

MASTER PLAN REVIEW

KNIGHTDALE DAYCARE (ZCP-3-25)

0 JASMINE VIEW WAY
KNIGHTDALE, NORTH CAROLINA 27545
WAKE COUNTY

OWNER/DEVELOPER:

HAYWOOD GLEN INVESTMENTS LLC
MICHELLE SIMMS-REITER AND PABLO REITER
MICHELLE@PRMSINV.COM
919-796-6783

**CIVIL ENGINEER/
LANDSCAPE ARCHITECT:**

TIMMONS GROUP
MIKE DAVIDSON
5410 TRINITY ROAD
SUITE 102
RALEIGH, NC 27607
MIKE.DAVIDSON@TIMMONS.COM
PH: (984) 222-1610

ARCHITECT:

COLLIERS ENGINEERING & DESIGN
JONATHAN CREEL
5901 VEGA AVE, SUITE 100
AUSTIN, TX 78735
JONATHAN.CREEL@COLLIERSENG.COM
PH: 432.770.3630

SURVEYOR:

MCKIM & CREED
KEVIN D. MEDEIROS
4300 EDWARDS MILL ROAD
RALEIGH, NC 27612
CSEAMSTER@MCKIMCREED.COM
PH: (919) 233-8091

SITE PLAN SUMMARY	
PROJECT:	KNIGHTDALE DAYCARE
OWNER:	HAYWOOD GLEN INVESTMENTS LLC
PROJECT ADDRESSES:	0 JASMINE VIEW WAY, KNIGHTDALE, NORTH CAROLINA 27545
PIN(S):	1755-84-4894
JURISDICTION:	TOWN OF KNIGHTDALE
ZONING:	RMX-PUD
EXISTING USE:	VACANT
PROPOSED USE:	DAYCARE
FLOOD ZONE:	NOT LOCATED IN FLOOD HAZARDOUS AREA PER FEMA MAP #3720175500K (EFFECTIVE 07/19/2022)
TOTAL LOT AREA:	1.50 AC.±
EXISTING IMPERVIOUS SURFACE AREA:	1,555 SF
PROPOSED IMPERVIOUS SURFACE AREA:	34,691 SF
PROPOSED DAYCARE BUILDING SQUARE FOOTAGE:	10,235 SF
REQUIRED BUILDING SETBACKS:	FRONT SETBACK (MIN.) - 10' FRONT SETBACK (MAX.) - 30' SIDE SETBACK - 6'
VEHICULAR PARKING FOR CHILD DAYCARE CENTER WITH MORE THAN SIX (6) PERSONS	MAXIMUM SPACES = 0.35 VEHICULAR SPACES PER PERSON LICENSED CAP. MINIMUM SPACES = 146, # OF LICENSED STAFF = 22, TOTAL = 168 # OF LICENSED CHILDREN = 146, # OF LICENSED STAFF = 22, TOTAL = 168 168 X 0.35 = 59 MAXIMUM SPACES 59/2 = 30 MINIMUM SPACES
VEHICLE PARKING SUMMARY: PROVIDED	39 VEHICULAR PARKING SPACES (INCLUDES 1 ADA SPACE THAT IS VAN ACCESSIBLE & SPACES)



VICINITY MAP
SCALE: 1" = 500'

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	SURVEY
C2.0	SITE LAYOUT PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SPOT GRADING PLAN AND STORM TABLES
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C6.1	LANDSCAPE NOTES AND DETAILS
C7.0	NOTES AND DETAILS
25-0280A	SITE LIGHTING ARRANGEMENT
PR02	PROPOSED ELEVATIONS
PR03	PROPOSED FINISHES
PR04	PROPOSED ELEVATIONS

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REVISION DESCRIPTION
TOWN OF KNIGHTDALE MASTER PLAN SUBMITTAL #1

DATE
07/28/2025

DRAWN BY
332

DESIGNED BY
332

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

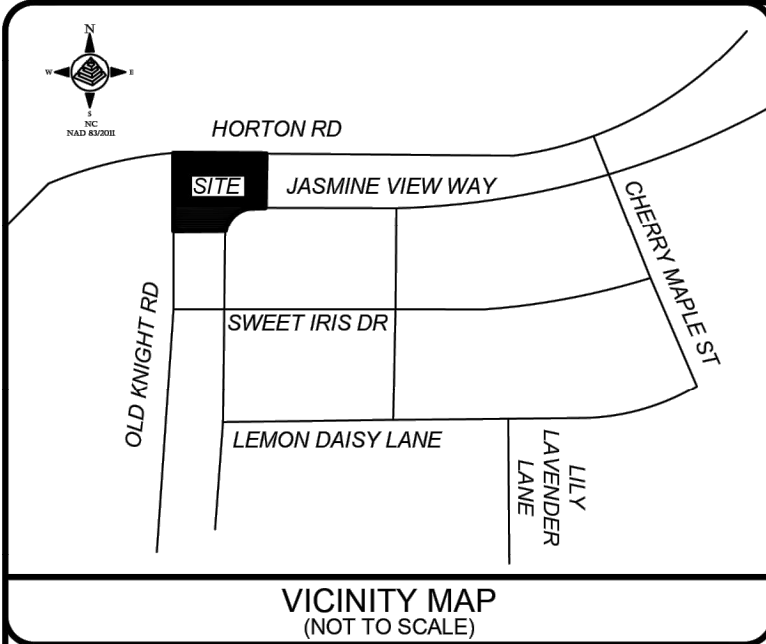
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
COVER SHEET

JOB NO.
70434

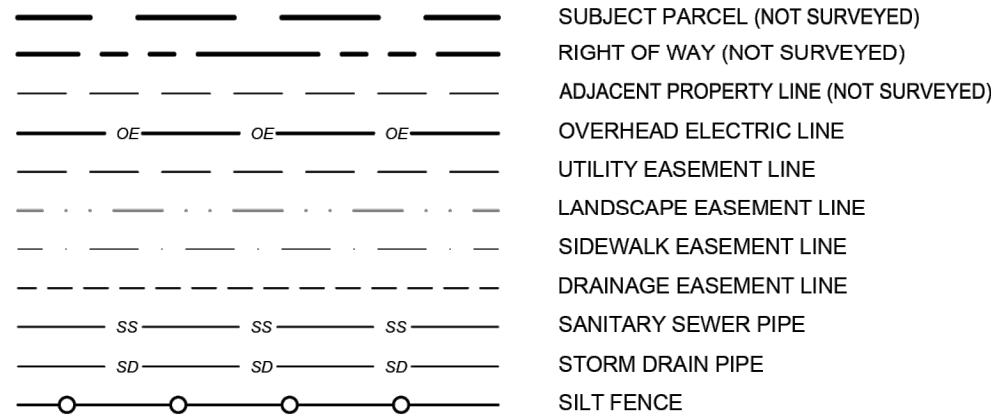
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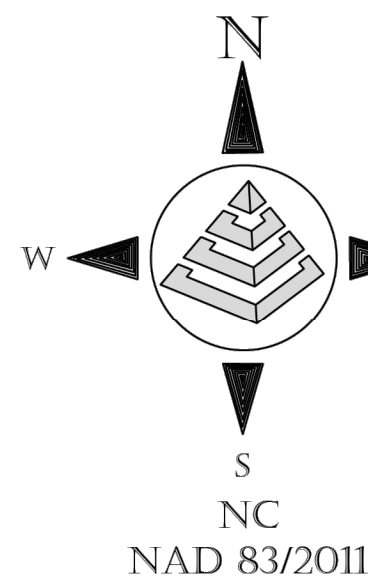
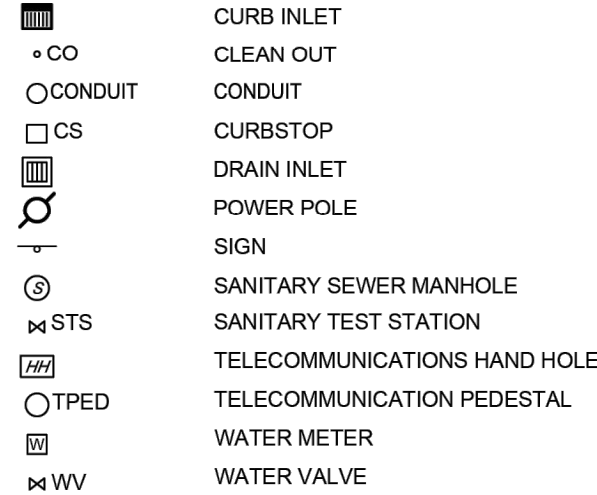
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE,
WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



LINETYPE LEGEND



LEGEND



SURVEY NOTES:

- THE PURPOSE OF THIS SURVEY IS TO PERFORM AN EXISTING CONDITION SURVEY AHEAD OF THE DESIGN OF A PROPOSED COMMERCIAL BUILDING LOCATED IN THE TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA PREVIOUSLY KNOWN AS PARCEL 1755844894.
- THE DEPICTED SURVEY WAS DERIVED FROM AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE AND PERFORMED JANUARY 3, 2025.
- OWNER INFORMATION PER DEEDS AND PLATS OF THE WAKE COUNTY REGISTER OF DEEDS.
- VR5 GPS OBSERVATIONS (3 MINUTE MULTIPLE OBSERVATIONS) WERE MADE ON TWO (2) MAIN CONTROL POINTS TO ESTABLISH GEODETIC AND STATE GRID COORDINATES (NAD83 NSRS 2011) USING AVERAGE POSITIONS FROM THE MULTIPLE OBSERVATIONS. THE VERTICAL DATUM USED WAS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED ON GEOID 18.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN US SURVEY FEET. BEARINGS ARE BASED ON NC GRID (NAD83/2011).
- ALL AREAS SHOWN WERE COMPUTED BY THE COORDINATE CALCULATION METHOD.
- NO NORTH CAROLINA GRID MONUMENT WAS FOUND WITHIN 2000 FEET OF THE SUBJECT PARCEL.
- THE LOCALIZED COORDINATE SYSTEM USED FOR THIS PROJECT IS BASED ON CONTROL POINT "1" HAVING THE FOLLOWING LOCALIZED NAD 83-2011 COORDINATES AND NAVD 88 ELEVATION:
COORDINATES N: 754,013.65, E: 2,158,291.14; ELEV. 336.95
- PROJECT COMBINED GRID FACTOR USED IS 0.9999112 (GROUND TO GRID)
- THIS PROPERTY IS LOCATED IN FLOOD ZONE AREA "ZONE X, OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS SHOWN ON FEMA MAP NUMBER 3720175500K WITH AN EFFECTIVE DATE OF 7/19/2022.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS, AND OR ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY.
- SUBSURFACE UTILITY INVESTIGATION WAS NOT INCLUDED IN THE SCOPE OF THIS SURVEY.
- CONTOURS ARE SHOWN AT A 1' CONTOUR INTERVAL.
- THIS IS NOT A BOUNDARY SURVEY.

I, KEVIN D. MEDEIROS, PLS L-4668, CERTIFY THAT THIS EXISTING CONDITION AND TOPOGRAPHIC SURVEY WAS COMPLETED UNDER MY DIRECT SUPERVISION; THAT THE GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET THE CLASS A HORIZONTAL REQUIREMENT AND THE CLASS B VERTICAL REQUIREMENT FOR TOPOGRAPHIC/PLANIMETRIC SURVEYS; THAT THE ORIGINAL DATA WAS OBTAINED JANUARY 3, 2025; THAT THE CONTOUR LINES MAY NOT MEET THE STATED STANDARD; THAT THE SURVEY WAS COMPLETED ON JANUARY 3, 2025; AND THAT ALL COORDINATES AND ELEVATIONS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83-2011), AND ALL ELEVATIONS ARE BASED ON NAVD88. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600) AS AMENDED.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS THE XXTH DAY OF JANUARY, 2025 A.D.

PRELIMINARY PLAT
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CONVEYANCE OR SALES

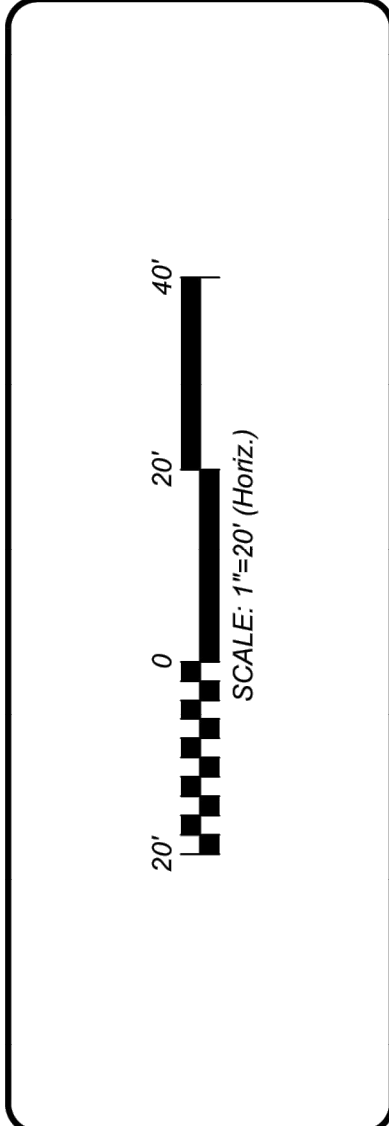
KEVIN D. MEDEIROS L-4668
PROFESSIONAL LAND SURVEYOR

THE GPS SURVEY MADE WAS UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THIS SURVEY.

