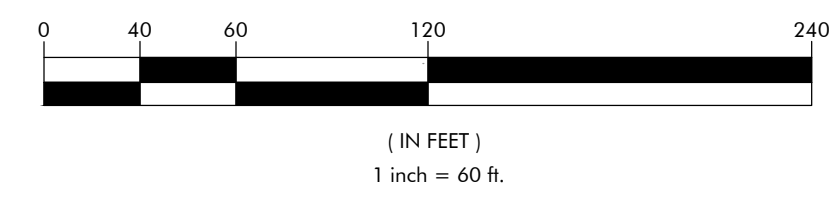
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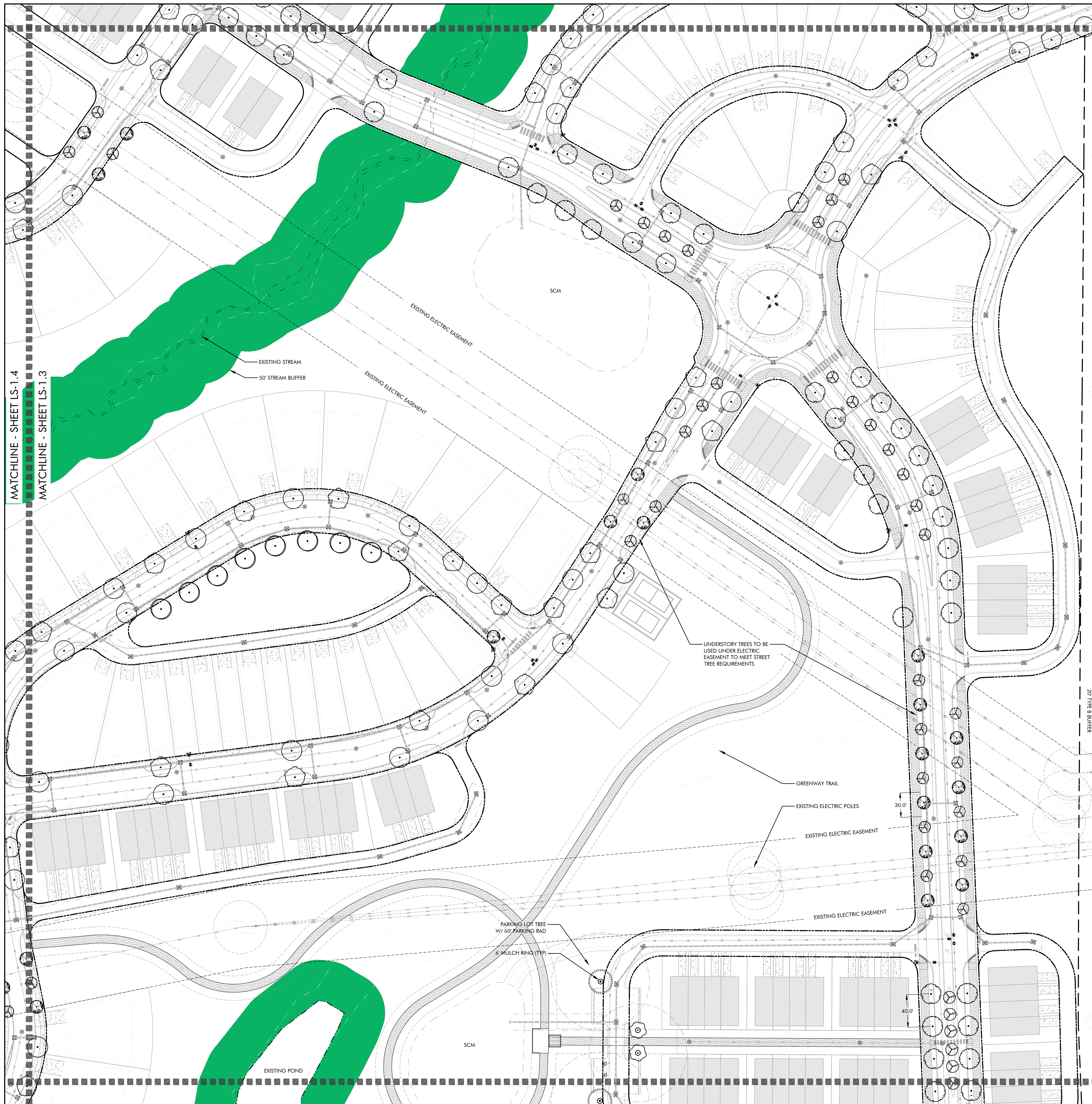
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Project No: 22-RDU-083
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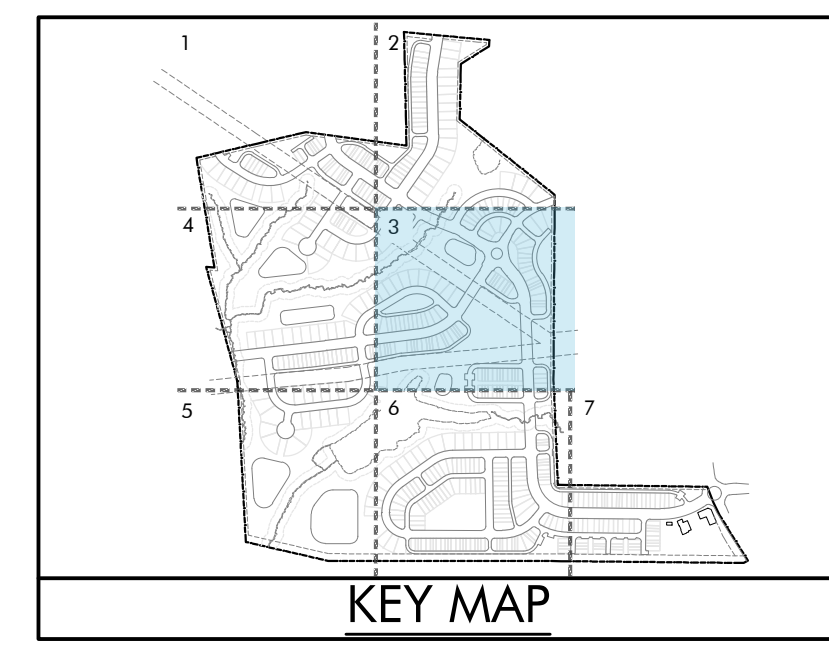
LS-1.2



MATCHLINE - SHEET LS-1.2
 MATCHLINE - SHEET LS-1.3

MATCHLINE - SHEET LS-1.4
 MATCHLINE - SHEET LS-1.3

MATCHLINE - SHEET LS-1.3
 MATCHLINE - SHEET LS-1.6



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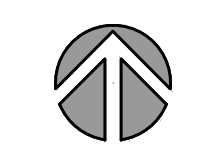
Master Plan

Landscape Plan Enlargement 3

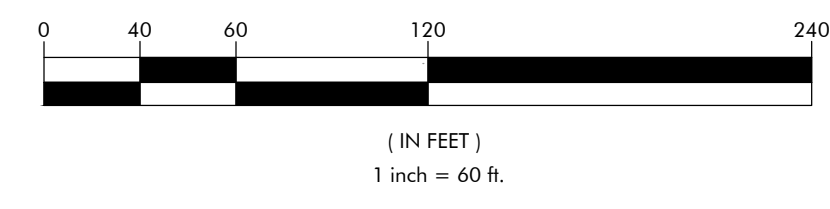
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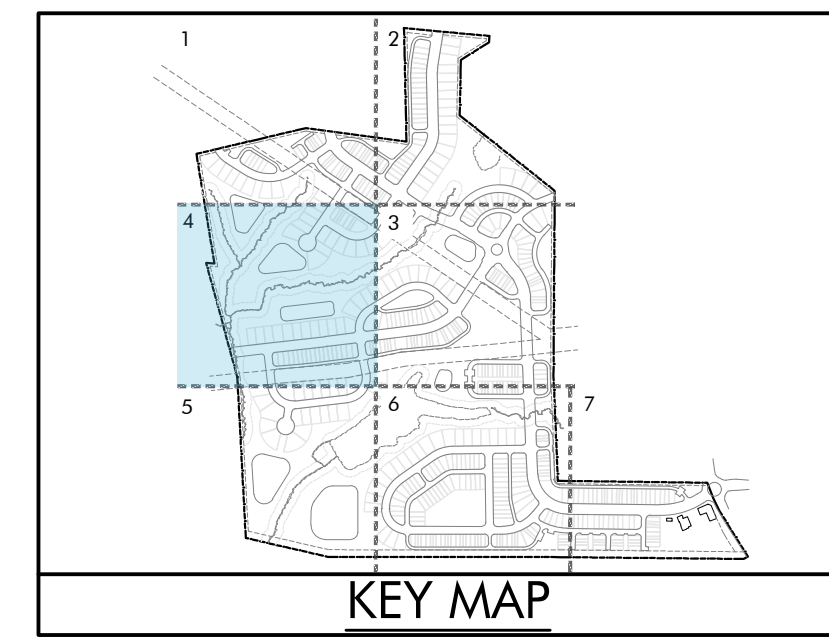
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LS-1.3

MATCHLINE - SHEET LS-1.1

MATCHLINE - SHEET LS-1.4

MATCHLINE - SHEET LS-1.4

MATCHLINE - SHEET LS-1.5



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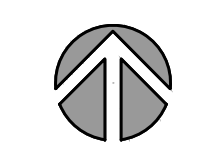
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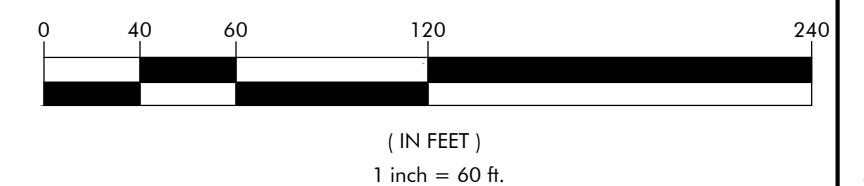
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Master Plan
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LS-1.4

MATCHLINE - SHEET LS-1.4

MATCHLINE - SHEET LS-1.5

EXISTING CREEK

STREAM BUFFER

WETLANDS

GREENWAY TRAIL

NOT TO SCALE
PROJ. 12/14/23 - 02/05/24
REV. 01/30/24
02/05/24

SCM

SCM

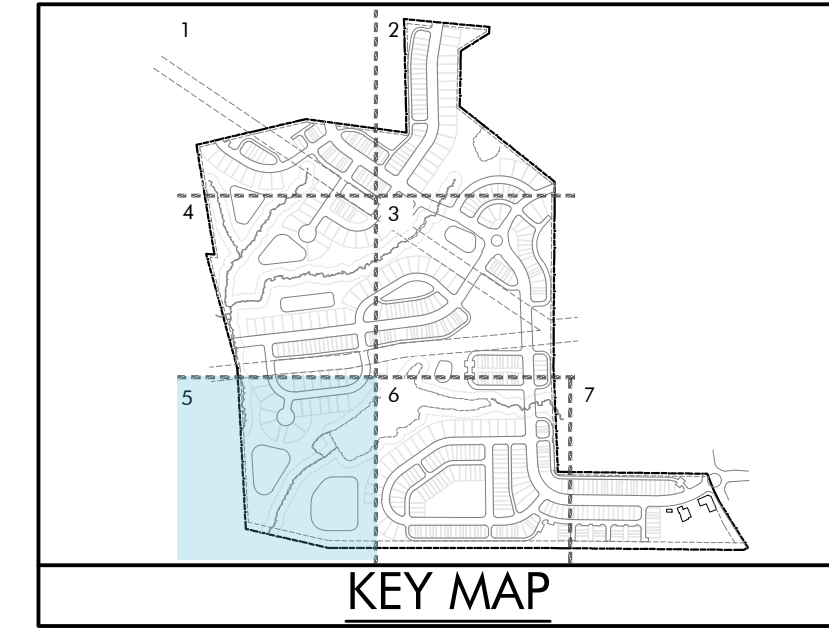
EXISTING POND

MATCHLINE - SHEET LS-1.5

MATCHLINE - SHEET LS-1.6

50' TYPE D BUFFER

PROPERTY BOUNDARY

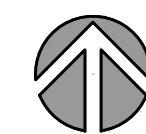


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(IN FEET)
1 inch = 60 ft.



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LYNDON OAKS

Master Plan

Landscape Plan Enlargement 5

Knightsdale, North Carolina

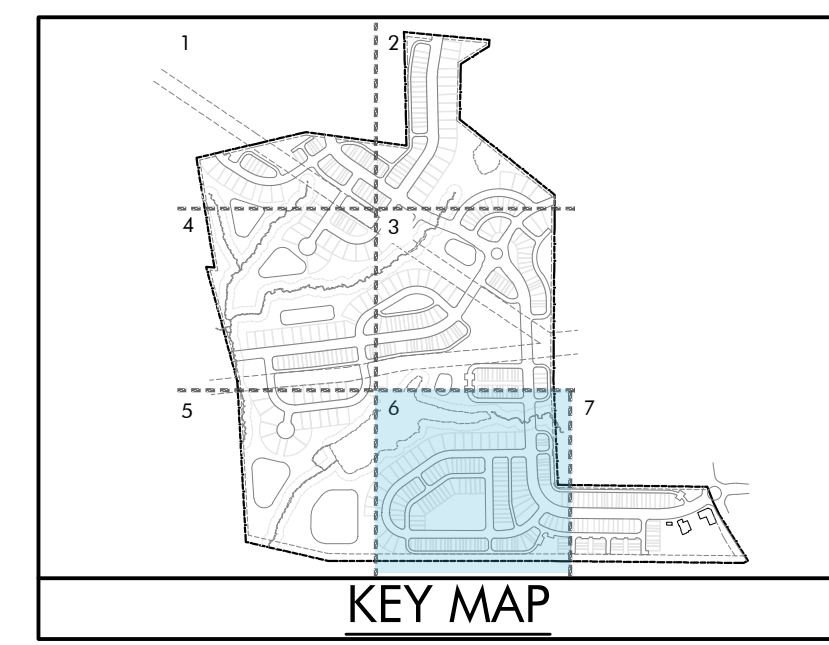
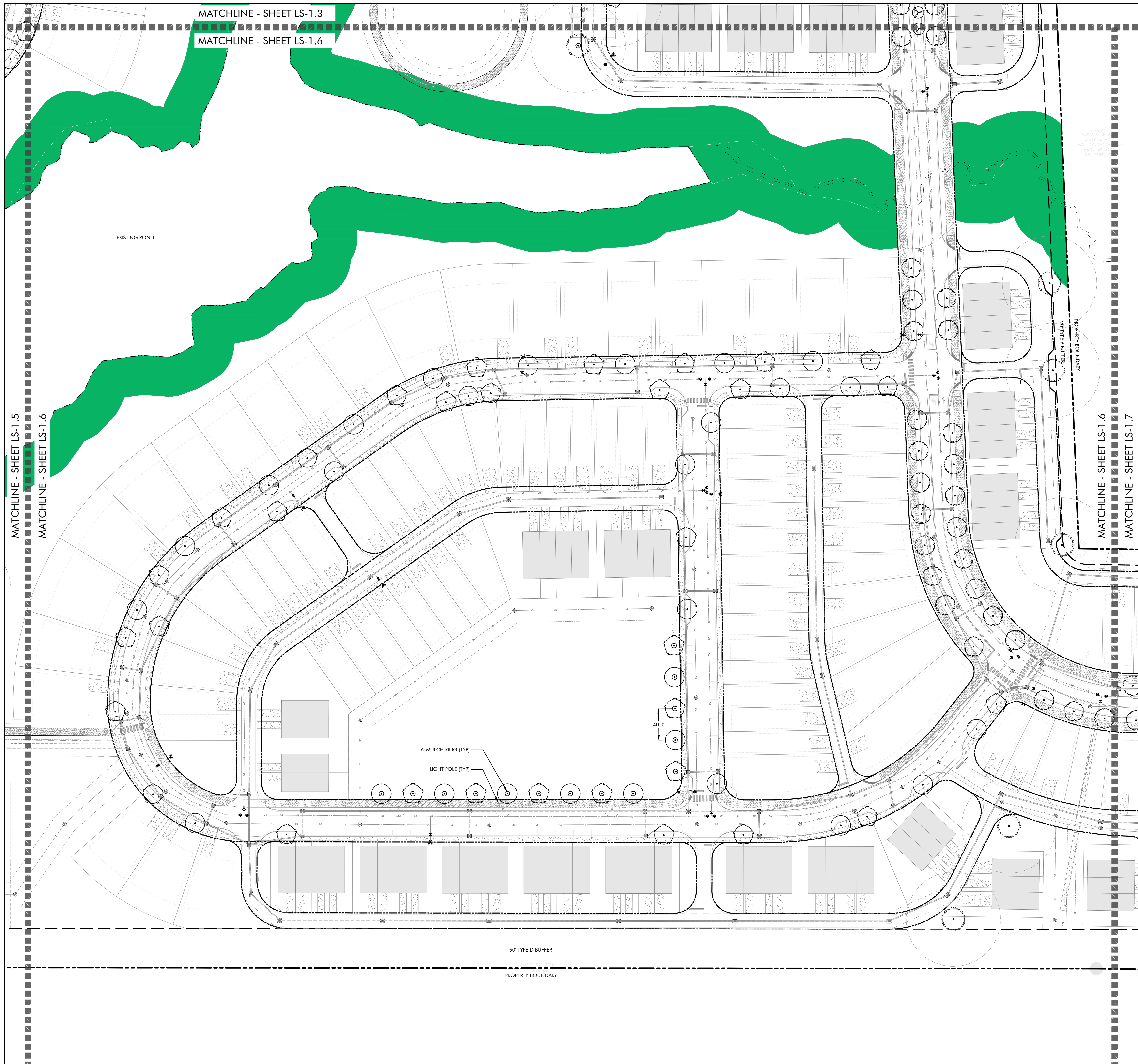
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Sheet No:

LS-1.5



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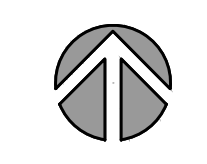
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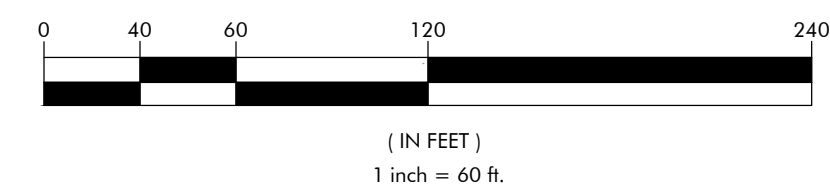
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Landscape Plan Enlargement 6
Knightdale, North Carolina



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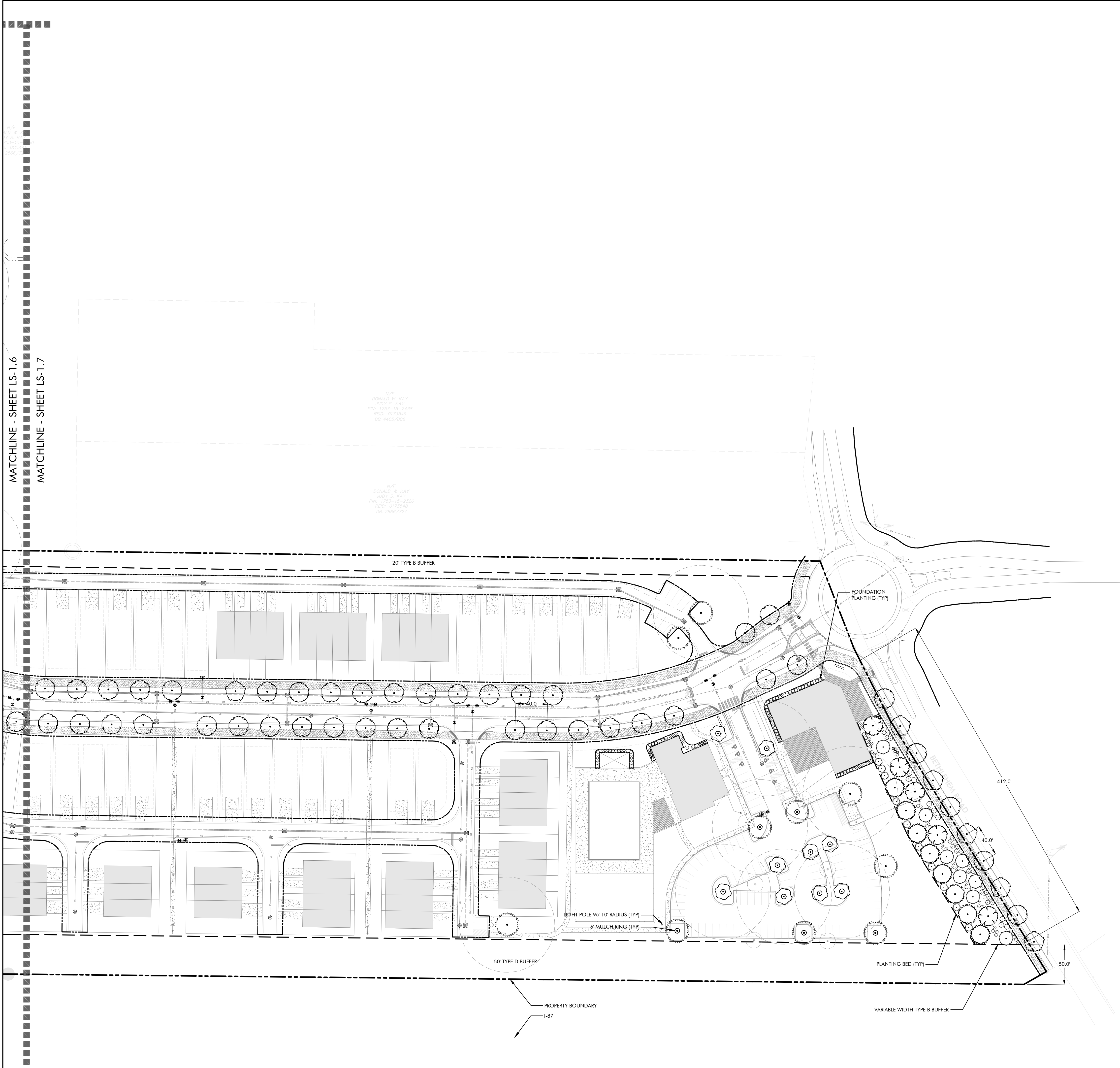
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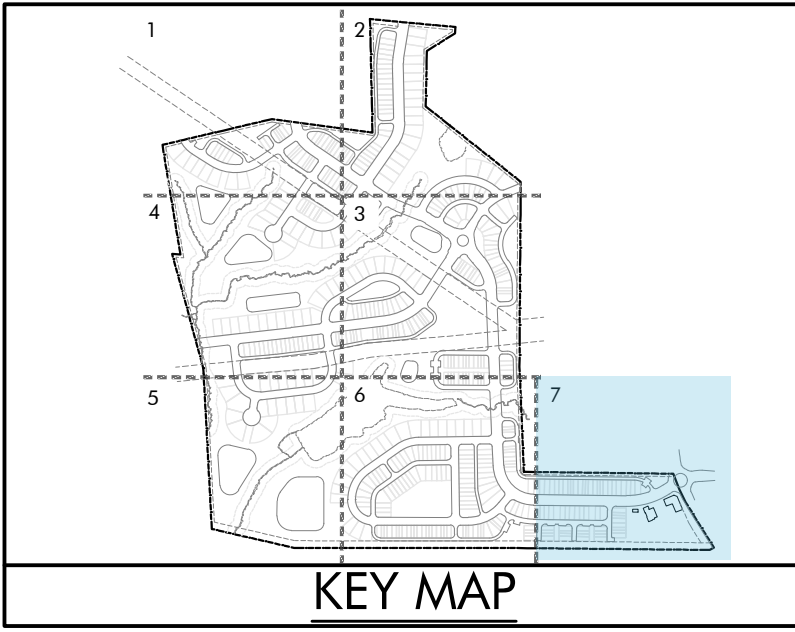
Sheet No:
LS-1.6



MATCHLINE - SHEET LS-1.6
MATCHLINE - SHEET LS-1.7

N/P
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-SIT & SAT
P/N: 728-15-2418
R/S: 01/23/48
D: 4405/808

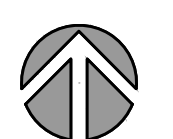
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R/S: 01/23/48
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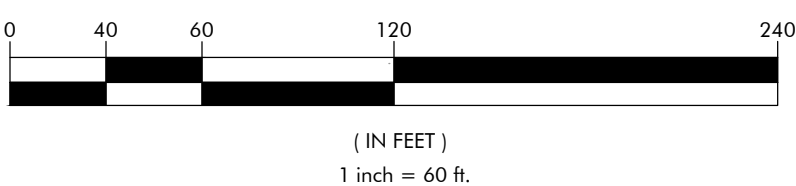
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Landscape Plan Enlargement 7
Knightdale, North Carolina

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Sheet No:
LS-1.7

GENERAL PLANTING NOTES

PLANT MATERIAL

- REQUIRED PLANTINGS SHALL MEET ALL REQUIREMENTS SET FORTH IN THE TOWN OF KNIGHTDALE UDO.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GRIDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/4" INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED.
- SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY THE UDO.
- ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
- ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE TOWN ARBORIST AND/OR NCDOT.

