

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY BATEMAN CIVIL SURVEY COMPANY DATED JUNE 27TH 2025.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.

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| MP 6.1 | SITE DETAILS |
| MP 6.2 | SITE DETAILS |
| MP 6.3 | SITE DETAILS |
| MP 6.4 | SITE DETAILS |
| EX 1.0 | ROUNDABOUT EXHIBIT |

RALEIGH WATER CONDITIONS OF APPROVAL:

- ALL WATER, SANITARY SEWER AND REFUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION.
- CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.
- A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE.
- A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUD HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- A DEED SHALL BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION.

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division to schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require re-installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of Raleigh Water Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

WATER ALLOCATION POINT TABLE:

| BASE POINTS: | NOTES |
|---|--------|
| MAJOR SUBDIVISION | 15 PTS |
| CATEGORY 2 - GREEN DEVELOPMENT STANDARDS: | |
| 2B: STORMWATER - BIORETENTION | 5 PTS |
| 2B: STORMWATER - WETLAND | 5 PTS |
| 2C: IMPLEMENT RECOMMENDATIONS OF THE AFFORDABLE KNIGHTDALE PLAN | 10 PTS |
| 2C: EXCLUSIVE USE OF NATIVE LANDSCAPE SPECIES | 5 PTS |
| CATEGORY 3 - OUTDOOR ENHANCEMENT: | |
| 3: OUTDOOR DISPLAY OF PUBLIC ART | 4 PTS |
| 3: INSTALLATION OF WAYFINDING/TOWN SIGNAGE | 3 PTS |
| CATEGORY 4 - AMENITIES: | |
| 4A: PRIVATE GREENWAY | 2 PTS |
| 4B: LAP POOL (4 LANE MIN.) | 3 PTS |
| 4E: CLUBHOUSE (BATH & CHANGING ROOM ONLY) | 3 PTS |
| 4F: IPEMA CERTIFIED PLAYGROUND EQUIPMENT | 4 PTS |
| TOTAL POINTS | 59 PTS |

GREENWAY NOTE:
PUBLIC GREENWAY TRAIL ROUTE SHOULD LIMIT ITS INTERACTION WITH ROADWAYS THROUGHOUT THE DEVELOPMENT.

