

MASTER PLAN REVIEW

KNIGHTDALE DAYCARE (ZCP-3-25)

0 JASMINE VIEW WAY
KNIGHTDALE, NORTH CAROLINA 27545
WAKE COUNTY

OWNER/DEVELOPER:

HAYWOOD GLEN INVESTMENTS LLC
MICHELLE SIMMS-REITER AND PABLO REITER
7208 FALLS OF NEUSE ROAD
SUITE 201
RALEIGH, NC 27615
MICHELLE@PRMSINV.COM
919-796-6783

CIVIL ENGINEER/ LANDSCAPE ARCHITECT:

TIMMONS GROUP
MIKE DAVIDSON
5410 TRINITY ROAD
SUITE 102
RALEIGH, NC 27607
MIKE.DAVIDSON@TIMMONS.COM
PH: (984) 222-1610

ARCHITECT:

COLLIERS ENGINEERING & DESIGN
JONATHAN CREEL
5901 VEGA AVE, SUITE 100
AUSTIN, TX 78735
JONATHAN.CREEL@COLLIERSENG.COM
PH: 432.770.3630

SURVEYOR:

MCKIM & CREED
KEVIN D. MEDEIROS
4300 EDWARDS MILL ROAD
RALEIGH, NC 27612
CSEAMSTER@MCKIMCREED.COM
PH: (919) 233-8091

SITE PLAN SUMMARY	
PROJECT:	KNIGHTDALE DAYCARE
OWNER:	HAYWOOD GLEN INVESTMENTS LLC
PROJECT ADDRESSES:	0 JASMINE VIEW WAY, KNIGHTDALE, NORTH CAROLINA 27545
PIN(S):	1755-84-4894
JURISDICTION:	TOWN OF KNIGHTDALE
ZONING:	RMX-PUD
EXISTING USE:	VACANT
PROPOSED USE:	DAYCARE
FLOOD ZONE:	NOT LOCATED IN FLOOD HAZARDS AREA PER FEMA MAP #3720175500K (EFFECTIVE 07/19/2022)
TOTAL LOT AREA:	1.50 AC. ±
EXISTING IMPERVIOUS SURFACE AREA:	1,555 SF
PROPOSED IMPERVIOUS SURFACE AREA:	35,351 SF
PROPOSED DAYCARE BUILDING SQUARE FOOTAGE:	10,235 SF
REQUIRED BUILDING SETBACKS:	FRONT SETBACK (MIN.) - 10' FRONT SETBACK (MAX.) - 30' SIDE SETBACK (MIN.) - 0' MAXIMUM SPACES = 0.35 VEHICULAR SPACES PER PERSON LICENSED CAP. MINIMUM SPACES = 1/4 MAXIMUM
VEHICULAR PARKING FOR CHILD DAYCARE CENTER WITH MORE THAN SIX (6) PERSONS:	# OF LICENSED CHILDREN = 146, # OF LICENSED STAFF = 22, TOTAL = 168 168 X 0.35 = 59 MAXIMUM SPACES 59/2 = 30 MINIMUM SPACES 1 EV CHARGING STATION PER 40 TOTAL SPACES OR 2 MINIMUM CHARGING STATIONS
VEHICLE PARKING SUMMARY: PROVIDED	39 VEHICULAR PARKING SPACES (INCLUDES 2 ADA SPACES THAT ARE VAN ACCESSIBLE) 2 EV CHARGING STATIONS PROVIDED



VICINITY MAP
SCALE: 1" = 500'

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	SURVEY
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE LAYOUT PLAN
C2.1	SIGNS AND MARKINGS PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SPOT GRADING PLAN AND STORM TABLES
C4.0	EROSION CONTROL PHASE I
C4.1	EROSION CONTROL PHASE II
C4.2	NPDES PLAN
C4.3	EROSION CONTROL NOTES
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C6.1	LANDSCAPE NOTES AND DETAILS
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS
C7.2	NOTES AND DETAILS
C7.3	NOTES AND DETAILS
C7.4	NOTES AND DETAILS
C7.5	NOTES AND DETAILS
C7.6	NOTES AND DETAILS
C7.7	NOTES AND DETAILS
25-0280A	SITE LIGHTING ARRANGEMENT
A104	FINISHED FLOOR PLAN
A201	BUILDING ELEVATIONS & NOTES
A301	BUILDING SECTIONS
AS102	DUMPSTER ENCLOSURE DETAILS
G002	GENERAL CONDITIONS
G102	LICENSING PLAN

Knightdale Daycare - Water Allocation Worksheet	
BASE	POINTS
Other Uses Not Catagorized (Daycare Facility)	30
BONUS	
Section 1B - Roadway Improvements Not Warranted By TIA (Proposed Concrete Median in the Old Knight Road ROW to Prevent Left Turn Movement Exiting the Daycare)	8
Section 2C - Exclusive Use of Native Trees and Shrub Species	5
Section 4C - Deck/Patio - More Than 3,000 SF (Outdoor Playground)	3
Section 4F - Additional Outdoor Recreation - IPEMA Certified Playground Equipment	4
Total	50

TOWN OF KNIGHTDALE ADDITIONAL USE STANDARDS (CHILD / ADULT DAY CARE CENTER)

- IN ADDITION TO MEETING THE REQUIREMENTS OF SECTION 7.6, FENCING ENCLOSING ANY REQUIRED RECREATION SPACE SHALL BE A MINIMUM OF FOUR (4) FEET IN HEIGHT AND CONSTRUCTED WITH GATES IN SUCH A MANNER THAT MAXIMUM SAFETY TO THE PERSON IS ENSURED.
- DAY CARE CENTERS SHALL BE LOCATED ON LOTS THAT PROVIDE AMPLE OUTDOOR PLAY AREA. A FENCED RECREATION AREA OF A MINIMUM OF TWO-THOUSAND TWO-HUNDRED FIFTY (2,250) SQUARE FEET SHALL BE PROVIDED IN THE REAR OR SIDE YARD. REQUIRED BUFFER YARDS MAY NOT BE COUNTED TOWARDS THIS REQUIREMENT.
- HOURS OF OPERATION SHALL BE PERMITTED ONLY FROM 6:00 AM UNTIL 9:00 PM.

a. **Town Approved Standards Shall Control.** In the event of a conflict or inconsistency between these construction drawings and the Town of Knightdale's Approved Standards for this project, the Approved Standards shall control. Town of Knightdale Approved Standards shall mean all development documents necessary for approval for the Property including, but not limited to, any special use permit, subdivision plan, site plan, subdivision plat(s), phasing schedule, Development Agreement, Utility Allocation Agreement, Annexation Agreement, the Town of Knightdale Standard Specification and Details Manual and applicable provisions of the North Carolina State Building Code.

b. **Professional Design Engineer Certification.** These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale.

I, _____, PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) _____ of these drawings.

Seal _____ By: _____, PE
Date: _____

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

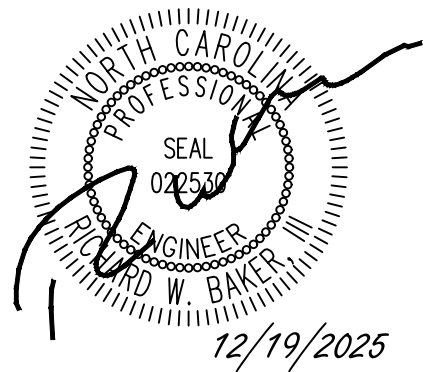
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Land Use Administrator



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866-4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION
TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DATE
12/19/2025

DRAWN BY
332

DESIGNED BY
332

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

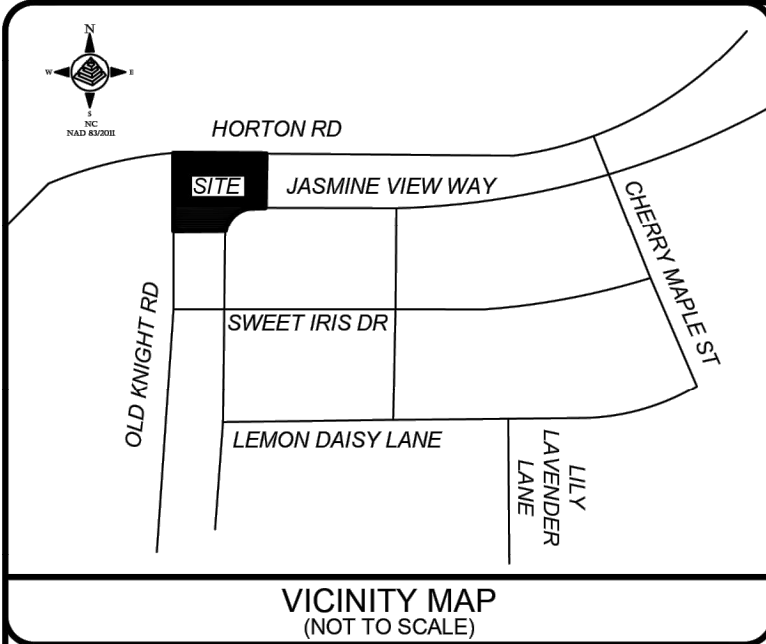
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

COVER SHEET

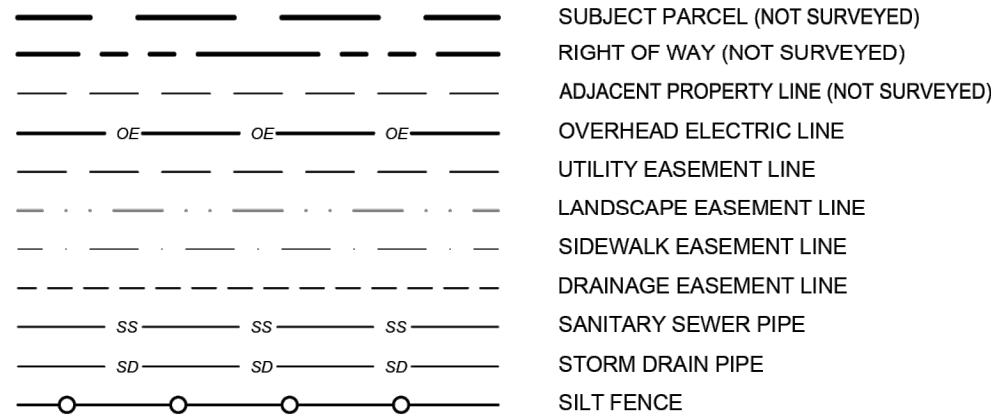
JOB NO.
70434

SHEET NO.
C0.0

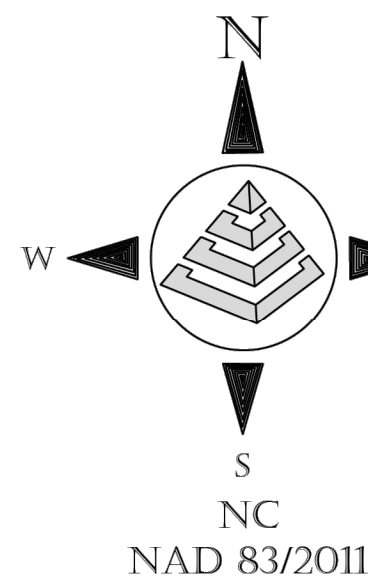
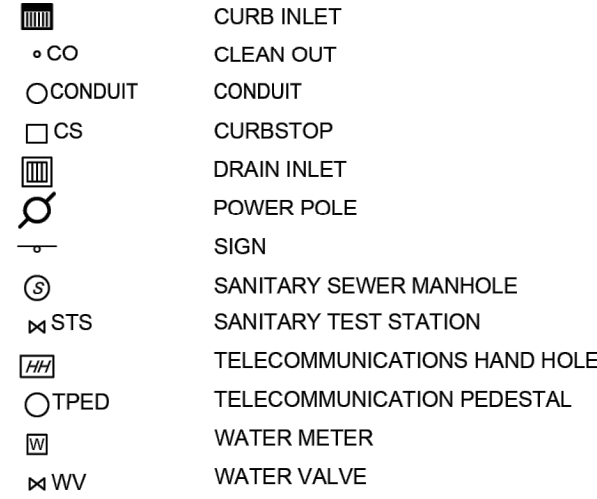
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LINETYPE LEGEND



LEGEND



SURVEY NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO PERFORM AN EXISTING CONDITION SURVEY AHEAD OF THE DESIGN OF A PROPOSED COMMERCIAL BUILDING LOCATED IN THE TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA PREVIOUSLY KNOWN AS PARCEL 1755844894.
2. THE DEPICTED SURVEY WAS DERIVED FROM AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE AND PERFORMED JANUARY 3, 2025.
3. OWNER INFORMATION PER DEEDS AND PLATS OF THE WAKE COUNTY REGISTER OF DEEDS.
4. VRS GPS OBSERVATIONS (3 MINUTE MULTIPLE OBSERVATIONS) WERE MADE ON TWO (2) MAIN CONTROL POINTS TO ESTABLISH GEODETIC AND STATE GRID COORDINATES (NAD83 NSRS 2011) USING AVERAGE POSITIONS FROM THE MULTIPLE OBSERVATIONS. THE VERTICAL DATUM USED WAS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED ON GEOID 18.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN US SURVEY FEET. BEARINGS ARE BASED ON NC GRID (NAD83/2011).
6. ALL AREAS SHOWN WERE COMPUTED BY THE COORDINATE CALCULATION METHOD.
7. NO NORTH CAROLINA GRID MONUMENT WAS FOUND WITHIN 2000 FEET OF THE SUBJECT PARCEL.
8. THE LOCALIZED COORDINATE SYSTEM USED FOR THIS PROJECT IS BASED ON CONTROL POINT "1" HAVING THE FOLLOWING LOCALIZED NAD 83-2011 COORDINATES AND NAVD 88 ELEVATION:
COORDINATES N: 754,013.65, E: 2,158,291.14; ELEV. 336.95
9. PROJECT COMBINED GRID FACTOR USED IS 0.9999112 (GROUND TO GRID)
10. THIS PROPERTY IS LOCATED IN FLOOD ZONE AREA "ZONE X, OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS SHOWN ON FEMA MAP NUMBER 3720175500K WITH AN EFFECTIVE DATE OF 7/19/2022.
11. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS, AND OR ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY.
12. SUBSURFACE UTILITY INVESTIGATION WAS NOT INCLUDED IN THE SCOPE OF THIS SURVEY.
13. CONTOURS ARE SHOWN AT A 1' CONTOUR INTERVAL.
14. THIS IS NOT A BOUNDARY SURVEY.

I, KEVIN D. MEDEIROS, PLS L-4668, CERTIFY THAT THIS EXISTING CONDITION AND TOPOGRAPHIC SURVEY WAS COMPLETED UNDER MY DIRECT SUPERVISION; THAT THE GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET THE CLASS A HORIZONTAL REQUIREMENT AND THE CLASS B VERTICAL REQUIREMENT FOR TOPOGRAPHIC/PLANIMETRIC SURVEYS; THAT THE ORIGINAL DATA WAS OBTAINED JANUARY 3, 2025; THAT THE CONTOUR LINES MAY NOT MEET THE STATED STANDARD; THAT THE SURVEY WAS COMPLETED ON JANUARY 3, 2025; AND THAT ALL COORDINATES AND ELEVATIONS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83-2011), AND ALL ELEVATIONS ARE BASED ON NAVD88. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600) AS AMENDED.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS THE XXTH DAY OF JANUARY, 2025 A.D.

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCE OR SALES

KEVIN D. MEDEIROS L-4668
PROFESSIONAL LAND SURVEYOR

THE GPS SURVEY MADE WAS UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THIS SURVEY.

CLASS OF SURVEY: A
POSITIONAL ACCURACY: H-0.02' / V-0.63'
TYPE OF GPS FIELD PROCEDURE: NC VRS NETWORK
DATES OF SURVEY: 7/25/2023
DATUM/EPOCH: NAD 83 NSRS 2011 - NAVD 88
PUBLISHED/FIXED CONTROL USED: FIXED
GEOID MODEL: 18 (CONUS)
COMBINED GRID FACTOR: 0.9999112 (GRID TO GROUND)
UNITS: US SURVEY FEET

DATE	REVISION	BY

MCKIM & CREED
4300 Edwards Mill Road
Suite 200, Raleigh, NC 27612
Phone: (919) 233-8081, Fax: (919) 233-8031
NC License# F-1222
Internet Site: <http://www.mckimcreed.com>



PROJECT # : 0850-0001	DWG. # : .
PROJ. SVR. : KDM	
DRAWN BY : SEM	
FIELD BK. : Book	
COMP. FILE : .	
SHEET # : 1 OF 1	

EXISTING CONDITIONS SURVEY
OF
HAYWOOD GLEN COMMERCIAL LOT
FOR
HAYWOOD GLEN INVESTMENTS LLC
DATE: JANUARY 06, 2025 SCALE: AS NOTED
MARKS CREEK TOWNSHIP WAKE COUNTY NORTH CAROLINA

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE,
WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

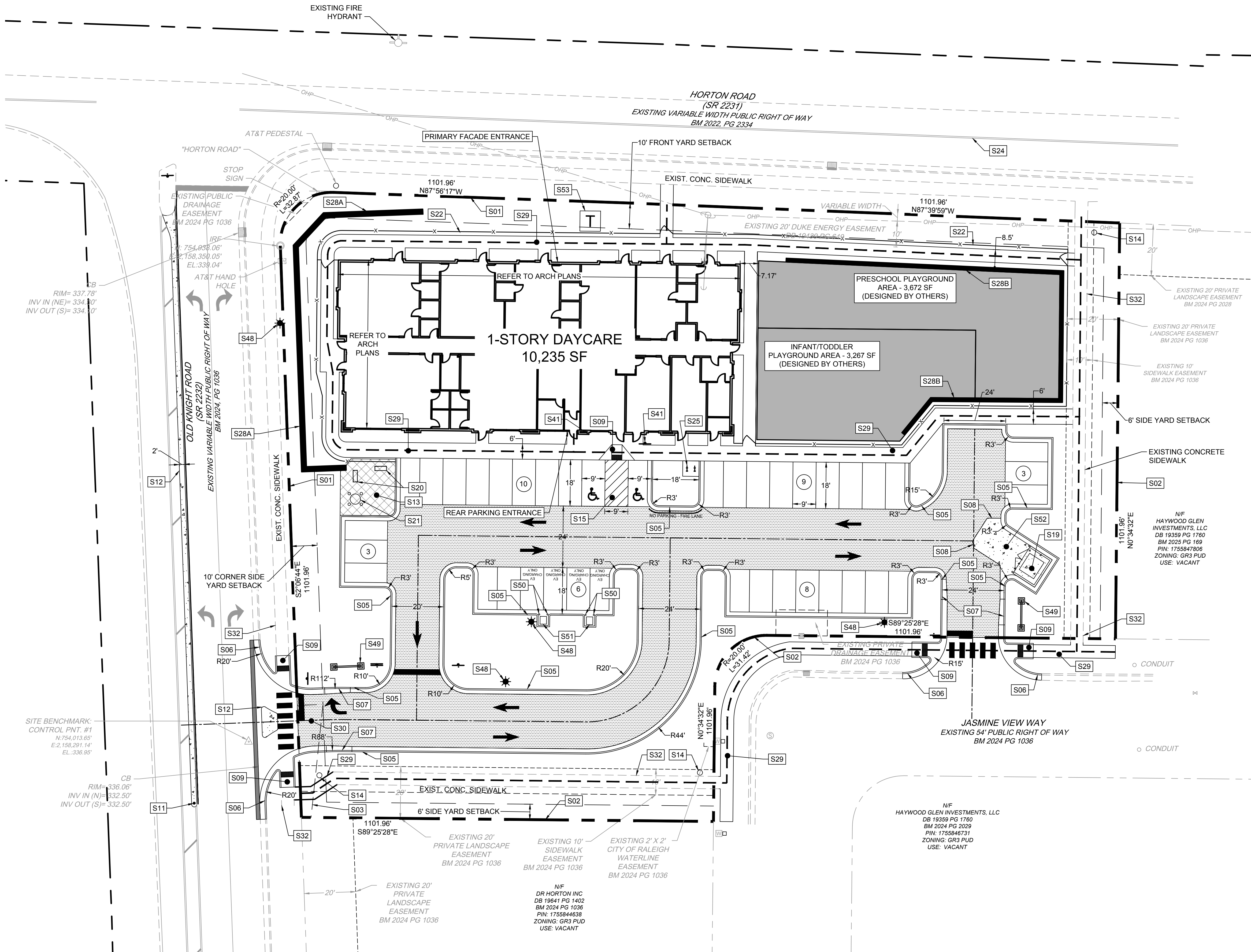
By: _____ Date: _____
Town Engineer

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By: _____ Date: _____
Land Use Administrator



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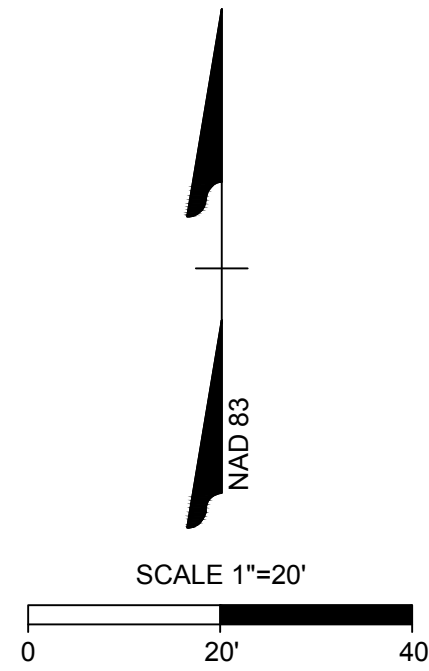
PUBLIC GATHERING AREA:
455 SF OF PUBLIC GATHERING SPACE IS PROVIDED WITH THE FOLLOWING AMENITIES:

- MOVABLE TABLES AND CHAIRS
- BENCHES
- SHADE TREE

SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	10' X 70' SIGHT DISTANCE TRIANGLE
S05	24" CONCRETE CURB & GUTTER; REFER TO DETAIL
S06	30" CONCRETE CURB & GUTTER; REFER TO NCDOT 846.01
S07	TAPER 24" CURB TO 30" CURB
S08	CHAMFERED CONCRETE CORNER
S09	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S11	NCDOT FLEXIBLE DELINEATOR; REFER TO DETAIL
S12	CONCRETE MONOLITHIC ISLAND
S13	PUBLIC GATHERING AREA
S14	PET WASTE STATION, TRASH RECEPTACLE AND DECORATIVE COLUMN PER TOWN OF KNIGHTDALE REQUIREMENTS
S15	CONCRETE ADA STALL (TYP.)
S19	DUMPSTER PAD & ENCLOSURE; REFER TO DETAIL AND ARCHITECTURAL PLANS
S20	BENCH; TYP. (REFER TO DETAIL)
S21	MOVABLE TABLE AND CHAIRS
S22	4' TALL WROUGHT IRON FENCE; REFER TO DETAIL
S24	EXISTING ROAD CENTERLINE
S25	BIKE RACK FOR 4 BIKE PARKING SPACES; REFER TO DETAIL
S28A	(WALL #1) SEGMENTAL RETAINING WALL WITH 42" MINIMUM SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
S28B	(WALL #2) GRAVITY RETAINING WALL WITH 42" MINIMUM SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
S29	4" THICK TURN DOWN CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS
S30	RIGHT IN / RIGHT OUT DRIVEWAY
S32	EXISTING SIDEWALK TO REMAIN
S41	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS); R7-8A (MUTCD). MOUNT ON BUILDING IF THERE IS NO LANDSCAPED ISLAND
S48	LIGHT POLE BASE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)
S49	MONUMENT SIGN
S50	4" BOLLARD AND COVER
S51	ELECTRIC VEHICLE CHARGER; REFER TO DETAIL
S52	HEAVY-DUTY CONCRETE: 6" OF 4,000 PSI OVER 6" OF ABC STONE. PROVIDE 2' WIDE CHAMFERS AS SHOWN ON PLAN.
S53	ELECTRIC TRANSFORMER PAD; GC TO COORDINATE LOCATION WITH LOCAL PROVIDER. LOCAL PROVIDER CAN SUPERSEDE THE PROPOSED TRANSFORMER PAD LOCATION.
--- ADA ACCESSIBLE ROUTE	
HEAVY DUTY ASPHALT	
18" MILLED LAP JOINT TIEING PROPOSED DRIVEWAY TO EXISTING ROAD	

SITE LAYOUT NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
4. AT LEAST 3-12 BUSINESS DAYS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
5. PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
6. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
8. ALL CURB AND GUTTER ONSITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
9. TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
10. ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER TOWN OF KNIGHTDALE OR NCDOT STANDARDS AND SPECIFICATIONS.
11. ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE TOWN OF KNIGHTDALE. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
12. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
13. SIGNAGE SHALL BE DESIGNED AND PERMITTED BY OTHERS.



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____

Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____

Land Use Administrator

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



THIS DRAWING PREPARED AT THE
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TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION
TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DATE
12/19/2025

DATE
07/07/2025

DRAWN BY
332

DESIGNED BY
332

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
SITE LAYOUT PLAN

JOB NO.

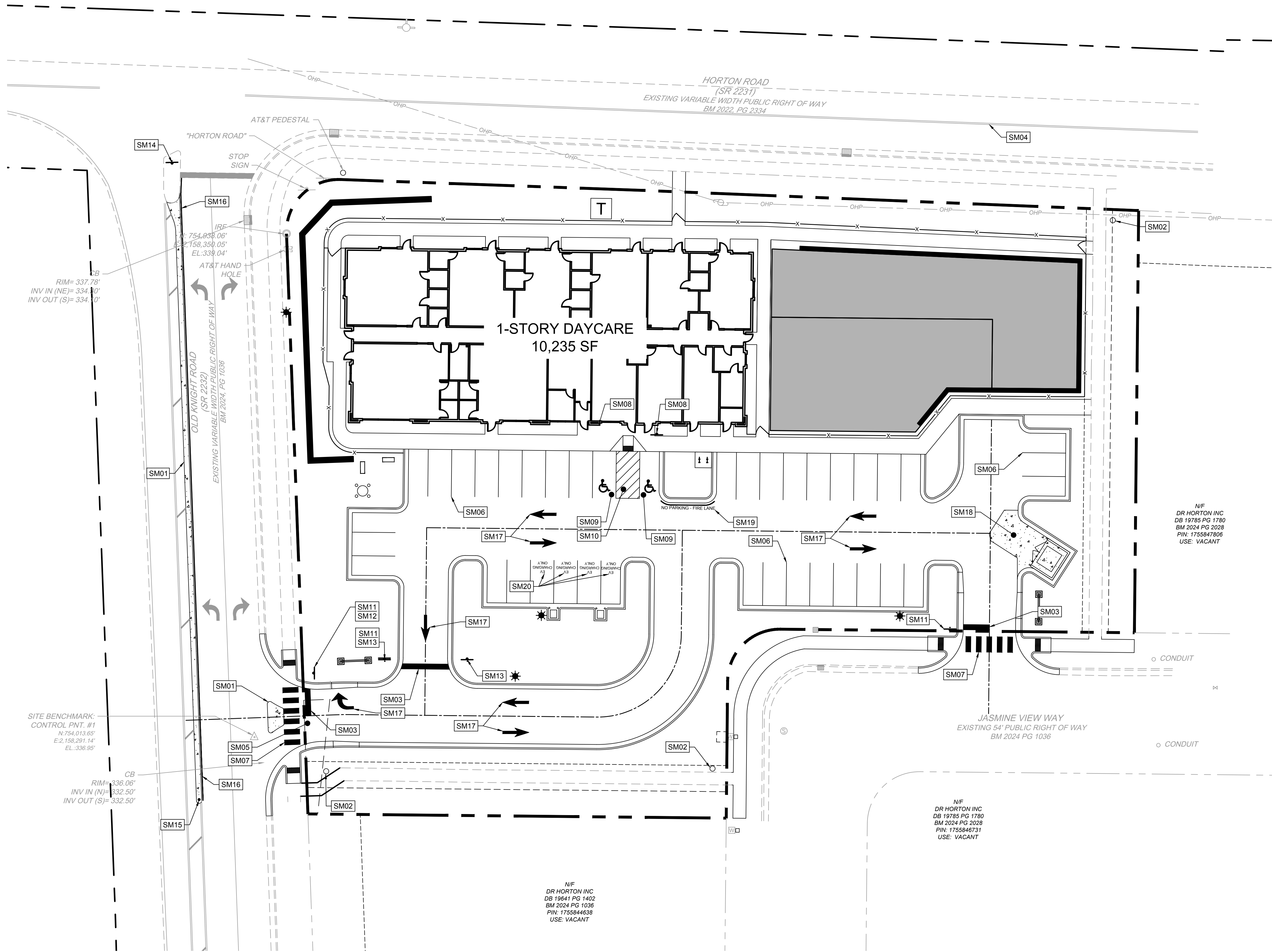
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SHEET NO.

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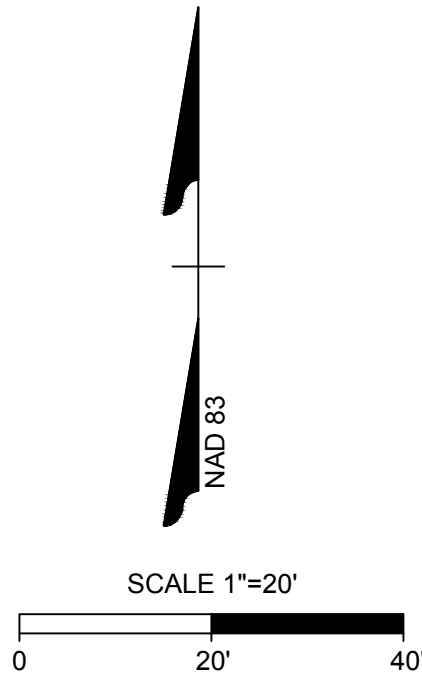
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SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
SM01	CONCRETE MONOLITHIC ISLAND
SM02	PET WASTE STATION, TRASH RECEPTACLE AND DECORATIVE COLUMN PER TOWN OF KNIGHTDALE REQUIREMENTS
SM03	2' WIDE PAINTED STOP BAR (TYP.)
SM04	EXISTING ROAD CENTERLINE
SM05	RIGHT IN / RIGHT OUT DRIVEWAY
SM06	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
SM07	HIGH VISIBILITY PEDESTRIAN CROSSWALK STRIPING (PER NCDOT & TOWN OF KNIGHTDALE REQUIREMENTS)
SM08	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS); R7-8A (MUTCD)
SM09	ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES)
SM10	CONCRETE ADA STALL (TYP.)
SM11	"STOP" SIGN; R1-1 (MUTCD)
SM12	"NO LEFT TURN" SIGN; R3-2 (MUTCD)
SM13	"DO NOT ENTER" SIGN; R5-1 (MUTCD)
SM14	"KEEP RIGHT" SIGN; R4-7 (MUTCD)
SM15	NCDOT FLEXIBLE DELINEATOR; REFER TO DETAIL
SM16	4" WHITE SOLID EDGE LINE; REFER TO NCDOT STANDARD DRAWING 1205.01. (THERMO)
SM17	DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
SM18	HEAVY-DUTY CONCRETE: 6" OF 4,000 PSI OVER 6" OF ABC STONE. PROVIDE 2" WIDE CHAMFERS AS SHOWN ON PLAN.
SM19	"NO PARKING - FIRE LANE" PAVEMENT MARKING
SM20	"EV CHARGING ONLY" PAVEMENT MARKING

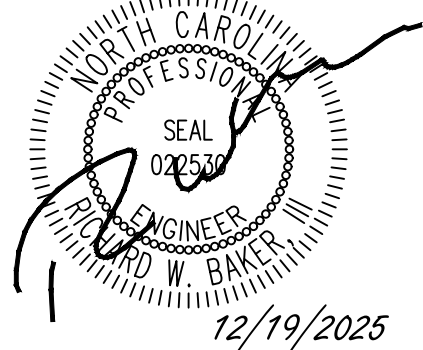


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NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
SIGNS AND MARKINGS PLAN

JOB NO.

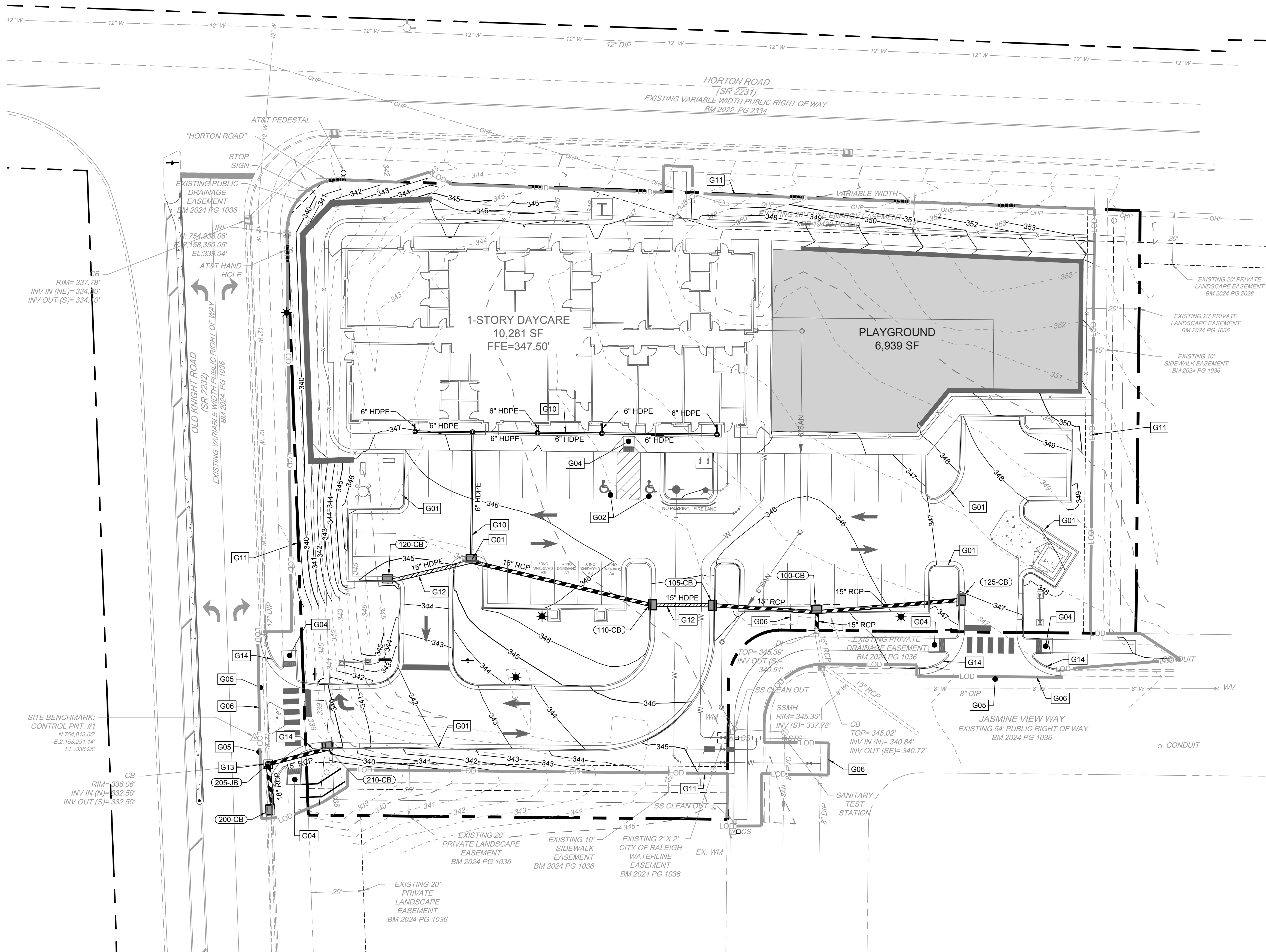
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SHEET NO.

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S:\33270434-Knightdale Daycare DWG\SheetCD70434-GRAD.dwg | Plotted on 12/19/2025 2:12 PM | by Brandon Wright



GRADING & STORMWATER KEYNOTES	
NUMBER	DESCRIPTION
G01	24" CURB & GUTTER (TYP.)
G02	ADA STALLS (MAX SLOPE 1:50)
G04	ADA RAMP (TYP.)
G05	MATCH EXISTING PAVEMENT ELEVATION
G06	LIMITS OF SAWCUT AND PAVEMENT REMOVAL
G08	EXISTING PERMANENT DRAINAGE EASEMENT
G10	ROOF DRAIN (TYP.); MIN. COVER OF 3" AND MIN. SLOPE OF 1%
G11	LIMITS OF DISTURBANCE (TYP.)
G12	ADS DURASLOT TRENCH DRAIN; REFER TO DETAIL
G13	CONVERT EXISTING CATCH BASIN TO JUNCTION BOX PER NCDOT STANDARDS
G14	30" CURB AND GUTTER IN PUBLIC ROW

GRADING AND STORM DRAINAGE NOTES

- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811) AT LEAST 3 DAYS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CATCH BASINS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADE.
- ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
- ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.
- A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES.
- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 (2.0%) SLOPE IN ALL DIRECTIONS. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 (5.0%) SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 (2.0%) SLOPE FOR THE WIDTH OF THE SIDEWALK.
- CONTRACTOR TO IDENTIFY ALL NECESSARY SPILL CURB SECTION LOCATIONS AND INSTALL TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- SPOT ELEVATIONS ARE GIVEN AT THE MAJORITY OF THE MAJOR BREAK POINTS BUT IT SHOULD NOT BE ASSUMED THAT ALL NECESSARY SPOT ELEVATIONS ARE SHOWN. DUE TO SPACE LIMITATIONS, THERE MAY BE OTHER CRITICAL SPOTS NOT LABELED THAT SHOULD BE TAKEN INTO CONSIDERATION. THE CONTRACTOR SHALL REVIEW THE GRADING PLAN IN DETAIL AND SHALL ENSURE THAT ALL CRITICAL GRADE POINTS ARE STAKED AND FOLLOWED TO PROVIDE POSITIVE DRAINAGE.
- EXISTING VEGETATION WITHIN TREE PROTECTIVE AREAS SHALL REMAIN UNDISTURBED UNLESS NOTED OTHERWISE. ANY AND ALL LANDSCAPING AND EXISTING TREES AND SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR USING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ENGINEER.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM" OR EQUIVALENT.

