

MASTER PLAN REVIEW

KNIGHTDALE DAYCARE (ZCP-3-25)

0 JASMINE VIEW WAY
KNIGHTDALE, NORTH CAROLINA 27545
WAKE COUNTY

OWNER/DEVELOPER:

HAYWOOD GLEN INVESTMENTS LLC
MICHELLE SIMMS-REITER AND PABLO REITER
7208 FALLS OF NEUSE ROAD
SUITE 201
RALEIGH, NC 27615
MICHELLE@PRMSINV.COM
919-796-6783

CIVIL ENGINEER/ LANDSCAPE ARCHITECT:

TIMMONS GROUP
MIKE DAVIDSON
5410 TRINITY ROAD
SUITE 102
RALEIGH, NC 27607
MIKE.DAVIDSON@TIMMONS.COM
PH: (984) 222-1610

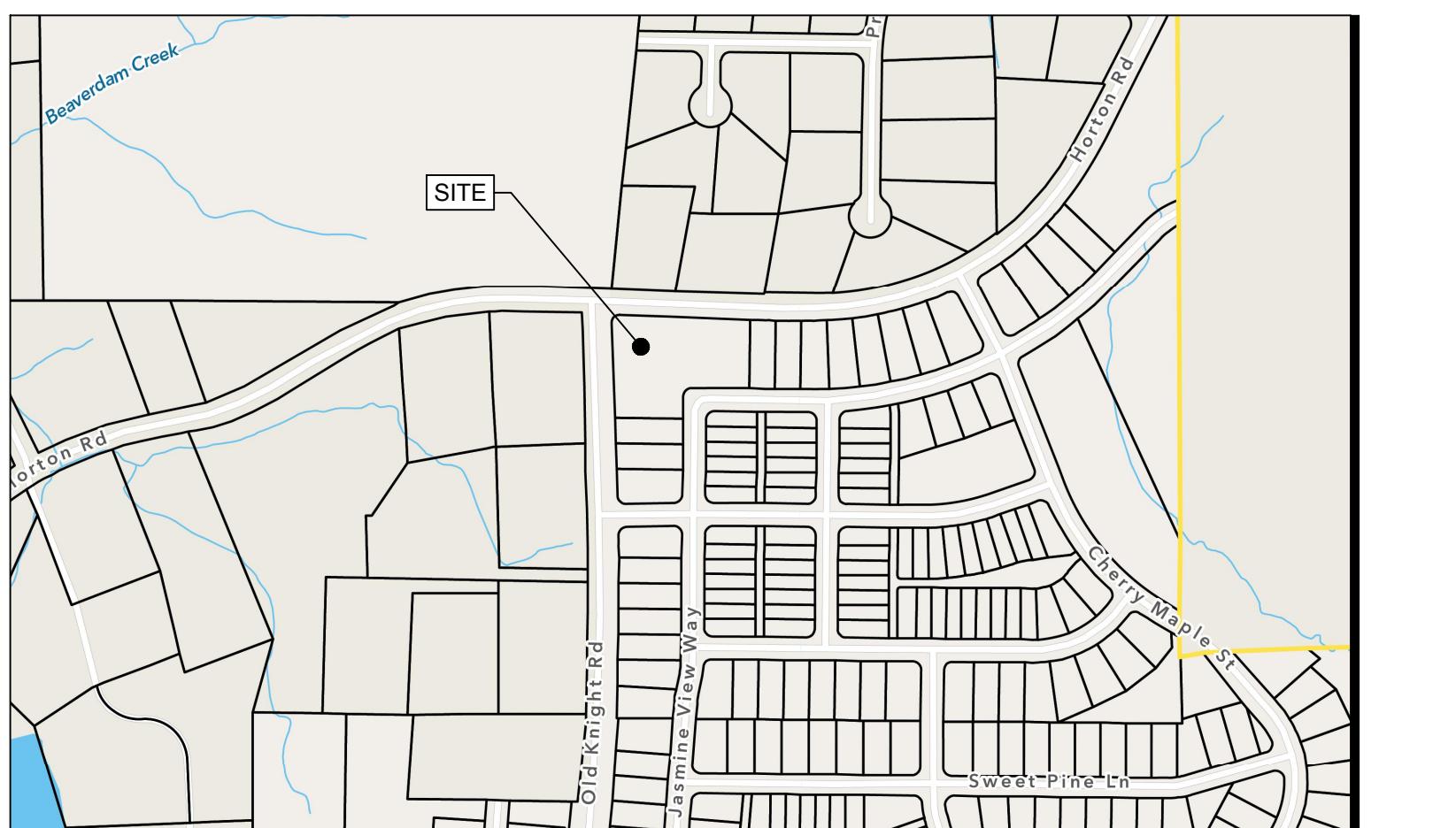
ARCHITECT:

COLLIERS ENGINEERING & DESIGN
JONATHAN CREEL
5901 VEGA AVE, SUITE 100
AUSTIN, TX 78735
JONATHAN.CREEL@COLLIERSENG.COM
PH: 432.770.3630

SURVEYOR:

MCKIM & CREED
KEVIN D. MEDEIROS
4300 EDWARDS MILL ROAD
RALEIGH, NC 27612
CSEAMSTER@MCKIMCREED.COM
PH: (919) 233-8091

SITE PLAN SUMMARY	
PROJECT OWNER:	KNIGHTDALE DAYCARE HAYWOOD GLEN INVESTMENTS LLC
PROJECT ADDRESS:	0 JASMINE VIEW WAY, KNIGHTDALE, NORTH CAROLINA 27545
PIN(S):	1755-84-4894
JURISDICTION:	TOWN OF KNIGHTDALE
ZONING:	RMX-PUD
EXISTING USE:	VACANT
PROPOSED USE:	DAYCARE
FLOOD ZONE:	NOT LOCATED IN FLOOD HAZARDOUS AREA PER FEMA MAP #3720175500K (EFFECTIVE 07/19/2022)
TOTAL LOT AREA:	1.50 AC.±
EXISTING IMPERVIOUS SURFACE AREA:	1,555 SF
PROPOSED IMPERVIOUS SURFACE AREA:	35,351 SF
PROPOSED DAYCARE BUILDING SQUARE FOOTAGE:	10,235 SF
REQUIRED BUILDING SETBACKS	FRONT SETBACK (MIN.) - 10' FRONT SETBACK (MAX.) - 30' SIDE SETBACK (MIN.) - 6'
VEHICULAR PARKING FOR CHILD DAYCARE CENTER WITH MORE THAN SIX (6) PERSONS	MAXIMUM SPACES = 0.35 VEHICULAR SPACES PER PERSON LICENSED CAP MINIMUM SPACES = $\frac{1}{2}$ MAXIMUM # OF LICENSED CHILDREN = 146, # OF LICENSED STAFF = 22, TOTAL = 168 168 / 0.35 = MAXIMUM SPACES 592 = 30 MINIMUM SPACES 1 EV CHARGING STATION PER 40 TOTAL SPACES OR 2 MINIMUM CHARGING STATIONS
VEHICLE PARKING SUMMARY: PROVIDED	39 VEHICULAR PARKING SPACES (INCLUDES 2 ADA SPACES THAT ARE VAN ACCESSIBLE) 2 EV CHARGING STATIONS PROVIDED



VICINITY MAP

SCALE: 1" = 500'

TOWN OF KNIGHTDALE ADDITIONAL USE STANDARDS (CHILD / ADULT DAY CARE CENTER)

- IN ADDITION TO MEETING THE REQUIREMENTS OF SECTION 7.6, FENCING ENCLOSING ANY REQUIRED RECREATION SPACE SHALL BE A MINIMUM OF FOUR (4) FEET IN HEIGHT AND CONSTRUCTED WITH GATES IN SUCH A MANNER THAT MAXIMUM SAFETY TO THE PERSON IS ENSURED.
- DAY CARE CENTERS SHALL BE LOCATED ON LOTS THAT PROVIDE AMPLE OUTDOOR PLAY AREA. A FENCED RECREATION AREA OF A MINIMUM OF TWO-THOUSAND TWO-HUNDRED FIFTY (2,250) SQUARE FEET SHALL BE PROVIDED IN THE REAR OR SIDE YARD. REQUIRED BUFFER YARDS MAY NOT BE COUNTED TOWARDS THIS REQUIREMENT.
- HOURS OF OPERATION SHALL BE PERMITTED ONLY FROM 6:00 AM UNTIL 9:00 PM.

a. **Town Approved Standards Shall Control.** In the event of a conflict or inconsistency between these construction drawings and the Town of Knightdale's Approved Standards for this project, the Approved Standards shall control. Town of Knightdale Approved Standards shall mean all development documents necessary for approval for the Property including, but not limited to, any special use permit, subdivision plan, site plan, subdivision plat(s), phasing schedule, Development Agreement, Utility Allocation Agreement, Annexation Agreement, the Town of Knightdale Standard Specification and Details Manual and applicable provisions of the North Carolina State Building Code.

b. **Professional Design Engineer Certification.** These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale. _____, PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) _____ of these drawings. Seal _____ By: _____, PE. Date: _____

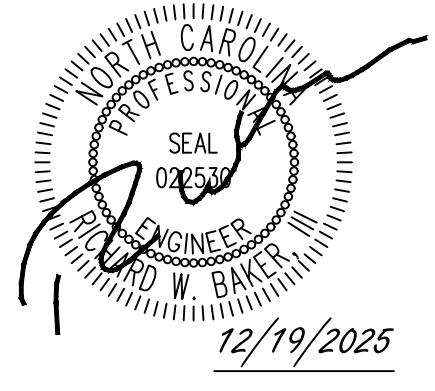
Knightdale Daycare - Water Allocation Worksheet	
BASE	POINTS
Other Uses Not Categorized (Daycare Facility)	30
BONUS	
Section 1B - Roadway Improvements Not Warranted By TIA (Proposed Concrete Median in the Old Knight Road ROW to Prevent Left Turn Movement Exiting the Daycare)	8
Section 2C - Exclusive Use of Native Trees and Shrub Species	5
Section 4C - Deck/Patio - More Than 3,000 SF (Outdoor Playground)	3
Section 4F - Additional Outdoor Recreation - IPEMA Certified Playground Equipment	4
Total	50

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

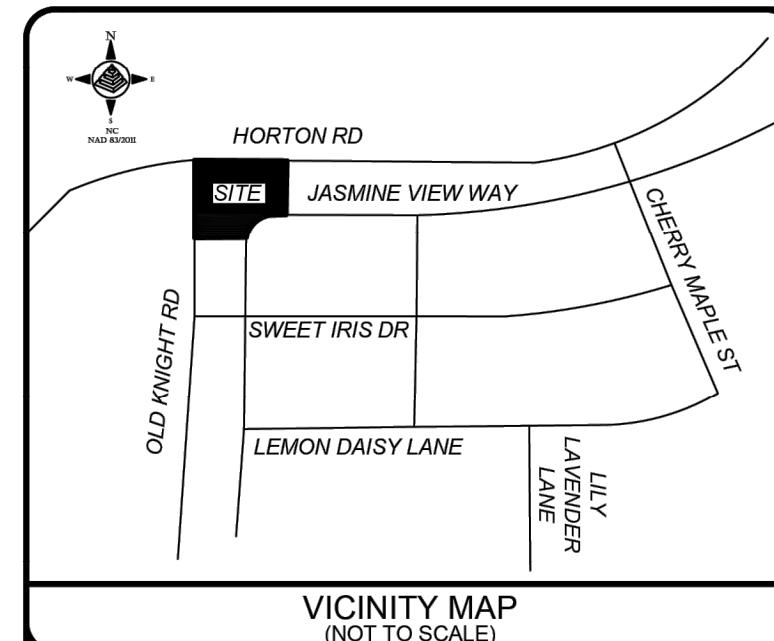
a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Land Use Administrator

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
COVER SHEET



THIS DRAWING PREPARED AT THE RALEIGH OFFICE 5410 Trinity Road, Suite 102 - Raleigh, NC 27607 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com
REVISION DESCRIPTION REVISION #1 DRAWN BY 332 DESIGNED BY 332 CHECKED BY M. DAVIDSON SCALE AS SHOWN
DATE 07/07/2025 DRAWN BY 332 DESIGNED BY 332 CHECKED BY M. DAVIDSON SCALE AS SHOWN
YOUR VISION ACHIEVED THROUGH OURS. 12/19/2025

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

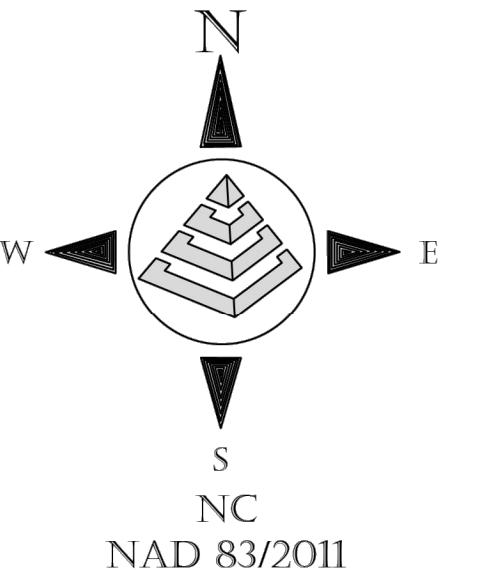


LINETYPE LEGEND

SUBJECT PARCEL (NOT SURVEYED)
RIGHT OF WAY (NOT SURVEYED)
ADJACENT PROPERTY LINE (NOT SURVEYED)
OVERHEAD ELECTRIC LINE
UTILITY EASEMENT LINE
LANDSCAPE EASEMENT LINE
SIDEWALK EASEMENT LINE
DRAINAGE EASEMENT LINE
SANITARY SEWER PIPE
STORM DRAIN PIPE
SILT FENCE

LEGEND

■	CURB INLET
△ CO	CLEAN OUT
○ CONDUIT	CONDUIT
□ CS	CURBSTOP
○ CS	DRAIN INLET
○ OE	POWER POLE
○ OE	SIGN
○ OE	SANITARY SEWER MANHOLE
○ OE	SANITARY SEWER PIPE
○ OE	STORM DRAIN PIPE
○ OE	TELECOMMUNICATIONS HAND HOLE
○ OE	TELECOMMUNICATION PEDESTAL
○ OE	WATER METER
○ OE	WATER VALVE



NAD 83/2011

SURVEY NOTES:

- THE PURPOSE OF THIS SURVEY IS TO PERFORM AN EXISTING CONDITION SURVEY AHEAD OF THE DESIGN OF A PROPOSED COMMERCIAL BUILDING LOCATED IN THE TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA PREVIOUSLY KNOWN AS PARCEL 1755844894.
- THE DEPICTED SURVEY WAS DERIVED FROM AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE AND PERFORMED JANUARY 3, 2025.
- OWNER INFORMATION PER DEEDS AND PLATS OF THE WAKE COUNTY REGISTER OF DEEDS.
- VRS GPS OBSERVATIONS (3 MINUTE MULTIPLE OBSERVATIONS) WERE MADE ON TWO (2) MAIN CONTROL POINTS TO ESTABLISH GEODETIC AND STATE GRID COORDINATES (NAD83 NSRS 2011) USING AVERAGE POSITION FROM THE MULTIPLE OBSERVATIONS. THE UTM COORDINATES FOR THIS SURVEY WERE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED ON GEOID 18.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN US SURVEY FEET. BEARINGS ARE BASED ON NC GRID (NAD83/2011).
- ALL AREAS SHOWN WERE COMPUTED BY THE COORDINATE CALCULATION METHOD.
- NO NORTH CAROLINA GRID MONUMENT WAS FOUND WITHIN 2000 FEET OF THE SUBJECT PARCEL.
- THE LOCALIZED COORDINATE SYSTEM USED FOR THIS PROJECT IS BASED ON CONTROL POINT "1" HAVING THE FOLLOWING LOCALIZED NAD 83-2011 COORDINATES AND NAVD 88 ELEVATION: COORDINATES N: 754,013.85, E: 2,158,291.14; ELEV. 336.95
- PROJECT COMBINED GRID FACTOR USED IS 0.9999112 (GROUND TO GRID)
- THIS PROPERTY IS LOCATED IN FLOOD ZONE AREA, "ZONE X. OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS SHOWN ON FEMA MAP NUMBER 3720175500K WITH AN EFFECTIVE DATE OF 1/19/2022.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY, AND OR ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY.
- SUBSURFACE UTILITY INVESTIGATION WAS NOT INCLUDED IN THE SCOPE OF THIS SURVEY.
- CONTOURS ARE SHOWN AT A 1' CONTOUR INTERVAL.
- THIS IS NOT A BOUNDARY SURVEY.

I, KEVIN D. MEDEIROS, PLS. L-4668, CERTIFY THAT THIS EXISTING CONDITION AND TOPOGRAPHIC SURVEY WAS COMPLETED UNDER MY DIRECT SUPERVISION, THAT THE GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET THE CLASS A HORIZONTAL REQUIREMENT AND THE CLASS B VERTICAL REQUIREMENT FOR TOPOGRAPHIC/PLANIMETRIC SURVEYS; THAT THE ORIGINAL DATA WAS OBTAINED JANUARY 3, 2025; THAT THE CONTOURS MAY NOT MEET THE STATED STANDARD; THAT THE SURVEY WAS COMPLETED ON JANUARY 3, 2025; AND THAT THE COORDINATES AND ELEVATIONS ARE BASED ON THE STATE GRID (NAD83/2011) COORDINATE SYSTEM (NAVD 88) AND ALL ELEVATIONS ARE BASED ON NAVD 88. THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600) AS AMENDED.

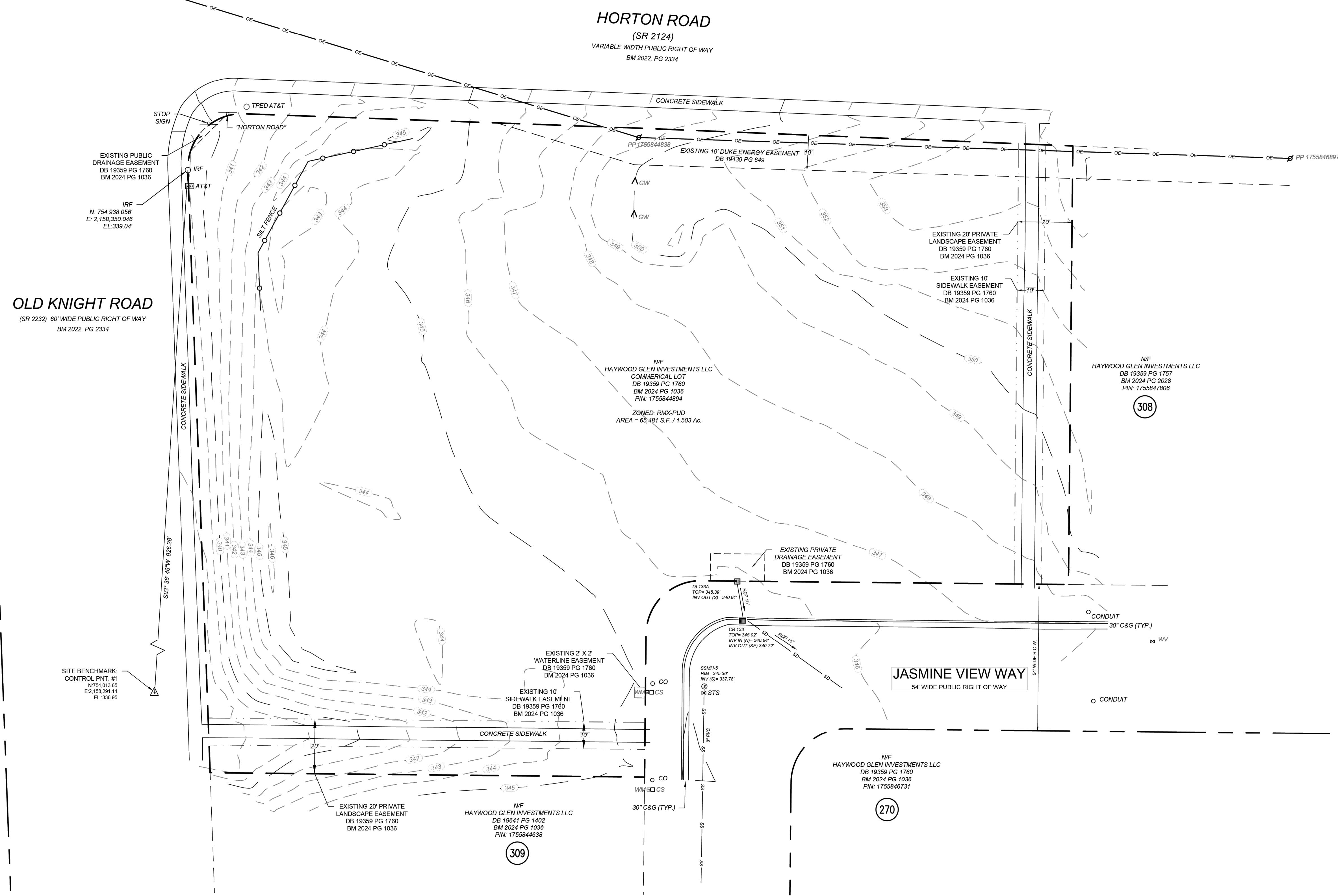
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS THE XXTH DAY OF JANUARY, 2025 A.D.

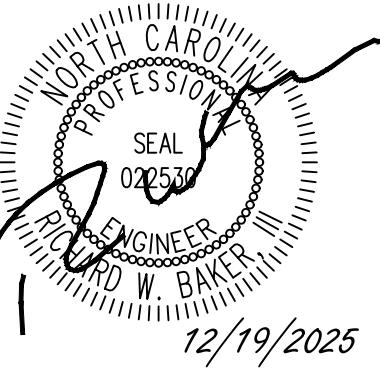
PRELIMINARY PLAT NOT FOR RECORDATION CONVEYANCE OR SALES

KEVIN D. MEDEIROS L-4668
PROFESSIONAL LAND SURVEYOR

THE GPS SURVEY MADE WAS UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THIS SURVEY.

CLASS OF SURVEY: A
POSITIONAL ACCURACY: H-0.02' / V-0.03'
TYPE OF GPS FIELD PROCEDURE: NC VRS NETWORK
DATES OF SURVEY: 7/29/2023
DATE OF RECORD: 1/19/2025 - NAVD 88
PUBLISHED/FIXED-CONTROL USED: FIXED
GEOD MODELS: 18 (CONUS)
COMBINED GRID FACTOR: 0.9999112 (GRID TO GROUND)
UNITS: US SURVEY FEET





DEMOLITION NOTES

1. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 2. CONTRACTOR TO OBTAIN, REFERENCE, AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE 1 ESA, ASBESTOS, ETC.) FROM DEVELOPER.
 3. ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 4. REMOVE/ DEMOLISH/ ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AN APPROVAL OF THE INSPECTOR. REFER TO EROSION CONTROL PLAN.
 5. REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
 6. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
 7. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
 8. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ENGINEER IMMEDIATELY.
 9. SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
 10. THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
 11. CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
 12. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 13. WATER AND SEWER ABANDONMENT SHALL BE DONE IN ACCORDANCE WITH NCDOT AND CITY OF RALEIGH STANDARDS INCLUDING DISCONNECT FROM THE MAIN AND REMOVAL OF SERVICES FROM THE RIGHT-OF-WAY.
 14. ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER.
 15. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 16. CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
 17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
 18. EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
 19. GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE DEVELOPER.
 20. CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.

SURVEY NOTES

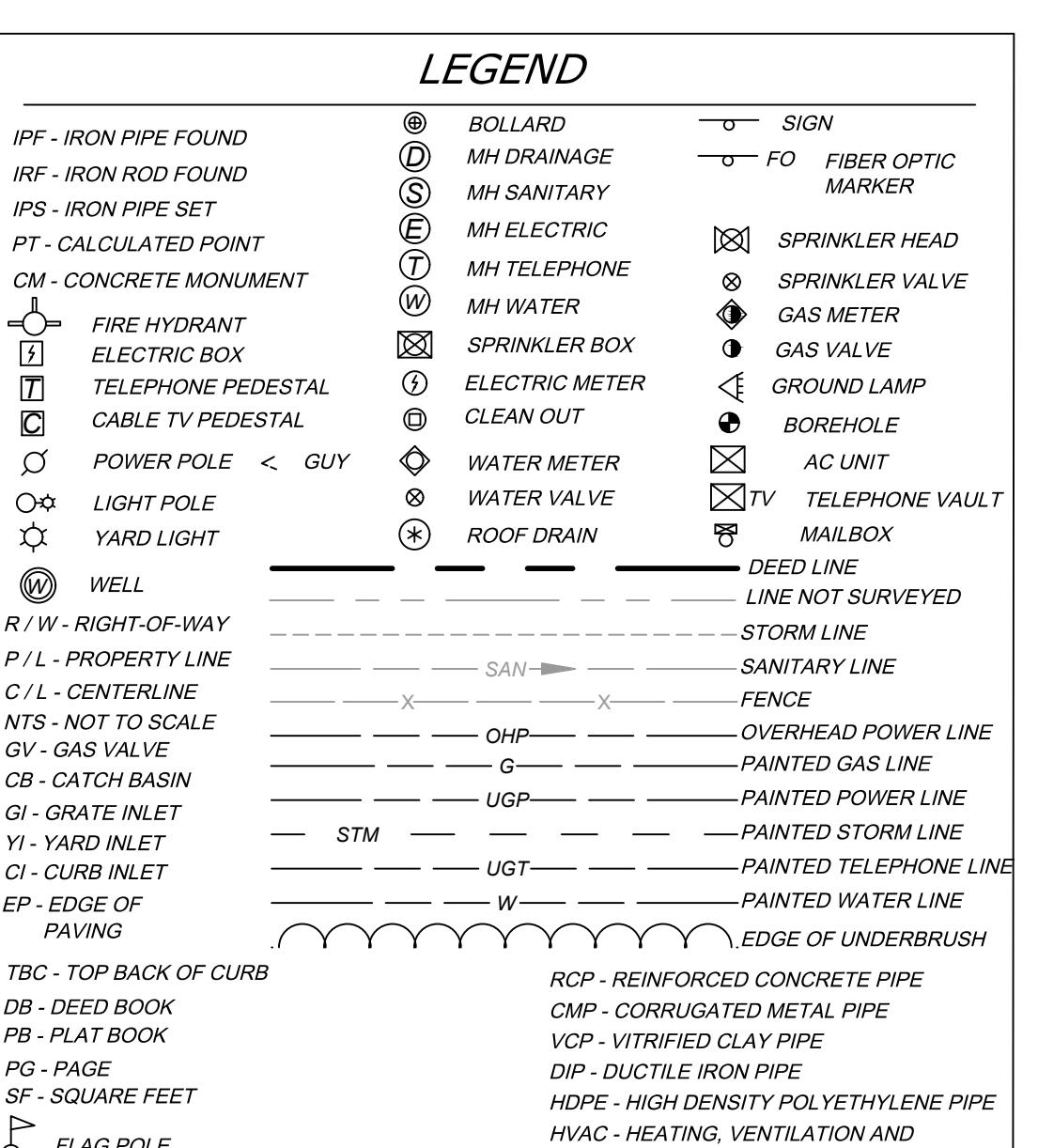
1. ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY McKIM & CREED DATED JULY 25, 2023. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
 2. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 3. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
 4. BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
 5. VERTICAL DATUM SHOWN HEREON IS NAVD88.
 6. OTHER SOURCES OF INFORMATION INCLUDE AERIAL IMAGERY FOR APPROXIMATE LOCATION OF CURB AND GUTTER ALONG OLD KNIGHT ROAD AFTER THE ROAD WIDENING PROJECT.
 7. NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720175500K (EFFECTIVE 07-19-2022).
 8. EXISTING IMPERVIOUS AREA = 0.04 ACRES (1,555 SF)
 9. THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 1-800-632-4949.