TOWN OF KNIGHTDALE RESIDENTIAL LANDSCAPING & PLANT NOTES (UDO 7.4.K.)

- EACH SINGLE FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF 1 CANOPY TREE FOR EVERY 2,000 SQUARE FEET OF LOT AREA OR FRACTION THEREOF UP TO 20,000 SF IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE LAND USE ADMINISTRATOR.
- THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN 6 INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
- REQUIRED STREET TREES MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT. APART FROM REQUIRED STREET TREES, ALL OTHER TREES REQUIRED UNDER THIS CHAPTER SHALL BE PLANTED WITHIN THE PRIVATE LOT.
- FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF 2 FEET IN HEIGHT PLANTED AT 4 FOOT INTERVALS.

TOWN OF KNIGHTDALE INSTALLATION AND MAINTENANCE STANDARDS

- LANDSCAPING SHOULD BE OF SUFFICIENT SIZE SO THAT MATURE APPEARANCE WILL BE ACHIEVED WITHIN THREE (3) YEARS OF INSTALLATION FOR SHRUBS AND WITHIN FIVE (5) YEARS OF INSTALLATION FOR TREES.
- MINIMUM SIZE OF PLANTINGS AS FOLLOWING:
 - EVERGREEN TREES: 6' HEIGHT MIN. & 2" CAL. MIN.
 - MULTI-STEMMED TREES: 8' HEIGHT MIN. & 3 STALK MIN.
 - CANOPY TREES: 8' HEIGHT MIN. & 2" CAL. MIN.
 - UNDERSTORY TREES: 6' HEIGHT MIN. & 1.25" CAL. MIN.
 - SHRUBS: 18" HEIGHT MIN. & 1 1/2" SPREAD MIN. (3 GAL)
 - GROUNDCOVERS: 4" SPREAD MIN. (1.5"-2.5" POTS)
- AT A MINIMUM, THE SPECIES OF EVERY OTHER TREE ALONG THE STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE DIVERSITY AS DEEMED APPROPRIATE BY THE LAND USE ADMINISTRATOR.
- A MINIMUM OF 75% OF THE LANDSCAPE FEATURES UTILIZED ON A PARCEL THAT IS GREATER THAN 5 ACRES SHALL BE DROUGHT AND SALT TOLERANT NATIVE SPECIES.
- TOTAL LANDSCAPE FEATURES, EXCLUDING TURF, SHALL NOT BE COMPRISED OF MORE THAN 20% OF ANY SINGLE SPECIES OR 25% OF ANY GENUS.
- ALL NEW TREES SHALL BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.

UTILITY & EASEMENTS

- WHERE A CANOPY TREE IS REQUIRED AND OVERHEAD UTILITY LINES EXIST, TWO (2) UNDERSTORY TREES SHALL BE SUBSTITUTED WITH THE APPROVAL OF THE LAND USE ADMINISTRATOR.
- IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY SPECIALIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
- IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING OR PROPOSED UNDERGROUND UTILITIES. CANOPY TREES SHALL BE PLACED AT LEAST 10 FEET FROM LIGHT POLES, AND 12 FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED. UNDERSTORY TREES MAY BE PLACED WITHIN 5 FEET OF SUCH DEVICES.
- NOTHING SHALL BE PLANTED OR INSTALLED WITHIN AN UNDERGROUND OR OVERHEAD UTILITY EASEMENT WITHOUT CONSENT OF THE TOWN.
- ALL UNDERGROUND UTILITIES SHALL BE LOCATED BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UNDERGROUND OR OVERHEAD UTILITY LINES.

TOPSOIL/PLANTING MIX - MINIMUM REQUIREMENTS:

- WHERE PAVEMENT CUTOFFS ON RENOVATED SITES ARE REQUIRED AND/OR WHERE NEW PLANTING STRIPS OR ISLANDS ARE REQUIRED, ALL PAVEMENT, CONSTRUCTION DEBRIS AND GRAVEL SUB-BASE MUST BE REMOVED BEFORE PREPARING SOIL AND PLANTING TREES. EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITHIN 2" OF TOPSOIL/PLANTING MIX. OR EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET TOPSOIL STANDARDS FOR THE ENTIRE PLANTING AREA.
- SOIL IN ALL PLANTING STRIPS OR ISLANDS, WHETHER EXISTING OR NEW/NEW OR RENOVATED SITES, MUST MEET THE MINIMUM TOPSOIL/PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH TOPSOIL/PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE ORIGINAL TOPSOIL IS OF POOR QUALITY, HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DURING GRADING.
- TOPSOIL/PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT, WITH ADMIXTURE OF SUBSOIL. IT SHOULD BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEAS MATTER. TOPSOIL SHOULD NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
- TOPSOIL/PLANTING MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5-7.0 AND THE FOLLOWING COMPOSITION:
 - CLAY (RED CLAY, WELL PULVERIZED) MIN 10%; MAX 35%
 - COMPOST/ORGANIC MIN 5%; MAX 10%
 - SILT MINIMUM 30%; MAX 50%
 - COARSE SAND (FREE OF ROCKS, 0.5 TO 1.0 MM Ø) MIN 30%; MAX 45%
- ORGANIC MATERIAL SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS.

- ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO INSURE PROPER TREE GROWTH AND SURVIVAL. THE FOLLOWING LEVEL OF NUTRIENT ELEMENTS IS RECOMMENDED FOR PROPER GROWTH:
 - CALCIUM 55 - 80%
 - MAGNESIUM 10 - 30%
 - POTASSIUM 5 - 8%

GENERAL PLANTING NOTES:

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVARS AND/OR VARIETIES AS INDICATED ON THE PLANT SCHEDULE. ANY SUBSTITUTIONS INSTALLED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL BE REJECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIALS DUE TO ON SITE CONDITIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO LANDSCAPE ARCHITECTS APPROVAL ARE SUBJECT TO RELOCATION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL BE SPECIMEN QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY STOCK AND SHALL CONFORM TO THE CODE OF STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- HEIGHT AND SPREAD DIMENSION SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50% OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL HAVE A STRONG CENTRAL LEADER UNLESS OTHERWISE SPECIFIED.
- LEAVES MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCESSION PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
- PROVIDE 4" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE SINGLE HAMMERED HARDWOOD MULCH (UNLESS NOTED OTHERWISE). IT SHALL BE CLEAN, FRESH, AND FREE OF STICKS, BRANCHES, SOIL OR OTHER FOREIGN MATERIAL.
- BACKFILL PLANTING MIXTURE SHALL BE ONE PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR SHRUB BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT AT NURSERY OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BID SUBMITTAL IF REQUESTED BY LANDSCAPE ARCHITECT OR OWNER.
- THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL PROVIDE ONE COPY OF THE TEST RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED AS INDICATED BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
- FERTILIZER SHALL BE A COMPLETE FERTILIZER; 50% OF NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREAFORM. FERTILIZER

SHALL BE DELIVERED TO THE SITE IN STANDARD SIZE UNOPENED CONTAINERS WHICH SHOW THE WEIGHT, CHEMICAL ANALYSIS, AND MANUFACTURER. IT SHALL BE STORED IN A DRY LOCATION UNTIL ITS USE. FERTILIZER FOR TREES, SHRUBS, AND GROUND COVER AREAS SHALL BE A SLOW RELEASE TYPE AND SHALL BE APPLIED AS FOLLOWS:

TREES AND SHRUBS
 MARCH-MAY 10-10-10
 JUNE-OCTOBER 6-10-10
 NOVEMBER-FEBRUARY 6-12-12

SHRUBS:
 1/2 LB / INCH HEIGHT
 1 LB / INCH OF CALIPER

LANDSCAPE CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL TREE PITS. IF PITS DO NOT DRAIN WITHIN 30 MINUTES, CONTACT LANDSCAPE ARCHITECT AND DO NOT PLANT THE TREE WITHOUT ON SITE INSPECTION OF DRAINAGE. LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SUBSURFACE DRAIN LINES FROM THE TREE PITS.

IF SURFACE DRAINAGE IS NOT SUFFICIENT (STANDING WATER) NOTIFY LANDSCAPE ARCHITECT IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANTS.

CERTIFICATE OF INSPECTION AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION OF PLANT MATERIALS SHALL ACCOMPANY EACH INVOICE FOR EACH SHIPMENT OF PLANTS. CERTIFICATES SHALL BE FILED WITH LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF MATERIAL. INSPECTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE MATERIAL BY THE LANDSCAPE ARCHITECT.

ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SUPPLIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THIS PROJECT.

CONTRACTORS PRICES SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (i.e. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.).

THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. WITHIN TEN DAYS NOTICE BY THE CONTRACTOR OF SUBSTANTIAL COMPLETION THE LANDSCAPE ARCHITECT WILL INSPECT THE PROPERTY. HE WILL EITHER APPROVE THE WORK FOR THE OWNER'S ACCEPTANCE OR WILL ISSUE A "PUNCH LIST" OF ITEMS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS SOON AS THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.

AMENDED SOIL MEDIA REQUIREMENTS: A PLANTING MIX MAY BE DEVELOPED THAT WILL BE AN ACCEPTABLE PLANTING MEDIA BY AMENDING THE EXISTING SOIL OR BY REMOVING THE EXISTING SOIL AND REPLACING IT WITH NEW PLANTING MIX. THE PLANTING MIX SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEAS MATTER. IT SHALL CONTAIN NO MANMADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.

*NOTE: CONTRACTOR TO PROVIDE TEST SAMPLES OF AMENDED SOIL WITH TESTING DATA FOR ALL BED AREAS AMENDED ON SITE. TEST SAMPLES SHALL FALL WITHIN TOLERANCES SHOWN ABOVE. PLANTING SHALL NOT BEGIN UNTIL SOIL HAS BEEN AMENDED AND SOIL TEST SAMPLES HAVE BEEN REVIEWED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT.

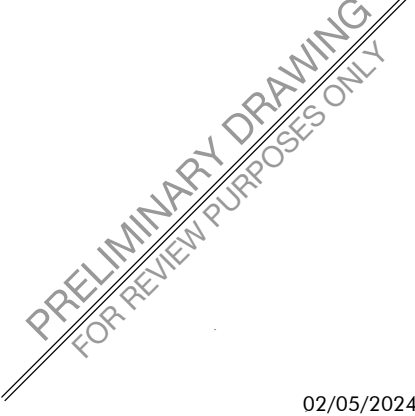
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY	SITE PLANTING	STREET TREES	TYPE B BUFFER @ BETHLEHEM	TYPE B BUFFER @ OLD FAISON	CONT	CAL	SIZE
CANOPY TREES										
AO	ACER RIBRUM	OCTOBER GLORY / OCTOBER GLORY RED MAPLE	8		8				8 B.B	2'CAL 8' HT
AB	ACER SACCHARIN	BOHRE / BOHRE SUGAR MAPLE	107		107				8 B.B	2'CAL 8' HT
CA	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	11	11					8 B.B	2'CAL 8' HT
CK	GYMNOCLOADUS DIOICA	KENTUCKY COFFEETREE	17	17					8 B.B	2'CAL 8' HT
LA	LIRIODENDRON TULIPIFERA	ARNOOLD / ARNOOLD TULIP POPLAR	18			5	13		8 B.B	2'CAL 8' HT
MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	8			8			8 B.B	2'CAL 8' HT
QA	QUERCUS ACUTISSIMA	SAWTOOTH OAK	93		93				8 B.B	2'CAL 8' HT
UF	ULMUS PARVIFOLIA	BOSQUE TU / BOSQUE LACEBARK ELM	100		100				8 B.B	2'CAL 8' HT
ZG	ZELKOVA SERRATA	GREEN VASE / GREEN VASE JAPANESE ZELKOVA	103		103				8 B.B	2'CAL 8' HT
UNDERSTORY TREES										
AS2	ACER BURGERIANUM	STREETWISE / STREETWISE TRIDENT MAPLE	30		30				8 B.B	1.25'CAL 6' HT
AS	AMELANCHIER LAEVIS	SHOWCLOUD / SHOWCLOUD ALLEGHENY SERVICEBERRY	1				1		8 B.B	1.25'CAL 6' HT
CT	CERCIS CANADENSIS	FLAME THROWER / EASTERN REDBUD	10		2	8			8 B.B	1.25'CAL 6' HT
CS	CORNUS KOUSA	SATONM / SATONM RED KOUSA DOGWOOD	13		13				8 B.B	1.25'CAL 6' HT
LW	LAGERSTROEMIA INDICA	WHIT / PINK VELVOUR CRAPE MYRTLE	34		34				8 B.B	MULTI-STEM (3 STALKS MIN.) 8' HT
LY	LAGERSTROEMIA X YUMA	YUMA CRAPE MYRTLE	19		19				8 B.B	MULTI-STEM (3 STALKS MIN.) 8' HT
PV	PRINUS VIRGINIANA	VIRGINIA PINE	34			10	24		8 B.B	2'CAL 6' HT
SHRUBS										
A1	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	18				18		3 GAL	
BC	BUXUS X GREEN GEM	GREEN GEM BOXWOOD	88	17		32	39		3 GAL	
CS2	CALAMAGROSTIS X ACUTIFLORA	STRICTA / KARL FORBSTER FEATHER REED GRASS	42				42		3 GAL	
CA2	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	15	7		8			3 GAL	
FC	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	15	12		3			3 GAL	
IC	ILEX CRENATA	GREEN LUSTRE / GREEN LUSTRE JAPANESE HOLLY	66	44		7	15		3 GAL	
JM	JUNIPERUS CHRENSIS	WHIT JULEP / WHIT JULEP JUNIPER	36	1		17	18		3 GAL	
PR	PENSETUM SETACEDUM	RUBRUM / PURPLE FOUNTAIN GRASS	35				35		3 GAL	
PG	PICEA PLUNGENS	GLOBOSA / DWARF GLOBE BLUE SPRUCE	5			5			3 GAL	
SB	SPIRAEA PRUNIFOLIA	BRIDAL WREATH / BRIDAL WREATH SPIREA	9				9		5 GAL	



150 Fayetteville at Ste 1310
 Raleigh, NC 27601
 + 919.275.5002
 urbandesignpartners.com

nc firm no: P-2671 sc cca no: C-03044



02/05/2024

D.R. Horton

7208 Falls of Neuse Rd. Ste. 201
 Raleigh, NC 27615

LYNDON OAKS
Master Plan
 Landscape Details
 Knightdale, North Carolina

NO.	DATE	BY	REVISIONS:
#1	11/27/2023		

Project No: 22-RDU-083
 Date: 02/05/2024
 Sheet No:

LS-2.0

BUFFER INFORMATION

BUFFER NOTES:

- EXISTING PLANT MATERIAL TO BE PRESERVED IN ALL BUFFER AREAS AS PRIORITY TIER 1 TREE SAVE AREAS. WHERE SUFFICIENT MATERIAL DOES NOT MEET REQUIREMENTS, SUPPLEMENTAL PLANT MATERIAL WILL BE REQUIRED TO MEET BUFFER OPACITY STANDARDS.
- FINAL LOCATION OF SUPPLEMENTAL BUFFER PLANTINGS TO BE COORDINATED WHEN CONSTRUCTION DOCUMENTS ARE DEVELOPED.
- ALL SIDES OF PARKING LOTS FRONTING RIGHT-OF-WAYS WILL BE SCREENED WITH A TYPE B BUFFER YARD PER UDO.
- TYPICAL SECTIONS SHOWN BELOW ARE GRAPHIC IN NATURE AND SUBJECT TO CHANGE AT THE TIME OF CONSTRUCTION DOCUMENTS. PLANT LAYOUT AND QUANTITIES WILL BE DETERMINED WHEN CONSTRUCTION DOCUMENTS ARE DEVELOPED.

EVERGREEN VS. DECIDUOUS BUFFER REQUIREMENTS

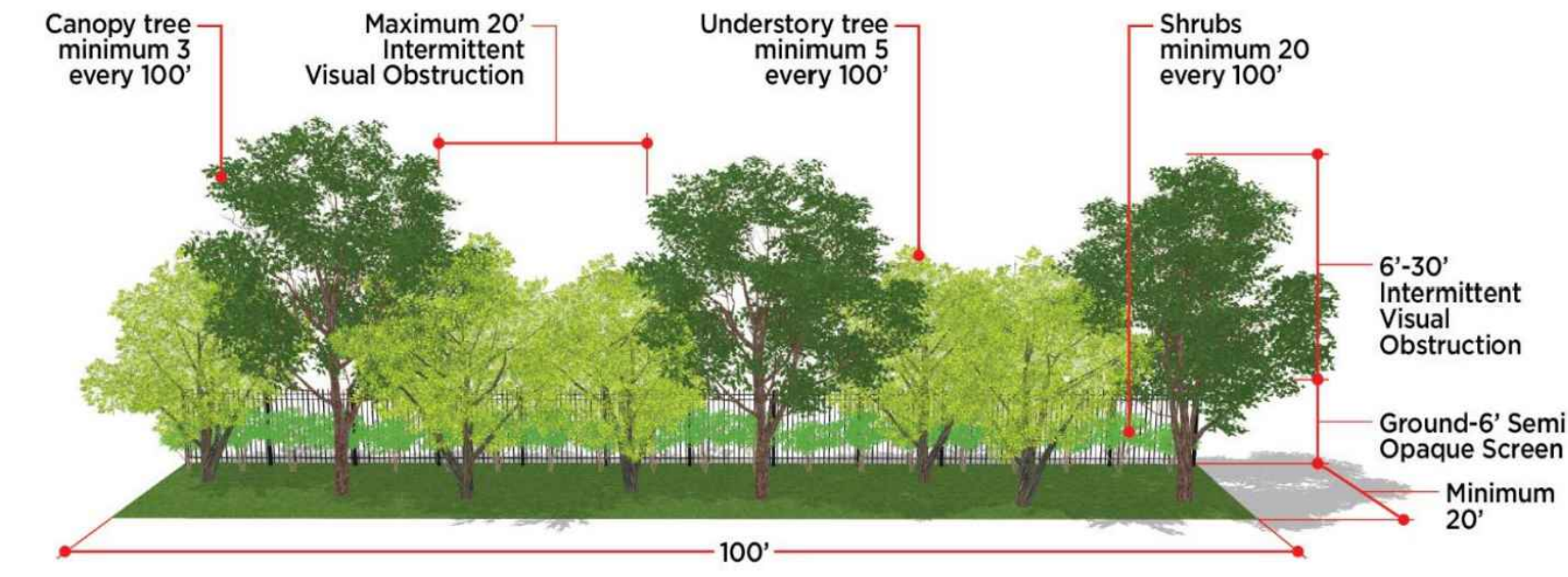
- CANOPY TREES: 40% MIN. - 60% MAX. MUST BE EVERGREEN
- UNDERSTORY TREES: 40% MIN. - 60% MAX. MUST BE EVERGREEN
- SHRUBS: 80% MIN. MUST BE EVERGREEN

TYPE B BUFFER YARD STANDARDS (UDO SEC. 7.4.1.2)

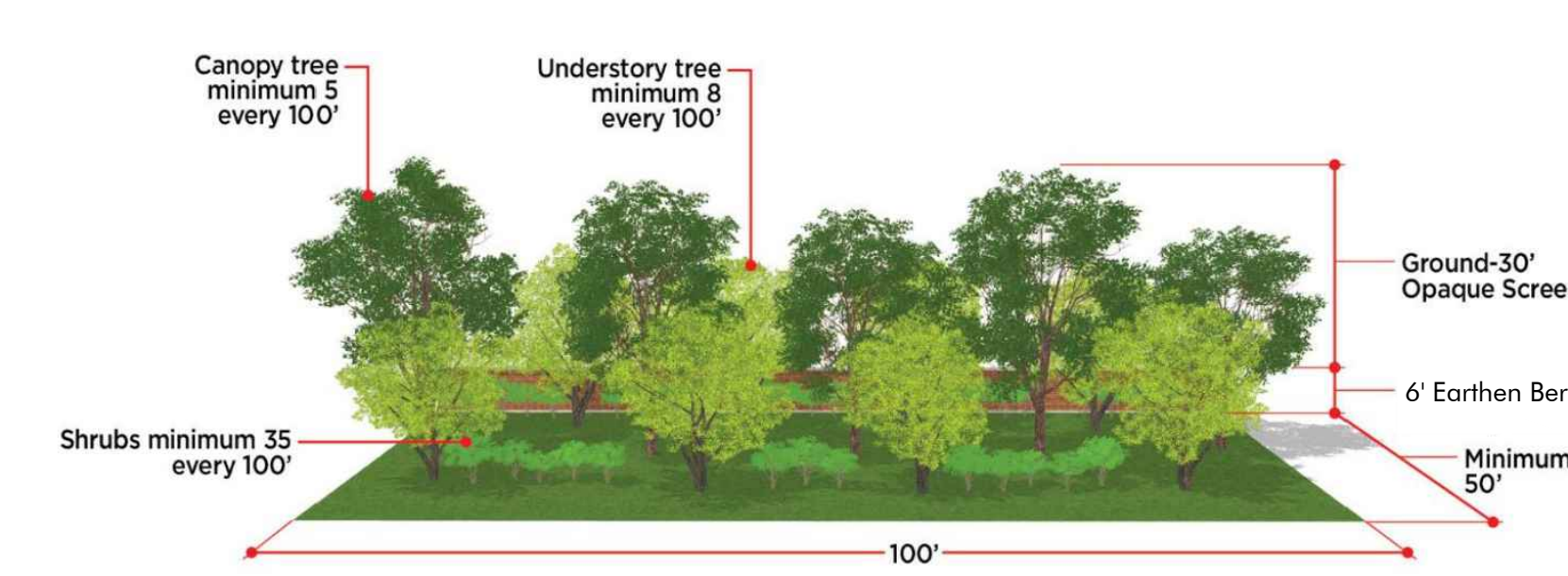
- WIDTH: 20' MIN.
- HEIGHT/OPACITY:
 - GROUND TO 6' SEMI-OPAQUE SCREEN
 - 6'-30' INTERMITTENT VISUAL OBSTRUCTION
- REQUIRED PLANTINGS:
 - CANOPY TREES: 3 TREES/100 LF
 - UNDERSTORY TREES: 5 TREES/100 LF
 - REQUIRED SHRUBS: 20 SHRUBS/100 LF

TYPE D BUFFER YARD STANDARDS (UDO SEC. 7.4.1.2)

