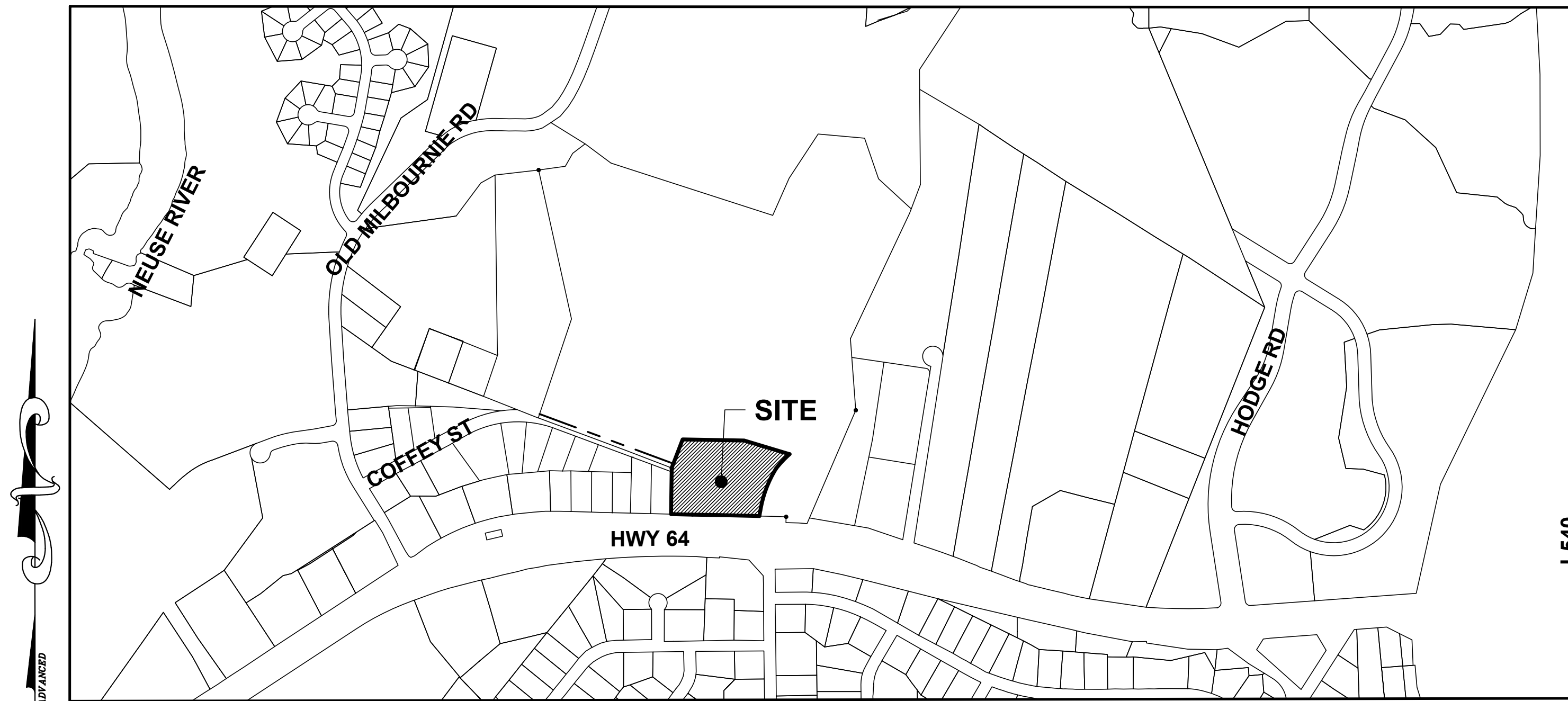


SKETCH PLAN

KNIGHTDALE GATEWAY OUTPARCEL

5901 FARMWELL ROAD

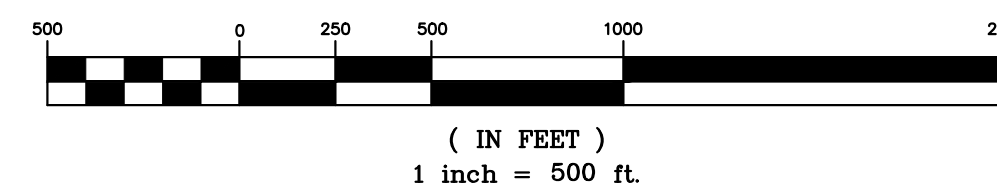
ST. MATTHEW'S TOWNSHIP, KNIGHTDALE, NORTH CAROLINA



VICINITY MAP

SCALE: 1"=500'

GRAPHIC SCALE



INDEX OF DRAWINGS

COVER SHEET	C.1.0
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OVERALL SKETCH PLAN	C.3.0
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FLEX BUILDING EXTERIOR ELEVATIONS	A200
RETAIL BUILDING EXTERIOR ELEVATIONS	A200

SITE DATA TABLE

SITE ACREAGE:	3.98 ACRES
EXISTING ZONING:	MU-PUD (MANUFACTURING & INDUSTRIAL - PLANNED UNIT DEVELOPMENT)
OVERLAY DISTRICT:	NONE
EXISTING LAND USE:	UNDER CONSTRUCTION
PROPOSED LAND USE:	MANUFACTURING, LIGHT (UDO 5.7.B)
	RESEARCH AND DEVELOPMENT (UDO 5.7.E)
	STORAGE - WAREHOUSE, INDOOR STORAGE (UDO 5.7.G)
	WHOLESALE AND DISTRIBUTION (UDO 5.7.H)
	BREWERY/WINERY/DISTILLERY (UDO 3.1.C.6)
	LABORATORY - MEDICAL, ANALYTICAL, RESEARCH & DEVELOPMENT (UDO 3.1.C.6)
	STUDIO - ART, DANCE, MARTIAL ARTS, MUSIC (UDO 3.1.C.3)
	BAR/TAVERN/MICROBREWERY (UDO 3.1.C.4)
	NEIGHBORHOOD RETAIL/RESTAURANT - 2,000 SF OR LESS (UDO 5.5E)
	RESTAURANT (UDO 3.1.C.4)
	GENERAL RETAIL - 10,000 SF OR LESS (UDO 5.5.E)
	BUSINESS SUPPORT SERVICES (UDO 5.4.D)
	GOVERNMENT SERVICES (UDO 3.1.C.3)
	MEDICAL SERVICES (UDO 3.1.C.3)
	PERSONAL SERVICES (UDO 5.4.J)
	PROFESSIONAL SERVICES (UDO 3.1.C.3)
	TASTING ROOM (UDO 3.1.C.4)
	AMUSEMENTS, INDOOR - 5,000 SF OR LESS (UDO 3.1.C.5)
	AMUSEMENTS, INDOOR - 5,001 SF - 20,000 SF (UDO 3.1.C.5)
	AMUSEMENTS, INDOOR - GREATER THAN 20,000 SF (UDO 3.1.C.5)
	RECREATION FACILITIES, INDOOR (UDO 5.6.C)
WATERSHED:	LOWER NEUSE
PROPOSED NO. BUILDINGS:	2
FLEX BUILDING AREA:	26,000 SF
RETAIL BUILDING AREA:	10,800 SF
TOTAL BUILDING AREA:	36,800 SF
FRONT YARD SETBACK (MIN.):	0 FT
FRONT YARD SETBACK (MAX.):	10 FT
SIDE YARD SETBACK (MIN.):	6 FT
REAR YARD SETBACK (MIN.):	10 FT