DEMOLITION KEYNOTES

DEMOLITION NOTES	
NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D03	RELOCATE AND/OR MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D04	CONVERT EXISTING CATCH BASIN TO TRAFFIC BEARING JUNCTION BOX PER NCDOT STANDARDS
	SIDEWALK DEMOLITION AREA

IMINARY - NOT RELEASED FOR CONSTRUCTION

_ CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE,
WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



NAD 83

SCALE 1"=20'

0' 20' 40' 60' 80' 100'

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Land Use Administrator

WINTERTIME **TRANS**
NORTH CAROLINA LICENSE NO. C-1652

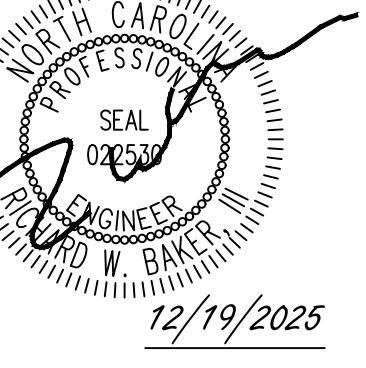
KNIGHTDALE DAYCARE

TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS & DEMOLITION PLAN

卷之三

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D03	RELOCATE AND/OR MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D04	CONVERT EXISTING CATCH BASIN TO TRAFFIC BEARING JUNCTION BOX PER NCDOT STANDARDS
	SIDEWALK DEMOLITION AREA



12/19/2025

SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
SM01	CONCRETE MONOLITHIC ISLAND
SM02	PET WASTE STATION, TRASH RECEPTACLE AND DECORATIVE COLUMN PER TOWN OF KNIGHTDALE REQUIREMENTS
SM03	2' WIDE PAINTED STOP BAR (TYP.)
SM04	EXISTING ROAD CENTERLINE
SM05	RIGHT IN / RIGHT OUT DRIVEWAY
SM06	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
SM07	HIGH VISIBILITY PEDESTRIAN CROSSWALK STRIPING (PER NCDOT & TOWN OF KNIGHTDALE REQUIREMENTS)
SM08	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS), R7-8A (MUTCD)
SM09	ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES)
SM10	CONCRETE ADA STALL (TYP.)
SM11	"STOP" SIGN; R1-1 (MUTCD)
SM12	"NO LEFT TURN" SIGN; R3-2 (MUTCD)
SM13	"DO NOT ENTER" SIGN; R5-1 (MUTCD)
SM14	"KEEP RIGHT" SIGN; R4-7 (MUTCD)
SM15	NCDOT FLEXIBLE DELINEATOR, REFER TO DETAIL
SM16	4" WHITE SOLID EDGE LINE; REFER TO NCDOT STANDARD DRAWING 1205.01. (THERMO)
SM17	DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
SM18	HEAVY-DUTY CONCRETE: 6" OF 4,000 PSI OVER 6" OF ABC STONE, PROVIDE 2' WIDE CHAMFERS AS SHOWN ON PLAN.
SM19	"NO PARKING - FIRE LANE" PAVEMENT MARKING
SM20	"EV CHARGING ONLY" PAVEMENT MARKING

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 - Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.1824 www.timmons.com

REVISION DESCRIPTION

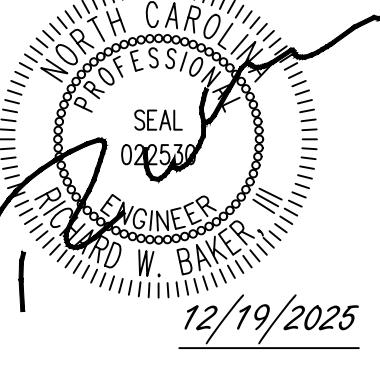
DATE	12/19/2025
DRAWN BY	332
DESIGNED BY	332
CHECKED BY	M. DAVIDSON
SCALE AS SHOWN	

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
SIGNS AND MARKINGS PLAN

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS
70434
SHEET NO. C2.1
SCALE 1"=20'
0 20' 40'
NAD 83

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Land Use Administrator

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

EROSION CONTROL PHASE I

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

EROSION CONTROL PLAN - PHASE I KEYNOTES	
NUMBER	DESCRIPTION
EC101	LIMITS OF DISTURBANCE
EC102	SILT FENCE; REFER TO DETAIL (TYP.)
EC103	SILT FENCE OUTLET; REFER TO DETAIL (TYP.)
EC104	TEMPORARY 28' X 50' (MIN.) CONSTRUCTION ENTRANCE; REFER TO DETAIL
EC105	TEMPORARY INLET PROTECTION (TYP.); REFER TO DETAIL
EC106	TEMPORARY CURB INLET PROTECTION (TYP.); REFER TO DETAIL
EC107	CONCRETE WASHOUT AREA
EC108	TEMPORARY STOCKPILE AREA

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

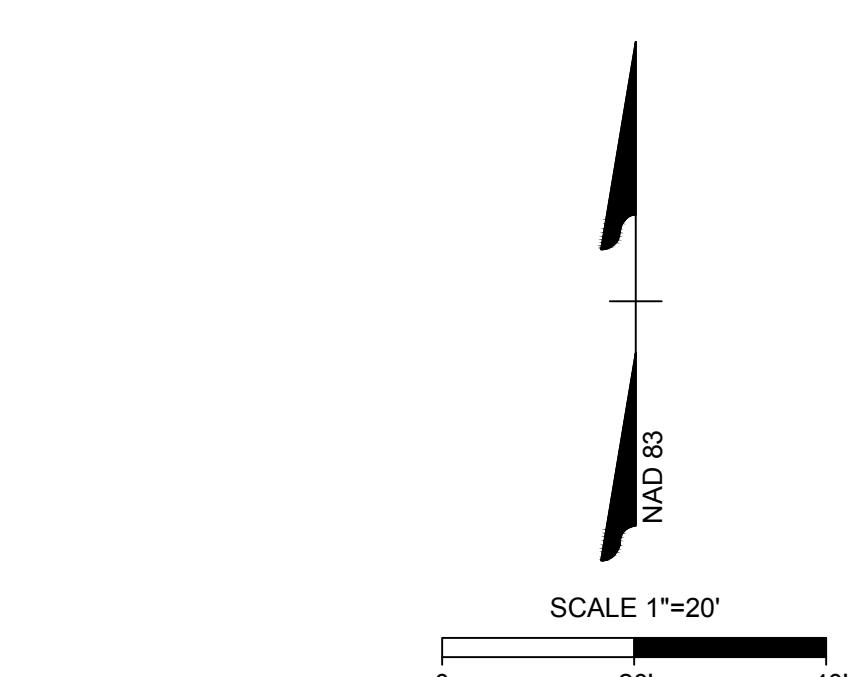
1. ALL CONSTRUCTION SHALL COMPLY WITH NCDEQ STANDARDS AND SPECIFICATIONS.
2. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
3. FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY DEQ.
4. FIELD VERIFY ALL DIMENSIONS AND GRADES ON THESE PLANS PRIOR TO CONSTRUCTION. FAILURE TO NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH PLAN OR GRADE CHANGES, MAY RESULT IN NO EXTRA COMPENSATION PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY.
5. EXCAVATION AND EARTH MOVING OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION. ALL EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND VERIFIED PRIOR TO COMMENCING ACTIVITY ON SITE.
7. ALL ADJACENT ROADS TO THE SITE ARE TO BE SWEEPED AND WASHED AT THE END OF EACH WORK DAY TO ENSURE NO SEDIMENT COLLECTS ON THE ROADWAYS.
8. INSPECT AND PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT.
9. INSTALL ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT RUNOFF.
10. PROVIDE NCDEQ WITH THE LOCATION OF OFFSITE STOCKPILES USED TO STORE EXCAVATED SOIL FROM THE SITE. THE LOCATION OF OFFSITE STOCKPILES MUST BE AN UPLAND AREA. IF AN OFFSITE BORROW OR SPOIL SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE BORROW/SPOIL SITE MUST BE INCLUDED IN THE LAND DISTURBANCE PERMIT. THE CONTRACTOR WILL PROVIDE THE LOCATION OF ALL EXCAVATED SOILS USED FOR THIS PROJECT TO NCDEQ. THIS AREA MUST ALSO BE AN UPLAND AREA.
11. CONCRETE WASHOUT TO BE LOCATED A MINIMUM OF 50' FROM ANY DRAINAGE STRUCTURE.
12. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS.
13. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

NOTES:

- MAINTAIN SILT FENCE AROUND THE ENTIRE PROJECT PERIMETER AREA WITH SILT FENCE OUTLETS AT THE LOW POINTS IN THIS PHASE.
- THE NPDES CONSTRUCTION PERMIT REQUIRES EROSION CONTROL DEVICES AND STORM WATER OUTFALLS BE INSPECTED WEEKLY (EVERY 7 CALENDAR DAYS) AND WITHIN 24 HRS OF A .5 INCH RAIN EVENT. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT THESE INSPECTIONS AND MAINTAIN RECORDS UNTIL THE AREA HAS STABILIZED, EVIDENT BY 95% VEGETATIVE GROWTH FOR AREAS PROVIDED SEEDING. TO FACILITATE RAINFALL MONITORING A RAIN GAUGE IS REQUIRED TO BE ON SITE. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING "SELF INSPECTIONS" INDICATING THE DATE BMPS ARE INSTALLED AND STABILIZATION MEASURES (SEEDING/MULCHING/SOD) ARE INSTALLED. THE "SELF INSPECTION" REPORTS WILL BE MAINTAINED ALONG WITH THE "NPDES" INSPECTION REPORTS. ONCE STABILIZATION HAS BEEN ACCOMPLISHED INSPECTION RECORDS ARE TO BE FORWARDED TO EAD AND ALL TEMPORARY EROSION/SEDIMENTATION CONTROL DEVICES REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL PERMITS AND PLANS, ANY CHANGES WILL BE APPROVED BY THE STATE PRIOR TO EXECUTION. A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN, LETTER OF APPROVAL, AND NPDES CONSTRUCTION PERMIT WILL BE MAINTAINED BY THE CONTRACTOR AT THE ONSITE OFFICE. IF SOIL IS REMOVED FROM OR BROUGHT ONSITE, THE APPLICABLE SOLID WASTE MANAGEMENT PERMIT NUMBER, EROSION SEDIMENTATION PERMIT NUMBER OR MINE PERMIT NUMBER WILL BE DISCLOSED.

EROSION CONTROL LEGEND

—	EXISTING CONTOURS
—	PROPOSED CONTOURS
—	LIMITS OF DISTURBANCE
—	STOCKPILE AREA
—	SILT FENCE
—	SILT FENCE STONE OUTLET
—	CONSTRUCTION ENTRANCE
—	TEMPORARY INLET PROTECTION
—	TEMPORARY CURB INLET PROTECTION
—	CONCRETE WASHOUT



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

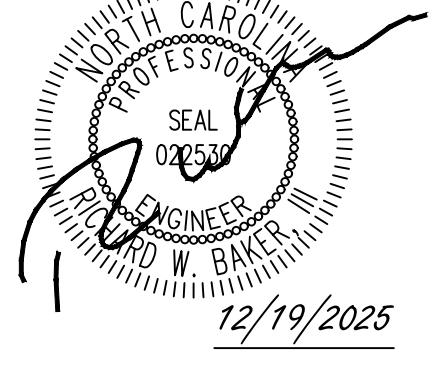
- a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
- By: _____ Date: _____
Town Engineer
- These plans are approved by the Town of Knightdale and serve as construction plans for this project.
- By: _____ Date: _____
Land Use Administrator

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 - Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION

REVISION DATE	12/19/2025
DRAWN BY	332
DESIGNED BY	332
CHECKED BY	M. DAVIDSON
SCALE AS SHOWN	

JOB NO.
70434
SHEET NO.
C4.0



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

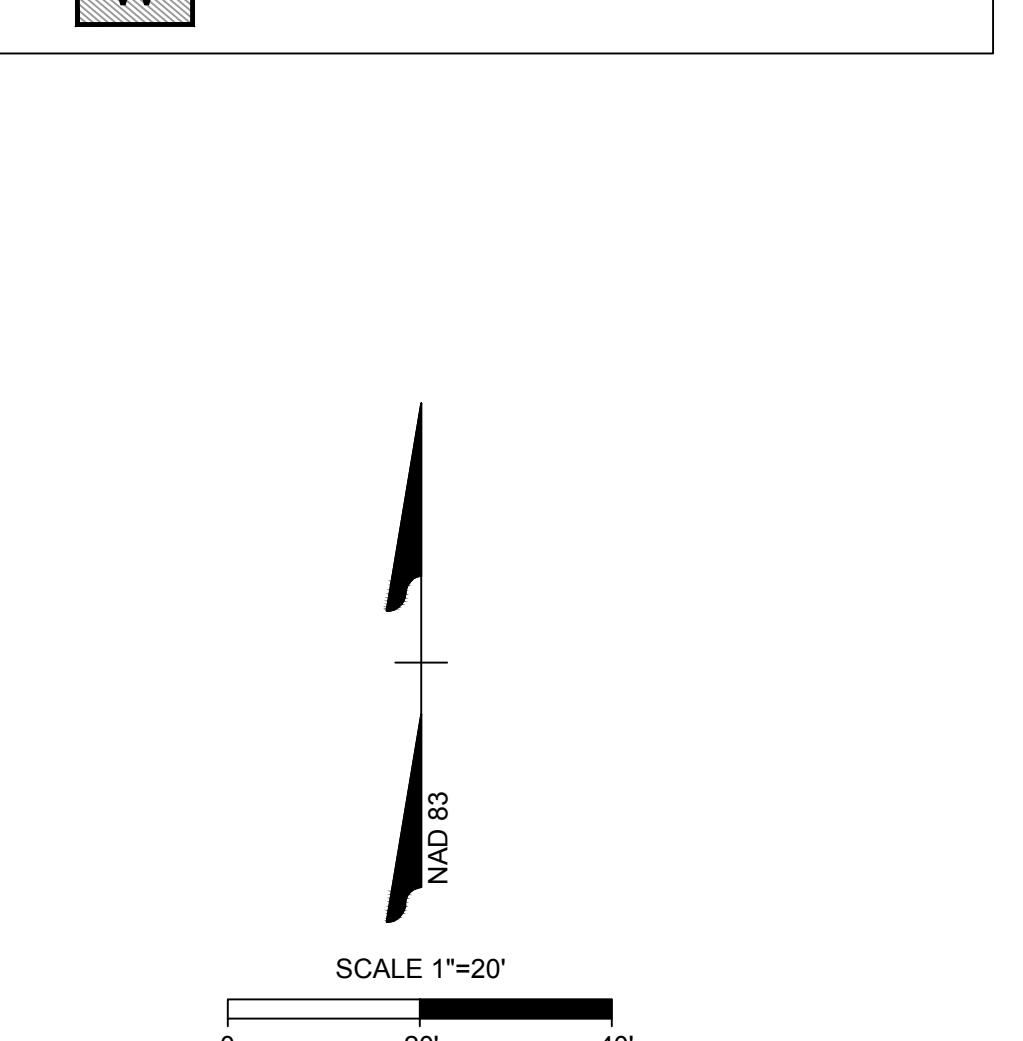
- ALL CONSTRUCTION SHALL COMPLY WITH NCDQ STANDARDS AND SPECIFICATIONS.
- A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY DEQ.
- FIELD VERIFY ALL DIMENSIONS AND GRADES ON THESE PLANS PRIOR TO CONSTRUCTION. FAILURE TO NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH PLAN OR GRADE CHANGES, MAY RESULT IN NO EXTRA COMPENSATION PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY.
- EXCAVATION AND EARTH MOVING OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION. ALL EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND VERIFIED PRIOR TO COMMENCING ACTIVITY ON SITE.
- ALL ADJACENT ROADS TO THE SITE ARE TO BE SWEEPED AND WASHED AT THE END OF EACH WORK DAY TO ENSURE NO SEDIMENT COLLECTS ON THE ROADWAYS.
- INSPECT AND PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT.
- INSTALL ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT RUNOFF.
- PROVIDE NCDQ WITH THE LOCATION OF OFFSITE STOCKPILES USED TO STORE EXCAVATED SOIL FROM THE SITE. THE LOCATION OF OFFSITE STOCKPILES MUST BE AN UPLAND AREA. IF AN OFFSITE BORROW OR SPOIL SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE BORROW/SPOIL SITE MUST BE INCLUDED IN THE LAND DISTURBANCE PERMIT. THE CONTRACTOR WILL PROVIDE THE LOCATION OF ALL EXCAVATED SOILS USED FOR THIS PROJECT TO NCDQ. THIS AREA MUST ALSO BE AN UPLAND AREA.
- CONCRETE WASHOUT TO BE LOCATED A MINIMUM OF 50' FROM ANY DRAINAGE STRUCTURE.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS.
- ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

NOTES:

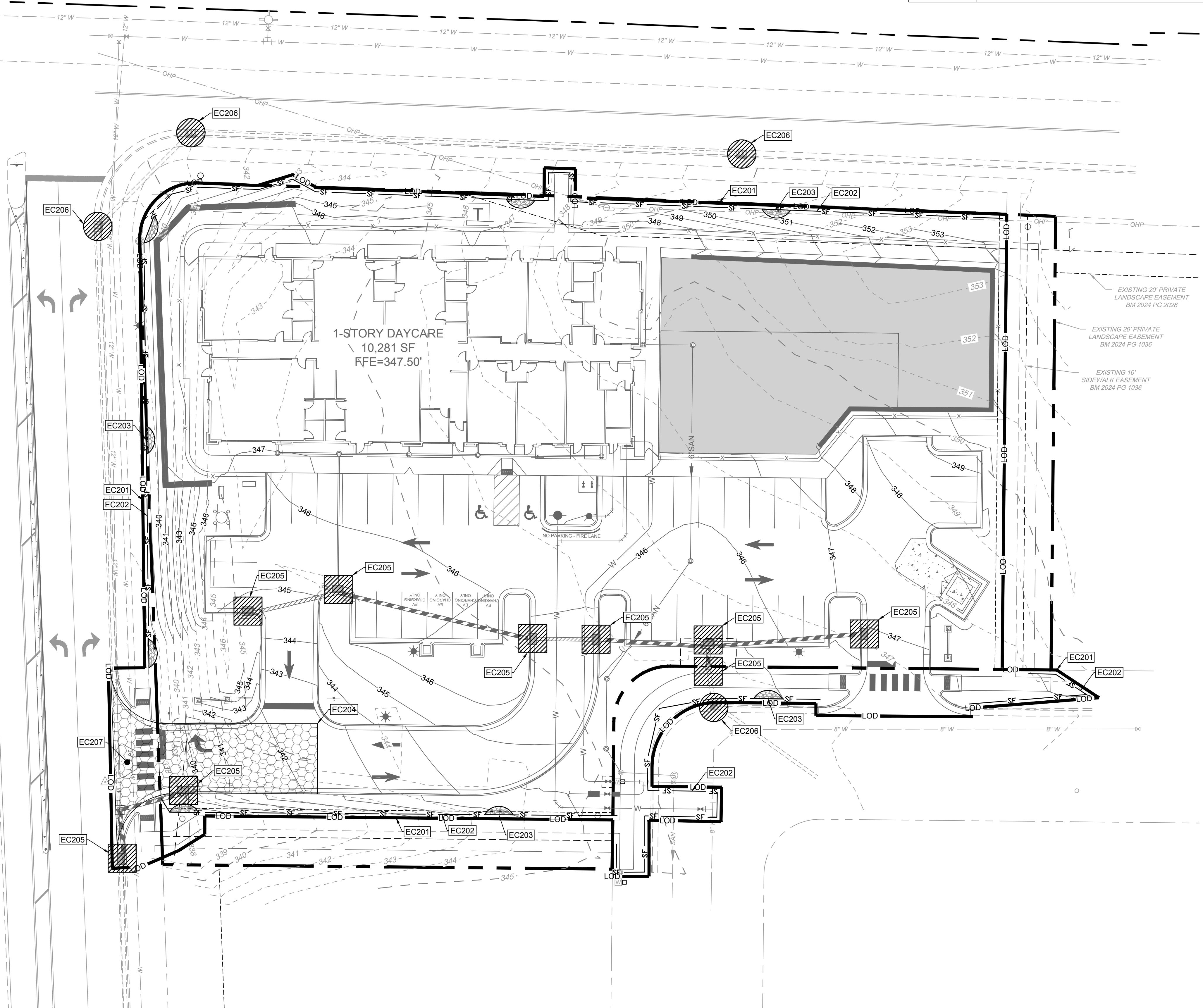
- MAINTAIN SILT FENCE AROUND THE ENTIRE PROJECT PERIMETER AREA WITH SILT FENCE OUTLETS AT THE LOW POINTS IN THIS PHASE.
- THE NPDES CONSTRUCTION PERMIT REQUIRES EROSION CONTROL DEVICES AND STORM WATER OUTFALLS BE INSPECTED WEEKLY (EVERY 7 CALENDAR DAYS) AND WITHIN 24 HRS OF A .5 INCH RAIN EVENT. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT THESE INSPECTIONS AND MAINTAIN RECORDS UNTIL THE AREA HAS STABILIZED. EVIDENT BY 95% VEGETATIVE GROWTH FOR AREAS PROVIDED SEEDING. TO FACILITATE RAINFALL MONITORING A RAIN GAUGE IS REQUIRED TO BE ON SITE. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING 'SELF INSPECTIONS' INDICATING THE DATE BMPs ARE INSTALLED AND STABILIZATION MEASURES (SEEDING/MULCHING OR SOIL) ARE INITIATED. THE 'SELF INSPECTION' REPORTS WILL BE MAINTAINED ALONG WITH THE 'NPDES' INSPECTION REPORTS. ONCE STABILIZATION HAS BEEN ACCOMPLISHED INSPECTION RECORDS ARE TO BE FORWARDED TO EA AND ALL TEMPORARY EROSION/SEDIMENTATION CONTROL DEVICES REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL PERMITS AND PLANS, ANY CHANGES WILL BE APPROVED BY THE STATE PRIOR TO EXECUTION. A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN, LETTER OF APPROVAL, AND NPDES CONSTRUCTION PERMIT WILL BE MAINTAINED BY THE CONTRACTOR AT THE ONSITE OFFICE. IF SOIL IS REMOVED FROM OR BROUGHT ONSITE, THE APPLICABLE SOLID WASTE MANAGEMENT PERMIT NUMBER, EROSION SEDIMENTATION PERMIT NUMBER OR MINE PERMIT NUMBER WILL BE DISCLOSED.

EROSION CONTROL LEGEND

EXISTING CONTOURS	PROPOSED CONTOURS
LOD	STOCKPILE AREA
SF	SILT FENCE
CONSTRUCTION ENTRANCE	
TEMPORARY INLET PROTECTION	
TEMPORARY CURB INLET PROTECTION	
CONCRETE WASHOUT	



EROSION CONTROL PLAN - PHASE II KEYNOTES	
NUMBER	DESCRIPTION
EC201	LIMITS OF DISTURBANCE
EC202	SILT FENCE; REFER TO DETAIL (TYP.)
EC203	SILT FENCE OUTLET; REFER TO DETAIL (TYP.)
EC204	TEMPORARY 25' X 50' (MIN.) CONSTRUCTION ENTRANCE; REFER TO DETAIL
EC205	TEMPORARY INLET PROTECTION (TYP.); REFER TO DETAIL
EC206	TEMPORARY CURB INLET PROTECTION (TYP.); REFER TO DETAIL
EC207	PROPOSED CONCRETE MONOLITHIC ISLAND



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

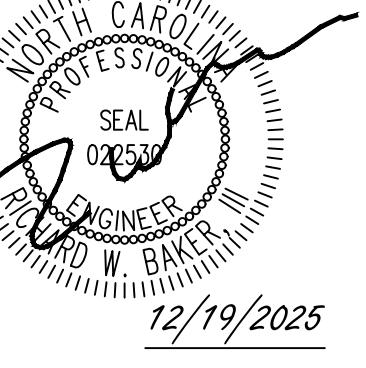
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE,
WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

- a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
- By: _____ Date: _____
Town Engineer
- These plans are approved by the Town of Knightdale and serve as construction plans for this project.
- By: _____ Date: _____
Land Use Administrator

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
EROSION CONTROL PHASE II

THIS DRAWING PREPARED AT THE RALEIGH OFFICE 5410 Trinity Road, Suite 102, Raleigh, NC 27607 TEL 919.866.4951 FAX 919.833.1824 www.timmons.com	REVISION DESCRIPTION 12/19/2025
DATE ----	DRAWN BY 332
DESIGNED BY 332	CHECKED BY M. DAVIDSON
SCALE AS SHOWN	

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or constructionstaking without the express written consent of TIMMONS GROUP.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102, Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.18124 www.timmons.com

REVISION DESCRIPTION

12/19/2025

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

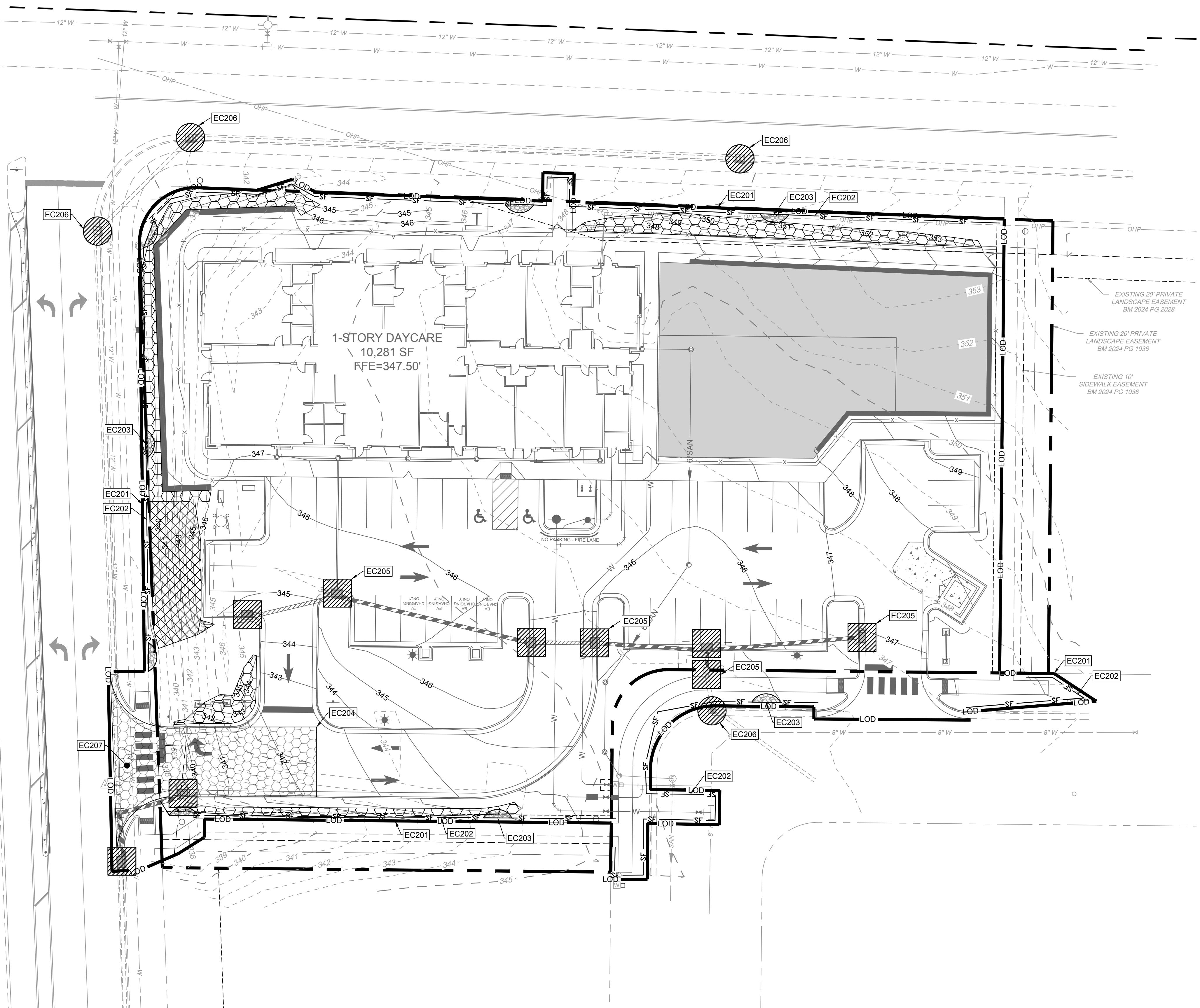
NPDES PLAN

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or constructionstaking without the express written consent of TIMMONS GROUP.