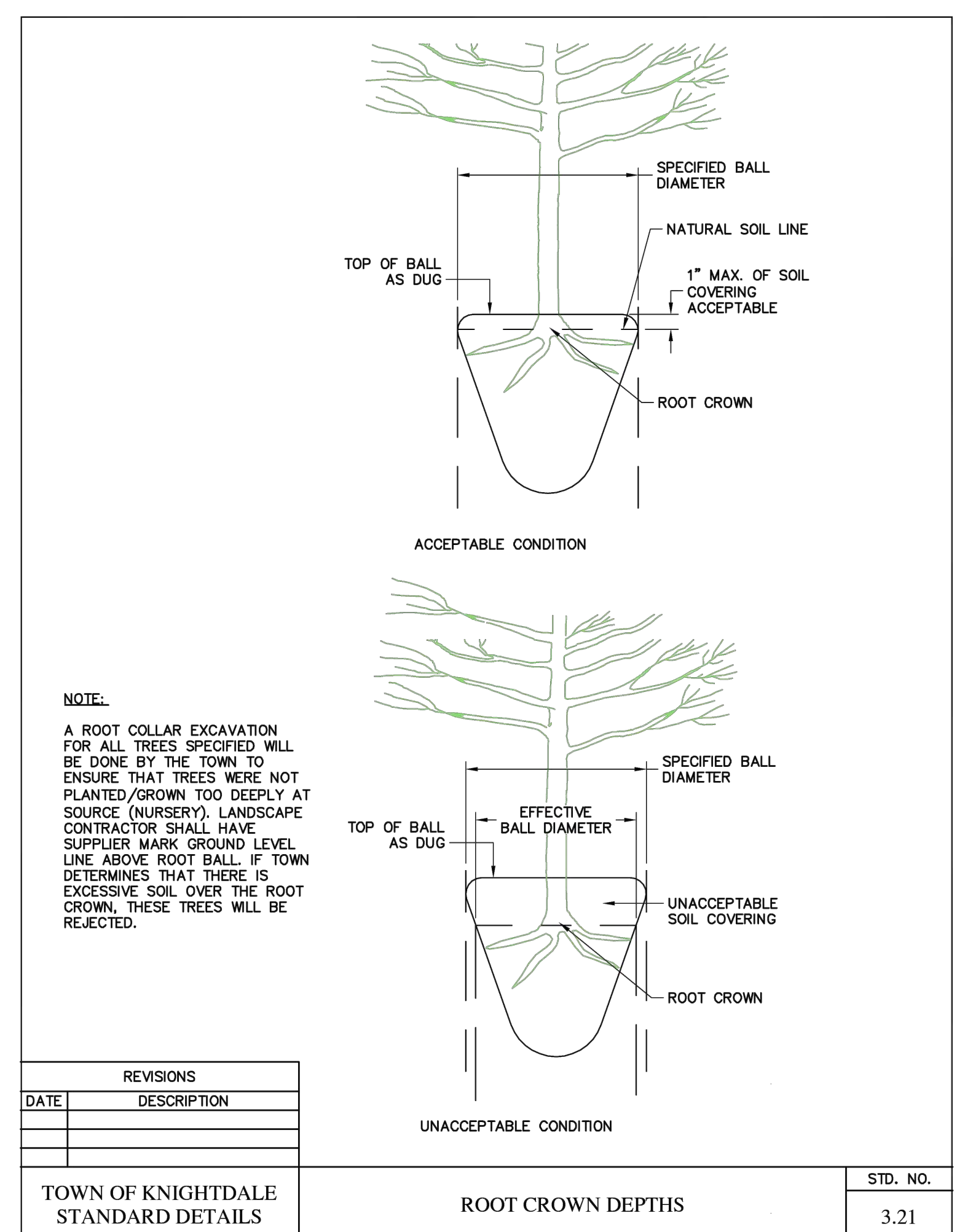
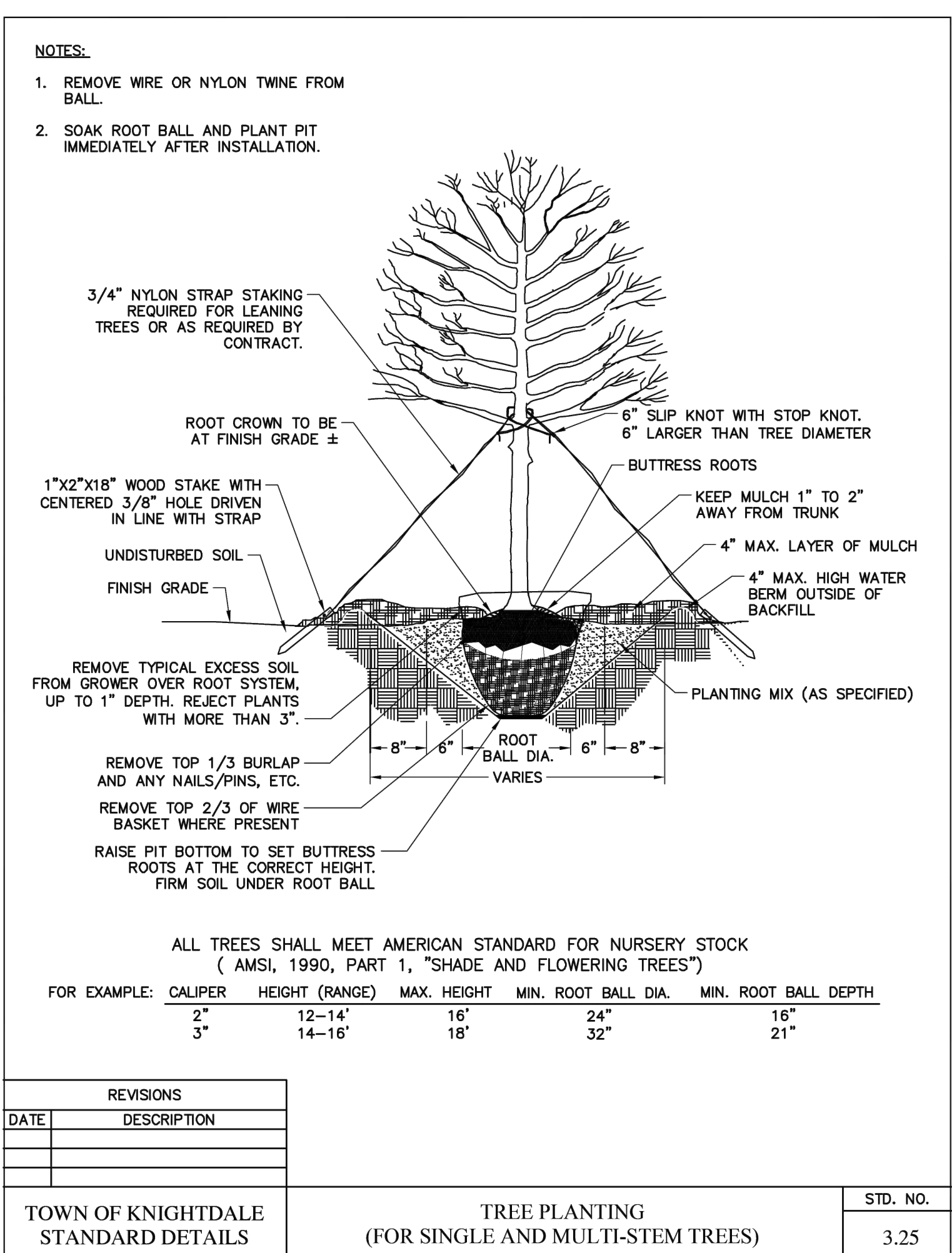
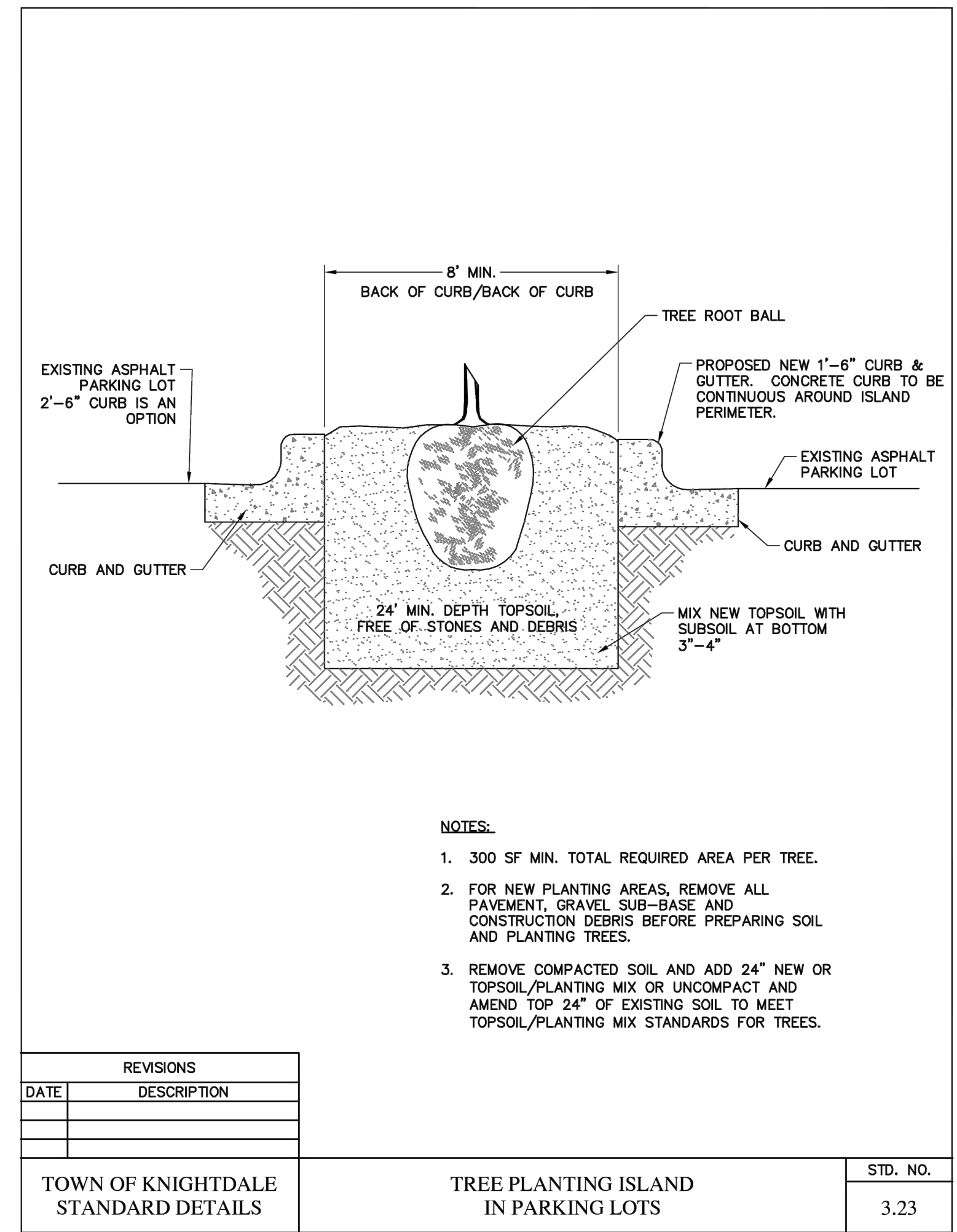
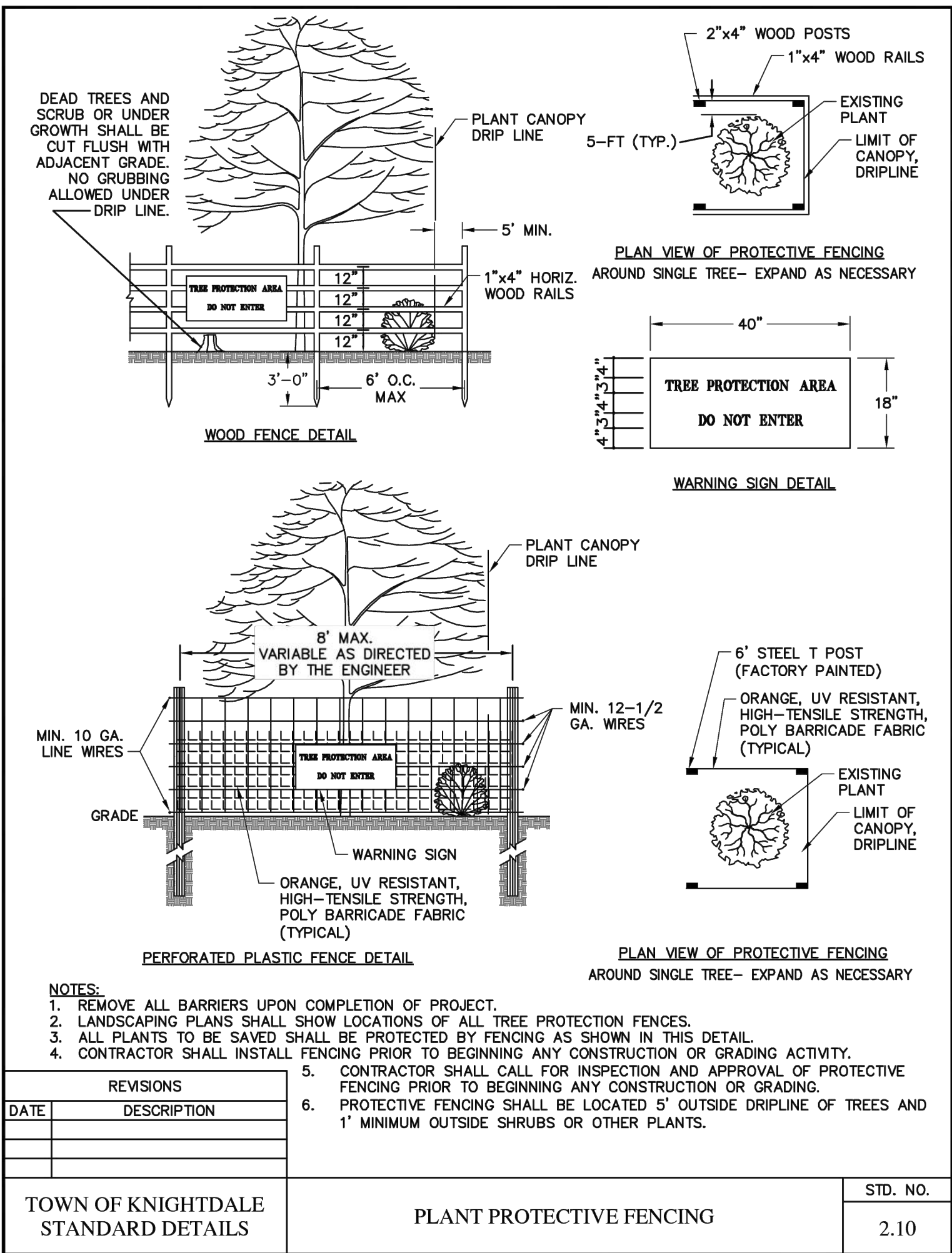
- WIDTH: 50' MIN.
- HEIGHT/OPACITY:
 - GROUND TO 30' OPAQUE SCREEN
 - GROUND TO 6' EARTHEN BERM W/ LANDSCAPING
- REQUIRED PLANTINGS:
 - CANOPY TREES: 5 TREES/100 LF
 - UNDERSTORY TREES: 8 TREES/100 LF
 - REQUIRED SHRUBS: 35 SHRUBS/100 LF



1 TYPE B BUFFER (TYP)
 SCALE: NTS SECTION



2 TYPE D BUFFER (TYP)
 SCALE: NTS SECTION



NOTE:

ELEVATIONS SHOWN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.
SEE ZMA-2-23 FOR LIST OF ARCHITECTURAL STANDARDS.



1 SINGLE FAMILY DETACHED
SCALE: NTS

ELEVATION



2 TOWNHOMES
SCALE: NTS

ELEVATION



150 Fayetteville St Ste 1310
Raleigh, NC 27601
+ 919.275.5002
urbandesignpartners.com

nc firm no: P-2671 sc coo no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

02/05/2024

D. R. Horton

7208 Falls of Neuse Rd. Ste. 201
Raleigh, NC 27615

LYNDON OAKS
Master Plan
Architectural Elevations
Knightdale, North Carolina

NO. DATE BY REVISIONS:
#1 11/27/2023

Project No: 22-RDU-083

Date: 02/05/2024

Sheet No:

A-1.0

LYNDON OAKS

PLANNED UNIT DEVELOPMENT

The Town of Knightdale
Case Number: ZMA-2-23
February 5, 2024



URBAN
DESIGN
PARTNERS

LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING

LYNDON OAKS

PLANNED UNIT DEVELOPMENT

PREPARED FOR
The Town of Knightdale

DEVELOPER
DR Horton
7208 Falls of Neuse Road
Suite 201
Raleigh, NC 27615

PROJECT TEAM
Urban Design Partners
Planning | Landscape Architecture | Civil Engineering
150 Fayetteville Street
Suite 1310
Raleigh, NC 27601

Parker Poe
Land Use Attorney

Ramey Kemp & Associates
Traffic Engineers

Bateman Civil Survey Company
Surveyors

Sage Ecological Services, Inc.
Environmental Consultant

SUBMITTAL DATE
February 5, 2024

URBAN DESIGN PARTNERS



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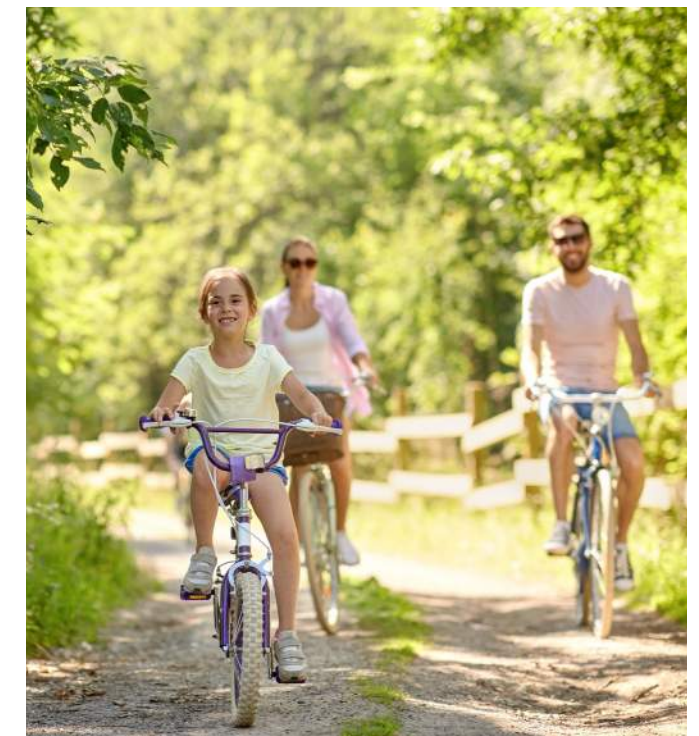
01

A grayscale photograph of a man walking a white, fluffy dog on a leash. The man is wearing a dark jacket and pants, and is looking towards the right. The dog is walking on a sidewalk. In the background, there is a two-story house with a porch and several tall, thin evergreen trees. The overall scene is in grayscale.

**VISION
+ INTENT**

Community Vision

Lyndon Oaks is envisioned as a place of community. The development team believes that through **quality placemaking**, a **mix of uses**, and a **variety of housing options**, will arise a place of creativity and diversity that will reveal a vibrant and active community. Lyndon Oaks will be a community that both embraces and engages nature by providing a network of trails and open space that encourages social interactions and physical activity.



VISION

Community Intent

Section 2.4.C. of the Town of Knightdale Unified Development Ordinance states that, “the Planned Unit Development Overlay District process **encourages creativity and innovation** in the design of developments through a master planning process that allows for flexibility from underlying zoning as approved by the Town Council.” These developments bring “**tangible benefits**” to the Town, including “exceptional amenities, outstanding environmental, landscape, architectural, or site design, or conservation of special man-made or natural features of the site.”

Lyndon Oaks meets the intent of the **Planned Unit Development Overlay District** requirements per Town of Knightdale UDO Section 12.2.G.3.g.ii.a. through the following findings:

» Comprehensive Plan

- Lyndon Oaks conforms to the planning policies of the Town as laid out in the KnightdaleNext2035 Comprehensive Plan. The site is designated as a Mixed-Density Neighborhood place type, in a Target Investment Area, and the planned variety of residential densities and neighborhood-serving commercial meet the Town’s future planned growth. In addition, Lyndon Oaks is a neighborhood that exemplifies many of the Guiding Principles for growth and development in Knightdale (Guiding Principles found on page 9).

» Public Welfare

- Lyndon Oaks is maintaining the riparian buffer that bisects the site and large existing pond to allow for maximized preservation of natural features that will be not only preserved, but amenitized through walking trails and greenways to be enjoyed by residents and the surrounding community on public greenways and sidepaths. The supply of light and air to adjacent properties will not be negatively impacted due to the tree preservation, preserved open space, and buffer plantings around the perimeter of the site. There will be no increased danger of fire to current or future residents in the area, and the public health, safety, and welfare will not only be protected but will increase through the new pedestrian and vehicular connectivity, intersection design and improvements that prioritize safety, ample behind-the-curb multi-use paths for cyclists, fountains in the SCMs to keep water aerated, and new public utilities being brought to the area.

» Impact on Other Property

- Lyndon Oaks is primarily a mixed-density residential community. The adjacent land uses consist of existing single family residences and vacant wooded lots. Lyndon Oaks consists of like uses and helps to provide increased connectivity and access to amenities like the greenway trail and a future neighborhood-serving commercial amenity on Bethlehem Road.

» Impact on Public Facilities & Resources

- Lyndon Oaks will provide adequate utilities, road access, drainage, and other necessary facilities to properly serve residents of the site. The project will dedicate a large section of the planned Widewaters Parkway extension to the Town, and plans to provide the greenway connectivity as well.

» Archaeological, Historical, or Cultural Impact

- Lyndon Oaks is maintaining the riparian buffer that bisects the site and large existing pond to allow for preservation of natural features on the property. No archaeological, historical, or cultural resources will be adversely impacted in the development. Lyndon Oaks will preserve and enhance existing natural resources on site for the benefit of the residents and surrounding community that utilizes the greenway.

» Parking & Traffic

- Lyndon Oaks is a pedestrian friendly community. The mix of housing types and rear-loaded units minimizes pedestrian-vehicular conflicts and creates a safer, more appealing streetscape. Proper sight distance triangles are also used at intersections to prevent conflicts when turning a vehicle. All street radii are adequate for emergency vehicle access. There is ample guest parking through the use of on-street parking. Traffic impacts from Lyndon Oaks have been studied and will be mitigated through TIA recommended improvements that will benefit the entire area and alleviate some existing congestion issues. Furthermore, the public roads running through the site will create additional connectivity and routes on local, multimodal streets to existing roads in the area. The public and private trails also provide a safe public pedestrian connection throughout Lyndon Oaks.

» Appropriate Buffering

- A 10’ Type A Buffer is provided as a street yard along Bethlehem Rd. and Old Faison Rd. per requirements set forth in the UDO.
- A 20’ Type B Buffer is proposed along the perimeter of Lyndon Oaks to provide visual and acoustical privacy between Lyndon Oaks and the surrounding neighbors. A Type B Buffer is also provided between the parking lot at the commercial parcel and Bethlehem Rd. per requirements set forth in the UDO.
- A 50’ Type D Buffer with a 6’ earthen berm and dense plantings is proposed along I-87 to provide visual and acoustical privacy between Lyndon Oaks and the adjacent interstate. The maintained riparian buffers in the center of the site will also create a buffer within the community itself to allow for a greater sense of privacy between houses and a sense of place, such that each section of the neighborhood, each home, is a stone’s throw from the natural environment and open space.

» Performance

- D.R. Horton is America’s largest homebuilder, and the local team that have proposed this project have a proven track record of building successful residential neighborhoods in surrounding communities, as well as in Knightdale. The D.R. Horton team is excited to bring a new neighborhood to the Town that reflects the Town’s plans and aligns with the Town’s and D.R. Horton’s shared vision for great neighborhoods.