IMPERVIOUS SURFACE AREA SUMMARY:

NET SITE AREA: 65,480 SF±

ONSITE IMPERVIOUS SURFACES:

PROPOSED BUILDING: 10,281 SF±
PROPOSED SIDEWALK / RETAINING WALL: 4,895 SF±
PROPOSED VUA: 20,175 SF±
EXISTING IMPERVIOUS (SIDEWALK): 1,579 SF±

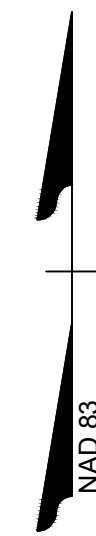
TOTAL ON-SITE IMPERVIOUS: 36,930 SF±
TOTAL ON-SITE IMPERVIOUS TO SCM: 27,902 SF±

ONSITE PERVIOUS SURFACES:

LANDSCAPE AREAS: 21,611 SF±
PLAYGROUND AREA: 6,939 SF±

ON-SITE PERVIOUS TOTAL: 28,550 SF±

*IMPERVIOUS SURFACE AREA PREVIOUSLY ALLOCATED TO THIS PARCEL: 42,000 SF



SCALE 1"=20'

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____

Town Engineer

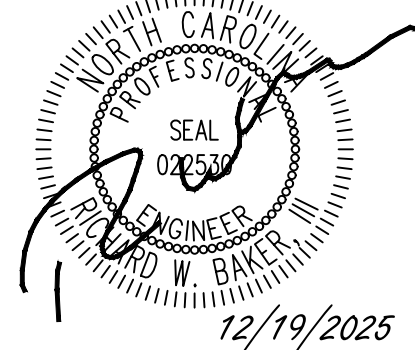
These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____

Land Use Administrator

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



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REVISION DESCRIPTION

TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DATE
12/19/2025

DATE
07/07/2025

DRAWN BY
332

DESIGNED BY
332

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
GRADING AND DRAINAGE PLAN

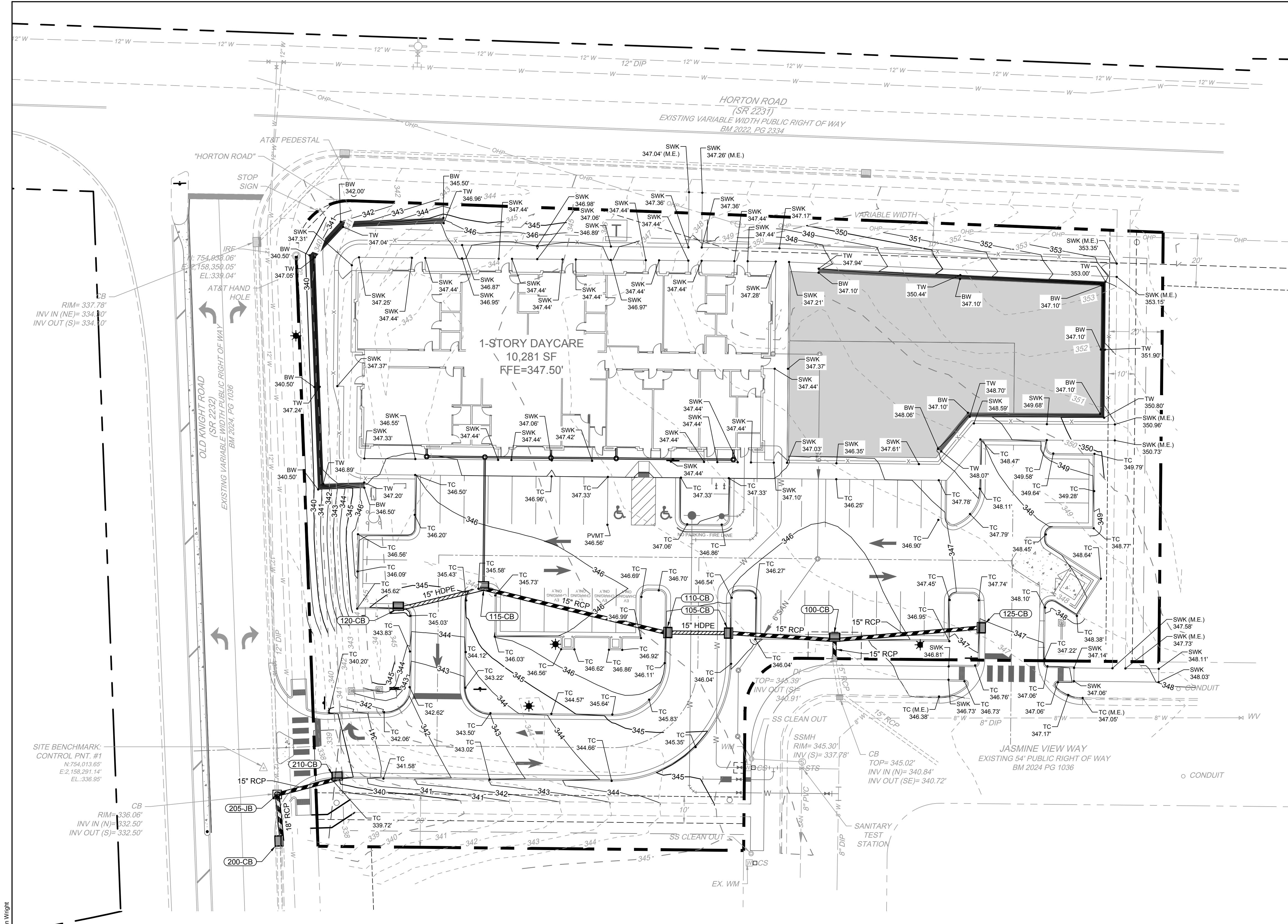
JOB NO.

70434

SHEET NO.

C3.0

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STORM STRUCTURE TABLE				
STR. #	TOP	INV. IN	INV. OUT	DESCRIPTION
38	335.26'	333.74' (15" RCP FROM 200-CB)		Null Structure
100-CB	345.60'	340.99' (15" RCP FROM 105-CB) 341.32' (15" RCP FROM 125-CB)	340.89' (15" RCP TO EX-DI)	NCDOT 840.02 CONCRETE CATCH BASIN
105-CB	346.27'	341.28' (15" HDPE FROM 110-CB)	341.18' (15" RCP TO 100-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
110-CB	346.34'	341.50' (15" RCP FROM 115-CB)	341.40' (15" HDPE TO 105-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
115-CB	345.62'	341.95' (15" HDPE FROM 120-CB) 342.03' (6" HDPE FROM 25)	341.85' (15" RCP TO 110-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
120-CB	345.20'		342.11' (15" HDPE TO 115-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
125-CB	347.37'		341.86' (15" RCP TO 100-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
200-CB	336.21'	333.00' (18" RCP FROM 205-JB)	333.95' (15" RCP TO 38)	NCDOT 840.02 CONCRETE CATCH BASIN
205-JB	336.50'	333.73' (15" RCP FROM 210-CB)		NCDOT 840.52 PRECAST MANHOLE
210-CB	339.93'		334.66' (15" RCP TO 205-JB)	NCDOT 840.02 CONCRETE CATCH BASIN
EX-DI	342.37'	340.85' (15" RCP FROM 100-CB)		Null Structure

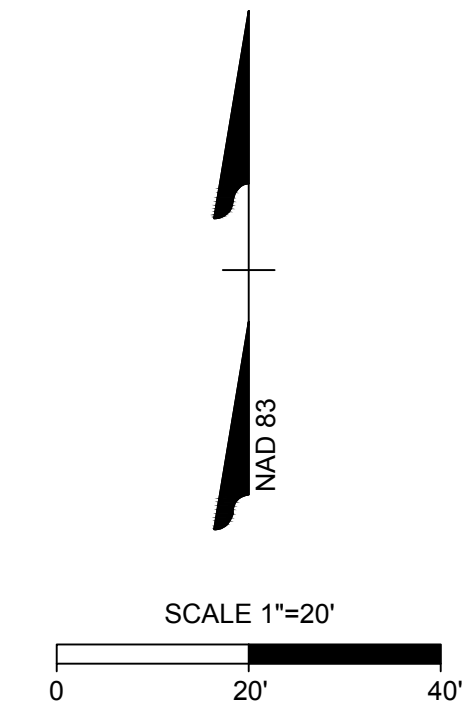
STORM PIPE TABLE						
FROM - TO	UPSTREAM INVERT	DOWNSTREAM INVERT	SLOPE	LENGTH	DIA.	MATERIAL
100-CB - EX-DI	340.89'	340.85'	0.50%	7.11 LF	15"	RCP
105-CB - 100-CB	341.18'	340.99'	0.50%	38.93 LF	15"	RCP
110-CB - 105-CB	341.40'	341.28'	0.50%	25.00 LF	15"	HDPE
115-CB - 110-CB	341.85'	341.50'	0.50%	70.23 LF	15"	RCP
120-CB - 115-CB	342.11'	341.95'	0.50%	32.96 LF	15"	HDPE
125-CB - 100-CB	341.86'	341.32'	0.99%	54.29 LF	15"	RCP
200-CB - 38	333.95'	333.74'	2.00%	10.46 LF	15"	RCP
205-JB - 200-CB	333.53'	333.00'	3.00%	17.52 LF	18"	RCP
210-CB - 205-JB	334.66'	333.73'	4.00%	23.34 LF	15"	RCP

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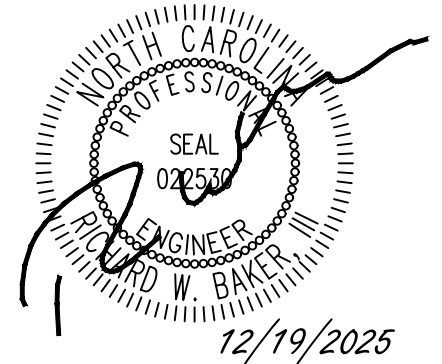
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

SPOT ELEVATION LEGEND
TC = TOP OF CURB
ME = MATCH EXISTING
GND = GROUND
SWK = SIDEWALK
TW = TOP OF WALL
BW = BOTTOM OF WALL
HP = HIGH POINT
FC = FLUSH CURB
EOP = EDGE OF PAVEMENT
PVMT = PAVEMENT
FL = FLOW LINE

- NOTES:
1. TOP REFERS TO:
1.1. CATCH BASIN: TOP OF CURB
1.2. YARD INLET: SILL
2. SD* - SEE RISER DETAIL



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Land Use Administrator



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DATE
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M. DAVIDSON

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

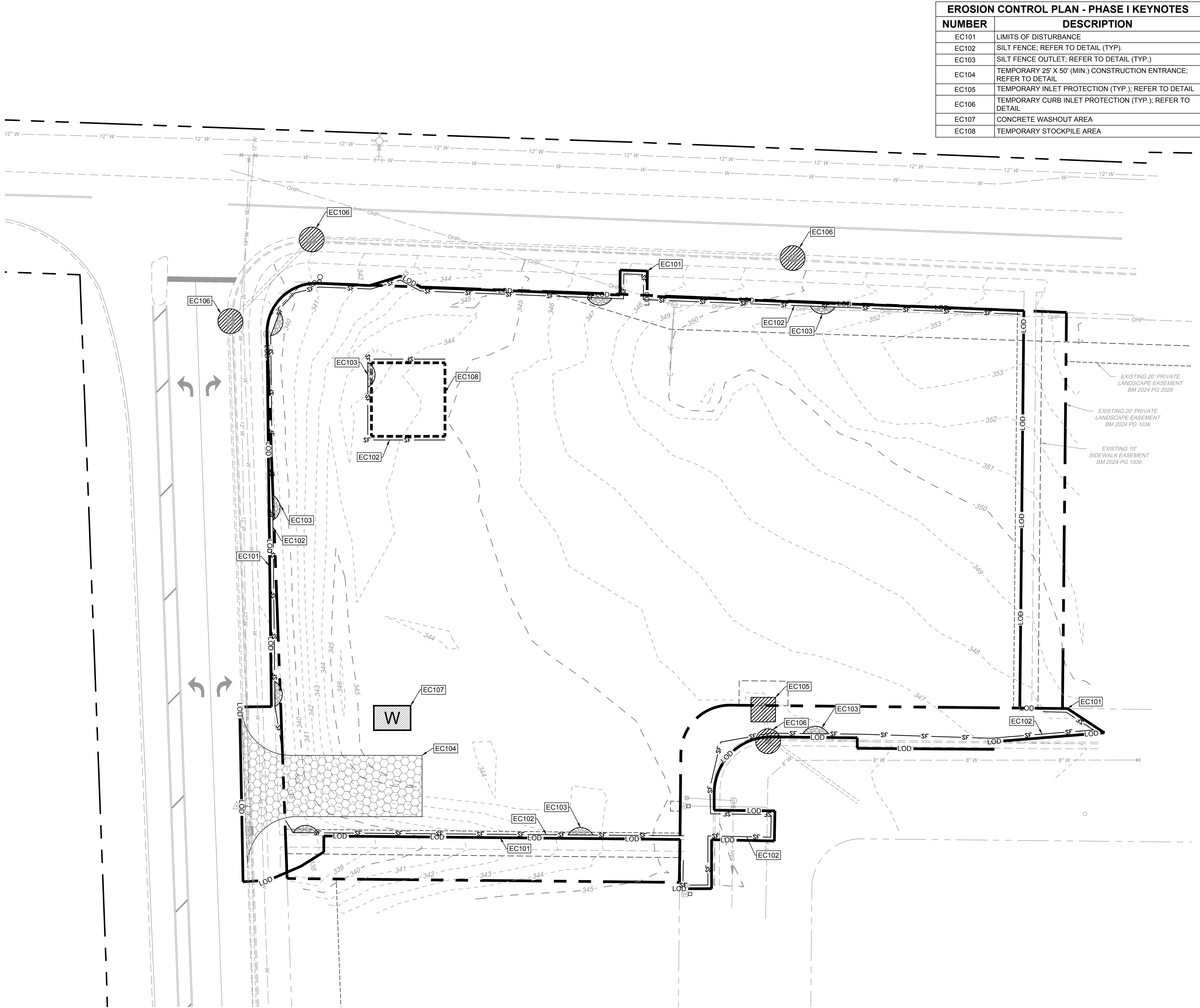
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

SPOT GRADING PLAN AND STORM TABLES

JOB NO.
70434
SHEET NO.
C3.1

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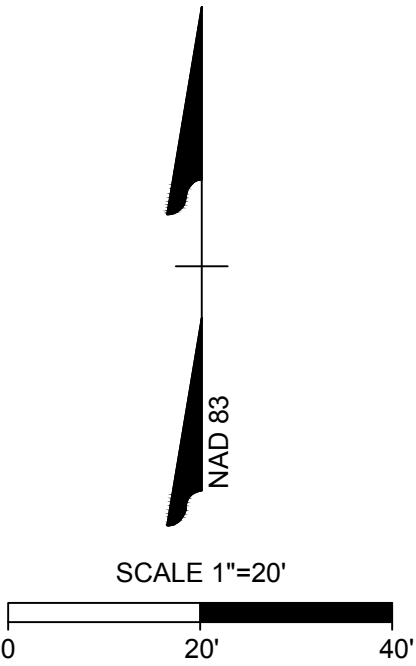
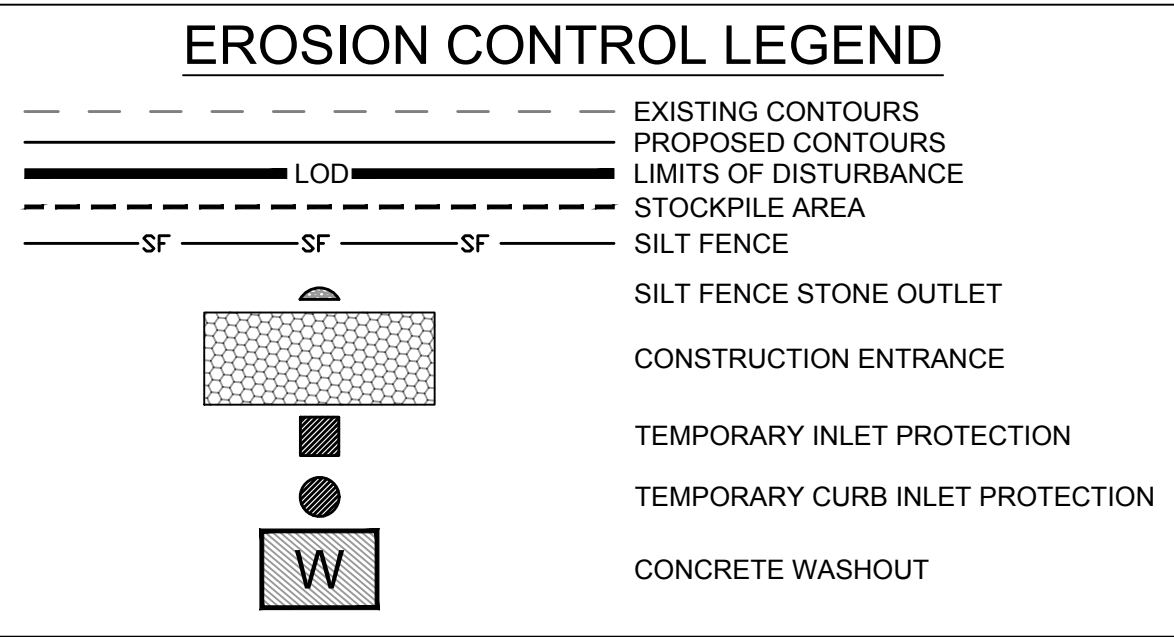
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EROSION CONTROL PLAN - PHASE I KEYNOTES	
NUMBER	DESCRIPTION
EC101	LIMITS OF DISTURBANCE
EC102	SILT FENCE; REFER TO DETAIL (TYP.)
EC103	SILT FENCE OUTLET; REFER TO DETAIL (TYP.)
EC104	TEMPORARY 25' X 50' (MIN.) CONSTRUCTION ENTRANCE; REFER TO DETAIL
EC105	TEMPORARY INLET PROTECTION (TYP.); REFER TO DETAIL
EC106	TEMPORARY CURB INLET PROTECTION (TYP.); REFER TO DETAIL
EC107	CONCRETE WASHOUT AREA
EC108	TEMPORARY STOCKPILE AREA

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH NCDEQ STANDARDS AND SPECIFICATIONS.
 - A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
 - FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY DEQ.
 - FIELD VERIFY ALL DIMENSIONS AND GRADES ON THESE PLANS PRIOR TO CONSTRUCTION. FAILURE TO NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH PLAN OR GRADE CHANGES, MAY RESULT IN NO EXTRA COMPENSATION PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY.
 - EXCAVATION AND EARTH MOVING OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 - VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION. ALL EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND VERIFIED PRIOR TO COMMENCING ACTIVITY ON SITE.
 - ALL ADJACENT ROADS TO THE SITE ARE TO BE SWEEPED AND WASHED AT THE END OF EACH WORK DAY TO ENSURE NO SEDIMENT COLLECTS ON THE ROADWAYS.
 - INSPECT AND PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT.
 - INSTALL ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT RUNOFF.
 - PROVIDE NCDEQ WITH THE LOCATION OF OFFSITE STOCKPILES USED TO STORE EXCAVATED SOIL FROM THE SITE. THE LOCATION OF OFFSITE STOCKPILES MUST BE AN UPLAND AREA. IF AN OFFSITE BORROW OR SPOIL SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE BORROW/SPOIL SITE MUST BE INCLUDED IN THE LAND DISTURBANCE PERMIT. THE CONTRACTOR WILL PROVIDE THE LOCATION OF ALL EXCAVATED SOILS USED FOR THIS PROJECT TO NCDEQ. THIS AREA MUST ALSO BE AN UPLAND AREA.
 - CONCRETE WASHOUT TO BE LOCATED A MINIMUM OF 50' FROM ANY DRAINAGE STRUCTURE.
 - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS.
 - ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

- NOTES:**
- MAINTAIN SILT FENCE AROUND THE ENTIRE PROJECT PERIMETER AREA WITH SILT FENCE OUTLETS AT THE LOW POINTS IN THIS PHASE.
 - THE NPDES CONSTRUCTION PERMIT REQUIRES EROSION CONTROL DEVICES AND STORM WATER OUTFALLS BE INSPECTED WEEKLY (EVERY 7 CALENDAR DAYS) AND WITHIN 24 HRS OF A .5 INCH RAIN EVENT. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT THESE INSPECTIONS AND MAINTAIN RECORDS UNTIL THE AREA HAS STABILIZED, EVIDENT BY 95% VEGETATIVE GROWTH FOR AREAS PROVIDED SEEDING. TO FACILITATE RAINFALL MONITORING A RAIN GAUGE IS REQUIRED TO BE ON SITE. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING "SELF INSPECTIONS" INDICATING THE DATE BMPs ARE INSTALLED AND STABILIZATION MEASURES (SEEDING/MULCHING OR SOD) ARE INITIATED. THE "SELF INSPECTION" REPORTS WILL BE MAINTAINED ALONG WITH THE "NPDES" INSPECTION REPORTS. ONCE STABILIZATION HAS BEEN ACCOMPLISHED INSPECTION RECORDS ARE TO BE FORWARDED TO EAD AND ALL TEMPORARY EROSION/SEDIMENTATION CONTROL DEVICES REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL PERMITS AND PLANS. ANY CHANGES WILL BE APPROVED BY THE STATE PRIOR TO EXECUTION. A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN, LETTER OF APPROVAL, AND NPDES CONSTRUCTION PERMIT WILL BE MAINTAINED BY THE CONTRACTOR AT THE ONSITE OFFICE. IF SOIL IS REMOVED FROM OR BROUGHT ONSITE, THE APPLICABLE SOLID WASTE MANAGEMENT PERMIT NUMBER, EROSION SEDIMENTATION PERMIT NUMBER OR MINE PERMIT NUMBER WILL BE DISCLOSED.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

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a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

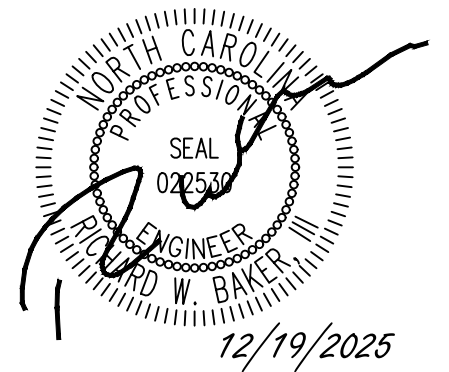
By: _____ Date: _____

Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____

Land Use Administrator



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YOUR VISION ACHIEVED THROUGH OURS.	REVISION DESCRIPTION
DATE 12/19/2025	TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #
DATE ----	DRAWN BY 332
DESIGNED BY 332	CHECKED BY M. DAVIDSON
SCALE AS SHOWN	JOB NO. 70434

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

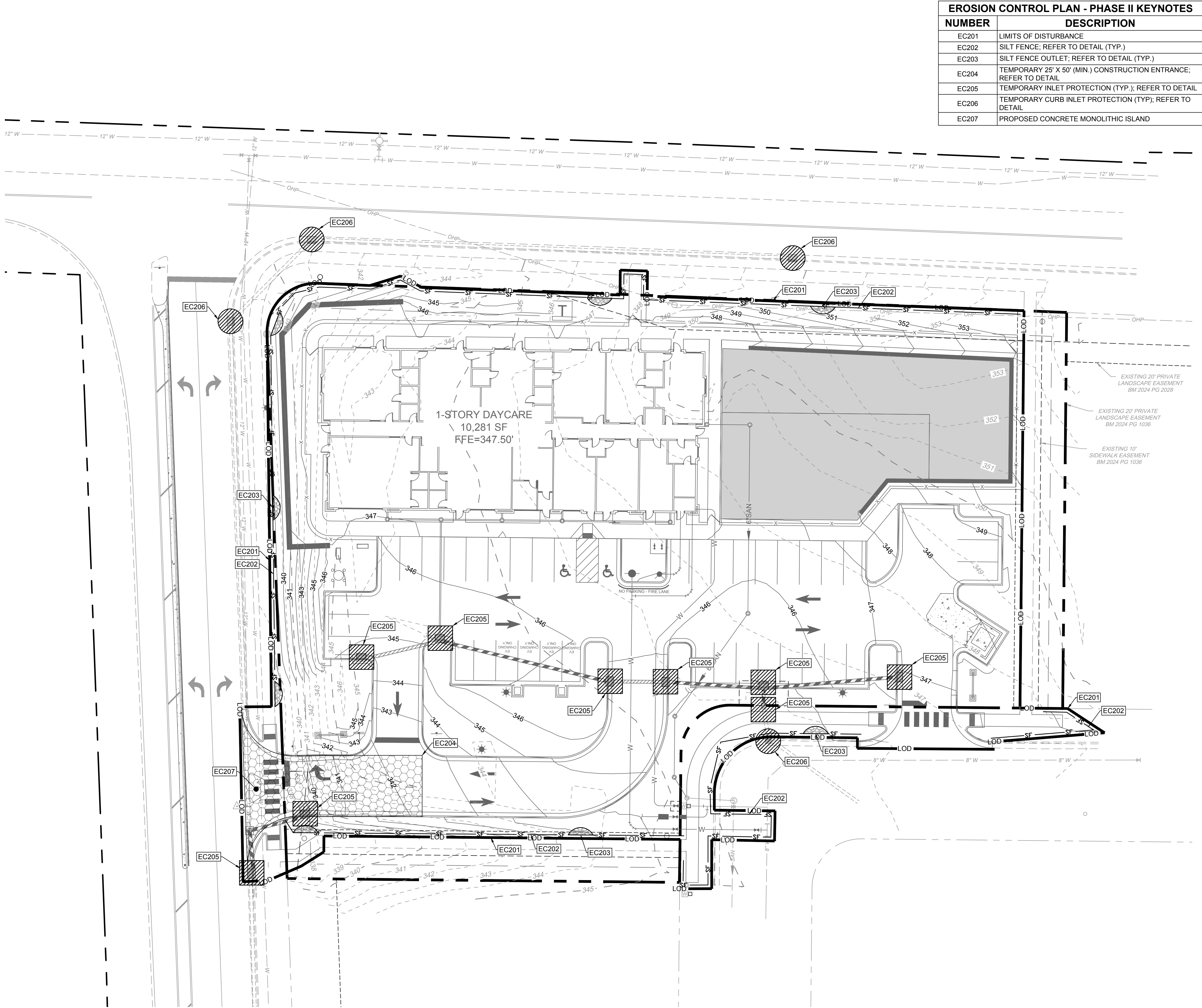
EROSION CONTROL PHASE I

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70434

SHEET NO.
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EROSION CONTROL PLAN - PHASE II KEYNOTES	
NUMBER	DESCRIPTION
EC201	LIMITS OF DISTURBANCE
EC202	SILT FENCE; REFER TO DETAIL (TYP.)
EC203	SILT FENCE OUTLET; REFER TO DETAIL (TYP.)
EC204	TEMPORARY 25' X 50' (MIN.) CONSTRUCTION ENTRANCE; REFER TO DETAIL
EC205	TEMPORARY INLET PROTECTION (TYP.); REFER TO DETAIL
EC206	TEMPORARY CURB INLET PROTECTION (TYP); REFER TO DETAIL
EC207	PROPOSED CONCRETE MONOLITHIC ISLAND

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

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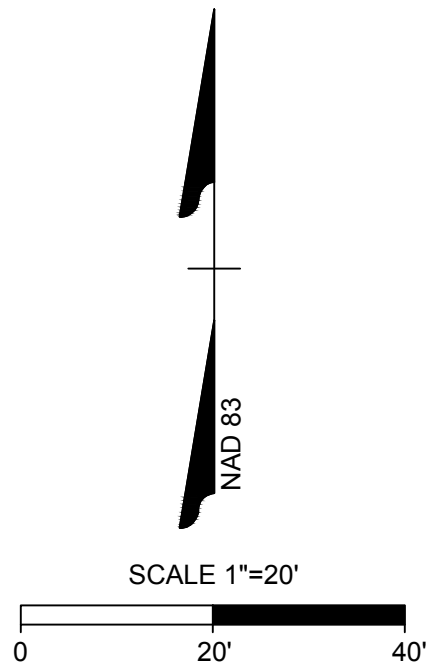
NOTES:

- MAINTAIN SILT FENCE AROUND THE ENTIRE PROJECT PERIMETER AREA WITH SILT FENCE OUTLETS AT THE LOW POINTS IN THIS PHASE.
- THE NPDES CONSTRUCTION PERMIT REQUIRES EROSION CONTROL DEVICES AND STORM WATER OUTFALLS BE INSPECTED WEEKLY (EVERY 7 CALENDAR DAYS) AND WITHIN 24 HRS OF A .5 INCH RAIN EVENT. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT THESE INSPECTIONS AND MAINTAIN RECORDS UNTIL THE AREA HAS STABILIZED, EVIDENT BY 95% VEGETATIVE GROWTH FOR AREAS PROVIDED SEEDING. TO FACILITATE RAINFALL MONITORING A RAIN GAUGE IS REQUIRED TO BE ON SITE. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING "SELF INSPECTIONS" INDICATING THE DATE BMPs ARE INSTALLED AND STABILIZATION MEASURES (SEEDING/MULCHING OR SOD) ARE INITIATED. THE "SELF INSPECTION" REPORTS WILL BE MAINTAINED ALONG WITH THE "NPDES" INSPECTION REPORTS. ONCE STABILIZATION HAS BEEN ACCOMPLISHED INSPECTION RECORDS ARE TO BE FORWARDED TO EAD AND ALL TEMPORARY EROSION/SEDIMENTATION CONTROL DEVICES REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL PERMITS AND PLANS. ANY CHANGES WILL BE APPROVED BY THE STATE PRIOR TO EXECUTION. A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN, LETTER OF APPROVAL, AND NPDES CONSTRUCTION PERMIT WILL BE MAINTAINED BY THE CONTRACTOR AT THE ONSITE OFFICE. IF SOIL IS REMOVED FROM OR BROUGHT ONSITE, THE APPLICABLE SOLID WASTE MANAGEMENT PERMIT NUMBER, EROSION SEDIMENTATION PERMIT NUMBER OR MINE PERMIT NUMBER WILL BE DISCLOSED.

EROSION CONTROL LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	LIMITS OF DISTURBANCE
	STOCKPILE AREA
	SILT FENCE
	SILT FENCE STONE OUTLET
	CONSTRUCTION ENTRANCE
	TEMPORARY INLET PROTECTION
	TEMPORARY CURB INLET PROTECTION
	CONCRETE WASHOUT

EROSION CONTROL LEGEND

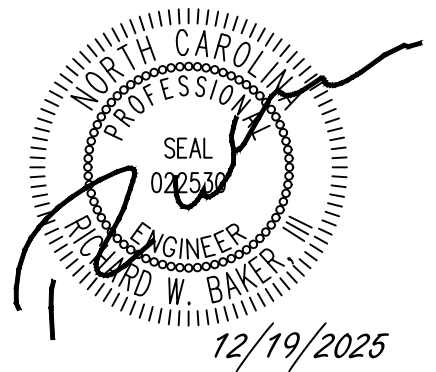
	EXISTING CONTOURS
	PROPOSED CONTOURS
	LIMITS OF DISTURBANCE
	STOCKPILE AREA
	SILT FENCE
	SILT FENCE STONE OUTLET
	CONSTRUCTION ENTRANCE
	TEMPORARY INLET PROTECTION
	TEMPORARY CURB INLET PROTECTION
	CONCRETE WASHOUT



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.	
By: _____	Date: _____
Town Engineer	
These plans are approved by the Town of Knightdale and serve as construction plans for this project.	
By: _____	Date: _____
Land Use Administrator	



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5410 Trinity Road, Suite 102 | Raleigh, NC 27607
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REVISION DESCRIPTION	TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #
DATE	12/19/2025
DRAWN BY	332
DESIGNED BY	332
CHECKED BY	M. DAVIDSON
SCALE	AS SHOWN

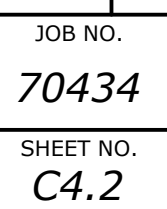
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
EROSION CONTROL PHASE II

JOB NO.
70434

SHEET NO.
C4.1

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TOWN OF KNIGHTDALE PERMITTING AND ENVIRONMENTAL REGULATION NOTES:

1. ESC PERMITTING AND INSPECTIONS:
 - a. ONCE THE EROSION AND SEDIMENT CONTROL (ESC) PLAN HAS BEEN REVIEWED AND ACCEPTED BY THE TOWN OF KNIGHTDALE (TOK), A FORMAL PLAN APPROVAL LETTER WILL BE ISSUED TO THE FRP AND APPLICANTS. NOTE: AN ESC APPROVAL LETTER DOES NOT INDICATE PERMIT ISSUANCE.
 - b. AN NCG01 CERTIFICATE OF COVERAGE MUST BE OBTAINED FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCEQ). THE MAINTENANCE PERMIT CAN BE OBTAINED BY FILLING OUT THE ELECTRONIC NOTICE OF INTENT (E-NOI) FORM AT DEQ.NC.GOV/NCG01. PLEASE NOTE, THE E-NOI FORM MAY ONLY BE COMPLETED ONCE ESC PLANS HAVE BEEN APPROVED (A).
 - c. THE TOWN OF KNIGHTDALE STORMWATER DEPARTMENT REQUIRES AN ON-SITE PRECONSTRUCTION (PRECON) MEETING PRIOR TO ISSUING A DEVELOPMENT PERMIT. THIS MEETING IS AN OPPORTUNITY TO GO OVER SITE MANAGEMENT EXPECTATIONS AND DISCUSS ANY PROJECT CONCERNS.
 - d. ONCE THE PRECON MEETING HAS BEEN HELD AND ALL FEES PAID, THE LAND DEVELOPMENT PERMIT (LDP) WILL BE ISSUED FOR THE PROJECT.
 - e. FOLLOWING SITE MOBILIZATION, ROUTINE "CONSTRUCTION SITE INSPECTIONS" BY TOK STAFF WILL OCCUR AS OUTLINED IN THE TOK EROSION AND SEDIMENT CONTROL ENFORCEMENT TREE. TO NOTE, "COMPLIANT/SATISFACTORY" INSPECTIONS WILL NEED TO OCCUR FOLLOWING:
 - i. INSTALLATION OF INITIAL ESC PERIMETER CONTROLS (SF, SF/TP, SFOS) ONLY CLEARING THE PERIMETER RIBBON (25' MAX) - "PERIMETER CONTROL INSPECTION".
 - ii. INSTALLATION OF ALL PHASE 1 ESC MEASURES INCLUDING ENGINEERED STRUCTURES - "CERTIFICATE OF COMPLIANCE INSPECTION".

IT IS THE RESPONSIBILITY OF THE SITE MANAGER TO FORMALLY REQUEST THESE TYPES OF INSPECTIONS BY CONTACTING TOK PUBLIC WORKS. CLEARING/GRUBBING OUTSIDE OF THE LIMITED AREAS REQUIRED TO COMPLETE THE ABOVE ITEMS WILL RESULT IN ENFORCEMENT ACTION BY THE TOK.