PARKING CALCULATIONS

USE TYPE: MANUFACTURING, LIGHT & GENERAL RETAIL (10,001 SF - 50,000 SF)

MAXIMUM NO. OF PARKING SPACES: 1.5 PER KSF GFA (MANUFACTURING, LIGHT)
6 PER KSF GFA (GENERAL RETAIL - 10,001 - 50,000 SF)

MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM

**KSF = 1,000 SF; GFA = GROSS FLOOR AREA

BUILDING	GFA (SF)	MAX. SPACES	MIN. SPACES	AUTO SPACES PROVIDED
FLEX	26,000	39	19	35
RETAIL	10,800	64	32	54

ELECTRIC VEHICLE REQUIREMENTS:
OF CHARGING STATIONS/DEDICATED SPACES PROVIDED: 1 PER 40 SPACES = 2 SPACES
2 SPACES

BICYCLE PARKING REQUIRED: 1 PER 10 PARKING SPACES = 9 SPACES
BICYCLE PARKING PROVIDED: 10 SPACES

USE STANDARDS

- UDO SECTION 5.4.D BUSINESS SUPPORT SERVICES:**
- ONLY INDOOR TRANSACTIONS SHALL BE PERMITTED WITH NO NIGHT DROP BOXES PERMITTED.
- UDO SECTION 5.4.J PERSONAL SERVICES:**
- HOURS OF OPERATION SHALL BE PERMITTED ONLY FROM 6:00 AM UNTIL 11:00 PM.
- UDO SECTION 5.5.E NEIGHBORHOOD RETAIL/RESTAURANT & GENERAL RETAIL:**
- NO PORTION OF THE LOT FOR A VAPE, TOBACCO, & CBD STORE SHALL BE LOCATED WITHIN A ONE-THOUSAND (1,000) FOOT RADIUS OF THE PROPERTY LINE OF ANOTHER VAPE, TOBACCO, & CBD STORE, PUBLIC OR PRIVATE SCHOOL, OR PARK.
- UDO SECTION 5.6.C RECREATION FACILITIES, INDOOR:**
- INDOOR RECREATION FACILITIES BUILDINGS SHALL COMPLY WITH ALL STANDARDS SET FORTH IN SECTION 6.8.
 - INDOOR RECREATION FACILITIES SHALL NOT BE LOCATED WITHIN A TWO-HUNDRED-FIFTY (250) FOOT RADIUS OF THE PROPERTY LINE OF ANY SCHOOL OR CHURCH.
- UDO SECTION 5.7.B LIGHT MANUFACTURING:**
- ALL MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR STORED WITHIN AN OUTDOOR STORAGE AREA THAT COMPLIES WITH ALL REGULATIONS SET FORTH IN SECTION 5.10 AND IS RESTRICTED TO THE REAR YARD.
 - ANY OPERATION WHICH RESULTS IN THE CREATION OF NOXIOUS VIBRATIONS, ODORS, DUST, GLARE, OR SOUND IS PROHIBITED.
- UDO SECTION 5.7E RESEARCH AND DEVELOPMENT:**
- ALL MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR STORED WITHIN AN OUTDOOR STORAGE AREA THAT COMPLIES WITH ALL REGULATIONS SET FORTH IN SECTION 5.10 AND IS RESTRICTED TO THE REAR YARD.
 - ANY OPERATION WHICH RESULTS IN THE CREATION OF NOXIOUS VIBRATIONS, ODORS, DUST, GLARE OR SOUND IS PROHIBITED.
- UDO SECTION 5.7G STORAGE - WAREHOUSE, INDOOR STORAGE:**
- AN INDOOR STORAGE WAREHOUSE BUILDING IS LIMITED TO FIVE THOUSAND (5,000) SQUARE FEET PER FLOOR IN THE TC AND RR DISTRICTS.
 - OUTDOOR STORAGE IS NOT PERMITTED.
 - IN THE RR DISTRICT, ALL AREAS SHALL BE SCREENED FROM ANY PRE-EXISTING ADJACENT RESIDENCE (OTHER THAN THE OWNER'S) BY A TYPE-A BUFFER YARD (SECTION 7.4 (1)(2)).
- UDO SECTION 5.7H WHOLESALE AND DISTRIBUTION:**
- ALL VEHICLE STORAGE AREAS SHALL BE ENCLOSED BY AN OPAQUE FENCE OR WALL, RESTRICTED TO THE REAR YARD, AND SCREENED FROM OFF-SITE VIEW OF A PUBLIC RIGHT-OF-WAY BY A TYPE-A BUFFER YARD (SECTION 7.4 (1)(2)).
 - NO OUTDOOR PUBLIC ADDRESS SYSTEM SHALL BE PERMITTED WHICH CAN BE HEARD BEYOND THE BOUNDARIES OF THE PROPERTY.

DEVELOPER

BEACON PARTNERS

500 EAST MOREHEAD ST, SUITE 200
CHARLOTTE, NC 28202
PHONE (704) 597-7757

ENGINEER

ADVANCED CIVIL DESIGN, INC.