02



**KNIGHTDALENEXT
2035**

Comprehensive Plan Consistency

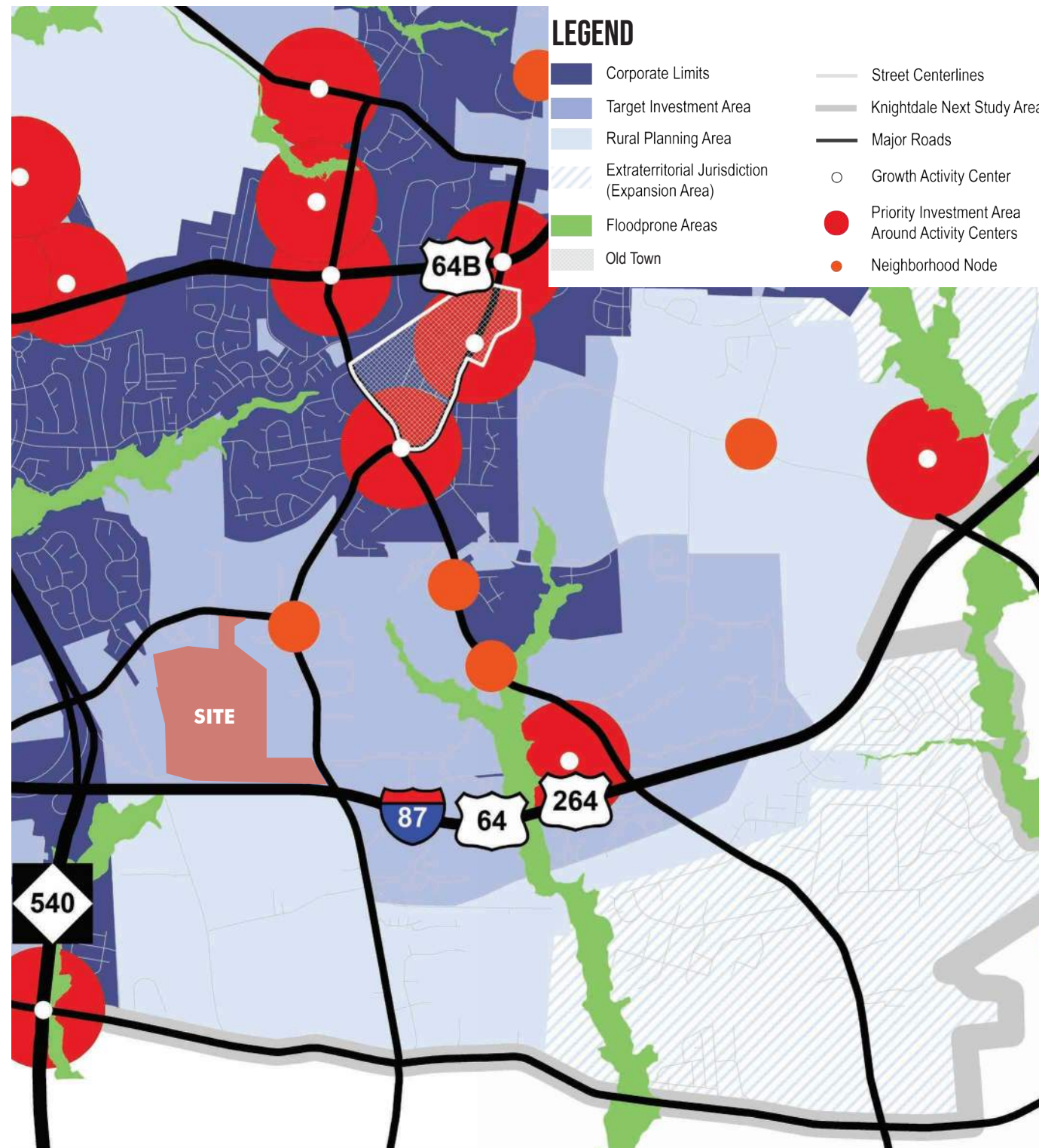


Figure 1: Growth Framework Map from KnightdaleNext2035 Comprehensive Plan

Growth Framework

This PUD request is proposing a **rezoning from RT to RMX-PUD** to better meet the desired outcome laid out in the KnightdaleNext2035 Comprehensive Plan.

On the Growth Framework Map, Lyndon Oaks is located near a Neighborhood Node at the intersection of Old Faison and Bethlehem Roads, and the site is within a Target Investment Area as identified in the Growth Framework Plan. Target Investment Areas are areas with existing or relatively easy potential access to water and sewer, where growth is supported, and the development will bring additional water and gravity sewer lines to this area to support continued growth and development. The plan says growth in these areas should encourage active living with a complete and comprehensive network of walkable streets in a general grid pattern. It also says that growth in these areas should be guided into more compact and efficient development patterns to justify infrastructure investments. Thus, Lyndon Oaks, which proposes compact residential growth at less than 3 units per acre and neighborhood-oriented commercial uses, in an area that will only continue to feel more growth pressure with the forthcoming I-540 extension, is supported by the Growth Framework Map.

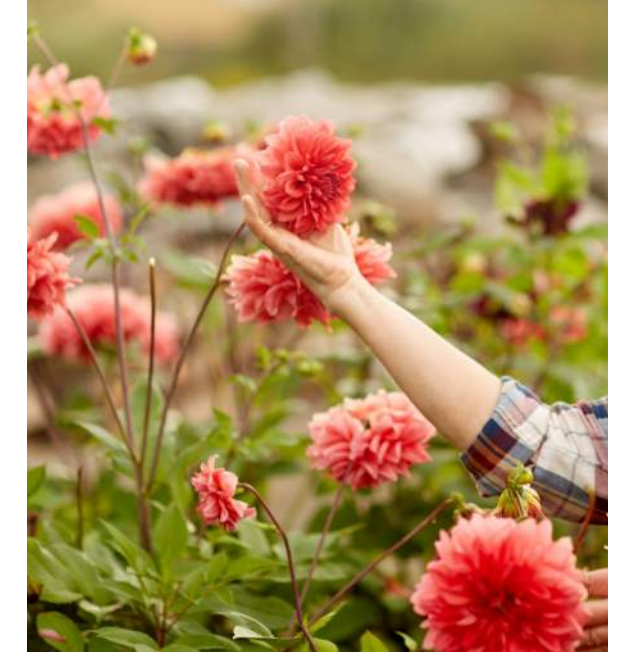
Lyndon Oaks aligns with Knightdale’s vision of neighborhoods throughout the Town feeling a sense of connection. A public greenway trail will be added throughout the site. This aligns with the Sidepaths & Greenways Plan plan found in UDO Appendix B and incorporated into the comprehensive plan. Sidewalks and greenway trails promote pedestrian walkability and connection for the community.

The proposed plan for Lyndon Oaks provides a mix of housing types to promote a diverse and walkable community. The mixed-use community will act as a transition for residential neighborhoods while providing a community-serving commercial outparcel

Comprehensive Plan Consistency

Comprehensive Plan - Guiding Principles

1. **Natural Environment:** Lyndon Oaks promotes and expands opportunities for community residents to enjoy Knightdale's greenways and activates the site's many streams, wetlands, and natural features by preserving them and giving residents access to enjoy those resources.
2. **Parks and Recreation:** Lyndon Oaks will provide the Town's planned pedestrian and cyclist public greenway connectivity from Old Faison Road to Bethlehem Road.
3. **Transportation:** Lyndon Oaks will provide a significant portion of the planned Widewaters Parkway extension, which will eventually provide an important connection from US-64 Business to Bethlehem Road and Crosscut Place. In addition, all of the streets in the neighborhood have been designed with multiple modes of transportation in mind—the project will provide ample safe, behind-the-curb, bicycle and pedestrian facilities for destination - and recreation- focused trips
4. **Compact Development Patterns:** The proposed community provides appropriate residential density and neighborhood-serving commercial in a Target Investment Area, near I-87 and I-540, which will become an even more convenient regional access route when the I-540 extension is built.
5. **Community Design:** Lyndon Oaks is a significant private investment that incorporates the distinctive elements of Knightdale. Roundabouts at intersections, strict architectural standards and commitments to beautiful and quality homes, pedestrian prioritization, preservation of open space and unique public and private recreational amenities dominate the community design.
6. **Great Neighborhoods and Expanded Home Choices:** Lyndon Oaks offers a wide variety of housing choices and lot sizes, mixed throughout the neighborhood, and not segregated to certain portions. This will provide opportunities for people and families at all ages and stages, with many different housing price-points, to find a place in this beautiful, heavily-amenitized community.



Comprehensive Plan Consistency

Growth and Conservation Map

On the Growth and Conservation Map, Lyndon Oaks is designated as a **“Mixed-Density Neighborhood.”** These are described as “subdivisions or communities with a mix of housing types and densities.” These Neighborhoods should “incorporate a comprehensive network of open space throughout to accommodate small parks, gathering places and community gardens; preserve tree stands; and help reduce stormwater runoff.”

Lyndon Oaks is consistent with this vision. The community will have a variety of housing options and price points, with six different lot sizes for single-family detached homes, both front and rear loaded, as well as three lot sizes for rear-loaded townhomes. These housing types are not segregated to their own distinct sections of the neighborhood; rather, they have been mixed in throughout the design. Beautiful gathering spaces and amenities will be programmed throughout the community, and the most sensitive natural areas will be preserved and activated.

It is also close to and will help support the planned desired land uses around the subject site. The retail and commercial amenities desired at the **“Neighborhood Node”** located at the intersection of Bethlehem and Old Faison Road will be much more viable with a new residential community so close, and the road improvements that will come with the project will help support desired development patterns in this area as well.

PLACETYPE CATEGORIES

 Preserved Open Space	 Business Office
 Rural Living	 Light Industrial
 Recreation Open Space	 Heavy Industrial
 Single Family Neighborhood	 Civic & Institutional
 Mixed-Density Neighborhood	 Old Town
 Multifamily Community	 Mixed-Use Center
 Neighborhood Node	 Mixed-Use Center (Suburban Retrofit)
 Retail	 Transit-Oriented Development (BRT)
	 Regional Mixed-Use Center

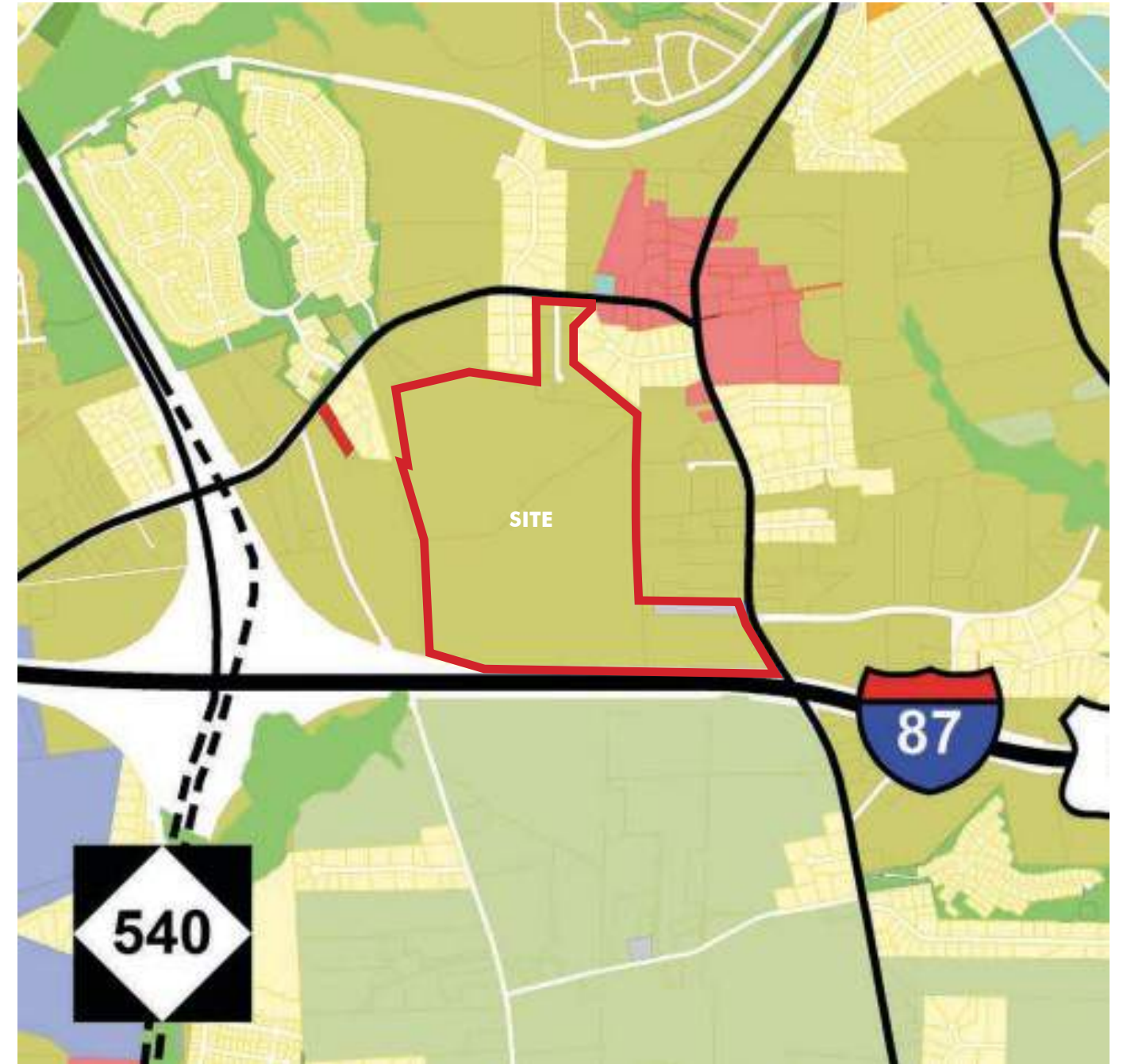


Figure 2: Growth and Conservation Map from KnightdaleNext2035 Comprehensive Plan

Comprehensive Plan Consistency

Transportation

Lyndon Oaks furthers the goals of **Knightdale's Comprehensive Transportation Plan (CTP)** in several ways.

First, with this project, an additional road connection will be made between Old Faison Road (at Tart Farm Road) and Bethlehem Road (at Crosscut Place), creating instant additional connectivity in the area. Additional road connections create more routes for drivers and ease congestion at nearby intersections, and create local streets that are safer for walking and biking, making these more viable forms of transportation. These are just a few of the reasons the CTP encourages additional local connector streets like those planned in Lyndon Oaks.

Second, Lyndon Oaks will construct ±0.8 miles of the planned Widewaters Parkway extension through the project area, which is a key part of a larger planned connection of Widewaters Parkway to Cross Cut Place on the Roadway Network Plan. When completed across Old Faison Road to the north, this road will make it much easier for residents traveling to and from US 64. The Master Plan has placed the Widewaters Parkway stub in a location that will make it easy to angle in a way that will sync with the alignment of the extension to the north.

Lyndon Oaks also supports the CTP goal of making new streets multimodal and accessible for pedestrians and cyclists. Sidewalks and 10' side paths will line both sides of every planned street to enhance the pedestrian safety and connectivity in the neighborhood. These wider, behind-the-curb sidepaths will line both sides of Widewaters Parkway.

Finally, Lyndon Oaks has studied the projected transportation impact of the development on numerous roads and intersections, and will implement recommended improvements to mitigate those impacts and improve area roads, consistent with the CTP policy of "account[ing] for broader impacts of development on the surrounding mobility networks."

Legend

	Comprehensive Transportation Plan Planning Area
Street Type & Status:	
	Freeway, Existing
	Freeway, Proposed
	Boulevard, Existing
	Boulevard, Proposed
	Urban Avenue, Existing
	Urban Avenue, Proposed
	Avenue, Existing
	Avenue, Proposed
	Urban Main Street, Existing
	Urban Main Street, Proposed
	Main Street, Existing
	Main Street, Proposed

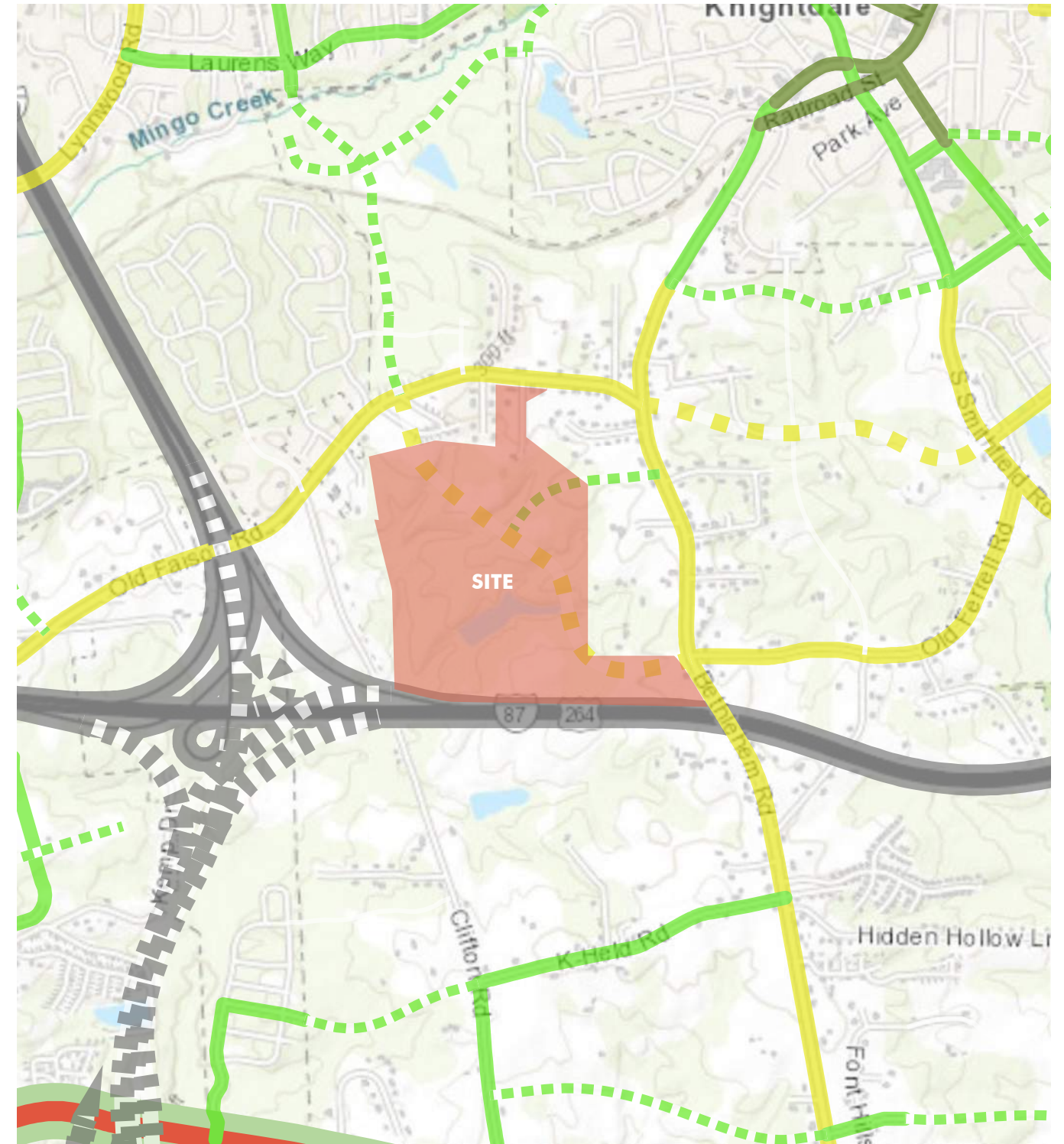


Figure 4: Roadway Network Plan from the Knightdale UDO

Comprehensive Plan Consistency

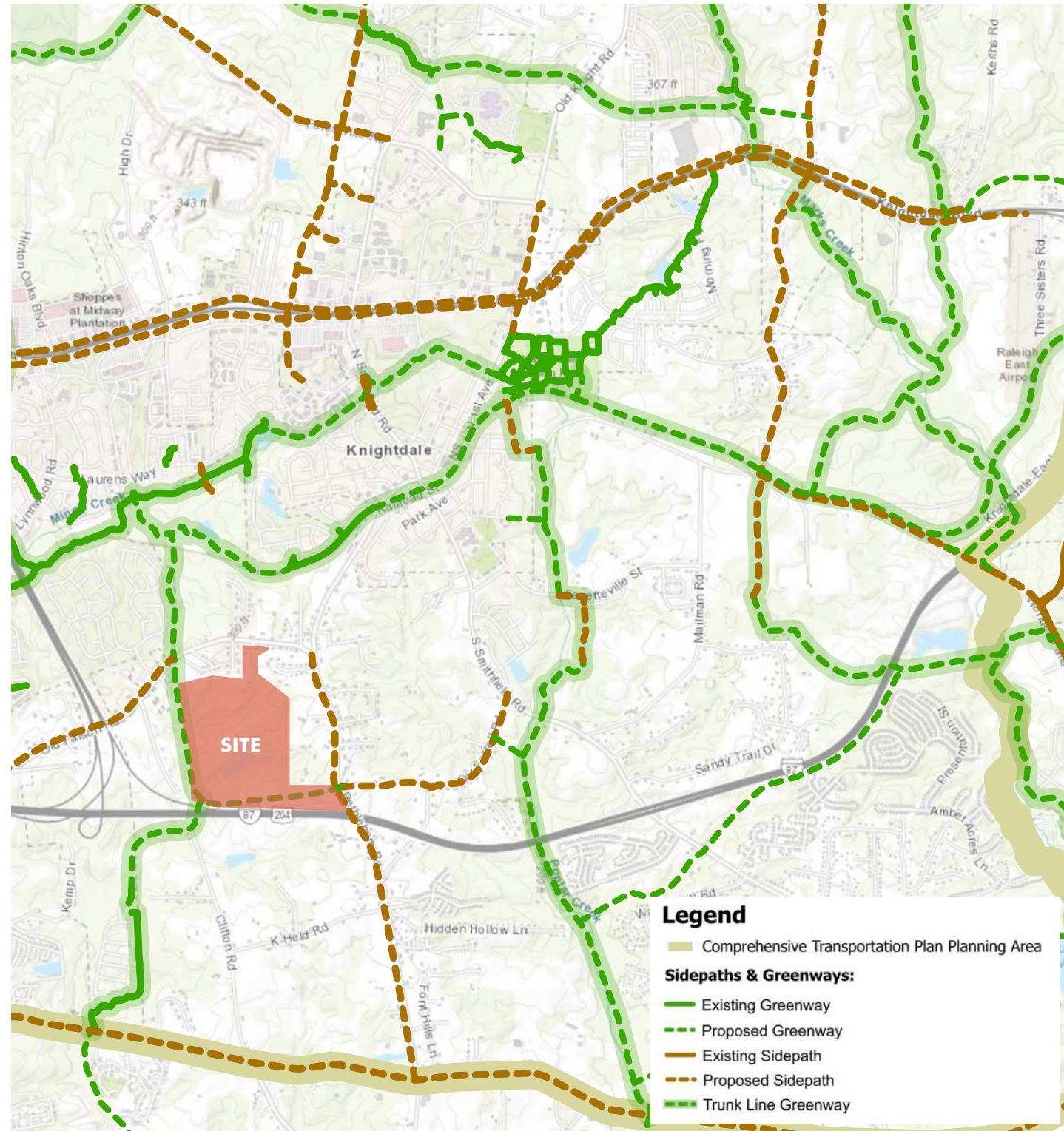


Figure 3: Sidepaths & Greenways Plan from the Knightdale UDO

Trails & Greenways

Lyndon Oaks will provide a network of public greenways and private trails in its open space, as well as recreational amenities while maintaining existing natural features. The plan also provides safe and convenient pedestrian and bicycle access for nearby residents through the use of sidewalks, 10' sidepaths on both sides of Widewaters Parkway and on the west side of Tart Farm Road as well, and trails in the natural areas to connect the neighborhood's residential sections.

Environmental Impacts and Permitting: The Town of Knightdale has planned substantial street and public greenway improvements on a site with many environmentally-sensitive streams and wetlands that will require extensive permitting through state and federal agencies at the next stage of development, and developer will provide the Town's desired public improvements to enhance vehicular and pedestrian connectivity in this area. Developer will provide and will facilitate environmental permitting for the stream and wetlands impacts of the planned Widewaters Parkway extension. Developer will also pursue environmental permitting for a greenway alignment that is substantially similar to the "Option A" alignment of the greenway shown on the Master Plan. If the US Army Corps of Engineers (USACE) defines the "project" in such a way that the project will cause a cumulative stream and wetland impact of 0.5 acres or more, the developer may adjust plans to reduce stream and wetlands impacts by the following:

- » Providing the greenway alignment shown in Option B
- » Providing boardwalks instead of paved bridges over streams and wetlands
- » Removing the turn lane and narrowing the Widewaters Parkway section in the areas where it crosses streams and wetlands
- » Providing the planned public greenway connection from Old Faison Road to Bethlehem Road as a side path on Widewaters Parkway, with private natural trails in the natural areas that connect residential areas of the neighborhood
- » Any other minor plan adjustments approved by Town staff that do not include impacts to planned residential lots.