- f. FOLLOWING THE COMPLETION OF THE ITEMS ABOVE - THE SITE CAN BE CLEARED AND DEVELOPED IN ACCORDANCE WITH THE APPROVED PLAN.
2. PERMITS BOX CONTENTS - A COPY OF THE TOK LAND DEVELOPMENT PERMIT, THE NCG01 CERTIFICATE OF COVERAGE (COC) AND REGULAR NPDES INSPECTIONS, A COPY OF THE APPROVED/REVISED ESC PLAN, AND (WHEN OBTAINED) THE TOK CERTIFICATE OF COMPLIANCE - MUST BE KEPT ON SITE, PREFERABLY IN A PERMITS BOX, AND ACCESSIBLE DURING INSPECTION. LOCATE A RAIN GAUGE ON SITE FOR FACILITATION OF INSPECTIONS AND RECORD KEEPING.
3. 401/404 PERMITS - APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT AUTHORIZE IMPACTS TO WETLANDS, COASTAL MARSH, STREAMS, OR OTHER WATERS OF THE STATE OR UNITED STATES OR SUPERSEDE ANY OTHER PERMITTING REQUIREMENT OF ANY FEDERAL, STATE OR LOCAL AGENCY.
- a. IF APPLICABLE, PROVIDE A COPY OF THE USACE 404 PERMIT AND DWR 401 CERTIFICATIONS. PROVIDE A COPY OF THE DWR BUFFER AUTHORIZATION.
 - i. SUBMIT DOCUMENTATION WITH MAPS SHOWING LOCATION AND EXTENT OF IMPACTS TO STREAMS AND WETLANDS WITH ANY SPECIAL CONDITIONS PERTAINING TO EROSION AND SEDIMENT CONTROL AND RESTORATION OF AFFECTED AREAS.
 - ii. IDENTIFY THE STREAMS, WETLANDS, AND BUFFERS ON THE PLAN SHEETS. INCLUDE ANY ADDITIONAL MEASURES, CONSTRUCTION SPECIFICATIONS, MAINTENANCE REQUIREMENTS AND CONSTRUCTION SEQUENCING AS REQUIRED BY THE 404/401/BUFFER DETERMINATION AND BUFFER AUTHORIZATION ON THE PLAN SHEETS.
 - iii. FOLLOW ALL CONDITIONS OUTLINED IN THE CERTIFICATIONS, SPECIFICALLY REPORTING ANY DISCHARGES OUTSIDE OF THE PERMITTED SCOPE OF WORK.
4. AREAS OF ENVIRONMENTAL CONCERN AND CULTURAL RESOURCES - BEFORE ANY SITE WORK OCCURS, ADEQUATELY IDENTIFY KEY ENVIRONMENTAL AND/OR CULTURAL RESOURCES BY USING APPROPRIATE IDENTIFIERS IN THE FIELD (TREE PROTECTION FENCING, FLAGGING, ETC.).
5. FILL/BORROW - ANY OFF-SITE BORROW AND/OR FILL REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE NC DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE NC DIVISION OF SOLID WASTE MANAGEMENT, OR PER NC DIVISION OF SOLID WASTE MANAGEMENT OR NC DIVISION OF WATER RESOURCES RULES AND REGULATIONS.

TOWN OF KNIGHTDALE REQUIRED ESC PLAN MAINTENANCE NOTES:

1. PROVIDE A PLAN DETAIL, CONSTRUCTION SPECIFICATIONS, AND SPECIFIC MAINTENANCE REQUIREMENTS FOR ALL PROPOSED SEDIMENT AND EROSION CONTROL STRUCTURES INCLUDED ON THE PLAN. RECOMMEND PLACING MAINTENANCE REQUIREMENTS WITH THE ASSOCIATED CONSTRUCTION DETAIL.
2. MAINTENANCE AND/OR CLEAN OUT, IS NECESSARY ANYTIME THE DEVICE IS AT 50% CAPACITY. ALL SEDIMENT STORAGE MEASURES WILL REMAIN ON SITE AND FUNCTIONAL UNTIL ALL GRADING AND FINAL LANDSCAPING OF THE PROJECT IS COMPLETE.
3. AS DESIGNATED BY NCEQ NCG01 PERMITTING, SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF 1 INCH OR GREATER. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED.
4. PROVIDE THE MINIMUM MAINTENANCE STANDARDS AS SPECIFIED BELOW:

SURVEYOR FLAGS/TAPE/STAKES:

- REPLACE IDENTIFIERS IF DAMAGED OR KNOCKED DOWN DURING DEVELOPMENT.
- ENSURE KEY ENVIRONMENTAL AND/OR CULTURAL RESOURCES MAINTAIN IDENTIFIERS.
- COLORS SHOULD ADHERE TO THE APWA UNIFORM COLOR CODE. USE ACCEPTED SURVEY SYMBOLS AND ENSURE OPERATORS UNDERSTAND DESIGNATIONS. UTILITY LINE OWNERS/OPERATORS SHALL IDENTIFY THE DESIGNATING FIRM. PERMITS/NCG01 INSPECTIONS BOX:
- CONFIRM BOX IS SECURELY FASHIONS TO A POST OR WALL IN A VISIBLE LOCATION IN PROXIMITY TO THE CONSTRUCTION ENTRANCE.
- MAINTAIN RELEVANT IDENTIFICATION ON THE EXTERIOR OF THE BOX.
- ENSURE PAPER DOCUMENTS REMAIN DRY /LEGIBLE (LAMINATION, TICKET HOLDERS, BINDERS, ETC.)
- REPLACE ANY MISSING DOCUMENTS IMMEDIATELY. CONSIDER PLACING TIES OR FASTENERS IF NECESSARY.

RAIN GAUGE:

- CHECK AND REMOVE ANY ITEMS FROM THE RAIN FUNNEL AND THE DEBRIS FILTER (e.g.,..... DUST, BUGS AND OTHER DEBRIS).
- OPEN THE RAIN GAUGE AND REMOVE ANY FOREIGN OBJECTS.
- PERFORM ROUTINE MAINTENANCE AS SPECIFIED BY THE MANUFACTURER.
- CHECK THAT THE GAUGE IS NOT BEING OBSTRUCTED FROM RAIN CAPTURE AND IS LEVEL BEFORE AND AFTER REASSEMBLY.

SILT FENCE:

- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUTS.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE OUTLET:

- FREQUENTLY CHECK WHEN SEDIMENT ACCUMULATION EXCEEDS 6 INCHES.
- KEEP MESH FREE OF DEBRIS TO PROVIDE ADEQUATE FLOW AND REPLACE STONE AS NEEDED TO FACILITATE DE-WATERING.

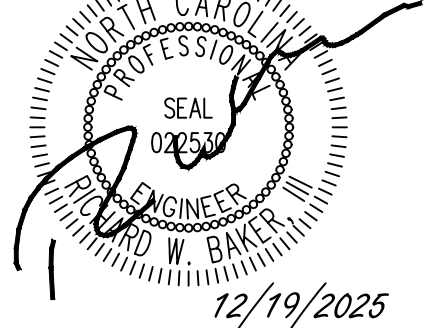
CONSTRUCTION ENTRANCE:

- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE.
- IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.
- INLET PROTECTIONS (PIPE / YARD / DROP / CURB)
- INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT.
- KEEP FREE OF DEBRIS TO PROVIDE ADEQUATE FLOW AND IF PRESENT REPLACE STONE AS NEEDED TO FACILITATE DE-WATERING.

REQUIRED TOWN OF KNIGHTDALE CONSTRUCTION SEQUENCE:

1. SCHEDULE AN INITIAL PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF KNIGHTDALE. OBTAIN A LAND-DISTURBANCE PERMIT.
2. OWNER/DEVELOPER/CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED EROSION CONTROL PLAN AND MAINTAIN A COPY OF THE PLAN ON SITE THROUGHOUT DURATION OF CONSTRUCTION.
3. INSTALL ALL PERIMETER CONTROLS AS SHOWN ON THE APPROVED PLANS. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. CLEARING SHOULD BE LIMITED TO A MAXIMUM 35' "RIBBON" AROUND PERIMETER TO INSTALL CONTROLS. NO GRADING OR EXCAVATION SHOULD OCCUR.
4. SCHEDULE AN ONSITE PRE-CONSTRUCTION MEETING WITH THE TOWN OF KNIGHTDALE TO INSPECT THE INSTALLED PERIMETER CONTROLS.
5. IF APPROVED, PROCEED WITH INSTALLING GRAVEL CONSTRUCTION PAD (ENSURE CONSTRUCTION TRAFFIC IS LIMITED TO THE CONSTRUCTION ENTRANCE ONLY). SILT FENCE, SEDIMENT OR OTHER MEASURES AS SHOWN ON THE APPROVED PLANS. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- 5.1. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER. SILT FENCE, INLET PROTECTION, AND OTHER SIMILAR MEASURES MUST BE CLEANED OUT BEFORE THEY ARE HALF FULL. CLOGGED STONE FILTERS MUST BE REFRESHED/REPLACED. SILT FENCE CAN NOT HAVE HOLES OR TEARS.
6. CALL TOWN OF KNIGHTDALE EROSION CONTROL INSPECTOR TO SCHEDULE AN ONSITE INSPECTION AND OBTAIN A CERTIFICATE OF COMPLIANCE.
7. INSPECT ALL EROSION CONTROL DEVICES AFTER EVERY RAINFALL EVENT AND AT LEAST ONCE PER WEEK. REPAIR AND CLEAN OUT AS REQUIRED.
8. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN IN THE APPROVED PLAN. BEING CONSTRUCTION, BUILDING, ETC. PIPE INLET PROTECTION SHALL BE UTILIZED AT THE END OF EACH WORK DAY TO ASSURE PIPE NETWORK IS NOT INUNDATED WITH SEDIMENT.
9. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
10. INSTALL SITE IMPROVEMENTS, STORMWATER DRAINAGE SYSTEM, UTILITY SERVICES, SIDEWALKS AND DRIVES AS SHOWN ON THE APPROVED PLANS. ALL OPEN TRENCHES FOR UTILITY AND STORMWATER INSTALLATION SHALL BE PROTECTED FROM SEDIMENTATION BY PILING EXCAVATED MATERIAL ON THE UPHILL SIDE OF EXCAVATION.
11. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL EROSION CONTROL INSPECTOR FOR AN INSPECTION.
12. IF SITE IS APPROVED, REMOVE SILT FENCE, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS.
13. WHEN VEGETATION HAS BECOME ESTABLISHED (90% GERMINATION), CALL FOR A FINAL INSPECTION BE THE EROSION CONTROL INSPECTOR. OBTAIN A CERTIFICATE OF COMPLETION.
14. GROUND COVER SHALL BE PROVIDED AS FOLLOWS:
 - FOR ALL AREAS OF MODERATE AND/OR STEEP SLOPES, PROVIDE TEMPORARY GROUND COVER IF THE SLOPE HAS NOT BEEN DISTURBED FOR A PERIOD OF FOURTEEN (14) DAYS. SLOPES GREATER THAN 3:1 REQUIRE GROUND COVER IN 7 DAYS.
 - PROVIDE GROUND COVER SUFFICIENT TO RESTRAIN EROSION ON ANY PORTION OF THE SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN WITHIN FOURTEEN (14) CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBANCE ACTIVITY.
 - ESTABLISH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WITHIN FOURTEEN (14) CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT AND/OR PRIOR TO FINAL INSPECTION.

*MODIFIED FOR SITE SPECIFIC DETAILS



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REVISION DESCRIPTION
TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DATE	REVISION
12/19/2025	
DATE	----
DRAWN BY	332
DESIGNED BY	332
CHECKED BY	M. DAVIDSON
SCALE	AS SHOWN

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this plan sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">• Temporary grass seed covered with straw or other mulches and tackifiers• Hydroseeding• Rolled erosion control products with or without temporary grass seed• Appropriately applied straw or other mulch• Plastic sheeting	<ul style="list-style-type: none">• Permanent grass seed covered with straw or other mulches and tackifiers• Geotextile fabrics such as permanent soil reinforcement matting• Hydroseeding• Shrubs or other permanent plantings covered with mulch• Uniform and evenly distributed ground cover sufficient to restrain erosion• Structural methods such as concrete, asphalt or retaining walls• Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

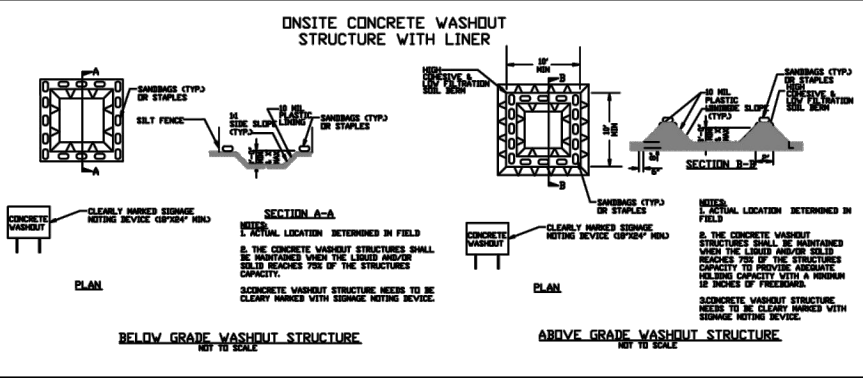
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHERN STRUCTURE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day in which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (are this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". This permittee may use another rain-measuring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCO)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indication of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Evidence of sedimentation in/around site limits, then a record of the following shall be made: a. Actions taken to clean up or stabilize the sediment that has left the site limits. b. Description, evidence, and date of corrective actions taken, and c. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required report to the appropriate Division, Regional Office per Part II, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land clearing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or to assure that they will be provided as soon as possible.

NOTE: The rain inspection resists the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items, and
The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- (b) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and installed dewatering tanks, wet tanks, and filtration systems.
- (c) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- (d) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.
- (e) Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING



EFFECTIVE: 04/01/19

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

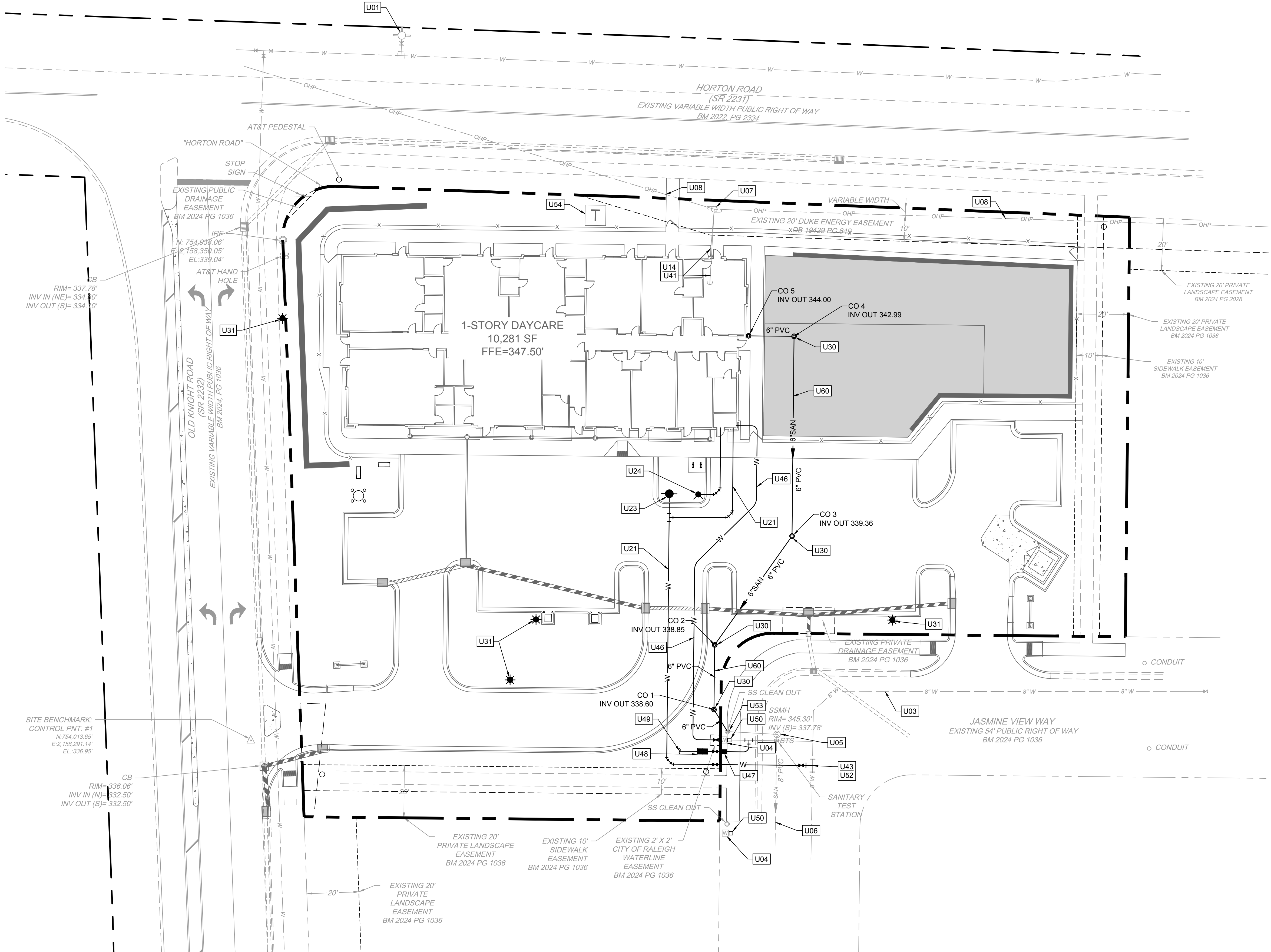
By: _____ Date: _____
Town Engineer

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By: _____ Date: _____
Land Use Administrator

JOB NO.
70434
SHEET NO.
C.4.3

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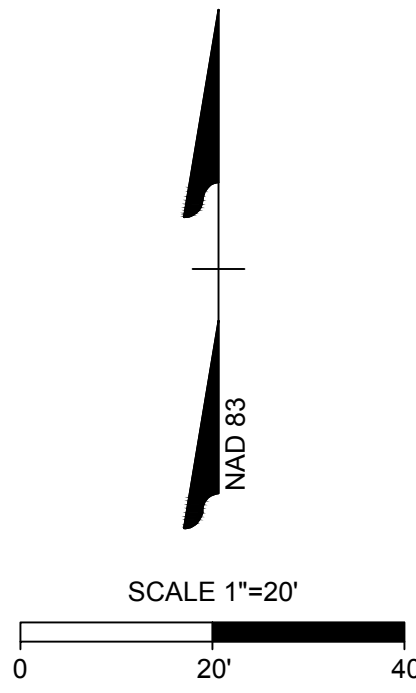
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UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	EXISTING FIRE HYDRANT
U03	EXISTING 8" WATERLINE
U04	EXISTING WATER METER (TYP.)
U05	EXISTING SANITARY SEWER MANHOLE (TYP.)
U06	EXISTING 8" PVC SANITARY SEWER MAIN (TYP.)
U07	EXISTING POWER POLE (TYP.)
U08	EXISTING OVERHEAD POWER LINE (TYP.)
U14	EXISTING GUY WIRE TO BE RELOCATED BY DUKE ENERGY
U21	6" DIP WATER LINE
U23	FIRE HYDRANT ASSEMBLY (TYP.)
U24	5" STORZ FIRE DEPARTMENT CONNECTION (TYP.)
U30	CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL.
U31	LIGHT POLE BASE. REFER TO LIGHTING, ELECTRICAL, AND STRUCTURAL PLANS BY OTHERS (TYP.).
U41	COORDINATE WITH DUKE ENERGY TO RESET EXISTING GUY WIRE TO MATCH FINISHED GRADE.
U43	TAP EXISTING 8" WATER MAIN WITH 8"x6" TEE.
U46	2" TYPE "K" SOFT COPPER DOMESTIC WATER SERVICE (TYP.)
U47	1" IRRIGATION METER
U48	1" RPZ IRRIGATION BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (1" WATTS LF009M2QT OR AS APPROVED BY THE CITY OF RALEIGH); REFER TO DETAIL W-36
U49	1" TYPE K COPPER WATER IRRIGATION LINE; COORDINATE IRRIGATION DESIGN
U50	EXISTING CURB STOP
U51	ADJUST EXISTING APPURTENANCE TO MATCH FINISHED GRADE.
U52	COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
U53	CONNECT TO EXISTING SANITARY SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, CONDITION, AND INVERT PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL HAVE EXISTING LINE JETTED AND A CAMERA RUN THROUGH IT TO VERIFY PRIOR TO ANY CONSTRUCTION.
U54	ELECTRIC TRANSFORMER PAD LOCATION. COORDINATE WITH LOCAL PROVIDER. LOCAL PROVIDER CAN SUPERSEDE THE PROPOSED TRANSFORMER PAD LOCATION. PROVIDE TWO 6" CONDUITS BETWEEN POINT OF CONNECTION AND TRANSFORMER. 24" MINIMUM BURY DEPTH WITH 18" OF VERTICAL SEPARATION AT WATER AND SEWER CROSSINGS.
U60	6" PVC SANITARY SEWER SERVICE (TYP.)

UTILITY NOTES

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES. ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL ILLUSTRATED UTILITY INFRASTRUCTURE IS DIAGRAMMATIC AND MAY NOT REPRESENT THE ACTUAL SIZE OF INFRASTRUCTURE. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- ALL 6" SANITARY SEWER SERVICES CONNECTIONS SHALL BE MADE INTO MANHOLES ONLY.
- UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
- ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY MCKIM & CREED (07/25/2023).
- ALL OVERHEAD UTILITY LINES SHALL BE ADJUSTED TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

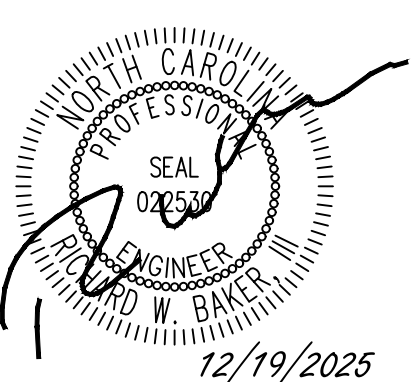
By: _____ Date: _____

Town Engineer

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By: _____ Date: _____

Land Use Administrator



12/19/2025

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RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

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REVISION DESCRIPTION
TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DATE
12/19/2025

DATE
07/07/2025

DRAWN BY
332

DESIGNED BY
332

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

UTILITY PLAN

JOB NO.
70434

SHEET NO.
C5.0

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WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

PRE-CONSTRUCTION

- PRIOR TO CONSTRUCTION LOCATE ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. LOCATING UNDISBURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. PROTECT ALL UTILITIES. REPAIR ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF CONSTRUCTION.
- CONTRACTOR ENGAGED IN LANDSCAPE INSTALLATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON PLANS PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND MUST BE VERIFIED.
- PLANT MATERIAL SUBSTITUTIONS CAN ONLY OCCUR WITH PRIOR WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- PRIOR TO COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE-CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS TO REMAIN.
- ALL PLANT MATERIALS ARE SUBJECT TO LANDSCAPE ARCHITECT APPROVAL BEFORE, DURING, AND AFTER INSTALLATION.
 - IF ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE.
- ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.

- CONTRACTOR IS ENCOURAGED TO COMPLETE TOPSOIL GRADING. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION AS ARE REQUIRED FOR PART OF SWPPP PLAN.
- CONTRACTOR SHALL TAKE 3 REPRESENTATIVE SOIL SAMPLES OF EACH PROPOSED PLANT BED AND SUBMIT CONTAINERS. THE RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- STUMPS LABELED FOR REMOVAL SHALL BE REMOVED, NOT GRINDED, REMOVE ALL DEBRIS FROM THE HOLE. FILL WITH TOP SOIL, COMPACT, AND RAKE SMOOTH PRIOR TO INSTALLING NEW PLANT MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ALL PLANT BEDS AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/CELVES AND PARKING AREAS ACCORDING TO PLANS SO MATERIAL WILL NOT INTERFERE WITH SIGHT DISTANCES.
- THE SIZE OF THE SHAFT AREA OF EACH TYPE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- ALL TREES MUST BE GUYYED OR STAKED AS DETAILED.
- AREAS DAMAGED FROM PLANT RELOCATION OR OTHER ACTIVITIES OF LANDSCAPE CONTRACTOR TO BE RESEED/ED AND ESTABLISHED AT THE DISCRETION OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE. IT MAY BE NECESSARY TO TRUCK IN NON-CITY WATER TO MEET PLANT NEEDS.
- USE HERBICIDES, PESTICIDES, AND FERTILIZER IN A MANNER CONSISTENT WITH THE FEDERAL, STATE, AND LOCAL REGULATIONS AND ALL APPLICABLE ACTS AND ORDINANCES WITH LABEL RESTRICTIONS.
- ALL LAWN AREAS TO BE SEEDDED SHALL USE A LOCALLY GROWN COMMERCIAL MIX MEETING LATEST STATE OF NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.
- SEEDING AND STRAW NOTIONS FOR LAWN AREAS:
 - o RIP THE ENTIRE AREA TO DEPTH OF NOT LESS THAN 6"
 - o REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE SMOOTH AND UNIFORM. DISPOSE OF WASTE MATERIAL OFF-SITE.
 - o CHISEL COMPACTED AREAS AND SPREAD TOPSOIL TO SPECIFIED DEPTH.
 - o APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPER PHOSPHATE UNIFORMLY AND MIX WITH SOIL. APPLY SOIL AMENDMENTS PER REQUIRED SOIL ANALYSIS.
 - o CONTINUE TILLAGE UNTIL A FINE, PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED.
 - o SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULPICKAPE AFTER SEEDING.
 - o MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEED AREAS AND IF POSSIBLE, MAKE NECESSARY REPAIRS OR RESEEDINGS FOLLOWING THE PLANTING SEASON. IF GRANDSTAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, AND SEEDING RATES.
- ANCHOR TACK WITH LIQUID ASPHALT AT 400 GAL/ACRE OR EMULSIFIED ASPHALT AT 300 GAL/ACRE.
- BIOGRADABLE WEED MATTING (ALL-PRO WEED MAT OR APPROVED EQUAL) SHALL BE REQUIRED IN SHRUB BEDS ADJACENT TO DRIVEWAYS.
- PLANTING BEDS TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF MATERIAL FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER. REFER TO LANDSCAPE SCHEME FOR MATERIAL SPECIFICATIONS.
- MULCH ALL PLANT BEDS AND TREE RINGS WITH FRESH, CLEAN MATERIAL PER SPECIFICATIONS. ALL MULCH EDGES SHALL BE NEATLY TUCKED. ALL STRING AND/OR BAILING WIRE SHALL BE REMOVED. STUCK SHRUBS AND GROUND COVER AFTER MULCHING TO REMOVE LOOSE MATERIAL FROM PLANTS. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK. KEEP A MINIMUM OF 4" AWAY FROM TREE TRUNK OR BASE OF PLANT.
- CHISEL AND RAKE TO REMOVE ANY MULCH NOT NEEDED. ESPECIALLY AFTER HEAVY RAIN EVENTS. IF NO-MOW MIX GERMINATES AT A RATE OF LESS THAN 90%, THEN REMOVE OTHER SPECIES AND RESEED.

- CONTRACTOR TO PROVIDE AND MAINTAIN TEMPORARY IRRIGATION FOR SOD WITHIN THE STORMWATER CONTROL MEASURE UNTIL SOD BECOMES ESTABLISHED.

- INSTALLATION CONTRACTOR SHALL VERIFY COMPLETENESS INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY LANDSCAPE ARCHITECT.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. WARRANTY PERIOD SHALL BEGIN UPON CERTIFICATE OF OCCUPANCY OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER COMES FIRST.

- PUBLIC GATHERING AREA IDENTIFIED ON THIS PLAN SHALL CONTAIN TWO (2) BENCHES, ONE (1) TABLE WITH SEATING, PLANTING AREA WITH FLOWERING POLLINATOR PLANT SPECIES, AND ONE (1) SHADE TREE. ADDITIONAL DETAILS WILL BE PROVIDED ON CONSTRUCTION PLANS.

12-18-24
Date: _____
Applicant: [Signature]
I (office) authorized to take acknowledgment hereby certify that Blake Bates
personally appeared before me this day and acknowledged the due execution of this certificate
Witness my hand and (where an official seal is required by law) official seal this 18 day of
December, A.D. 2024 (year).
[Signature]
Official Seal: _____
Notary: _____
06/14/2027
Commission Expires: _____
James Bryan Young
NOTARY
Comm. Exp. 06/14/2027

By: _____ Date: _____
Town Engineer

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By: _____ Date: _____
Land Use Administrator

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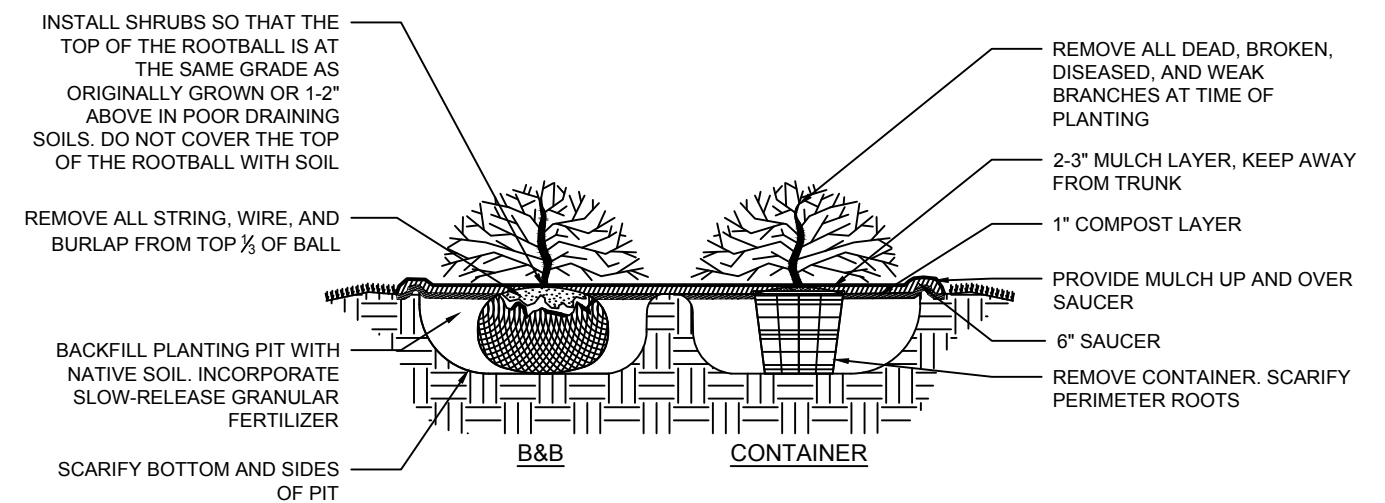
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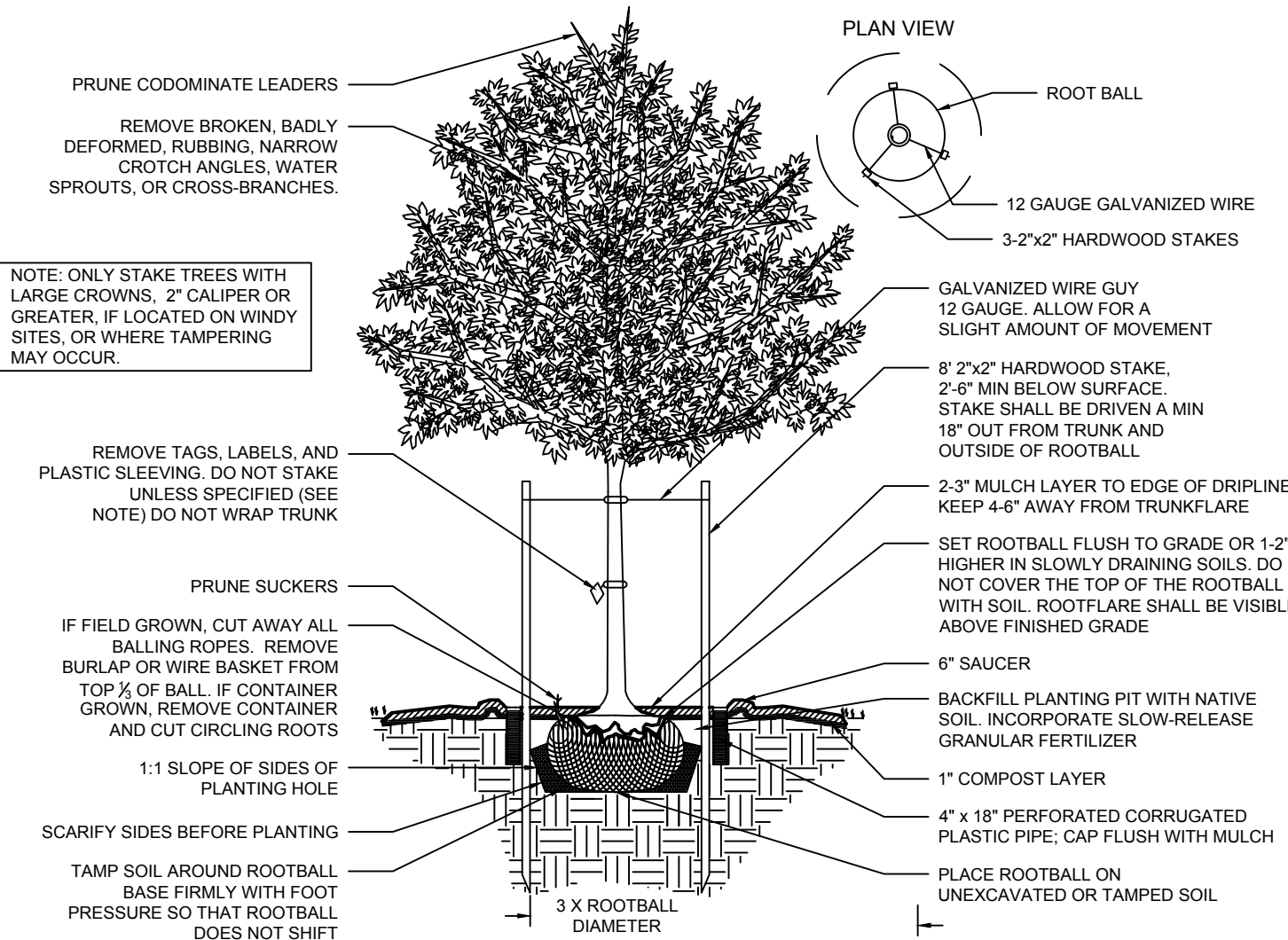
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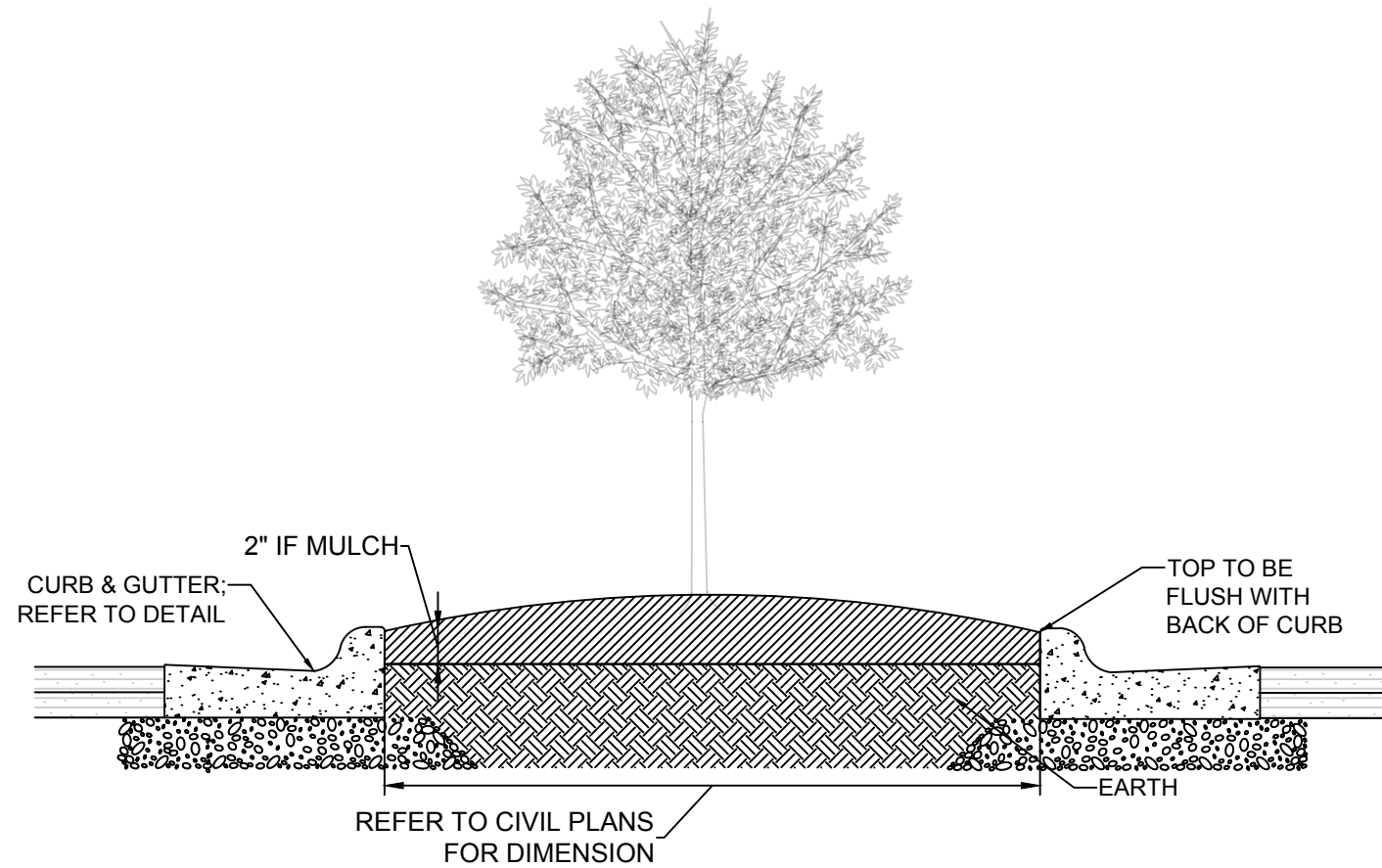
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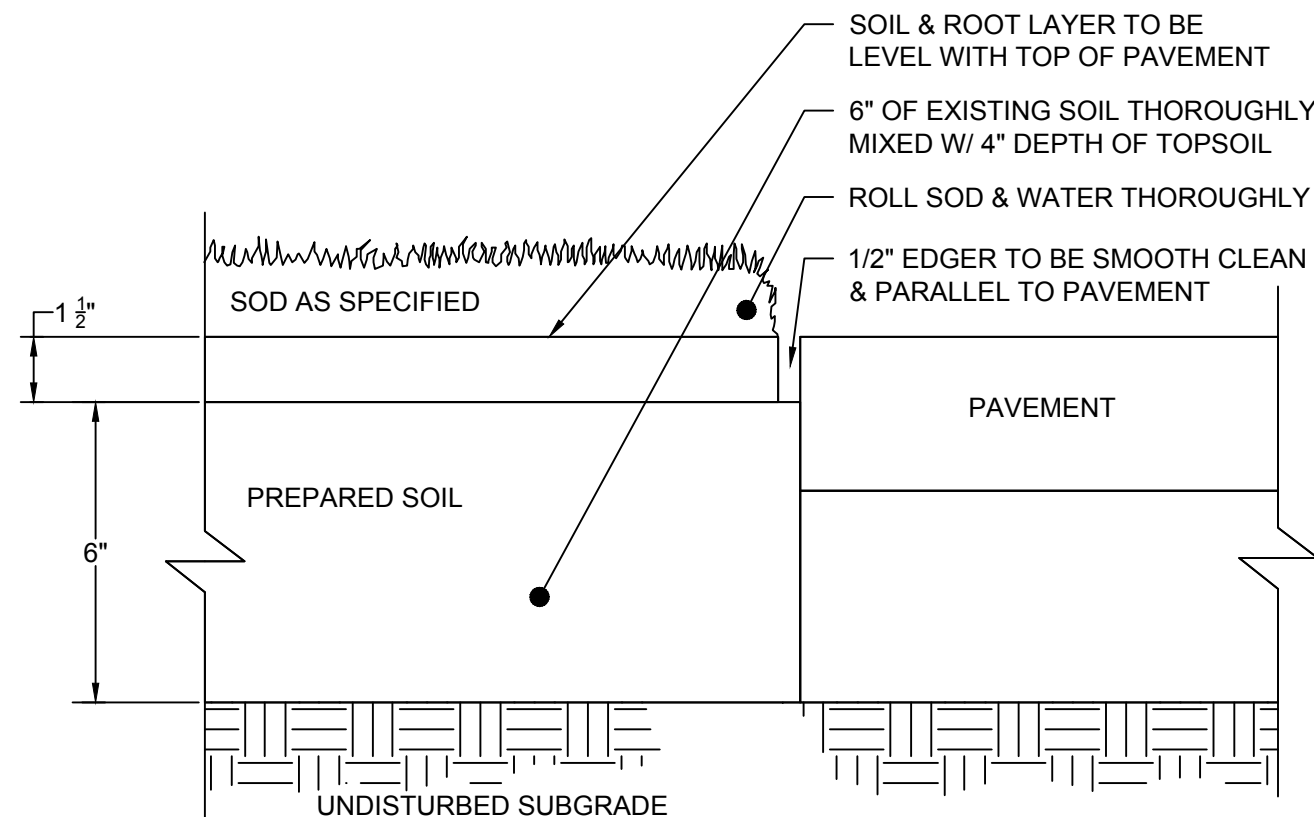
1 SHRUB DETAIL
NOT TO SCALE