51 KILMAYNE DRIVE, SUITE 102
CARY, NC 27511
PHONE (919) 481-6290
FAX (919) 336-5127

OWNER

BEACON KG LLC

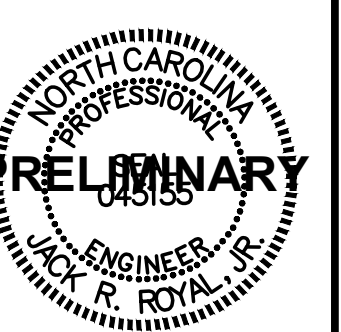
500 EAST MOREHEAD ST, SUITE 200
CHARLOTTE, NC 28202
PHONE (704) 597-7757

PLAN PREPARED BY:
51 Kilmayne Drive, Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.336.5127
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
BEACON PARTNERS
500 East Morehead St.
Suite 200
Charlotte, North Carolina 28202
Tel. 704.597.7757
Fax 704.598.6335

KNIGHTDALE GATEWAY OUTPARCEL
SKETCH PLAN
FOR
BEACON PARTNERS
COVER SHEET

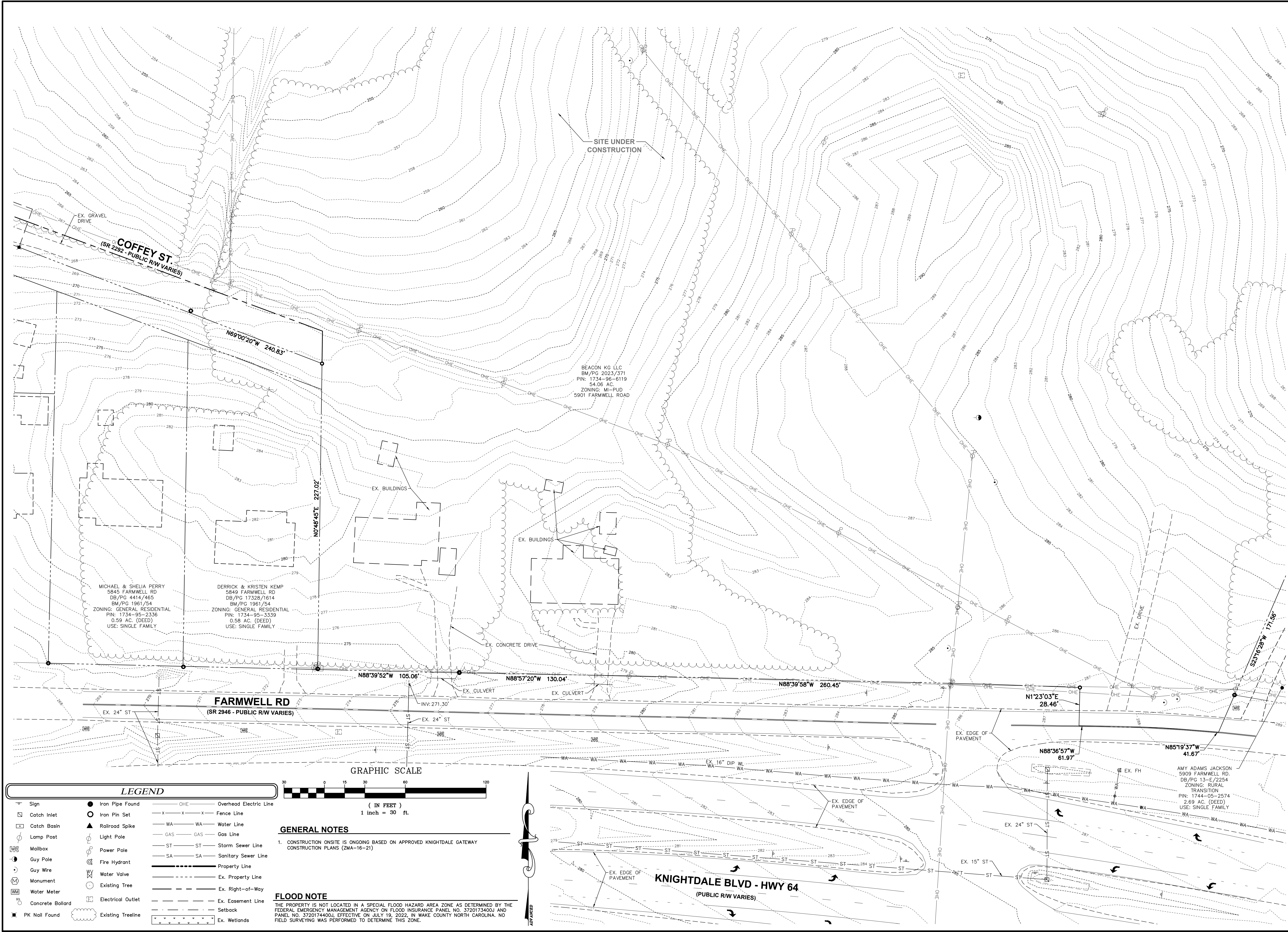
St. Matthews Township - 5901 Farmwell Road, Knightdale, NC 27610 - Wake County



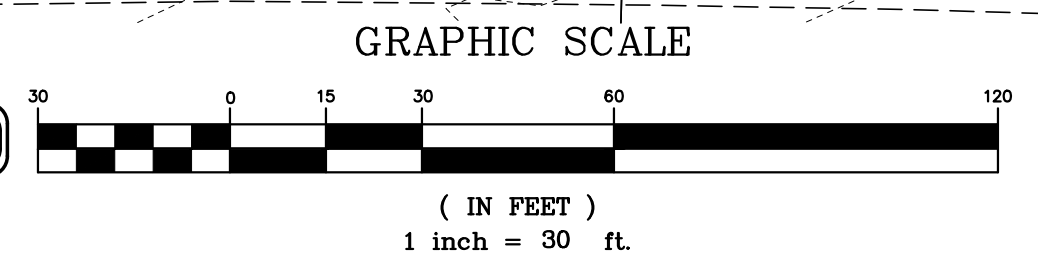
09/18/2023

Issue Dates:	08/04/2023 - Town Submittal #1
	09/18/2023 - Town Submittal #2
Date:	09/18/2023
Scale:	1" = 500'
Drawn By:	AMK
Checked By:	JRR
Project Number:	21-0011-504
Drawing Number:	C.1.0

C:\1-001-504NC\DWG\Production Drawings\Sketch PLAN\Outparcel\001-504NC EXISTING CONDITIONS.dwg EXISTING Sep 18, 2023 -- 7:28:05am jroyal



LEGEND	
Sign	● Iron Pipe Found
Catch Inlet	○ Iron Pin Set
Catch Basin	▲ Railroad Spike
Lamp Post	○ Light Pole
Mailbox	○ Power Pole
Guy Pole	○ Fire Hydrant
Guy Wire	○ Water Valve
Monument	○ Existing Tree
Water Meter	○ Electrical Outlet
Concrete Bollard	○ Ex. Concrete Bollard
PK Nail Found	○ Existing Treeline
— OHE	— Overhead Electric Line
- - -	- - - Fence Line
WA	WA Water Line
GAS	GAS Gas Line
ST	ST Storm Sewer Line
SA	SA Sanitary Sewer Line
---	--- Property Line
- - -	- - - Ex. Property Line
- - -	- - - Ex. Right-of-Way
- - -	- - - Ex. Easement Line
- - -	- - - Setback
- - -	- - - Ex. Wetlands