Comprehensive Plan Consistency

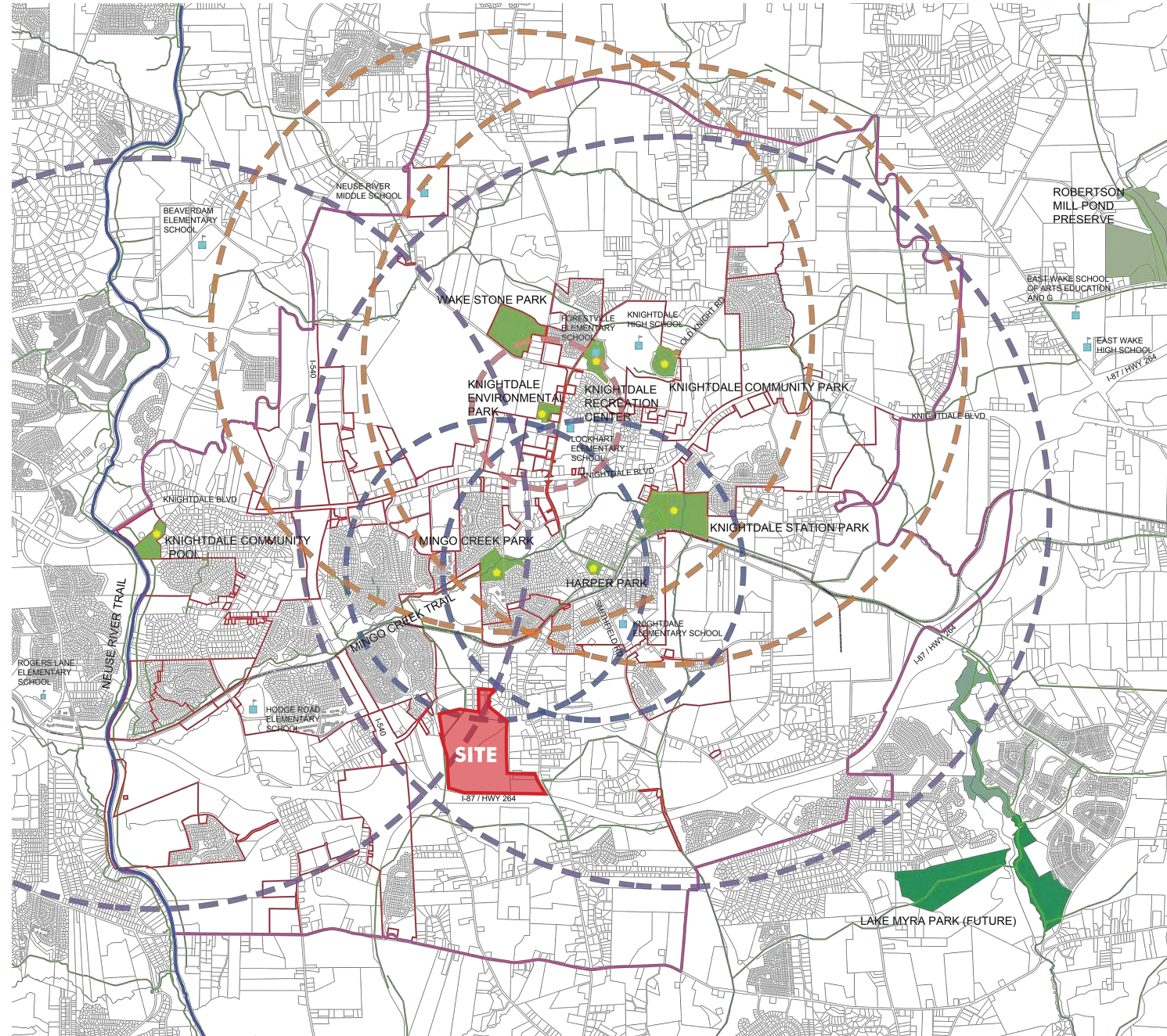


Figure 5: 2021 Town of Knightdale Comprehensive Parks and Rec. Master Plan

Parks and Recreation

Consistent with the **Comprehensive Parks and Recreation Master Plan**, Lyndon Oaks is within the two-and-a-half mile service area of Knightdale Station Park, and part of the neighborhood will be in the one-mile service area of Mingo Creek Park. When the Widewaters Parkway extension is completed to the north, Lyndon Oaks residents will be able to easily walk or bike to this park. The ample amenities, open space, and approximately ± 6.5 miles of trails and sidewalks within the planned community will also provide recreational opportunities for residents.

03

**EXISTING
CONDITIONS**

Vicinity Map

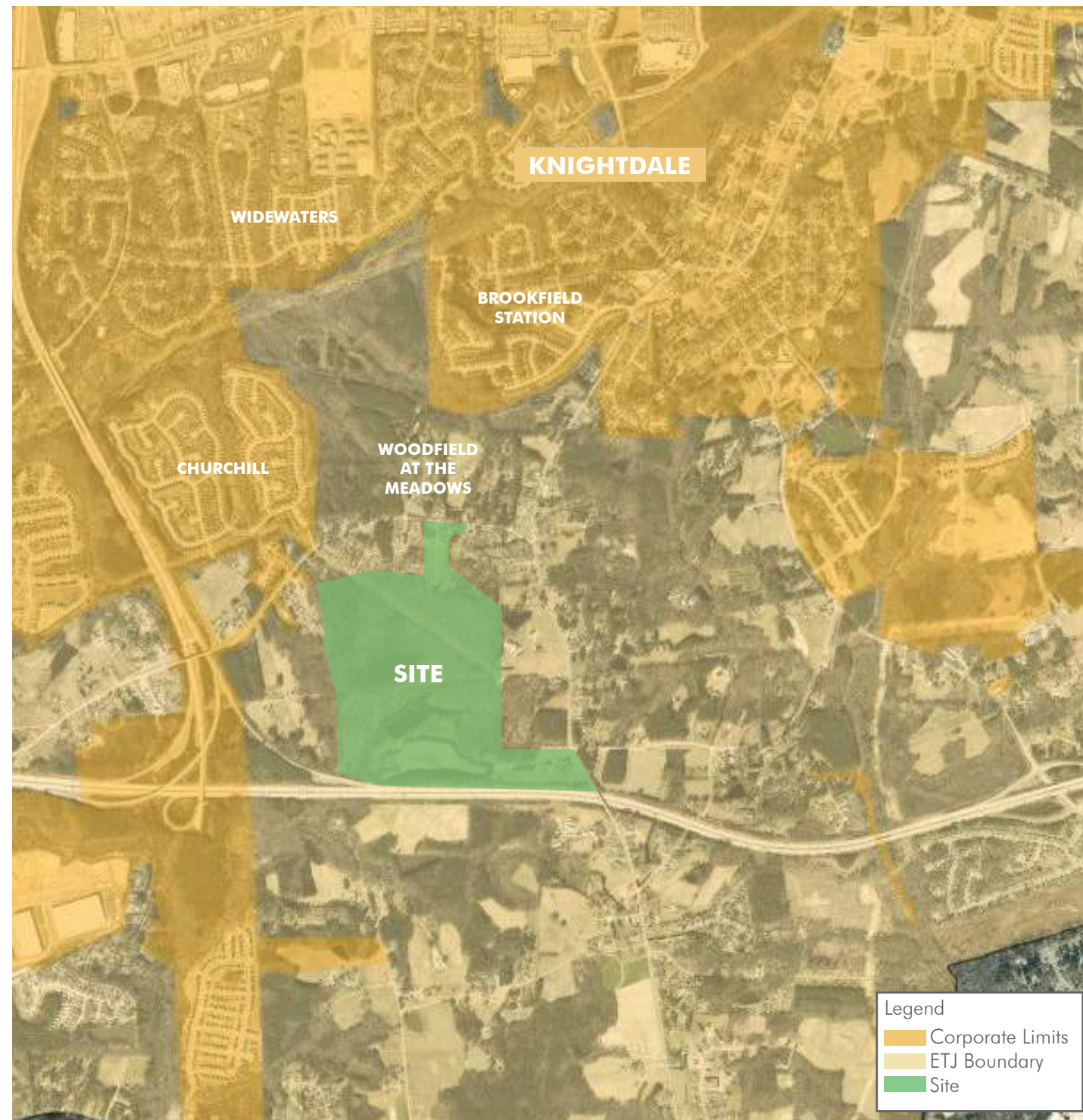


Figure 6: Vicinity Map (Not to Scale)

Vicinity Map

The site is within **Knightdale's ETJ**, and approximately 150 feet from the primary corporate limits at the northwest corner. Most of the site is undeveloped, except for a few larger homes on the portions of the site that front Old Faison Road and Bethlehem Road. The largest portion of the property is bisected by multiple streams and wetlands, and features a large natural pond. Two overhead utility easements also run from east to west through the property.

Uses in the vicinity are almost exclusively residential, as is the current Knightdale ETJ zoning. Residential uses vary in size and housing type. Immediately to the north on Bethlehem Road is a mobile home park. Very large residential lots lie to the east, and the parcel immediately to the west on Clifton Road is vacant. Churchill, an established Knightdale neighborhood, is located to the northwest of the site across Old Faison Road, and it is zoned GR8-PUD.

Current Zoning Map

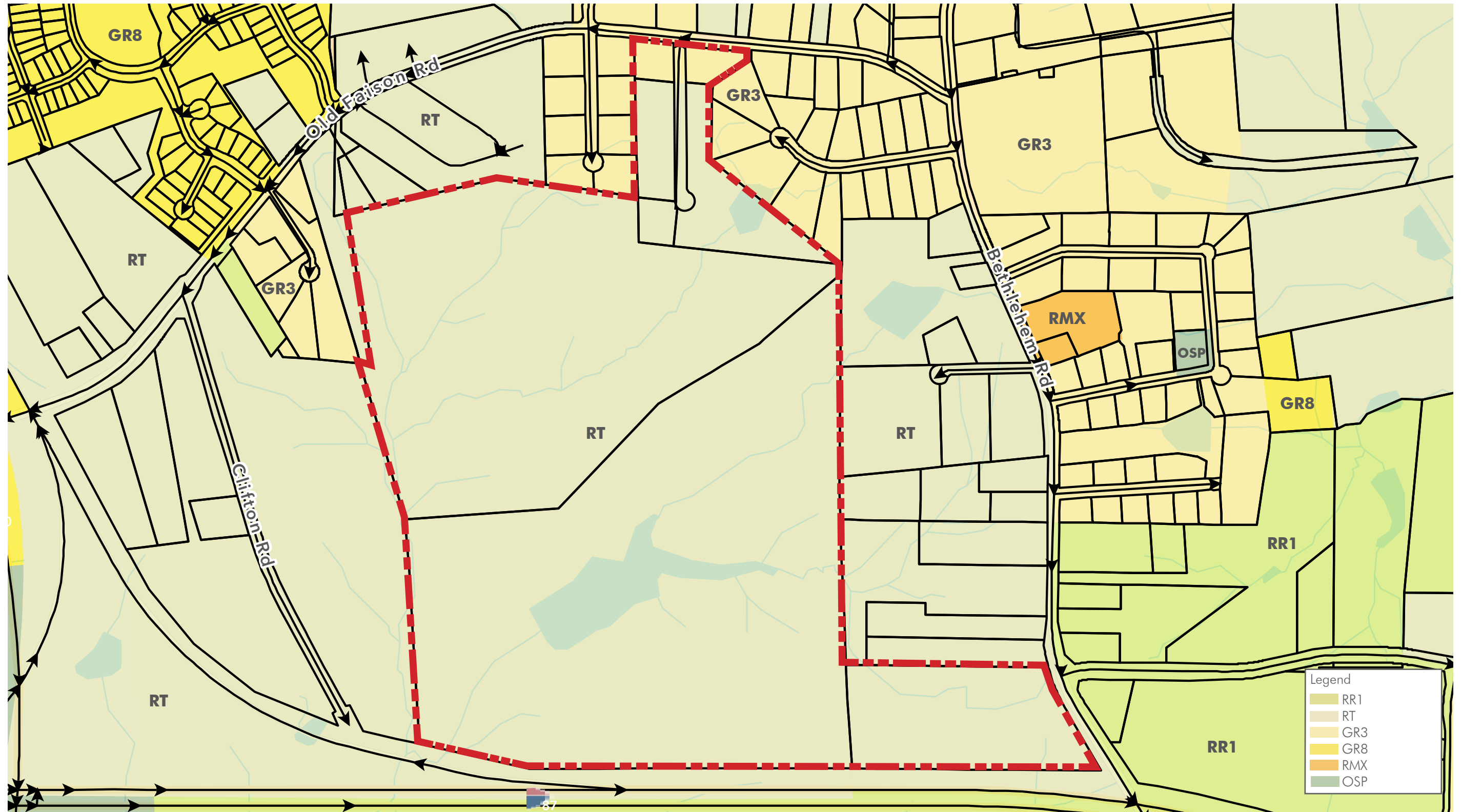


Figure 7: Current Zoning Map

EXISTING CONDITIONS

Topography & Boundary Map

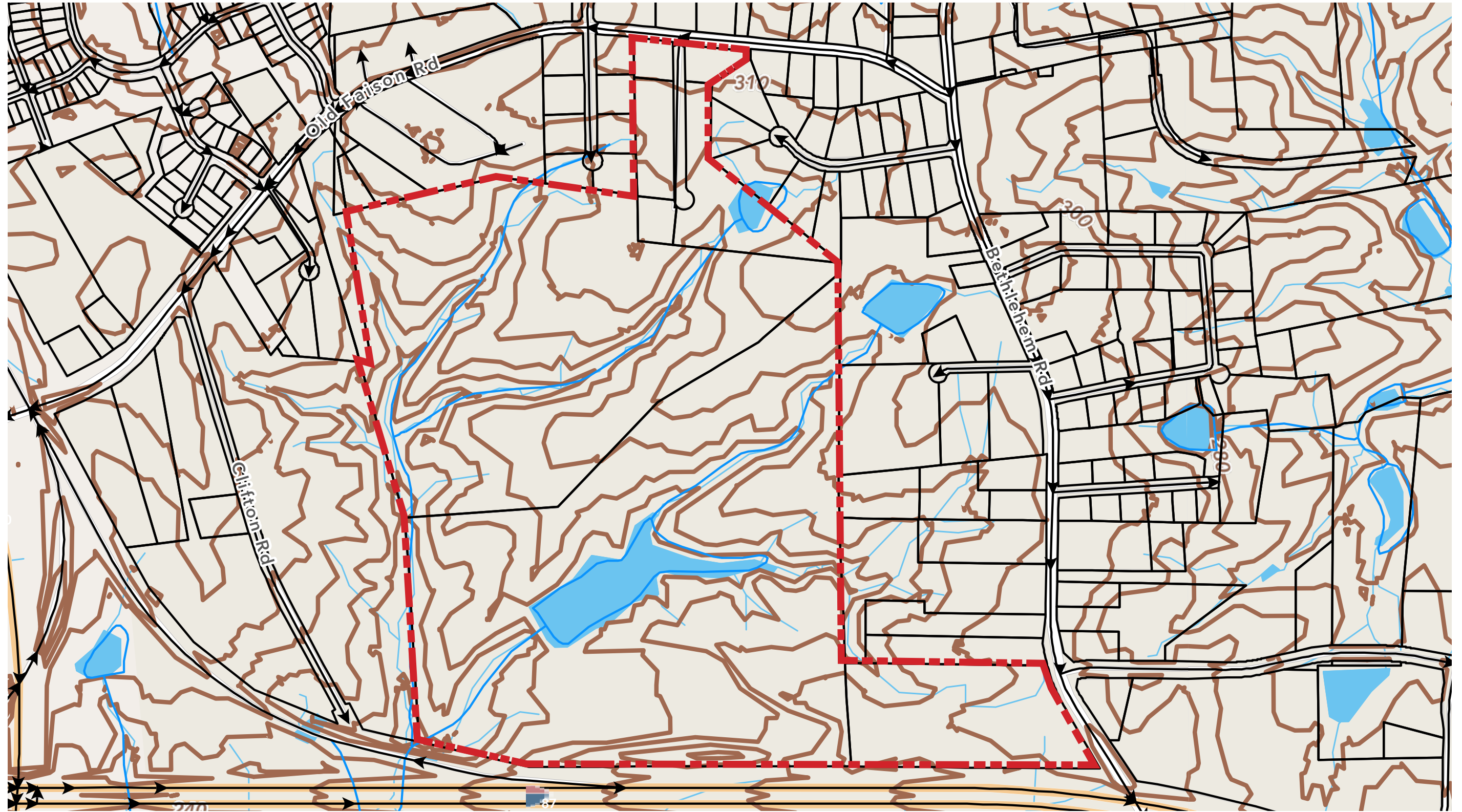


Figure 8: Topography Map

Soils Map

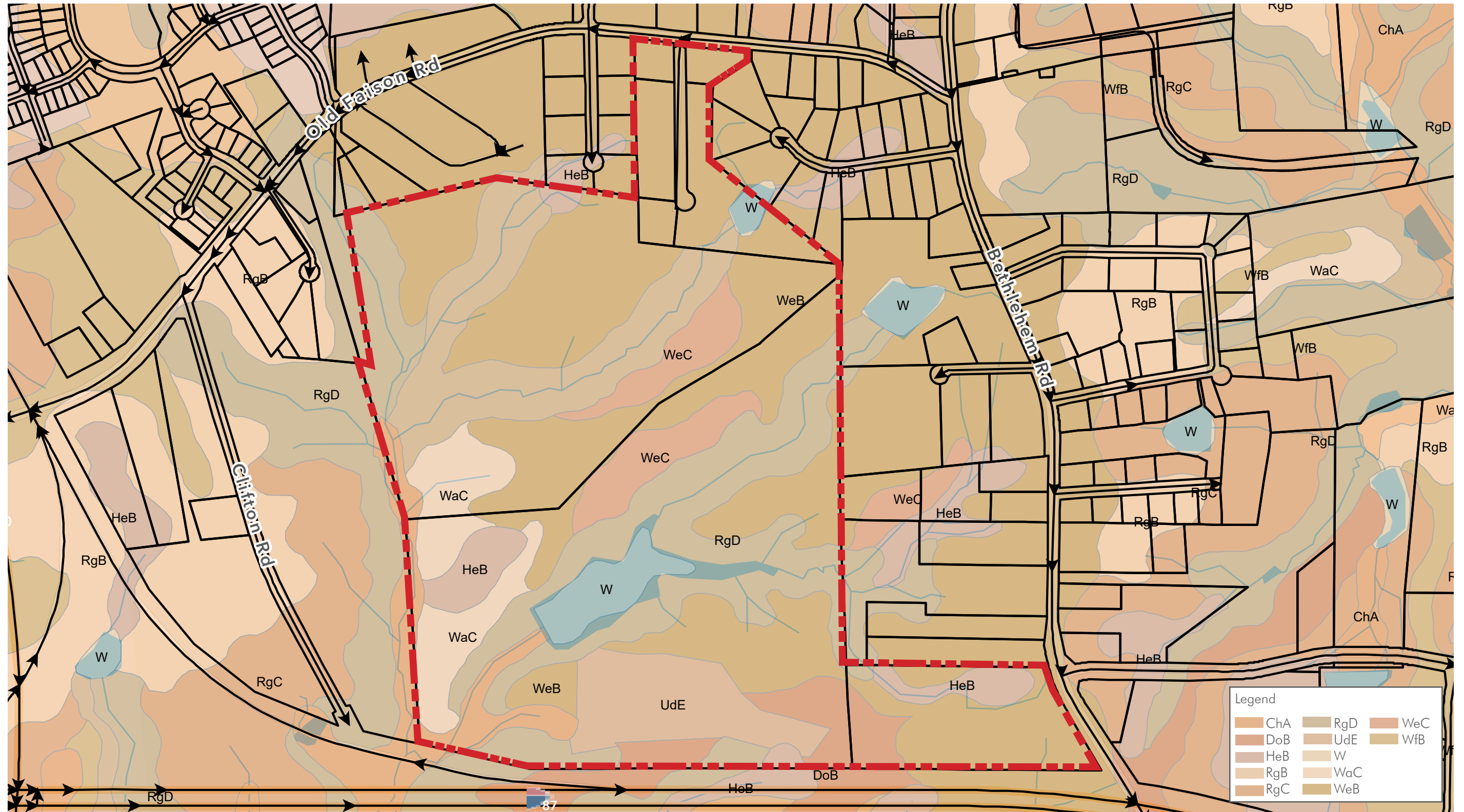
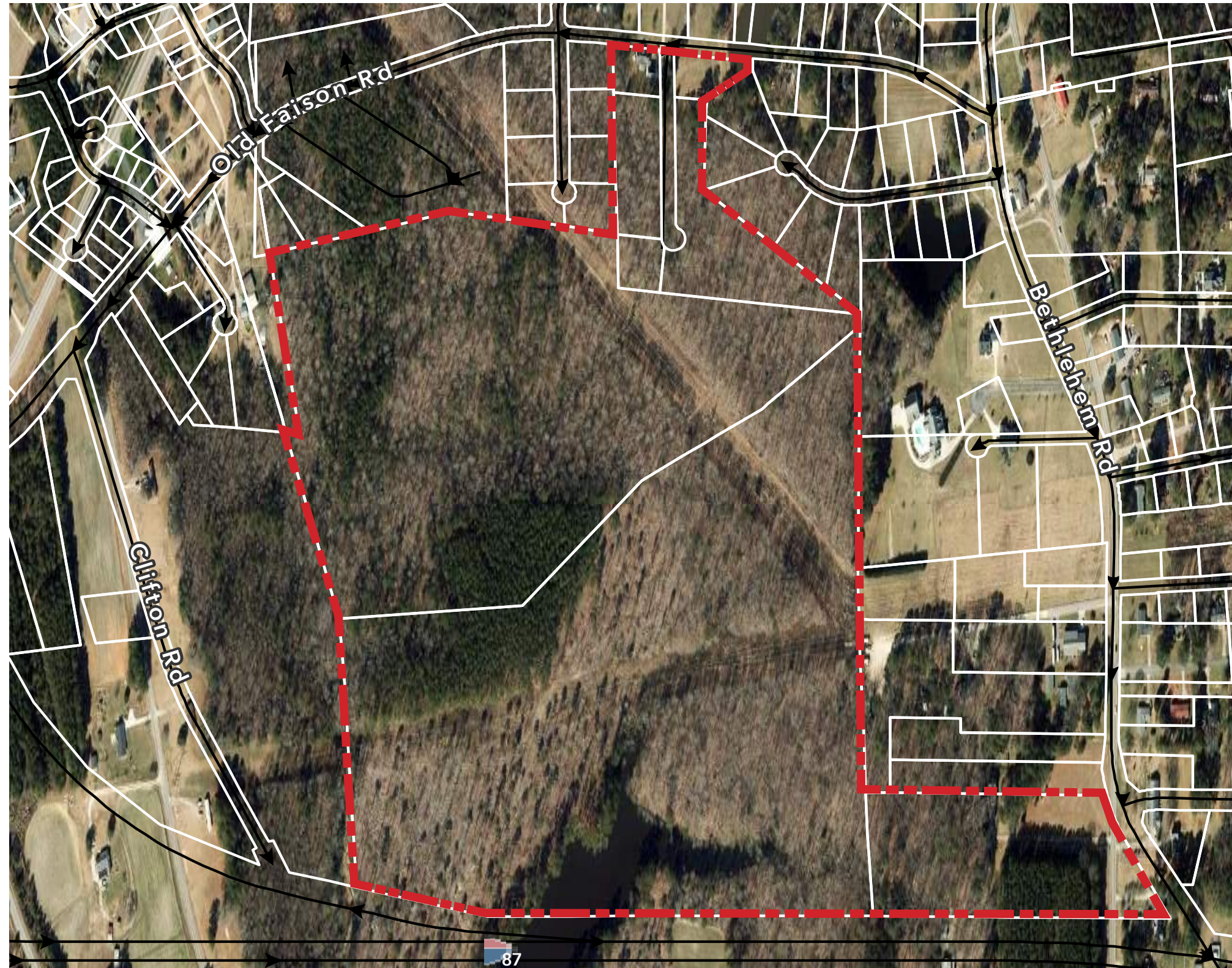