2 DECIDUOUS TREE - STAKING SPECIFIED
NOT TO SCALE



6 LANDSCAPE ISLAND DETAIL
NOT TO SCALE



5 SOD DETAIL
NOT TO SCALE

TOWN OF KNIGHTDALE LANDSCAPE REQUIREMENTS

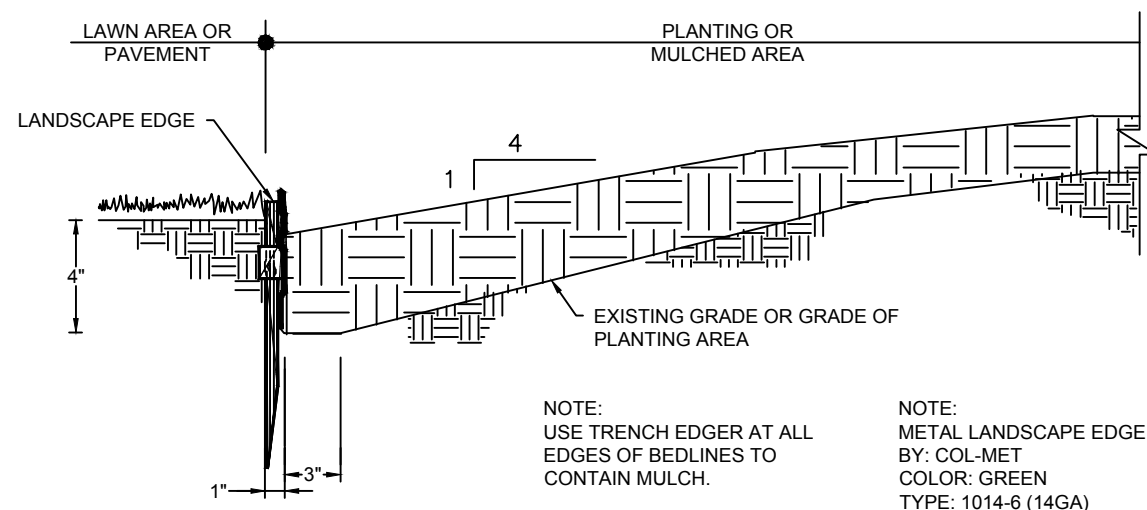
REQUIREMENT	CALCULATION	PROVIDED	SIZE (AT TIME OF PLANTING)
INTERIOR PARKING LOT LANDSCAPING:			
UDO 7.4.J: NO PARKING SPACE MORE THAN 60 LF FROM BASE OF CANOPY TREE	REFER TO PLAN - 60 FT RADIUS CIRCLES CENTERED ON TREES	10 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES
PARKING LOT SCREENING:			
U.D.O. 7.5.B PARKING LOTS: TYPE A BUFFER YARD SCREENING PARKING LOT FROM ROW. TYPE A BUFFER YARD REQUIREMENTS: 3 CANOPY TREES, 2 UNDERSTORY TREES & 20 SHRUBS PER 100 LF	667 LF OF TYPE A BUFFER YARD (667 / 100) X 3 CANOPY TREES = 20 TREES (667 / 100) X 2 UNDERSTORY TREES = 13.3 TREES (667 / 100) X 20 SHRUBS = 133.4 SHRUBS	22 CANOPY TREES 17 UNDERSTORY TREES 134 SHRUBS	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES 1.25" CALIPER AND 6 FT MIN. HEIGHT UNDERSTORY TREES 3 GALLON CONTAINER SIZE, 18" MIN. HEIGHT AND 12-15" MIN. SPREAD SHRUBS
STREET TREES:			
U.D.O. SEC. 7.4.L 1 CANOPY TREE PER 40 LF *UNDERSTORY TREES SUBSTITUTE CANOPY TREES WHERE OVERHEAD UTILITIES CONFLICT	OLD KNIGHT ROAD: 223 LF OF PROPERTY FRONTAGE (223 LF / 40 LF) = 5.6 TREES	6 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES
	HORTON ROAD: 306 LF OF PROPERTY FRONTAGE (306 LF / 40 LF) = 7.7 TREES	4 CANOPY TREES 8 UNDERSTORY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES 1.25" CALIPER AND 6 FT MIN. HEIGHT UNDERSTORY TREES

PLANT SCHEDULE

SYMBOL	TREE	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLATION SIZE	TREE LOCATIONS
	CANOPY	PROV'D				
	RO	10	QUERCUS LYRATA (NATIVE)	OVERCUP OAK	MIN. CALIPER SIZE OF 2", MIN HEIGHT OF 8'	PARKING LOT
	RM	30	QUERCUS SHUMARDII (NATIVE)	SHUMARD OAK	MIN. CALIPER SIZE OF 2", MIN HEIGHT OF 8'	BUFFERS
	UNDERSTORY					
	FD	36	CORNUS FLORIDA (NATIVE)	FLOWERING DOGWOOD	MIN. CALIPER SIZE OF 1.25", MIN HEIGHT OF 6'	BUFFERS
	SHRUBS					
	LP	192	LOROPETALUM CHINENSE (NATIVE)	LOROPETALUM	MIN. 3 GALLON CONTAINER SIZE, MIN. HEIGHT OF 18" AND MIN. SPREAD OF 12-15"	
	GA	83	ABELIA X GRANDIFLORA (NATIVE)	GLOSSY ABELIA	MIN. 3 GALLON CONTAINER SIZE, MIN. HEIGHT OF 18" AND MIN. SPREAD OF 12-15"	

GROUND COVER

	CYNODON DACTYLON	BERMUDA GRASS	SOD
		RED BARK MULCH	

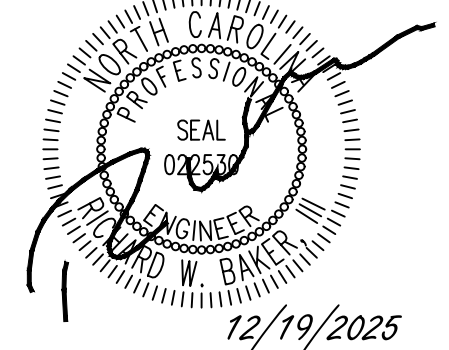


4 TRENCH EDGER DETAIL
NOT TO SCALE

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REVISION DESCRIPTION
TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DATE
12/19/2025

DATE

DRAWN BY
332

DESIGNED BY
332

CHECKED BY
M. DAVIDSON

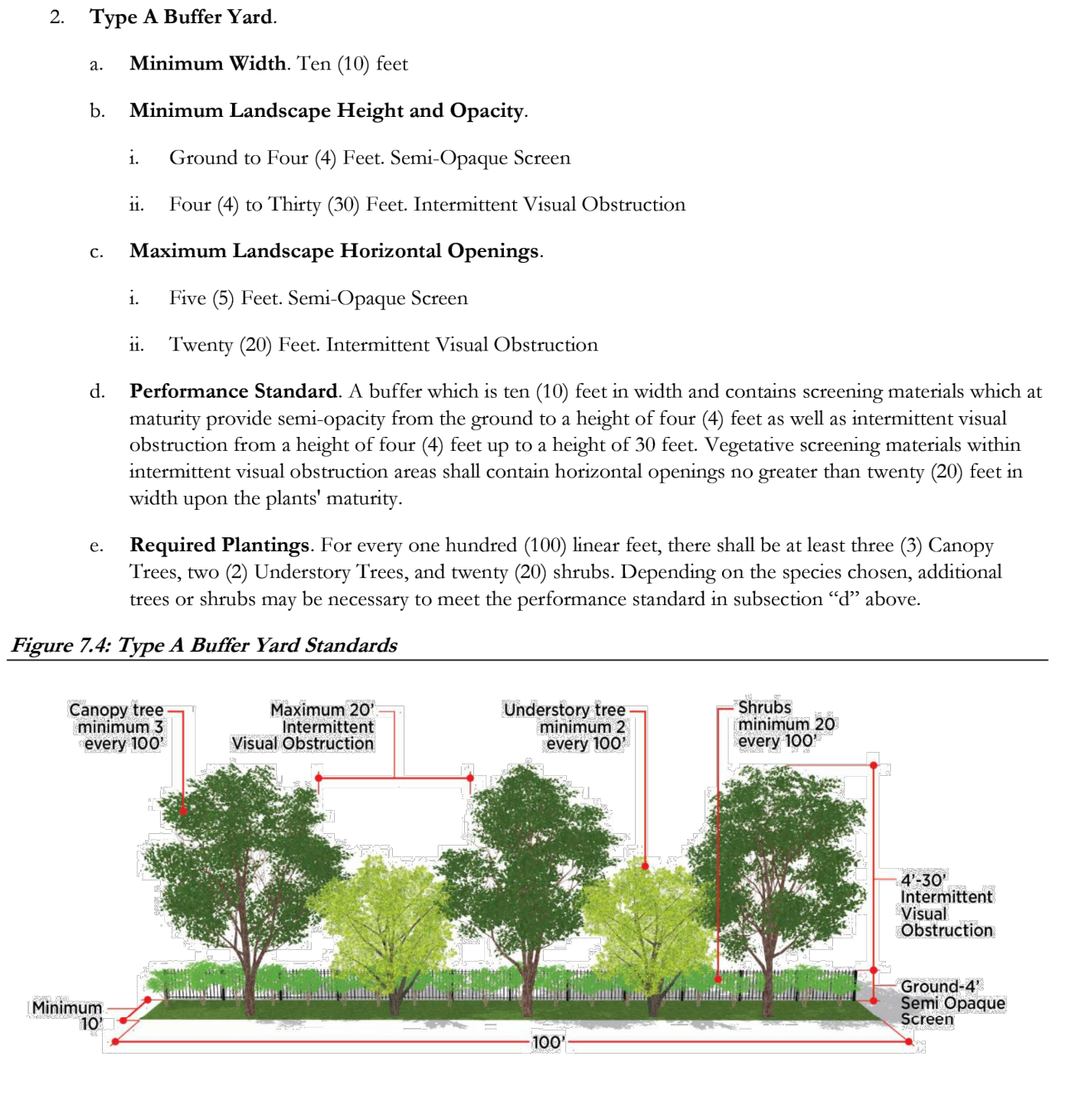
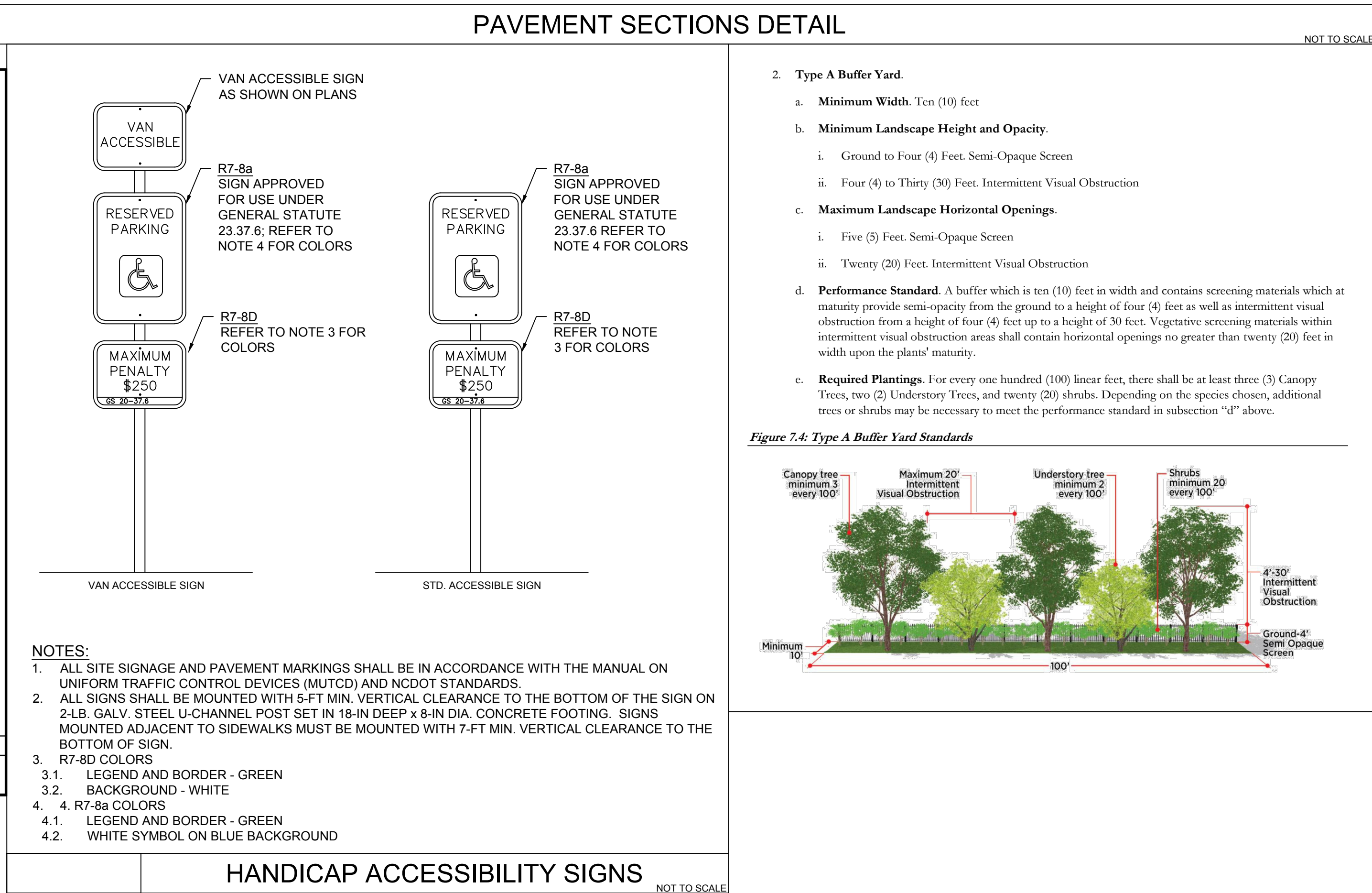
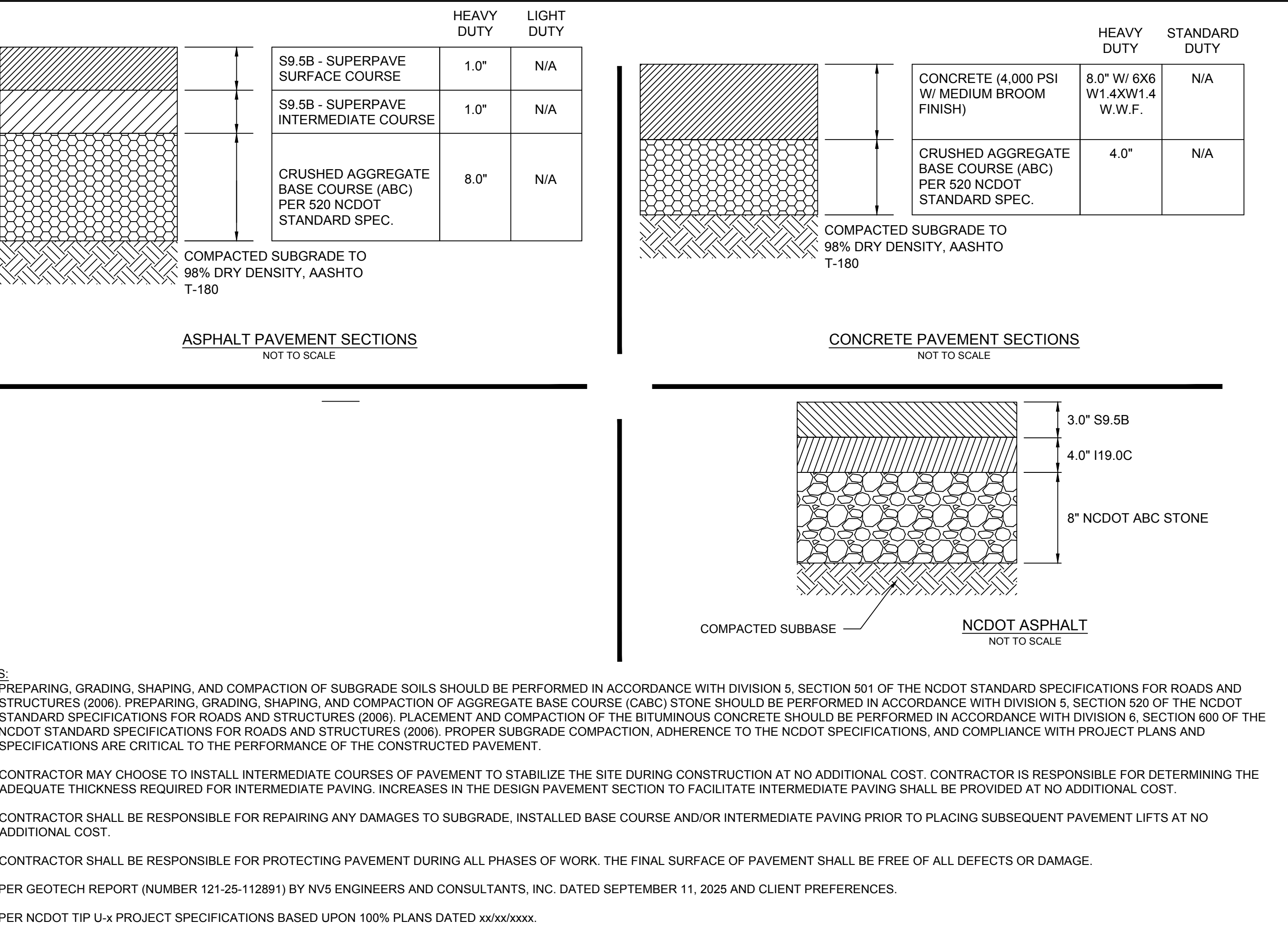
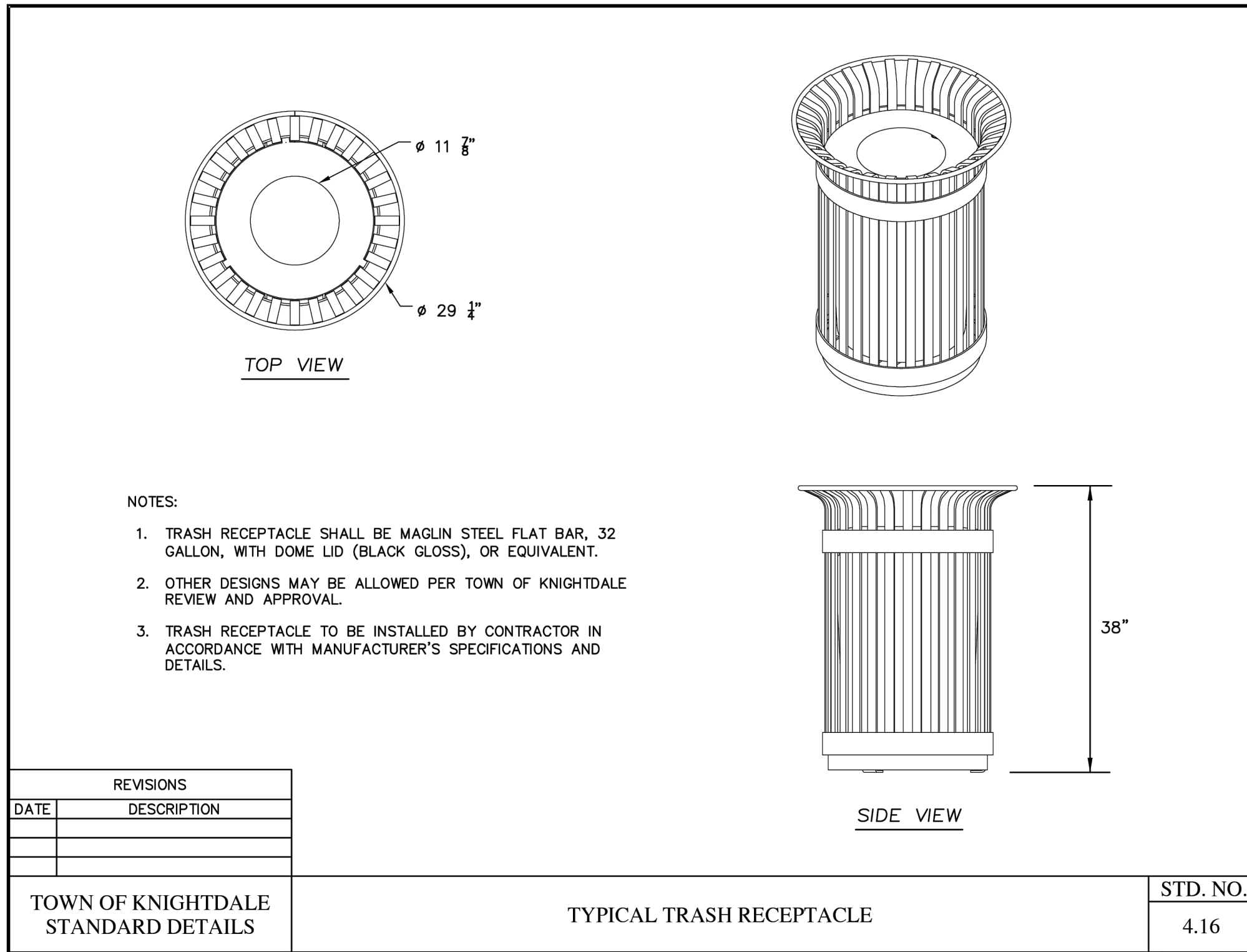
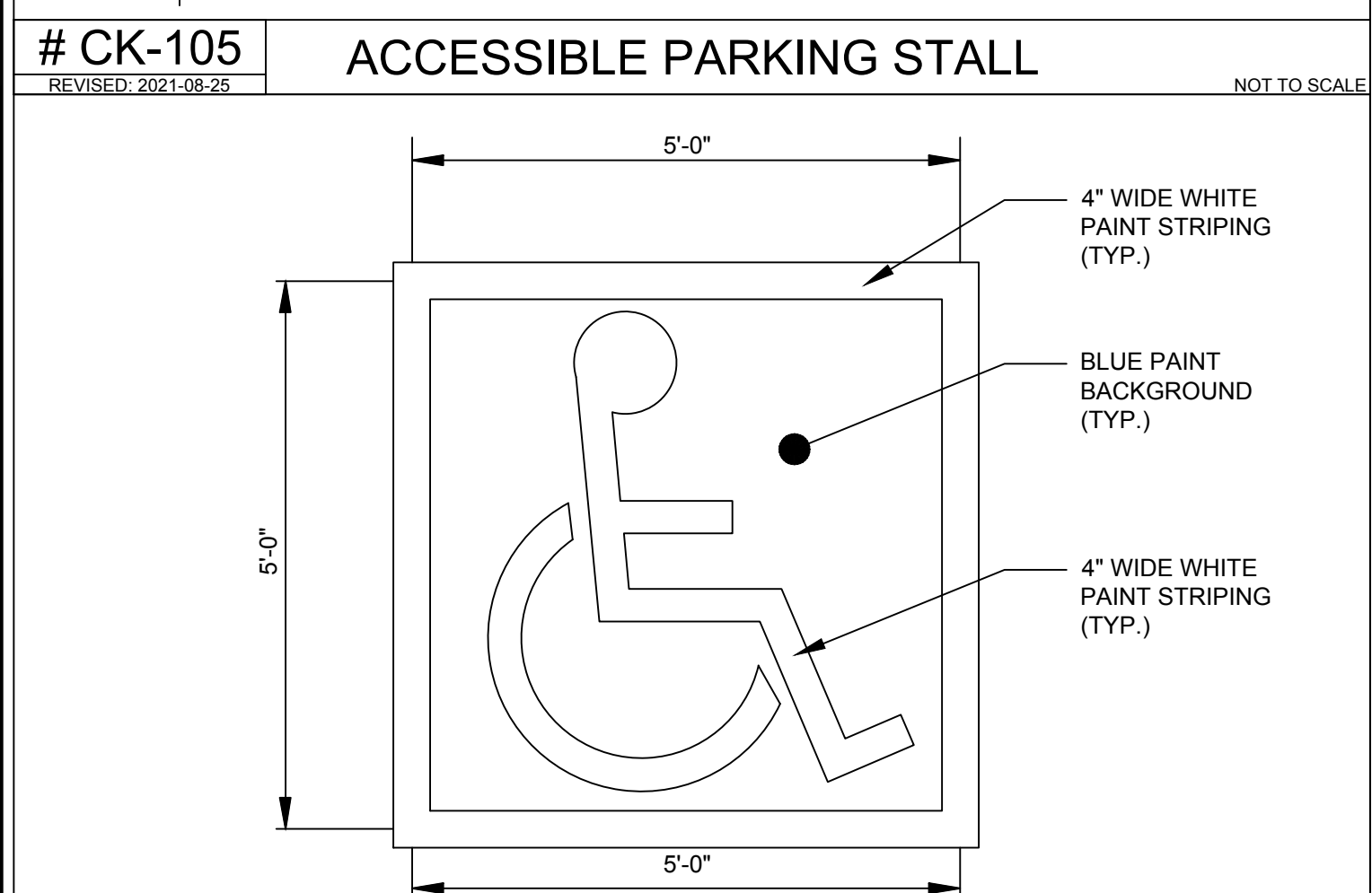
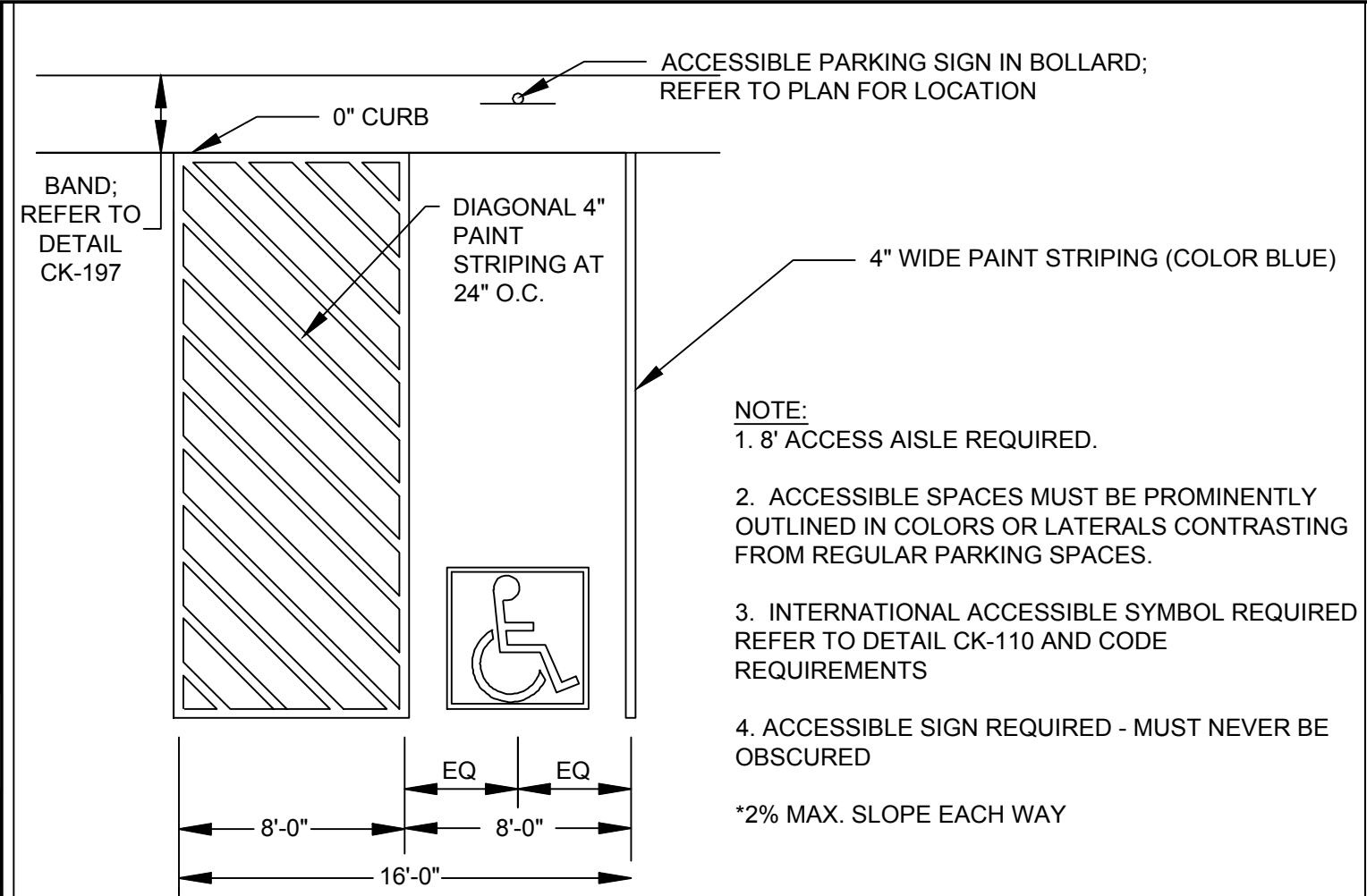
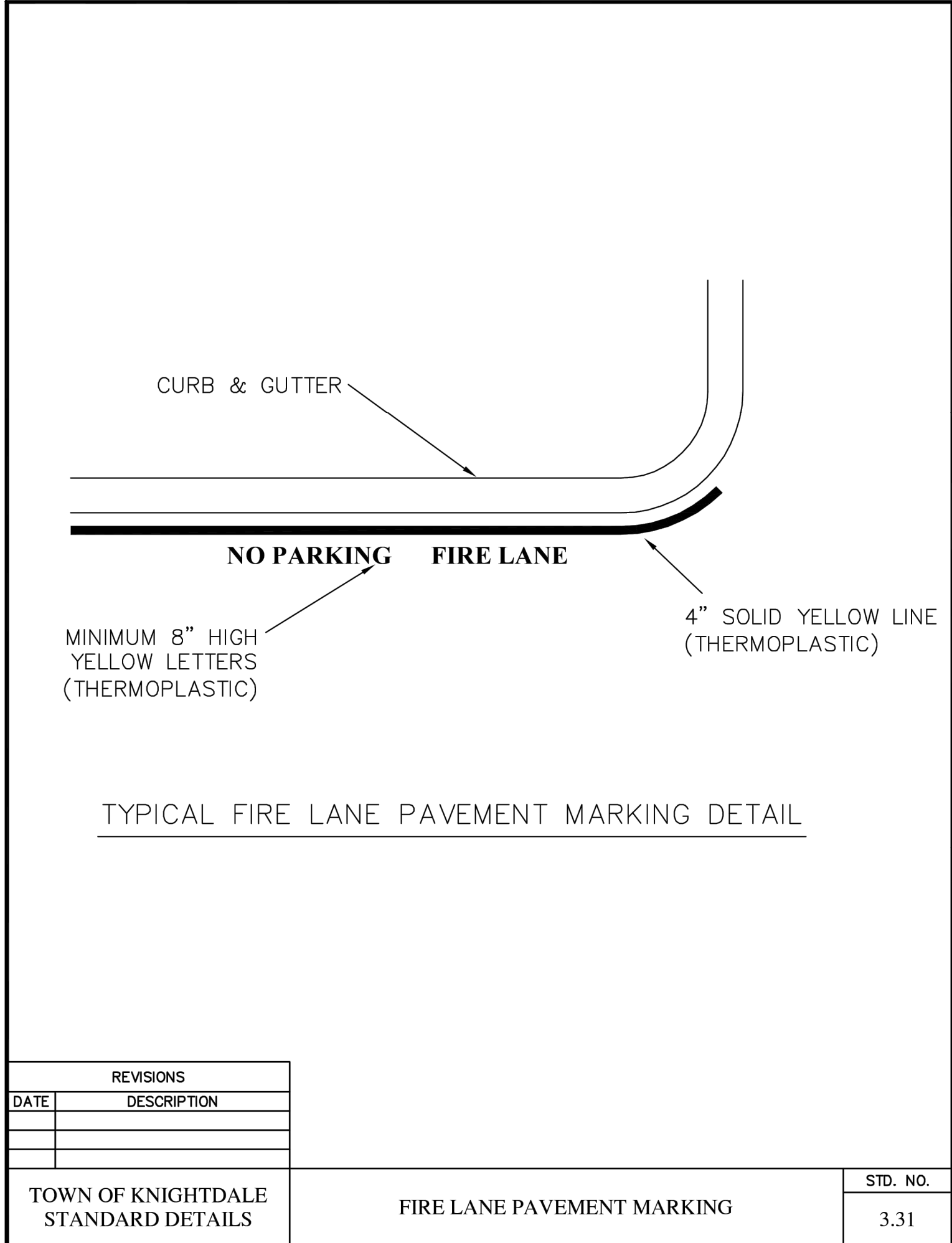
SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE NOTES AND DETAILS

JOB NO.
70434
SHEET NO.
C6.1

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S:\3270434-Knightdale Daycare\DWG\Sheet\CD70434-INTDT.dwg | Plotted on 12/19/2025 2:23 PM | by Brandon Wright



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Land Use Administrator

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REVISION DESCRIPTION	TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #

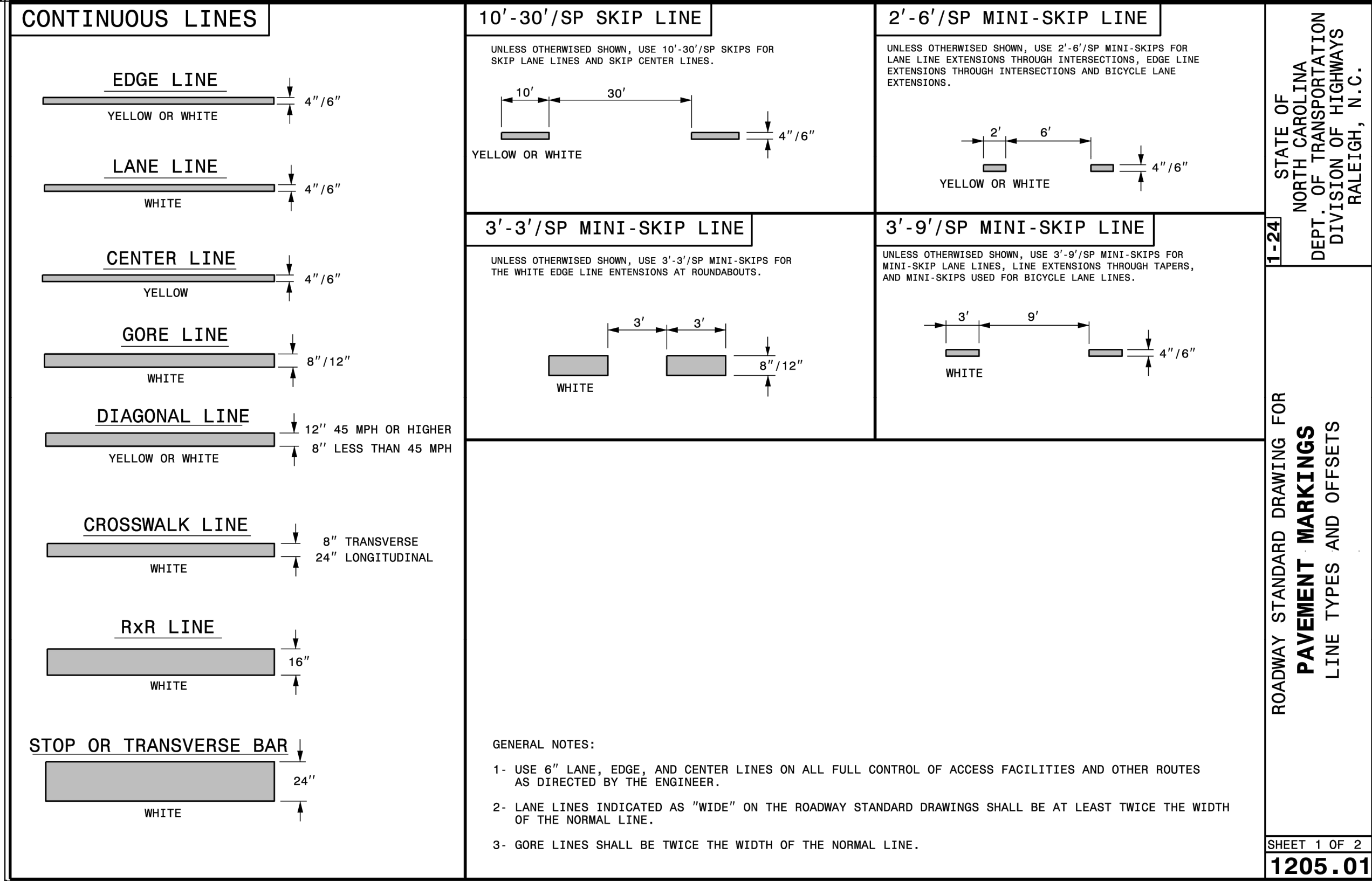
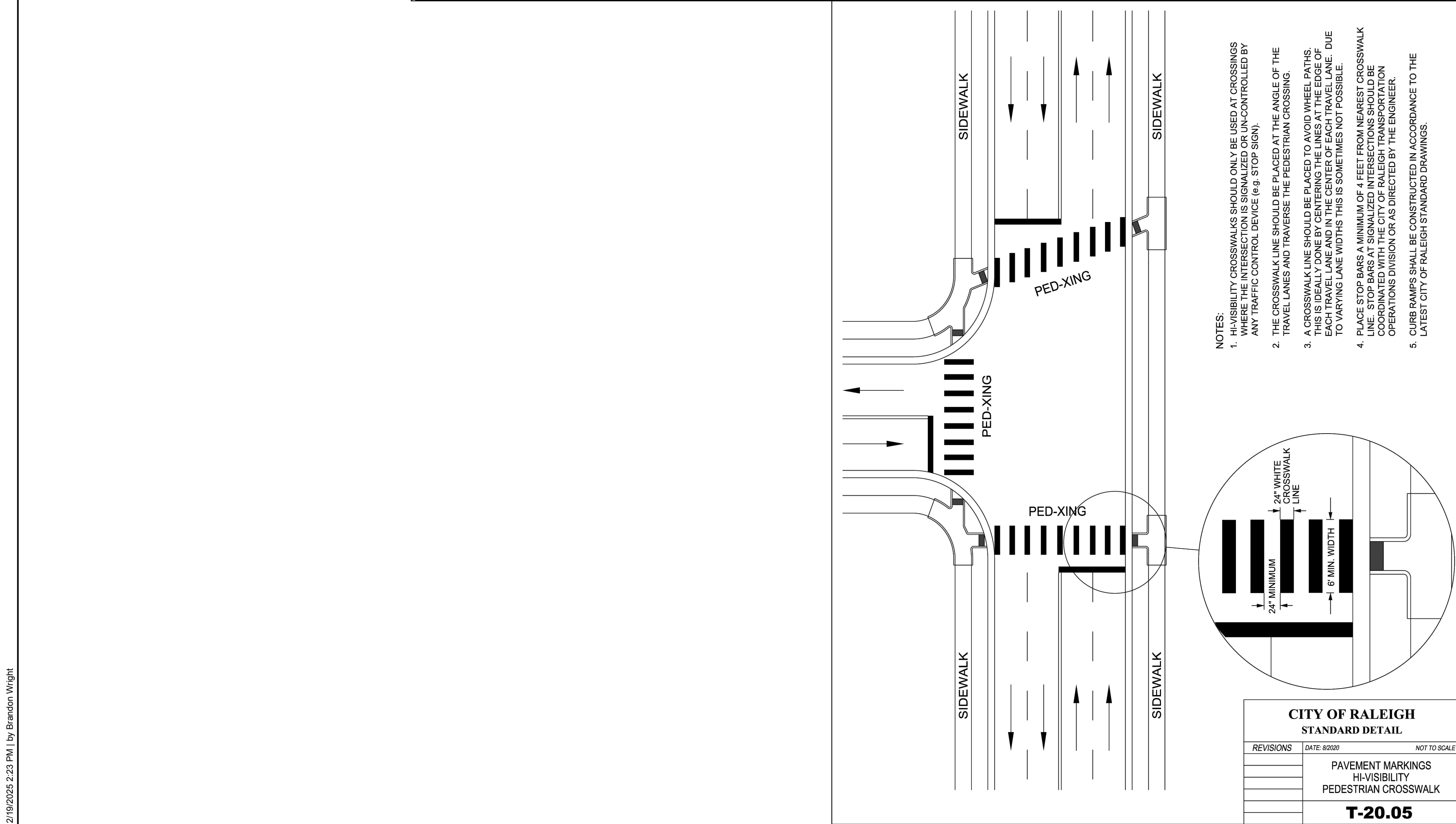
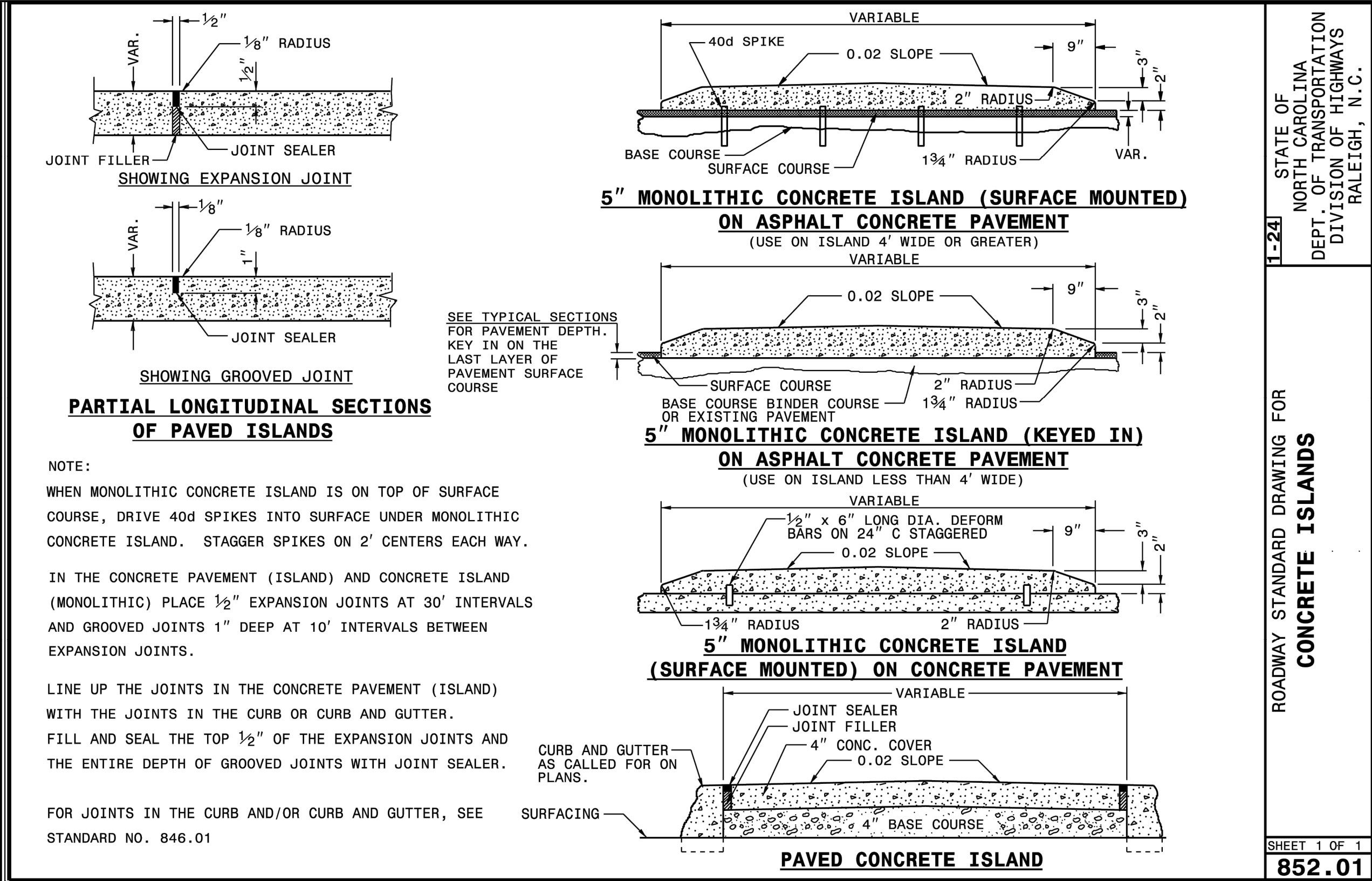
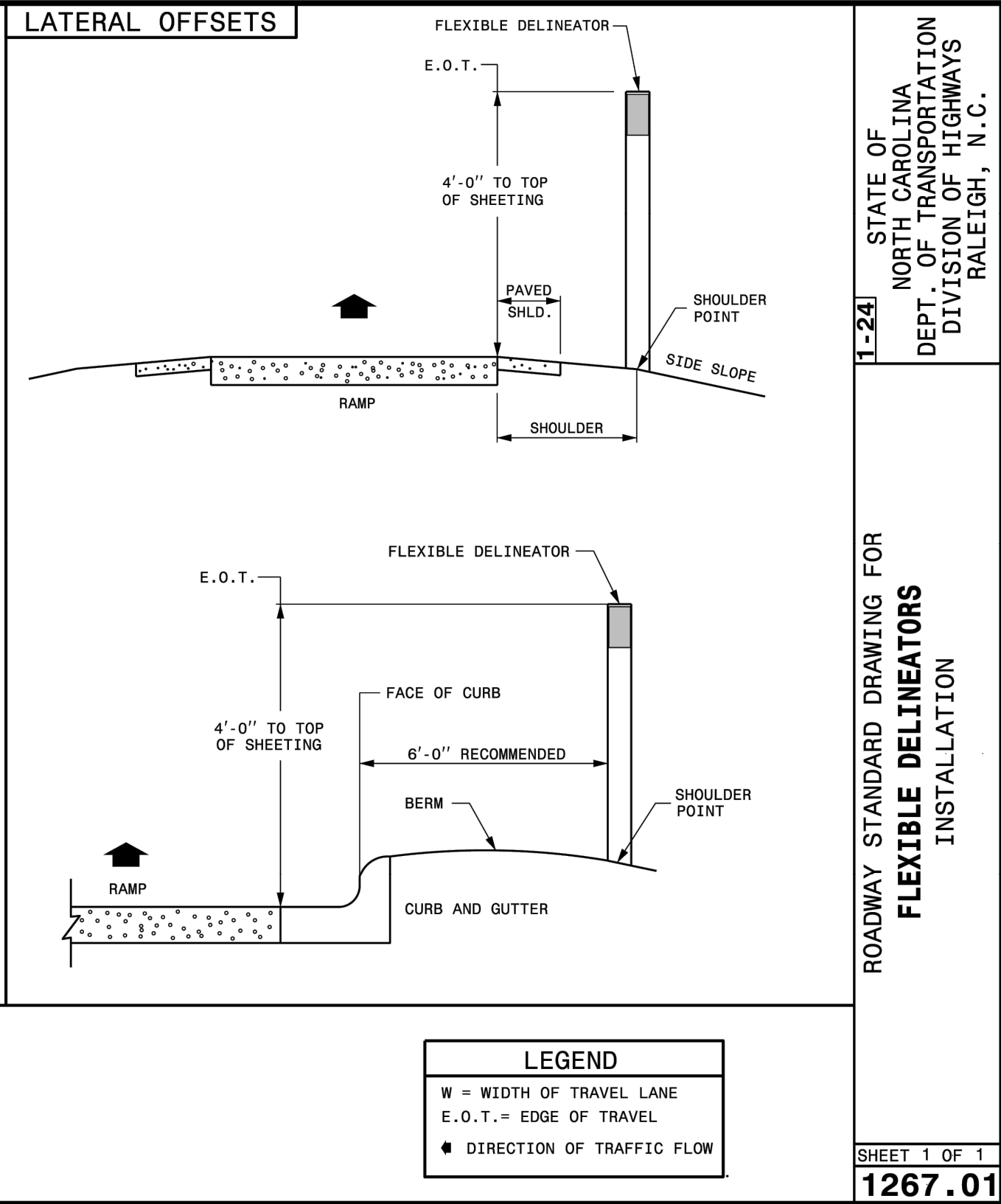
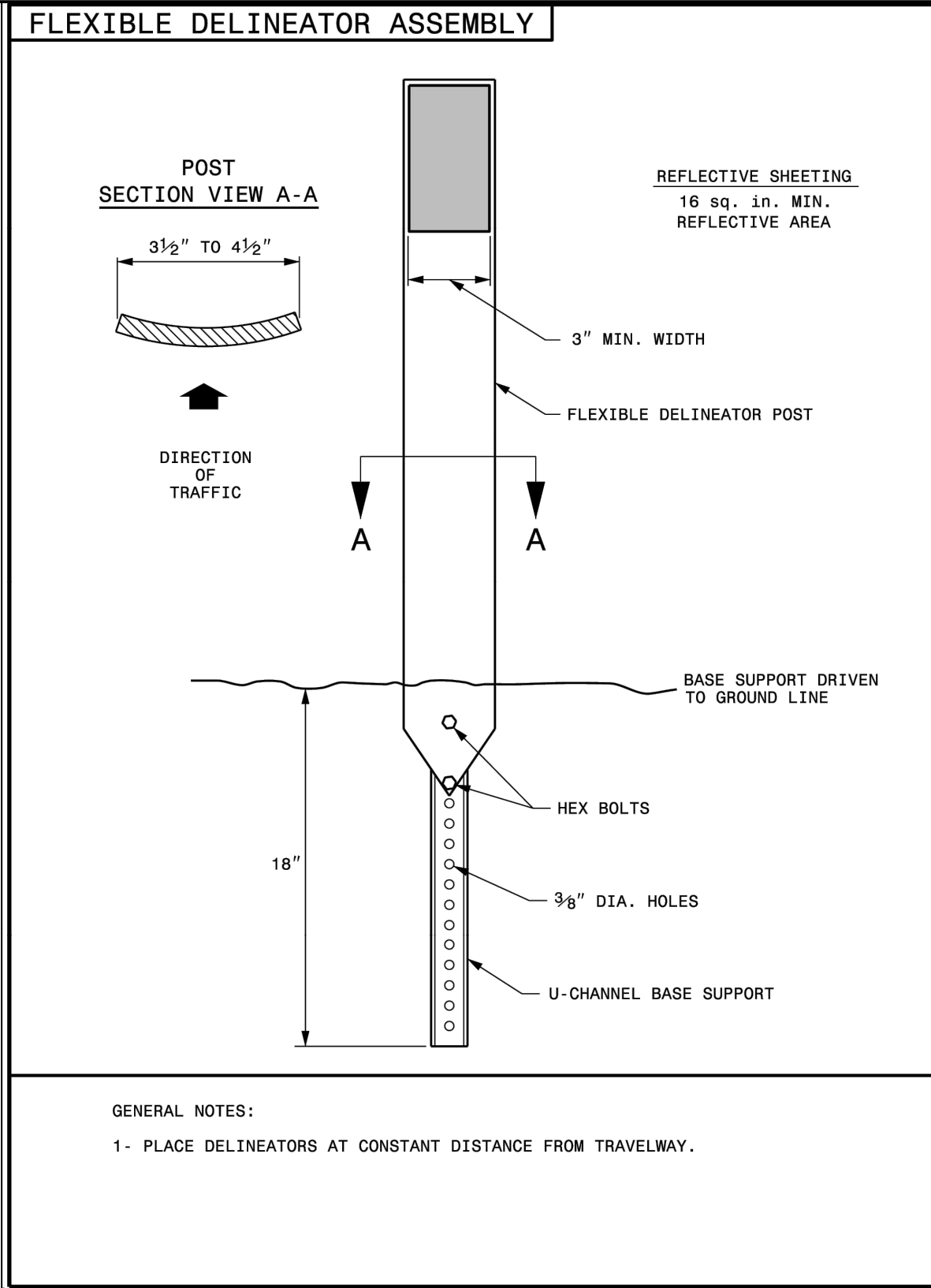
DATE	DATE
12/19/2025	----

DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
332	332	M. DAVIDSON	AS SHOWN

JOB NO.	SHEET NO.
70434	C7.1

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
NOTES AND DETAILS

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a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Land Use Administrator

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

NOTES AND DETAILS

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE ISLANDS

SHEET 1 OF 1
852.01

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
PAVEMENT MARKINGS
LINE TYPES AND OFFSETS

SHEET 1 OF 2
1205.01

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REVISION DESCRIPTION
TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #

DATE
12/19/2025

DRAWN BY
332

DESIGNED BY
332

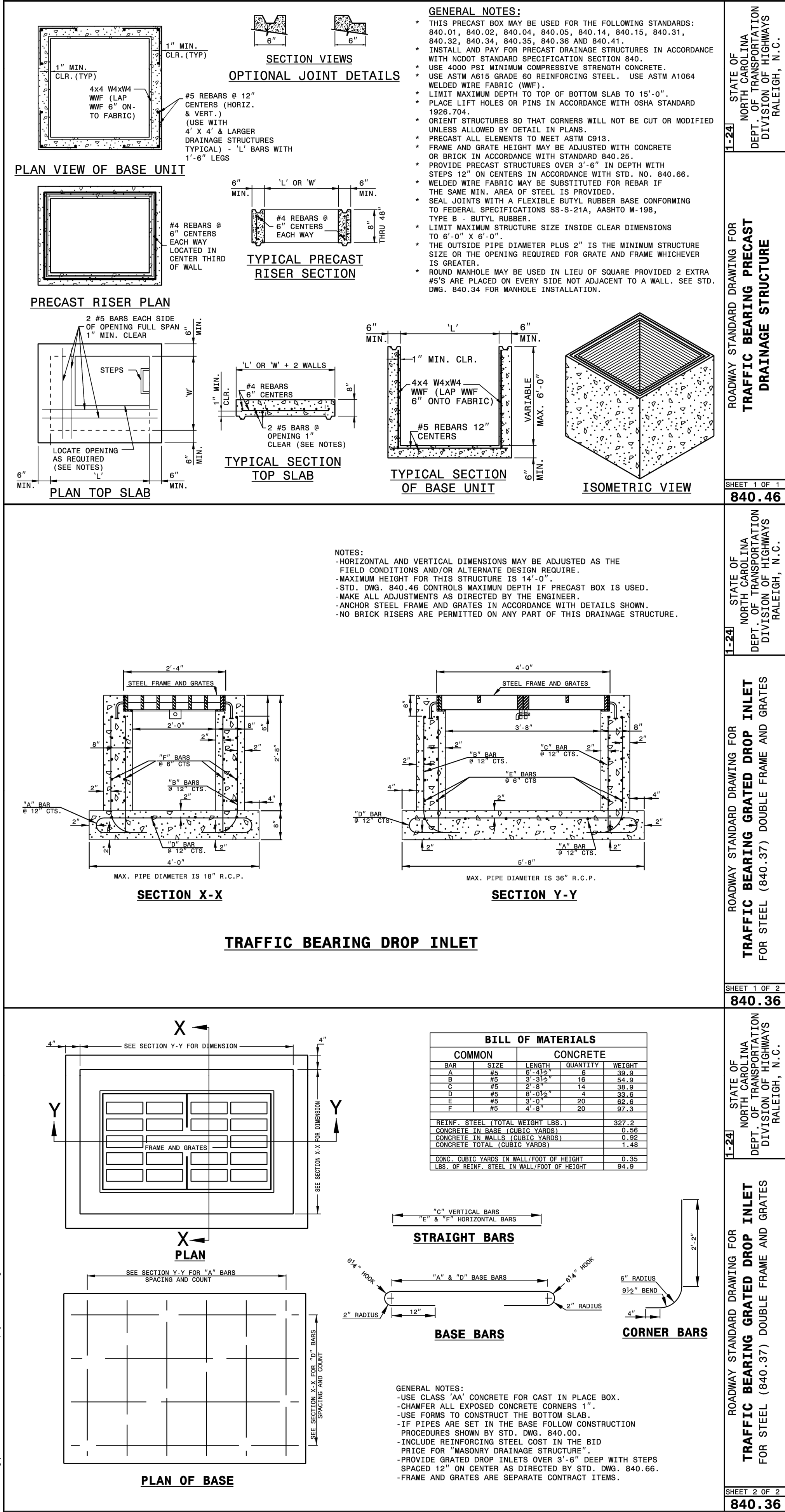
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JOB NO.
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SHEET NO.
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L-241 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR TRAFFIC BEARING PRECAST DRAINAGE STRUCTURE

SHEET 1 OF 1

840.46

L-241 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR TRAFFIC BEARING GRATED DROP INLET FOR STEEL (840.37) DOUBLE FRAME AND GRATES

SHEET 1 OF 2

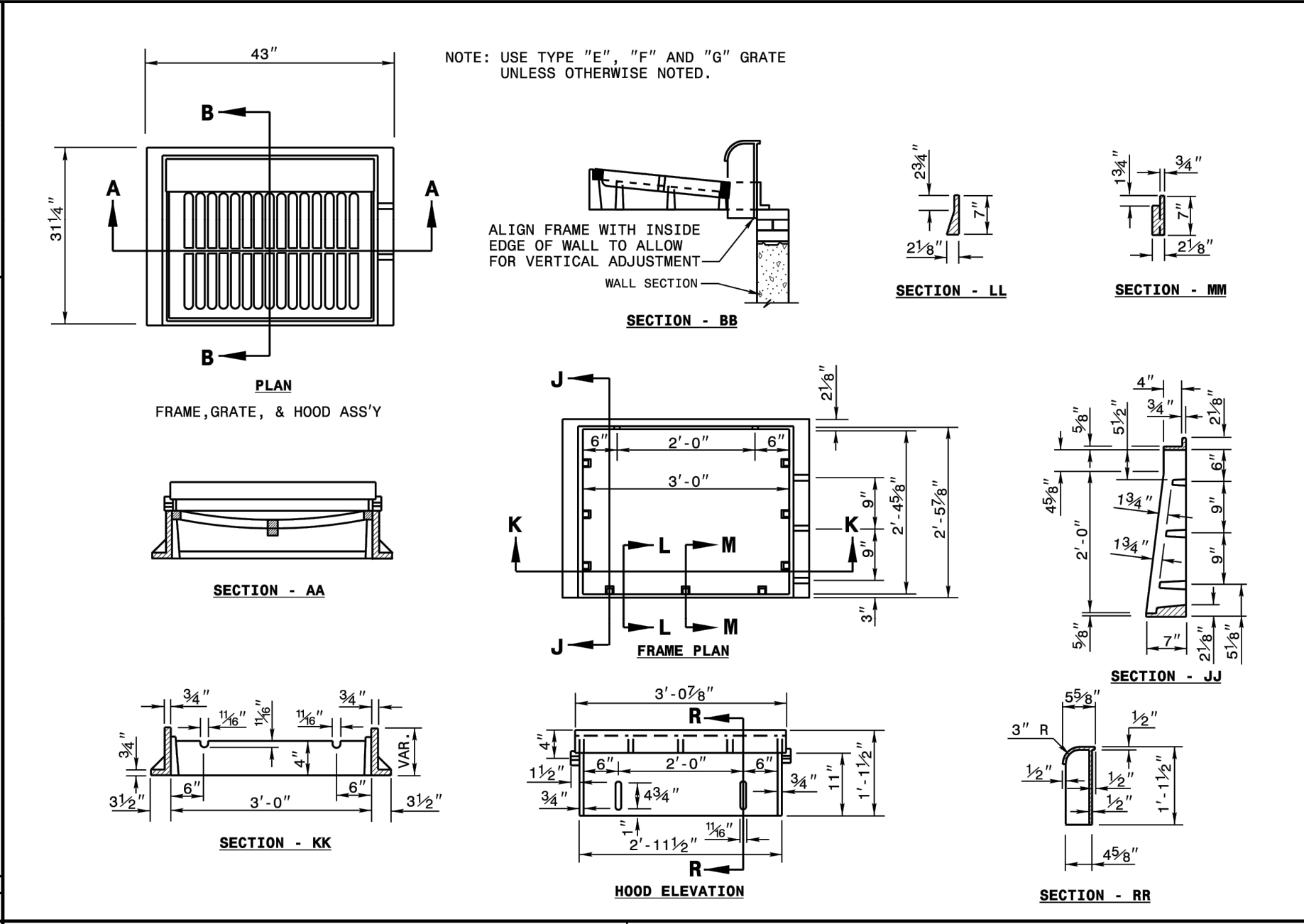
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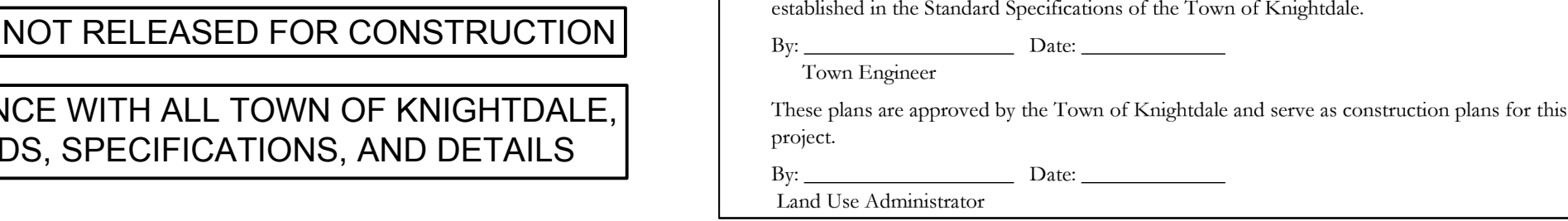
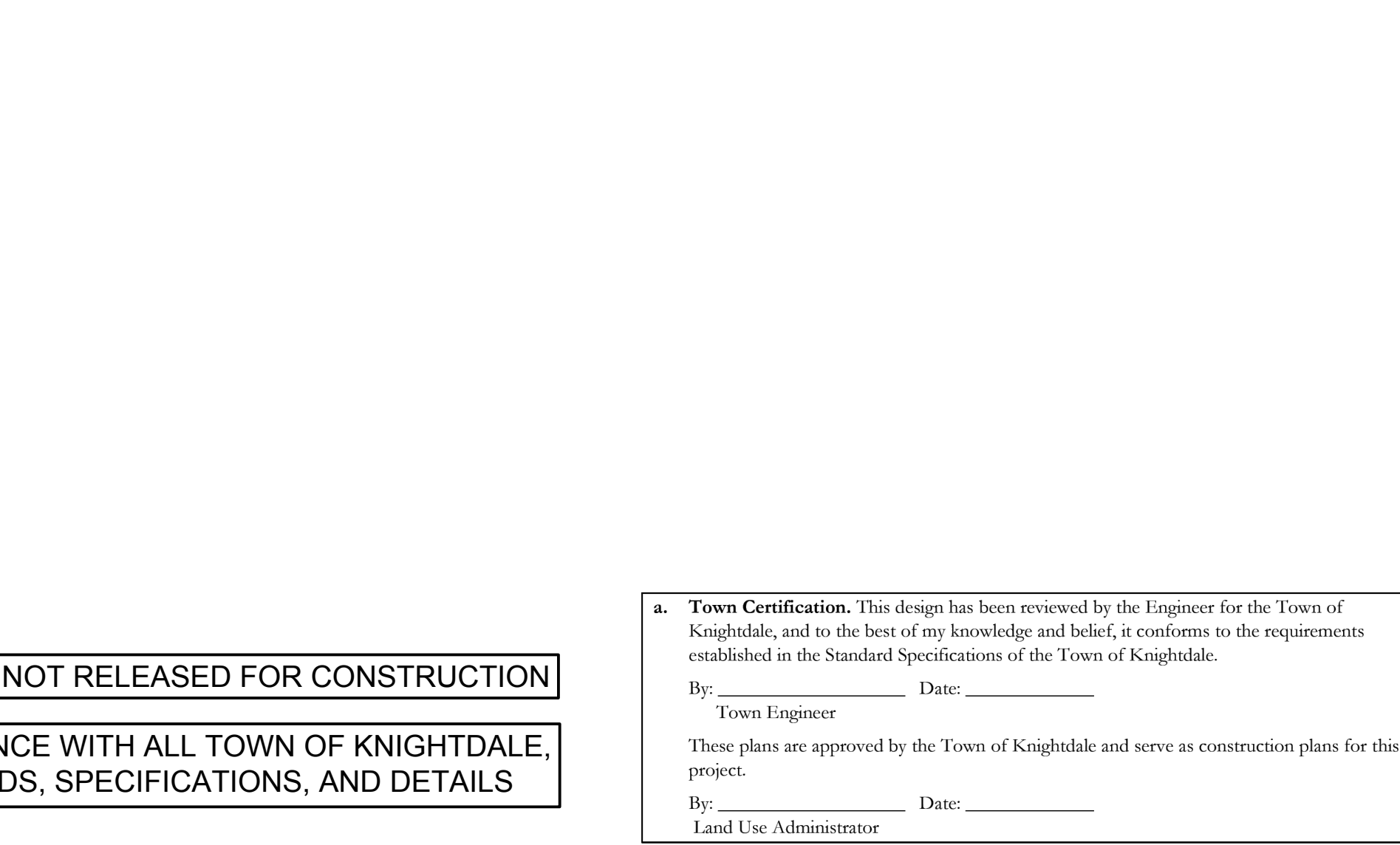
L-241 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR TRAFFIC BEARING GRATED DROP INLET FOR STEEL (840.37) DOUBLE FRAME AND GRATES

SHEET 2 OF 2

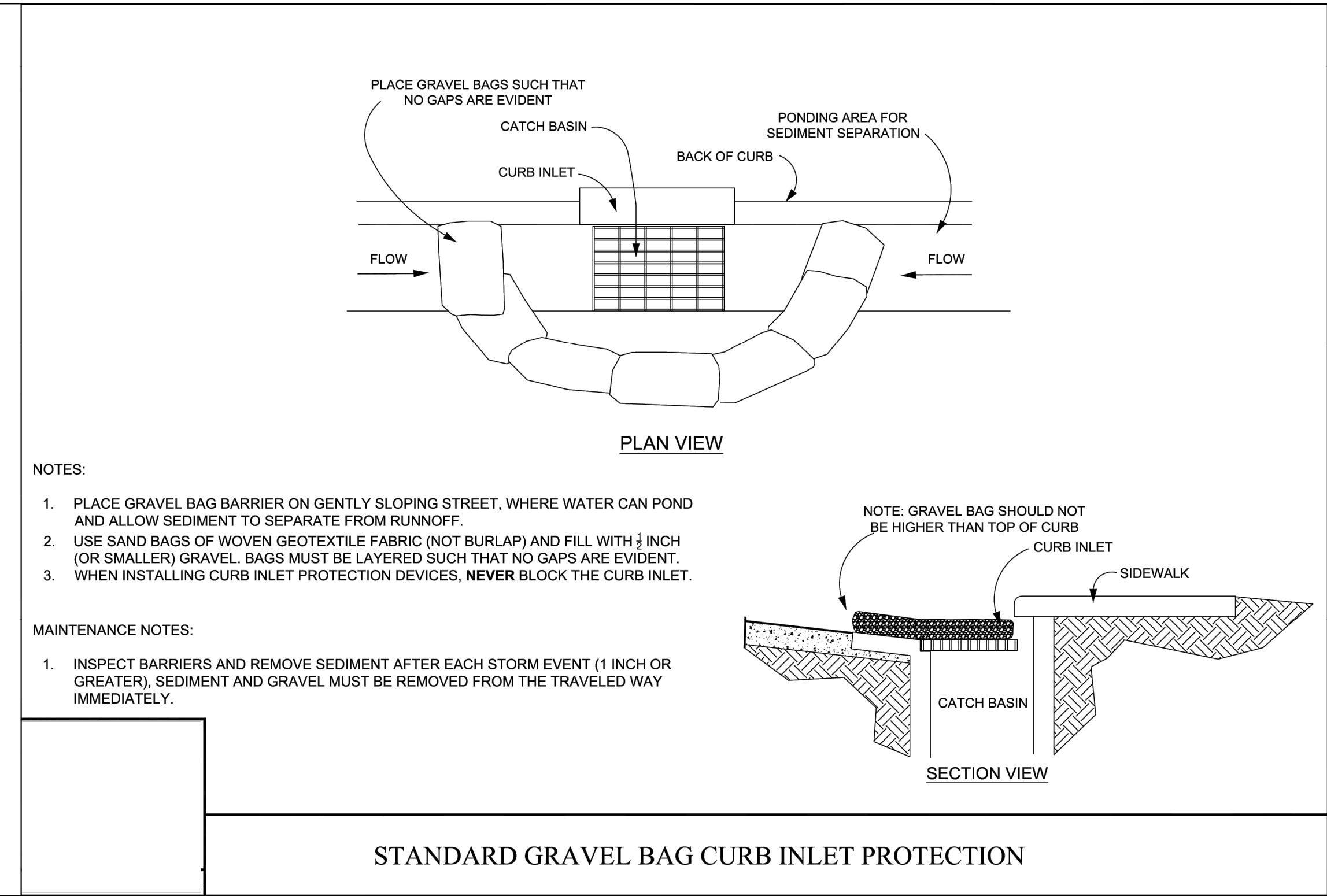
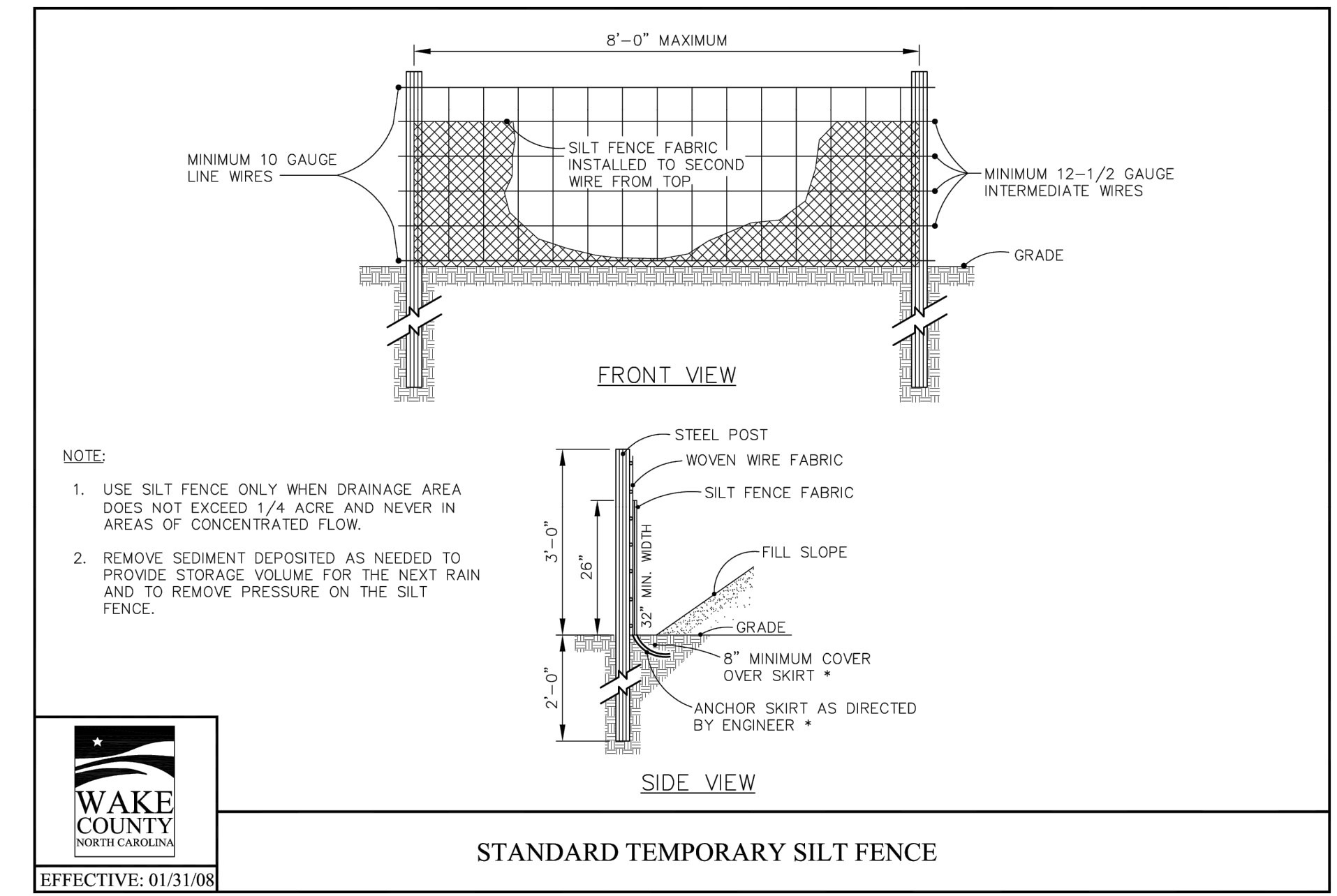
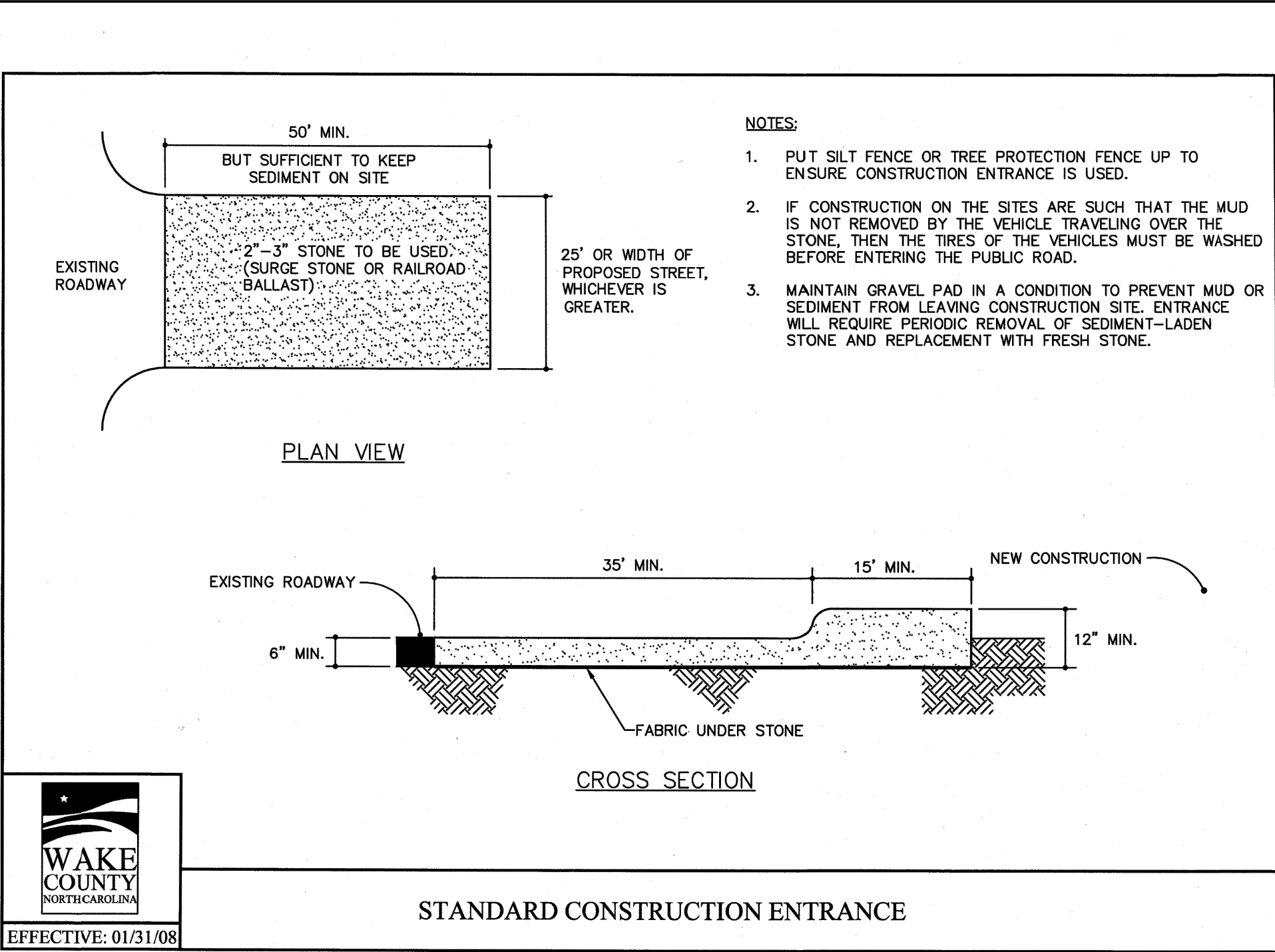
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Date: _____ Page: _____

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

SEEDING MIXTURE	Species	Rate
Centipede		5 lbs/acre
Indian Woodoats		1.5-2.5 lbs/acre*
Virginia Wild Rye		4-6 lbs/acre*

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

Seeding Dates

Coastal or Eastern Piedmont for Centipede- Sept. 1 - May 1
Coastal and Piedmont for Indian Woodoats and Virginia Wild Rye- Feb 15 - April 1
Mountains for Indian Woodoats and Virginia Wild Rye- March 1 - May 15

Maintenance:
Significant maintenance may be required to obtain desired cover once centipede is planted. Acceptable for sodding.