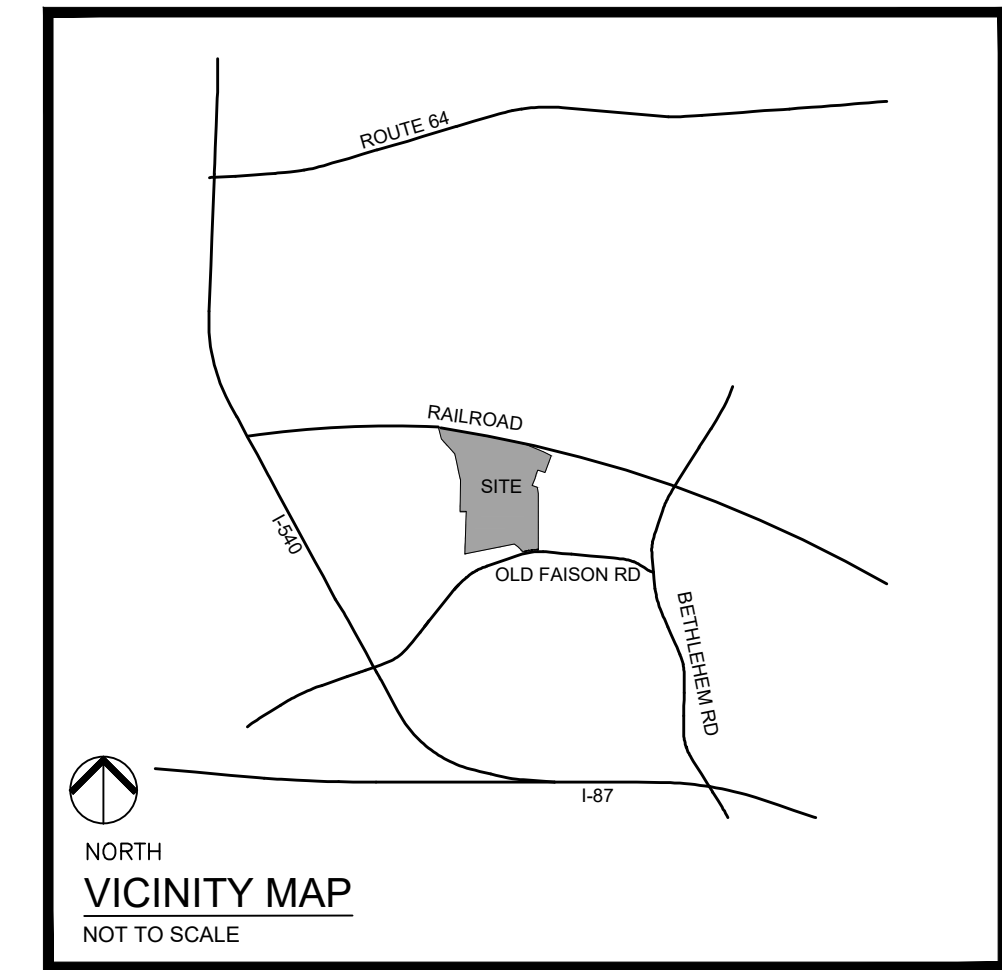
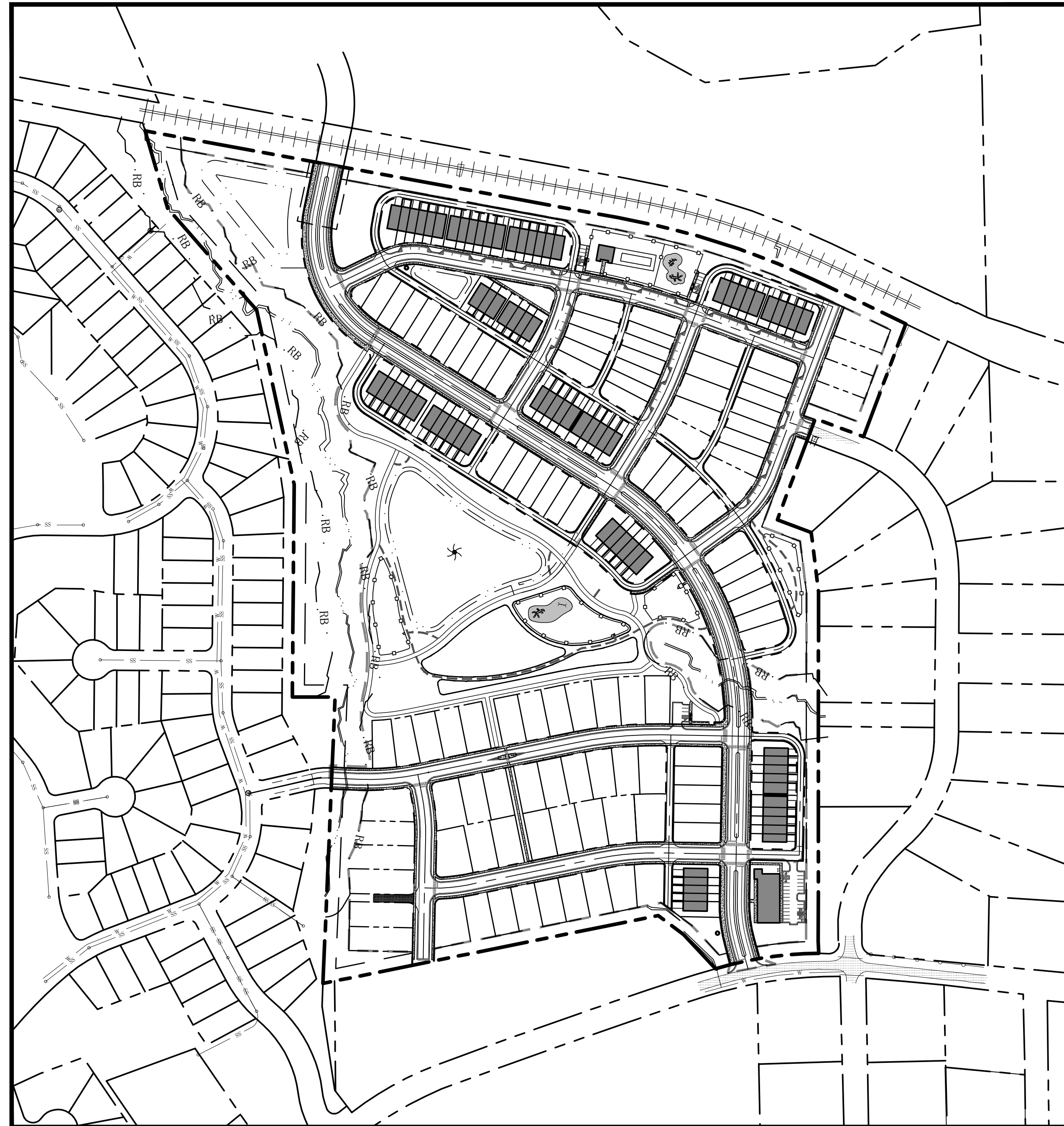
PROJECT NOTE:
THIS MASTER PLAN IS CONCEPTUAL AND NOT FOR CONSTRUCTION. THIS PROJECT WILL REQUIRE TOWN OF KNIGHTDALE SITE PLAN APPROVAL AND PERMITTING PRIOR TO CONSTRUCTION. CONCEPT PLAN IS INTENDED TO BE USED FOR PLANNING AND SCOPE DEVELOPMENT ONLY.