Figure 9: Soils Map



Vegetation Map



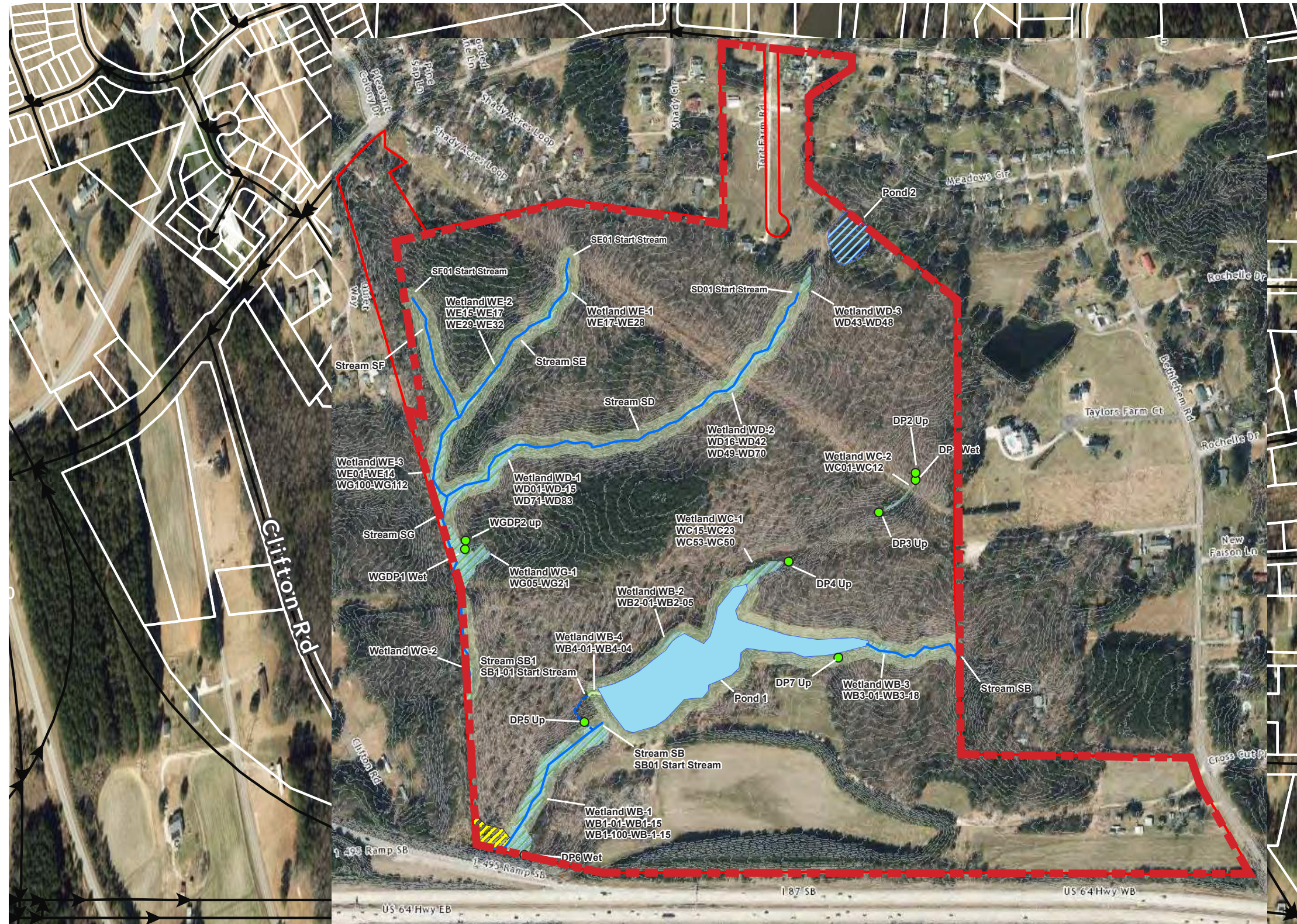
The site currently consists of mainly vacant land, two existing ponds, four perennial streams, two large electric easements, and several single family homes.

Figure 10: Vegetation Map

EXISTING CONDITIONS



Preliminary Wetland & Stream Map



Legend

- Project Study Area
- Too Thick Too Evaluate
- Z Contour
- Data Point
- 50-Foot Neuse River Riparian Stream Buffer
- Non-Buffered Intermittent Stream - Jurisdictional Waters of the US
- Perennial Stream - Jurisdictional Waters of the US; Subject to 50-Foot Neuse River Riparian Buffers
- Wetlands - Jurisdictional Waters of the US
- Non-Jurisdictional Pond - Pond Built In High Ground
- Pond - Jurisdictional Waters of the US; Subject to 50-Foot Neuse River Riparian Buffer

Detailed Delineation of Waters of the US
Suitable for Preliminary Planning Only

S&EC reserves the right to modify this map based on more fieldwork, and any other additional information. Approximations were mapped using topographic maps, air photos and ground truthing. If the site is going to be disturbed, S&EC's detailed delineation should be approved and permitted by the U.S. Army Corps of Engineers as required. If the user of this work desires an accurate map of the regulated features flagged by S&EC, they should retain a NC Registered Professional Land Surveyor to locate S&EC's flagging.

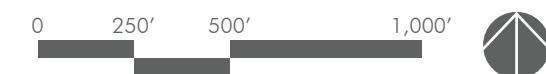
Figure 3

Drawn By:
David Gainey

Sage Ecological Services, Inc.
Office: 919-335-6757
Cell: 919-559-1537

NOTE: Location, shape and size of depicted features on the evaluated site are approximate and should be surveyed by a licensed NC surveyor for final site planning.

Figure 11: Wetland Sketch Map from Sage Ecological Services



04

**MASTER
PLAN**

Lyndon Oaks - Master Plan



SITE DATA

» ACRES:	± 171.88 AC TOTAL
» PINS:	1753-15-2116; 1743-95-3683; 1743-97-1085; 1743-98-6356; 1743-98-9384; 1753-07-1583; 1743-97-6575
» EXISTING ZONING:	RT
» PROPOSED ZONING:	RMX-PUD

DEVELOPMENT SUMMARY

COMMERCIAL: ± 15,000 SF

RESIDENTIAL:

FRONT LOADED (SINGLE FAM. DETACHED)	
60' LOTS	71 DU
70' LOTS	25 DU
80' LOTS	11 DU
REAR LOADED (SINGLE FAM. DETACHED)	
30' LOTS	71 DU
35' LOTS	53 DU
40' LOTS	49 DU
TOWNHOMES (REAR LOADED)	
20' UNITS	96 DU
22' UNITS	106 DU
24' DUPLEX UNITS	18 DU
TOTAL:	500 DU

REQ. PARKING (MINIMUM):

SINGLE FAMILY:	840 SPACES
TOWNHOMES:	660 SPACES
COMMERCIAL:	27 SPACES
• EV	2 SPACES
• BICYCLE	3 SPACES

- NOTES:
1. THIS PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE.
 2. THIS EXHIBIT WAS PREPARED USING AVAILABLE RECORD INFORMATION, ALTA SURVEY, GIS MAPS, RECORD PLANS, AERIAL IMAGERY, AND LAND RECORDS.
 3. THIS PLAN WILL BE SUBJECT TO REVIEW AND APPROVAL BY LOCAL AND STATE PLANNING AND ENGINEERING REVIEW AGENCIES.
 4. THE WORK OF THIS PRODUCT IS THE PROPERTY OF URBAN DESIGN PARTNERS, PLLC. NO USE OR REPRODUCTION OF THIS PLAN IS PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM URBAN DESIGN PARTNERS, PLLC.



Figure 12: Lyndon Oaks Master Plan

Lyndon Oaks - Distribution of Uses

USE AREAS				
USE TYPE	TYP. LOT SIZE (SF)	# OF LOTS	TOTAL AREA (SF)	ACRES
SINGLE FAMILY				
30' LOT	3,600	71	255,600	
35' LOT	4,200	53	222,600	
40' LOT	4,800	49	235,200	
60' LOT	7,200	71	511,200	
70' LOT	8,400	25	210,000	
80' LOT	9,600	11	105,600	
			1,540,200	35.4
DUPLEX / TOWNHOUSE				
20' TH	1,800	96	172,800	
22' TH	1,980	106	209,880	
24' DUPLEX	2,160	18	38,880	
			421,560	9.7
COMM/RETAIL*			25,689	0.6
DISTRIBUTION OF USES				
				ACRES
GROSS SITE AREA (PER SURVEY)				171.8
DEDICATED RECREATIONAL OPEN SPACE				20.1
PUBLIC R/W				28.3
NET AREA**				123.4
USE TYPE	PROP. (AC)	MIN.-MAX. DISTRIBUTION(%)	PROV. DIST. (%)	
SINGLE FAMILY	35.4	15%-60%	28.7%	
DUPLEX / TOWNHOUSE	9.7	10%-40%	7.8%	
COMMERCIAL / RETAIL	0.6	5%-20%	0.5%	

Lyndon Oaks is proposing a development density of ± 3 dwelling units per acre. The maximum density for RMX zoning is 18 dwelling units per acre. Density is calculated by dividing the amount of dwelling units by the total site area. Knightdale requires use distribution minimum and maximum percentages (based on use areas) for subdivisions with both residential and non residential uses (Section 11.1.B of the UDO). The distribution of uses is calculated by dividing the use areas by the net site area. In this PUD, we are proposing an allowance on the distribution of uses for both duplex/townhomes, and retail. See site allowances page for more information.

*Note: Retail is not required in Lyndon Oaks because there are no multi-family units being proposed.

**Note: Net area is calculated by removing the area of open space (required amount) and rights-of-way from the total site area. The Town of Knightdale UDO Sec. 11.1.B states that the required distribution of uses shall be calculated as the net development area which excludes street rights-of-way and dedicated open space.

*** Note: See page 43 for more information on Commercial Outparcel

05

A grayscale photograph of a young girl riding a bicycle on a dirt path. She is smiling and looking towards the camera. Behind her, a woman is also riding a bicycle, slightly out of focus. The background consists of dense foliage and trees. The overall scene is bright and natural.

INFRASTRUCTURE

Street Plan

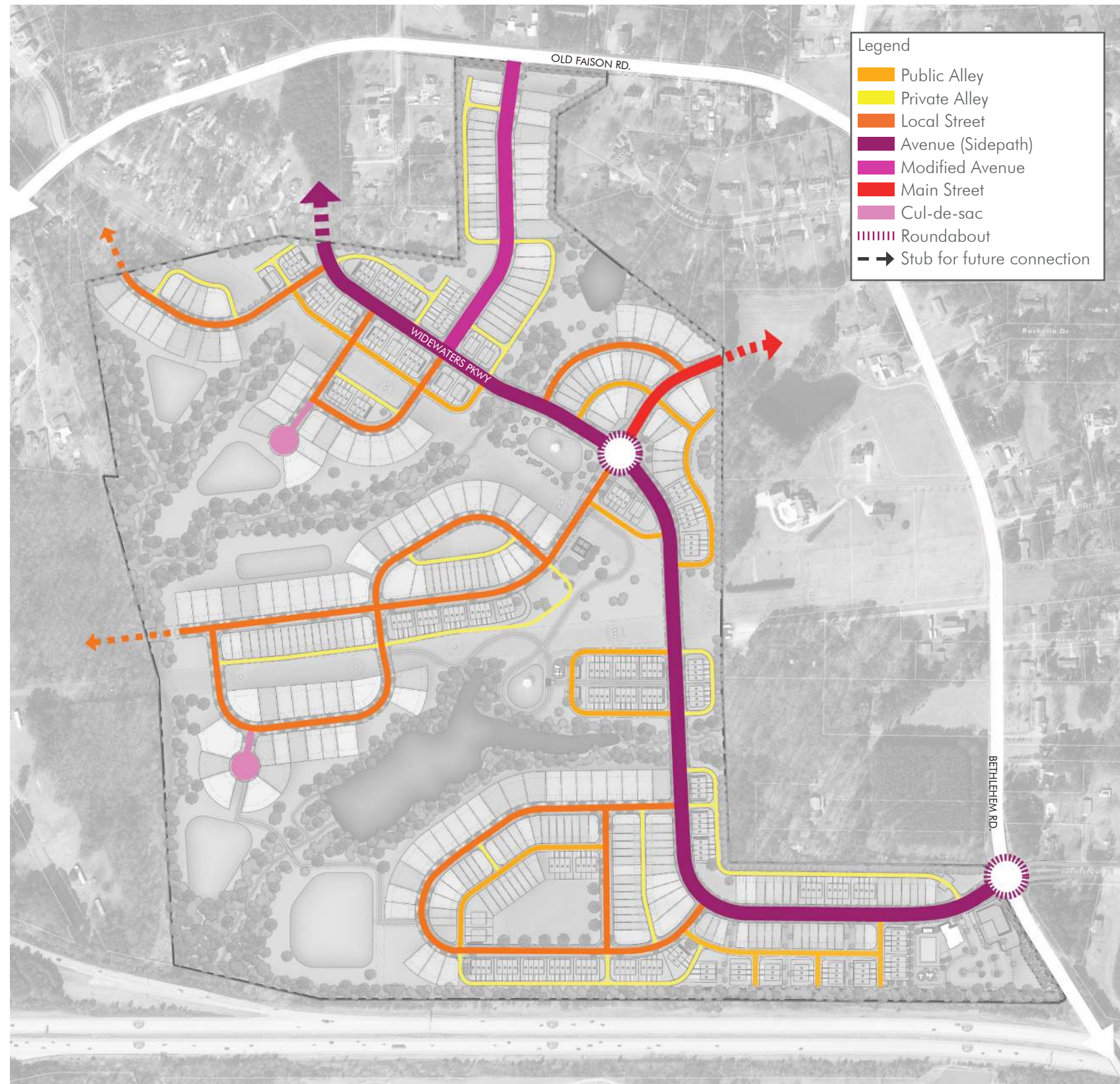


Figure 13: Vehicular Circulation

TOWN OF KNIGHTDALE STREET TYPES

PRIVATE ALLEY

- » RIGHT OF WAY: 20'
- » STREET WIDTH: 12' MIN. - 16' MAX.
- » DESIGN SPEED: 10 MPH

PUBLIC ALLEY

- » RIGHT OF WAY: 32'
- » STREET WIDTH: 20'
- » DESIGN SPEED: 10 MPH

LOCAL STREET

- » RIGHT OF WAY: 54'
- » STREET WIDTH: 27'
- » DESIGN SPEED: 20 - 25 MPH

MODIFIED AVENUE (3 LANE - SIDEPAATH & ON STREET PARKING)

- » RIGHT OF WAY: 75'
- » STREET WIDTH: 43' (BOC-BOC)
- » DESIGN SPEED: 30 - 35 MPH

CUL-DE-SAC

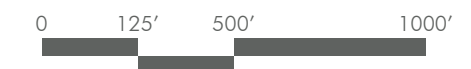
- » RIGHT OF WAY: 54'
- » STREET WIDTH: 27'
- » DESIGN SPEED: 20 - 25 MPH

MAIN STREET

- » RIGHT OF WAY: 70'
- » STREET WIDTH: 46'
- » DESIGN SPEED: 20 - 25 MPH

WIDEWATERS PARKWAY AVENUE (3 LANE - SIDEPAATHS)

- » RIGHT OF WAY: 75'
- » STREET WIDTH: 38'
- » DESIGN SPEED: 30 - 35 MPH



Connectivity Index



TOWN OF KNIGHTDALE CONNECTIVITY INDEX*

REQUIRED SCORE: 1.40 MIN.
 PROVIDED SCORE: 1.42

LINKS: 27 LINKS

NODES: 19 NODES

$$\frac{27 \text{ LINKS}}{19 \text{ NODES}} = 1.42 \text{ CONNECTIVITY INDEX SCORE}$$

*Connectivity index is calculated according to Town of Knightdale UDO Sec. 11.3.E.7
 ** Block lengths shown are the lengths of the links. Block lengths are all under 800 LF when alleys are included. See Master Plan ZMA-2-23.



Figure 14: Connectivity Index for Lyndon Oaks

Pedestrian Circulation Plan

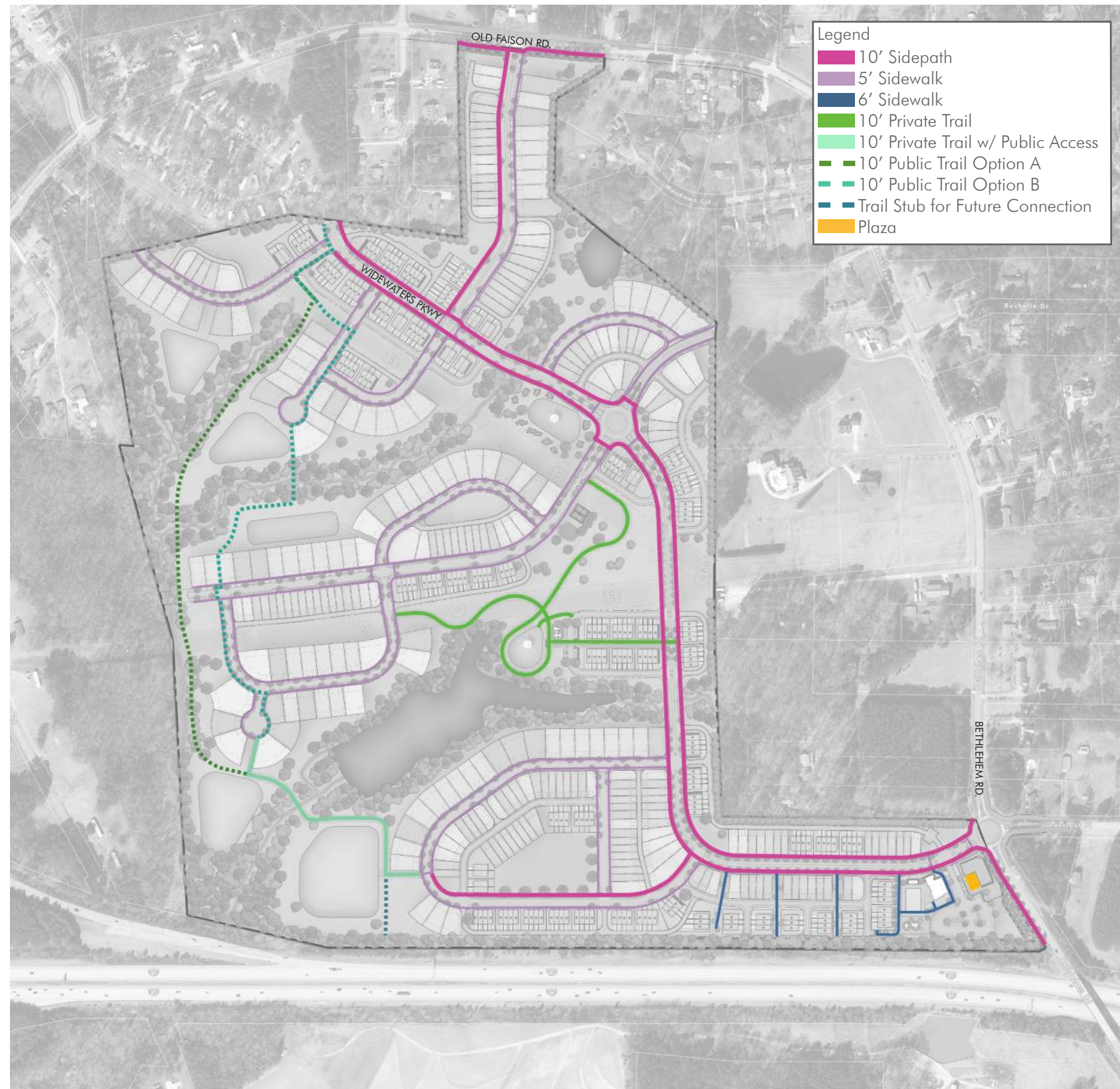


Figure 15: Pedestrian Network for Lyndon Oaks

PEDESTRIAN CIRCULATION

Lyndon Oaks is proposing a connected network of amenity spaces and dwelling units through the use of sidewalks, sidepaths, and greenway trails to create a walkable, pedestrian-friendly community as seen in Figure 15.

» The plan shown is preliminary and subject to change at the time of site plan.

SIDEWALK NETWORK

» WIDTH: 5'-6' wide

SIDE PATH

» WIDTH: 10' wide

GREENWAY TRAIL

» WIDTH: 10' pavement width (30' easement)

PLAZA

» PROVIDED SIZE: ± 2,000 SF

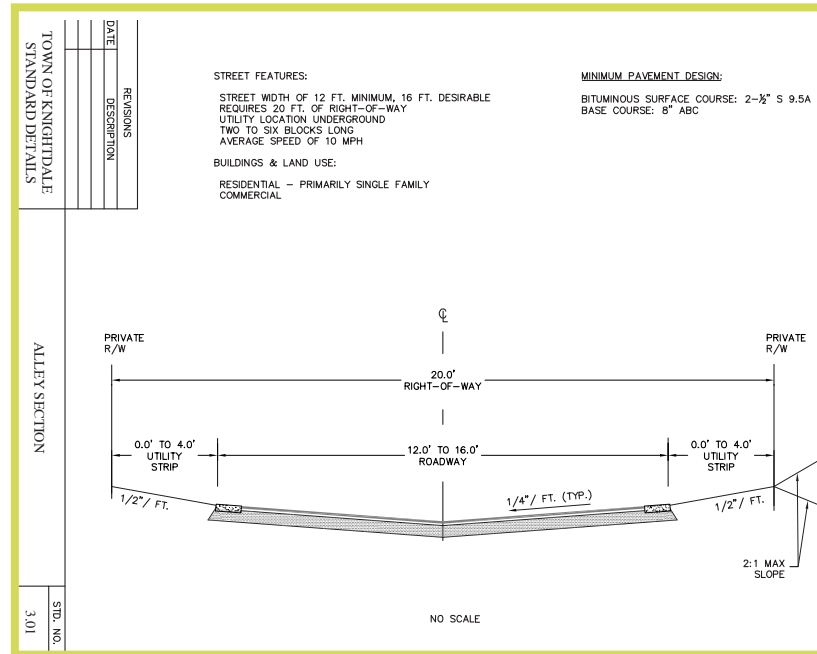
AMENITY SPACES

» See Open Space Plan

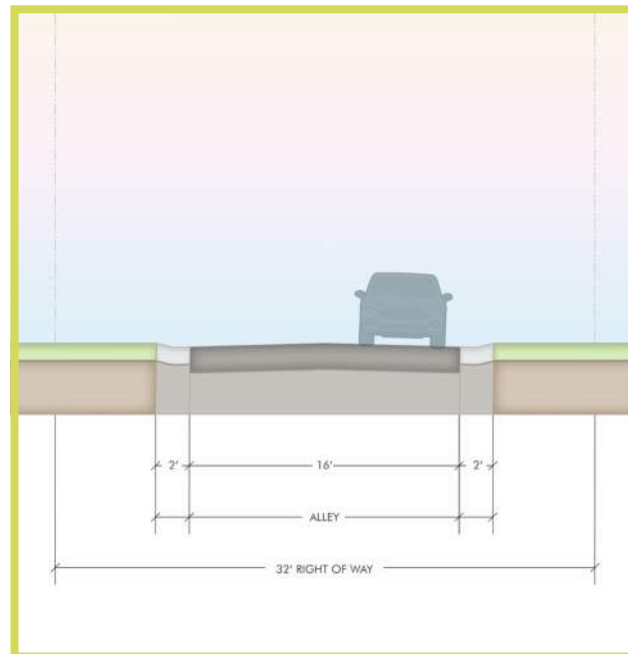
Easement for future pedestrian bridge over I-87: Prior to approval of construction drawings for the first phase of development, the applicant will offer a minimum of 100 square feet of site area as a non-exclusive, permanent easement area to be dedicated to the Town for construction, maintenance, and repair of footings for a future pedestrian bridge over I-87, together with such temporary construction easements as are necessary for completion of such work. If accepted by the Town Transportation Director, such easement area shall be shown on the construction drawings and subdivision plat and granted to the Town pursuant to a recorded Deed of Easement.