EROSION CONTROL LEGEND	
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	LIMITS OF DISTURBANCE
---	STOCKPILE AREA
---	SILT FENCE
---	SILT FENCE STONE OUTLET
---	CONSTRUCTION ENTRANCE
---	TEMPORARY INLET PROTECTION
---	TEMPORARY CURB INLET PROTECTION
---	CONCRETE WASHOUT

GROUND STABILIZATION HATCHES	
HATCH	SITE AREA DESCRIPTION
Diagonal Hatching	SLOPES STEEPER THAN 3:1; REFER TO SECTION E OF NCG01 GROUND STABILIZATION AND MATERIALS HANDLING
Hexagonal Hatching	SLOPES 3:1 TO 4:1; REFER TO SECTION E OF NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

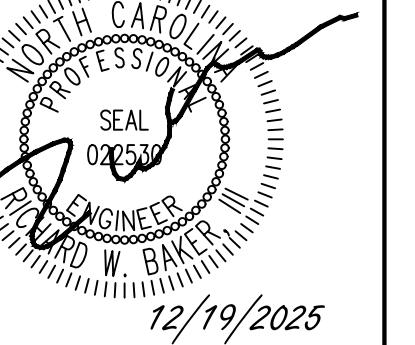
REFER TO NPDES STABILIZATION NOTES AND DETAILS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE,
WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

- a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Land Use Administrator



THIS DRAWING PREPARED AT THE
RAILEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.tmmcons.com

REVISION DESCRIPTION
DRAWING SUBMITTAL #1

YOUR VISION ACHIEVED THROUGH OURS.
DATE 12/19/2025
DRAWN BY 332
DESIGNED BY 332
CHECKED BY M. DAVIDSON
SCALE AS SHOWN

TOWN OF KNIGHTDALE PERMITTING AND ENVIRONMENTAL REGULATION NOTES:

- ESC PERMITTING AND INSPECTIONS:
 - ONCE THE EROSION AND SEDIMENT CONTROL (ESC) PLAN HAS BEEN REVIEWED AND ACCEPTED BY THE TOWN OF KNIGHTDALE (TOK), A FORMAL PLAN APPROVAL LETTER WILL BE ISSUED TO THE FRP AND APPLICANTS. NOTE: AN ESC APPROVAL LETTER DOES NOT INDICATE PERMIT ISSUE.
 - AN NCG01 CERTIFICATE OF COVERAGE MUST BE OBTAINED FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCDEQ), THE MAINTENANCE PERMIT CAN BE OBTAINED BY FILLING OUT THE ELECTRONIC NOTICE OF INTENT (E-NOI) FORM AT DEQ.NC.GOV/NCG01. PLEASE NOTE, THE E-NOI FORM MAY ONLY BE COMPLETED ONCE ESC PLANS HAVE BEEN APPROVED (A).
 - THE TOWN OF KNIGHTDALE STORMWATER DEPARTMENT REQUIRES AN ON-SITE PRECONSTRUCTION (PRECON) MEETING PRIOR TO ISSUING A DEVELOPMENT PERMIT. THIS MEETING IS AN OPPORTUNITY TO GO OVER SITE MANAGEMENT EXPECTATIONS AND DISCUSS ANY PROJECT CONCERNs.
 - ONCE THE PRECON MEETING HAS BEEN HELD AND ALL FEES PAID, THE LAND DEVELOPMENT PERMIT (LDP) WILL BE ISSUED FOR THE PROJECT.
 - FOLLOWING SITE MOBILIZATION, ROUTINE "CONSTRUCTION SITE INSPECTIONS" BY TOK STAFF WILL OCCUR AS OUTLINED IN THE TOK EROSION AND SEDIMENT CONTROL ENFORCEMENT TREE. TO NOTE, "COMPLIANT/SATISFACTORY" INSPECTIONS WILL NEED TO OCCUR FOLLOWING:
 - INSTALLATION OF INITIAL ESC PERIMETER CONTROLS (SF, SF/TP, SFOS) ONLY CLEARING THE PERIMETER RIBBON (25' MAX) - "PERIMETER CONTROL INSPECTION".
 - INSTALLATION OF ALL PHASE 1 ESC MEASURES INCLUDING ENGINEERED STRUCTURES - "CERTIFICATE OF COMPLIANCE INSPECTION".
- IT IS THE RESPONSIBILITY OF THE SITE MANAGER TO FORMALLY REQUEST THESE TYPES OF INSPECTIONS BY CONTACTING TOK PUBLIC WORKS. CLEARING/GRUBBING OUTSIDE OF THE LIMITED AREAS REQUIRED TO COMPLETE THE ABOVE ITEMS WILL RESULT IN ENFORCEMENT ACTION BY THE TOK.
- FOLLOWING THE COMPLETION OF THE ITEMS ABOVE, THE SITE CAN BE CLEARED AND DEVELOPED IN ACCORDANCE WITH THE APPROVED PLAN.
- PERMITS BOX CONTENTS - A COPY OF THE TOK LAND DEVELOPMENT PERMIT, THE NCG01 CERTIFICATE OF COVERAGE (COC) AND REGULAR NPDES INSPECTIONS, A COPY OF THE APPROVED/REVISED ESC PLAN, AND (WHEN OBTAINED) THE TOK CERTIFICATE OF COMPLIANCE - MUST BE KEPT ON SITE, PREFERABLY IN A PERMITS BOX, AND ACCESSIBLE DURING INSPECTION. LOCATE A RAIN GAUGE ON SITE FOR FACILITATION OF INSPECTIONS AND RECORD KEEPING.
- 401/404 PERMITS - APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT AUTHORIZE IMPACTS TO WETLANDS, COASTAL MARSH, STREAMS, OR OTHER WATERS OF THE STATE OR UNITED STATES OR SUPERSEDE ANY OTHER PERMITTING REQUIREMENT OF ANY FEDERAL, STATE OR LOCAL AGENCY.
- IF APPLICABLE, PROVIDE A COPY OF THE USACE 404 PERMIT AND DWR 401 CERTIFICATIONS. PROVIDE A COPY OF THE DWR BUFFER AUTHORIZATION.
 - SUBMIT DOCUMENTATION WITH MAPS SHOWING LOCATION AND EXTENT OF IMPACTS TO STREAMS AND WETLANDS WITH ANY SPECIAL CONDITIONS PERTAINING TO EROSION AND SEDIMENT CONTROL AND RESTORATION OF AFFECTED AREAS.
 - IDENTIFY THE STREAMS, WETLANDS, AND BUFFERS ON THE PLAN SHEETS. INCLUDE ANY ADDITIONAL MEASURES, CONSTRUCTION SPECIFICATIONS, MAINTENANCE REQUIREMENTS AND CONSTRUCTION SEQUENCING AS REQUIRED BY THE 404/401/BUFFER DETERMINATION AND BUFFER AUTHORIZATION ON THE PLAN SHEETS.
 - FOLLOW ALL CONDITIONS OUTLINED IN THE CERTIFICATIONS, SPECIFICALLY REPORTING ANY DISCHARGES OUTSIDE OF THE PERMITTED SCOPE OF WORK.
- AREAS OF ENVIRONMENTAL CONCERN AND CULTURAL RESOURCES - BEFORE ANY SITE WORK OCCURS, ADEQUATELY IDENTIFY KEY ENVIRONMENTAL AND/OR CULTURAL RESOURCES BY USING APPROPRIATE IDENTIFIERS IN THE FIELD (TREE PROTECTION FENCING, FLAGGING, ETC.).
- FILL/BORROW - ANY OFF-SITE BORROW AND/OR FILL REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE NC DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE NC DIVISION OF SOLID WASTE MANAGEMENT, OR PER NC DIVISION OF SOLID WASTE MANAGEMENT OR NC DIVISION OF WATER RESOURCES RULES AND REGULATIONS.

TOWN OF KNIGHTDALE REQUIRED ESC PLAN MAINTENANCE NOTES:

- PROVIDE A PLAN DETAIL, CONSTRUCTION SPECIFICATIONS, AND SPECIFIC MAINTENANCE REQUIREMENTS FOR ALL PROPOSED SEDIMENT AND EROSION CONTROL STRUCTURES INCLUDED ON THE PLAN. RECOMMEND PLACING MAINTENANCE REQUIREMENTS WITH THE ASSOCIATED CONSTRUCTION DETAIL.
- MAINTENANCE AND/OR CLEAN OUT, IS NECESSARY ANYTIME THE DEVICE IS AT 50% CAPACITY. ALL SEDIMENT STORAGE MEASURES WILL REMAIN ON SITE AND FUNCTIONAL UNTIL ALL GRADING AND FINAL LANDSCAPING OF THE PROJECT IS COMPLETE.
- AS DESIGNATED BY NCDEN NCG01 PERMITTING, SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF 1 INCH OR GREATER. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED.
- PROVIDE THE MINIMUM MAINTENANCE STANDARDS AS SPECIFIED BELOW:

SURVEYOR FLAGS/TAPE/STAKES:

- REPLACE IDENTIFIERS IF DAMAGED OR KNOCKED DOWN DURING DEVELOPMENT.
- ENSURE KEY ENVIRONMENTAL AND/OR CULTURAL RESOURCES MAINTAIN IDENTIFIERS.
- COLORS SHOULD ADHERE TO THE APWA UNIFORM COLOR CODE. USE ACCEPTED SURVEY SYMBOLS AND ENSURE OPERATORS UNDERSTAND DESIGNATIONS. UTILITY LINE OWNERS/OPERATORS SHALL IDENTIFY THE DESIGNATING FIRM.
- CONFIRM BOX IS SECURELY FASHIONED TO A POST OR WALL IN A VISIBLE LOCATION IN PROXIMITY TO THE CONSTRUCTION ENTRANCE.
- MAINTAIN RELEVANT IDENTIFICATION ON THE EXTERIOR OF THE BOX.
- ENSURE PAPER DOCUMENTS REMAIN DRY / LEGIBLE (LAMINATION, TICKET HOLDERS, BINDERS, ETC.)
- REPLACE ANY MISSING DOCUMENTS IMMEDIATELY. CONSIDER PLACING TIES OR FASTENERS IF NECESSARY.

RAIN GAUGE:

- CHECK AND REMOVE ANY ITEMS FROM THE RAIN FUNNEL AND THE DEBRIS FILTER (e.g.... DUST, BUGS AND OTHER DEBRIS).
- OPEN THE RAIN GAUGE AND REMOVE ANY FOREIGN OBJECTS.
- PERFORM ROUTINE MAINTENANCE AS SPECIFIED BY THE MANUFACTURER.
- CHECK THAT THE GAUGE IS NOT BEING OBSTRUCTED FROM RAIN CAPTURE AND IS LEVEL BEFORE AND AFTER REASSEMBLY.

SILT FENCE:

- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUTS.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE OUTLET:

- FRESHEN STONE WHEN SEDIMENT ACCUMULATION EXCEEDS 6 INCHES.
- KEEP MESH FREE OF DEBRIS TO PROVIDE ADEQUATE FLOW AND REPLACE STONE AS NEEDED TO FACILITATE DE-WATERING.

CONSTRUCTION ENTRANCE:

- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE.
- IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

INLET PROTECTIONS (PIPE / YARD / DROP / CURB):

- INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT.
- KEEP FREE OF DEBRIS TO PROVIDE ADEQUATE FLOW AND IF PRESENT REPLACE STONE AS NEEDED TO FACILITATE DE-WATERING.

REQUIRED TOWN OF KNIGHTDALE CONSTRUCTION SEQUENCE:

- SCHEDULE AN INITIAL PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF KNIGHTDALE.
- OBTAiN A LAND-DISTURBANCE PERMIT.
- OWNER/DEVELOPER/CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED EROSION CONTROL PLAN AND MAINTAIN A COPY OF THE PLAN ON SITE THROUGHOUT DURATION OF CONSTRUCTION.
- INSTALL ALL PERIMETER CONTROLS AS SHOWN ON THE APPROVED PLANS. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. CLEARING SHOULD BE LIMITED TO A MAXIMUM 35' "RIBBON" AROUND PERIMETER TO INSTALL CONTROLS. NO GRADING OR EXCAVATION SHOULD OCCUR.
- SCHEDULE AN ONSITE PRE-CONSTRUCTION MEETING WITH THE TOWN OF KNIGHTDALE TO INSPECT THE INSTALLED PERIMETER CONTROLS.
- IF APPROVED, PROCEED WITH INSTALLING GRAVEL CONSTRUCTION PAD (ENSURE CONSTRUCTION TRAFFIC IS LIMITED TO THE CONSTRUCTION ENTRANCE ONLY). SILT FENCE, SEDIMENT OR OTHER MEASURES AS SHOWN ON THE APPROVED PLANS. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER. SILT FENCE, INLET PROTECTION, AND OTHER SIMILAR MEASURES MUST BE CLEANED OUT BEFORE THEY ARE FULLY HALF CLOGGED. STONE FILTERS MUST BE REFRESHED/REPLACED. SILT FENCE CAN NOT HAVE HOLES OR TEARS.
- CALL TOWN OF KNIGHTDALE EROSION CONTROL INSPECTOR TO SCHEDULE AN ONSITE INSPECTION AND OBTAIN A CERTIFICATE OF COMPLIANCE.
- INSPECT ALL EROSION CONTROL DEVICES AFTER EVERY RAINFALL EVENT AND AT LEAST ONCE PER WEEK. REPAIR AND CLEAN OUT AS REQUIRED.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL CONTROLS. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN IN THE APPROVED PLAN. BEING CONSTRUCTION, BUILDING, ETC. PIPE INLET PROTECTION SHALL BE UTILIZED AT THE END OF EACH WORK DAY TO ASSURE PIPE NETWORK IS NOT INUNDATED WITH SEDIMENT.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- INSTALL SITE IMPROVEMENTS, STORMWATER DRAINAGE SYSTEM, UTILITY SERVICES, SIDEWALKS AND DRIVES AS SHOWN ON THE APPROVED PLANS. ALL OPEN TRENCHES FOR UTILITY AND STORMWATER INSTALLATION SHALL BE PROTECTED FROM SEDIMENTATION BY PILING EXCAVATED MATERIAL ON THE UPHILL SIDE OF EXCAVATION.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL EROSION CONTROL INSPECTOR FOR AN INSPECTION.
- IF SITE IS APPROVED, REMOVE SILT FENCE, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS.
- WHEN VEGETATION HAS BECOME ESTABLISHED (90% GERMINATION), CALL FOR A FINAL INSPECTION BE THE EROSION CONTROL INSPECTOR. OBTAIN A CERTIFICATE OF COMPLETION.
- GROUND COVER SHALL BE PROVIDED AS FOLLOWS:
 - FOR ALL AREAS OF MODERATE AND/OR STEEP SLOPES, PROVIDE TEMPORARY GROUND COVER IF THE SLOPE HAS NOT BEEN DISTURBED FOR A PERIOD OF FOURTEEN (14) DAYS. SLOPES GREATER THAN 3:1 REQUIRE GROUND COVER IN 7 DAYS.
 - PROVIDE GROUND COVER SUFFICIENT TO RESTRAIN EROSION ON ANY PORTION OF THE SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN WITHIN FOURTEEN (14) CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
 - ESTABLISH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WITHIN FOURTEEN (14) CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT AND/OR PRIOR TO FINAL INSPECTION.

*MODIFIED FOR SITE SPECIFIC DETAILS

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01

Implementation of the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 4:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless otherwise specified

SECTION F: GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulches Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile-like such as permanent soil reinforcement matting Hydroseeding Other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

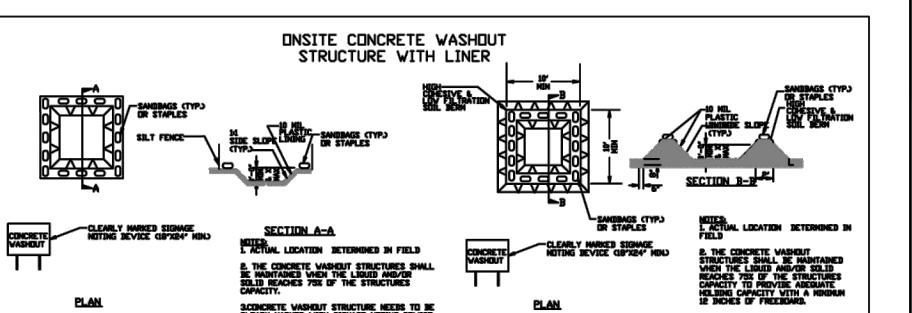
POLYACRYLAMIDES (PAMS) AND FLOCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

NORTH CAROLINA Environmental Quality

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.



LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or store waste. Place litter and debris in approved waste containers.
- Properly dispose of all wastes, including construction wastes (e.g. dormer, trash receptacles) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and do not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or temporary secondary containment. Repair or replace damaged waste containers.
- Anchor or light-weight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.

PAINT AND OTHER LIQUID WASTE

- Do not dump paints, solvents, and liquid wastes into storm drains, streams or wetlands.
- Locate paint containers at least 30 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating units.

EARTHEN STOCKPILE MANAGEMENT

- Store and apply herbicides, pesticides and rodenticides in accordance with label instructions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

HAZARDOUS WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

NORTH CAROLINA Environmental Quality

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it can be conducted. In addition, when a rain event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge installed in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekends or holidays, and no individual rain gauge information is available, record the cumulative rainfall amount for those days. Days with no rain gauge installed in a month shall be recorded as "zero". The permittee may use another rain-monitoring device to record rainfall amounts.
(2) E&SC Measures	At least once per 7 calendar days	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Description of the measures installed and any applicable operating procedures. 4. Description of maintenance required for the measures. 5. Identification of visible sediment leaving the site.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Description of the measures installed at the discharge outfall such as sheet, floating or settled solids or decolorization. 5. Identification of visible sediment leaving the site.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch	1. Identification of the perimeter installed to stabilize the site, including the silt fence that left the site limits. 2. Description, evidence, and date of corrective action taken, and the actions taken to control future re-occurrences.
(5) Storms or weather events	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch	1. Identification of the weather event that caused the sediment to move. 2. Description, evidence, and date of corrective action taken, and the actions taken to control future re-occurrences.
(6) Ground stabilization measures	After each phase of grading	1. Identification of the ground stabilization measures installed, including measures, clearing and grubbing, installation of storm drainage facilities, completion of all land disturbing activity, and the date of the inspection.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

SECTION C: REPORTING

1. Occurrences that Must be Reported

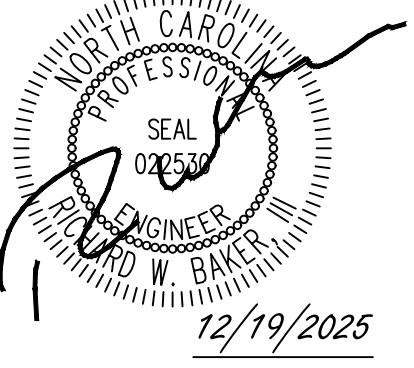
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or S.G. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102, Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION

12/19/2025

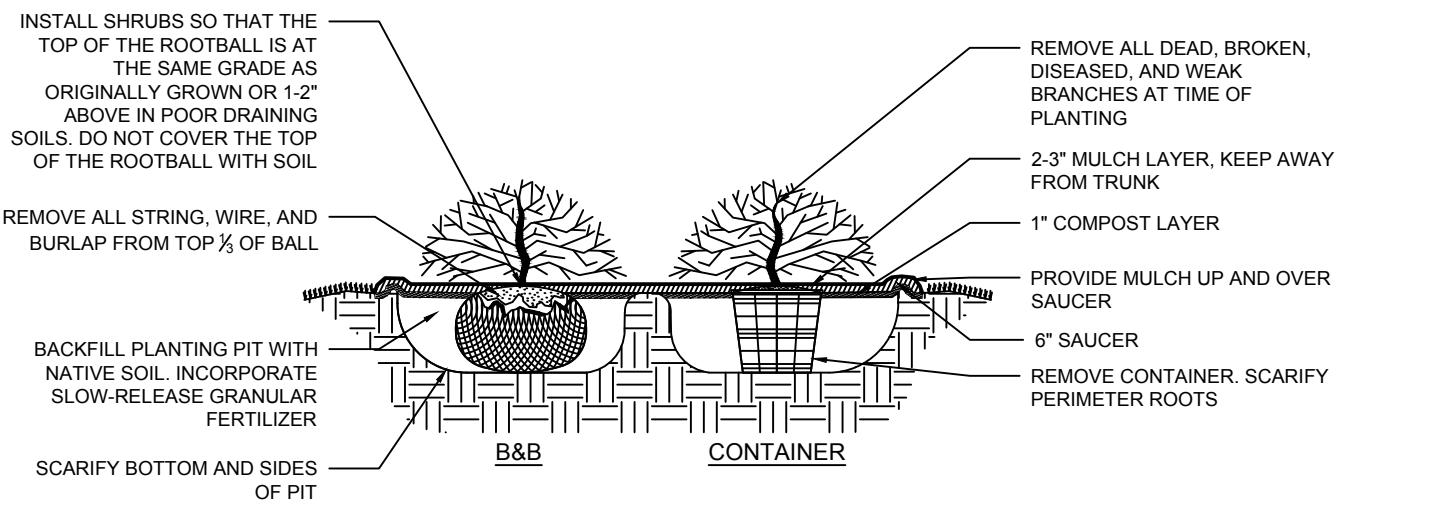
12/19/2025

TIMMONS GROUP

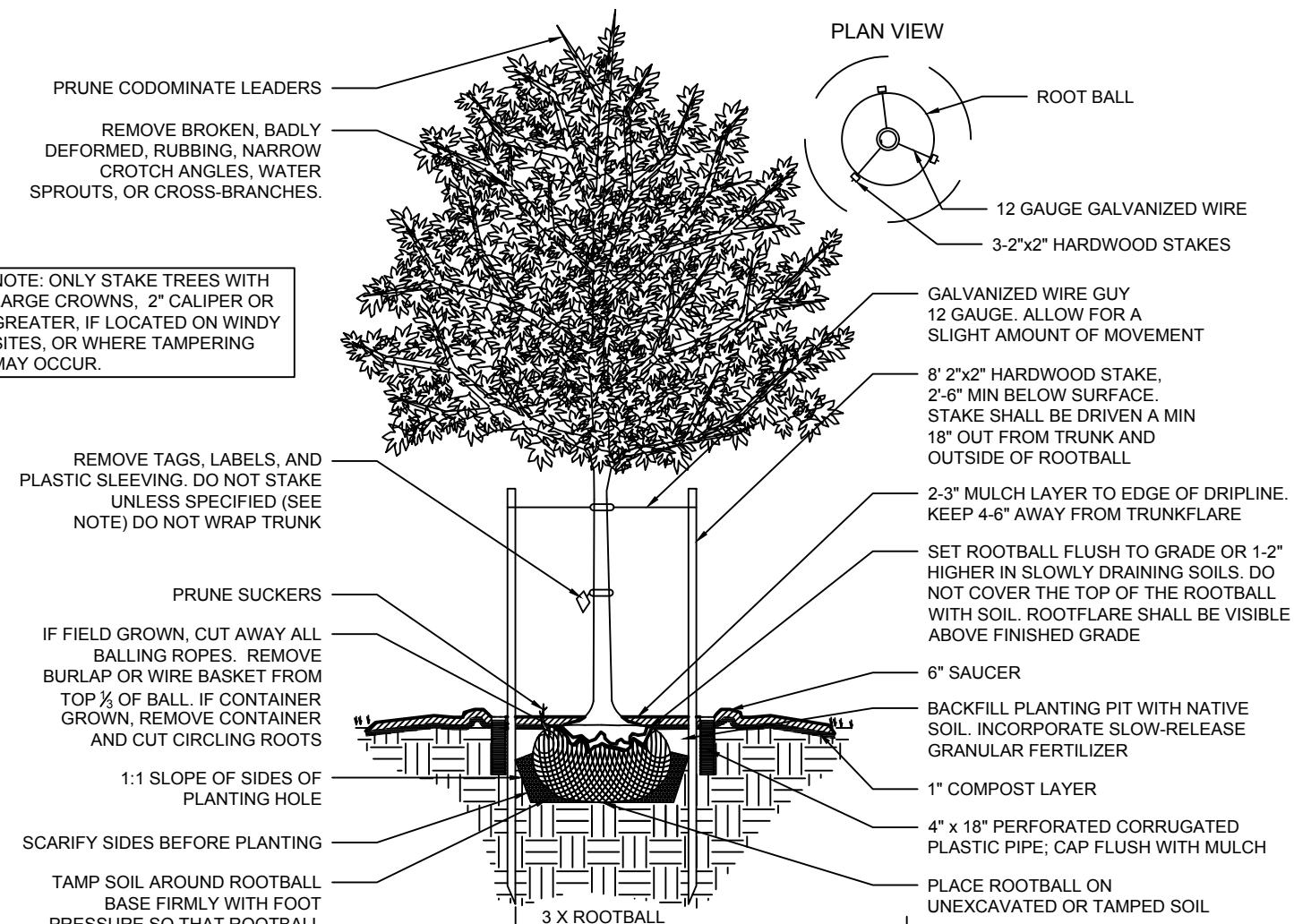
NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE NOTES AND DETAILS