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR SUMMER

SEEDING MIXTURE	Species	Rate
Indian Woodoats		1.5-2.5 lbs/acre*
Virginia Wild Rye		4-6 lbs/acre*

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

Seeding Dates

Mountains - July 15- Aug 15
Piedmont - Aug 15 - Oct 15

Maintenance:
Indian Woodoats and Virginia Wild Rye are both sun and shade tolerant.

SEED BED PREPARATION:

LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1 1/2 tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.

FERTILIZER- Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniformity fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

SEEDING MIXTURE

Species	Rate
Hard Fescue	15 lbs/acre
Switchgrass	2.5-3.5 lbs/acre*
Indian Grass	5-7 lbs/acre*
Big Bluestem	5-7 lbs/acre*
Indian Woodoats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre*

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

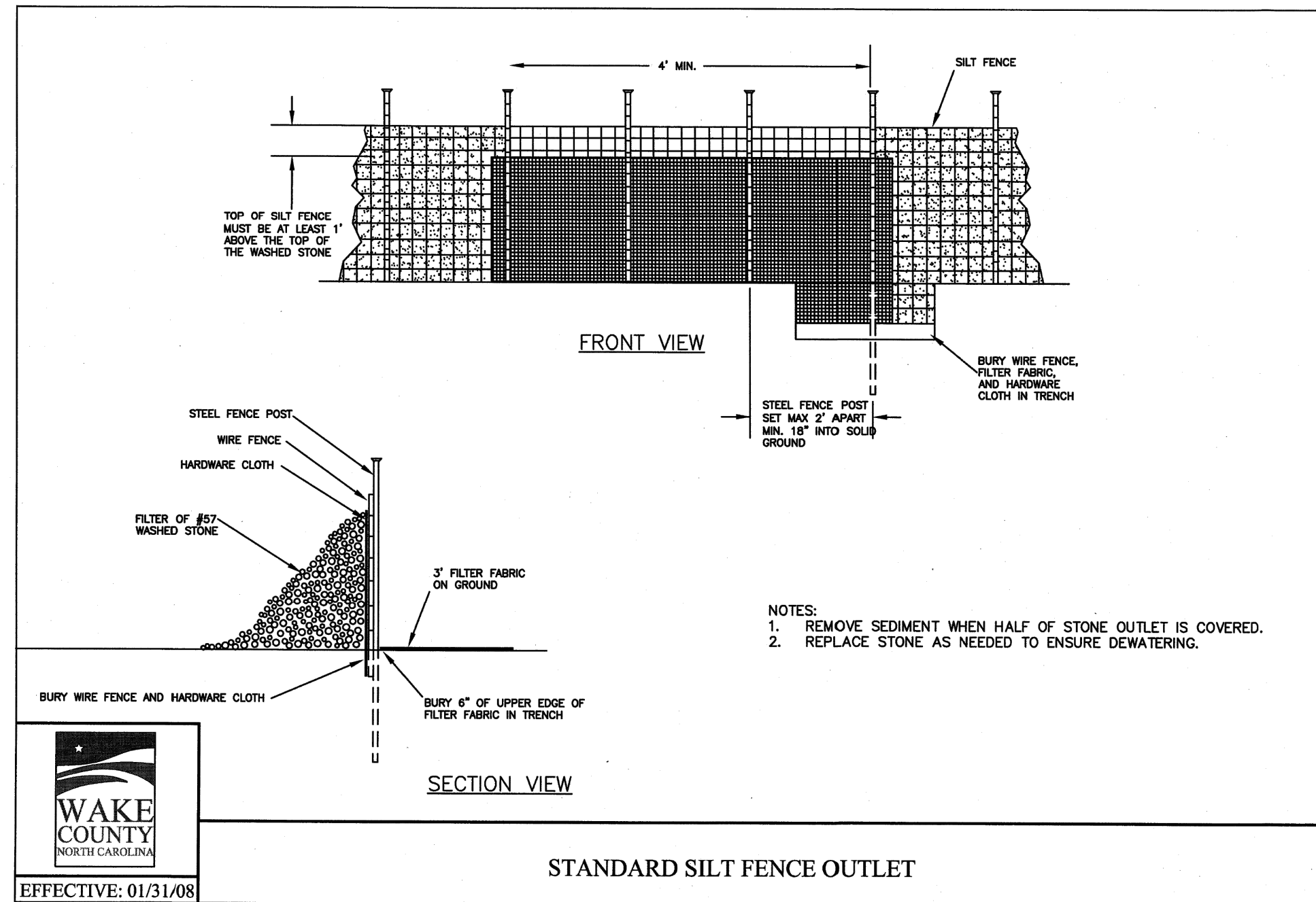
Seeding Dates

Mountains - Hard Fescue- Aug 1 - June 1
Mountains- Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 15
Piedmont and Coastal- Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 1
Coastal- Indian Woodoats and Virginia Wild Rye- Sept 1 - Nov 1

Maintenance:
Hard Fescue is not recommended for slopes > 5%. Prefers shade.

TEMPORARY SEEDING RECOMMENDATIONS

North Carolina Environmental Quality
EFFECTIVE DATE: 1/31/08



Date: _____ Page: _____

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

SEEDING MIXTURE	Species	Rate (lb/acre)
Rye (grain)		120
Annual lespedeza (Kobe in)		50
Piedmont and Coastal Plain, Korean in Mountains)		

Orn annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding Dates

Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Referentize if growth is not fully adequate. Reseed, referentize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

Seeding Mixture	Species	Rate (lb/acre)
German millet		40

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

Seeding Dates

Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Referentize if growth is not fully adequate. Reseed, referentize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL

Seeding Mixture	Species	Rate (lb/acre)
Rye (grain)		120

Seeding Dates

Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 31

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Repair and referentize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

SEED BED PREPARATION:

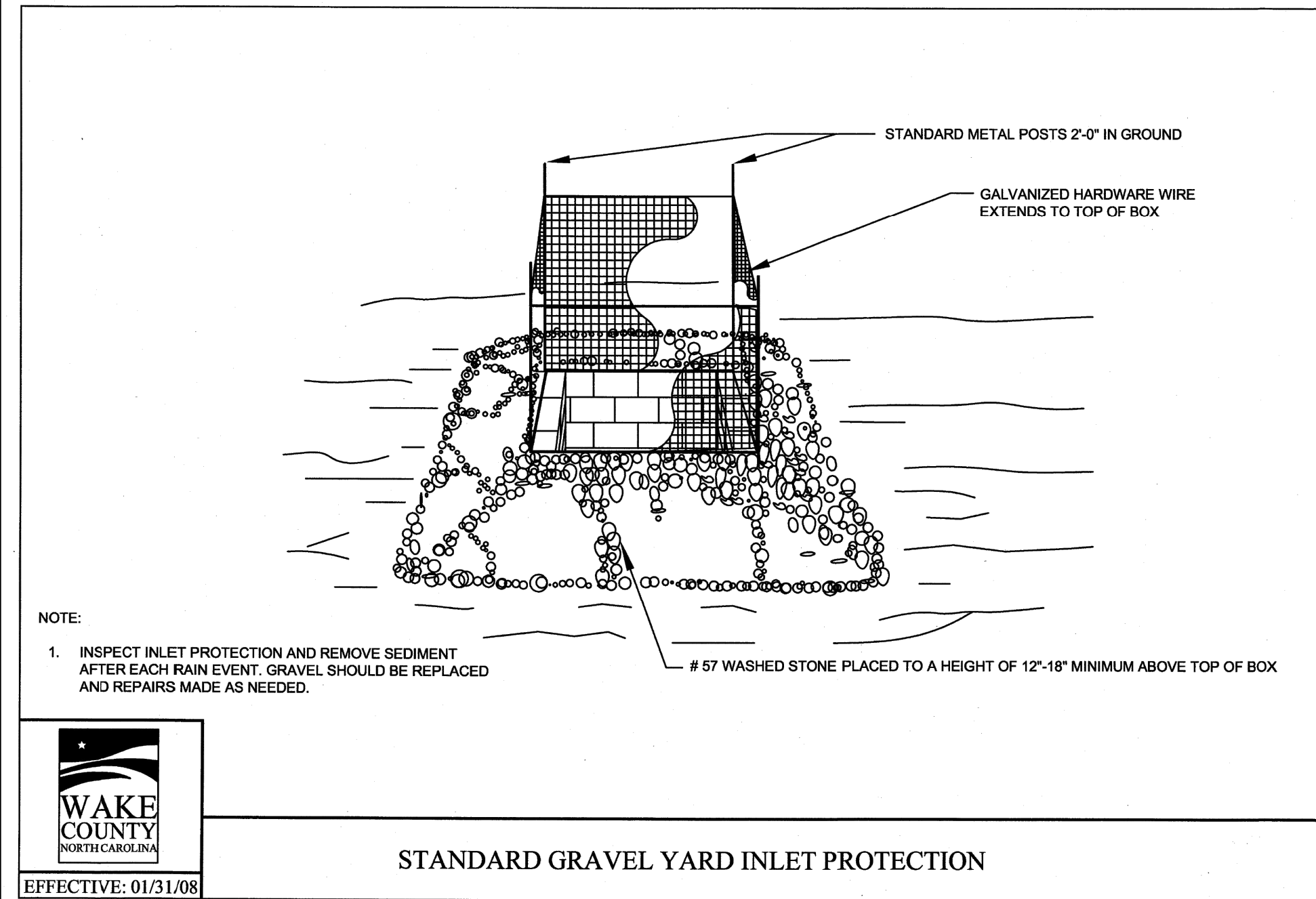
LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1-1 1/2 tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.

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TEMPORARY SEEDING RECOMMENDATIONS

North Carolina Environmental Quality
EFFECTIVE DATE: 1/31/08



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

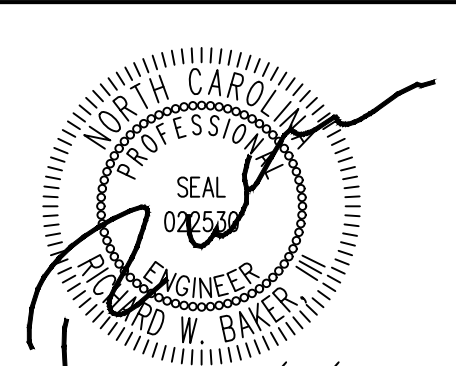
By: _____ Date: _____

Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____

Land Use Administrator



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DATE	REVISION DESCRIPTION
12/19/2025	TOWN OF KNIGHTDALE CONSTRUCTION DRAWING SUBMITTAL #1

DRAWN BY	332
DESIGNED BY	332
CHECKED BY	M. DAVIDSON
SCALE	AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

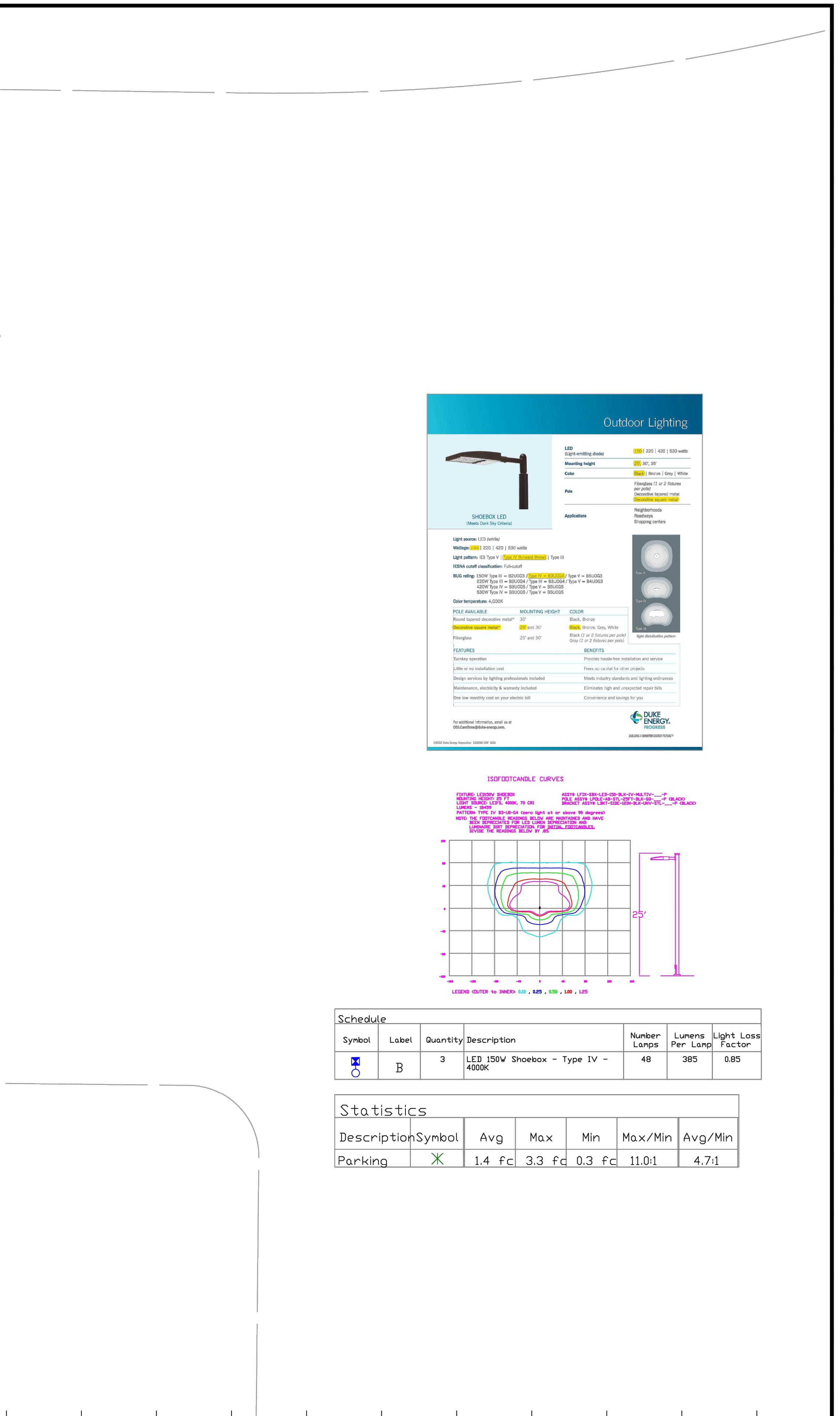
KNIGHTDALE DAYCARE

TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

NOTES AND DETAILS

JOB NO.	70434
SHEET NO.	C.7.7

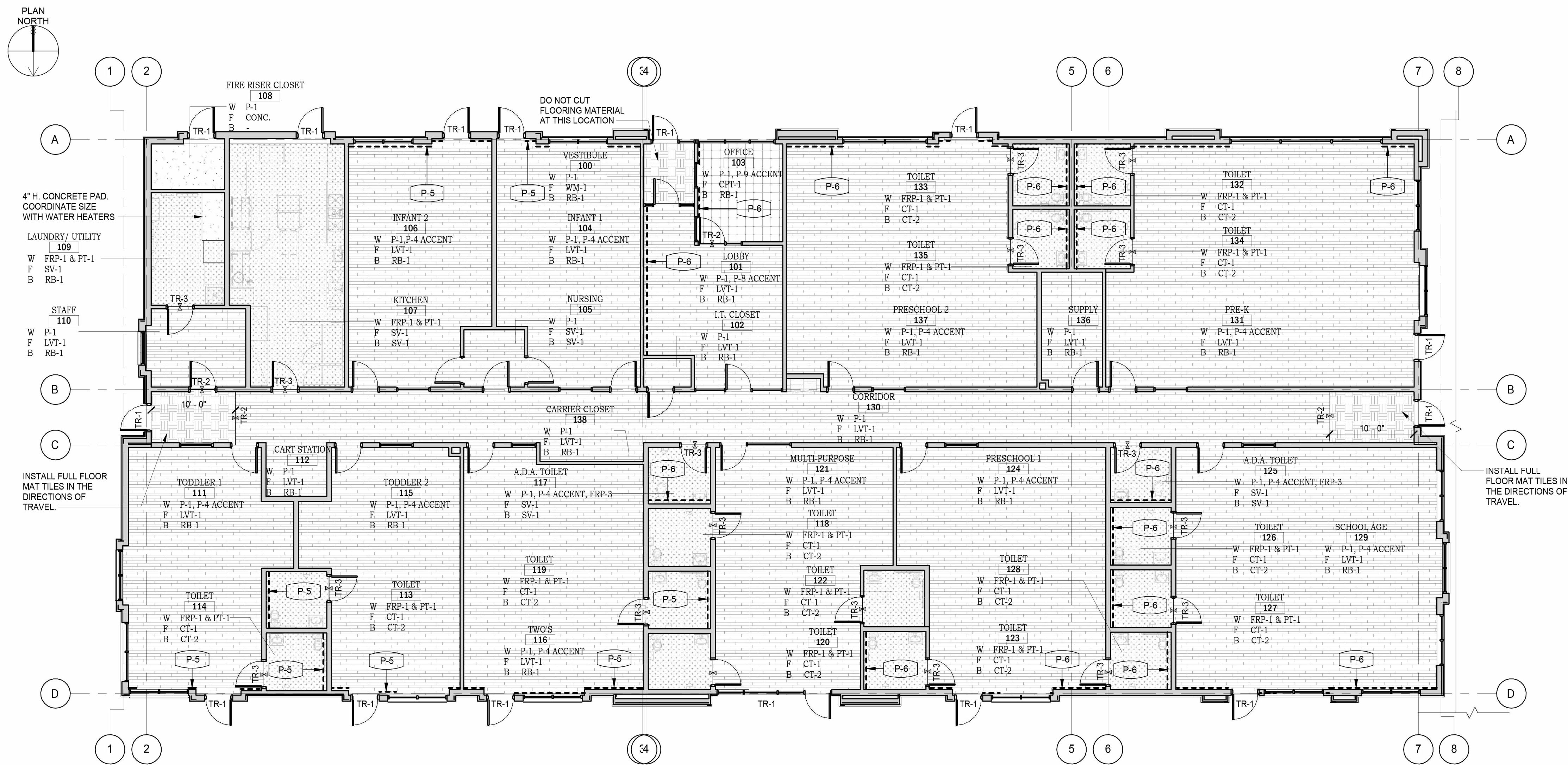
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**DUKE
ENERGY®**
PROGRESS

KNIGHTDALE DAYCARE	
KNIGHTDALE, NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	A. Herrera Scale 1" = 20'
Date	6/24/2025 Size Drawing size "D"
Description LED Shoebox	
Drawing No.	25-0280A Sht. 1 OF 1



1 FINISH FLOOR PLAN

SCALE: 1/8" = 1'-0"

2 VINYL BASE DETAIL

SCALE: 3" = 1'-0"

3 RUBBER BASE DETAIL

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
- SEE DWG. G002 FOR GENERAL CONDITIONS.
- SEE DWG. A101 FOR CONSTRUCTION FLOOR PLAN.
- SEE DWG. A103 FOR REFLECTED CEILING PLAN.
- SEE DWG. A105 FOR EQUIPMENT AND FIXTURES PLAN.
- SEE DWG. A801-A804 FOR ARCHITECTURAL SPECIFICATIONS.

CONSTRUCTION NOTES:

- REFER TO FINISH SCHEDULE FOR SPECIFIC PRODUCT INFORMATION. FLOORING INSTALLATION PATTERN SHALL FOLLOW FINISH PLAN INTENT.
- REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION.
- FLOORING INSTALLER TO COORDINATE TOP OF FLOOR FINISH TO BE LEVEL.
- REFER TO THE PLUMBING DWGS. FOR FLOOR DRAIN AND SINK LOCATIONS. PROVIDE A "LEVEL-4" GYP. BD. FINISH AT ALL WALL.
- REFER TO SHEET A402 FOR TOILET ROOM INTERIOR ELEVATIONS.
- ALL PAINT MUST BE SPRAYED AND BACKROLLED.
- THE LVT FLOORING PATTERN SHALL BE CONTINUOUS FROM THE CORRIDOR INTO THE CLASSROOMS. CONTRACTOR SHALL INSTALL THE FLOORING IN THE CORRIDORS FIRST TO AVOID CUTTING TILE AT THE CLASSROOM DOORS.
- THE TENANT MAY ELECT TO INSTALL GRAPHICS IN SOME WALLS. CONTRACTOR SHALL COORDINATE WITH TENANT'S REPRESENTATIVE PRIOR TO START WALL PAINTING.
- FINISH PRODUCT SUBSTITUTIONS ARE NOT ALLOWED.

ROOM FINISHES:

- ALL ROOM WALLS SHALL RECEIVE P-1 PAINT UNLESS NOTED OTHERWISE. REFER TO PLAN AND INTERIOR ELEVATIONS.
- ALL ROOMS SHALL RECEIVE FLOOR FINISHES AS INDICATED ON THE PLAN AND RB-1 WALL BASE UNLESS NOTED OTHERWISE.
- ALL TOILET ROOMS SHALL RECEIVE WALL PAINT PER PLANS, FRP-3 WAINSCOTING AND SV-1 FLOORING AND WALL BASE.
- REFER TO FINISH SCHEDULE FOR SPECIFICATIONS.

LEGEND

TS	VINYL TRANSITION STRIP	LVT-1
—X—	PROVIDE METAL TRANSITION AT CHANGE IN FLOOR MATERIAL.	CONC.
XXX-1	MATERIAL TAG	CPT-1
		WM-1
		SV-1

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Engineering & Design

Architecture, Landscape
Architecture, Surveying, CT P.C.

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REV	DATE	DESCRIPTION
	07/07/2025	PROGRESS SET



Michelle Simms

LEARNING CARE GROUP

OLD KNIGHT RD. & HORTON RD.
KNIGHTDALE, NC 27545NC ARCHITECTURE
FIRM LICENSE # 54174**NOT FOR
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Project Kick Off
SUBMISSION**Colliers**

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Woodcliff Lake, NJ 07677
Phone: 845.352.0411Colliers Engineering & Design,
Architecture, Landscape Architecture,
Surveying, CT P.C.

PROJECT MANAGER:	DISCIPLINE LEAD:
JC	SO
DESIGNER:	REVIEWER:
DR	CJC
DATE ISSUED:	PROJECT NUMBER:
07/07/2025	25002372A

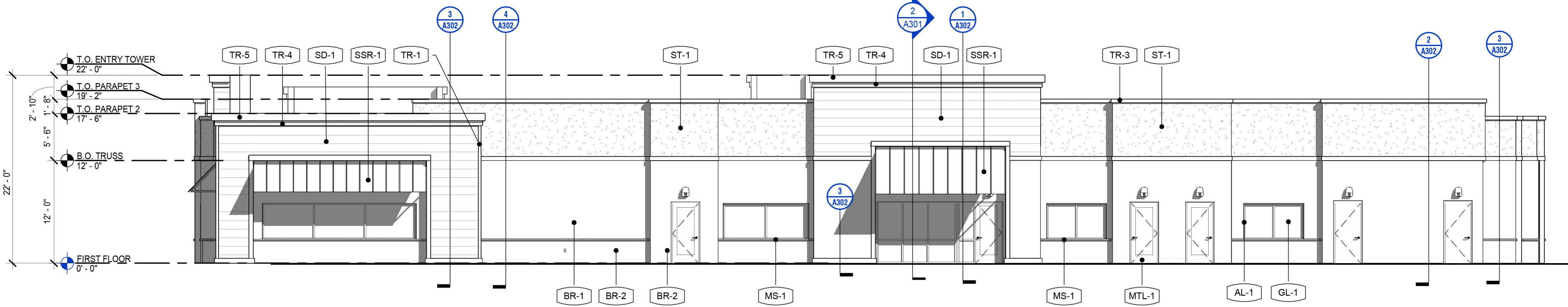
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FINISH FLOOR PLAN

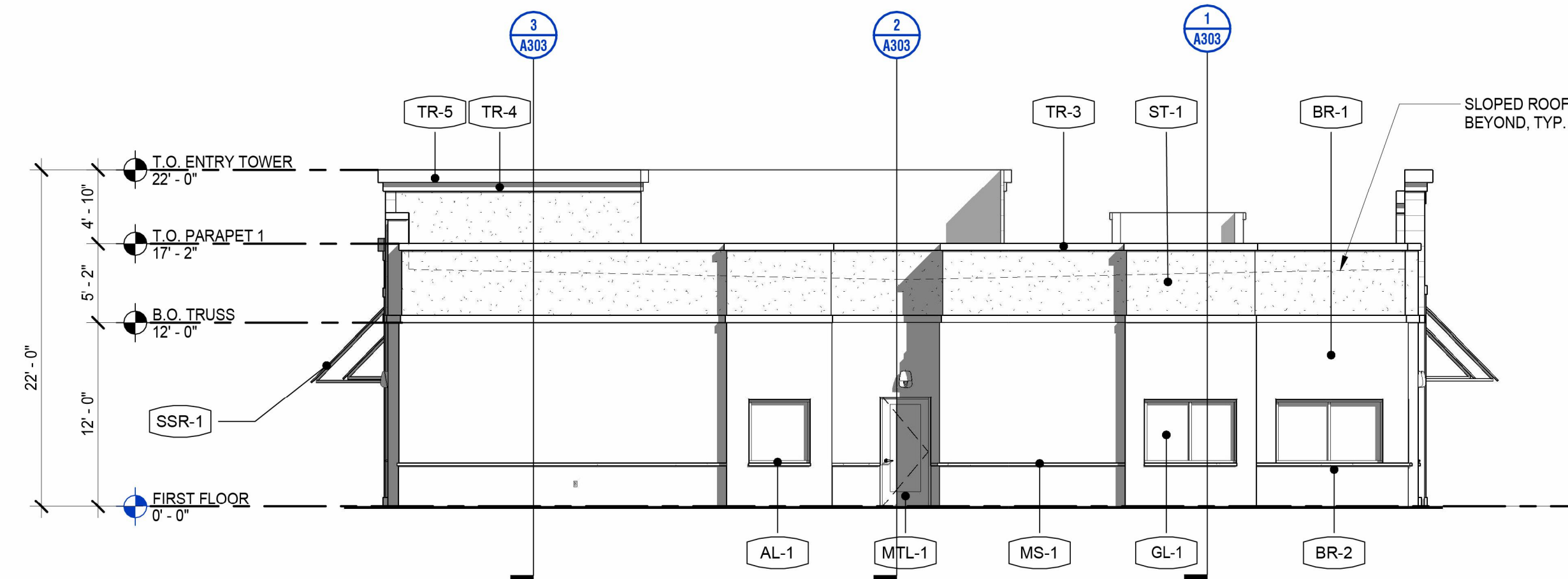
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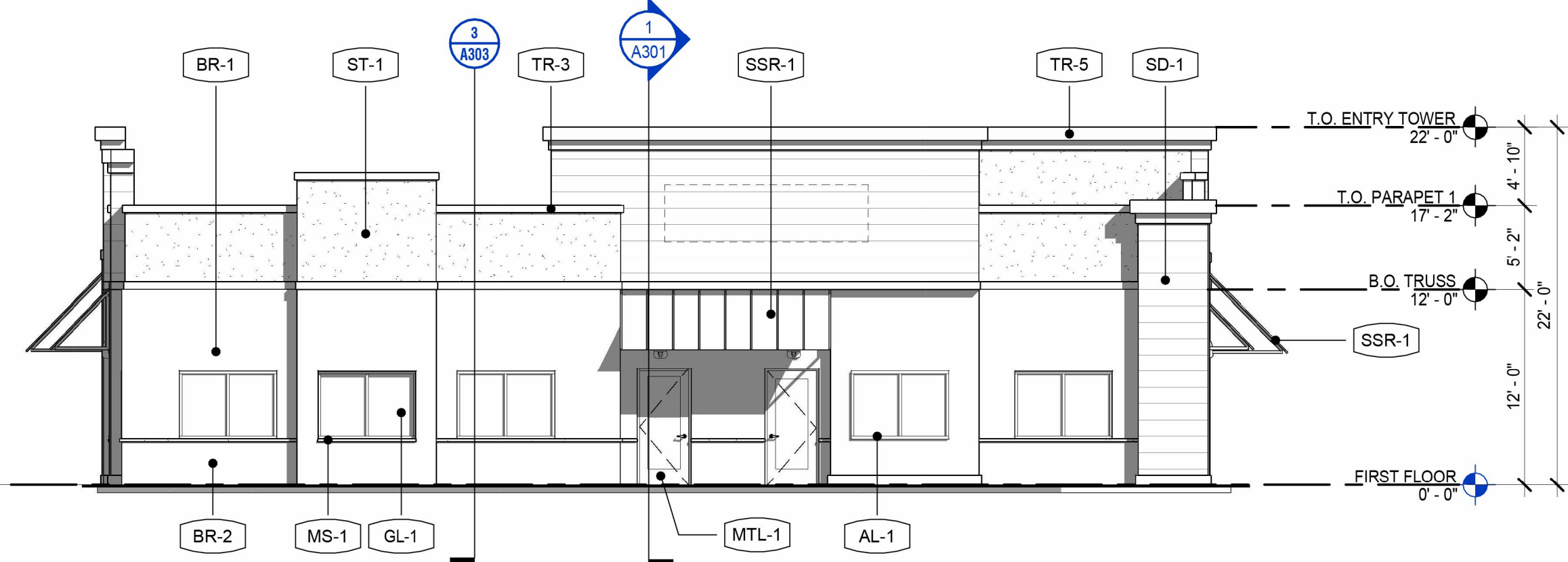
NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.



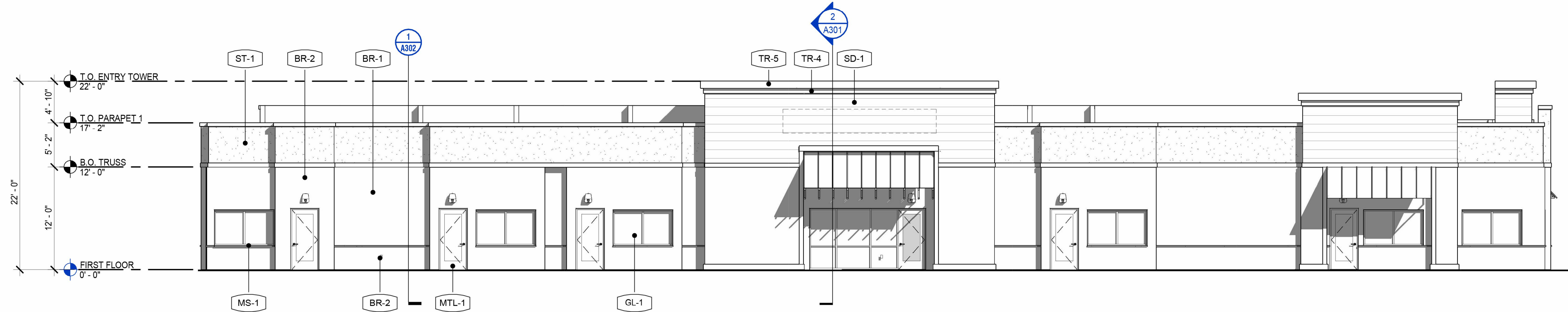
1 **EXTERIOR ELEVATION - SOUTH**
SCALE: 1/8" = 1'-0"



2 **EXTERIOR ELEVATION - EAST**
SCALE: 1/8" = 1'-0"



3 **BUILDING ELEVATION - WEST**
SCALE: 1/8" = 1'-0"



4 **EXTERIOR ELEVATION - NORTH**
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
- SEE DWG. A101 FOR CONSTRUCTION FLOOR PLAN.
- SEE DWG. A102 FOR PARTITION FLOOR PLAN.
- SEE DWG. A103 FOR REFLECTED CEILING PLAN.
- SEE DWG. A106 FOR ROOF PLAN.
- SEE DWG. A302- A303 FOR WALL SECTIONS.
- SEE DWG. A401- A406 FOR ENLARGED DRAWINGS.
- SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

CONSTRUCTION NOTES:

- WALL BATT INSULATION SHALL BE A MINIMUM VALUE OF R-20 PER ENFORCED ENERGY CODE.
- ROOFING RIGID INSULATION SHALL BE A MINIMUM VALUE OF R-25 PER ENFORCED ENERGY CODE. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
- WEATHER BARRIER SHALL BE DRYVIT® BACKSTOP-NT® WEATHER BARRIER. E.I.F. S. SYSTEM SHALL BE DRYVIT® OUTSULATION® SYSTEM. THICKNESS AS NOTED ON SECTIONS. SEE EXTERIOR ELEVATIONS, SHEET A201, FOR ADDITIONAL INFORMATION.
- EXTERIOR SHEATHING SHALL BE 1/2" APA EXTERIOR RATED PLYWOOD -OR- OSB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ROOFING SYSTEM SHALL BE 60 MIL TPO MEMBRANE ROOFING. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
- METAL FLASHING IN PLAYGROUND AREAS SHALL BE INSTALLED SO THAT THEY DO NOT LEAVE SHARP EDGES OR CORNERS ACCESSIBLE TO THE KIDS. (COLORS TO MATCH ADJACENT FINISHES)
- ALL SILL CORNERS IN PLAYGROUND FENCED AREAS SHALL BE CHAMFERED, TYP. METAL COPING SHALL BE 0.050 ALUMINUM. SEE NOTED DETAILS FOR ADDITIONAL INFORMATION.