Street Sections



Public Alley

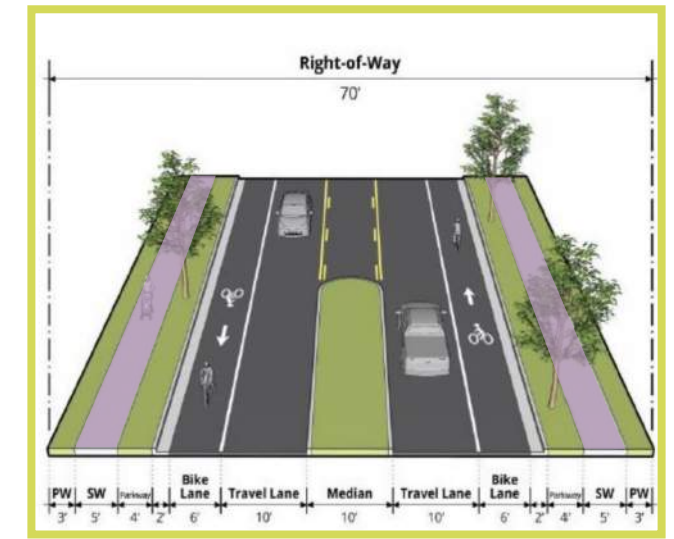


Private Alley

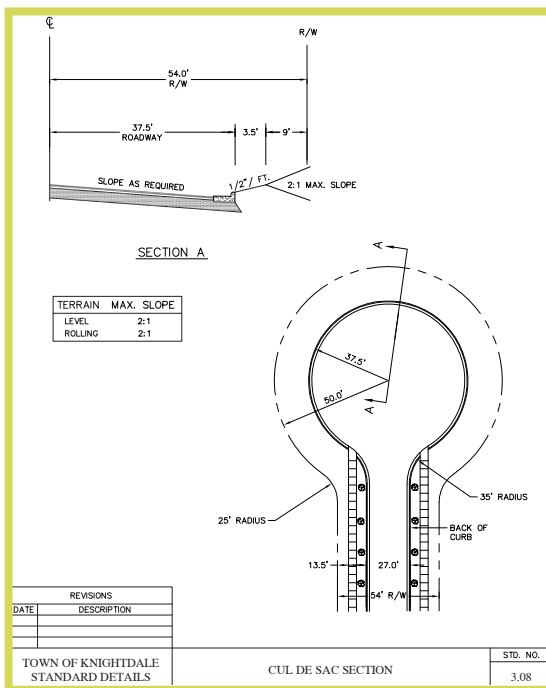
Not to Scale



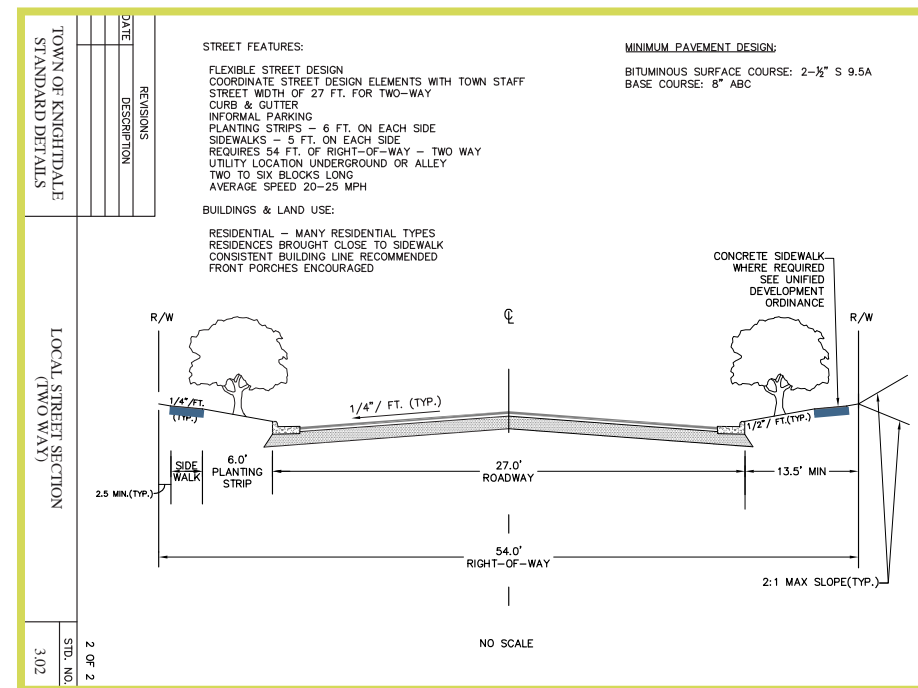
Avenue 3-lane
Multi-use path: 10' pavement width



Main Street
5' Sidewalk

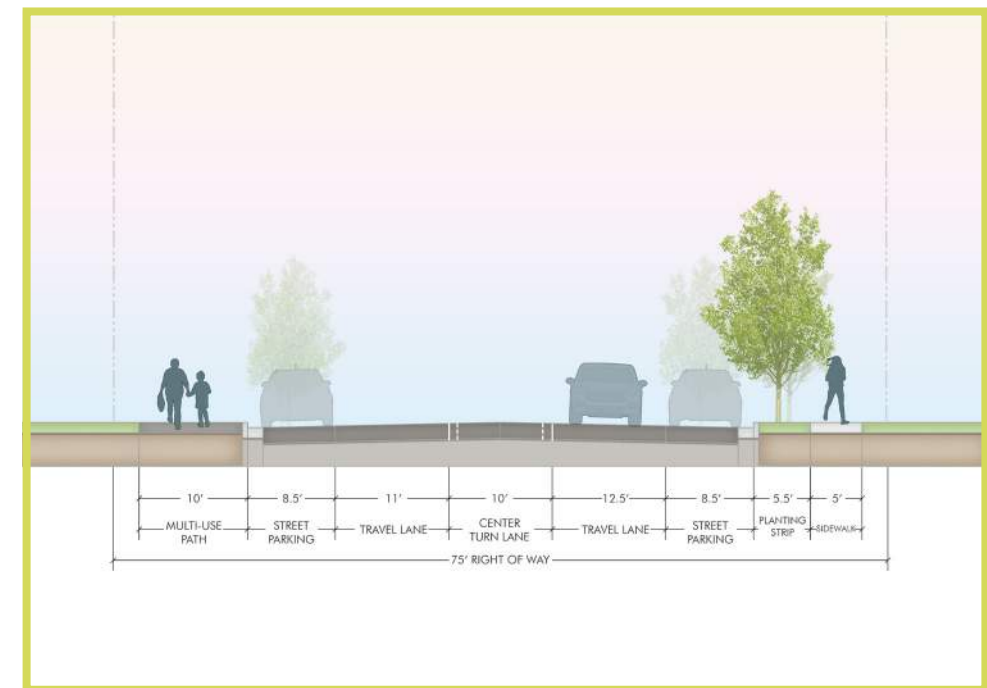


Cul-de-sac



Local Street* 6' Sidewalk

*Note: On-street parking utilized. See Site Development Allowances.

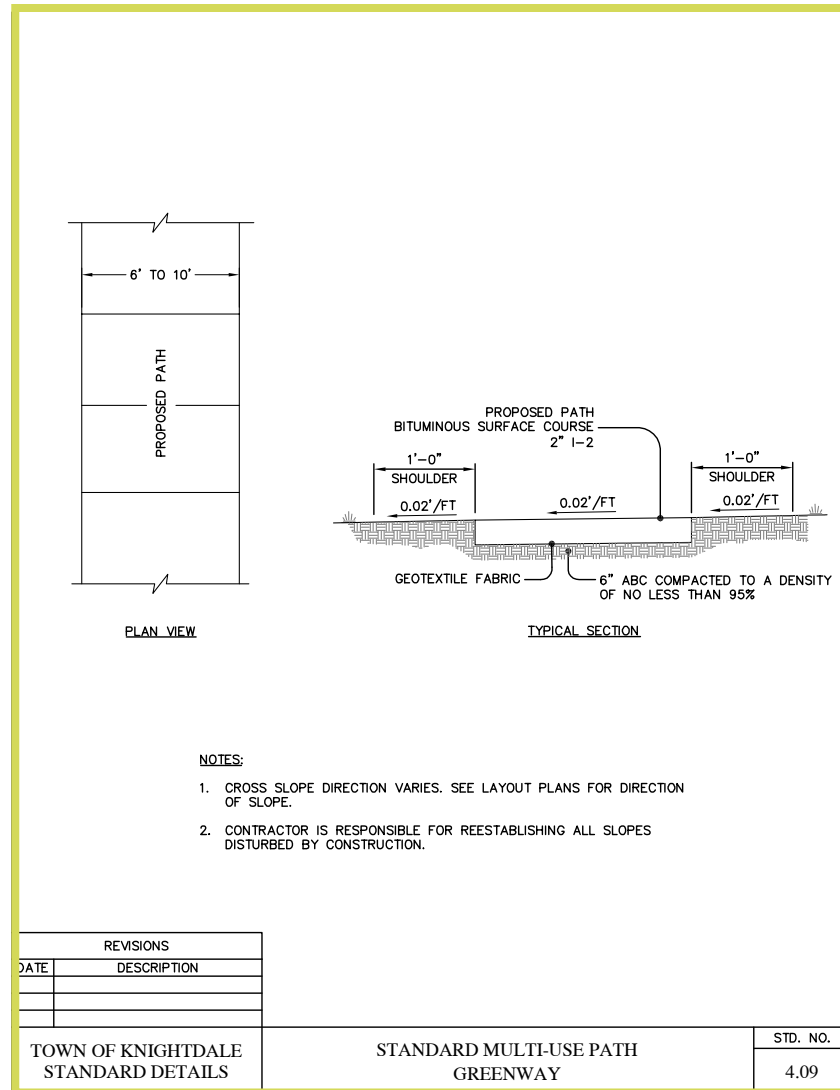


Modified Avenue w/ on Street Parking

Not to Scale

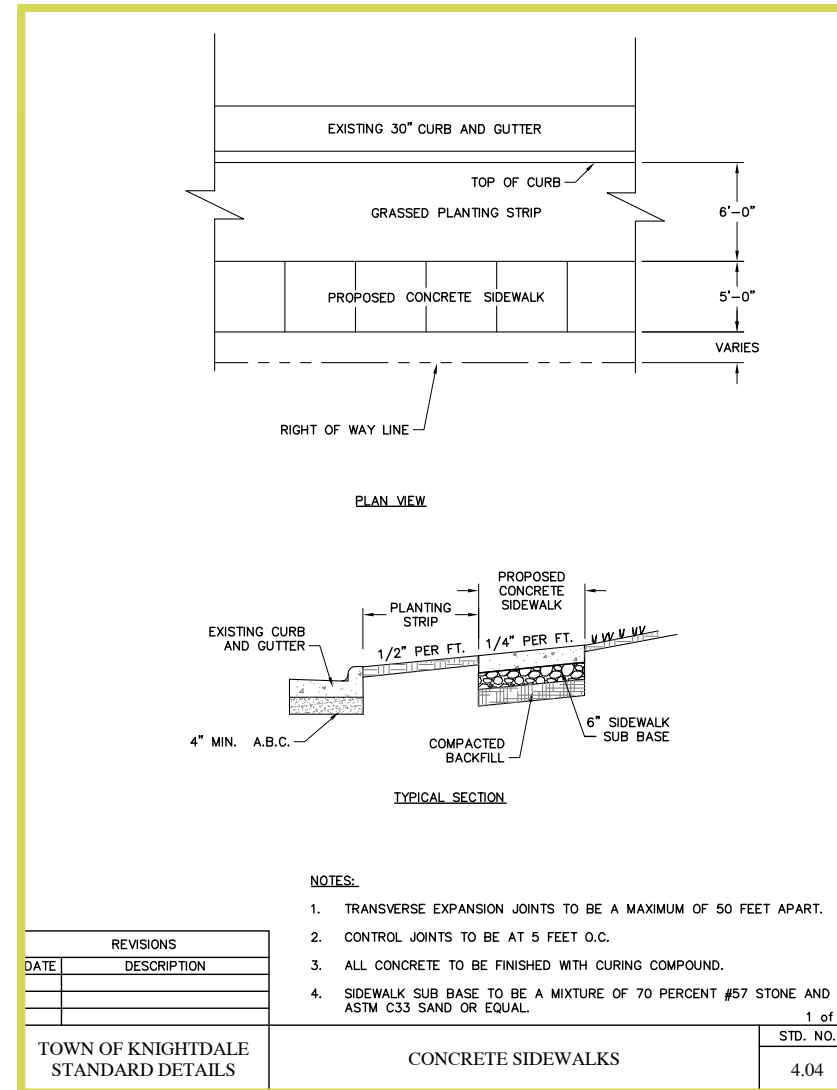
*Note: Staff is developing updated sections and details. Sections to be updated once updates received from Town of Knightdale

Additional Sections & Details

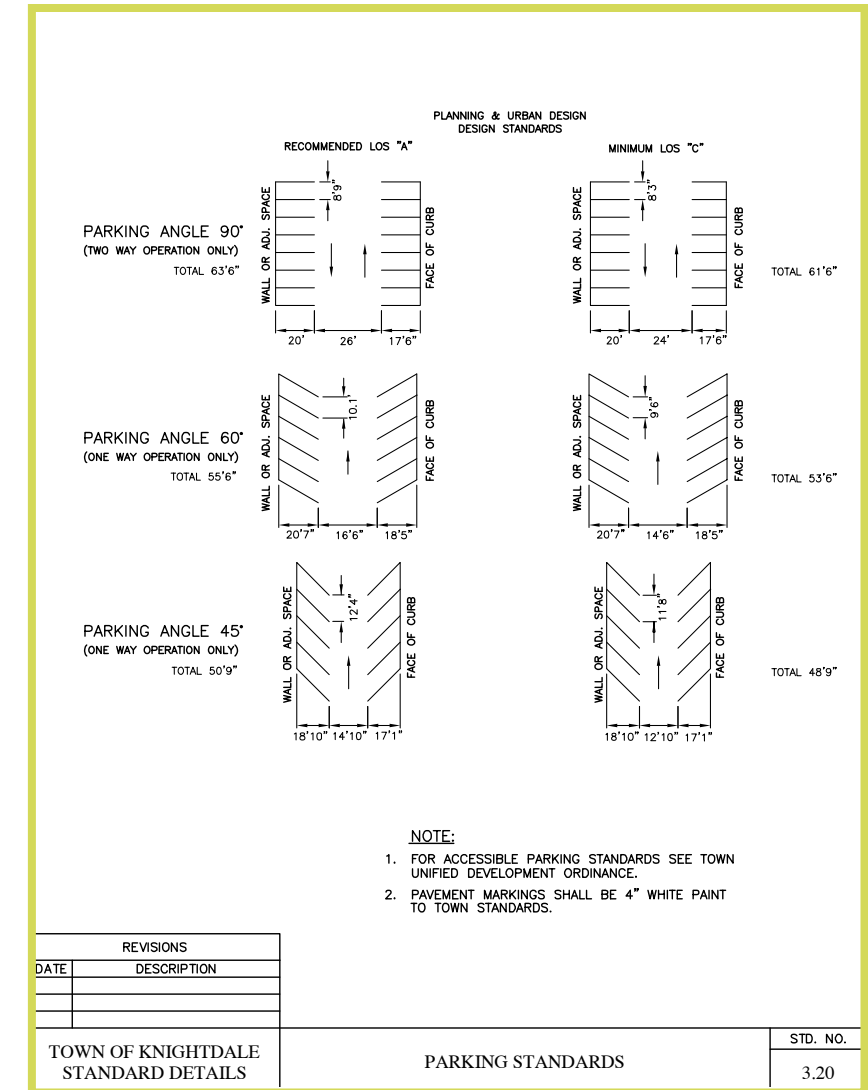


- Greenway: 10' pavement width (8' easement)
- Multi-use path*: 10' pavement width

*Note: The modified Avenue 3-Lane Divided Street section recommended by the Town has 5' sidewalks on one side, and a 10' multi-use path on the other.



- 5' Sidewalks*
- 6' Sidewalks**



*Note: Parking lots located at central amenity space, clubhouse amenity, and commercial outparcel. See Master Plan sheet.

*Note: Staff is developing updated sections and details. Sections to be updated once updates received from Town of Knightdale

Preliminary Stormwater Plan



Figure 16a: Stormwater Plan for Lyndon Oaks

STORMWATER

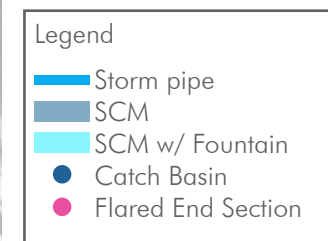
The property is located within the Neuse River Basin. The site consists of two existing ponds, and 4 perennial streams which create four unique drainage areas. Stormwater runoff within these areas will be controlled by multiple SCMs as seen in Figure 16a. The outfall is located at the southwest corner of the property. All stormwater shall be subject to the stormwater management requirements set forth in Chapter 9 of The Town of Knightdale Unified Development Ordinance. The stormwater treatment shall adhere to guidelines established in the NCDEQ Stormwater Design Manual.

The SCM in the center of the site and near the central roundabout will have a fountain installed to create a water amenity. See Figure 16b for an example of a pond fountain.

» The plan shown is preliminary and subject to change per direction from Knightdale staff.



Figure 16b: SCM fountain example



Preliminary Utility Plan



Figure 17: Utility Plan for Lyndon Oaks

WATER & SEWER

Lyndon Oaks will design all water and sewer to meet the standards of the City of Raleigh. Water allocation points will be met for the Major Subdivision through the use of many site elements that listed in the tables below. Precedent images of these elements can be found in the Site Programming section of this PUD.

» The plan shown is preliminary and subject to change per direction from City of Raleigh staff.

WATER ALLOCATION POLICY

Required amount: 50 pts.

MAJOR SUBDIVISION	
Major Subdivision (Base points)	15 pts.
Conservation of Natural Habitat	7 pts.
BMP Fountain	4 pts.
On Street Parking	4 pts.
Residential Architectural Standards	15 pts.
3,000' or more of 6-foot wide path	3 pts.
Resort Style Pool	2 pts.
Deck/Patio (2,000 SF minimum)	2 pts.
Clubhouse (No Meeting Space, bathrooms and changing rooms only)	3 pts.
IPEMA Certified Playground Equipment	2 pts.
TOTAL PROVIDED	57 pts.
TOTAL MIN. REQUIRED	50 pts.

SINGLE-USE RETAIL	
Single Use Retail Base Points	41 pts.
Nearby Intersection Improvements	5 pts.
Deck/Patio (2,000 SF minimum)	2 pts.
Construct Less Than 1,000 LF of 10' Wide Path	2 pts.
TOTAL PROVIDED	50 pts.
TOTAL MIN. REQUIRED	50 pts.

Note: Any combination of features listed above can be used to meet the 50 point minimum requirement. Single-Use Retail Water Allocation Policy points are preliminary and subject to change when the developer of the commercial outparcel submits a site plan.



06



AMENITIES

Site Programming



Lyndon Oaks will provide a variety of amenities to promote a healthy lifestyle, opportunities to enjoy the outdoors, and foster a sense of community. The site is proposing a network of ± 20 acres of open space and recreational amenities. The proposed amenities may include but are not limited to the following:

- 1 Greenway Trail**
 - » Public and private greenway trails will be located throughout Lyndon Oaks and will be 10' wide asphalt paths. In addition to the 10' multi-use paths along Widewaters Parkway, there are many pedestrian routes through the community.
- 2 Village Green**
 - » The Village Green will be a large open green space that can be used for a variety of activities by the community.
- 3 Playground**
 - » The IPEMA certified playground will be located in two open spaces to allow for greater access for families in Lyndon Oaks
- 4 Dog Park**
 - » The playground will be located in one of the active open space areas and will provide a place for residents to let their dogs run.
- 5 SCM Fountains**
 - » The pond fountains will amenitize the stormwater ponds located in both the center of the site, and near the central roundabout active open space.
- 6 Neighborhood Serving Commercial**
 - » The commercial outparcel will be low-intensity, and will meet the needs of nearby residents.
- 7 Pickleball Court**
 - » Two Pickleball courts will allow for additional active recreational opportunities for the neighborhood

Site Programming



1



2



3

1 Pocket Park

» Pocket parks will be located in several places throughout Lyndon Oaks and may include benches, open lawn, landscaping, fire pits, and other recreational opportunities.

2 Bench Swing Park

» A bench Swing Park will be located in one of the open spaces for the community and will provide a fun seating alternative for people of all ages.

3 Hammock Park

» A Hammock Park will be located in Lyndon Oaks to add an additional type of open space that will allow residents of all ages to relax and unwind.



4



5



6

4 Pollinator Garden

» A pollinator garden will be provided around the SCM nearest to the central roundabout to create a habitat for pollinators in the community.

5 Overlook with Gazebo

» The central pond will have an overlook plaza and gazebo to allow for a community gathering focal point.

6 Benches

» Benches will be provided in open spaces around Lyndon Oaks to provide spaces for the community to relax & rest.



7



6



7

7 Public Display of Art

» An art installation and roadside landscaping may be provided near the central roundabout for enjoyment from both vehicular and pedestrian users of the site.

Open Space Plan



Figure 18: Open Space Plan for Lyndon Oaks

Lyndon Oaks provides both active and passive recreation areas throughout the development. All recreation spaces are located in places that are accessible to all residents of the community. The network of Greenway Trails and the 10' Side path** along Widewaters Parkway create additional connection opportunities between all of the provided open spaces.

Active open space areas may include but are not limited to the following uses: A Clubhouse, Resort-style Pool, (2) Playgrounds, (2) Pickleball courts, a Bench Swing Park, a Hammock Park, Greenway Trails, and additional pocket parks.

Passive open space areas may include but are not limited to the following uses: Village Green, Pollinator Gardens, Public Display of Art, Paths & Benches, Private Greenway Trails, Open Lawns and entry landscaping.

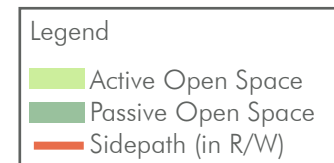
Please see Site programming page for example imagery.

RECREATIONAL OPEN SPACE STANDARDS*

PROXIMITY ZONE:	All outside 1/2 mile distance
TOTAL BEDS:	1,500 beds
» SINGLE FAM. DETACHED:	(280 DU) x (3 beds) = 840 beds
» TOWNHOMES/DUPLEX:	(220 DU) x (3 beds) = 660 beds
DEDICATION RATE:	520 sf
» SINGLE FAM. DETACHED:	(840 beds) x (520 sf) = 436,800 sf
» TOWNHOMES/DUPLEX:	(660 beds) x (520 sf) = 343,200 sf
REQ. OPEN SPACE:	± 780,000 sf (17.90 ac)
» REQ. ACTIVE SPACE (50%):	± 8.95 ac (50% of req.)
» REQ. PASSIVE SPACE (50%):	± 8.95 ac (50% of req.)
PROP. OPEN SPACE:	± 20.10 ac total
» PROP. ACTIVE SPACE:	± 9.00 ac (0.05 ac over req.)
» PROP. PASSIVE SPACE:	± 11.10 ac (2.15 ac over req.)

* Open space is calculated according to Town of Knightdale UDO Sec. 11.2.c.

**According to Town of Knightdale UDO Sec. 11.2.A, Recreational Open Space can not include areas covered by buildings, structures, parking lots, dry ponds, required setbacks, or public R/W.



07



LANDSCAPE

Preliminary Landscape Plan



Figure 19: Landscape Plan for Lyndon Oaks

Lyndon Oaks will design all landscape areas according to the Knightdale Unified Development Ordinance. The site is surrounded by a 20' Type B Buffer yard as required in Section 7.4.1.1. of the UDO. The preliminary plan only shows typical buffer plantings and street tree plantings as seen in Figure 19. The riparian buffer will consist of tree preservation to maintain the natural qualities of the site.

- » The plan shown is preliminary and subject to change per direction from Town of Knightdale staff.
- » More detailed landscape plans with planting details and species list will be provided at the time of site plan and are subject to review from Town of Knightdale Staff.
- » Location and amounts of trees are conceptual in nature and subject to change.