GENERAL NOTES
 1. CONSTRUCTION ONSITE IS ONGOING BASED ON APPROVED KNIGHTDALE GATEWAY CONSTRUCTION PLANS (ZMA-16-21)

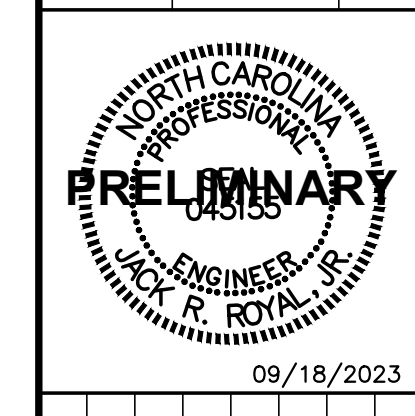
FLOOD NOTE
 THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE PANEL NO. 3720173400J AND PANEL NO. 3720174400J, EFFECTIVE ON JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

PLAN PREPARED BY:
 St. Kimmye Drive, Suite 102
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127
ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:

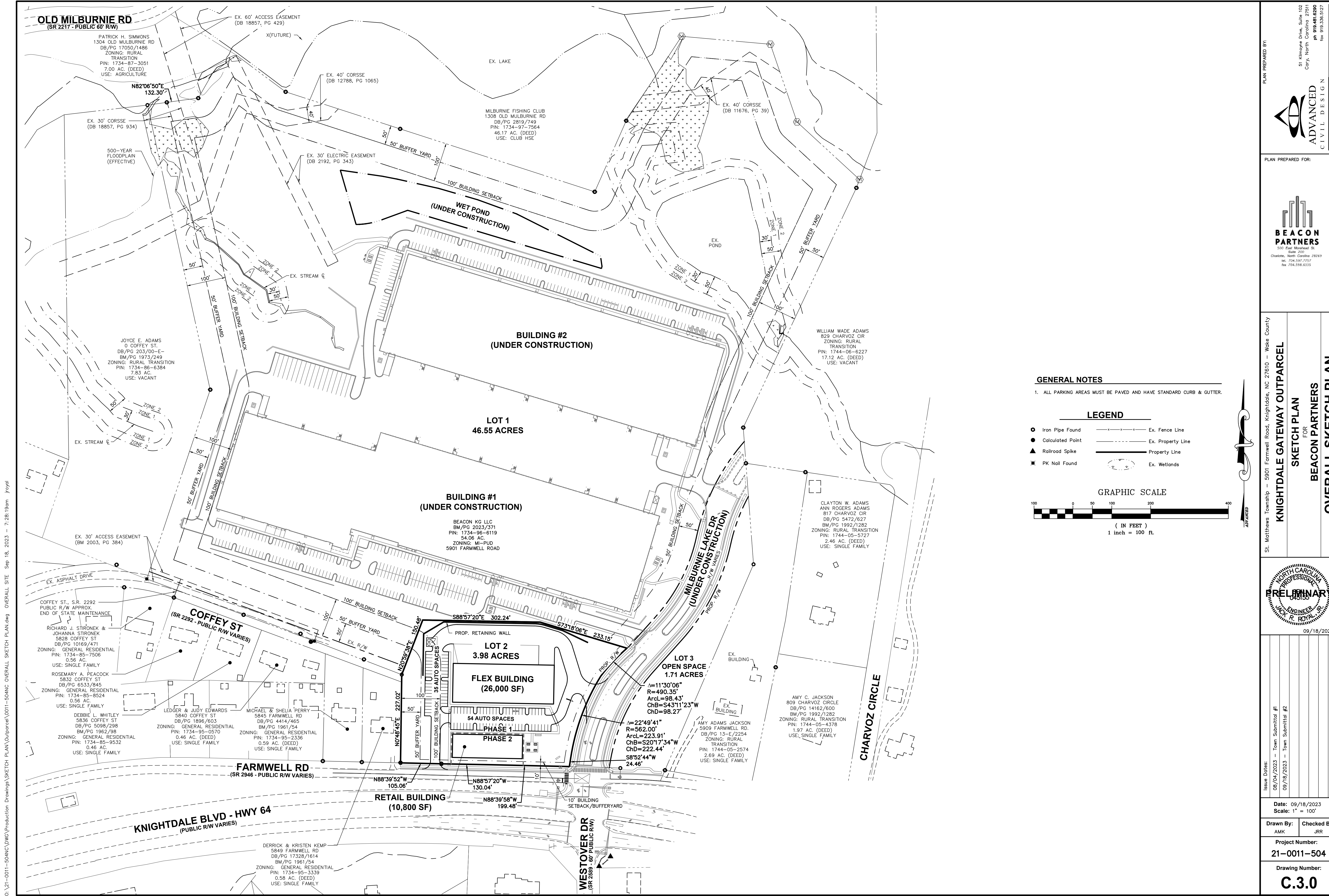
BEACON PARTNERS
 500 East Morehead St.
 Suite 200
 Charlotte, North Carolina 28269
 tel. 704.557.7757
 fax 704.558.6335

St. Matthews Township - 5901 Farmwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY OUTPARCEL
SKETCH PLAN
 FOR
BEACON PARTNERS
EXISTING CONDITIONS



Issue Dates:
 08/04/2023 - Town Submittal #1
 09/16/2023 - Town Submittal #2
 Date: 09/18/2023
 Scale: 1" = 30'
 Drawn By: AMK
 Checked By: JRR

Project Number:
21-0011-504
 Drawing Number:
C.2.0



GENERAL NOTES

1. ALL PARKING AREAS MUST BE PAVED AND HAVE STANDARD CURB & GUTTER.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ✕ PK Nail Found
- Ex. Fence Line
- - - Ex. Property Line
- Property Line
- Ex. Wetlands

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS**
51 Kilmorye Drive, Suite 102
Cary, North Carolina 27511
ph 919.481.6990 fax 919.336.5127

PLAN PREPARED FOR: **BEACON PARTNERS**
500 East Morehead St.
Suite 200
Charlotte, North Carolina 28269
tel. 704.597.7757 fax 704.598.6335

KNIGHTDALE GATEWAY OUTPARCEL
SKETCH PLAN
FOR
BEACON PARTNERS
OVERALL SKETCH PLAN

St. Matthews Township - 5901 Farmwell Road, Knightdale, NC 27610 - Wake County

RELEASARY
NORTH CAROLINA PROFESSIONAL ENGINEER
NO. 12555
JACOB R. ROYAL, JR.
09/18/2023

Issue Dates:
08/04/2023 - Town Submittal #1
09/18/2023 - Town Submittal #2

Date: 09/18/2023
Scale: 1" = 100'

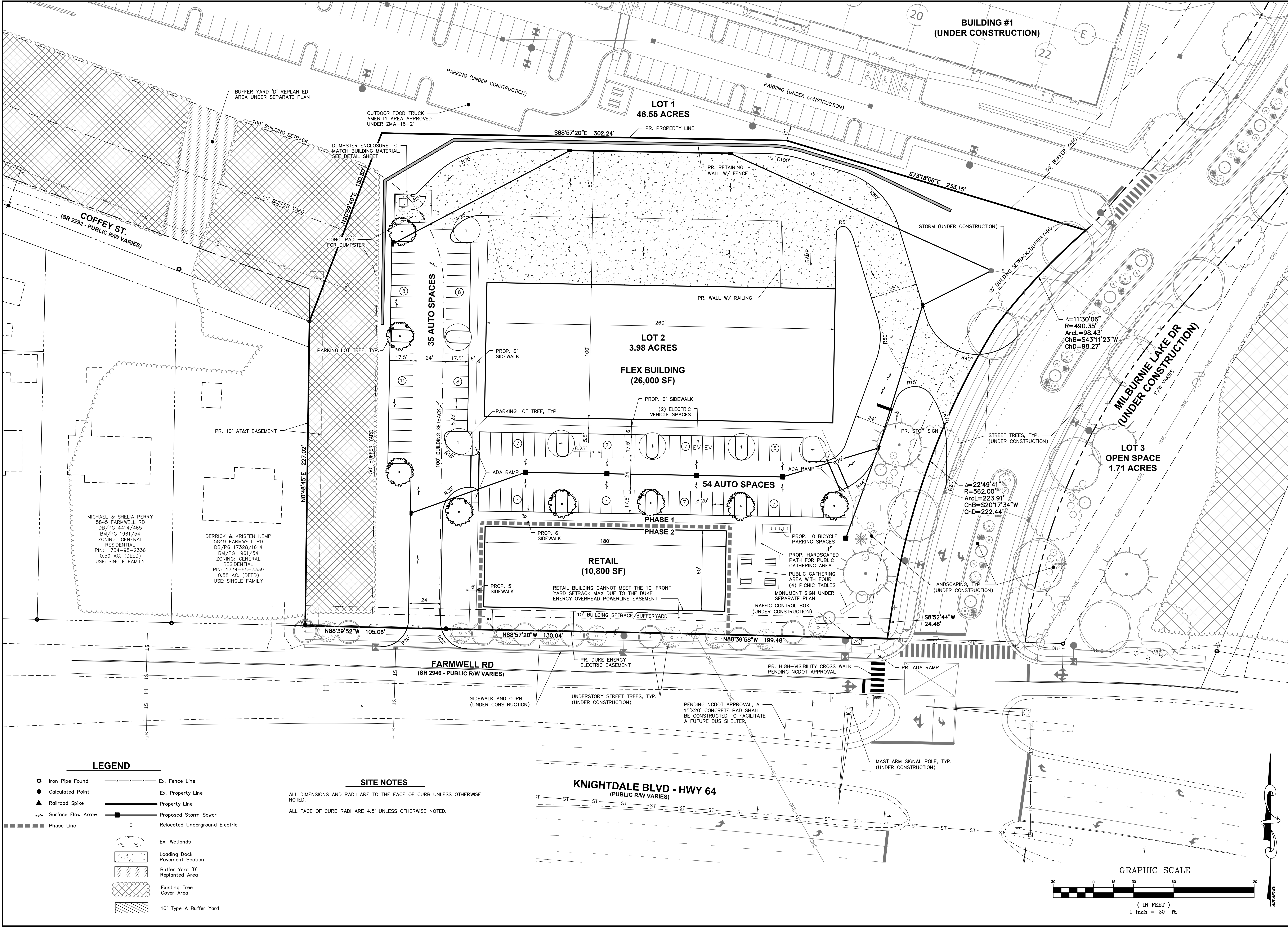
Drawn By: AMK
Checked By: JRR

Project Number:
21-0011-504

Drawing Number:
C.3.0

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C:\V1-0011-504NC\Production Drawings\SKETCH PLAN\Outparcel\001-504NC SITE PLAN.dwg Sep 18, 2023 7:28:42am Jroyal



LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- Surface Flow Arrow
- ▬ Phase Line
- Ex. Fence Line
- - - Ex. Property Line
- Property Line
- Proposed Storm Sewer
- Relocated Underground Electric
- ▬ Ex. Wetlands
- ▬ Loading Dock Pavement Section
- ▬ Buffer Yard 'D' Replanted Area
- ▬ Existing Tree Cover Area
- ▬ 10' Type A Buffer Yard

SITE NOTES

ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 ALL FACE OF CURB RADII ARE 4.5' UNLESS OTHERWISE NOTED.

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 102
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127

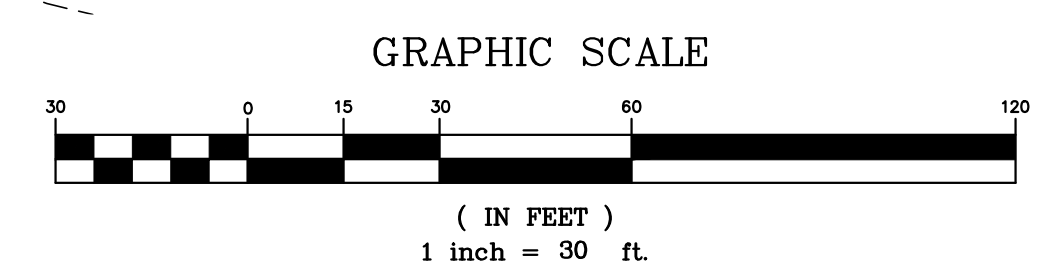
PLAN PREPARED FOR:
BEACON PARTNERS
 500 East Morehead St.
 Suite 200
 Charlotte, North Carolina 28269
 tel. 704.597.7757
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KNIGHTDALE GATEWAY OUTPARCEL
 SKETCH PLAN
 FOR
 BEACON PARTNERS
 SKETCH PLAN