CLASS OF SURVEY: A
POSITIONAL ACCURACY: H-0.02' / V-0.63'
TYPE OF GPS FIELD PROCEDURE: NC VR5 NETWORK
DATES OF SURVEY: 7/25/2023
DATUM/EPOCH: NAD 83 NSRS 2011 - NAVD 88
PUBLISHED/FIXED CONTROL USED: FIXED
GEOID MODEL: 18 (CONUS)
COMBINED GRID FACTOR: 0.9999112 (GRID TO GROUND)
UNITS: US SURVEY FEET

DATE	REVISION	BY

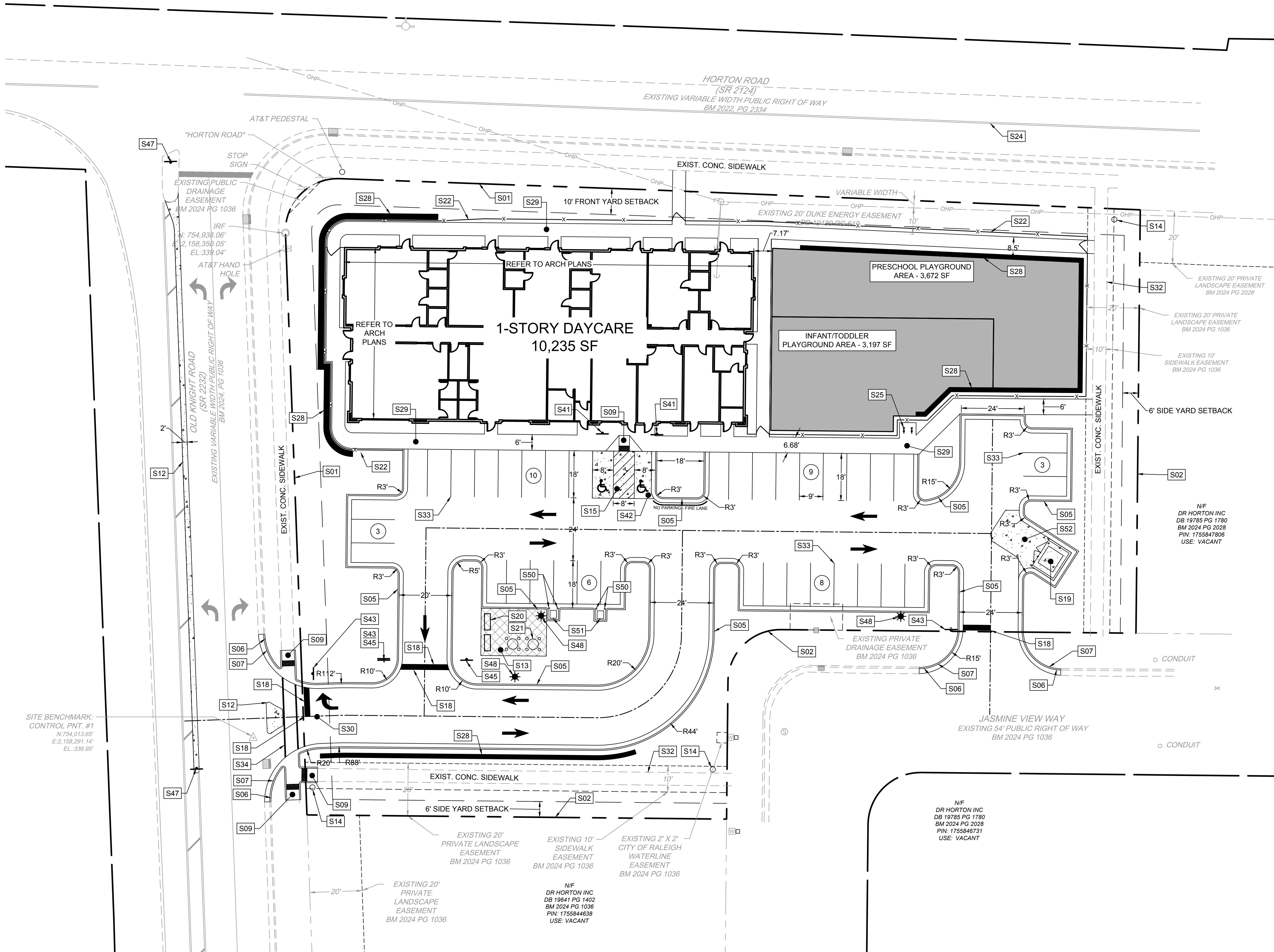
MCKIM & CREED
4300 Edwards Mill Road
Suite 200, Raleigh, NC 27612
Phone: (919) 233-8081, Fax: (919) 233-8031
NC License# F-1222
Internet Site: <http://www.mckimcreed.com>



PROJECT # : 0850-0001	DWG. # : .
PROJ. SVR. : KDM	
DRAWN BY : SEM	
FIELD BK. : Book	
COMP. FILE : .	
SHEET # : 1 OF 1	

EXISTING CONDITIONS SURVEY
OF
HAYWOOD GLEN COMMERCIAL LOT
FOR
HAYWOOD GLEN INVESTMENTS LLC
DATE: JANUARY 06, 2025 SCALE: AS NOTED
MARKS CREEK TOWNSHIP WAKE COUNTY NORTH CAROLINA

S:\33270434-Knightdale Daycare DWG\Sheet\CD70434-SITE.dwg | Printed on 7/28/2025 10:53 AM | by Brandon Wright



SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	RIGHT-OF-WAY DEDICATION, VARIABLE WIDTH
S05	24" CONCRETE CURB & GUTTER; REFER TO DETAIL
S06	30" CONCRETE CURB & GUTTER; REFER TO NCDOT 846.01
S07	TAPER 24" CURB TO 30" CURB
S09	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S12	CONCRETE MONOLITHIC ISLAND
S13	PUBLIC GATHERING AREA
S14	PET WASTE STATION, TRASH RECEPTACLE AND DECORATIVE COLUMN PER TOWN OF KNIGHTDALE REQUIREMENTS
S15	CONCRETE ADA STALL (TYP.)
S18	2' WIDE PAINTED STOP BAR (TYP.)
S19	DUMPSTER PAD & ENCLOSURE; REFER TO DETAIL AND ARCHITECTURAL PLANS
S20	BENCH; TYP. (REFER TO DETAIL)
S21	MOVABLE TABLE AND CHAIRS
S22	4' TALL WROUGHT IRON FENCE; REFER TO DETAIL
S24	EXISTING ROAD CENTERLINE
S25	BIKE RACK FOR 4 BIKE PARKING SPACES; REFER TO DETAIL
S28	RETAINING WALL WITH 42" MINIMUM SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
S29	4" THICK TURN DOWN CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS
S30	RIGHT IN / RIGHT OUT DRIVEWAY
S32	EXISTING SIDEWALK TO REMAIN
S33	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
S34	PEDESTRIAN CROSSWALK STRIPING (PER NCDOT REQUIREMENTS)
S41	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS); R7-8A (MUTCD)
S42	ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES)
S43	*STOP* SIGN; R1-1 (MUTCD)
S44	*RIGHT TURN ONLY* SIGN; R3-5 (MUTCD)
S45	*DO NOT ENTER* SIGN; R5-1 (MUTCD)
S46	DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
S47	*KEEP RIGHT* SIGN; R4-7 (MUTCD)
S48	LIGHT POLE BASE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)
S51	ELECTRIC VEHICLE CHARGER; REFER TO DETAIL
S52	HEAVY-DUTY CONCRETE: 6" OF 4,000 PSI OVER 6" OF ABC STONE. PROVIDE 2' WIDE CHAMFERS AS SHOWN ON PLAN.

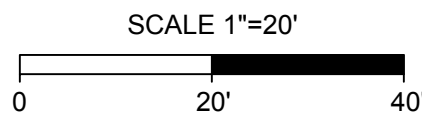
SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 3-12 BUSINESS DAYS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8'0" WIDE MINIMUM WITH 8'0" VAN ACCESS AND 5'0" STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER TOWN OF KNIGHTDALE OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE TOWN OF KNIGHTDALE. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

IMPERVIOUS AREA (ON-SITE):
EXISTING IMPERVIOUS AREA = 1,579 SF
PROPOSED IMPERVIOUS AREA = 35,689 SF
TOTAL IMPERVIOUS AREA = 37,268 SF

IMPERVIOUS AREA PREVIOUSLY
ALLOCATED TO THIS PARCEL: 42,000 SF

PUBLIC GATHERING AREA:
411 SF OF PUBLIC GATHERING SPACE IS PROVIDED WITH THE FOLLOWING AMENITIES:
• MOVABLE TABLES AND CHAIRS
• BENCHES
• SHADE TREE



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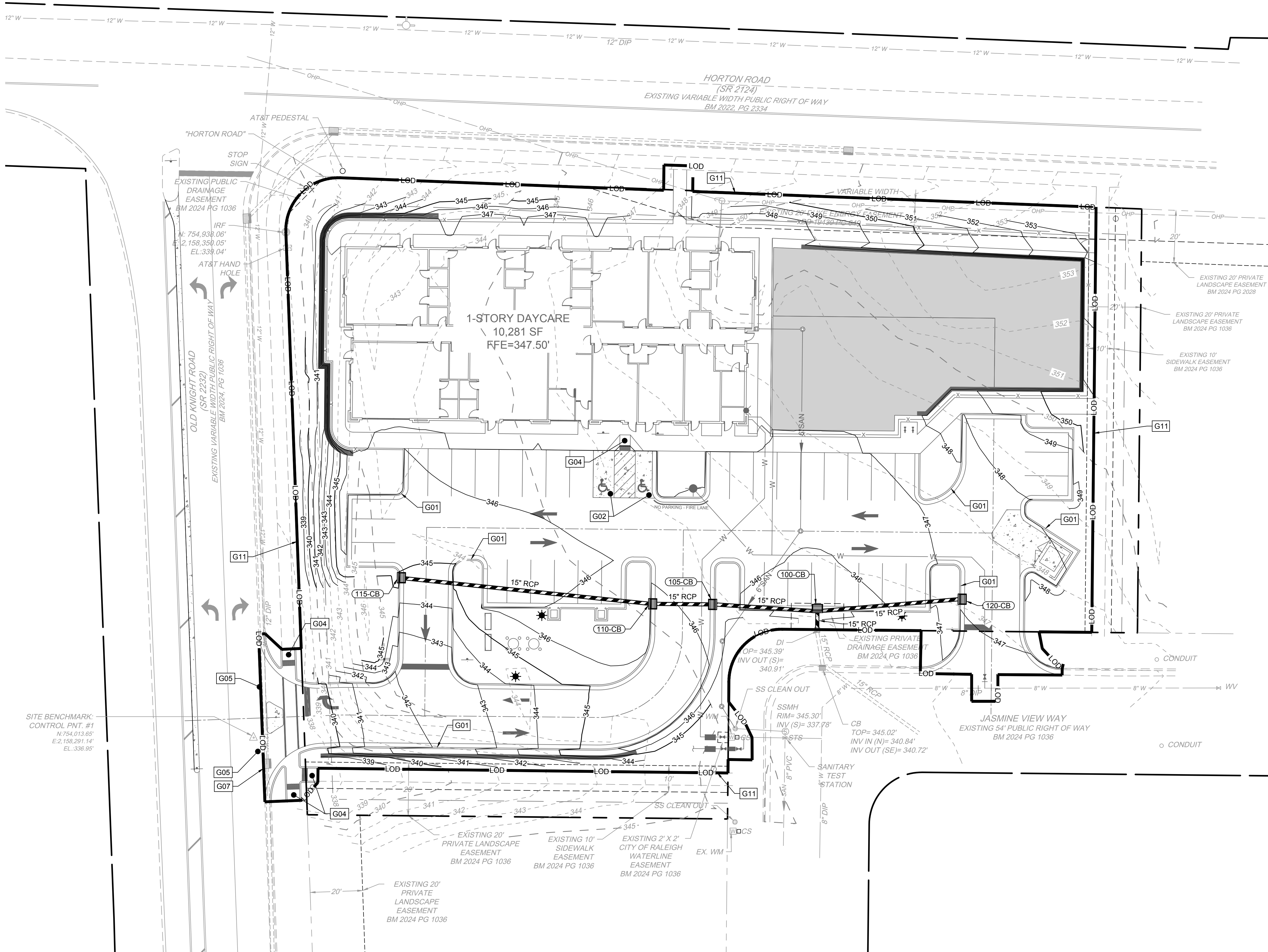
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

SITE LAYOUT PLAN

JOB NO.
70434
SHEET NO.
C.2.0

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S:\33270434-Knightdale Daycare DWG\SheetCD70434-GRAD.dwg | Plotted on 7/28/2025 10:54 AM | by Brandon Wright



GRADING & STORMWATER KEYNOTES	
NUMBER	DESCRIPTION
G01	24" CURB & GUTTER (TYP.)
G02	ADA STALLS (MAX SLOPE 1:50)
G03	ADA ACCESS ROUTE MAX CROSS SLOPE 1:50; MAX LONG. SLOPE 1:20
G04	ADA RAMP (TYP.)
G05	MATCH EXISTING PAVEMENT ELEVATION
G06	LIMITS OF SAWCUT AND PAVEMENT REMOVAL
G07	CONVERT EXISTING STRUCTURE TO DROP INLET
G08	EXISTING PERMANENT DRAINAGE EASEMENT
G09	EXISTING PERMANENT UTILITY EASEMENT
G10	ROOF DRAIN (TYP.); MIN. COVER OF 2' AND MIN. SLOPE OF 1%
G11	LIMITS OF DISTURBANCE (TYP.)

GRADING AND STORM DRAINAGE NOTES

- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811) AT LEAST 3 DAYS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CATCH BASINS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADE.
- ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
- ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.
- A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES.
- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 (2.0%) SLOPE IN ALL DIRECTIONS. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 (5.0%) SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 (2.0%) SLOPE FOR THE WIDTH OF THE SIDEWALK.
- CONTRACTOR TO IDENTIFY ALL NECESSARY SPILL CURB SECTION LOCATIONS AND INSTALL TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND. SPOT ELEVATIONS ARE GIVEN AT THE MAJORITY OF THE MAJOR BREAK POINTS BUT IT SHOULD NOT BE ASSUMED THAT ALL NECESSARY SPOT ELEVATIONS ARE SHOWN. DUE TO SPACE LIMITATIONS, THERE MAY BE OTHER CRITICAL SPOTS NOT LABELED THAT SHOULD BE TAKEN INTO CONSIDERATION. THE CONTRACTOR SHALL REVIEW THE GRADING PLAN IN DETAIL AND SHALL ENSURE THAT ALL CRITICAL GRADE POINTS ARE STAKED AND FOLLOWED TO PROVIDE POSITIVE DRAINAGE.
- EXISTING VEGETATION WITHIN TREE PROTECTIVE AREAS SHALL REMAIN UNDISTURBED UNLESS NOTED OTHERWISE. ANY AND ALL LANDSCAPING AND EXISTING TREES AND SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR USING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ENGINEER.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM" OR EQUIVALENT.