Landscape Buffers

The perimeter Lyndon Oaks contains a Type B Buffer Yard per Town of Knightdale Unified Development Ordinance Chapter 7. Figure 20 shows a typical 100' section of the Type B buffer for Lyndon Oaks.

TYPE B BUFFER YARD STANDARDS (UDO Sec. 7.4.1.3)

Minimum width: 20'

Minimum landscape height/opacity:

- » Ground to 6' Semi-opaque screen
- » 6' - 30' Intermittent visual obstruction

Maximum landscape horizontal openings:

- » 5' Semi-opaque screen
- » 20' Intermittent visual obstruction

Required plantings:

- » Canopy Trees 3 per 100 linear feet
- » Understory Trees 5 per 100 linear feet
- » Shrubs 20 per 100 linear feet
- » Evergreen vs. deciduous
 - Canopy trees: A minimum of 40% / maximum 60% must be evergreen
 - Understory trees: A minimum of 40% / maximum 60% must be evergreen
 - Shrubs: At least 80% must be evergreen

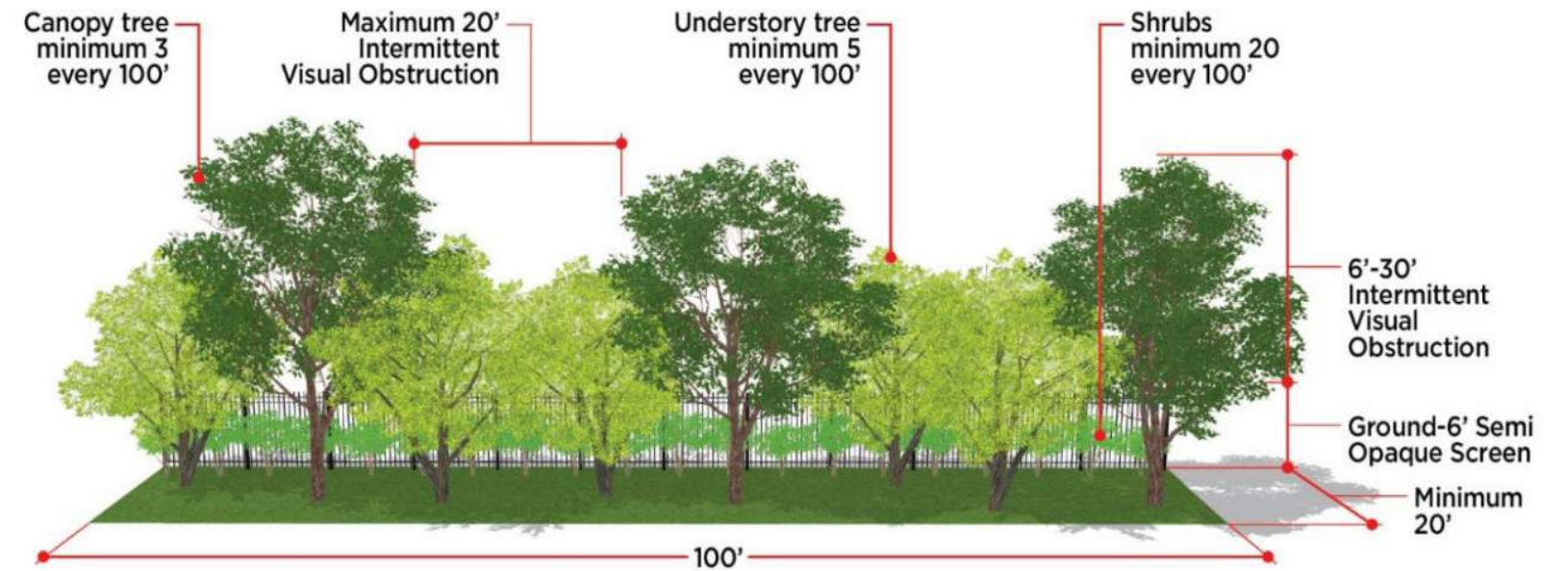


Figure 20: Type B Buffer

The southern property line of Lyndon Oaks contains a Type D Buffer Yard per Town of Knightdale Unified Development Ordinance Chapter 7. Figure 21 shows a typical 100' section of the Type D buffer for Lyndon Oaks.

TYPE D BUFFER YARD STANDARDS (UDO Sec. 7.4.1.5)

Minimum width: 50'

Minimum landscape height/opacity:

- » Ground to 30' Opaque Screen
- » Ground to 6' Earthen Berm

Maximum landscape horizontal openings:

- » None permitted

Required plantings:

- » Canopy Trees 5 per 100 linear feet
- » Understory Trees 8 per 100 linear feet
- » Shrubs 35 per 100 linear feet
- » Evergreen vs. deciduous
 - Canopy trees: A minimum of 40% / maximum 60% must be evergreen
 - Understory trees: A minimum of 40% / maximum 60% must be evergreen
 - Shrubs: At least 80% must be evergreen

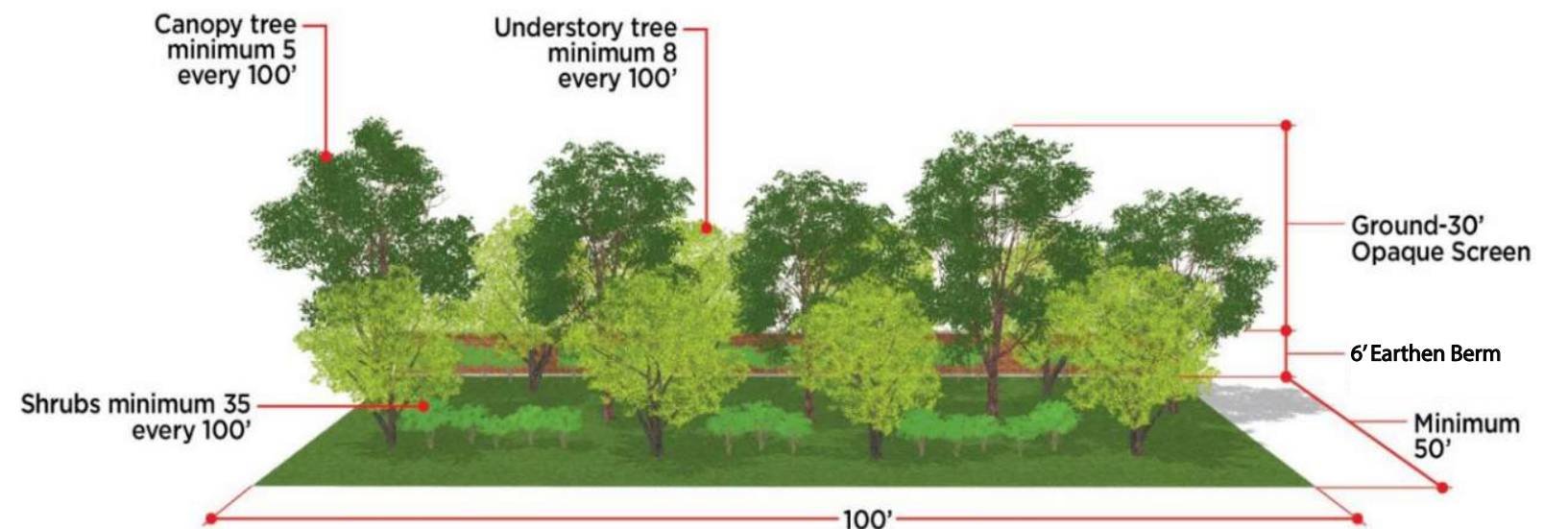


Figure 21: Type D Buffer

08



**ARCHITECTURAL
DESIGN STANDARDS**

Architectural Elevations - Single Family Detached



Note: Elevations shown are conceptual in nature and subject to change. See page 42 for list of architectural standards.

ARCHITECTURAL DESIGN STANDARDS

Architectural Elevations - Single Family Attached (Townhomes)



Note: Elevations shown are conceptual in nature and subject to change. See page 42 for list of architectural standards.

Architectural Design Standards

1. Single-family 2 story homes built on lots at least 60-feet wide will have a minimum heated area of 1,900 square feet.
2. Single-family 1 or 1.5 story homes built on lots at least 60-feet wide will have a minimum heated area of 1,600 square feet.
3. Single-family homes built on lots greater than 35' and less than 60-feet wide will have a minimum heated area of 1,500 square feet.
4. All single-family homes with crawl spaces will be wrapped in brick or stone on all sides.
5. Foundation for all single-family detached homes shall be raised to a minimum height of 14 inches above finished yard grade in the front and shall contain a minimum of 2 stair risers up to the front porch.
6. All detached and attached single-family homes will have a combination of two or more of the following materials on the front facade (not including foundation): stone, brick, lap siding, fiber cement siding, shakes or board and batten unless the home is only stone or brick. The exterior siding material on the side and rear facades will be fiber cement. When two materials are used, the materials shall be different but complimentary colors. Vinyl may be used only for window trim, shutters, soffits, fascia, and/or corner boards.
7. All detached single-family homes will have a front porch with a minimum depth of 5 feet, which may encroach up to 6 feet in the front setback. Front porch posts will be at least 6"x6".
8. Main roof pitches (excluding porches) fronting the street for 2-story homes will be at least 6:12.
9. Main roof pitches (excluding porches) fronting the street for 1-story and 1.5-story homes will be at least 6:12 unless an alternate is approved by staff.
10. Garages will not protrude more than 6 feet from the front porch stoop, and all garage doors shall contain window inserts.
11. For every 30 feet (or fraction) of continuous side elevation (calculated on a per floor basis), there shall be one window or door added to the side elevations. Any siding break on the side of the home such as a fireplace, side porch, wall offsets could be used as an alternative to windows.
12. There shall be a minimum 12" overhang on every gable end for every single-family detached home.
13. Anti-monotony provisions: in order to promote variation in home appearances, no attached or detached home located adjacent or across the street shall have the same elevation and color combination.

Development Conditions - Commercial Outparcel



1. Use Standards: The proposed use standards will restrict certain uses otherwise permitted in the RMX zoning district. This will encourage more neighborhood oriented and small businesses to better serve residents.
 - » Businesses with operating hours of 24 hours per day are not permitted.
 - » Businesses that sell cigarettes, cigars, tobacco products, electronic cigarettes (vape), and CBD are not permitted.
 - » The following principal uses shall be the only allowable uses, and shall be permitted by-right:
 - Child/Adult Day Care Center (6 or more people)
 - Personal Services
 - Professional Services
 - Medical Services
 - Neighborhood Retail/Restaurant (2,000 sf or less)
 - Allowed RMX district accessory uses
 - Bar/Tavern/Microbrewery
 - Studio (Arts, dance, martial arts, music)
2. Developer shall stub potable water, sanitary sewer, and storm drainage to commercial outparcel prior to plat recordation, or provide a surety for completion thereof.
3. Developer shall construct curb, gutter, and sidewalk improvements along commercial outparcel prior to plat recordation, or provide a surety for completion thereof.
4. The commercial outparcel shall not be owned by the Homeowners Association.
5. Developer is responsible for maintaining the commercial outparcel in a manner consistent with Lyndon Oaks Homeowners Association properties, until the commercial property is developed and/or sold by developer.
6. A 10' landscape buffer shall be planted adjacent to residential lots prior to plat recordation, or provide a surety for completion thereof.
7. Parking lots shall contain vegetative screening in accordance with Knightdale's UDO.
8. Buildings shall be permitted up to two (2) stories.
9. Buildings shall meet the design standards for commercial buildings in UDO Sec. 6.9.

09



**SITE DEVELOPMENT
ALLOWANCES**

Lyndon Oaks - Site Development Allowances

The proposed zoning for Lyndon Oaks is RMX-PUD. Lyndon Oaks meets all standards set forth in the Town of Knightdale's Unified Development Ordinance with the exception of a few conditions. Due to primarily environmental and other site constraints, and in order to provide more landscape conservation and beneficial common open space for an overall better-integrated design, the applicant is requesting the following site development allowances:

Bulk and Dimensional Standards (UDO Sec. 3.4)

- Lot width (street loaded)
 - » In the RMX base district, the minimum required lot width for a street loaded lot is 80', and the minimum lot width for an alley-loaded lot is 30'.
 - » In order to create a variety of housing types and price-points, and a more walkable community, we are proposing single family detached front-loaded homes with lot widths of less than 80', and single family attached alley-loaded homes with lot widths of less than 30'.
- Driveway length
 - » In the RMX base district, the minimum required driveway length is 35' for a residential lot.
 - » For front-loaded residential types, we are proposing a 20' minimum driveway length and a 20' minimum driveway length for rear-loaded. This is mitigated by ample on-street guest parking, and the proposed driveway lengths allow for homeowners or guests to park a car in the driveways without blocking pedestrian facilities.

Standard Street Sections (Town of Knightdale Standard Details)

- Local Street Section - Two Way
 - » The standard detail calls for a 54.0' right-of-way, and allows for informal parking.
 - » Lyndon Oaks is proposing on-street parking along sections of road where there are no residential driveways. On street parking will allow for guest parking near units. We are not providing on-street parking on streets with front-loaded units to avoid any potential site triangle conflicts as residents exit their driveways.

Proposed Distribution (UDO Sec. 11.1.B)

- Lyndon Oaks is providing residential uses and nonresidential space, and thus has a required distribution of uses listed in Knightdale's UDO Sec. 11.1.B. Lyndon Oaks will meet the required distribution ranges for single-family homes, but will not be providing a multifamily component, and the commercial component, which is not at a planned Neighborhood Node and will likely be small-scale neighborhood-serving commercial or office use(s), is smaller than the minimum 5%. The proposed distribution range for townhomes is also smaller than the minimum of 5%. The proposed use distribution is as follows:

» Dwelling - Single Family	28.6%
» Dwelling - Townhouse	7.8%
» Retail/Restaurant/Entertainment/Office/Service	0.5%

Residential Clearing & Grading (UDO Sec. 9.3.B)

- Lyndon Oaks will require a site development allowance pertaining to Residential Clearing and Grading as specified in Section 9.3.B of the UDO in order to provide more efficient utility infrastructure and effective stormwater design.
 - » Currently, mass grading is prohibited on lots 60' in width or greater.
 - » Lyndon Oaks requests to mass grade 60' and 70' single-family lots (an additional 96 lots, 19.2% of the lots being developed). Any lot 80' in width or greater shall not be mass graded.

Street Section for Neighborhood Streets (UDO Sec. 11.3.B3.)

- The project places residential development in pods to avoid additional impacts to the site's many streams and wetlands, and the pod at the center of the site is greater than 20 acres and can only be accessed by the street to the west of the Widewaters Parkway roundabout without creating additional undue environmental impacts. Because the street provides access from Widewaters Parkway to a residential area of over 20 acres, UDO 11.3.B.3 would require a Main Street section; however, Lyndon Oaks proposes a modified Local Street Section - Two Way, which is 16' feet narrower than the Main Street section, and will allow for more green space on the site. The proposed modified Local Street Section - Two Way would not require a median, which would cause the residential sections to the north and south of the road to be disconnected and makes pedestrian crossings more difficult. The project does not wish to build a larger street section than what is needed to access this pod of residential development, and that will not be needed to connect to what is planned to be Mixed Density Residential development on the approximately 20 vacant acres to the east on Clifton Road, which is a dead-end road and is not planned to connect over I-87 on the Roadway Network Plan. Thus, this future street connection will likely only serve to connect two residential neighborhoods and will not collect regional trips, so a more neighborhood-friendly, slower street section is more appropriate.

Lyndon Oaks - Site Development Allowances Continued

Rear-Loaded Homes that Front a Public Green with Pedestrian Facilities (UDO Sec. 11.2.C.11)

- In order to provide flexibility for the proposed neighborhood design that includes small groups of rear-loaded townhomes that front passive open space areas with pedestrian facilities to encourage community gathering and use of alternative forms of transportation, Lyndon Oaks requests a site development allowance for open space areas that have a minimum of 34' of frontage on either a public street or alley, rather than 50' of frontage.

Public Alleys for Utilities (UDO Sec. 10.4.A.1.b)

- Lyndon Oaks requests 32' public rights-of-way (alleys), as shown in the Master Plan, in order to provide utilities to rear-loaded homes that either front public open space rather than a public right-of-way, or do not directly front a public right-of-way, and alley access provides a more-direct route to connect homes to public utilities (particularly around the Widewaters Parkway roundabout).

Modified Avenue Median (UDO 7.2.A.2)

- Lyndon Oaks proposes a modified Main Street section for the development's access drive. Consistent with the intermingled mix of housing types in the rest of the neighborhood, this gateway to the community will feature larger-lot front-loaded and smaller-lot rear-loaded homes, which, under UDO 7.2.A.2, requires on-street parking on one side of the street and a landscaped median. The proposed modified section meets the requirement, but proposes a center lane instead of median so as to not restrict driveway and alley access to the homeowners on this road.

Modified Avenue and Widewaters Parkway Intersection Design (UDO 11.3.B.4)

- Lyndon Oaks proposes a four-way stop with traffic calming measures, including bump-outs to shorten distances of pedestrian crossings and high-visibility crosswalks, at the intersection of the Modified Avenue and Widewaters Parkway. These measures will slow down traffic and ensure pedestrian safety at this intersection, which is very close to the intersection of Widewaters Parkway and the Roadway Network Plan's planned Main Street connection to a future Neighborhood Node at the intersection of Bethlehem and Old Faison Roads, where the development will be providing a roundabout to calm traffic as well.

10

**NEIGHBORHOOD
MEETING**

Meeting Information



Figure 22: Hampton Inn & Suites Knightdale Vicinity Map (Not to scale)

A neighborhood meeting was held on November 14th, 2023 at 6:00 pm at the Hampton Inn & Suites Knightdale. See Figure 22 for a map of the meeting location. There were approximately 40 neighbors in attendance, along with a member of the development team, four members of the design team, and one Senior Planner from the Town of Knightdale.

Date of meeting:	Tuesday Nov. 14, 2023
Time of meeting:	6:00 pm EST
Meeting address:	Hampton Inn & Suites Knightdale 405 Hinton Oaks Blvd. Knightdale, NC 27545
Developer:	
» DR Horton:	Reese Bridges, PE, Entitlements Manager Cameron Jones
Design consultants:	
» Urban Design Partners:	Brian Richards, PLA
» Ramey Kemp Associates:	Caroline Cheeves, PE
» Parker Poe:	Ashley Honeycutt Terrazas, Land Use Attorney
Town of Knightdale:	Gideon Smith, AICP, Senior Planner

Neighborhood Meeting Questions

At the neighborhood meeting for Lyndon Oaks, the neighbors had questions about stormwater, density, renter vs. owner housing, traffic, number of new children in schools, forced annexation, construction timeline, target price for homes, quality of residents moving, wildlife habitat, and property values. Their questions are as follows:

» **Question/Concern #1: Stormwater, Runoff, and Grading**

- Applicant clarified that grading is not complete but the goal is for the site to be balanced (no import, no export dirt) but ultimately the site will tie into the grade along the perimeter of the site. Stormwater runoff is state-regulated and cannot be increased on adjacent properties. SCMs are monitored yearly.

» **Question/Concern #2: How Is Density Calculated?**

- Applicant clarified that density is calculated based on total gross acreage, it does not exclude amenity areas, thus residential density on the site is less than 3 units/acre.

» **Question/Concern #3: Renter vs. Owner-Occupied Housing**

- Applicant clarified that North Carolina law prohibits regulating occupancy in a zoning ordinance.

» **Question/Concern #4: Traffic on Bethlehem Road & Roundabouts Being Dangerous for Large Emergency Vehicles**

- Applicant clarified that roundabouts are designed such that emergency vehicles can drive over the center island. Roundabouts are safer because they eliminated left turns which are the most dangerous at an intersection. Knightdale UDO has been prioritizing roundabouts to improve community safety.

» **Question/Concern #5: Traffic in General, TIA Process, Intersections Studied**

- Applicant's transportation engineer clarified the Traffic Impact Analysis process and highlighted that focus is on weekday peak hours, 7AM-9AM and 4PM-6PM. She clarified that all of the traffic counts and turning movements are taken into account. She listed the intersections that would be studied. She clarified that the goal of TIA is to determine worst-case scenario (maximum trip generation at buildout). Town requires study of roadway network considering compounded growth until 2042. TIA would be submitted with the application.

» **Question/Concern #6: Number of New Children in Schools & Strain on Emergency Services**

- Applicant clarified information will be submitted to Wake County Public Schools and emergency services.

» **Question/Concern #7: Taking Neighbors Land, Forced Annexation**

- Applicant clarifies that it is giving land to Knightdale to make roadway improvements. Applicant clarified that roadway improvements will be within the already existing public right of way, but if property needed to be acquired to make an improvement, the Town and NCDOT cannot use eminent domain to take property for a private development. NC law now requires voluntary annexation.

» **Question/Concern #8: Timeline of Construction of Development**

- Applicant clarified estimated timing: Zoning process through Spring and Summer of 2024; Design drawings (water, sewer, grading, traffic) 12 months later (end of 2024); At least a year to a year and a half to develop the first phase (end of 2025, beginning 2026); begin wrapping up houses at end of 2026; Early 2027 moving first customers into first phase

Neighborhood Meeting Questions (Continued)

- » **Question/Concern #9: Target Price for the Homes**
 - Applicant clarified that sizes ranged from 1,500 square feet for townhouses and smaller houses to 3,000+ square feet for single family homes; in today's terms, pricing would range from \$200,000 to \$600,000+, but could not commit to pricing for future market rates.

- » **Question/Concern #10: Quality of Residents Moving**
 - Town is strict about architectural standards, and the plan is to provide a high quality product.

- » **Question/Concern #11: Wildlife and Native Habitat**
 - Applicant clarified that natural vegetation will be retained around pond, lake, and streams and there will be a walking trail as a natural amenity onsite and they are doing their homework to develop consistently with the history of the land. Approximately 17 acres of preserved area.

- » **Question/Concern #12: Decrease in Property Values**
 - Applicant clarified they have never seen property values decrease due to development with exception of some industrial projects.

Attendance Sheet

Neighborhood Meeting for Lyndon Oaks Planned Unit Development

Hampton Inn & Suites, 405 Hinton Oaks Blvd, Knightdale, NC 27545

Date: November 14, 2023

Name	Address	Name	Address
Karen Palke	121 Meadows Cr Knightdale	Kenny Holley	307 Rochelle Dr. Knightdale
Leamon Dixon	107 Shady Circle Knightdale	Donald Kay	932 Bethlehem Rd Knightdale
Eddie Matthews	106 Shady Circle Knightdale	Barbara & Dick Sossomon	1124 Poplar Circle Knightdale
Joyce Liles (Gayle)	4040 Clifton Rd	Brad Pope	1008 Bethlehem Rd. Knightdale
Tim Ferrell	3033 Churchill Road	Carrie Gray	1940 Bethlehem Rd. Raleigh
Kristin Trent	5309 Crosscut Pl	Michael & Karen Palko	121 Meadows Circle Knightdale
Don Curtis Jr.	5309 Crosscut Pl	Laurie Pope	116 Bethlehem Rd Knightdale
Carole & Kenny Faison	802 Bethlehem Rd Knightdale	Sam Maise	203 Robertson St. Knightdale
Chris Posh	4308 Old Faison Rd Knightdale	Patricia Loftin	1044 Stone Eagle Lane Raleigh 27610
Trey Tart	106 Tart Farm Rd Knightdale	Sara Hauser	4228 K Held Rd Knightdale
EC Tart	4325 Old Faison Rd		
Sonya Debnam	4521 Old Faison Rd		
Wesley Knapp	919-740-9955 Churchill HOA		
Nanay & Gene Zack	133 Meadows Circle Knightdale		
Caster Kennemer			
Gwen Gray	4275 Old Faison Rd Knightdale		
Don & Doris Curtis	5309 Cross Cut Place Knightdale		
Annette Miltz	128 Meadows Circle Knightdale		
Trudy Guffey	5101 Woodfield Ln Knightdale		
Rhonda Neely	129 Meadows Circle Knightdale		
Brian & Kim King	125 Meadows Circle Knightdale		
Tim & Denise Jones	132 Meadows Circle Knightdale		
Jack & Angela Worden	4407 Omaha Dr. Knightdale		
Gerald & Ann Akland	112 Old Ferrell Rd		

NEIGHBORHOOD MEETING

U R B A N
D E S I G N
P A R T N E R S

LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING