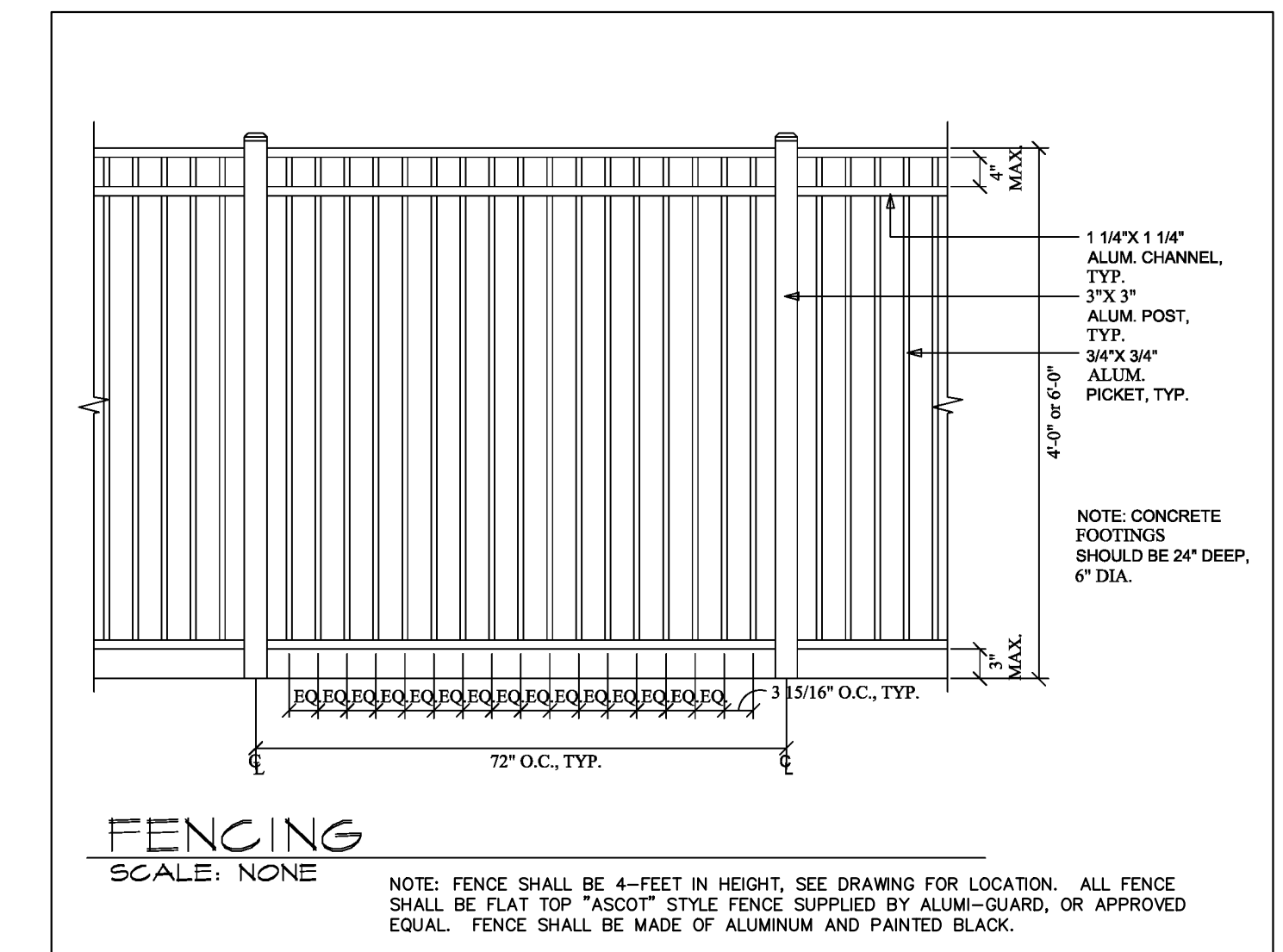
PROFESSIONAL ENGINEER
 JACOB R. ROYAL, JR.
 09/18/2023

Issue Dates:
 08/04/2023 - Town Submittal #1
 09/16/2023 - Town Submittal #2

Date: 09/18/2023
 Scale: 1" = 30'
 Drawn By: AMK
 Checked By: JRR
 Project Number:
 21-0011-504
 Drawing Number:
C.3.1