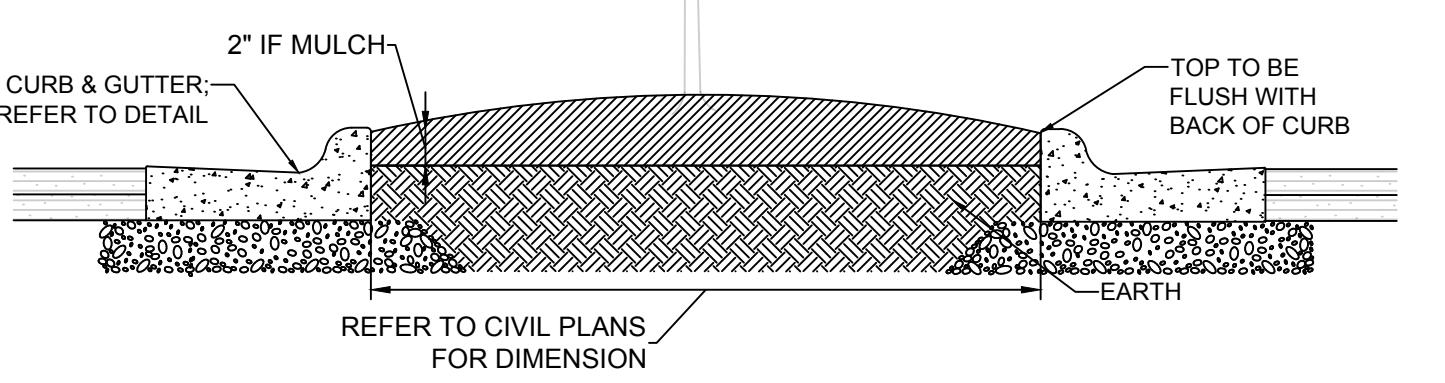
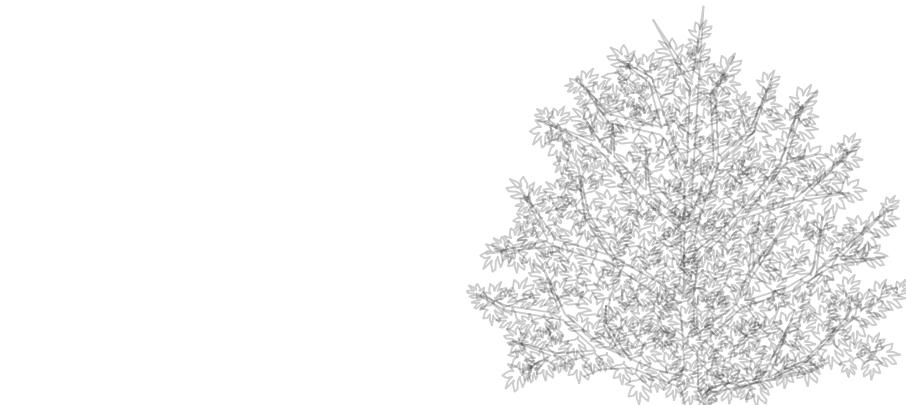
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



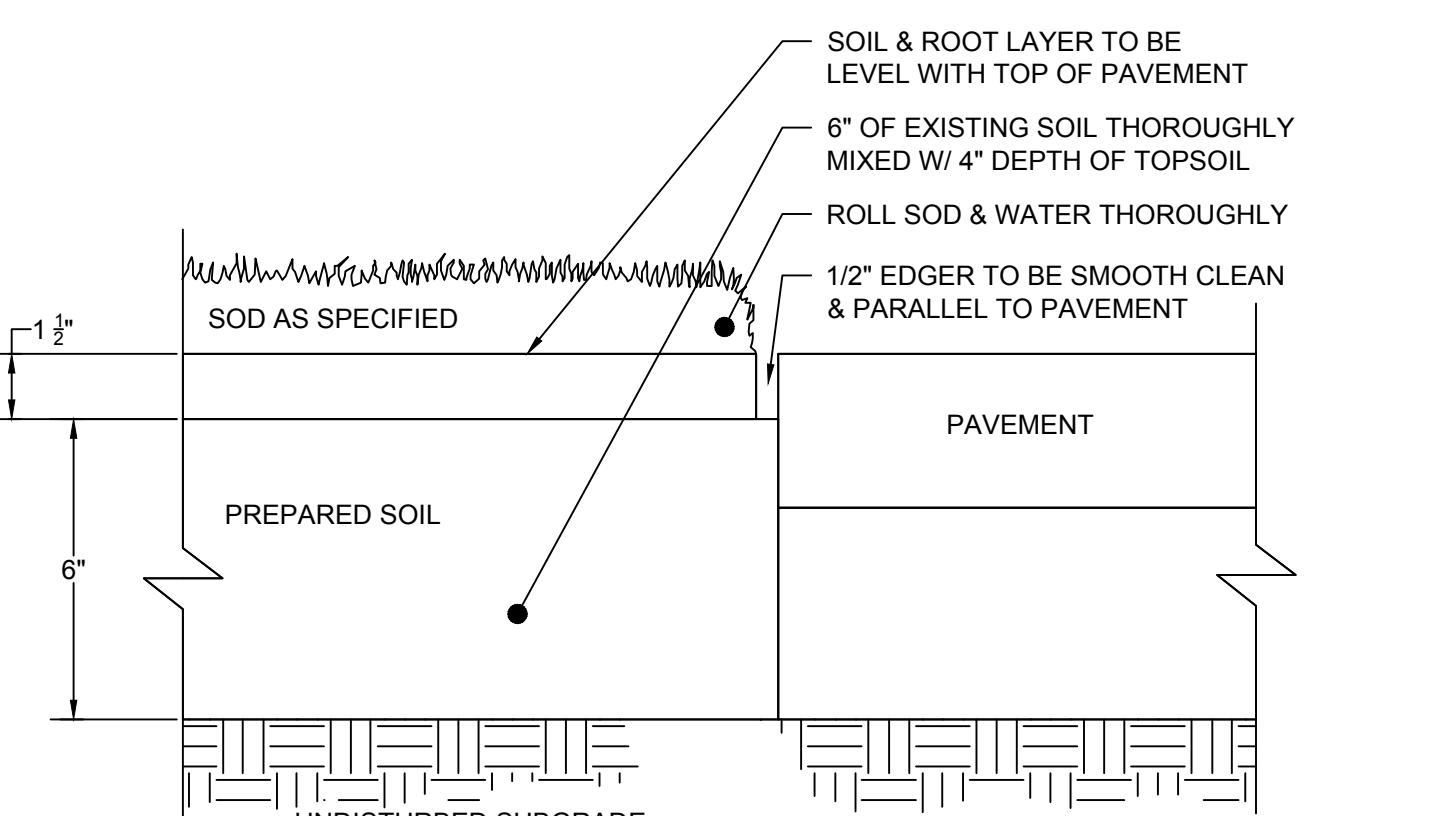
1 SHRUB DETAIL
NOT TO SCALE



2 DECIDUOUS TREE - STAKING SPECIFIED
NOT TO SCALE



6 LANDSCAPE ISLAND DETAIL
NOT TO SCALE



5 SOD DETAIL
NOT TO SCALE

TOWN OF KNIGHTDALE LANDSCAPE REQUIREMENTS

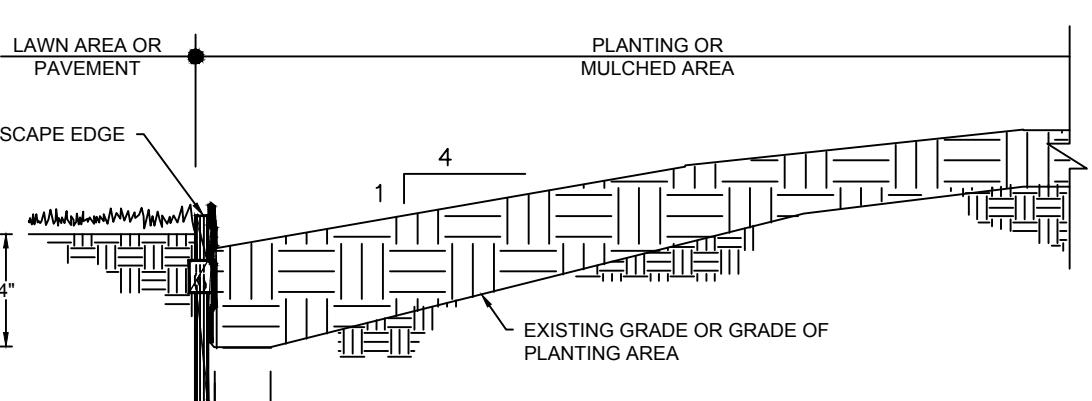
REQUIREMENT	CALCULATION	PROVIDED	SIZE (AT TIME OF PLANTING)
INTERIOR PARKING LOT LANDSCAPING:			
UDO 7.4.J: NO PARKING SPACE MORE THAN 60 LF FROM BASE OF CANOPY TREE	REFER TO PLAN - 60 FT RADIUS CIRCLES CENTERED ON TREES	10 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES
PARKING LOT SCREENING:			
U.D.O. 7.5.B PARKING LOTS: TYPE A BUFFER YARD SCREENING PARKING LOT FROM ROW. TYPE A BUFFER YARD REQUIREMENTS: 3 CANOPY TREES, 2 UNDERSTORY TREES & 20 SHRUBS PER 100 LF	667 LF OF TYPE A BUFFER YARD (667 / 100) X 3 CANOPY TREES = 20 TREES (667 / 100) X 2 UNDERSTORY TREES = 13.3 TREES (667 / 100) X 20 SHRUBS = 133.4 SHRUBS	22 CANOPY TREES 17 UNDERSTORY TREES 134 SHRUBS	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES 1.25" CALIPER AND 6 FT MIN. HEIGHT UNDERSTORY TREES 3 GALLON CONTAINER SIZE, 18" MIN. HEIGHT AND 12-15" MIN. SPREAD SHRUBS
STREET TREES:			
U.D.O. SEC. 7.4.L 1 CANOPY TREE PER 40 LF *UNDERSTORY TREES SUBSTITUTE CANOPY TREES WHERE OVERHEAD UTILITIES CONFLICT	OLD KNIGHT ROAD: 223 LF OF PROPERTY FRONTAGE (223 LF / 40 LF) = 5.6 TREES	6 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES
	HORTON ROAD: 306 LF OF PROPERTY FRONTAGE (306 LF / 40 LF) = 7.7 TREES	4 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES 1.25" CALIPER AND 6 FT MIN. HEIGHT UNDERSTORY TREES

PLANT SCHEDULE

SYMBOL	TREE	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLATION SIZE	TREE LOCATIONS
○	RO	10	QUERCUS LYRATA (NATIVE)	OVERCUP OAK	MIN. CALIPER SIZE OF 2", MIN HEIGHT OF 8'	PARKING LOT
●	RM	30	QUERCUS SHUMARDII (NATIVE)	SHUMARD OAK	MIN. CALIPER SIZE OF 2", MIN HEIGHT OF 8'	BUFFERS
•	FD	36	CORNUS FLORIDA (NATIVE)	FLOWERING DOGWOOD	MIN. CALIPER SIZE OF 1.25", MIN HEIGHT OF 6'	BUFFERS
■	SHRUBS					
◎	LP	192	LOROPETALUM CHINENSE (NATIVE)	LOROPETALUM	MIN. 3 GALLON CONTAINER SIZE, MIN. HEIGHT OF 18" AND MIN. SPREAD OF 12-15"	
⊗	GA	83	ABELIA X GRANDIFLORA (NATIVE)	GLOSSY ABELIA	MIN. 3 GALLON CONTAINER SIZE, MIN. HEIGHT OF 18" AND MIN. SPREAD OF 12-15"	

GROUND COVER

CYNODON DACTYLON	BERMUDA GRASS	SOD
	RED BARK MULCH	



4 TRENCH EDGER DETAIL
NOT TO SCALE

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

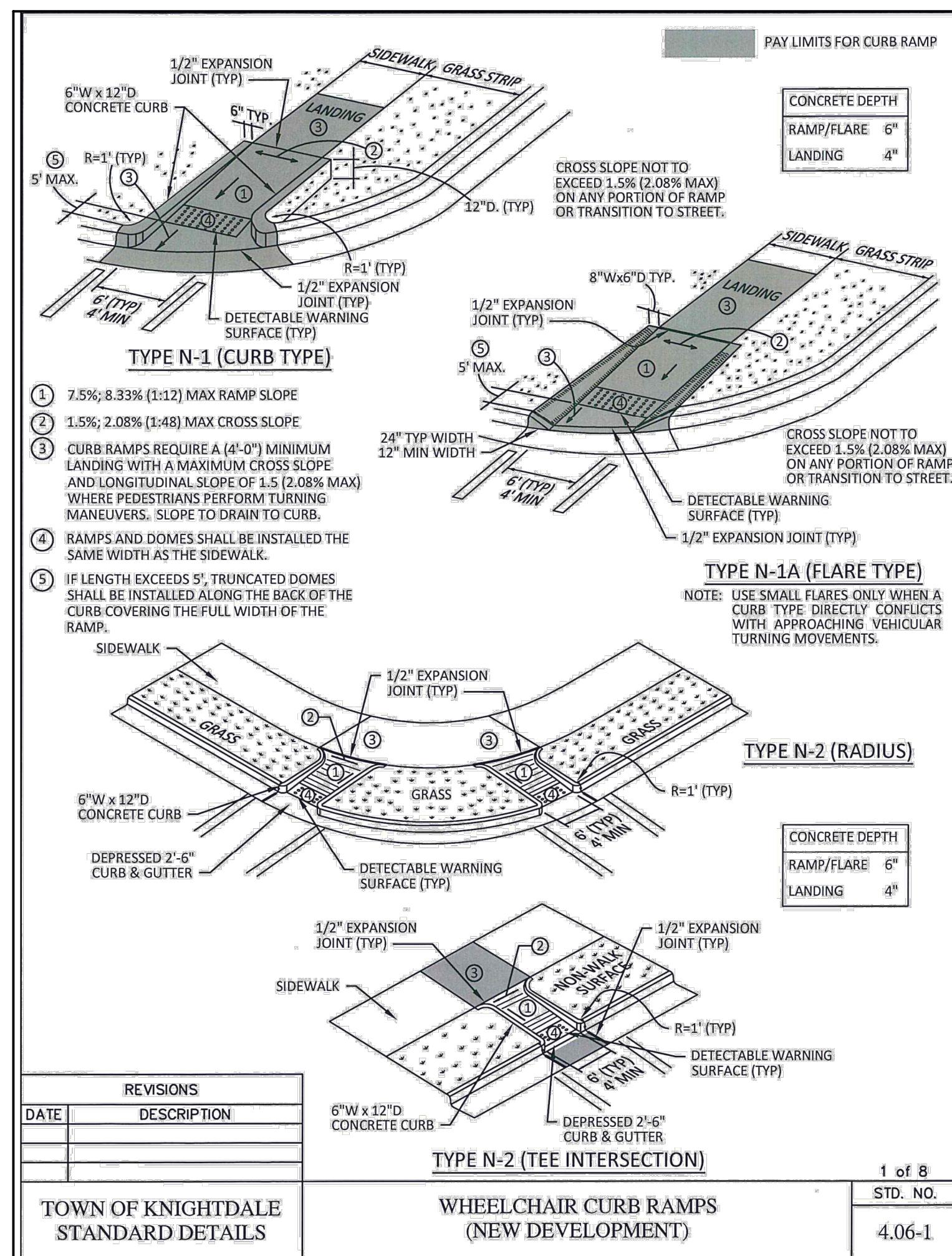
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE,
WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Land Use Administrator



REVISIONS	
DATE	DESCRIPTION

TOWN OF KNIGHTDALE
STANDARD DETAILS

WHEELCHAIR CURB RAMPS
(NEW DEVELOPMENT)

STD. NO.
4.06-1

TOWN OF KNIGHTDALE
STANDARD DETAILS

CONCRETE SIDEWALKS

STD. NO.
4.04-1

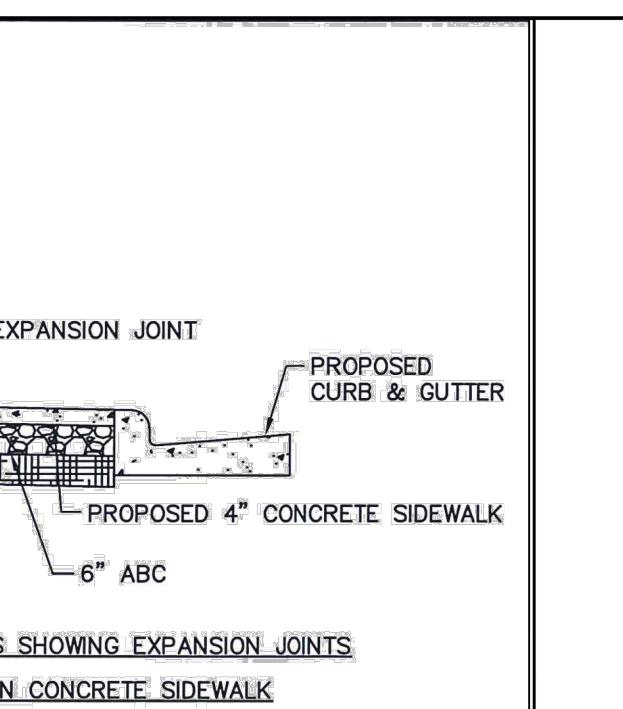
REVISIONS	
DATE	DESCRIPTION

REVISIONS	
DATE	DESCRIPTION

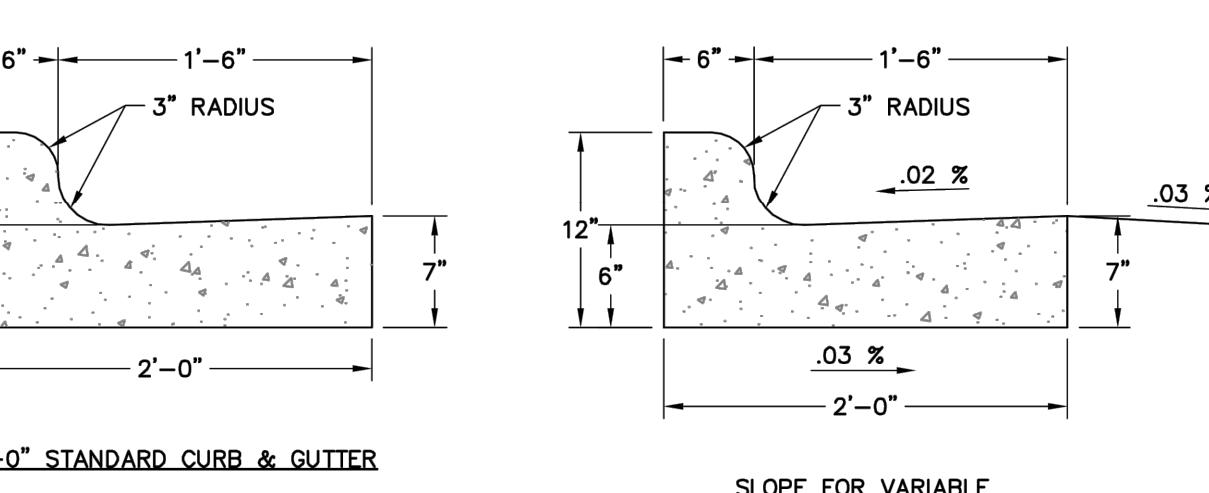
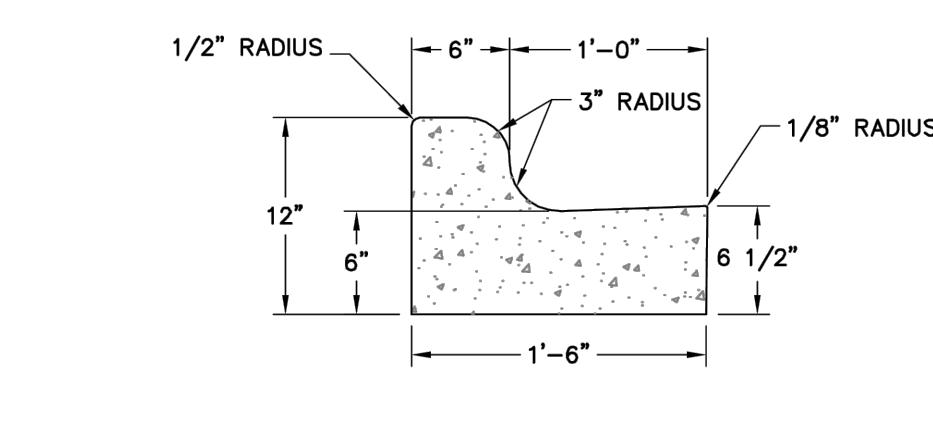
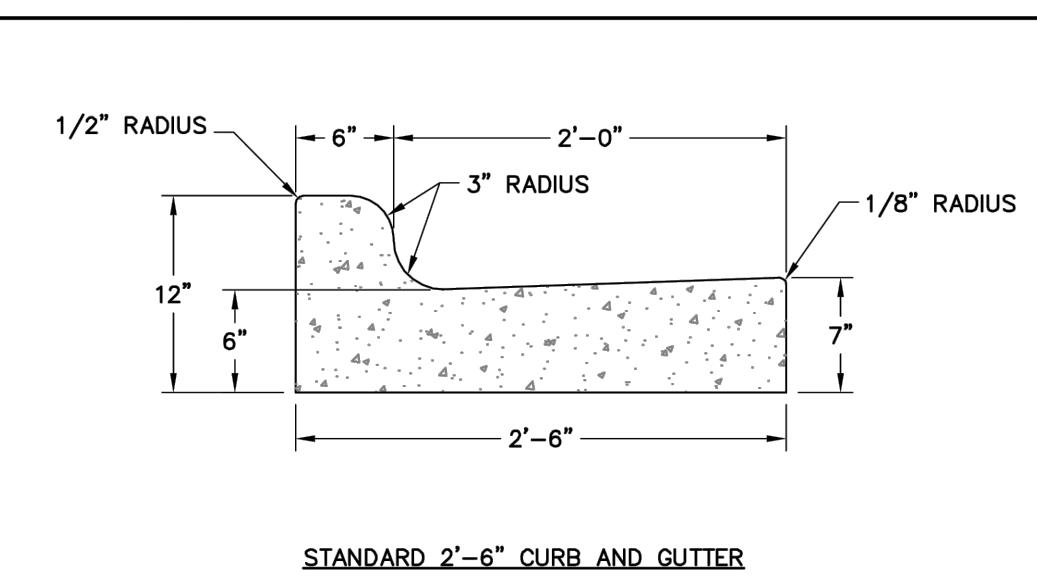
TOWN OF KNIGHTDALE
STANDARD DETAILS

CONCRETE SIDEWALKS

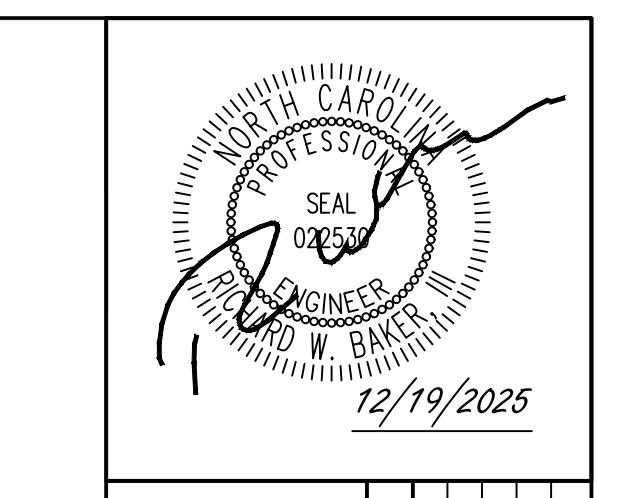
STD. NO.
4.04-2



NOTES:
 1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
 3. WIDTH OF SIDEWALK SHALL CORRESPOND TO STREET CROSS SECTION BUT SHALL BE 5' AT A MINIMUM.
 4. SIDEWALK ADJACENT TO CURB AND GUTTER IN PARKING LOT OR ALONG STREET SHALL BE 6' WIDE AT A MINIMUM.
 5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
 6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.



SLOPE FOR VARIABLE SUPER ELEVATION RATES



THIS DRAWING PREPARED AT THE
RAILROAD OFFICE
 540 Trinity Road, Suite 102, Raleigh, NC 27607
 Tel. 919.866.4951, Fax 919.833.124 www.tmmns.com

REVISION DESCRIPTION
REVISIONS
 DATE
 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

YOUR VISION ACHIEVED THROUGH OURS.
REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

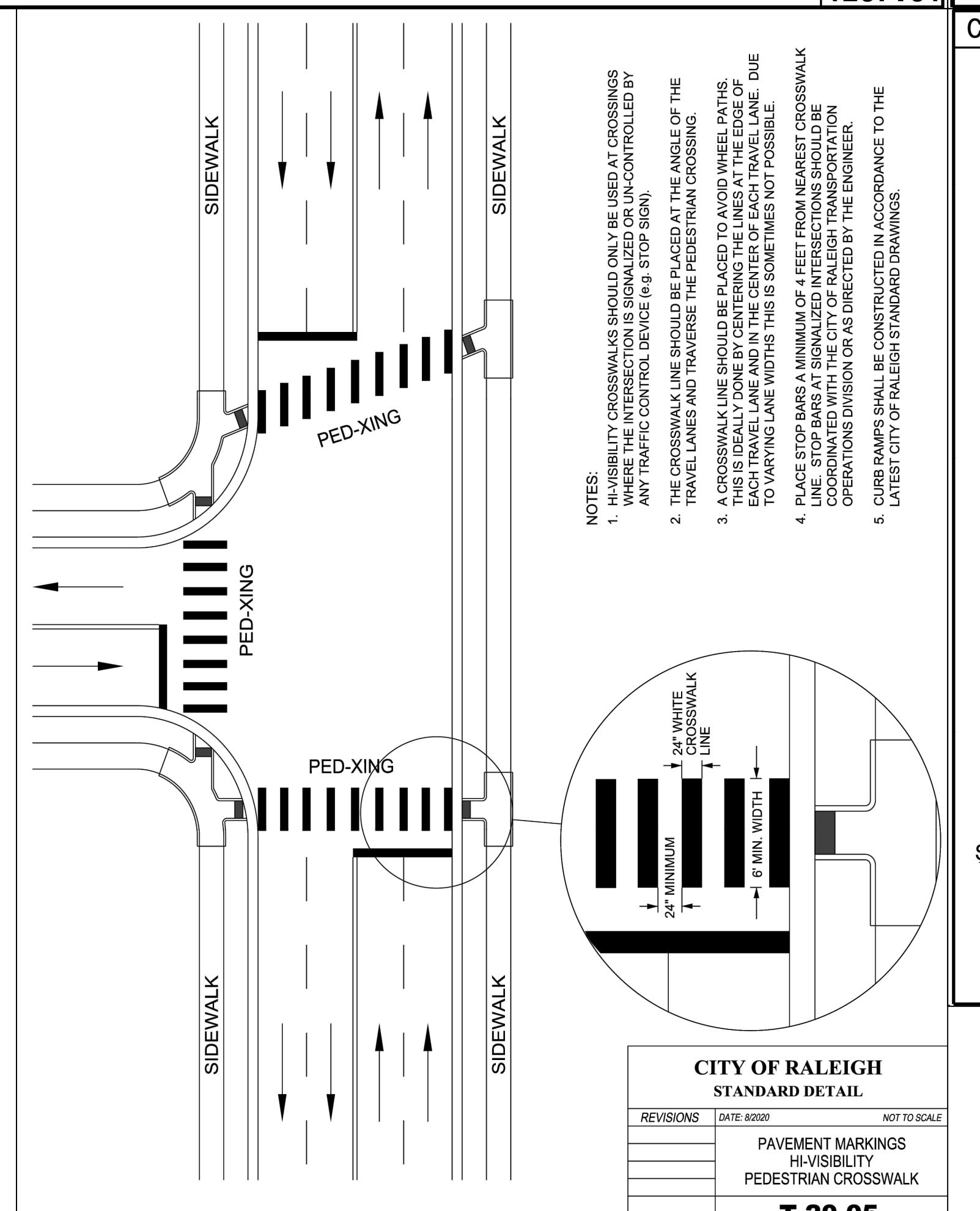
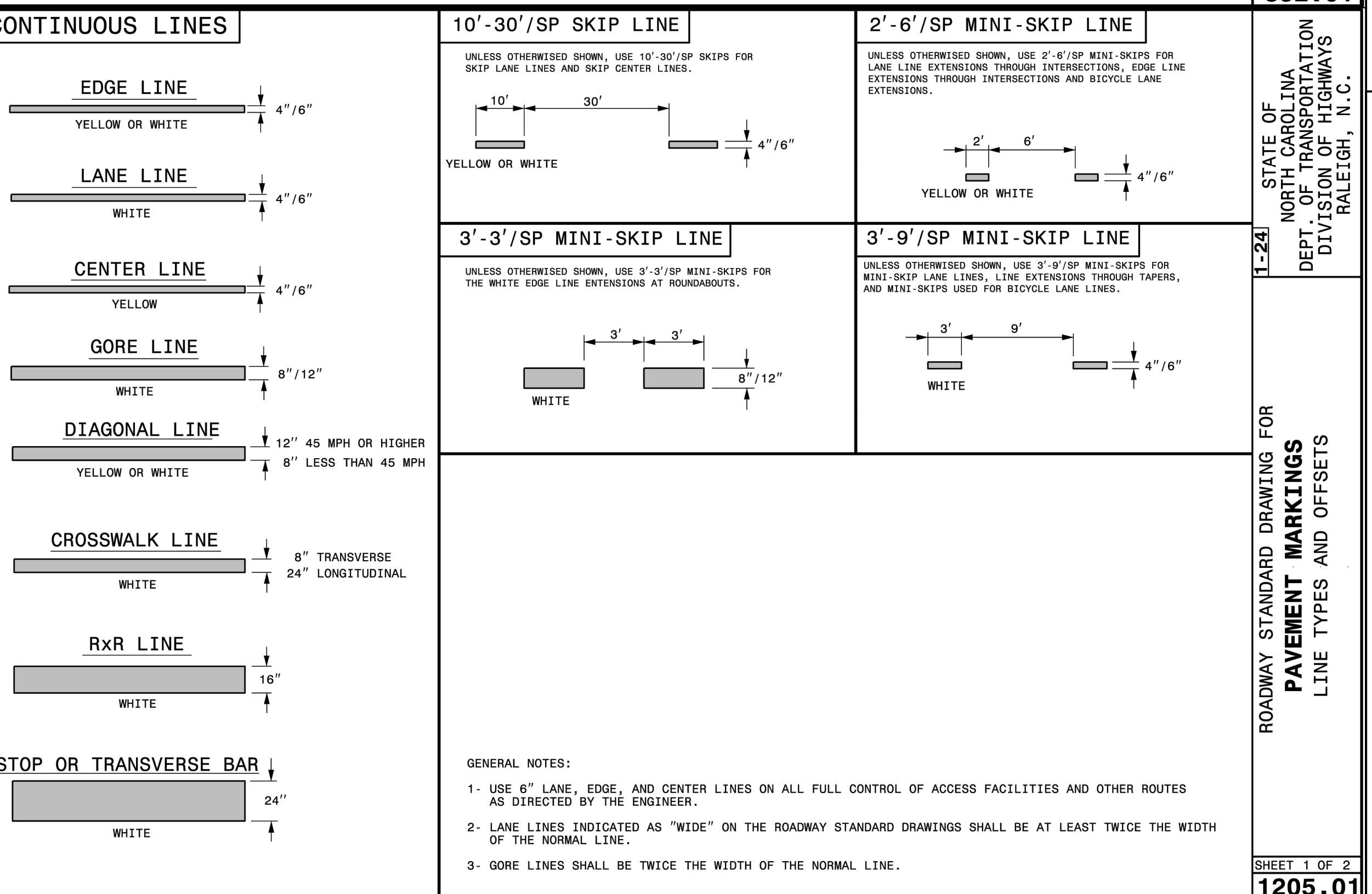
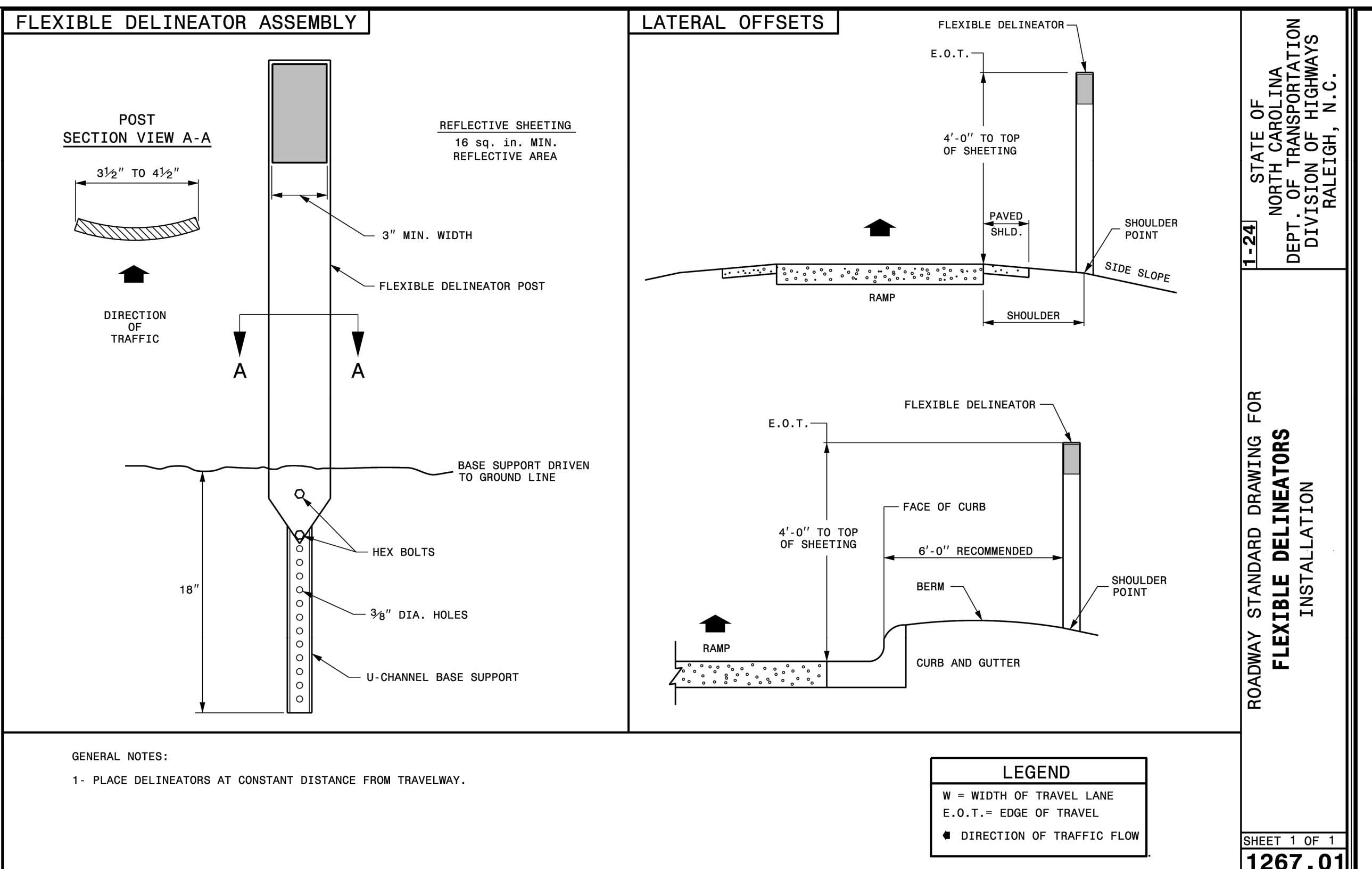
 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332
 DESIGNED BY
 332
 CHECKED BY
 M. DAVIDSON
 SCALE
 AS SHOWN

REVISIONS
 DATE
 12/19/2025

 DRAWN BY
 332



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Land Use Administrator

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

NOTES AND DETAILS

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

THIS DRAWING PREPARED AT THE
RAILROAD OFFICE
5410 Trinity Road, Suite 102, Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.1824 www.timmons.com

REVISION DESCRIPTION
12/19/2025 TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

SEAL
02/05/2025
NORTH CAROLINA
PROFESSIONAL
ENGINEER
JOHN W. BAKER
12/19/2025

1-24 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR CONCRETE ISLANDS

12/19/2025

DATE

DRAWN BY
332

DESIGNED BY
332

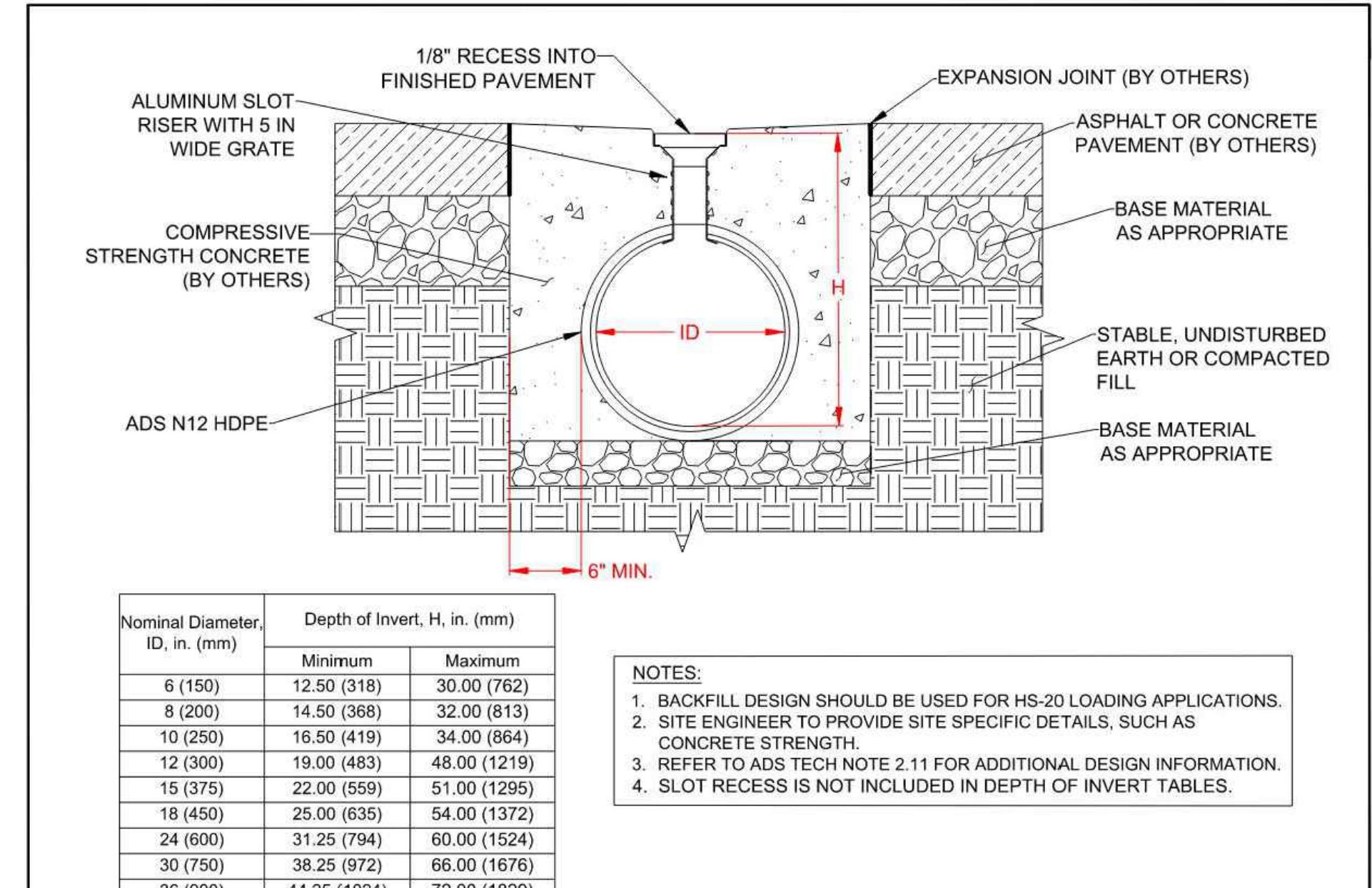
CHECKED BY
M. DAVIDSON

SCALE AS SHOWN

ROADWAY STANDARD DRAWING FOR CONCRETE ISLANDS

12/19/2025

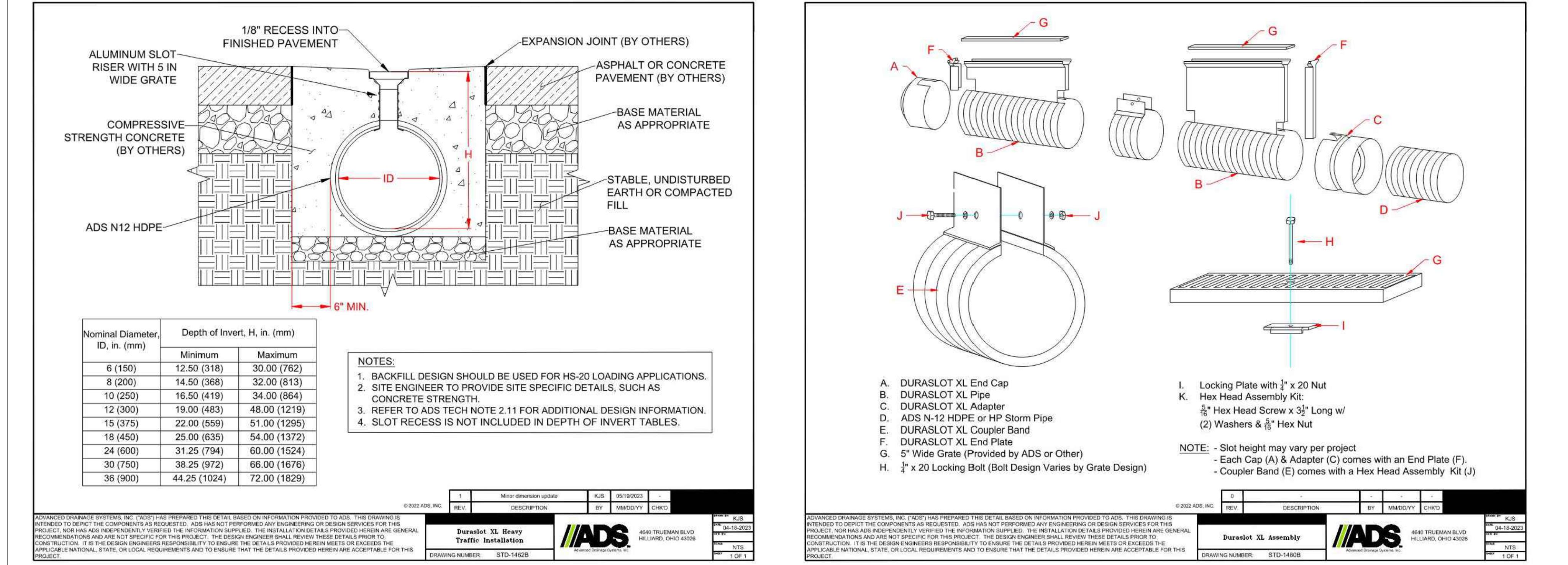
YOUR VISION ACHIEVED THROUGH OURS.



NOTES:
 1. BACKFILL DESIGN SHOULD BE USED FOR HS-20 LOADING APPLICATIONS.
 2. SITE ENGINEER TO PROVIDE SITE SPECIFIC DETAILS, SUCH AS CONCRETE STRENGTH.
 3. REFER TO ADS TECH NOTE 2.11 FOR ADDITIONAL DESIGN INFORMATION.
 4. SLOT RECESS IS NOT INCLUDED IN DEPTH OF INVERT TABLES.

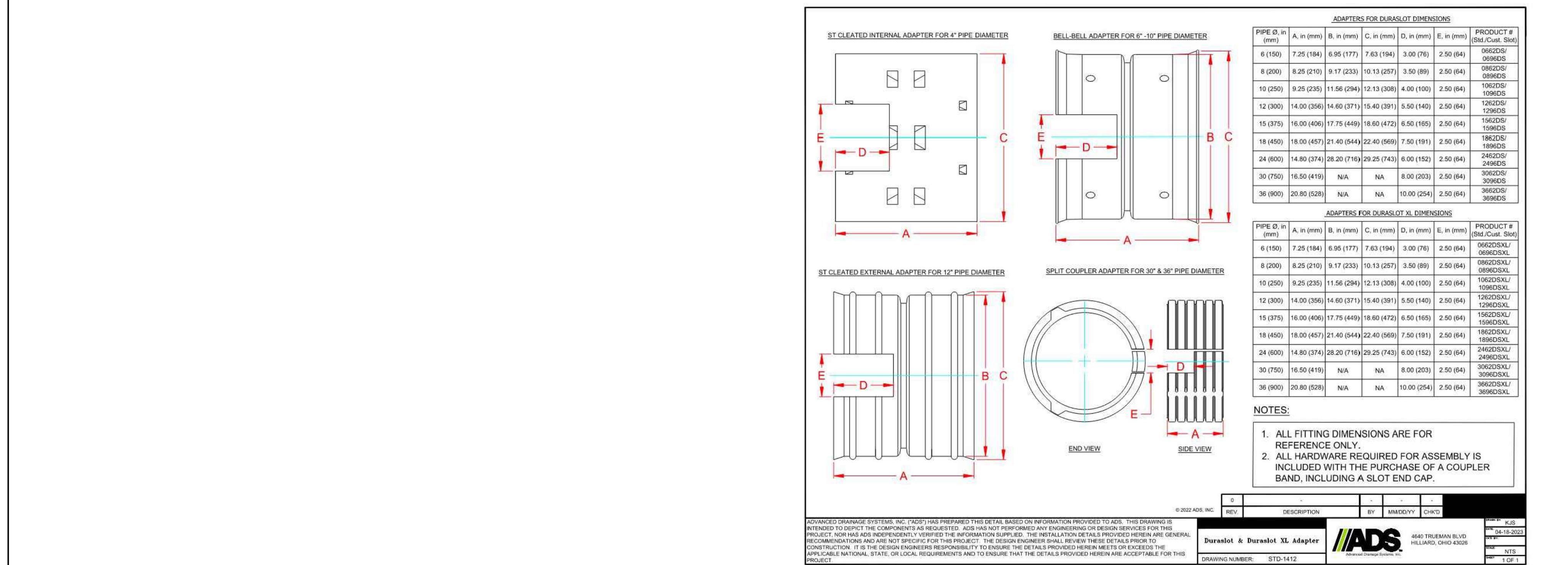
1	Minor dimension update	KJS	05/18/2023	-
REV	DESCRIPTION	BY	MM/DD/YY	CHKD
0	Duraslot XL Heavy Traffic Installation	ADS	05/18/2023	
	DRAWING NUMBER	STD-14028		NTS
			1 OF 1	

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL REQUIREMENTS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.



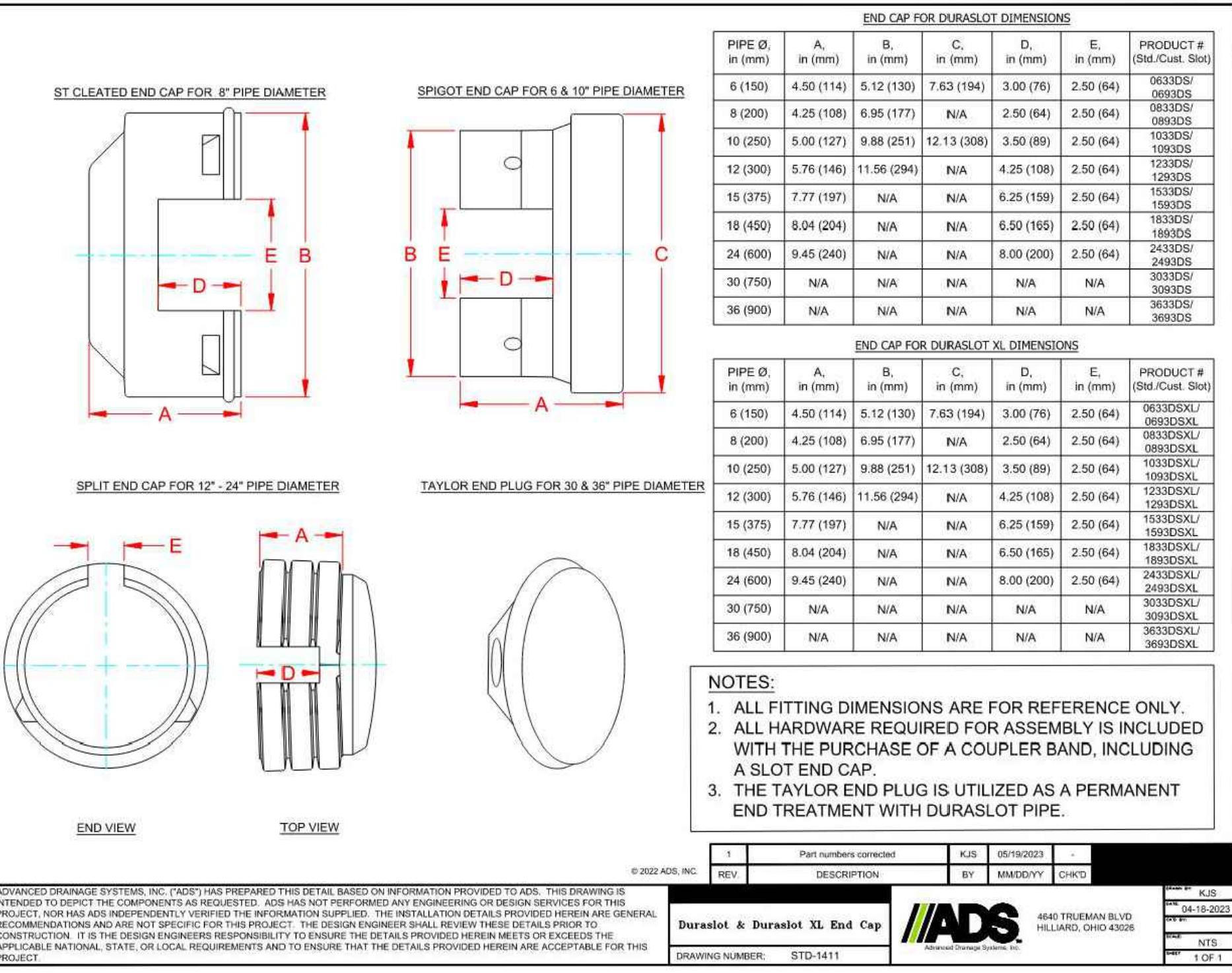
1	Minor dimension update	KJS	05/18/2023	-
REV	DESCRIPTION	BY	MM/DD/YY	CHKD
0	Duraslot XL Assembly	ADS	05/18/2023	
	DRAWING NUMBER	STD-1408		NTS
			1 OF 1	

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL REQUIREMENTS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.



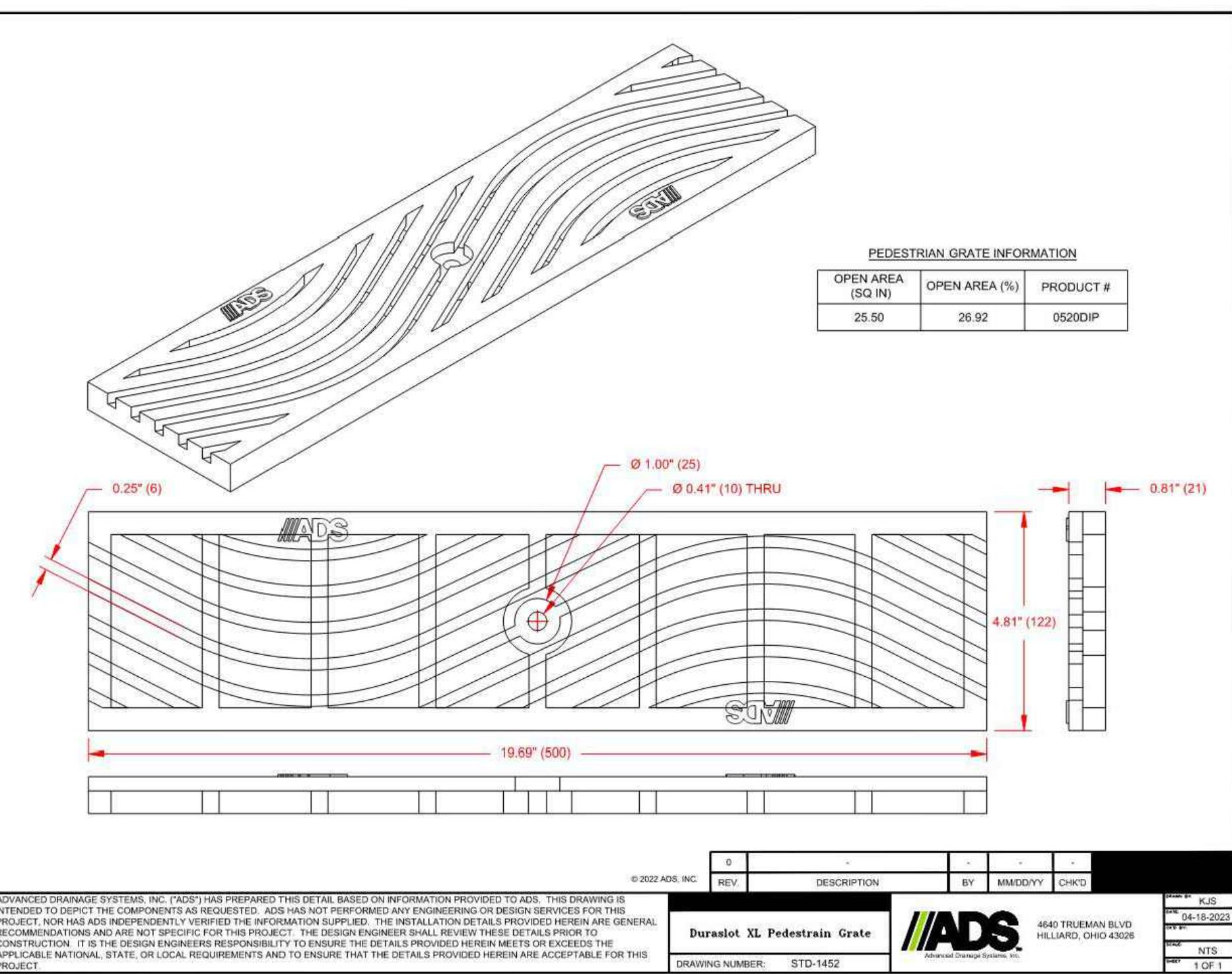
1	Minor dimension update	KJS	05/18/2023	-
REV	DESCRIPTION	BY	MM/DD/YY	CHKD
0	Duraslot & Duraslot XL Adapter	ADS	05/18/2023	
	DRAWING NUMBER	STD-1412		NTS
			1 OF 1	

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL REQUIREMENTS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.