LAND USE TOTALS:

TOTAL SITE AREA: 65,480 SF

ON-SITE IMPERVIOUS:

PROPOSED BUILDING: 10,281 SF
PROPOSED SIDEWALK / RETAINING WALL: 5,280 SF
PROPOSED VUA: 20,128 SF
EXISTING IMPERVIOUS (SIDEWALK): 1,579 SF

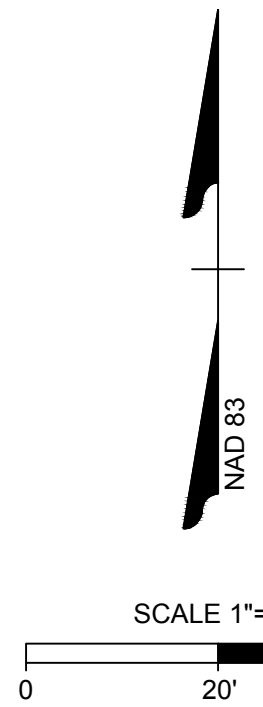
ON-SITE IMPERVIOUS TOTAL: 37,268 SF

ON-SITE PERVIOUS:

LANDSCAPED AREAS: 21,343
PLAYGROUND: 6,869 SF

ON-SITE PERVIOUS TOTAL: 28,212 SF

PROPOSED OFF-SITE IMPERVIOUS AREA: 833 SF



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TOWN OF KNIGHTDALE MASTER PLAN SUBMITTAL #1

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NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN

JOB NO.

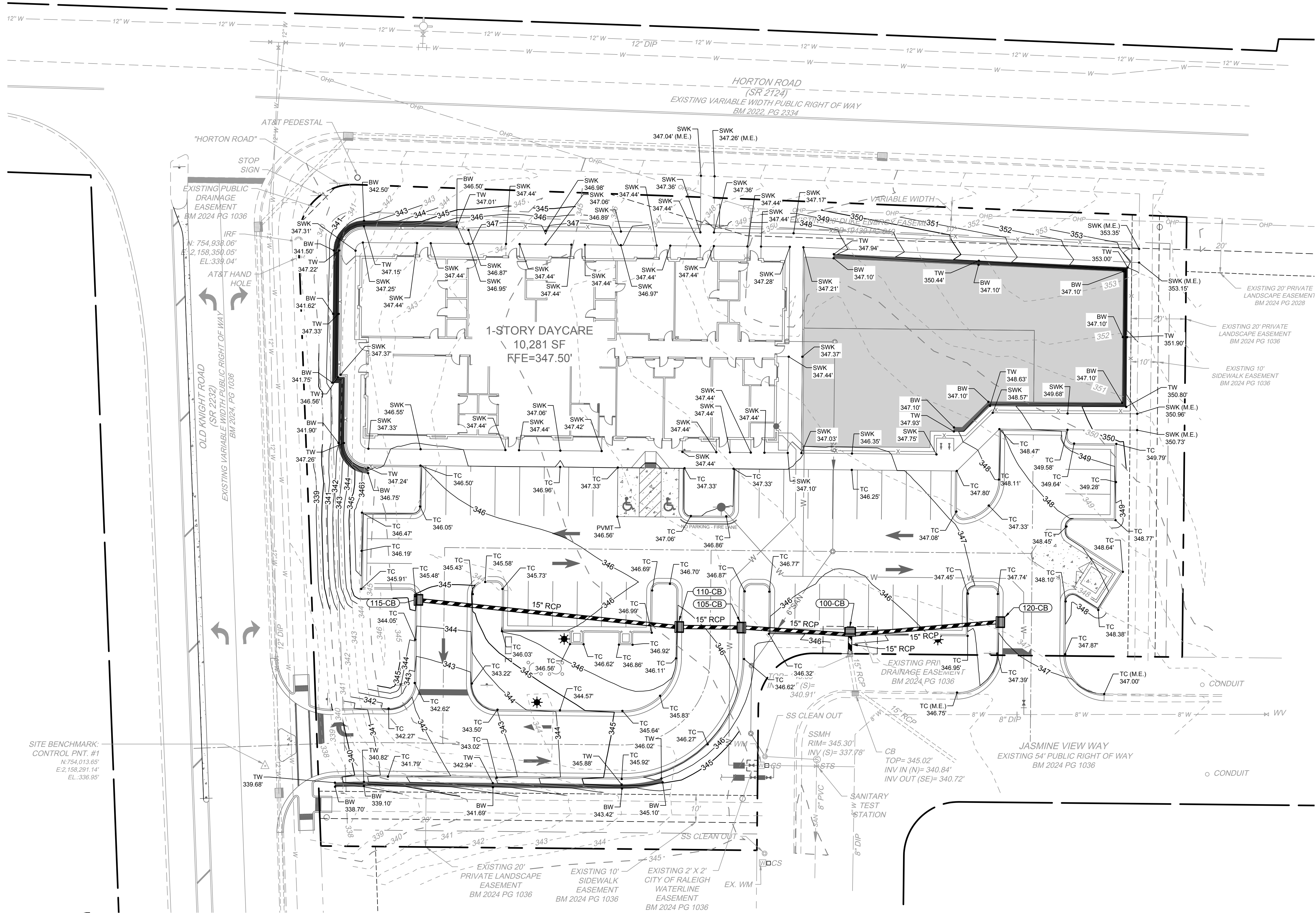
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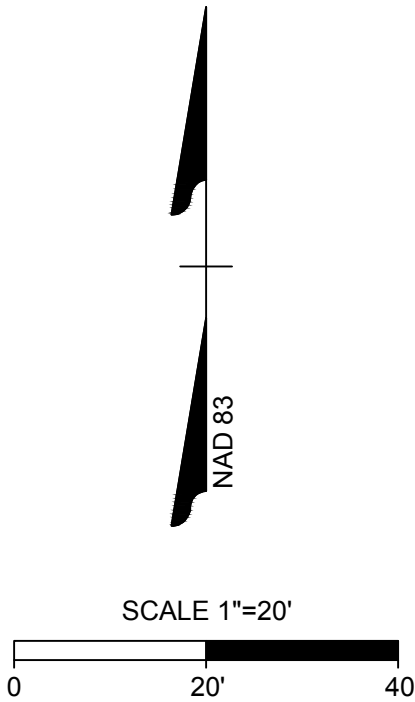
STORM STRUCTURE TABLE				
STR. #	TOP	INV. IN	INV. OUT	DESCRIPTION
100-CB	345.60'	340.99' (15" RCP FROM 105-CB) 341.02' (15" RCP FROM 120-CB)	340.89' (15" RCP TO)	NCDOT 840.02 CONCRETE CATCH BASIN
105-CB	346.74'	341.28' (15" RCP FROM 110-CB)	341.18' (15" RCP TO 100-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
110-CB	346.34'	341.50' (15" RCP FROM 115-CB)	341.40' (15" RCP TO 105-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
115-CB	345.36'		341.98' (15" RCP TO 110-CB)	NCDOT 840.02 CONCRETE CATCH BASIN
120-CB	347.56'		341.56' (15" RCP TO 100-CB)	NCDOT 840.02 CONCRETE CATCH BASIN

STORM PIPE TABLE						
FROM - TO	UPSTREAM INVERT	DOWNSTREAM INVERT	SLOPE	LENGTH	DIA.	MATERIAL
100-CB -	340.89'	340.85'	0.50%	7.11 LF	15"	RCP
105-CB - 100-CB	341.18'	340.99'	0.50%	38.93 LF	15"	RCP
110-CB - 105-CB	341.40'	341.28'	0.50%	25.00 LF	15"	RCP
115-CB - 110-CB	341.98'	341.50'	0.50%	96.29 LF	15"	RCP
120-CB - 100-CB	341.56'	341.02'	1.00%	54.29 LF	15"	RCP

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SPOT ELEVATION LEGEND
TC = TOP OF CURB
ME = MATCH EXISTING
GND = GROUND
SWK = SIDEWALK
TW = TOP OF WALL
BW = BOTTOM OF WALL
HP = HIGH POINT
FC = FLUSH CURB
EOP = EDGE OF PAVEMENT
PVM = PAVEMENT
FL = FLOW LINE

- NOTES:
- TOP REFERS TO:
 - CATCH BASIN: TOP OF CURB
 - YARD INLET: SILL
 - SD* - SEE RISER DETAIL



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DATE	----
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DESIGNED BY	332
CHECKED BY	M. DAVIDSON
SCALE	AS SHOWN

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NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

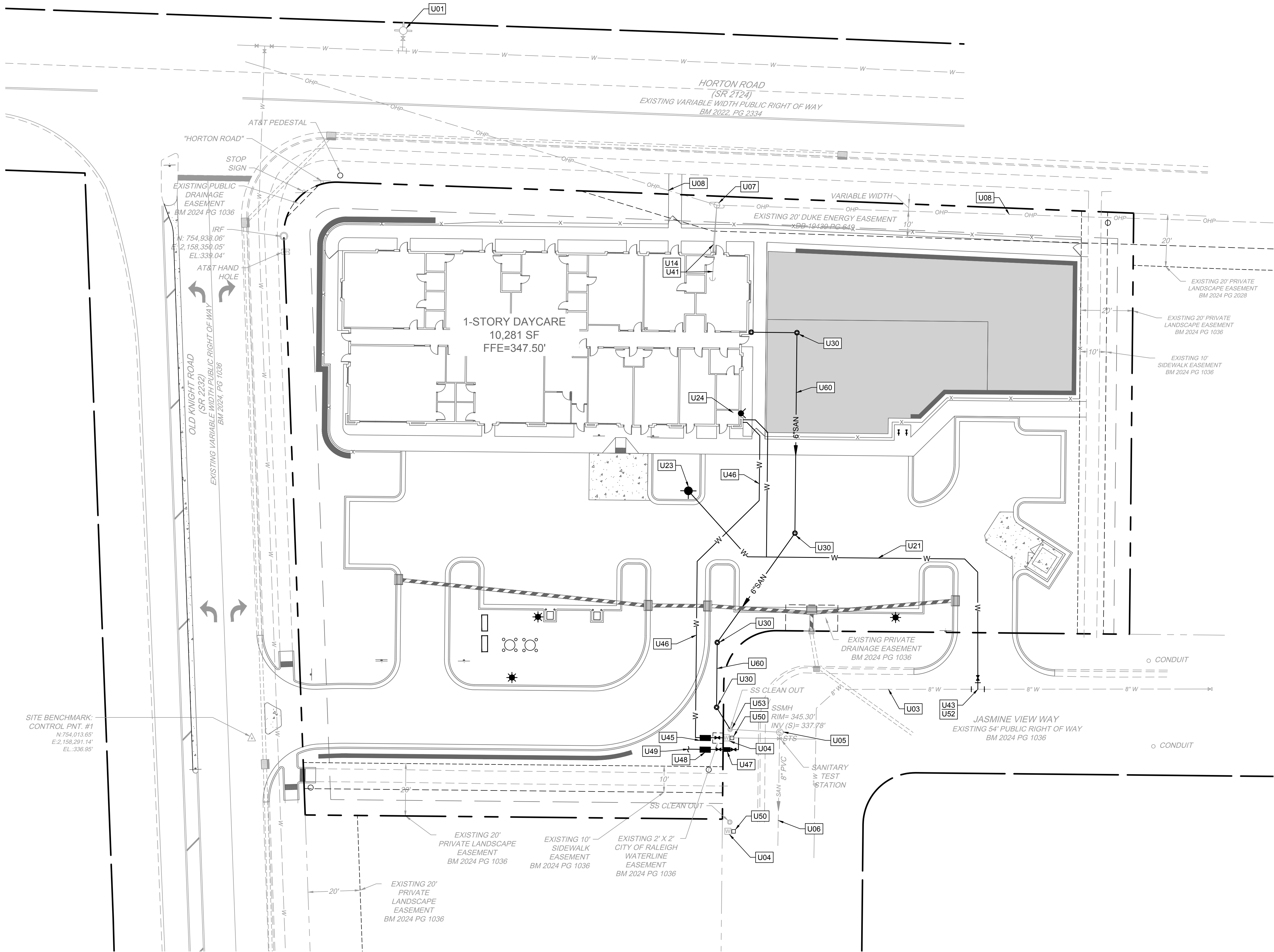
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

SPOT GRADING PLAN AND STORM TABLES

JOB NO.
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SITE BENCHMARK:
CONTROL PNT. #1
N: 754.013.65'
E: 2,158.350.05'
EL: 338.04'

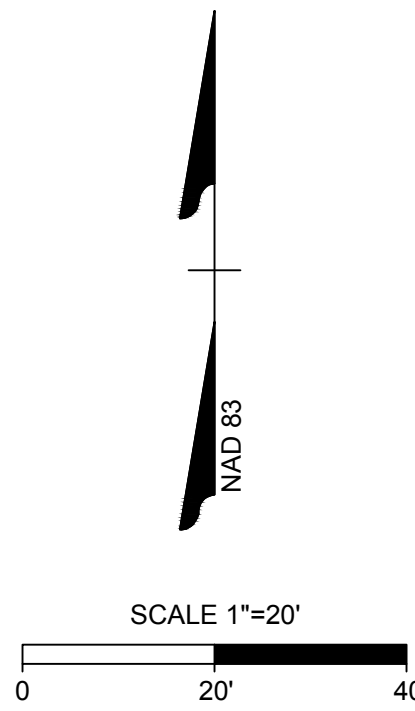
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UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	EXISTING FIRE HYDRANT
U03	EXISTING 8" WATERLINE
U04	EXISTING WATER METER (TYP.)
U05	EXISTING SANITARY SEWER MANHOLE (TYP.)
U06	EXISTING 8" PVC SANITARY SEWER MAIN (TYP.)
U07	EXISTING POWER POLE (TYP.)
U08	EXISTING OVERHEAD POWER LINE (TYP.)
U14	EXISTING GUY WIRE TO BE RELOCATED BY DUKE ENERGY
U16	EXISTING GAS MAIN TO REMAIN
U21	6" DIP WATER LINE
U23	FIRE HYDRANT ASSEMBLY (TYP.)
U24	FIRE DEPARTMENT CONNECTION (TYP.)
U29	HVAC UNITS AND CONCRETE PAD (TYP.)
U30	CLEANOUT (TYP.); TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL.
U41	COORDINATE WITH DUKE ENERGY TO RESET EXISTING GUY WIRE TO MATCH FINISHED GRADE.
U43	TAP EXISTING 8" WATER MAIN WITH 8"x6" TEE.
U45	2" RPZ DOMESTIC BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 975 OR AS APPROVED BY CITY OF RALEIGH); REFER TO DETAIL W-36
U46	2" TYPE "K" SOFT COPPER DOMESTIC WATER SERVICE (TYP.)
U47	1" IRRIGATION METER
U48	1" RPZ IRRIGATION BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 975 OR AS APPROVED BY CITY OF RALEIGH); REFER TO DETAIL W-36
U49	1" TYPE K COPPER WATER IRRIGATION LINE; COORDINATE IRRIGATION DESIGN
U50	EXISTING CURB STOP
U51	ADJUST EXISTING APPURTENANCE TO MATCH FINISHED GRADE.
U52	COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
U53	CONNECT TO EXISTING SANITARY SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, CONDITION, AND INVERT PRIOR TO ANY CONSTRUCTION. COORDINATE WITH UTILITY PROVIDER. CONTRACTOR SHALL HAVE EXISTING LINE JETTED AND A CAMERA RUN THROUGH IT TO VERIFY PRIOR TO ANY CONSTRUCTION. ELECTRIC TRANSFORMER PAD LOCATION. COORDINATE WITH LOCAL PROVIDER. LOCAL PROVIDER CAN SUPERSEDE THE PROPOSED TRANSFORMER PAD LOCATION. PROVIDE TWO 6" CONDUITS BETWEEN POINT OF CONNECTION AND TRANSFORMER. 24" MINIMUM BURY DEPTH WITH 18" OF VERTICAL SEPARATION AT WATER AND SEWER CROSSINGS.
U54	
U60	6" PVC SANITARY SEWER SERVICE (TYP.)
U61	6" GATE VALVE (TYP.)
U63	8" RPDA FIRE BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 975ADAR OR AS APPROVED BY CITY OF RALEIGH); REFER TO DETAIL W-37
U64	8" GATE VALVE (TYP.)