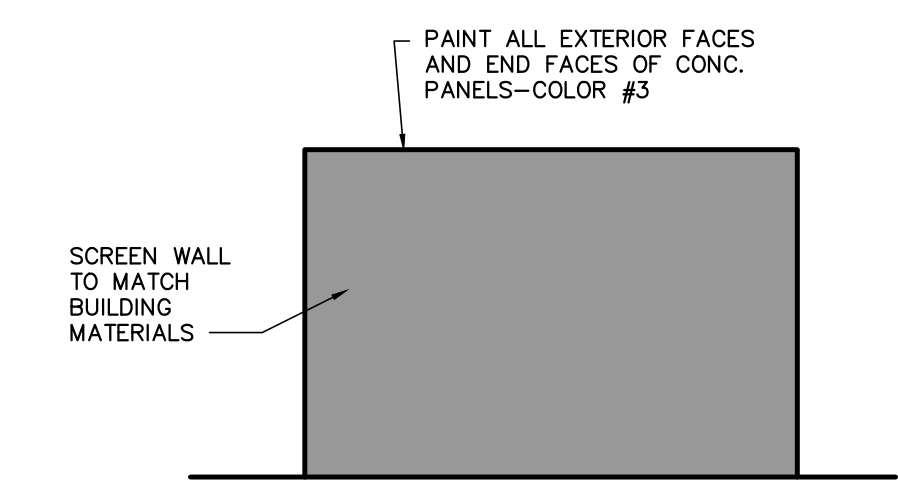
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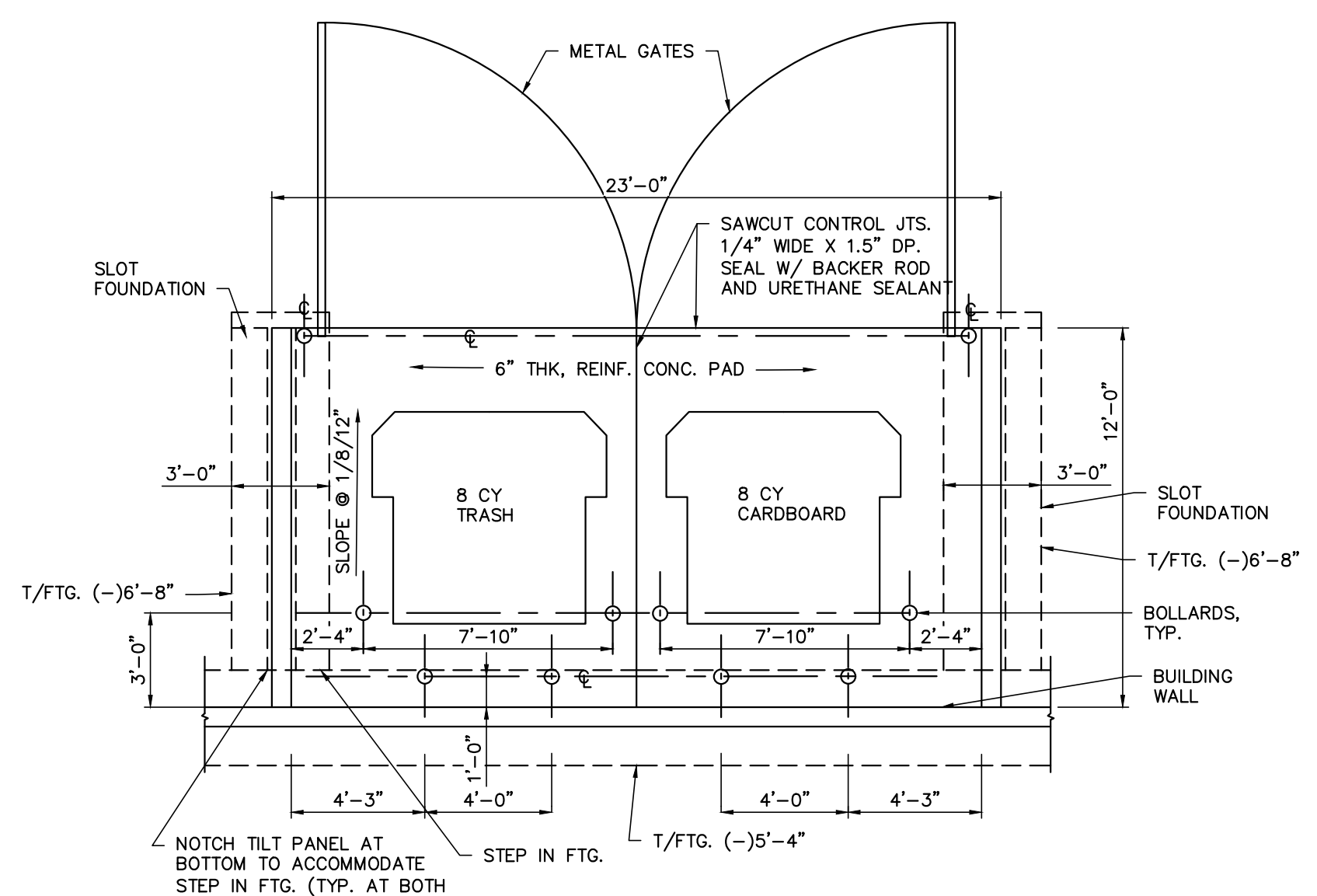
FENCING
SCALE: NONE

NOTE: FENCE SHALL BE 4- FEET IN HEIGHT, SEE DRAWING FOR LOCATION. ALL FENCE SHALL BE FLAT TOP "ASCOT" STYLE FENCE SUPPLIED BY ALUMI-GUARD, OR APPROVED EQUAL. FENCE SHALL BE MADE OF ALUMINUM AND PAINTED BLACK.

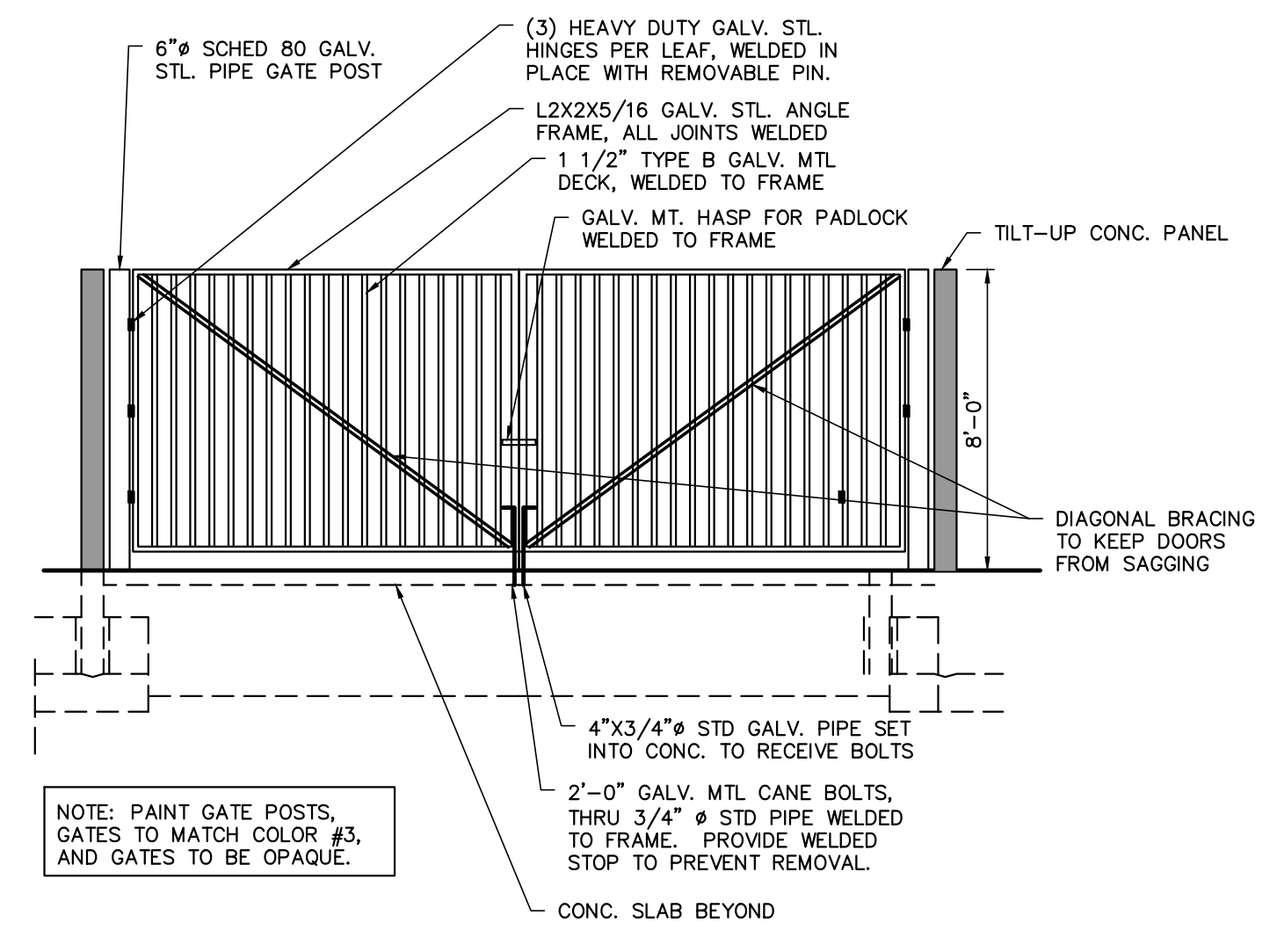
RETAINING WALL FENCE DETAIL
(NO SCALE)