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Architecture, Surveying, CT P.C.

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Formerly Known as

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REV | DATE | DESCRIPTION
07/07/2025 | PROGRESS SET



Michelle Simms

LEARNING CARE GROUP

OLD KNIGHT RD. & HORTON RD.
KNIGHTDALE, NC 27545

NC ARCHITECTURE
FIRM LICENSE # 54174

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CONSTRUCTION
Project Kick Off
SUBMISSION

Colliers

Engineering
& Design

Architecture, Landscape
Architecture, Surveying, CT P.C.

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Colliers Engineering & Design,
Architecture, Landscape Architecture,
Surveying, CT P.C.

PROJECT MANAGER:
JC

DISCIPLINE LEAD:
SO

DESIGNER:
DR

REVIEWER:
CJC

DATE ISSUED:
07/07/2025

PROJECT NUMBER:
25002372A

SHEET NAME:

BUILDING ELEVATIONS &
NOTES

DRAWING NUMBER:

A201

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

EXTERIOR FINISHES & MATERIALS SCHEDULE

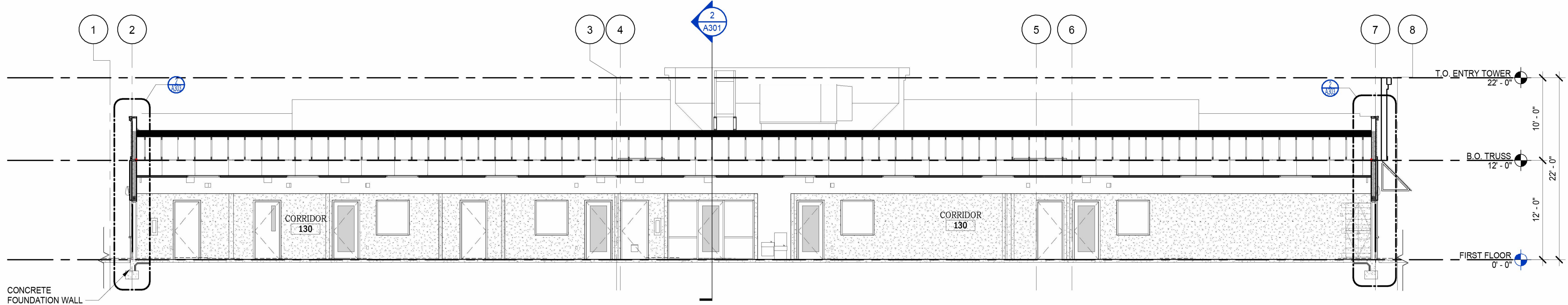
MARK	DESCRIPTION	MANUFACTURER	MODEL	FINISH	PATTERN	REMARKS
BR-1	BRICK VENEER	ACME	CITYSCAPE	SNOWDRIFT	MODULAR, VELOUR	-
BR-2	BRICK VENEER	ACME	CITYSCAPE	DICKENS CREEK	MODULAR, VELOUR	-
GL-1	GLAZING	-	-	CLEAR, LOW-E	-	1" TEMPERED, INSULATED
MS-1	STONE SILL	READING ROCK	ROCKCAST	SMOOTH, CRYSTAL WHITE	-	-
MTL-1	POWDER COATED STEEL	-	-	-	-	-
SD-1	PLANK LAP SIDING	JAMES HARDIE	-	CEDARMILL	NAVAJO BEIGE	-
SSR-1	STANDING SEAM ROOFING	GA&J AWNING	-	MANSARD BROWN	-	-
ST-1	EXTERIOR INSULATION FINISH SYSTEM	DRYVIT	OUTSULATION	#111 PRAIRIE CLAY	SANDPEBBLE DPR	-
TR-1	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-2	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-3	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-4	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-5	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-

GENERAL NOTES:

1. SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
2. SEE DWG. A101 FOR CONSTRUCTION FLOOR PLAN.
3. SEE DWG. A102 FOR PARTITION FLOOR PLAN.
4. SEE DWG. A103 FOR REFLECTED CEILING PLAN.
5. SEE DWG. A106 FOR ROOF PLAN.
6. SEE DWG. A302- A303 FOR WALL SECTIONS.
7. SEE DWG. A401- A406 FOR ENLARGED DRAWINGS.
8. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

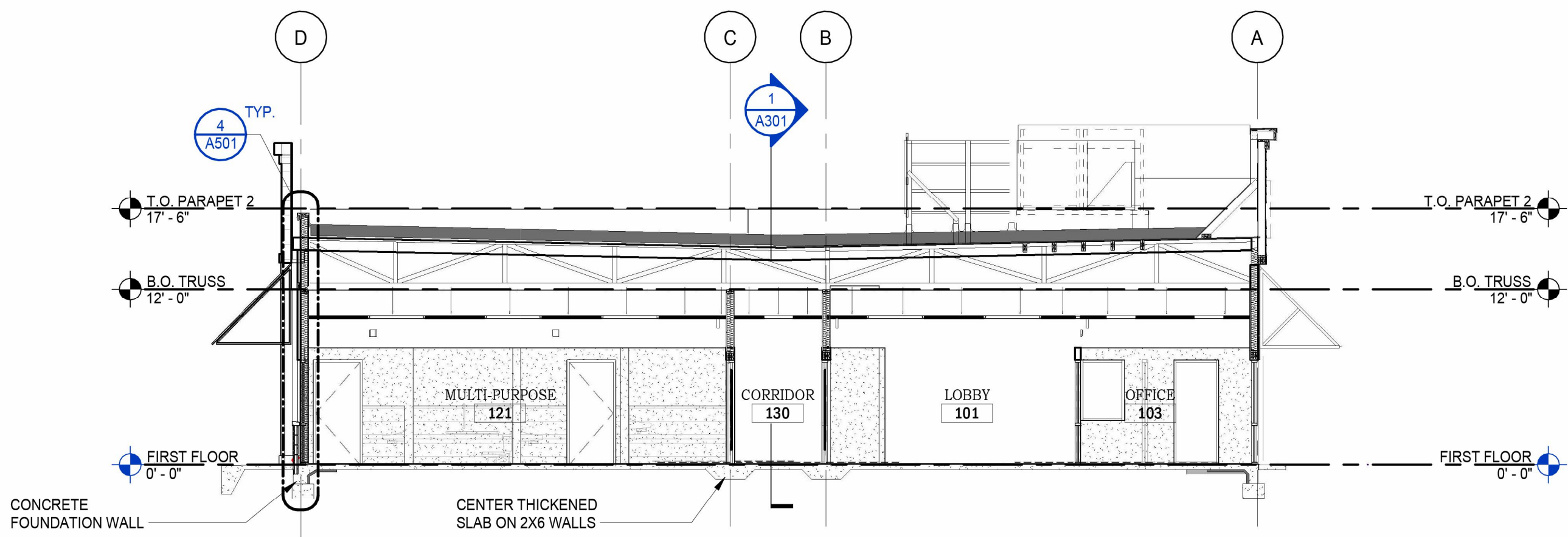
CONSTRUCTION NOTES:

1. WALL BATT INSULATION SHALL BE A MINIMUM VALUE OF R-20 PER ENFORCED ENERGY CODE.
2. ROOFING RIGID INSULATION SHALL BE A MINIMUM VALUE OF R-25 PER ENFORCED ENERGY CODE. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
3. WEATHER BARRIER SHALL BE DRYVIT® BACKSTOP-NT® WEATHER BARRIER.
4. E.I.F. S. SYSTEM SHALL BE DRYVIT® 'OUTSULATION' SYSTEM. THICKNESS AS NOTED ON SECTIONS. SEE EXTERIOR ELEVATIONS, SHEET A201, FOR ADDITIONAL INFORMATION.
5. EXTERIOR SHEATHING SHALL BE 1/2" APA EXTERIOR RATED PLYWOOD -OR- OSB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
6. ROOFING SYSTEM SHALL BE 60 MIL TPO MEMBRANE ROOFING. SEE ROOF PLAN, SHEET A106, FOR ADDITIONAL INFORMATION.
7. METAL FLASHING IN PLAYGROUND AREAS SHALL BE INSTALLED SO THAT THEY DO NOT LEAVE SHARP EDGES OR CORNERS ACCESSIBLE TO THE KIDS. (COLORS TO MATCH ADJACENT FINISHES)
8. ALL SILL CORNERS IN PLAYGROUND FENCED AREAS SHALL BE CHAMFERED, TYP.
9. METAL COPING SHALL BE 0.050 ALUMINUM. SEE NOTED DETAILS FOR ADDITIONAL INFORMATION.



1 BUILDING SECTION

SCALE: 1/8" = 1'-0"



2 BUILDING SECTION

SCALE: 1/8" = 1'-0"

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Formerly Known as

JAM ARCH

REV	DATE	DESCRIPTION
	07/07/2025	PROGRESS SET



Michelle Simms

LEARNING CARE GROUP

OLD KNIGHT RD. & HORTON RD.
KNIGHTDALE, NC 27545

NC ARCHITECTURE
FIRM LICENSE # 54174

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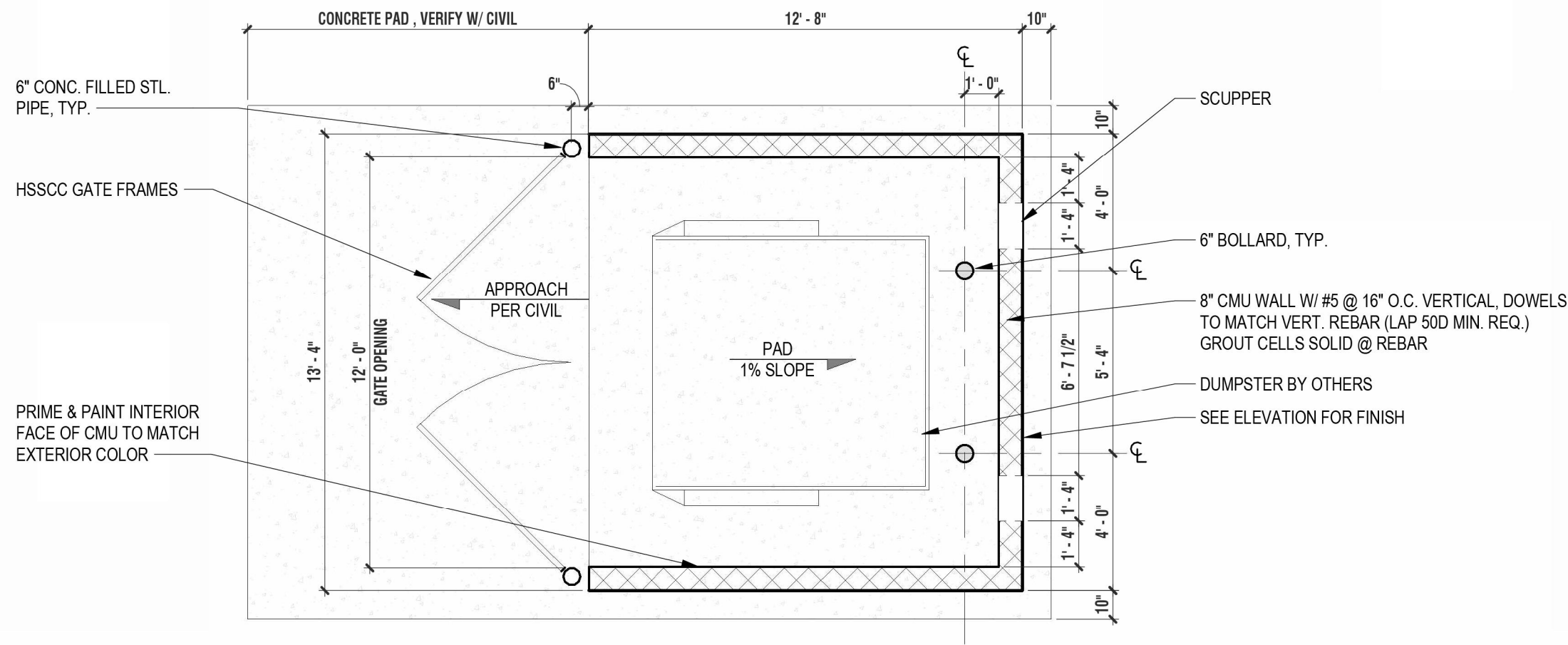
SHEET NAME:

BUILDING SECTIONS

DRAWING NUMBER:

A301

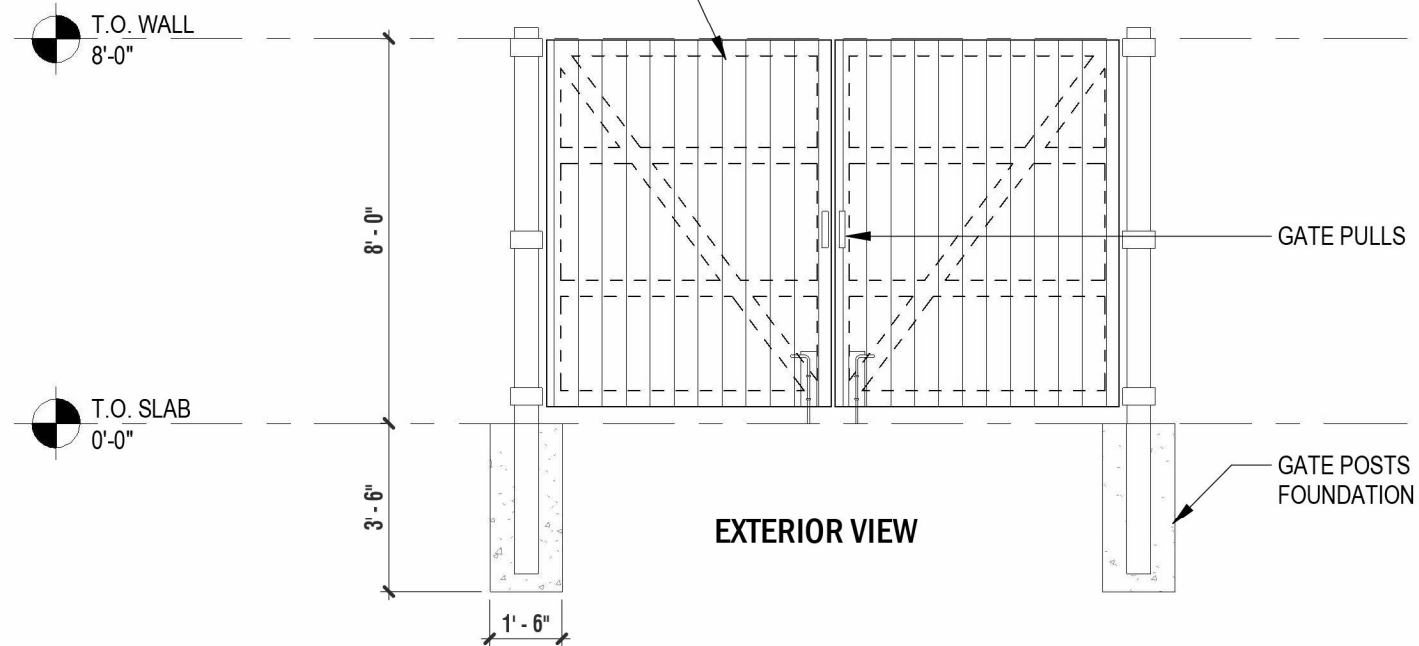
NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.



1 DUMPSTER PLAN

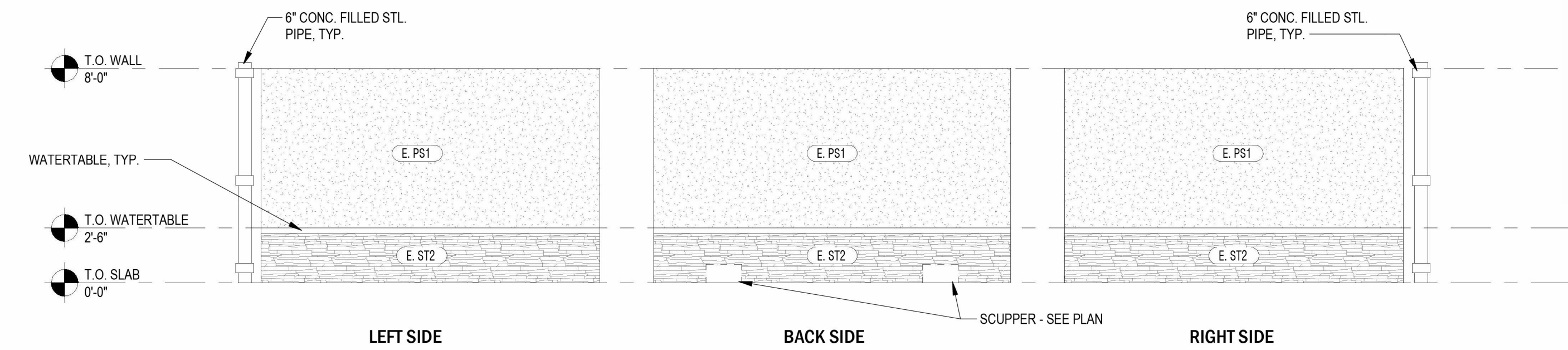
SCALE: 1/4" = 1'-0"

DOUBLE GATES W/ PREFINISHED 1 X 4 PLASTIC LUMBER, SECURE TO STL FRAME W/ THRU BOLTED CARRIAGE BOLTS - 4 PER TRIM BOARD



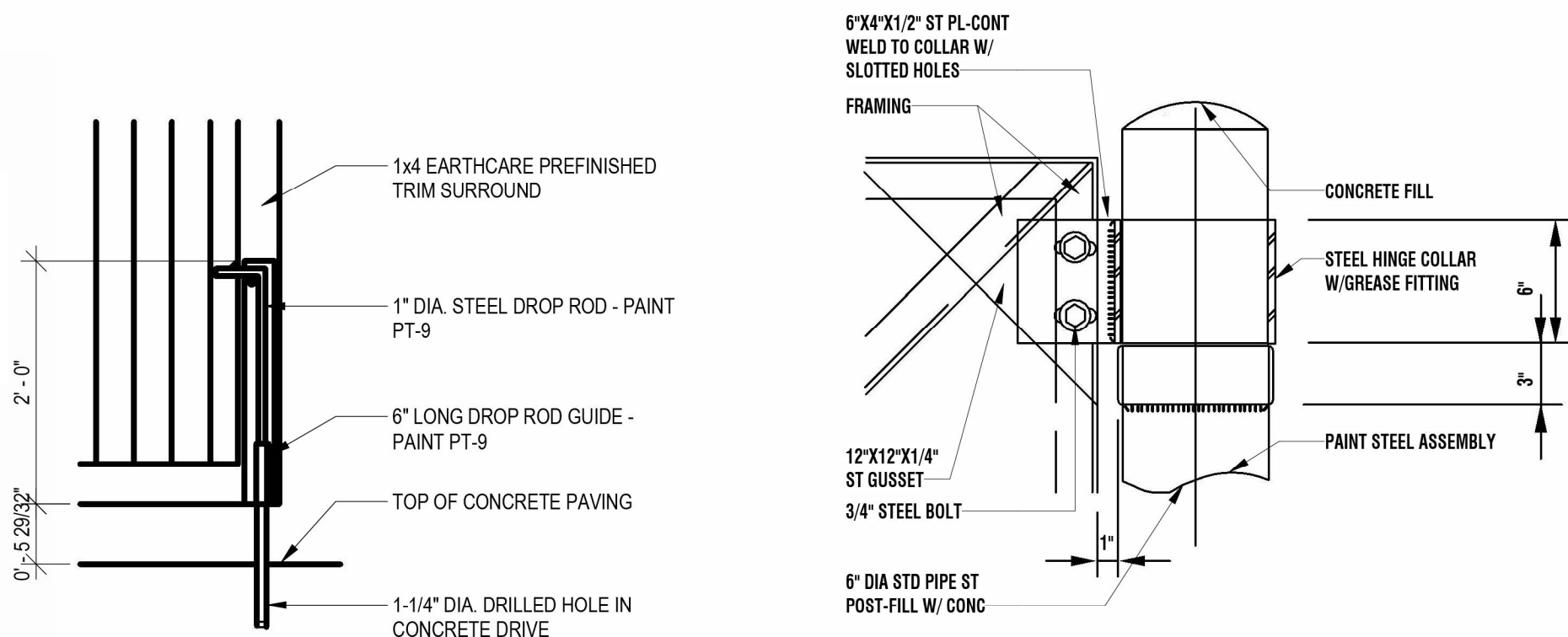
3 DUMPSTER GATE ELEVATIONS

SCALE: 1/4" = 1'-0"



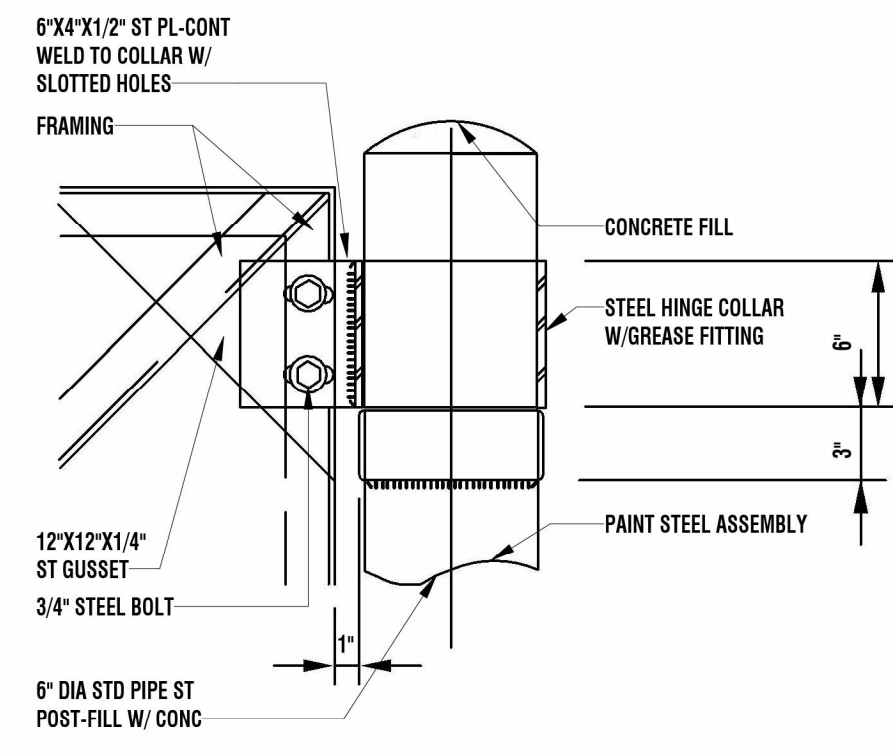
4 DUMPSTER ELEVATIONS

SCALE: 1/4" = 1'-0"



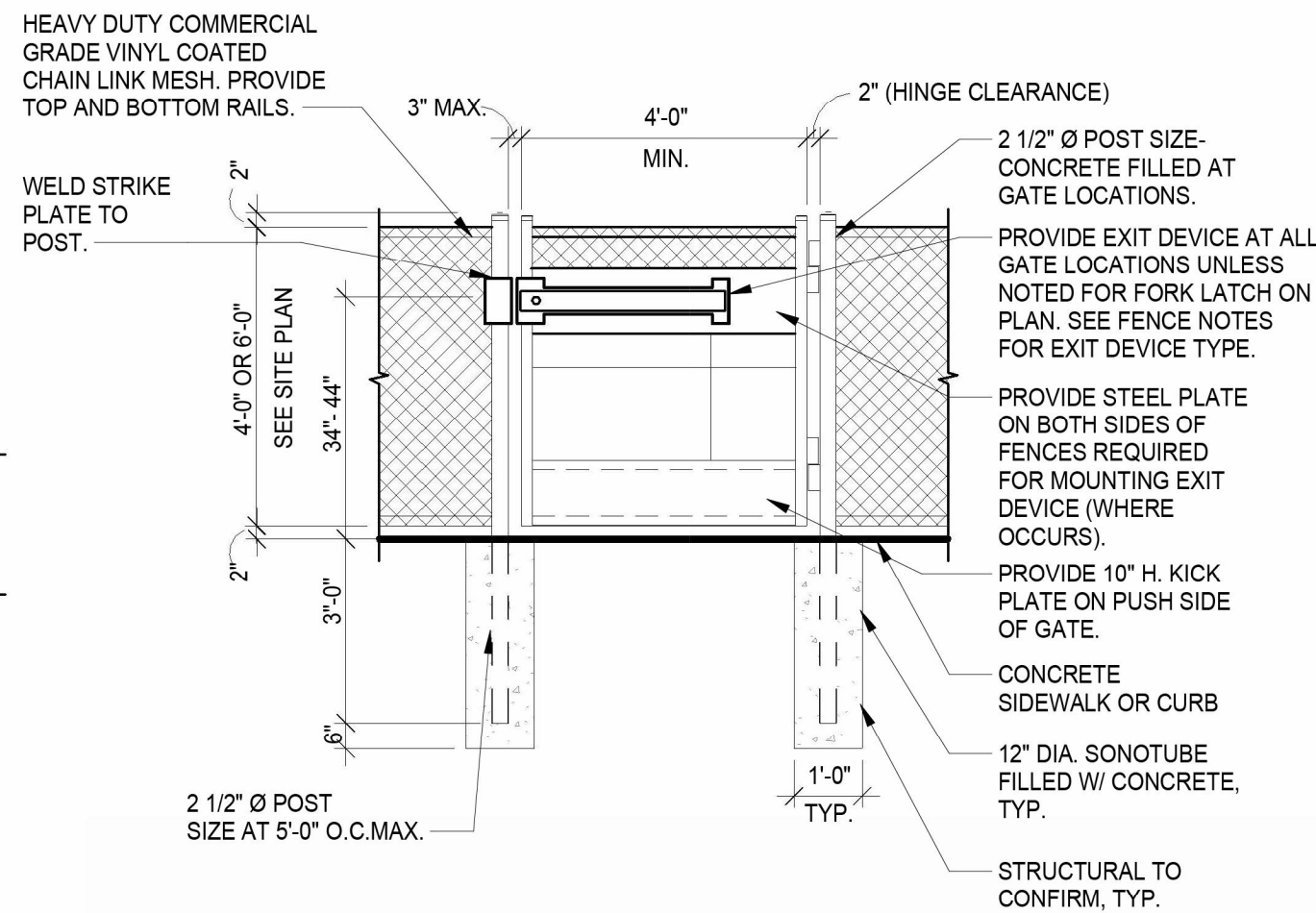
6 DROP ROD DETAIL

SCALE: 3/4" = 1'-0"



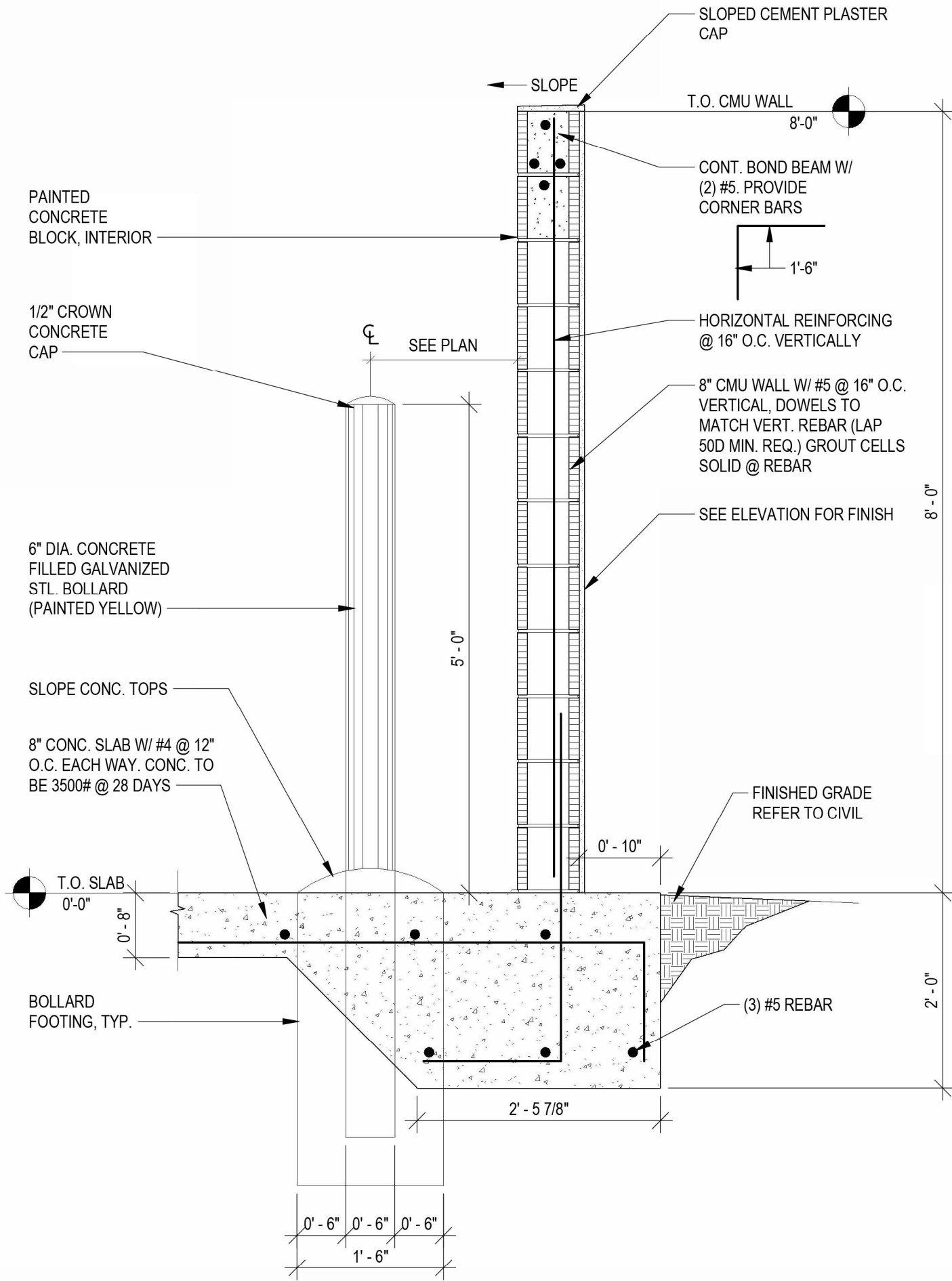
7 HINGE DETAIL

SCALE: 1 1/2" = 1'-0"



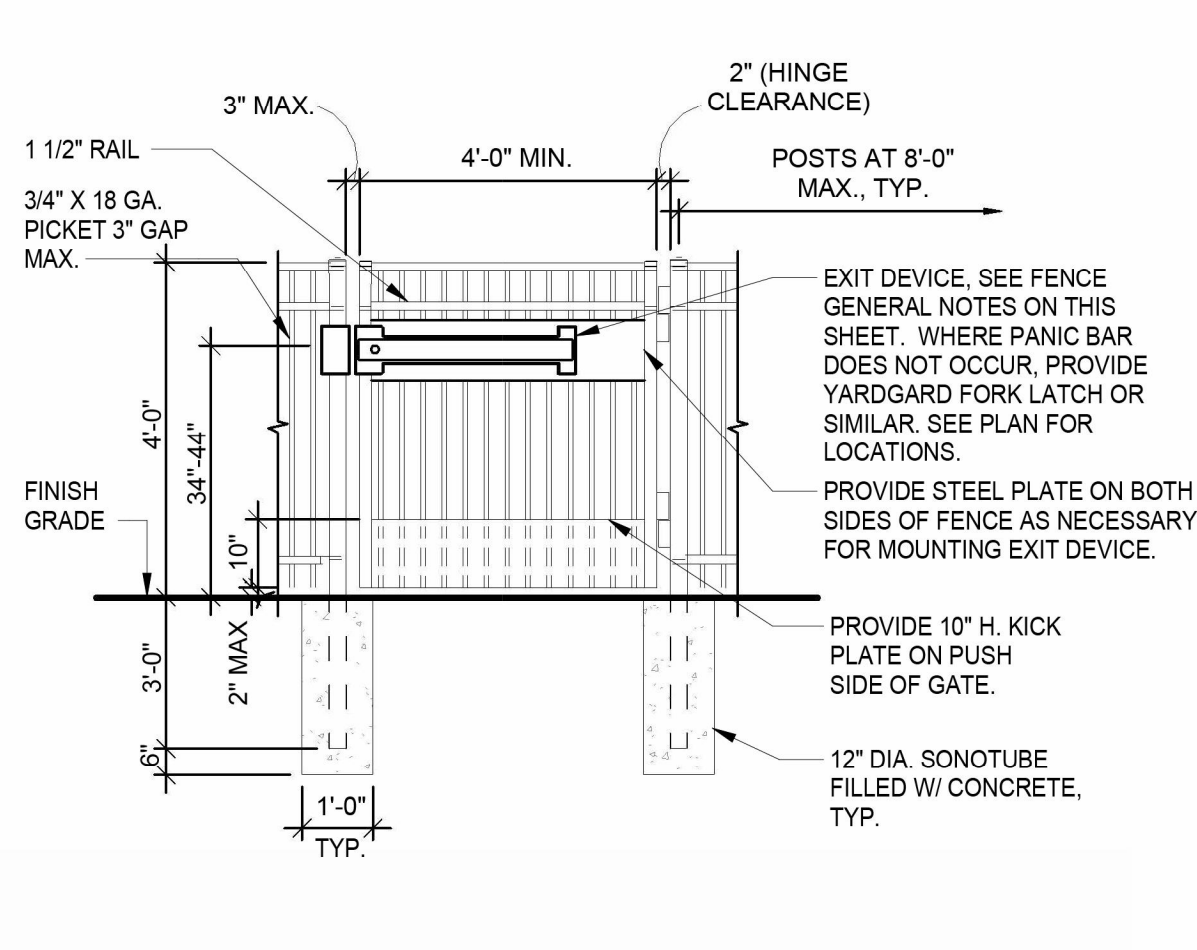
9 CHAIN LINK FENCE GATE

N.T.S.