UTILITY NOTES

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES. ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL ILLUSTRATED UTILITY INFRASTRUCTURE IS DIAGRAMMATIC AND MAY NOT REPRESENT THE ACTUAL SIZE OF INFRASTRUCTURE. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- ALL 6" SANITARY SEWER SERVICES CONNECTIONS SHALL BE MADE INTO MANHOLES ONLY.
- UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
- ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY MCKIM & CREED.
- ALL OVERHEAD UTILITY LINES SHALL BE ADJUSTED TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.



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332

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M. DAVIDSON

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NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

UTILITY PLAN

JOB NO.
70434
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- PRIOR TO CONSTRUCTION LOCATE ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. DAMAGE TO ALL UTILITIES, REPAIR ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF CONSTRUCTION.
- CONTRACTOR ENGAGED IN LANDSCAPE IMPLEMENTATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON PLANS PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND MUST BE VERIFIED.
- PLANT MATERIAL SUBSTITUTIONS CAN ONLY OCCUR WITH PRIOR WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE-CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MAINTENANCE OF LANDSCAPE ELEMENTS TO REMAIN.
- ALL PLANT MATERIALS ARE SUBJECT TO LANDSCAPE ARCHITECT APPROVAL BEFORE, DURING, AND AFTER INSTALLATION.
 - o ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE.
- ALL PLANT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AND REQUIREMENTS OF NC ZB7 - AMERICAN STANDARD FOR NURSERY STOCK.
 - o ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - o ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - o ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.

- CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
- CONTRACTOR SHALL TAKE REPRESENTATIVE SOIL SAMPLES OF EACH PROPOSED PLANT BED AND SUBMIT COPIES OF THE RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- STUMPS LABELED FOR REMOVAL SHALL BE EXCAVATED, NOT GROUND, REMOVE ALL DEBRIS FROM THE HOLE, FILL WITH TOP SOIL, COMPACT, AND RAKE SMOOTH PRIOR TO INSTALLING NEW PLANT MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ALL LANDSCAPED AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO MATERIAL WILL NOT INTERFERE WITH SIGHT DISTANCES.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- ALL TREES MUST BE GUYED OR STAKED AS DETAILED.
- AREAS DAMAGED FROM PLANT RELOCATION OR OTHER ACTIVITIES OF LANDSCAPE CONTRACTOR TO BE RESEEDED AND ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE. IT MAY BE NECESSARY TO TRUCK IN NON-CITY WATER TO MEET PLANT NEEDS.
- USE HERBICIDES, PESTICIDES, AND FERTILIZER IN A MANNER CONSISTENT WITH THE FEDERAL INSECTICIDE, FUNGICIDE, AND RODENTICIDE ACT AND IN ACCORDANCE WITH LABEL RESTRICTIONS.
- ALL LAWN AREAS TO BE SEEDS SHALL USE A LOCALLY GROWN COMMERCIAL MIX MEETING THE LATEST STATE OF NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.

SEEDING AND STRAW NOTES FOR LAWN AREAS:

- O RIP THE ENTIRE AREA TO DEPTH OF NOT LESS THAN 6".
- O REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE SMOOTH AND UNIFORM. DISPOSE OF WASTE MATERIAL OFF-SITE.
- O SILEX COMPACTED AREAS AND SPREAD TOPSOIL TO SPECIFIED DEPTH.
- O APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPER PHOSPHATE UNIFORMLY AND MIX WITH TOP SOIL. APPLY SOIL AMENDMENTS PER REQUIRED SOIL ANALYSIS RECOMMENDATIONS.
- O CONTINUE TILAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PRODUCED.
- O SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- O MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- O INSPECT ALL SEEDS AREAS AND IF POSSIBLE, MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF GRANDSTAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LINE, FERTILIZER, AND SEEDING RATES.
- O ANCHOR TACK WITH LIQUID ASPHALT AT 400 GAL/ACRE OR EMULSIFIED ASPHALT AT 300 GAL/ACRE.

- BIODEGRADABLE WEED MATTING (ALL PRO-WEED MAT OR APPROVED EQUAL) SHALL BE REQUIRED IN SHRUB BEDS ADJACENT TO BUILDING FACADE.
- PLANTING BEDS TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF MATERIAL FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER. REFER TO LANDSCAPE SCHEME FOR MATERIAL SPECIFICATIONS.
- MULCH ALL PLANT BEDS AND TREE RINGS WITH FRESH, CLEAN MATERIAL PER SPECIFICATIONS. ALL MULCH EDGES SHALL BE NEATLY TUCKED. ALL STRING AND/OR BAILING WIRE SHALL BE REMOVED, DUST SHRUBS AND GROUND COVER AFTER MULCHING TO REMOVE LOOSE MATERIAL FROM PLANTS. DO NOT PLANT IN CONTACT WITH THE TREE TRUNK; KEEP A MINIMUM OF 4" AWAY FROM TREE TRUNK OR BAIL OF PLANT.
- MULCH AND NO-MOW MIXES SHALL BE REPLISHED AS NEEDED. ESPECIALLY AFTER HEAVY RAIN EVENTS, IF NO-MOW MIX GERMINATES AT A RATE OF LESS THAN 90%, THEN REMOVE OTHER SPECIES AND RESEED.

- CONTRACTOR TO PROVIDE AND MAINTAIN TEMPORARY IRRIGATION FOR SOD WITHIN THE STORMWATER CONTROL MEASURE UNTIL SOD BECOMES ESTABLISHED.

- LANDSCAPE CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR UPON COMPLETION OF ANY AND ALL INSTALLATION OF PLANT MATERIALS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY LANDSCAPE ARCHITECT.
- LANDSCAPE MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPLICABLE PLANS. A FINAL REVIEW AGENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. WARRANTY PERIOD SHALL BEGIN UPON CEASE OF OCCUPANCY OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER COMES FIRST.

- PUBLIC GATHERING AREA IDENTIFIED ON THIS PLAN SHALL CONTAIN 2 (BENCH) SEATS, 2 MOVABLE TABLES AND SEATS AND 1 SHADE TREE.