1	Part numbers corrected	KJS	05/18/2023	-
REV	DESCRIPTION	BY	MM/DD/YY	CHKD
0	Duraslot & Duraslot XL End Cap	ADS	05/18/2023	
	DRAWING NUMBER	STD-1411		NTS
			1 OF 1	

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL REQUIREMENTS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.



1	Minor dimension update	KJS	05/18/2023	-
REV	DESCRIPTION	BY	MM/DD/YY	CHKD
0	Duraslot XL Pedestrian Grate	ADS	05/18/2023	
	DRAWING NUMBER	STD-1452		NTS
			1 OF 1	

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL REQUIREMENTS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

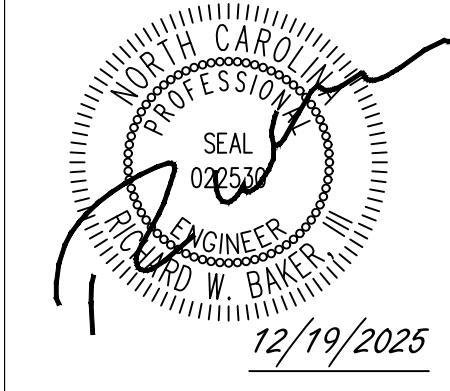
- a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Land Use Administrator

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

NOTES AND DETAILS

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or constructionstaking without the express written consent of TIMMONS GROUP.



THIS DRAWING PREPARED AT THE
 RALEIGH OFFICE
 540 Trinity Road, Suite 102, Raleigh, NC 27607
 Tel. 919.866.4951 FAX 919.833.1824 www.tmmns.com

REVISION DESCRIPTION
 DRAWING DESCRIPTION
 DRAWING NUMBER

JOB NO.
 70434
 SHEET NO.
 C7.4

TIMMONS GROUP

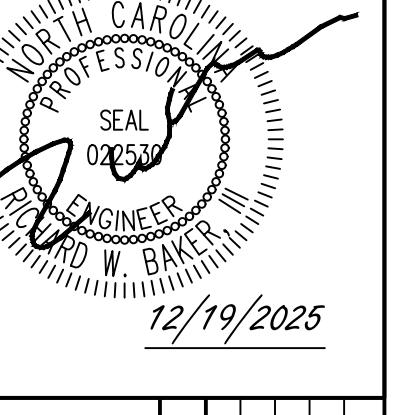
NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

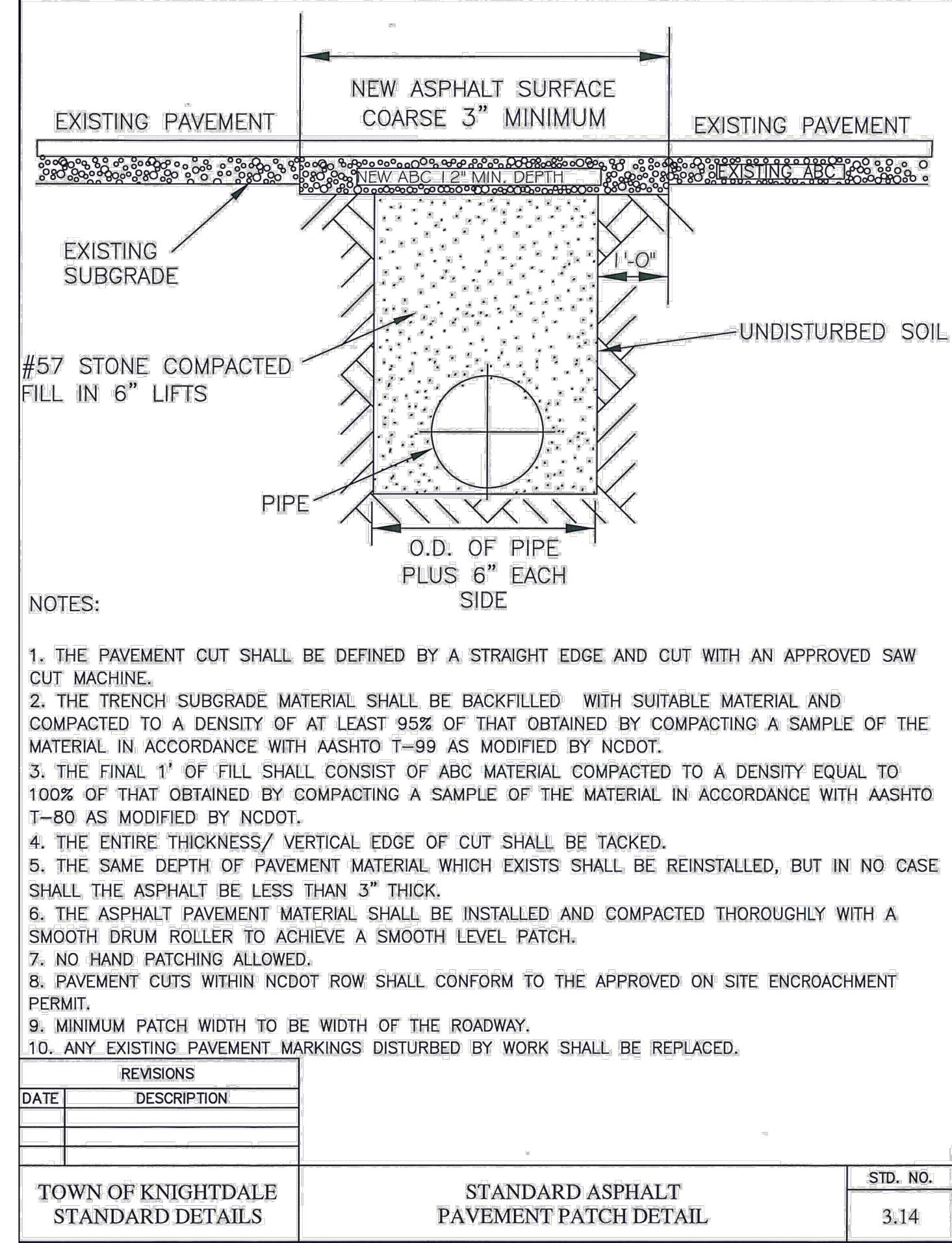
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

NOTES AND DETAILS

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



THIS DRAWING PREPARED AT THE RALEIGH OFFICE	540 Trinity Road, Suite 102 • Raleigh, NC 27607 TEL 919.866.4951 FAX 919.833.1812 www.timmons.com
REVISION DESCRIPTION	REVISION DESCRIPTION
12/19/2025	12/19/2025
YOUR VISION ACHIEVED THROUGH OURS.	TOWN OF KNIGHTDALE CONSTRUCTION DRAWINGS SUBMITTAL #1
DATE	DATE
REMOVED BY	REMOVED BY
332	332
DESIGNED BY	DESIGNED BY
332	332
CHECKED BY	CHECKED BY
M. DAVIDSON	M. DAVIDSON
SCALE AS SHOWN	SCALE AS SHOWN



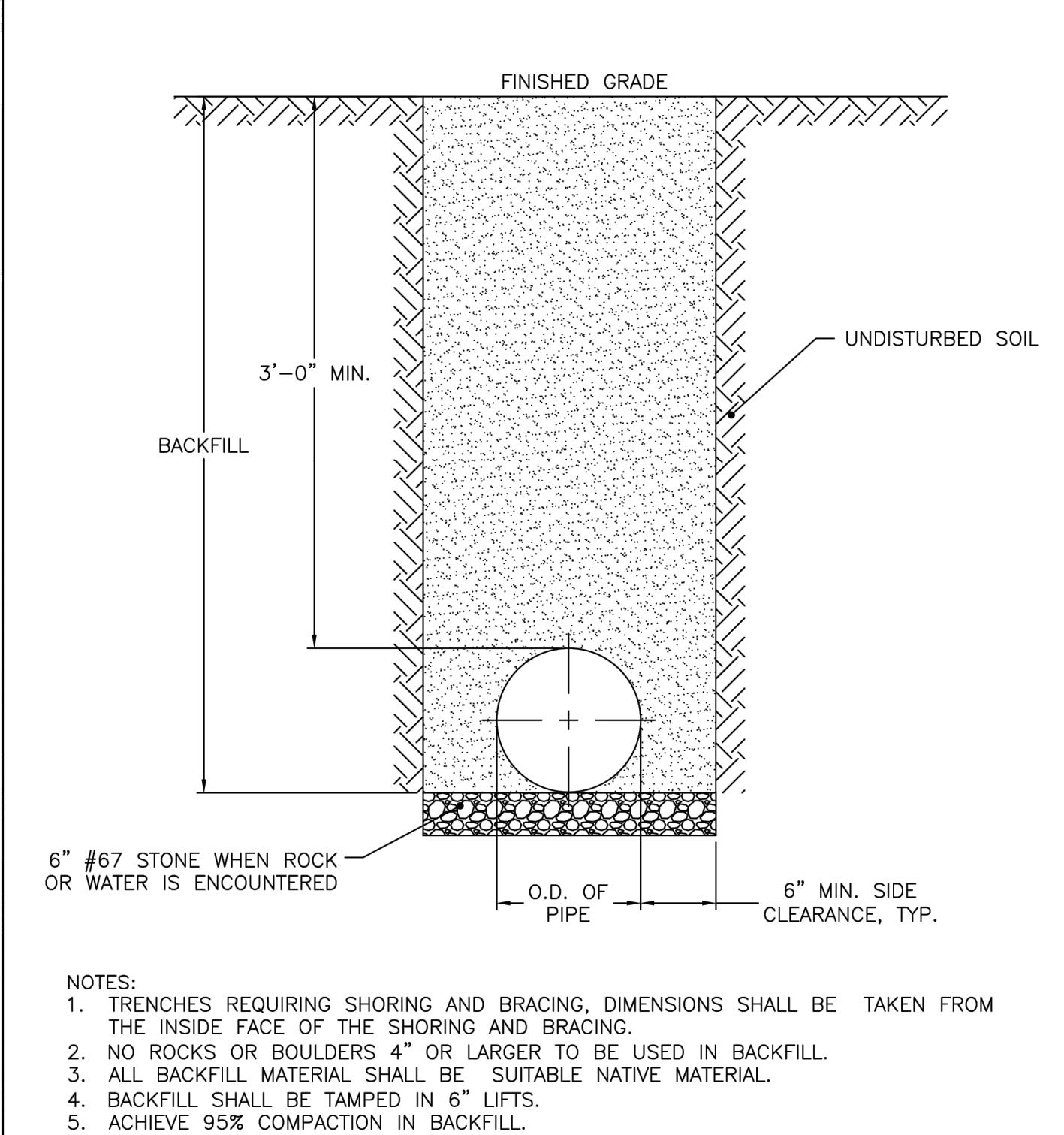
REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE
STANDARD DETAILS

STANDARD ASPHALT
PAVEMENT PATCH DETAIL

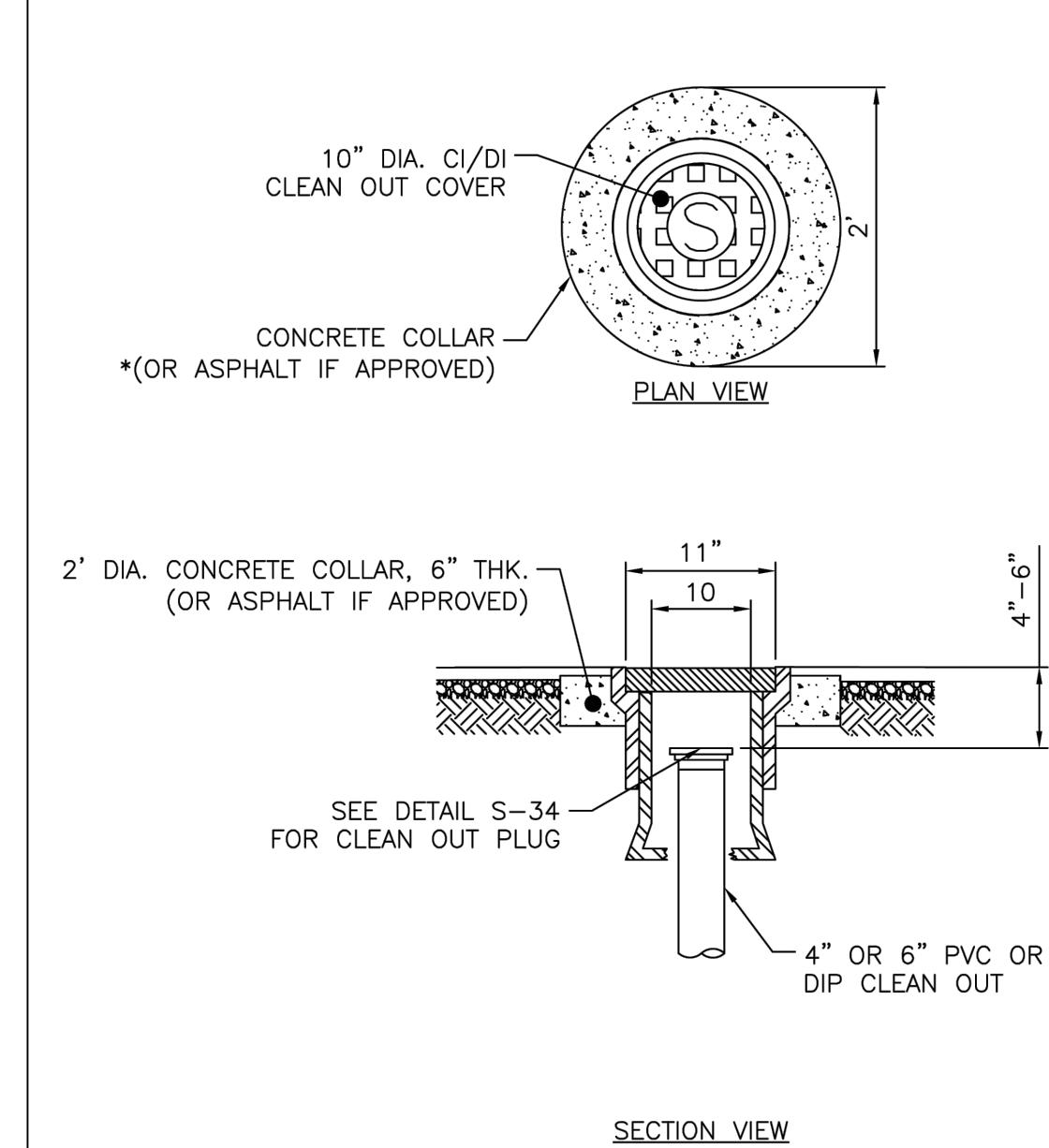
STD. NO.

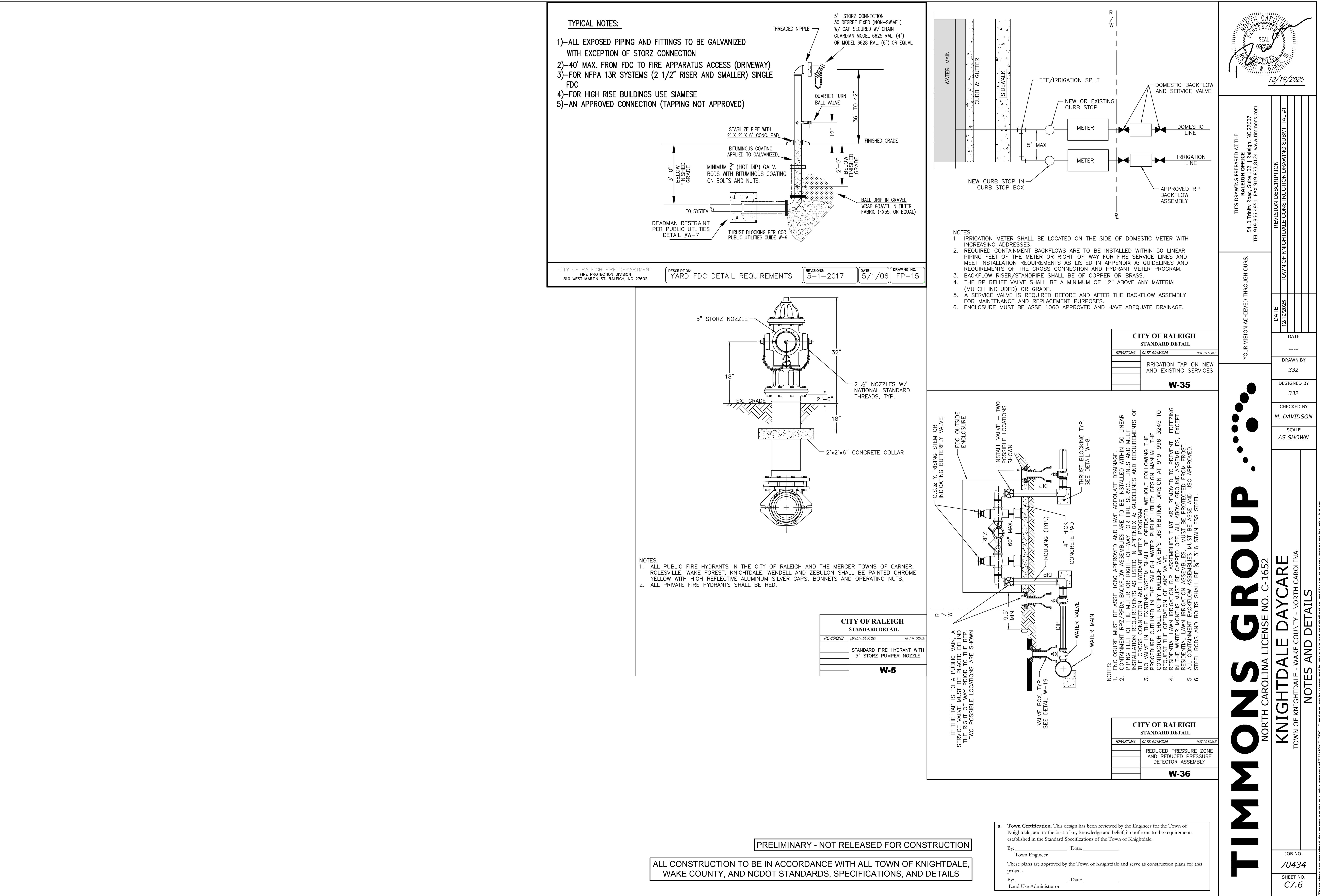
3.14

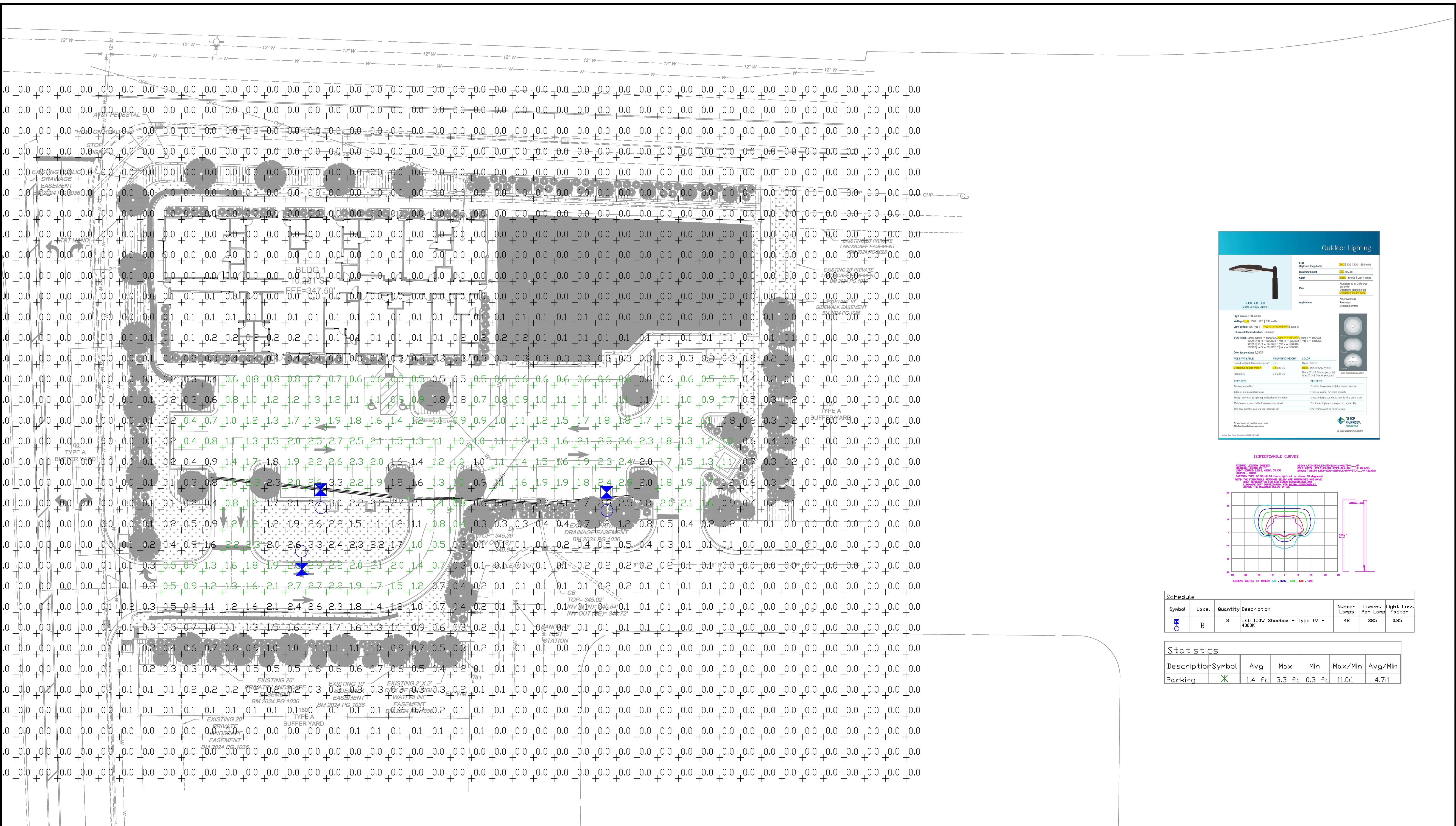


CITY OF RALEIGH STANDARD DETAIL	
REVISIONS	DATE 01/18/2025 NOT TO SCALE
	TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR DUCTILE IRON

W-3







LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL

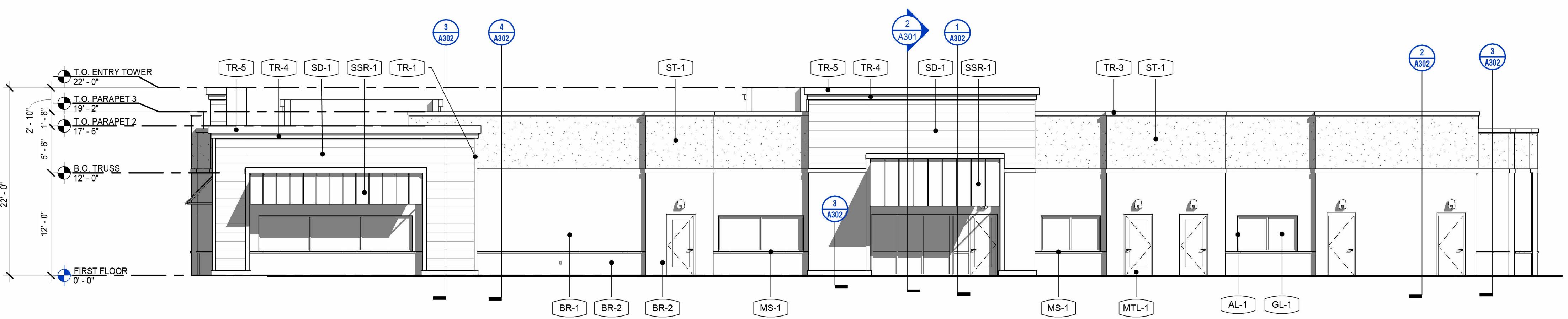
ent together with the concepts and designs presented herein, is an instrument of service, is the sole property of Duke is intended only for the specific purpose and prospective ated in the title block of this drawing. Any use, copying, or disclosure of the drawing, design or any information herein by the prospective customer or other entities, including ation, architects, engineers, or equipment manufacturers is lessly prohibited and shall not be permitted absent prior ent from, and payment of compensation to Duke Energy. y disclaims any liability or responsibility for any use of or reliance on this document.

KNIGHTDALE DAYCARE

KNIGHTDALE, NC

SITE LIGHTING ARRANGEMENT
ed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
ed by A. Herrera Scale 1" = 20'
6/24/2025 Size Drawing size "D"
tion LED Shoebox
No. 25-0280A Sht. 1 OF 1

NO.	DATE	REVISION



GENERAL NOTES:

1. SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
2. SEE DWG. A101 FOR PARTITION FLOOR PLAN.
3. SEE DWG. A102 FOR PARTITION FLOOR PLAN.
4. SEE DWG. A103 FOR REFLECTED CEILING PLAN.
5. SEE DWG. A106 FOR ROOF PLAN.
6. SEE DWG. A302, A303 FOR WALL SECTIONS.
7. SEE DWG. A401, A408 FOR ENLARGED DRAWINGS.
8. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

CONSTRUCTION NOTES:

1. WALL BATT INSULATION SHALL BE A MINIMUM VALUE OF R-20 PER ENFORCED ENERGY CODE.
2. ROOFING RIGID INSULATION SHALL BE A MINIMUM VALUE OF R-25 PER ENFORCED ENERGY CODE. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
3. WEATHER BARRIER SHALL BE DRYVIT 'BACKSTOP-NT' WEATHER BARRIER.
4. E.I.S. SHALL BE DRYVIT OUTSULATION SYSTEM. THICKNESS AS NOTED ON SECTION. SEE EXTERIOR ELEVATIONS, SHEET A201, FOR ADDITIONAL INFORMATION.
5. EXTERIOR SHEATHING SHALL BE 1/2" APA EXTERIOR RATED PLYWOOD -OR- OSB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
6. ROOFING SYSTEM SHALL BE 60 MIL TPO MEMBRANE ROOFING. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
7. METAL FLASHING IN PLAYGROUND AREAS SHALL BE INSTALLED SO THAT THEY DO NOT LEAVE SHARP EDGES OR CORNERS ACCESSIBLE TO THE KIDS. (COLORS TO MATCH ADJACENT FINISHES)
8. ALL SILL CORNERS IN PLAYGROUND FENCED AREAS SHALL BE CHAMFERED, TYP.
9. METAL COPING SHALL BE 0.050 ALUMINUM. SEE NOTED DETAILS FOR ADDITIONAL INFORMATION.