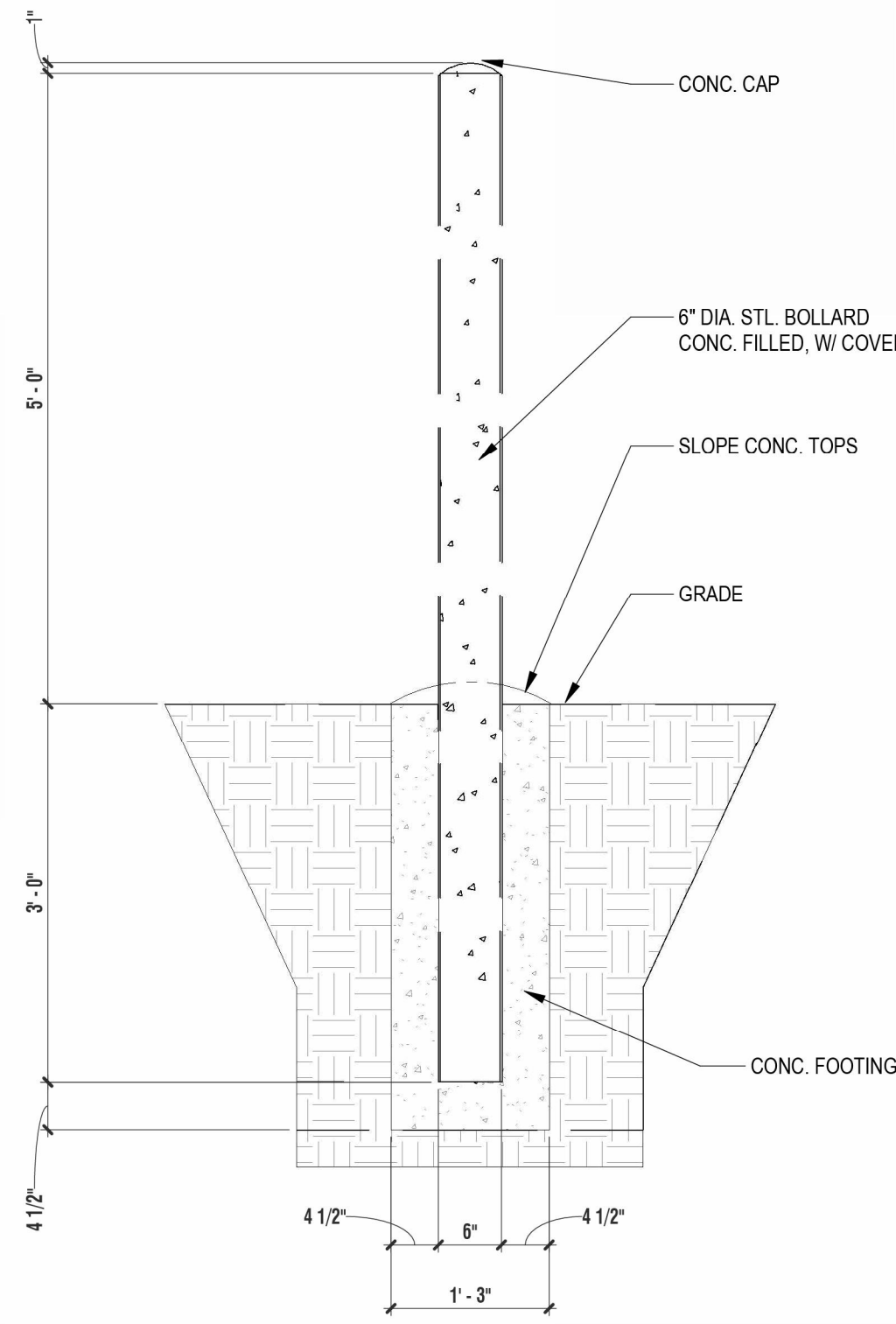
2 DUMPSTER WALL SECTION

SCALE: 3/4" = 1'-0"



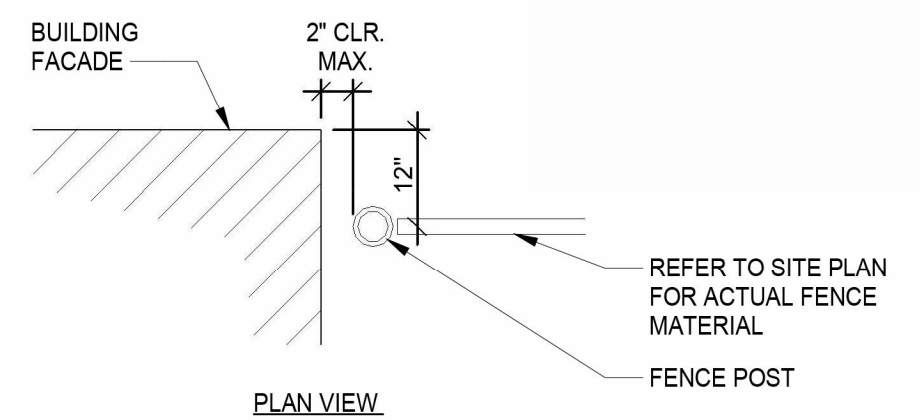
10 ORNAMENTAL FENCE GATE

N.T.S.



5 BOLLARD DETAIL

SCALE: 3/4" = 1'-0"



11 FENCE POST DETAIL

SCALE: 12" = 1'-0"

CONSTRUCTION NOTES:

1. GATES TO HAVE PINS TO HOLD OPEN AND CLOSED WITH COORESPONDING HOLES IN PAVING
2. VERIFY TRASH ENCLOSURE LOCATION, WIDTH AND DEPTH WITH LATEST CIVIL SITE PLAN.
3. VERIFY SLAB ELEVATION AND SLOPE WITH LATEST CIVIL SITE PLAN. BASE ELEVATION NOTED AS 0'-0" FOR REFERENCE ONLY.

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SO

REVIEWER:

CJC

PROJECT NUMBER:

25002372A

DETAILS

DRAWING NUMBER:

AS102

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.

GENERAL CONDITIONS AND NOTES:

1. THE CONSTRUCTION DOCUMENTS CONSIST OF THE WORKING DRAWINGS HEREIN, THE PROJECT MANUAL AND ALL ADDENDA, IN THE EVENT OF A CONFLICT OF DISCREPANCY BETWEEN THE DOCUMENTS, THE CONTRACTOR SHALL BRING SUCH CONFLICT OR DISCREPANCY TO THE ATTENTION OF THE ARCHITECT FOR CLARITY PRIOR TO SUBMITTING A BID.
2. THE ARCHITECT HAS BEEN RETAINED TO PERFORM AT NORMAL SERVICE STANDARDS FOR THE PREPARATION OF THESE PLANS AND SPECIFICATIONS. THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM OTHER SERVICES SUCH AS: CIVIL, SOILS, SPECIAL INSPECTIONS OR SERVICES SUCH AS LEGAL, ENVIRONMENTAL, REAL ESTATE, CONSTRUCTION CONTRACTING OR CONTRACTOR SUPERVISOR.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SOILS OR SUBSURFACE ENGINEERING OR CONDITIONS.
4. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OBTAINING MUNICIPAL APPROVALS, SUCH AS BUILDING DEPARTMENT, ENVIRONMENTAL OR ZONING. THE ARCHITECT SHALL ASSIST THE OWNER AND CONTRACTOR IN THAT EFFORT AS THE NEED ARISES.
5. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ACTIONS OF THE OWNER OR CONTRACTOR. NOR HAS THE ARCHITECT BEEN RETAINED OR ARE THEY RESPONSIBLE FOR SUPERVISION OF THE CONTRACTOR, DESIGN OF SAFETY PROVISIONS AT THE SITE, CONSTRUCTION SCHEDULES OR MEANS AND METHODS OF THE CONSTRUCTION.
6. THE CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.
7. ALL MATERIALS, FORMS, ASSEMBLIES AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MEET ALL MUNICIPAL REQUIREMENTS.
8. INTENT OF THIS SPECIFICATION AND GENERAL CONDITIONS:
MENTIONED HEREIN OR INDICATIONS ON DRAWINGS OR ARTICLES, OPERATIONS, METHODS OR MATERIALS, REQUIRES THAT THE CONTRACTOR PROVIDE EACH ITEM MENTIONED, INDICATED OR IMPLIED TO ACHIEVE THE INTENDED "PROJECT", BUILDING AND SITE WORK, ACCORDING TO THE METHODS OF BEST CONSTRUCTION PRACTICE (OR OF QUALITY OR METHOD SPECIFICALLY NOTED,) IN NO EVENT IS ANY ARTICLE, OPERATION, METHOD OR MATERIAL TO FALL BELOW BEST QUALITY AND FIRST CLASS TRADE. SAFETY STANDARDS AND ZONING AND CODE REQUIREMENTS. IN EVENT OF CONFLICTING STANDARDS, CODES OR SPECIFICATION REQUIREMENTS,THE METHOD, EQUIPMENT AND OPERATION OR MATERIAL OF BEST AND SAFEST QUALITY IS TO GOVERN THE WORK. ALL EQUIPMENT AND MATERIAL IS TO BE NEW AND IS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE SPECIFIED. ALL WORK, ARTICLES, OPERATIONS, METHODS AND MATERIALS ARE TO BE APPROVED BY GOVERNING BUILDING OFFICIALS.
9. GENERAL RESPONSIBILITY:
THE CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR IT'S CORRECTNESS AND SAFETY AND SHALL PROVIDE ALL NECESSARY LINES, LEVELS AND DIMENSIONS AS NOTED. ALL MEASUREMENTS SHALL BE VERIFIED AT THE SITE AND BUILDING BY THE CONTRACTOR AND TRADES BEFORE ORDERING MATERIALS OR DOING ANY WORK. ANY DISCREPANCIES IN SITE, SOIL CONDITIONS, EXISTING BUILDING CONDITIONS, PLANS AND DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGES OR SUBSTITUTIONS MAY BE MADE UNLESS APPROVED BY OWNER AND ARCHITECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE SITE, BUILDING AND ITS FACILITIES AND PROVIDE INSURANCE COVERAGE REQUIRED BY LAW AND GOOD STANDARD PRACTICE.
11. ALL MATERIALS, FORM ASSEMBLIES AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS AND ARE THE RESPONSIBILITY OF THE CONTRACTOR:
11.1 THEY SHALL HAVE BEEN ACCEPTED BY GOVERNING LOCAL AND STATE AGENCIES CODES AT THE EFFECTED DATE OF THE CONTRACT.
11.2. SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS.
12. AT LEAST 48 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE BUILDING DEPARTMENT BEFORE COMMENCEMENT OF WORK AND A BUILDING PERMIT OBTAINED BEFORE STARTING ANY WORK.
13. ALTERED GRADES EXCEEDING 30 DEGREE SLOPE SHALL HAVE A RETAINING WALL FILED AND APPROVED BY THE DEPARTMENT OF BUILDING BEFORE START OF SUCH WORK.
14. ARCHITECT'S STATUS:
THE ARCHITECT IS RESPONSIBLE ONLY TO THE EXTENT OF PROVIDING THE CONSTRUCTION DOCUMENTS, PLANS AND SPECIFICATIONS FOR THIS PROJECT SCOPE. THE ARCHITECT SHALL INTERPRET CONSTRUCTION DOCUMENTS TO THE BEST OF HIS KNOWLEDGE AND BASED ON HIS PROFESSIONAL OPINION, WILL DEFINE THEIR MEANING. THE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF THE CONTRACTOR AND IS NOT RESPONSIBLE FOR SAFETY ON THE JOB OR DELAYS IN CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE NOR BE HELD LIABLE FOR SITE OR CONSTRUCTION SAFETY CONDITIONS, CONSTRUCTION MEANS OR METHODS. THE ARCHITECT IS NOT RESPONSIBLE FOR ADMINISTRATION OF THE CONSTRUCTION. THE ARCHITECT IS NOT RESPONSIBLE FOR ACTIONS OF THE DEVELOPER, CONTRACTOR, SUB CONTRACTORS OR OWNER-USER.

15. SCOPE OF WORK:
THE CONTRACTOR SHALL CONSTRUCT THE PROJECT AS DESCRIBED IN THE CONTRACT DOCUMENTS (THE WORKING DRAWINGS AND SPECIFICATIONS). THE WORD "ARCHITECT" SHALL DESCRIBE JUSTIN A. MIHALIK, A.I.A. THE PROJECT IS DESIGNED TO CONFORM WITH ALL GOVERNING BUILDING CODES AND ZONING REQUIREMENTS AND THOSE ENGAGED IN THE WORK ARE DIRECTED TO MEET THOSE ENDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
16. CONTRACTOR'S INSURANCE:
THE CONTRACTOR SHALL FILE WITH THE OWNER, CERTIFICATES OF THE FOLLOWING COVERAGE INCLUDED BUT NOT LIMITED TO:

A. WORKMEN'S COMPENSATION INSURANCE AS REQUIRED BY ALL GOVERNING LAW.
B. PUBLIC LIABILITY INSURANCE COVERING ANY ONE PERSON AND COVERING SEVERAL PERSONS PER THE A.I.A. DOCUMENTS AS A MINIMUM. MORE COVERAGE MAY BE DESIRED OR NEEDED.
C. PROPERTY DAMAGE INSURANCE: THE CONTRACTOR SHALL OBTAIN AND FILE WITH THE OWNER A CERTIFICATE FOR PROPERTY DAMAGE INSURANCE COVERING EACH ACCIDENT AND COVERING THE AGGREGATE OF OPERATIONS MINIMUM PER THE ABOVE MENTIONED A.I.A. DOCUMENT REQUIRES "AS A MINIMUM". MORE COVERAGE MAY BE DESIRED OR NEEDED.

THE CONTRACTOR SHALL OBTAIN INSURANCE AND PROVIDE CERTIFICATES OF INSURANCE TO THE OWNER. THE CERTIFICATES SHALL CONTAIN A 30 DAY NOTICE OF CANCELLATION CLAUSE ADDRESSED TO OWNER.
17. REQUIRED DOCUMENTATION:
THE OWNER SHALL PROVIDE ALL NECESSARY SURVEYS, SOIL REPORTS AND PERTINENT DATA NEEDED OR REQUESTED BY THE ARCHITECT IN ORDER TO PREPARE PLANS AND SPECIFICATIONS.
18. OWNER'S INSURANCE:
THE OWNER SHALL EFFECT AND MAINTAIN ALL INSURANCE COVERAGES AS REQUIRED. ALL INSURANCE DESCRIBED HEREIN IS A RECOMMENDED MINIMUM. MORE COVERAGE MAY BE NEEDED.
19. VISITING THE SITE:
THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE CONDITIONS THAT EXIST. THE CONTRACTOR SHALL INFORM THE OWNER AND ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED BY THE WORKING DRAWINGS OR SPECIFICATIONS OR DISCREPANCIES IN EXISTING CONDITIONS.
20. LAYOUT OF WORK:
A SURVEY IS TO BE MADE AVAILABLE FROM THE OWNER TO THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL LAY OUT THE WORK AND ESTABLISH ELEVATIONS, ACCURATELY MARKED ON SUBSTANTIAL BATTER BOARDS.
21. MEASUREMENTS AND DIMENSIONS:
MEASUREMENTS AND DIMENSIONS, INDICATED ON THE DRAWINGS ARE NOMINAL. THEY SHALL BE ADHERED TO WHEREVER PRACTICAL. MAJOR DEVIATIONS IN DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH WORK. PRIOR TO CONTRACTOR'S PURCHASE OF ANY BUILT-IN EQUIPMENT OR CABINETS, THE CONTRACTOR IS TO TAKE FIELD DIMENSIONS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
22. TAXES:
THE CONTRACTOR IS LIABLE FOR ALL STATE AND FEDERAL EMPLOYER'S AND EMPLOYEE'S TAXES, SALES TAXES AND WITHHOLDING TAXES.
23. GUARANTEE:
THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINALACCEPTANCE OF THE BUILDING AND A CERTIFICATE OF OCCUPANCY IS OBTAINED.
24. CONTRACT DRAWINGS:
THE CONTRACT DRAWINGS, WHICH ACCOMPANY AND FORM A PART OF THESE DOCUMENTS ARE ATTACHED HEREINAFTER. THE CONTRACT DRAWINGS DO NOT SHOW ALL THE DETAILS OF THE WORK AND ARE INTENDED ONLY TO ILLUSTRATE THE CHARACTER AND EXTENT OF THE WORK TO BE PERFORMED. ACCORDINGLY, THEY MAY BE SUPPLEMENTED DURING THE PERFORMANCE OF THE WORK BY THE ARCHITECT OR BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE ARCHITECT TO THE EXTENT NECESSARY TO FURTHER ILLUSTRATE THE WORK AND SHALL, AT ALL TIMES, REMAIN THE POSSESSION OF THE ARCHITECT.
25. ADDITIONAL DRAWINGS:
THE CONTRACTOR SHALL PROVIDE ALL SHOP DRAWINGS WHICH MAY BE NECESSARY OR REQUIRED. THE SIZE OF THE DRAWINGS, THE NUMBER OF COPIES AND THE DETAILS TO BE SHOWN THEREON SHALL BE AS APPROVED BY THE OWNER IN ADVANCE OF THEIR PREPARATION. BEFORE ISSUING ANY SHOP DRAWINGS, THE CONTRACTOR SHALL SUBMIT PRINTS THEREOF, INCLUDING THE REQUIRED NUMBER OF REVISED PRINTS, UNTIL THE DRAWINGS ARE APPROVED BY THE OWNER. AFTER APPROVAL THEREOF, NO CHANGE SHALL BE MADE THEREON UNLESS APPROVED, IN WRITING, BY THE OWNER. TRACINGS OF SHOP DRAWINGS SHALL BE DELIVERED TO THE OWNER PRIOR TO FINAL PAYMENT.

26. LAWS AND ORDINANCES:
IN ORDER TO EFFECTUATE THE WORK PROPERLY, THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF FEDERAL, STATE, MUNICIPAL AND DEPARTMENTAL LAWS, CODES ORDINANCES, RULES, REGULATIONS AND ORDERS WHICH WOULD AFFECT THE WORK AND ITS PERFORMANCE AND THOSE ENGAGED THEREIN. THE WORK IS TO CONFORM WITH ALL GOVERNING BUILDING CODES, AND ZONING REQUIREMENTS AND THOSE ENGAGED THEREIN ARE DIRECTED TO MEET THOSE ENDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECTS IMMEDIATELY.
27. APPROVALS:
ANY APPROVAL BY THE ARCHITECT OR ANYTHING DONE OR PROPOSED TO BE DONE BY THE CONTRACTOR SHALL BE CONSTRUED MERELY TO MEAN THAT AT THAT TIME THE ARCHITECT KNOWS OF NO GOOD REASON FOR OBJECTING TO THERETO: AND NO SUCH APPROVAL SHALL RELIEVE THE CONTRACTOR FROM HIS FULL RESPONSIBILITY FOR THE COMPLETE AND ACCURATE PERFORMANCE OF THE WORK IN ACCORDANCE HEREWITH OR FROM ANY DUTY, OBLIGATION OR LIABILITY IMPOSED UPON HIM BY THE CONTRACT OR FROM RESPONSIBILITY FOR INJURIES TO PERSONS OR DAMAGE TO PROPERTY.
28. CONTRACTOR'S REPRESENTATIVE:
DURING THE PERFORMANCE OF ANY WORK AT THE SITE, THE CONTRACTOR SHALL HAVE A REPRESENTATIVE PRESENT WHO SHALL BE AUTHORIZED BY THE CONTRACTOR TO SUPERVISE THE WORK AND BE RESPONSIBLE FOR SAFELY CONDUCTING OPERATIONS AND ACTIVITIES. THE SUPERVISOR SHOULD BE DEDICATED TO THE PROJECT FOR ITS DURATION AND NOT BE REPLACED WITHOUT 30 DAYS NOTICE TO THE OWNER.
29. INSPECTIONS:
ALL CONTROLLED INSPECTIONS SHALL BE PERFORMED BY THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL PROVIDE THE REQUIRED NOTICE FOR SAME AND BE PRESENT FOR ALL SUCH INSPECTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PERSON DESIGNATED, WITH AMPLE NOTICE, TO MAKE SUCH INSPECTIONS.

REPORTS OF ALL INSPECTIONS OF MATERIALS AND REQUIRED TESTS SHALL BE FILED WITH THE OWNER WITH A SIGNED STATEMENT BY THE PERSON DESIGNATED FOR SUCH INSPECTION BEFORE FINAL PAYMENT.

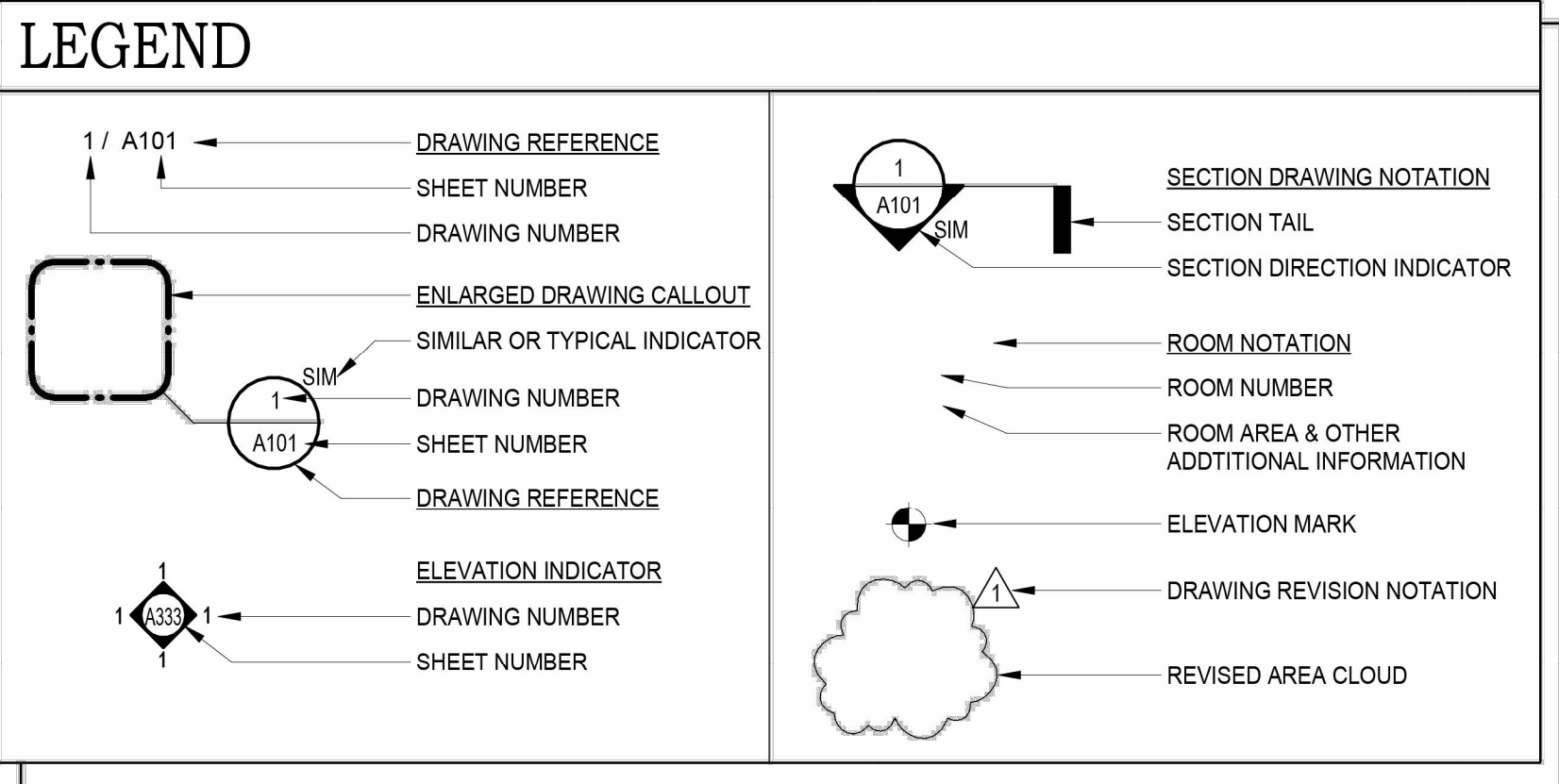
INSPECTIONS INCLUDE BUT SHALL NOT BE LIMITED TO:

A. SUB SOIL TEST
B. INSPECTION OF SUB-GRADE PRIOR TO INSTALLATION OF ANY FOOTINGS.
C. PLACEMENT OF CONCRETE MATERIALS FOR STRUCTURAL ELEMENTS
D. FOUNDATIONS
E. STRUCTURAL STEEL
F. LIGHT GAUGE METAL FRAMING
G. FIRE STOPPING FOR PENETRATIONS
H. ELECTRICAL, PLUMBING AND MECHANICAL.
30. FINAL INSPECTION:
WHEN, IN THE OPINION OF THE CONTRACTOR, THE WORK IS COMPLETED AND READY FOR FINAL INSPECTION, HE SHALL NOTIFY THE OWNER AND BUILDING DEPARTMENT OFFICIAL AND THE OWNER EITHER IN PERSON OR BY A DESIGNATED REPRESENTATIVE, WILL INSPECT THE WORK. BEFORE A CERTIFICATE OF FINAL COMPLETION WILL BE ISSUED BY THE OWNER AND BUILDING DEPARTMENT OFFICIALS, ANY DEFECTS OR OMISSIONS NOTED ON THIS INSPECTION MUST BE MADE GOOD BY THE CONTRACTOR.
31. SURVEYS:
FINAL SURVEY - AN ACCURATE AND COMPLETE PROPERTY SURVEY, MADE AND SEALED BY A PROFESSIONAL LICENSED LAND SURVEYOR, MAY BE REQUIRED. AFTER COMPLETION OF ALL WORK, THIS SURVEY MAY BE REQUIRED TO SHOW LOCATION OF NEW WORK, ELEVATION OF FLOOR LEVELS, ELEVATIONS OF FINISHED GRADES AND ELEVATIONS AT PROPERTY LINE INTERSECTIONS, LOCATION AND BOUNDARIES OF THE LOT, AND ALL BUILDINGS. IF MUNICIPAL OR OTHER AGENCIES REQUIRE SUCH A SURVEY, IT SHALL BE ORDERED BY THE CONTRACTOR AND PAID FOR BY THE OWNER.

THE CONTRACTOR SHALL PROTECT AREAS ADJACENT TO THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE AND BUILDING IN A NEAT, CLEAN AND SAFE CONDITION AND SHALL, AT COMPLETION OF THE JOB, TURN OVER THE SITE AND BUILDING TO THE OWNERS IN A CONDITION SUITABLE TO MOVE IN. ALL SURFACES SHALL BE CLEAN AND READY FOR FURNISHING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES AND IS RESPONSIBLE FOR CONSTRUCTING THE WORK ACCORDING TO PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, NOTES, WORK, ETC. AT THE JOB SITE BEFORE ANY WORK IS STARTED, BE RESPONSIBLE FOR SAME AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT BEFORE WORK IS STARTED WITH AMPLE TIME FOR CHANGES TO BE MADE.
- ALL PLANS ARE REQUIRED TO HAVE THE APPROVAL OF THE MUNICIPAL AUTHORITIES AND OTHER AGENCIES. THE PLANS ARE SUBJECT TO REVIEW AND COMMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT WILL SUPPLY THREE (3) COPIES OF SIGNED AND SEALED SETS OF PLANS FOR THE CONTRACTOR TO PRESENT TO MUNICIPAL AUTHORITIES. NO WORK IS TO BE DONE UNTIL A BUILDING PERMIT IS OBTAINED.
32. CHANGES TO THE BUILDING DESIGN:

NO CHANGES ARE TO BE MADE TO THE BUILDING WHICH DEViate FROM THESE GENERAL CONDITIONS, TECHNICAL NOTES OR CONSTRUCTION DOCUMENTS, WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. IF THE CONTRACTOR OR OWNER PROCEED WITH ANY CHANGES WITHOUT PRIOR APPROVAL BY THE ARCHITECT THEY WILL DO SO AT THEIR OWN RISK AND SUCH CHANGES MAY REQUIRE REMOVAL.
33. WORK INCLUDED:

THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS.



ABBREVIATIONS											
ABV.	ABOVE	DIAG.	DIAGONAL	F.D.	FLOOR DRAIN	JSTS.	JOISTS	P.T.	PRESSURE TREATED	U.C.	UNDERCUT
A.C.T.	ACOUSTICAL CLG. TILE	DEMO.	DEMOLITION	FIN.	FINISH	L.P.	LOW POINT	PTD.	PAINTED	UNF.	UNFINISHED
ADJ.	ADJACENT	DET.	DETAIL	F.A.C.P.	FIRE ALARM CONTROL PANEL			PART.	PARTITION	U.O.N.	UNLESS OTHERWISE NOTED
A.F.F.	ABOVE FINISH FLOOR	D.F.	DRINKING FOUNTAIN	F.A.R.P.	FIRE ALARM REMOTE PANEL	MAR.	MARBLE	PL.	PLATE		
ALUM.	ALUMINUM	DIA.	DIAMETER	FAST.	FASTENED	F.P.	MAX.	PLAM.	PLASTIC LAMINATE	V.C.T.	VINYL COMPOSITION TILE
ANG.	ANGLE	DM.	DIMENSION	FIREPROOF	ANGLE	MFR.	MECHANICAL	PLYWD.	PLYWOOD	VEST.	VESTIBULE
APPROX.	APPROXIMATELY	DN.	DOWN	F.P.S.C.	FIREPROOF SELF-CLOSING	MIN.	MINIMUM	REINF.	REINFORCEMENT	V.I.F.	VERIFY IN FIELD
A.S.M.L.	ABOVE MEAN SEA LEVEL	DR	DOOR	FL.	FLOOR	MISC.	MISCELLANEOUS	REQD.	REQUIRED	WD.	WOOD
		D.O.	DITTO	FR	FIRE RATED	M.O.	MASONRY OPENING			W/	WITH
		DWG.	DRAWING	FRM	FRAME	MTL.	METAL	SIM.	SIMILAR	WO.	WITHOUT
BLK.	BLOCKING	EA	EACH	FLUOR.	FLUORESCENT	NOM.	NOMINAL	SPEC.	SPECIFICATIONS		
BD.	BOARD	ELEC.	ELECTRICAL	FT.	FEET	N.	NORTH	S.F.	SQUARE FEET		
BLDG.	BUILDING	ELEV.	ELEVATOR	GALV.	GALVANIZED	N.C.	NON-CORROSIVE	S.S.	SOLID SURFACE		
BM.	BEAM	EL.	ELEVATION	GA.	GAUGE	N.I.C.	NOT IN CONTRACT	ST. STL.	STAINLESS STEEL		
B.O.	BOTTOM OF	EQUIP.	EQUIPMENT	G.C.	GENERAL CONTRACTOR	N.T.E.	NOT TO EXCEED	STL.	STEEL		
CLG.	CEILING	EXIST.	EXISTING	GLAZ.	GLAZING	N.T.S.	NOT TO SCALE	STRUCT.	STRUCTURAL		
CNCR.	CONCRETE	EQ.	EQUAL	G.W.B.	GYPSPUM WALL BOARD	NO.	NUMBER	SUSP.	SUSPENDED		
CONST.	CONSTRUCTION	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	GYP.	GYPSPUM	H.P.	HIGH POINT	T & S	TAPE & SPACKLE		
CONT.	CONTINUOUS					HT.	HEIGHT	TEL	TELEPHONE		
C.M.U.	CONCRETE MASONRY UNIT					H.M.	HOLLOW METAL	THK.	THICK		
						INSUL.	INSULATION	T.O.	TOP OF		
								TYP.	TYPICAL		

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JAM ARCH

REV | DATE | DESCRIPTION

07/07/2025 | PROGRESS SET



Michelle Simms

LEARNING CARE GROUP

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KNIGHTDALE, NC 27545

NC ARCHITECTURE
FIRM LICENSE # 54174

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DISCIPLINE LEAD: SO

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REVIEWER: CJC

DATE ISSUED: 07/07/2025

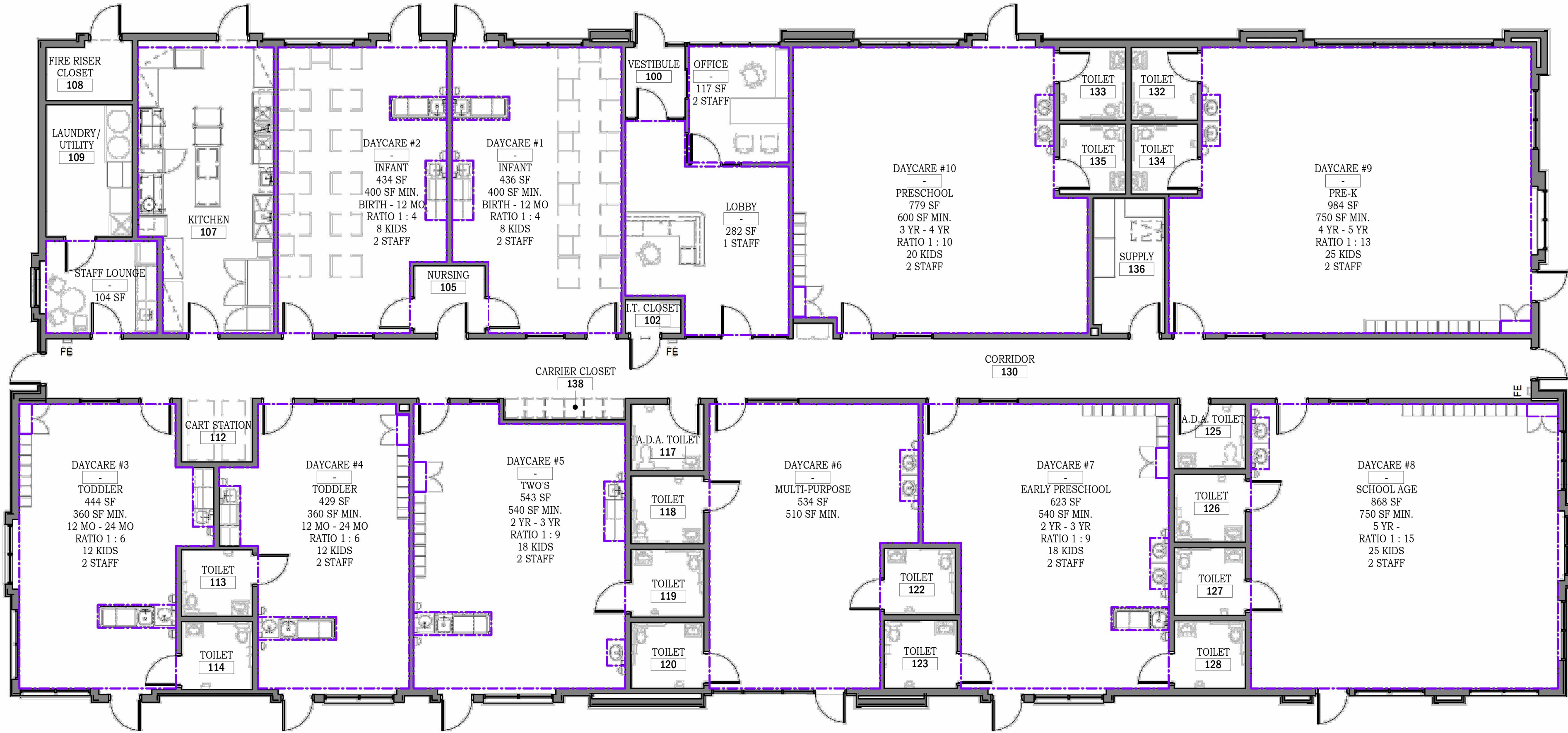
PROJECT NUMBER: 25002372A

SHEET NAME:

GENERAL CONDITIONS & RESPONSIBILITY MATRIX

DRAWING NUMBER:

G002



1 LICENSING PLAN
SCALE: 1/8" = 1'-0"

NORTH CAROLINA CHILDCARE LICENSING				
AGE RANGE	DESIGNATION	MAX GROUP	TEACHER TO CHILD RATIO	AREA PER CHILD
0 MO TO 12 MO	INFANT	10	1 TO 5	25 SF
1 YR TO 2 YR		12	1 TO 6	25 SF
2 YR TO 3 YR	TODDLER	20	1 TO 10	25 SF
3 YR TO 4 YR		25	1 TO 15	25 SF
4 YR TO 5 YR	PRESCHOOL (IF NOT ENROLLED IN SCHOOL)	25	1 TO 20	25 SF
5 YR +		25	1 TO 25	25 SF
-	OUTDOOR PLAY AREA	-	-	75 SF

CHILDCARE LICENSING								
ROOM	AREA (S.F.)		AGE RANGE	DESIGNATION	TEACHER TO CHILD RATIO	AREA PER CHILD	# OF CHILDREN	# OF STAFF
	ACTUAL	REQUIRED						
OFFICE	120 SF							2
LOBBY	282 SF							1
STAFF LOUNGE	104 SF							0
KITCHEN	363 SF							1
DAYCARE #1	436 SF	400 SF	BIRTH to 12 MO	INFANT	1 to 4	50 SF	8	2
DAYCARE #2	434 SF	400 SF	BIRTH to 12 MO	INFANT	1 to 4	50 SF	8	2
DAYCARE #3	444 SF	360 SF	12 MO to 24 MO	TODDLER	1 to 6	30 SF	12	2
DAYCARE #4	429 SF	360 SF	12 MO to 24 MO	TODDLER	1 to 6	30 SF	12	2
DAYCARE #5	544 SF	540 SF	2 YR to 3 YR	TWO'S	1 to 9	30 SF	18	2
DAYCARE #6	534 SF	510 SF	-	MULTI-PURPOSE	-	30 SF	-	-
DAYCARE #7	623 SF	540 SF	2 YR to 3 YR	EARLY PRESCHOOL	1 to 9	30 SF	18	2
DAYCARE #8	868 SF	750 SF	5 YR to	SCHOOL AGE	1 to 15	30 SF	25	2
DAYCARE #9	984 SF	750 SF	4 YR to 5 YR	PRE-K	1 to 13	30 SF	25	2
DAYCARE #10	779 SF	600 SF	3 YR to 4 YR	PRESCHOOL	1 to 10	30 SF	20	2
	6944 SF	5210 SF					146	22

GENERAL NOTES:

- SEE DWG. G001 FOR LIST OF DRAWINGS AND BUILDING CODE NOTES.
- SEE DWG. G002 FOR GENERAL CONDITIONS.
- SEE DWG. G003 FOR RESPONSIBILITY MATRIX.
- SEE DWG. G005-G006 FOR ACCESSIBILITY DETAILS.
- SEE DWG. G101 FOR LIFE SAFETY PLAN AND LIFE SAFETY CODE NOTES.
- SEE DWG. A101 FOR CONSTRUCTION FLOOR PLAN.
- SEE DWG. A701 FOR PLAYGROUND PLAN.

LEGEND

- AREA BOUNDARY LINE
- ROOM NAME
[TO]
AGE DESCRIPTION
ACTUAL S.F.
REQUIRED MINIMUM AREA
MINIMUM - MAXIMUM AGE
TEACHER : CHILD RATIO
NO. OF CHILDREN
NO. OF STAFF

ROOM LICENSING TAG

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PROJECT MANAGER:	DISCIPLINE LEAD:
JC	SO
DESIGNER:	REVIEWER:
DR	CJC
DATE ISSUED:	PROJECT NUMBER:
07/07/2025	25002372A
SHEET NAME:	

LICENSING PLAN,
CHILDCARE LICENSING
SCHEDULE & NOTES

DRAWING NUMBER:

G102

NOTE: DO NOT SCALE DRAWING FOR CONSTRUCTION.