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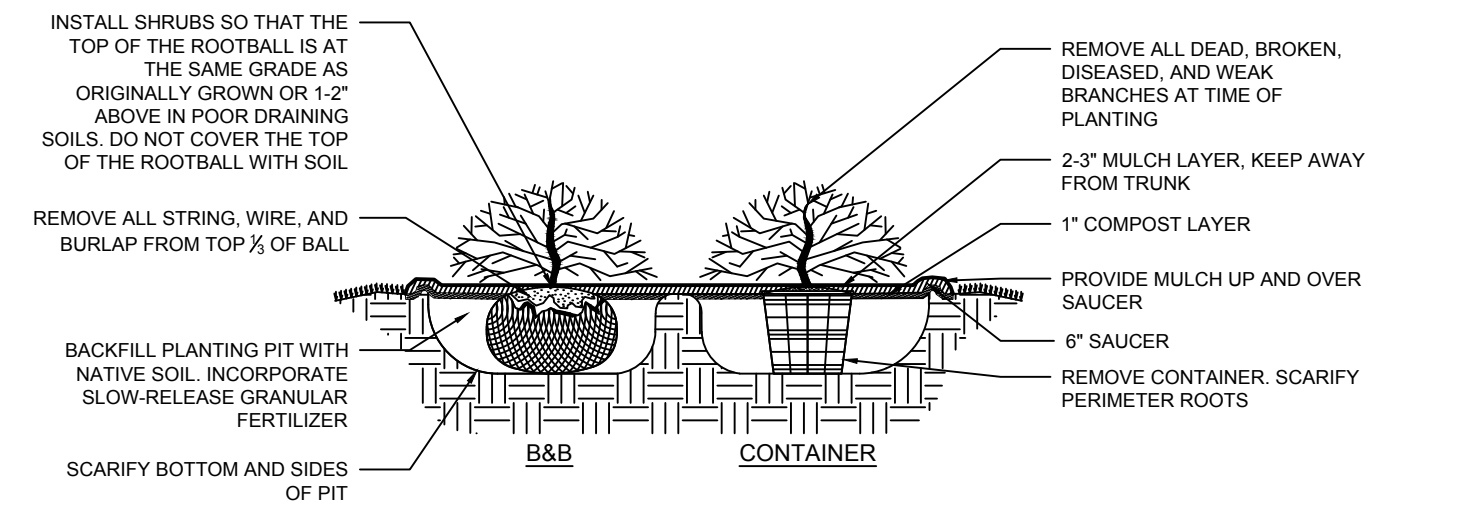
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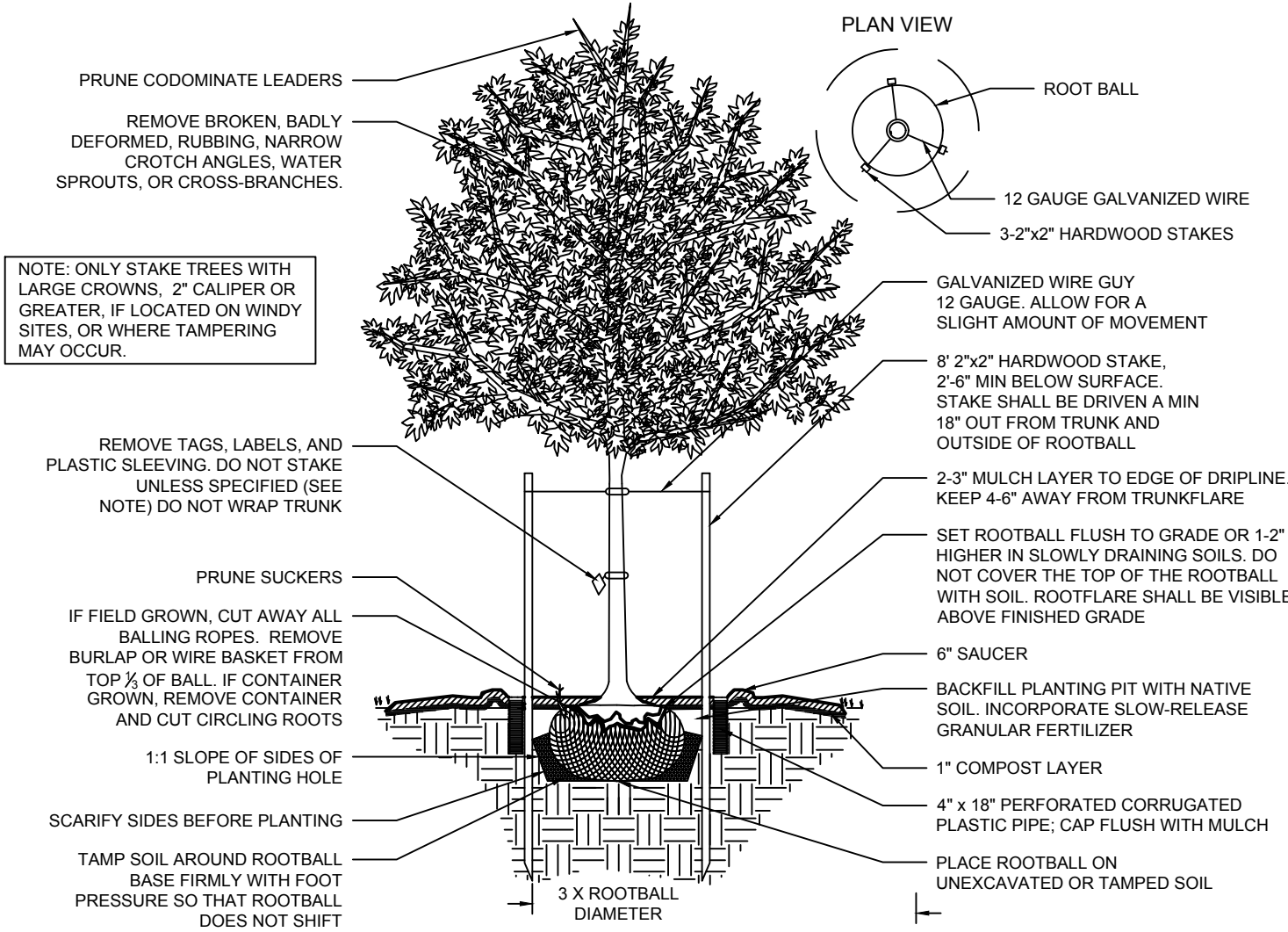
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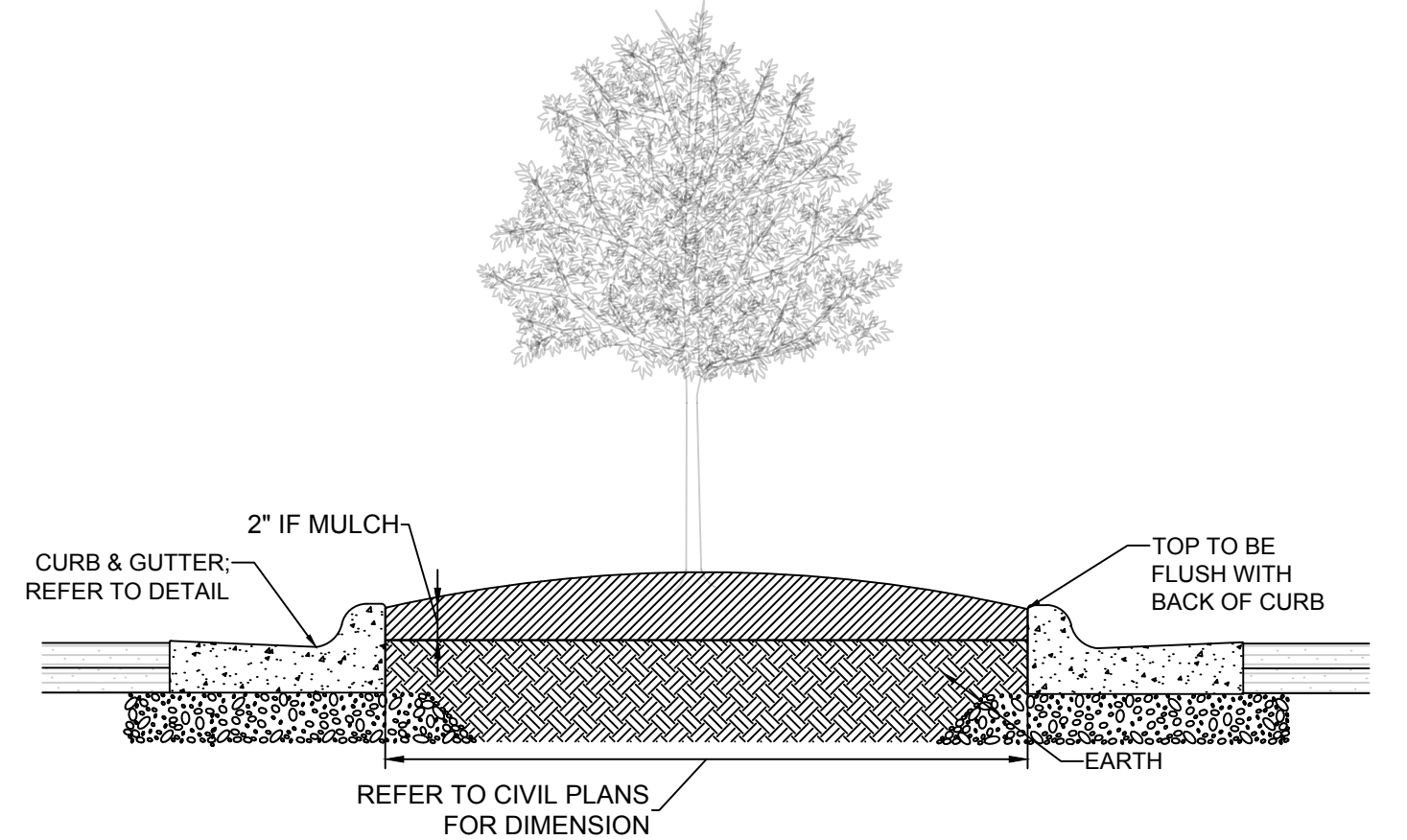
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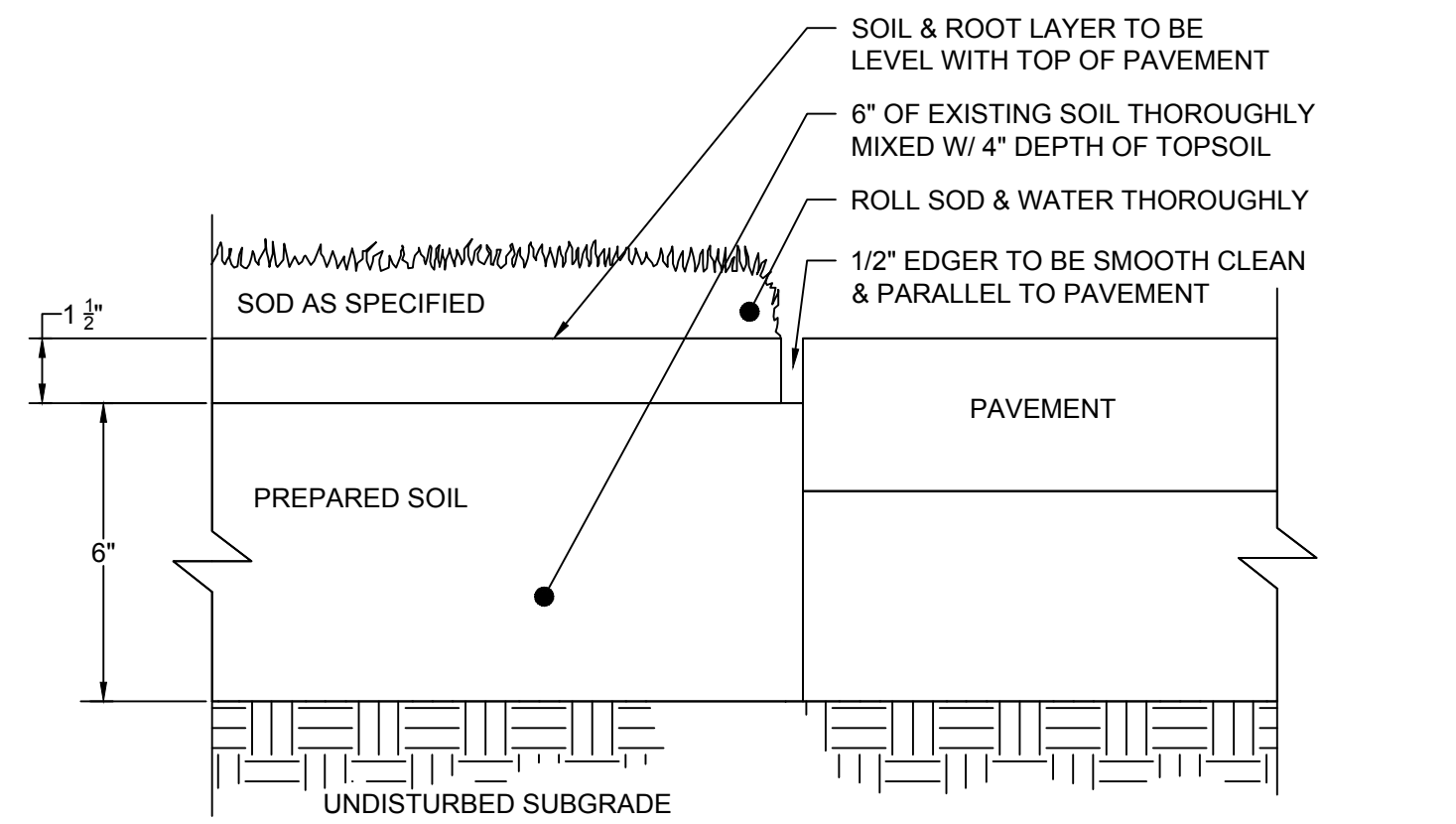
1 SHRUB DETAIL
NOT TO SCALE



2 DECIDUOUS TREE - STAKING SPECIFIED
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6 LANDSCAPE ISLAND DETAIL
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5 SOD DETAIL
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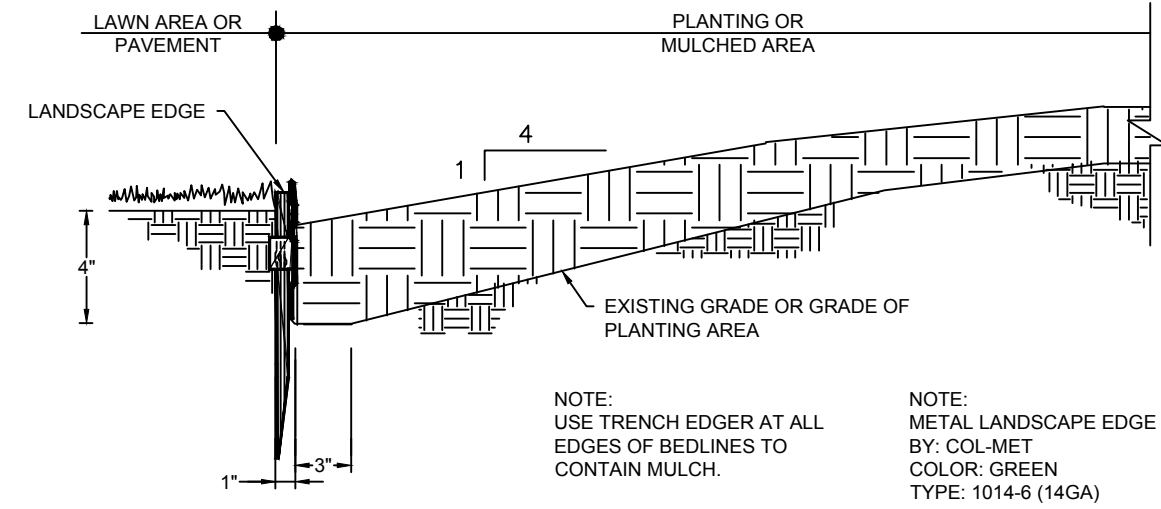
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TOWN OF KNIGHTDALE LANDSCAPE REQUIREMENTS			
REQUIREMENT	CALCULATION	PROVIDED	SIZE (AT TIME OF PLANTING)
INTERIOR PARKING LOT LANDSCAPING:			
UDO 7.4.J: NO PARKING SPACE MORE THAN 60 LF FROM BASE OF CANOPY TREE	REFER TO PLAN - 60 FT RADIUS CIRCLES CENTERED ON TREES	10 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES
PARKING LOT SCREENING:			
U.D.O. 7.5.B PARKING LOTS: TYPE A BUFFER YARD SCREENING PARKING LOT FROM ROW. TYPE A BUFFER YARD REQUIREMENTS: 3 CANOPY TREES, 2 UNDERSTORY TREES & 20 SHRUBS PER 100 LF	667 LF OF TYPE A BUFFER YARD (667 / 100) X 3 CANOPY TREES = 20 TREES (667 / 100) X 2 UNDERSTORY TREES = 13.3 TREES (667 / 100) X 20 SHRUBS = 133.4 SHRUBS	22 CANOPY TREES 17 UNDERSTORY TREES 134 SHRUBS	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES 1.25" CALIPER AND 6 FT MIN. HEIGHT UNDERSTORY TREES 3 GALLON CONTAINER SIZE, 18" MIN. HEIGHT AND 12-15" MIN. SPREAD SHRUBS
STREET TREES:			
U.D.O. SEC. 7.4.L 1 CANOPY TREE PER 40 LF *UNDERSTORY TREES SUBSTITUTE CANOPY TREES WHERE OVERHEAD UTILITIES CONFLICT	OLD KNIGHT ROAD: 223 LF OF PROPERTY FRONTAGE (223 LF / 40 LF) = 5.6 TREES	6 CANOPY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES
	HORTON ROAD: 306 LF OF PROPERTY FRONTAGE (306 LF / 40 LF) = 7.7 TREES	4 CANOPY TREES 8 UNDERSTORY TREES	2" CALIPER AND 8 FT. MIN. HEIGHT CANOPY TREES 1.25" CALIPER AND 6 FT MIN. HEIGHT UNDERSTORY TREES

PLANT SCHEDULE					
SYMBOL	TREE	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLATION SIZE
	CANOPY	PROV'D			
	RO	10	QUERCUS RUBRA (NATIVE)	RED OAK	MIN. CALIPER SIZE OF 2", MIN HEIGHT OF 8"
	RM	27	ACER RUBRUM (NATIVE)	RED MAPLE	MIN. CALIPER SIZE OF 2", MIN HEIGHT OF 8"
	UNDERSTORY				
	FD	25	CORNUS FLORIDA (NATIVE)	FLOWERING DOGWOOD	MIN. CALIPER SIZE OF 1.25", MIN HEIGHT OF 6"
	SHRUBS				
	LP	135	LOROPETALUM CHINENSE (NATIVE)	LOROPETALUM	MIN. 3 GALLON CONTAINER SIZE, MIN. HEIGHT OF 18" AND MIN. SPREAD OF 12-15"
	GA	83	ABELIA X GRANDIFLORA (NATIVE)	GLOSSY ABELIA	MIN. 3 GALLON CONTAINER SIZE, MIN. HEIGHT OF 18" AND MIN. SPREAD OF 12-15"