Colliers

Engineering & Design

Architecture, Landscape
Architecture, Surveying, CT P.C.

www.colliersengineering.com

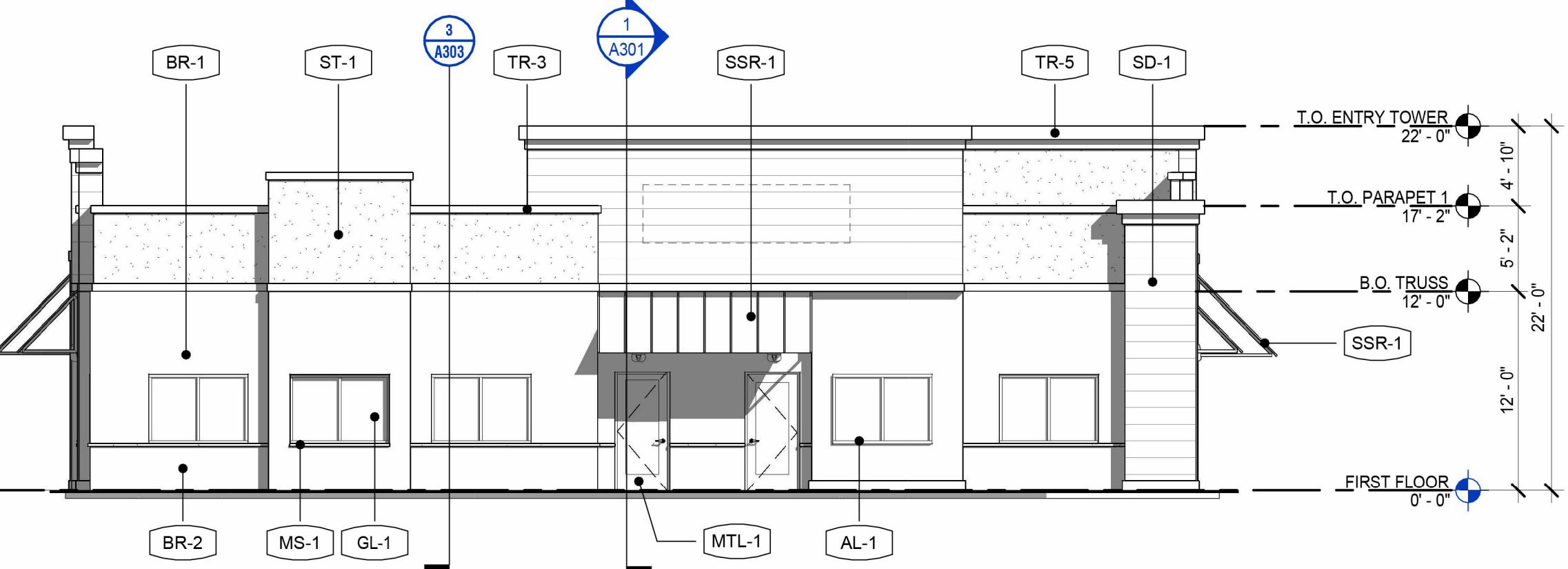
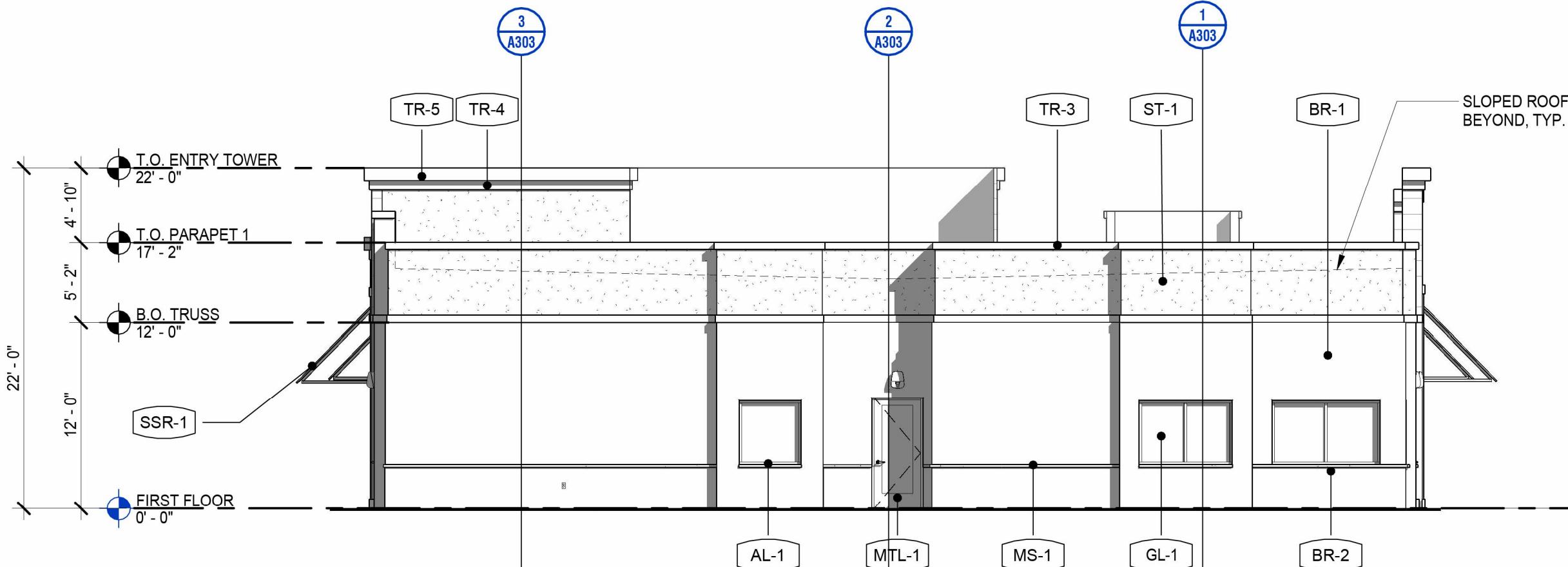
Copyright © 2020, Colliers Engineering & Design. All rights reserved. No drawing and all the information contained herein is submitted for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Formerly Known as JAM ARCH

REV DATE DESCRIPTION
07/07/2025 PROGRESS SET

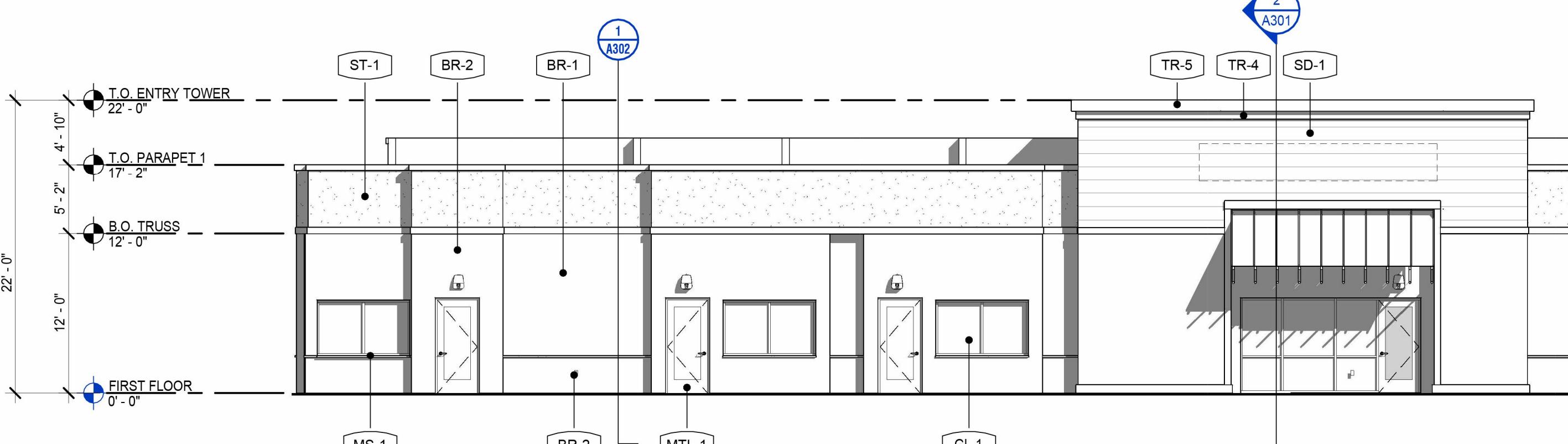
1 EXTERIOR ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"



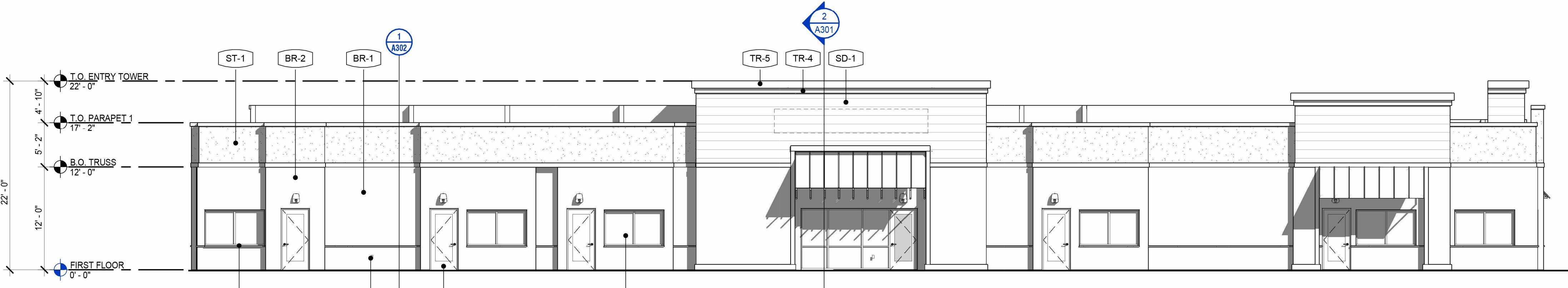
2 EXTERIOR ELEVATION - EAST

SCALE: 1/8" = 1'-0"



3 BUILDING ELEVATION - WEST

SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES & MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	MODEL	FINISH	PATTERN	REMARKS
BR-1	BRICK VENEER	ACME	CITYSCAPE	SNOWDRIFT	MODULAR, VELOUR	-
BR-2	BRICK VENEER	ACME	CITYSCAPE	DICKENS CREEK	MODULAR, VELOUR	-
GL-1	GLAZING	-	-	CLEAR, LOW-E	-	1 ST TEMPERED, INSULATED
MS-1	STONE SILL	READING ROCK	ROCKCAST	SMOOTH, CRYSTAL WHITE	-	-
MTL-1	POWDER COATED STEEL	-	-	-	-	-
SD-1	PLANK LAP SIDING	JAMES HARDIE	-	CEDARMILL	NAVAJO BEIGE	-
SSR-1	STANDING SEAM ROOFING	G&J AWNING	-	MANSARD BROWN	-	-
ST-1	EXTERIOR INSULATION FINISH SYSTEM	DRYVIT	OUTSULATION	#111 PRAIRIE CLAY	SANDBBLE DPR	-
TR-1	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-2	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-3	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-4	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-5	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-

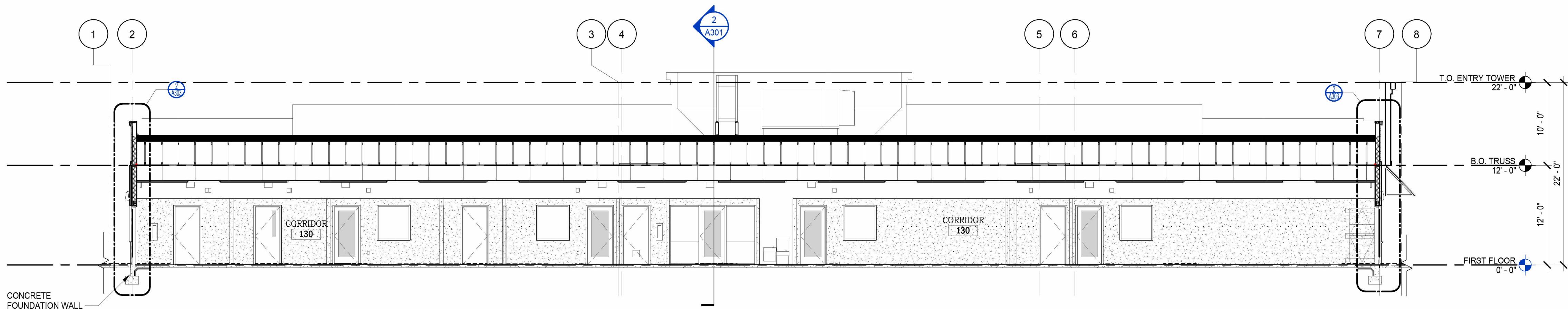
Colliers
Engineering & Design
Architecture, Landscape Architecture,
Surveying, CT P.C.
WOODCLIFF LAKE
300 Tie Blvd, Ste 101
Woodcliff Lake, NJ 07677
Phone: 845.352.0411PROJECT MANAGER: JC DISCIPLINE LEAD: SO
DESIGNER: DR REVIEWER: CJC

DATE ISSUED: 07/07/2025 PROJECT NUMBER: 25002372A

SHEET NAME: BUILDING ELEVATIONS & NOTES

DRAWING NUMBER: A201

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

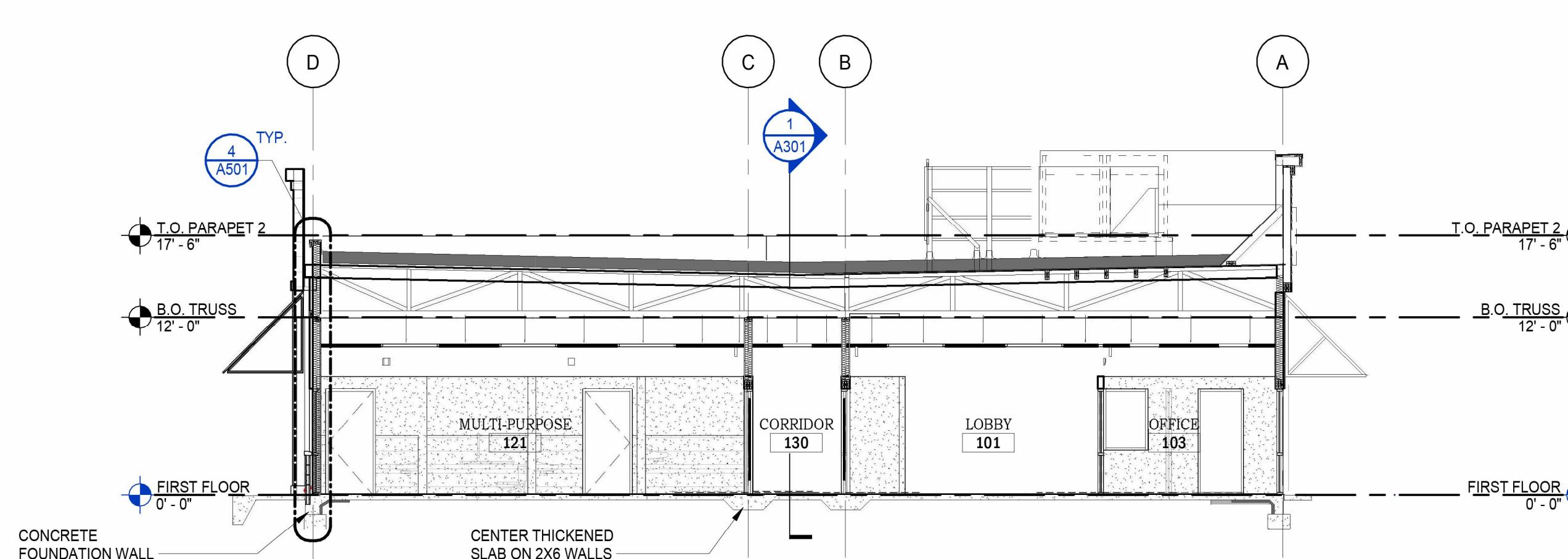


1 BUILDING SECTION

SCALE: 1/8" = 1'-0"

2 BUILDING SECTION

SCALE: 1/8" = 1'-0"



GENERAL NOTES:

- SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
- SEE DWG. A101 FOR FOUNDATION FLOOR PLAN.
- SEE DWG. A102 FOR PARTITION FLOOR PLAN.
- SEE DWG. A103 FOR REFLECTED CEILING PLAN.
- SEE DWG. A108 FOR ROOF PLAN.
- SEE DWG. A302-A303 FOR WALL SECTIONS.
- SEE DWG. A401-A408 FOR ENLARGED DRAWINGS.
- SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

CONSTRUCTION NOTES:

- WALL BATT INSULATION SHALL BE A MINIMUM VALUE OF R-20 PER ENFORCED ENERGY CODE.
- ROOFING RIGID INSULATION SHALL BE A MINIMUM VALUE OF R-25 PER ENFORCED ENERGY CODE. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
- WEATHER BARRIER SHALL BE DRYVIT "BACKSTOP-NT" WEATHER BARRIER.
- B.I.S. SYSTEM SHALL BE DRYVIT OUTSULATION SYSTEM. THICKNESS AS NOTED ON SECTIONS. SEE EXTERIOR ELEVATIONS, SHEET A201, FOR ADDITIONAL INFORMATION.
- EXTERIOR SHEATHING SHALL BE 1/2" APA EXTERIOR RATED PLYWOOD -OR- OSB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ROOFING SYSTEM SHALL BE 60 MIL TPO MEMBRANE ROOFING. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
- METAL FLASHING IN PLAYGROUND AREAS SHALL BE INSTALLED SO THAT THEY DO NOT LEAVE SHARP EDGES OR CORNERS ACCESSIBLE TO THE KIDS. (COLORS TO MATCH ADJACENT FINISHES)
- ALL SILL CORNERS IN PLAYGROUND FENCED AREAS SHALL BE CHAMFERED, TYP.
- METAL COPING SHALL BE 0.050 ALUMINUM. SEE NOTED DETAILS FOR ADDITIONAL INFORMATION.



Engineering & Design

Architecture, Landscape
Architecture, Surveying, CT P.C.

www.colliersengineering.com

Copyright © 2020, Colliers Engineering & Design, Inc. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Formerly Known as **JAM ARCH**

REV	DATE	DESCRIPTION
	07/07/2025	PROGRESS SET



Michelle Simms

LEARNING CARE GROUP

OLD KNIGHT RD. & HORTON RD.
KNIGHTDALE, NC 27545

NC ARCHITECTURE
FIRM LICENSE # 54174

NOT FOR
CONSTRUCTION
Project Kick Off
SUBMISSION

WOODCLIFF LAKE
300 Tie Blvd, Ste 101
Woodcliff Lake, NJ 07677
Phone: 845.352.0411

Colliers
Engineering & Design
Architecture, Landscape
Architecture, Surveying, CT P.C.

PROJECT MANAGER: JC DISCIPLINE LEAD: SO

DESIGNER: DR REVIEWER: CJ

DATE ISSUED: 07/07/2025 PROJECT NUMBER: 25002372A

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

BUILDING SECTIONS

DRAWING NUMBER:

A301

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

GENERAL CONDITIONS AND NOTES:

- THE CONSTRUCTION DOCUMENTS CONSIST OF THE WORKING DRAWINGS HEREIN, THE PROJECT MANUAL AND ALL ADDENDA, IN THE EVENT OF A CONFLICT OF DISCREPANCY BETWEEN THE DOCUMENTS, THE CONTRACTOR SHALL BRING SUCH CONFLICT OR DISCREPANCY TO THE ATTENTION OF THE ARCHITECT FOR CLARITY PRIOR TO SUBMITTING A BID.
- THE ARCHITECT HAS BEEN RETAINED TO PERFORM AT NORMAL SERVICE STANDARDS FOR THE PREPARATION OF THESE PLANS AND SPECIFICATIONS. THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM OTHER SERVICES SUCH AS: CIVIL, SOILS, SPECIAL INSPECTIONS OR SERVICES SUCH AS LEGAL, ENVIRONMENTAL, REAL ESTATE, CONSTRUCTION CONTRACTING OR CONTRACTOR SUPERVISOR.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SOILS OR SUBSURFACE ENGINEERING OR CONDITIONS.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OBTAINING MUNICIPAL APPROVALS, SUCH AS BUILDING DEPARTMENT, ENVIRONMENTAL OR ZONING. THE ARCHITECT SHALL ASSIST THE OWNER AND CONTRACTOR IN THAT EFFORT AS THE NEED ARISES.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ACTIONS OF THE OWNER OR CONTRACTOR. NOR HAS THE ARCHITECT BEEN RETAINED OR ARE THEY RESPONSIBLE FOR SUPERVISION OF THE CONTRACTOR, DESIGN OF SAFETY PROVISIONS AT THE SITE, CONSTRUCTION SCHEDULES OR MEANS AND METHODS OF THE CONSTRUCTION.
- THE CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND IT'S FACILITIES.
- ALL MATERIALS, FORMS, ASSEMBLIES AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MEET ALL MUNICIPAL REQUIREMENTS.
- INTENT OF THIS SPECIFICATION AND GENERAL CONDITIONS:**
MENTIONED HEREIN OR INDICATIONS ON DRAWINGS OR ARTICLES, OPERATIONS, METHODS OR MATERIALS, REQUIRES THAT THE CONTRACTOR PROVIDE EACH ITEM MENTIONED, INDICATED OR IMPLIED TO ACHIEVE THE INTENDED "PROJECT", BUILDING AND SITE WORK, ACCORDING TO THE METHODS OF BEST CONSTRUCTION PRACTICE (OR OF QUALITY OR METHOD SPECIFICALLY NOTED) IN NO EVENT IS ANY ARTICLE, OPERATION, METHOD OR MATERIAL TO FALL BELOW BEST QUALITY AND FIRST CLASS TRADE. SAFETY STANDARDS AND ZONING AND CODE REQUIREMENTS. IN EVENT OF CONFLICTING STANDARDS, CODES OR SPECIFICATION REQUIREMENTS, THE METHOD, EQUIPMENT AND OPERATION OR MATERIAL OF BEST AND SAFEST QUALITY IS TO GOVERN THE WORK. ALL EQUIPMENT AND MATERIAL IS TO BE NEW AND IS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE SPECIFIED. ALL WORK, ARTICLES, OPERATIONS, METHODS AND MATERIALS ARE TO BE APPROVED BY GOVERNING BUILDING OFFICIALS.
- GENERAL RESPONSIBILITY:**
THE CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR IT'S CORRECTNESS AND SAFETY AND SHALL PROVIDE ALL NECESSARY LINES, LEVELS AND DIMENSIONS AS NOTED. ALL MEASUREMENTS SHALL BE VERIFIED AT THE SITE AND BUILDING BY THE CONTRACTOR AND TRADES BEFORE ORDERING MATERIALS OR DOING ANY WORK. ANY DISCREPANCIES IN SITE, SOIL CONDITIONS, EXISTING BUILDING CONDITIONS, PLANS AND DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGES OR SUBSTITUTIONS MAY BE MADE UNLESS APPROVED BY OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE SITE, BUILDING AND ITS FACILITIES AND PROVIDE INSURANCE COVERAGE REQUIRED BY LAW AND GOOD STANDARD PRACTICE.
- ALL MATERIALS, FORM ASSEMBLIES AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS AND ARE THE RESPONSIBILITY OF THE CONTRACTOR:
11.1 THEY SHALL HAVE BEEN ACCEPTED BY GOVERNING LOCAL AND STATE AGENCIES CODES AT THE EFFECTED DATE OF THE CONTRACT.
11.2. SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS.
- AT LEAST 48 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE BUILDING DEPARTMENT BEFORE COMMENCEMENT OF WORK AND A BUILDING PERMIT OBTAINED BEFORE STARTING ANY WORK.
- ALTERED GRADES EXCEEDING 30 DEGREE SLOPE SHALL HAVE A RETAINING WALL FILED AND APPROVED BY THE DEPARTMENT OF BUILDING BEFORE START OF SUCH WORK.
- ARCHITECT'S STATUS:**
THE ARCHITECT IS RESPONSIBLE ONLY TO THE EXTENT OF PROVIDING THE CONSTRUCTION DOCUMENTS, PLANS AND SPECIFICATIONS FOR THIS PROJECT SCOPE. THE ARCHITECT SHALL INTERPRET CONSTRUCTION DOCUMENTS TO THE BEST OF HIS KNOWLEDGE AND BASED ON HIS PROFESSIONAL OPINION, WILL DEFINE THEIR MEANING. THE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF THE CONTRACTOR AND IS NOT RESPONSIBLE FOR SAFETY ON THE JOB OR DELAYS IN CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE NOR BE HELD LIABLE FOR SITE OR CONSTRUCTION SAFETY CONDITIONS, CONSTRUCTION MEANS OR METHODS. THE ARCHITECT IS NOT RESPONSIBLE FOR ADMINISTRATION OF THE CONSTRUCTION. THE ARCHITECT IS NOT RESPONSIBLE FOR ACTIONS OF THE DEVELOPER, CONTRACTOR, SUB CONTRACTORS OR OWNER-USER.

16. SCOPE OF WORK:

THE CONTRACTOR SHALL CONSTRUCT THE PROJECT AS DESCRIBED IN THE CONTRACT DOCUMENTS (THE WORKING DRAWINGS AND SPECIFICATIONS). THE WORD "ARCHITECT" SHALL DESCRIBE JUSTIN A. MIHALIK, A.I.A. THE PROJECT IS DESIGNED TO CONFORM WITH ALL GOVERNING BUILDING CODES AND ZONING REQUIREMENTS AND THOSE ENGAGED IN THE WORK ARE DIRECTED TO MEET THOSE ENDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

16. CONTRACTOR'S INSURANCE:

THE CONTRACTOR SHALL FILE WITH THE OWNER, CERTIFICATES OF THE FOLLOWING COVERAGE INCLUDED BUT NOT LIMITED TO:

- WORKMEN'S COMPENSATION INSURANCE AS REQUIRED BY ALL GOVERNING LAW.
- PUBLIC LIABILITY INSURANCE COVERING ANY ONE PERSON AND COVERING SEVERAL PERSONS PER THE A.I.A. DOCUMENTS AS A MINIMUM. MORE COVERAGE MAY BE DESIRED OR NEEDED.
- PROPERTY DAMAGE INSURANCE: THE CONTRACTOR SHALL OBTAIN AND FILE WITH THE OWNER A CERTIFICATE FOR PROPERTY DAMAGE INSURANCE COVERING EACH ACCIDENT AND COVERING THE AGGREGATE OF OPERATIONS MINIMUM PER THE ABOVE MENTIONED A.I.A. DOCUMENT REQUIRES "AS A MINIMUM" MORE COVERAGE MAY BE DESIRED OR NEEDED.