DUMPSTER SCREEN WALL
NOT TO SCALE



DUMPSTER PAD
NOT TO SCALE



NOTE: PAINT GATE POSTS, GATES TO MATCH COLOR #3, AND GATES TO BE OPAQUE.

DUMPSTER GATE
NOT TO SCALE

PLAN PREPARED BY:

51 Kilmorye Drive, Suite 102
Cory, North Carolina 27011
ph 919-481-0500 fax 919-336-5127

PLAN PREPARED FOR:

500 East Morehead St.
Suite 200
Charlotte, North Carolina 28209
tel. 704-597-7757 fax 704-598-6335

St. Matthews Township - 5901 Farmwell Road, Knightdale, NC 27610 - Wake County

KNIGHTDALE GATEWAY OUTPARCEL

SKETCH PLAN
FOR
BEACON PARTNERS

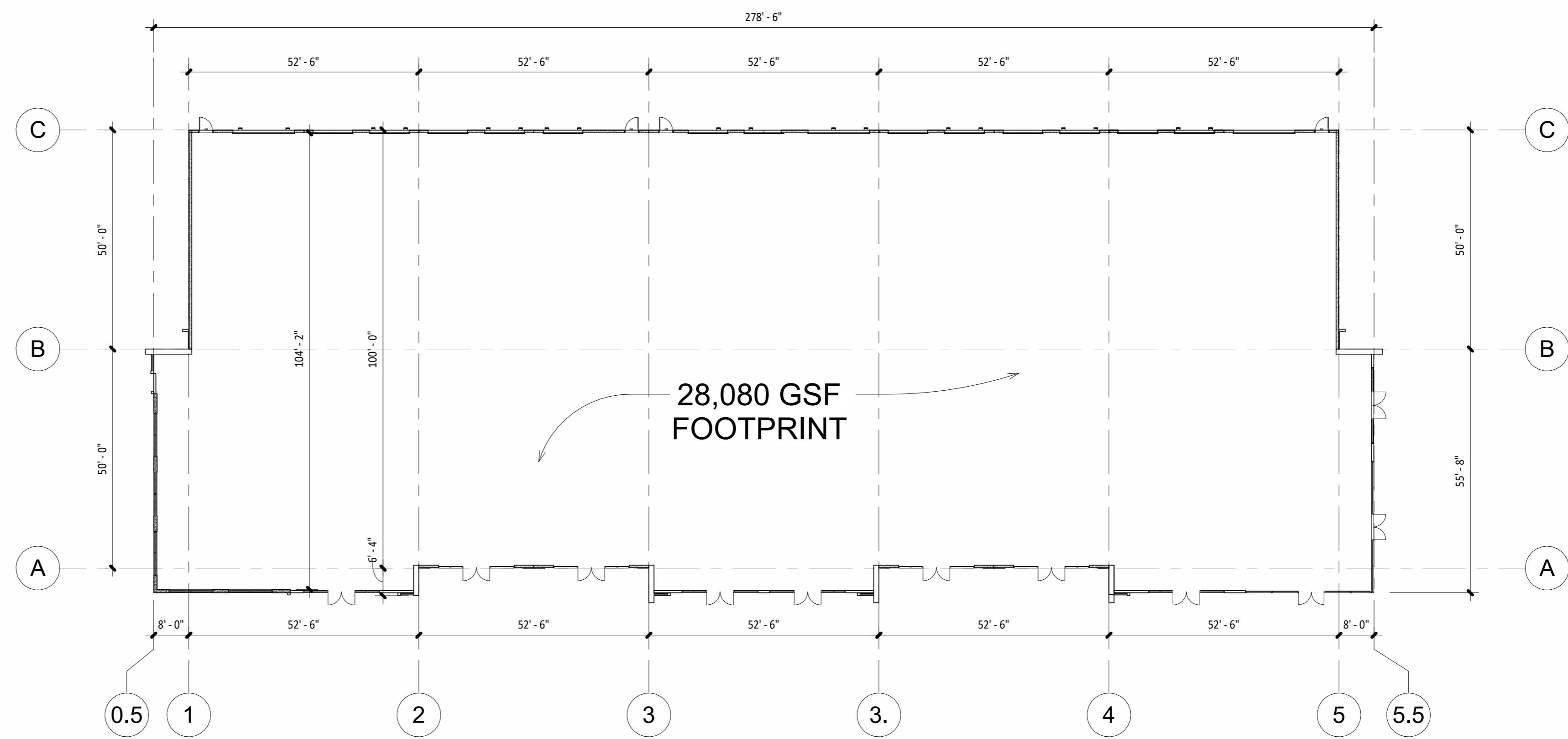
DETAILS

ROYCE R. ROYAL
ENGINEER
NORTH CAROLINA
28555

09/16/2023

Issue Dates:	08/04/2023 - Town Submittal #1
	09/16/2023 - Town Submittal #2

Date:	09/16/2023
Scale:	NOT TO SCALE
Drawn By:	AMK
Checked By:	JRR
Project Number:	21-0011-504
Drawing Number:	C.4.0



4 Rear Elevation
1" = 10'-0"



3 Side Elevation.
1" = 10'-0"



2 Side Elevation
1" = 10'-0"



1 Front Elevation
1" = 10'-0"



FOR CLIENT REVIEW & APPROVAL

NOT FOR CONSTRUCTION



KNIGHTDALE FLEX
US HWY 64 / NEW BERN AVE
KNIGHTDALE, NORTH CAROLINA

Issued For:
CLIENT REVIEW & APPROVAL 09.15.23

Revision No.	Description	Date

Flex Building Schematic Exterior Elevations

Project Number	TBD
Date	09.15.23
Drawn By	mm
Checked By	mm

A200

Scale As indicated