GROUND COVER			
	CYNODON DACTYLON	BERMUDA GRASS	SOD
		RED BARK MULCH	



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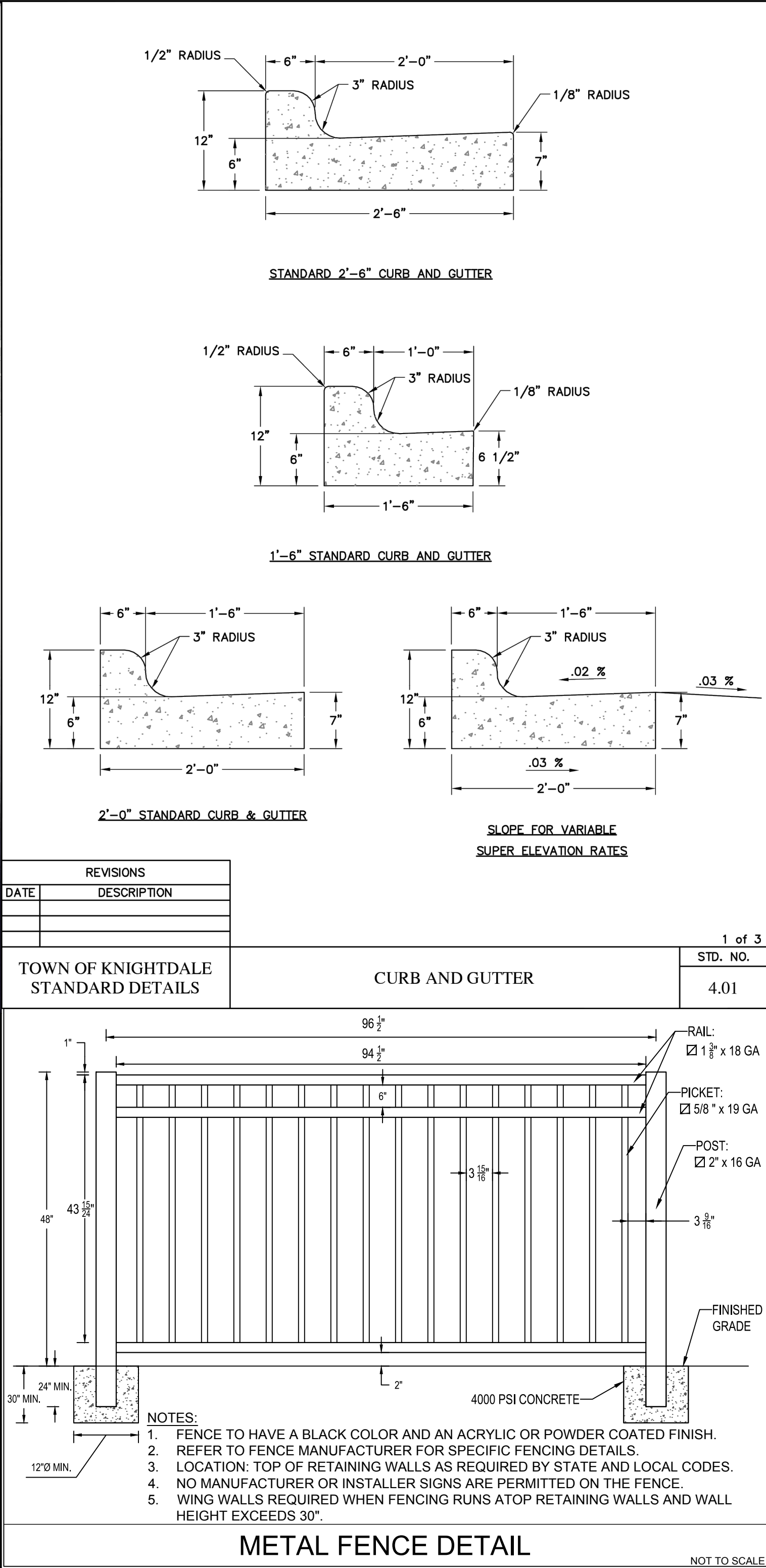
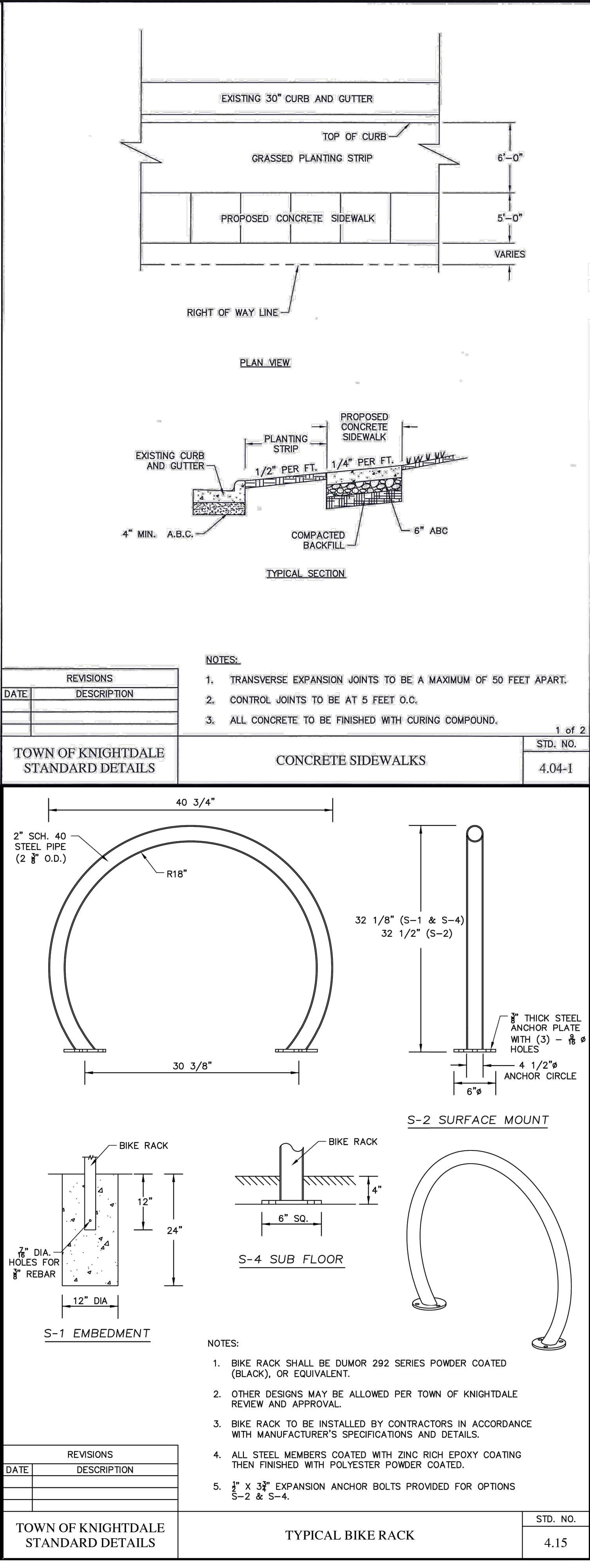
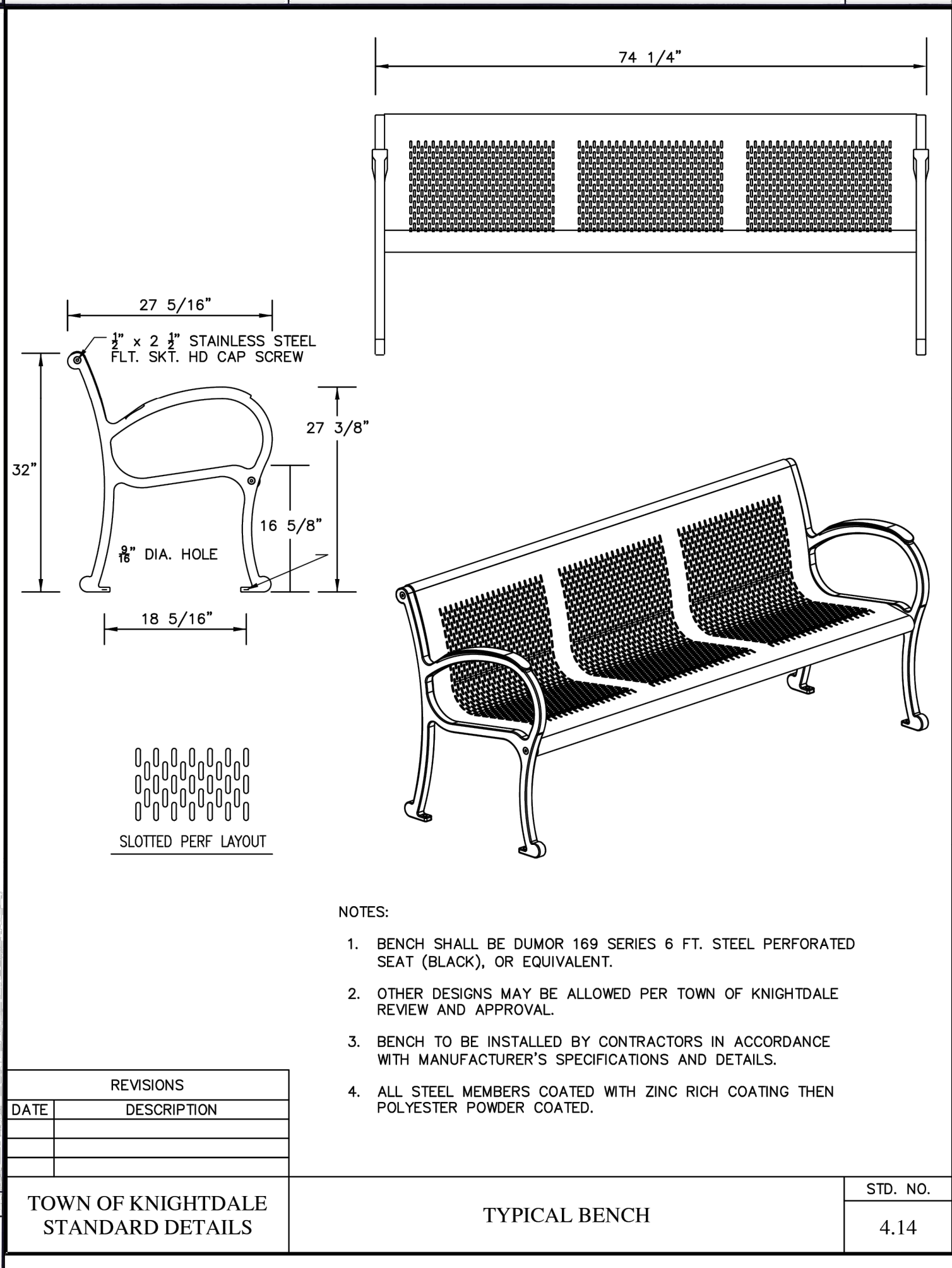
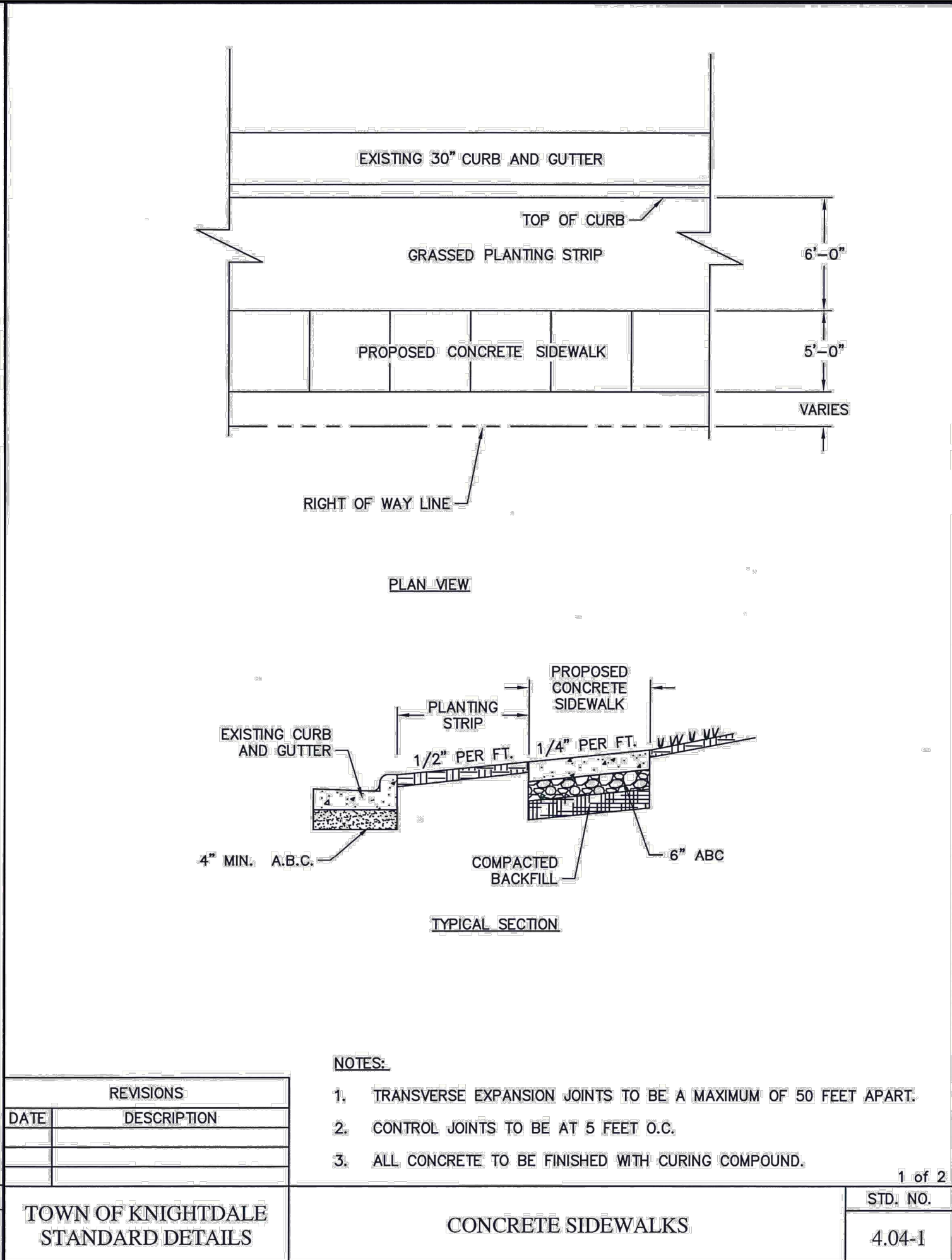
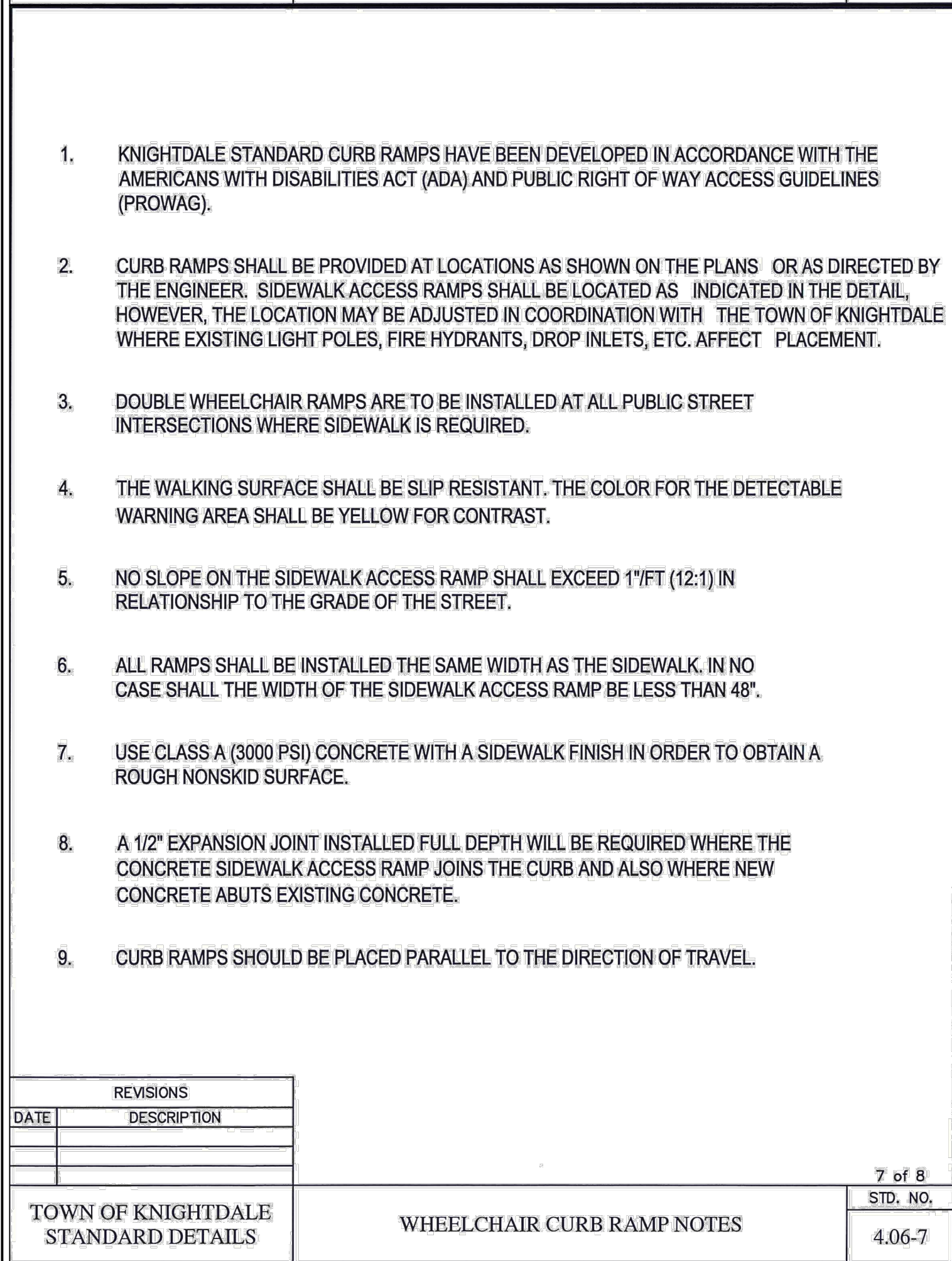
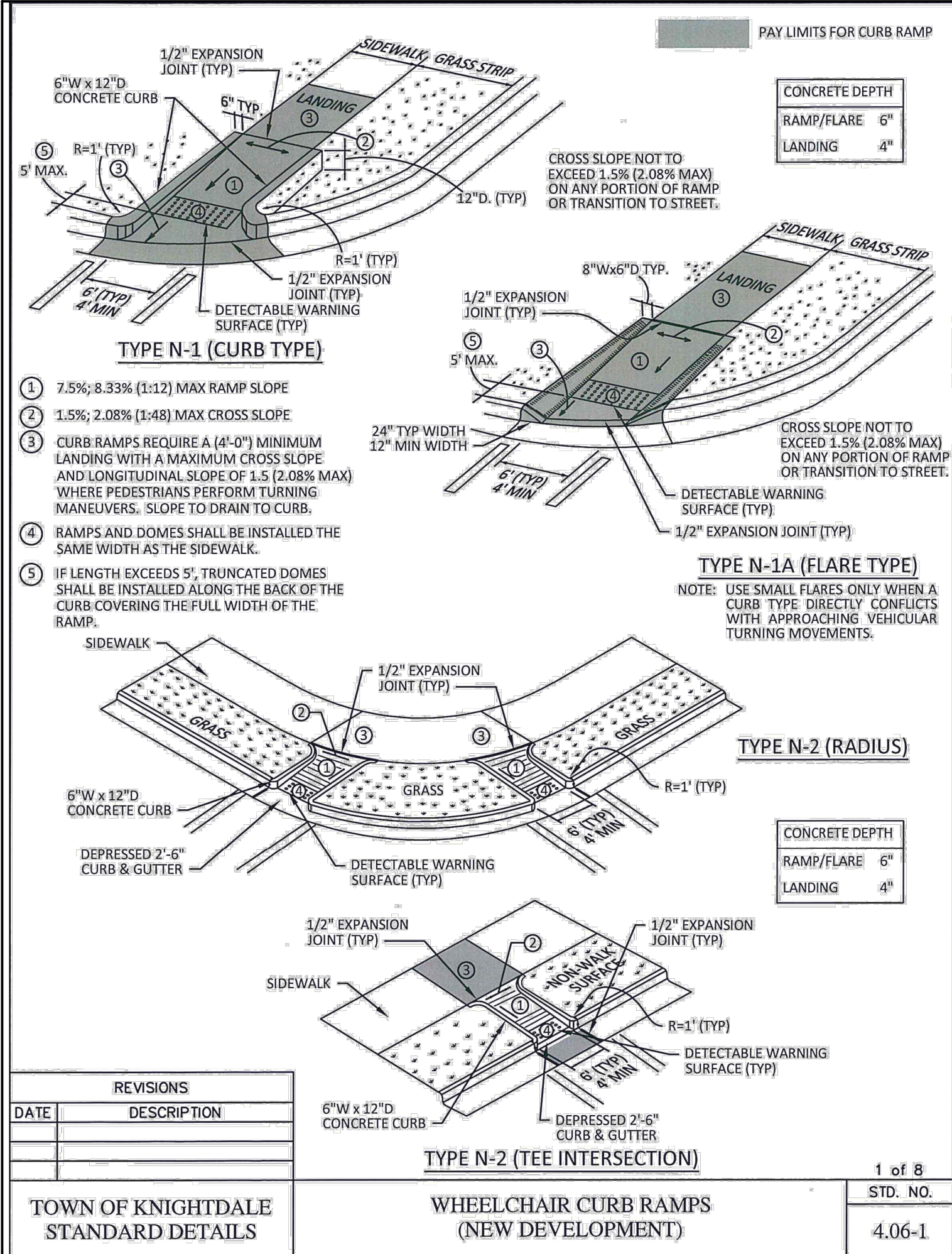
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NORTH CAROLINA LICENSE NO. C-1652
KNIGHTDALE DAYCARE
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE NOTES AND DETAILS