THE CONTRACTOR SHALL OBTAIN INSURANCE AND PROVIDE CERTIFICATES OF INSURANCE TO THE OWNER. THE CERTIFICATES SHALL CONTAIN A 30 DAY NOTICE OF CANCELLATION CLAUSE ADDRESSED TO OWNER.

17. REQUIRED DOCUMENTATION:

THE OWNER SHALL PROVIDE ALL NECESSARY SURVEYS, SOIL REPORTS AND PERTINENT DATA NEEDED OR REQUESTED BY THE ARCHITECT IN ORDER TO PREPARE PLANS AND SPECIFICATIONS.

18. OWNER'S INSURANCE:

THE OWNER SHALL EFFECT AND MAINTAIN ALL INSURANCE COVERAGES AS REQUIRED. ALL INSURANCE DESCRIBED HEREIN IS A RECOMMENDED MINIMUM. MORE COVERAGE MAY BE NEEDED.

19. VISITING THE SITE:

THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE CONDITIONS THAT EXIST. THE CONTRACTOR SHALL INFORM THE OWNER AND ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED BY THE WORKING DRAWINGS OR SPECIFICATIONS OR DISCREPANCIES IN EXISTING CONDITIONS.

20. LAYOUT OF WORK:

A SURVEY IS TO BE MADE AVAILABLE FROM THE OWNER TO THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL LAY OUT THE WORK AND ESTABLISH ELEVATIONS, ACCURATELY MARKED ON SUBSTANTIAL BATTER BOARDS.

21. MEASUREMENTS AND DIMENSIONS:

MEASUREMENTS AND DIMENSIONS, INDICATED ON THE DRAWINGS ARE NOMINAL. THEY SHALL BE ADHERED TO WHEREVER PRACTICAL. MAJOR DEVIATIONS IN DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH WORK. PRIOR TO CONTRACTOR'S PURCHASE OF ANY BUILT-IN EQUIPMENT OR CABINETS, THE CONTRACTOR IS TO TAKE FIELD DIMENSIONS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.

22. TAXES:

THE CONTRACTOR IS LIABLE FOR ALL STATE AND FEDERAL EMPLOYER'S AND EMPLOYEE'S TAXES, SALES TAXES AND WITHHOLDING TAXES.

23. GUARANTEE:

THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE BUILDING AND A CERTIFICATE OF OCCUPANCY IS OBTAINED.

24. CONTRACT DRAWINGS:

THE CONTRACT DRAWINGS, WHICH ACCOMPANY AND FORM A PART OF THESE DOCUMENTS ARE ATTACHED HERINAFTER. THE CONTRACT DRAWINGS DO NOT SHOW ALL THE DETAILS OF THE WORK AND ARE INTENDED ONLY TO ILLUSTRATE THE CHARACTER AND EXTENT OF THE WORK TO BE PERFORMED. ACCORDINGLY, THEY MAY BE SUPPLEMENTED DURING THE PERFORMANCE OF THE WORK BY THE ARCHITECT OR BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE ARCHITECT TO THE EXTENT NECESSARY TO FURTHER ILLUSTRATE THE WORK AND SHALL, AT ALL TIMES, REMAIN THE POSSESSION OF THE ARCHITECT.

25. ADDITIONAL DRAWINGS:

THE CONTRACTOR SHALL PROVIDE ALL SHOP DRAWINGS WHICH MAY BE NECESSARY OR REQUIRED. THE SIZE OF THE DRAWINGS, THE NUMBER OF COPIES AND THE DETAILS TO BE SHOWN THEREON SHALL BE AS APPROVED BY THE OWNER IN ADVANCE OF THEIR PREPARATION. BEFORE ISSUING ANY SHOP DRAWINGS, THE CONTRACTOR SHALL SUBMIT PRINTS THEREOF, INCLUDING THE REQUIRED NUMBER OF REVISED PRINTS, UNTIL THE DRAWINGS ARE APPROVED BY THE OWNER. AFTER APPROVAL THEREOF, NO CHANGE SHALL BE MADE THEREON UNLESS APPROVED, IN WRITING, BY THE OWNER. TRACINGS OF SHOP DRAWINGS SHALL BE DELIVERED TO THE OWNER PRIOR TO FINAL PAYMENT.

26. LAW AND ORDINANCES:

IN ORDER TO EFFECTUATE THE WORK PROPERLY, THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF FEDERAL, STATE, MUNICIPAL AND DEPARTMENTAL LAWS, CODES ORDINANCES, RULES, REGULATIONS AND ORDERS WHICH WOULD AFFECT THE WORK AND ITS PERFORMANCE AND THOSE ENGAGED THEREIN. THE WORK IS TO CONFORM WITH ALL GOVERNING BUILDING CODES, AND ZONING REQUIREMENTS AND THOSE ENGAGED THEREIN ARE DIRECTED TO MEET THOSE ENDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

27. APPROVALS:

ANY APPROVAL BY THE ARCHITECT OR ANYTHING DONE OR PROPOSED TO BE DONE BY THE CONTRACTOR SHALL BE CONSTRUED MERELY TO MEAN THAT AT THAT TIME THE ARCHITECT KNOWS OF NO GOOD REASON FOR OBJECTING TO THERETO: AND NO SUCH APPROVAL SHALL RELIEVE THE CONTRACTOR FROM HIS FULL RESPONSIBILITY FOR THE COMPLETE AND ACCURATE PERFORMANCE OF THE WORK IN ACCORDANCE HERETO OR FROM ANY DUTY, OBLIGATION OR LIABILITY IMPOSED UPON HIM BY THE CONTRACTOR OR FROM RESPONSIBILITY FOR INJURIES TO PERSONS OR DAMAGE TO PROPERTY.

28. CONTRACTOR'S REPRESENTATIVE:

DURING THE PERFORMANCE OF ANY WORK AT THE SITE, THE CONTRACTOR SHALL HAVE A REPRESENTATIVE PRESENT WHO SHALL BE AUTHORIZED BY THE CONTRACTOR TO SUPERVISE THE WORK AND BE RESPONSIBLE FOR SAFELY CONDUCTING OPERATIONS AND ACTIVITIES. THE SUPERVISOR SHOULD BE DEDICATED TO THE PROJECT FOR ITS DURATION AND NOT BE REPLACED WITHOUT 30 DAYS NOTICE TO THE OWNER.

29. INSPECTIONS:

ALL CONTROLLED INSPECTIONS SHALL BE PERFORMED BY THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL PROVIDE THE REQUIRED NOTICE FOR SAME AND BE PRESENT FOR ALL SUCH INSPECTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PERSON DESIGNATED, WITH AMPLE NOTICE, TO MAKE SUCH INSPECTIONS.

REPORTS OF ALL INSPECTIONS OF MATERIALS AND REQUIRED TESTS SHALL BE FILED WITH THE OWNER WITH A SIGNED STATEMENT BY THE PERSON DESIGNATED FOR SUCH INSPECTION BEFORE FINAL PAYMENT.

INSPECTIONS INCLUDE BUT SHALL NOT BE LIMITED TO:

- SUB SOIL TEST
- INSPECTION OF SUB-GRADE PRIOR TO INSTALLATION OF ANY FOOTINGS.
- PLACEMENT OF CONCRETE MATERIALS FOR STRUCTURAL ELEMENTS
- FOUNDATIONS
- STRUCTURAL STEEL
- LIGHT GAUGE METAL FRAMING
- FIRE STOPPING FOR PENETRATIONS
- ELECTRICAL, PLUMBING AND MECHANICAL.

30. FINAL INSPECTION:

WHEN, IN THE OPINION OF THE CONTRACTOR, THE WORK IS COMPLETED AND READY FOR FINAL INSPECTION, HE SHALL NOTIFY THE OWNER AND BUILDING DEPARTMENT OFFICIAL AND THE OWNER EITHER IN PERSON OR BY A DESIGNATED REPRESENTATIVE, WILL INSPECT THE WORK. BEFORE A CERTIFICATE OF FINAL COMPLETION WILL BE ISSUED BY THE OWNER AND BUILDING DEPARTMENT OFFICIALS, ANY DEFECTS OR OMISSIONS NOTED ON THIS INSPECTION MUST BE MADE GOOD BY THE CONTRACTOR.

31. SURVEYS:

FINAL SURVEY - AN ACCURATE AND COMPLETE PROPERTY SURVEY, MADE AND SEALED BY A PROFESSIONAL LICENSED LAND SURVEYOR, MAY BE REQUIRED. AFTER COMPLETION OF ALL WORK, THIS SURVEY MAY BE REQUIRED TO SHOW LOCATION OF NEW WORK, ELEVATION OF FLOOR LEVELS, ELEVATIONS OF FINISHED GRADES AND ELEVATIONS AT PROPERTY LINE INTERSECTIONS, LOCATION AND BOUNDARIES OF THE LOT, AND ALL BUILDINGS. IF MUNICIPAL OR OTHER AGENCIES REQUIRE SUCH A SURVEY, IT SHALL BE ORDERED BY THE CONTRACTOR AND PAID FOR BY THE OWNER.

THE CONTRACTOR SHALL PROTECT AREAS ADJACENT TO THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE AND BUILDING IN A NEAT, CLEAN AND SAFE CONDITION AND SHALL, AT COMPLETION OF THE JOB, TURN OVER THE SITE AND BUILDING TO THE OWNERS IN A CONDITION SUITABLE TO MOVE IN, ALL SURFACES SHALL BE CLEAN AND READY FOR FURNISHING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES AND IS RESPONSIBLE FOR CONSTRUCTING THE WORK ACCORDING TO PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, NOTES, WORK, ETC. AT THE JOB SITE BEFORE ANY WORK IS STARTED, BE RESPONSIBLE FOR SAME AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT BEFORE WORK IS STARTED WITH AMPLE TIME FOR CHANGES TO BE MADE.

ALL PLANS ARE REQUIRED TO HAVE THE APPROVAL OF THE MUNICIPAL AUTHORITIES AND OTHER AGENCIES. THE PLANS ARE SUBJECT TO REVIEW AND COMMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT WILL SUPPLY THREE (3) COPIES OF SIGNED AND SEALED SETS OF PLANS FOR THE CONTRACTOR TO PRESENT TO MUNICIPAL AUTHORITIES. NO WORK IS TO BE DONE UNTIL A BUILDING PERMIT IS OBTAINED.

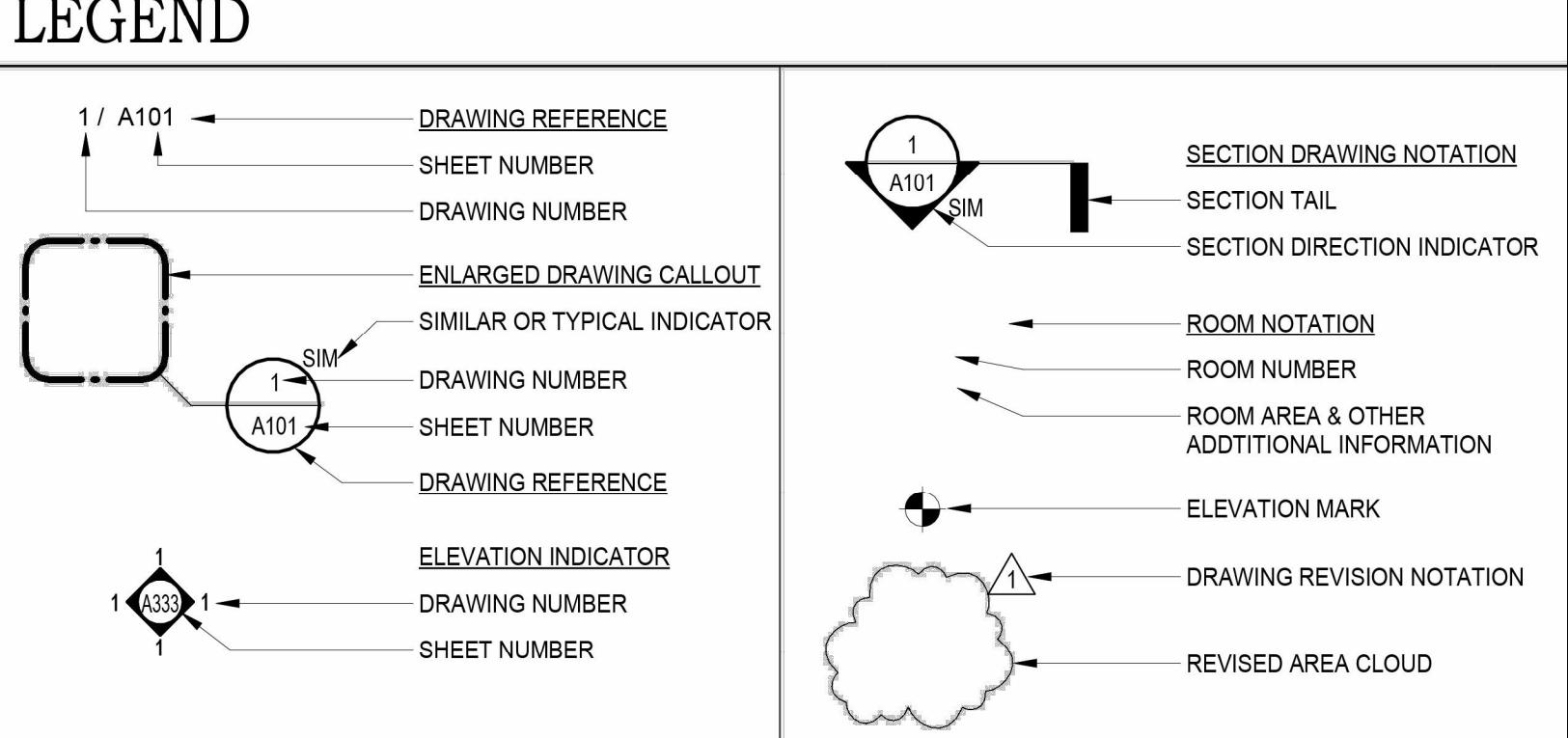
32. CHANGES TO THE BUILDING DESIGN:

NO CHANGES ARE TO BE MADE TO THE BUILDING WHICH DEVIATE FROM THESE GENERAL CONDITIONS, TECHNICAL NOTES OR CONSTRUCTION DOCUMENTS, WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. IF THE CONTRACTOR OR OWNER PROCEED WITH ANY CHANGES WITHOUT PRIOR APPROVAL BY THE ARCHITECT THEY WILL DO SO AT THEIR OWN RISK AND SUCH CHANGES MAY REQUIRE REMOVAL.

33. WORK INCLUDED:

THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS.

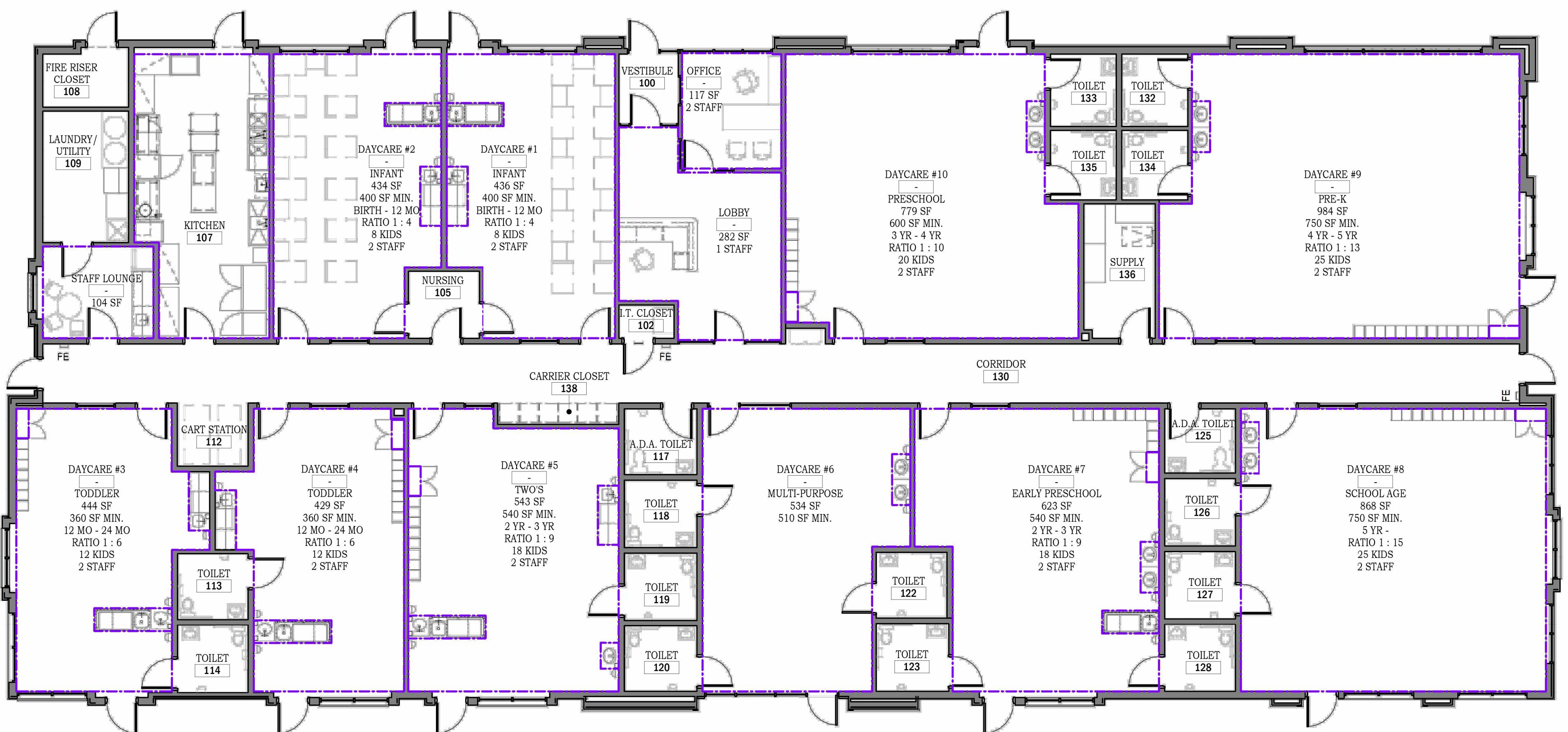
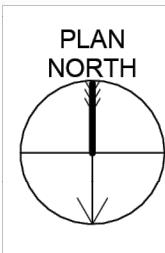
LEGEND



ABBREVIATIONS

ABV.	ABOVE	DIAG.	DIAGONAL	F.D.	FLOOR DRAIN	JSTS.	JOISTS	P.T.	PRESSURE TREATED	U.C.	UNDERCUT
A.C.T.	ACOUSTICAL CLG. TILE	DEMO.	DEMOLITION	FIN.	FINISH	L.P.	LOW POINT	PTD.	PAINTED	UNF.	UNFINISHED
ADJ.	ADJACENT	DET.	DETAIL	F.A.C.P.	FIRE ALARM CONTROL PANEL	PL.	PARTITION	PART.	PARTITION	U.O.N.	UNLESS OTHERWISE NOTED
A.F.F.	ABOVE FINISH FLOOR	DIA.	DIA. DRINKING FOUNTAIN	F.A.R.P.	FIRE ALARM REMOTE PANEL	PLAM.	PLATE	PLAM.	PLATE	VINYL COMPOSITION TILE	
ALUM.	ALUMINUM	DIM.	DIM. DIAMETER	FAST.	FASTENED	PLYWD.	PLYWOOD	PLYWD.	PLYWOOD	VEST.	VESTIBULE
ANG.	ANGLE	DN.	DOWN	F.F.	FIREFPROOF	MAR.	MARBLE	REINF.	REINFORCEMENT	V.I.F.	VERIFY IN FIELD
APPROX.	APPROXIMATELY	DR.	DOOR	F.P.S.C.	FIREFPROOF SELF-CLOSING	MAX.	MAXIMUM	REQD.	REQUIRED	WOOD.	WOOD
A.S.M.L.	ABOVE MEAN SEA LEVEL	DWG.	DRAWING	F.R.	FIRE RATE	MCH.	MECHANICAL	SIM.	SIMILAR	W/	WITH
BLK.	BLOCKING	EA.	EACH	FL.	FRAME	MFR.	MANUFACTURER	SPEC.	SPECIFICATIONS	W/O	WITHOUT
BD.	BOARD	ELEV.	ELEVATOR	FR.	FIRE RATED	MIN.	MINIMUM	S.F.	SQUARE FEET		
BLDG.	BUILDING	EQUIP.	EQUIPMENT	G.W.B.	GYPSUM WALL BOARD	MISC.	MISCELLANEOUS	S.S.	SOLID SURFACE		
BM.	BEAM	EXIST.	EXISTING	G.Y.P.	GYPSUM	M.O.	MASONRY OPENING	ST. STL.	STAINLESS STEEL		
B.O.	BOTTOM OF	EQ.	EQUAL	I.E.I.S.	EXTERIOR INSULATION FINISH SYSTEM	N.T.S.	NOT TO SCALE	STL.	STEEL		
CLG.	CEILING	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	N.O.	NUMBER	N.T.C.	NOT TO EXCEED	STRUCT.	STRUCTURAL		
CL.	CENTER LINE					N.T.E.	NOT TO EXCEED	SUSP.	SUSPENDED		
CONC.	CONCRETE					N.T.S.	NOT TO SCALE	T & S	TAPE & SPACKLE		
CONST.	CONSTRUCTION					N.T.C.	NOT TO EXCEED	TEL.	TELEPHONE		
CONT.	CONTINUOUS					O.C.	ON CENTER	THK.	THICK		
C.M.U.	CONCRETE MASONRY UNIT					OPN.	OPENING	T.O.	TOP OF		
						OPP.	OPPOSITE	TYP.	TYPICAL		
						OSB.	ORIENTED STRAND BD.				
						INSUL.	INSULATION				

Colliers



1 LICENSING PLAN

SCALE: 1/8" = 1'-0"

NORTH CAROLINA CHILDCARE LICENSING				
AGE RANGE	DESIGNATION	MAX GROUP	TEACHER TO CHILD RATIO	AREA PER CHILD
0 MO TO 12 MO	INFANT	10	1 TO 5	25 SF
1 YR TO 2 YR	TODDLER	12	1 TO 6	25 SF
2 YR TO 3 YR		20	1 TO 10	25 SF
3 YR TO 4 YR		25	1 TO 15	25 SF
4 YR TO 5 YR	PRESCHOOL (IF NOT ENROLLED IN SCHOOL)	25	1 TO 20	25 SF
5 YR +		25	1 TO 25	25 SF
	OUTDOOR PLAY AREA	+	-	75 SF

CHILDCARE LICENSING								
ROOM	AREA (S.F.)		AGE RANGE	DESIGNATION	TEACHER TO CHILD RATIO	AREA PER CHILD	# OF CHILDREN	# OF STAFF
	ACTUAL	REQUIRED						
OFFICE	120 SF							2
LOBBY	282 SF							1
STAFF LOUNGE	104 SF							0
KITCHEN	363 SF							1
DAYCARE #1	436 SF	400 SF	BIRTH to 12 MO	INFANT	1 to 4	50 SF	8	2
DAYCARE #2	434 SF	400 SF	BIRTH to 12 MO	INFANT	1 to 4	50 SF	8	2
DAYCARE #3	444 SF	360 SF	12 MO to 24 MO	TODDLER	1 to 6	30 SF	12	2
DAYCARE #4	429 SF	360 SF	12 MO to 24 MO	TODDLER	1 to 6	30 SF	12	2
DAYCARE #5	544 SF	540 SF	2 YR to 3 YR	TWO'S	1 to 9	30 SF	18	2
DAYCARE #6	534 SF	510 SF	-	MULTI-PURPOSE	-	30 SF	-	-
DAYCARE #7	623 SF	540 SF	2 YR to 3 YR	EARLY PRESCHOOL	1 to 9	30 SF	18	2
DAYCARE #8	868 SF	750 SF	5 YR to	SCHOOL AGE	1 to 15	30 SF	25	2
DAYCARE #9	984 SF	750 SF	4 YR to 5 YR	PRE-K	1 to 13	30 SF	25	2
DAYCARE #10	779 SF	600 SF	3 YR to 4 YR	PRESCHOOL	1 to 10	30 SF	20	2
	6944 SF	5210 SF					146	22

GENERAL NOTES:

- SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
- SEE DWG. G002 FOR GENERAL CONDITIONS.
- SEE DWG. G003 FOR RESPONSIBILITY MATRIX.
- SEE DWG. G005-G007 FOR ACCESSORIES DETAILS.
- SEE DWG. G101 FOR LIFE SAFETY PLAN AND LIFE SAFETY CODE NOTES.
- SEE DWG. A101 FOR CONSTRUCTION FLOOR PLAN.
- SEE DWG. A701 FOR PLAYGROUND PLAN.

Engineering & Design

Architecture, Landscape
Architecture, Surveying, CT P.C.

www.colliersengineering.com
Copyright © 2024, Colliers Engineering & Design. This drawing and all the information contained herein is submitted for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Formerly Known as **JAM ARCH**
REV DATE DESCRIPTION
07/07/2025 PROGRESS SET



Michelle Simms

LEARNING CARE GROUP

OLD KNIGHT RD. & HORTON RD.
KNIGHTDALE, NC 27545

NC ARCHITECTURE

FIRM LICENSE # 54174

NOT FOR
CONSTRUCTION
Project Kick Off
SUBMISSION

LEGEND

-----	AREA BOUNDARY LINE
ROOM NAME	TO
AGE DESCRIPTION	ACTUAL S.F.
REQUIRED MINIMUM AREA	MINIMUM - MAXIMUM AGE
TEACHER : CHILD RATIO	NO. OF CHILDREN
NO. OF STAFF	NO. OF STAFF

LICENSING PLAN,
CHILDCARE LICENSING
SCHEDULE & NOTES

DRAWING NUMBER: G102

WOODCLIFF LAKE
300 Tie Blvd, Ste 101
Woodcliff Lake, NJ 07677
Phone: 845.352.0411

Colliers
Engineering & Design
Architecture, Landscape Architecture,
Surveying, CT P.C.PROJECT MANAGER: DISCIPLINE LEAD:
JC SODESIGNER: REVIEWER:
DR CJCDATE ISSUED: PROJECT NUMBER:
07/07/2025 25002372A

SHEET NAME:

LICENSING PLAN,
CHILDCARE LICENSING
SCHEDULE & NOTES

DRAWING NUMBER:

G102

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.