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REVISION DESCRIPTION	TOWN OF KNIGHTDALE MASTER PLAN SUBMITTAL #1

DATE	
07/28/2025	

DATE	

DRAWN BY	
332	

DESIGNED BY	
332	

CHECKED BY	
M. DAVIDSON	

SCALE	
AS SHOWN	

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

KNIGHTDALE DAYCARE

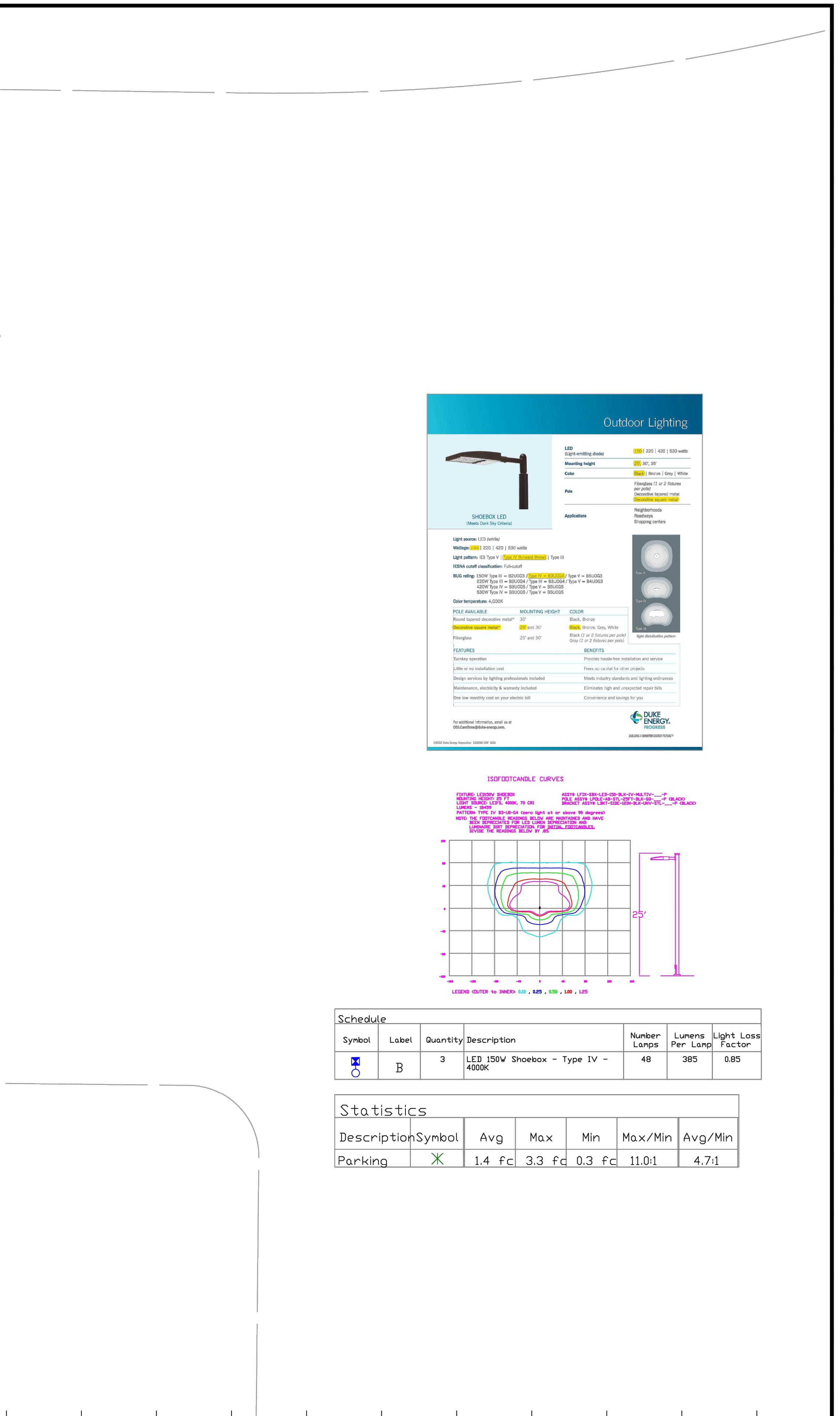
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

NOTES AND DETAILS

JOB NO.	
70434	

SHEET NO.	
C7.0	

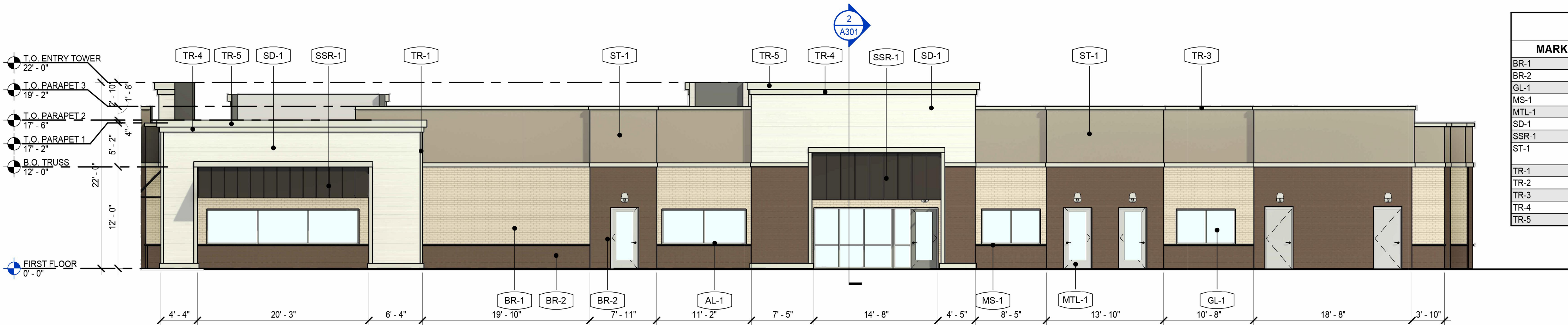
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**DUKE
ENERGY®**
PROGRESS

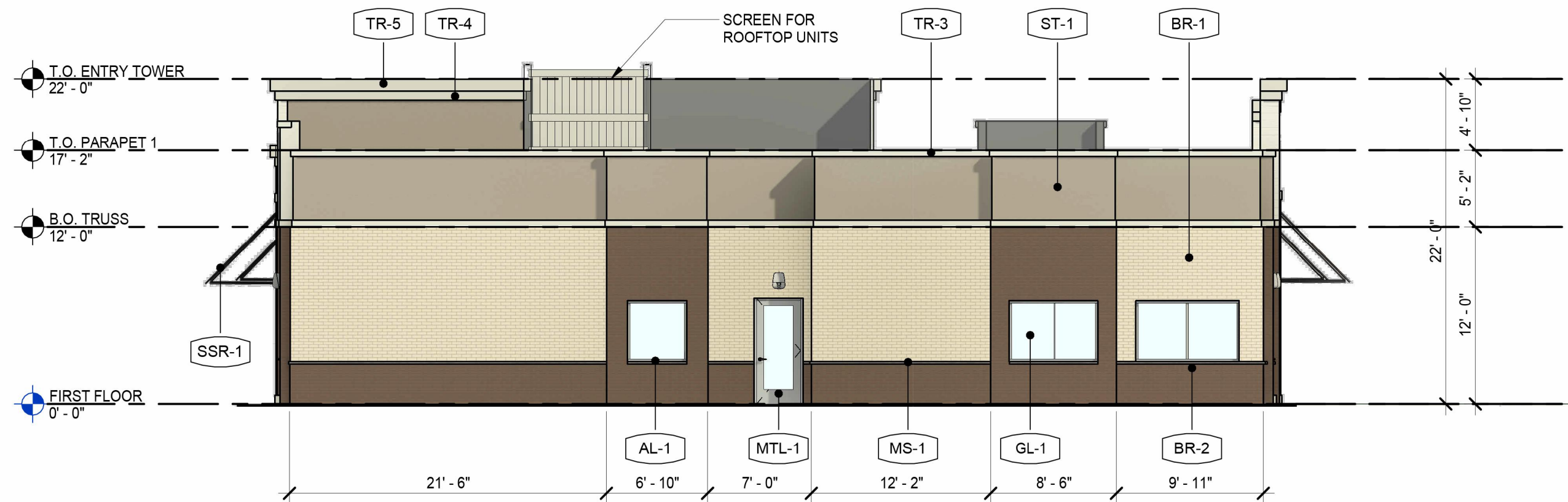
KNIGHTDALE DAYCARE	
KNIGHTDALE, NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	A. Herrera Scale 1" = 20'
Date	6/24/2025 Size Drawing size "D"
Description LED Shoebox	
Drawing No.	25-0280A Sht. 1 OF 1



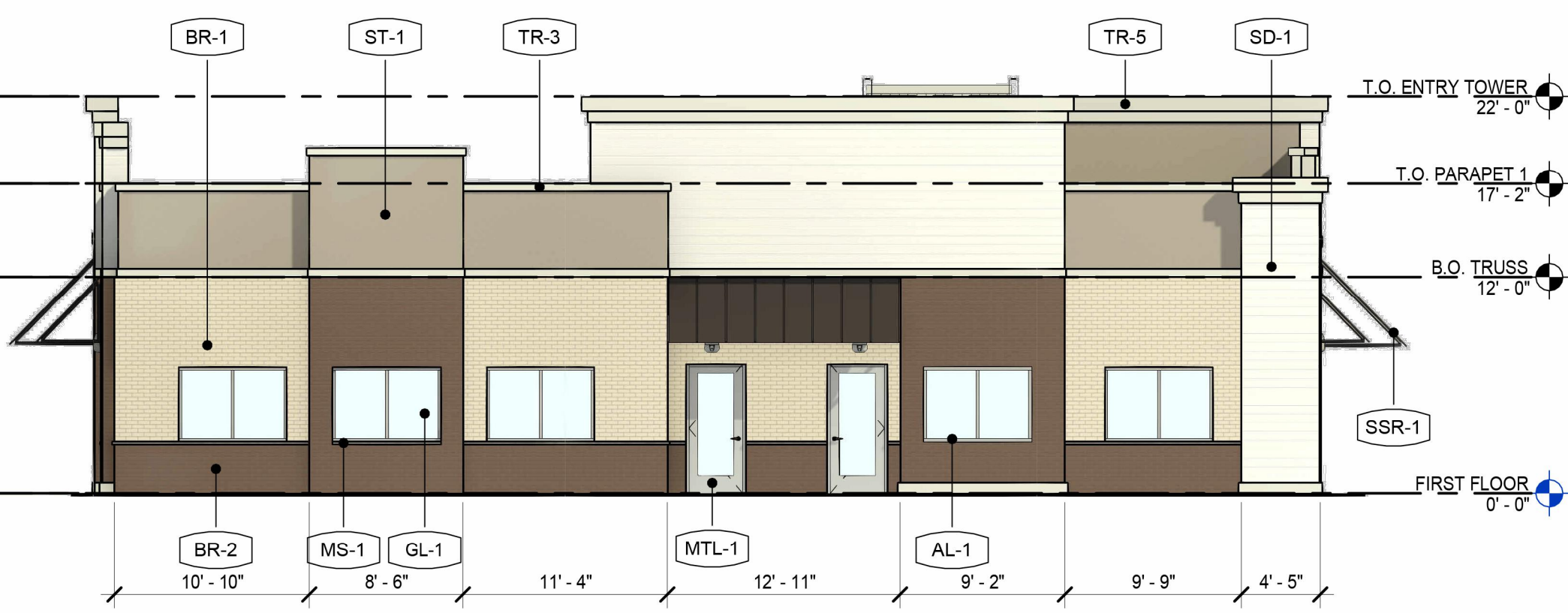
1 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES & MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	MODEL	FINISH	PATTERN	REMARKS
BR-1	BRICK VENEER	ACME	CITYSCAPE	SNOWDRIFT	MODULAR, VELOUR	-
BR-2	BRICK VENEER	ACME	CITYSCAPE	DICKENS CREEK	MODULAR, VELOUR	-
GL-1	GLAZING	-	-	CLEAR, LOW-E	-	1" TEMPERED, INSULATED
MS-1	STONE SILL	READING ROCK	ROCKCAST	SMOOTH, CRYSTAL WHITE	-	-
SD-1	PLANK LAP SIDING	JAMES HARDIE	-	CEDARMILL	NAVAJO BEIGE	-
SSR-1	STANDING SEAM ROOFING	G&J AWNING	-	MANSARD BROWN	-	-
ST-1	EXTERIOR INSULATION FINISH SYSTEM	DRYVIT	OUTSULATION	#111 PRAIRIE CLAY	SANDPEBBLE DPR	-
TR-1	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-2	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-3	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-4	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-5	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-

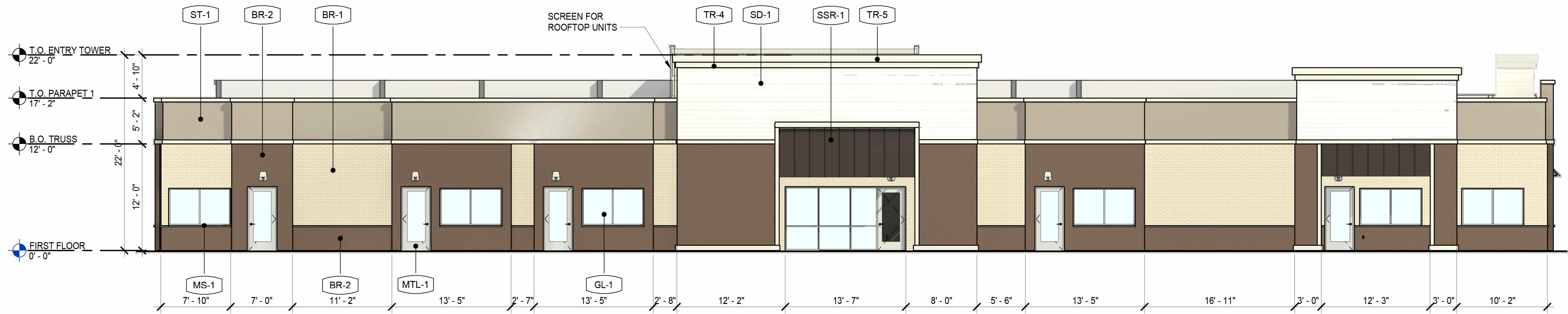
MATERIAL CALCULATIONS				
ELEVATION	PRIMARY	SECONDARY		GLAZING LINEAR %
NORTH	79%	21%		45%
EAST	62%	38%		31%
SOUTH	51%	49%		44%
WEST	50%	50%		54%



2 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



3 BUILDING ELEVATION - WEST
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

General Building Design Requirements

Per UDO Chapter 6

A. Architectural Style. The building design standards of this Chapter intentionally do not mandate a particular style and permit a wide variety of architectural expressions. However, when a design exhibits a known architectural style (i.e. Colonial, Victorian, Classical Revival) the details shall be consistent with that style unless the local architectural vernacular in the region provides an alternate precedent for a detail.

B. Frontage. All buildings shall share a frontage line (primary façade) with a street or square. (Exception: Buildings that are interior to a site that has buildings that otherwise meet the frontage requirement)

C. Termination of Vistas. Important street vistas (such as along Town gateways and primary pedestrian streets) should terminate in a focal point, such as a building or other architectural or natural feature.

D. Compatibility. Adjacent buildings should relate in similarity of scale, height, architectural style, and/or configuration. Exceptions to this rule include civic buildings such as churches and schools which through their massing and height serve as landmarks for the community.

E. Proportions. Vertically proportioned windows (height exceeds width), doors, columns, eaves, parapets, and other building components shall be proportional to the overall scale of the building.

Wall Materials.

1. Buildings shall be designed in compliance with four-sided design standards, with visually interesting and compatible design on front, side and rear façades.

2. Walls of apartment, mixed-use, and nonresidential buildings shall be clad pursuant to the following regulations. Material percentages exclude windows, display windows, doors, roofing, fascia, and soffit materials.

a. Primary Materials. At least 50% of a building's facades shall be brick, stone (natural/cultured, limestone, marble, or granite), or a combination thereof.

b. Secondary Materials. Not more than 50% of a building's facades shall be clapboard, stucco, cementitious fiber board, glass, decorative concrete masonry units (CMU), or exterior insulation finishing systems (EIFS).

c. Accent Materials. Not more than 20% of a building's facades shall be wood shingle, wood drop siding, wood board and batten, or decorative metal panels.

3. When two or more materials are used on a façade, the heavier material (i.e. stone, brick) should be placed below the lighter material (i.e. siding, shakes) to give the sense of support and grounding.

Façade Articulation.

Buildings shall not have long, monotonous, uninterrupted walls of twenty (20) feet or more on any floor of a façade clearly visible from a public right-of-way. Vertically-proportioned windows and spandrel glass, doors, stairwells, porches, pilasters (minimum twelve [12] inch width with minimum one to four (1:4) projection to width ratio), and other architectural elements as approved by the DRC will be used in order to: add architectural interest and variety; relieve the visual effect of a single, long wall; and subdivide a horizontal wall into human-scale vertical proportions.

J. Roof Finishing.

1. Flat roofs and roof pitches less than three to twelve (3:12) will require a parapet wall along all sides visible from a public street.

2. All pitched roofs shall be profiled by eaves projecting a minimum of ten (10) inches from the building face which may include gutters.

3. Eaves may expose rafters. K. Rooftop Equipment. All rooftop equipment shall be screened from view from any public right-of-way through the use of parapet walls and/or a central screened corral.

Wall Signs.

Signs erected parallel to the façade of any building or yard wall (Section 7.6) to which it is attached and supported throughout its entire length by the building or yard wall face shall:

1. Preferably be located between the top of the first floor window and the sill of the second floor window, or on a sign frieze area;

2. Project no more than twelve (12) inches from the building wall;

3. Not obscure architectural features;

4. Be integrated with the design of the building;

5. Not cover any window or part of a window; and

6. Not extend above a parapet.

7. Not placed on a roof or mansard roof.

8. Number of Signs.

a. A maximum of one (1) primary wall sign shall be permitted per lot facade of a single-tenant building or unit of a multi-tenant building.

b. A maximum of three (3) secondary wall signs may be authorized for buildings with a façade width in excess of seventy-five (75) feet by the Land Use Administrator provided such additional signage is:

i. In keeping with the overall design and architecture of the building;

ii. A minimum of twenty (20) feet from the primary wall sign and other secondary wall signs;

iii. A maximum of fifty (50) percent of the size of the façade's primary wall sign;

iv. Accessory to the façade's primary wall sign; and

v. The total area of all primary and secondary wall signs does not exceed the maximum wall sign area as established in Section 8.5.

OLD KNIGHT RD. & HORTON RD. KNIGHTDALE, NC 27545

LEARNING CARE GROUP

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Engineering
& Design

LEARNING CARE GROUP

PROPOSED FINISHES

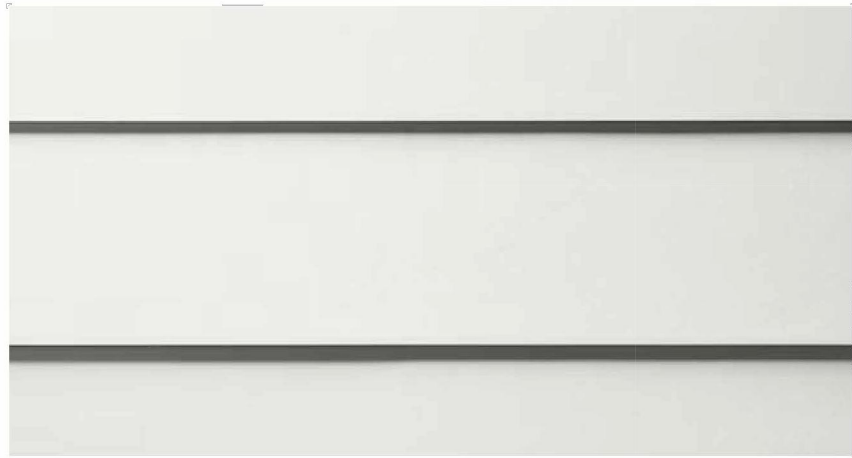
Project Number:
25002372A
Drawing Number:
Date Issued:
04/17/2025

PR03

OLD KNIGHT RD. & HORTON RD. KNIGHTDALE, NC 27545



BRICK VENEER



ARCTIC WHITE



KHAKI BROWN

SIDING

EXTERIOR FINISHES & MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	MODEL	FINISH	PATTERN	REMARKS
BR-1	BRICK VENEER	ACME	CITYSCAPE	SNOWDRIFT	MODULAR, VELOUR	-
BR-2	BRICK VENEER	ACME	CITYSCAPE	DICKENS CREEK	MODULAR, VELOUR	-
GL-1	GLAZING	-	-	CLEAR, LOW-E	-	1" TEMPERED, INSULATED
MS-1	STONE SILL	READING ROCK	ROCKCAST	SMOOTH, CRYSTAL WHITE	-	-
MTL-1	POWDER COATED STEEL	-	-	-	-	-
SD-1	PLANK LAP SIDING	JAMES HARDIE	-	CEDARMILL	KHAKI BROWN	-
SSR-1	STANDING SEAM ROOFING	G&J AWNING	-	MANSARD BROWN	-	-
ST-1	HARD COAT STUCCO	DRYVIT	OUTSULATION	#111 PRAIRIE CLAY	SANDPEBBLE DPR	-
TR-1	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-2	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-3	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-4	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-
TR-5	FIBERCEMENT TRIM BOARD	JAMES HARDIE	-	-	-	-



1 NORTH PERSPECTIVE
SCALE:



2 WEST PERSPECTIVE
SCALE:

OLD KNIGHT RD. & HORTON RD. KNIGHTDALE, NC 27545

7/28/2025 8:34:56 AM