FAISON RESERVE

4402 OLD FAISON ROAD

Knightsdale, North Carolina

MASTER PLANS (ZMA-1-25)



SITE DATA SUMMARY

| | |
|----------------------------------|--|
| PROJECT NAME: | FAISON RESERVE |
| PROPERTY OWNER: | MARLOWE & MOYE LLC PO BOX 20667 RALEIGH, NC 27619 PHONE: (919) 844-7888 |
| PARCEL #: | 0031642 |
| PIN(S): | 1743-89-5866, 1743-88-6921 |
| SITE ADDRESS: | 4402 OLD FAISON ROAD |
| JURISDICTION: | KNIGHTDALE |
| EXISTING ZONING: | RT |
| PROPOSED ZONING: | UR12 PUD |
| OVERLAY DISTRICT: | N/A |
| WATERSHED: | NEUSE RIVER |
| GROSS LOT ACREAGE: | 2,518,207 SF./57.81 AC. |
| RIGHT OF WAY DEDICATION: | 534,715 SF./12.27 AC. |
| NET LOT ACREAGE: | 1,983,722 SF./45.54 AC. |
| WIDENERS PARKWAY LENGTH: | 2,470 LF. |
| GREENWAY (PUBLIC & PRIVATE): | 3,500 LF. |
| PUBLIC SIDEWALKS (5' WIDE): | 5,000+ LF. |
| SANITARY SEWER LINES & MANHOLES: | ±6,700 LF. SS, 36 MANHOLES MIN. |
| CURRENT USE: | VACANT |
| PROPOSED USE: | TOWNHOMES, 40' SINGLE-FAMILY ROW HOUSES, 60' SINGLE FAMILY HOMES, COMMERCIAL BUILDING |
| CURRENT USE OF ADJACENT PARCELS: | SINGLE FAMILY RESIDENTIAL |
| COMMERCIAL BUILDING AREA: | 7,500 SF. |
| COMMERCIAL LOT: | 28,674 SF./0.66 AC. |
| BUILDING HEIGHT: | 42' |
| PROPOSED UNITS: | 78 TOWNHOMES (42%) 53 SINGLE-FAMILY ROW HOUSES (29%) 53 SINGLE FAMILY HOMES (29%) |
| PROPOSED DENSITY: | 4.04 DU/AC AFTER R/W DEDICATION |
| BUILDING SETBACKS: | |
| TOWNHOMES: | |
| FRONT (MAX.): | 25' |
| SIDE (MIN.): | 3' |
| REAR (MIN.): | 15' |
| SINGLE-FAMILY: | |
| FRONT (MIN.): | 10' |
| CORNER SIDE (MIN.): | 10' |
| SIDE (MIN.): | 20% LOT WIDTH (AS AGGREGATE) |
| COMMERCIAL (CLUBHOUSE): | |
| FRONT (MIN.): | 10' |
| FRONT (MAX.): | 30' |
| SIDE (MIN.): | 6' |
| MIXED-USE (RETAIL): | |
| FRONT (MAX.): | 10' |
| SIDE (MIN.): | 10' |
| PARKING CALCULATIONS: | |
| TOWNHOMES: | |
| REQUIRED PARKING (MIN.): | 1 PER BEDROOM UP TO 2 PER UNIT 2*78 UNITS=156 SPACES |
| PARKING PROVIDED: | 156 SPACES (DRIVEWAY/GARAGE), 17 ON-STREET SPACES |
| SINGLE-FAMILY: | |
| REQUIRED PARKING (MIN.): | 1 PER BEDROOM UP TO 2 PER UNIT 2*106 UNITS=212 SPACES |
| PARKING PROVIDED: | 212 SPACES (DRIVEWAY/GARAGE), 18 ON-STREET SPACES |
| COMMERCIAL (COMMUNITY FACILITY): | |
| REQUIRED PARKING (MIN.): | 1/2 OF MAXIMUM=X SPACES |
| REQUIRED PARKING (MAX.): | 1 PER 3 PERSONS PERMITTED CAP *X PERSONS=X SPACES |
| PARKING PROVIDED: | 10 OFF-STREET SPACES(INCL. 2 ADA), 8 ON-STREET SPACES |
| MIXED-USE (RETAIL): | |
| REQUIRED PARKING (MIN.): | 1/2 OF MAXIMUM=13 SPACES |
| REQUIRED PARKING (MAX.): | 3.5 PER KSF GFA 3.5*7.5 KSF GFA=26 SPACES |
| PARKING PROVIDED: | 24 OFF-STREET SPACES (INCL. 2 ADA & 3 EV CHARGING) |
| FLOOD ZONE: | NW CORNER LOCATED IN FLOOD ZONE ACCORDING TO FEMA MAP: #3720174500K, 07/19/2022 |



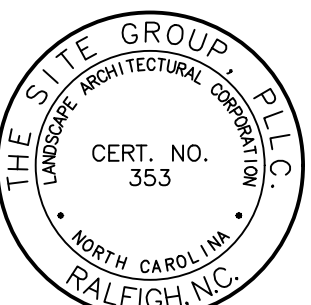
PRELIMINARY
DO NOT USE FOR CONSTRUCTION

COVER SHEET

SCALE: 1" = 200'



APPROVED MASTER PLAN
Town of Knightsdale
Development Services
Gideon Smith 04/23/2026



NC ENGINEERING
LICENSE NO. P-0803

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC.
1111 Old Faison Rd.
Raleigh, NC 27605-1136 USA
Office: 919.835.4787
E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: **JHJ**
Checked By: **BDM**

DATE:
24 NOV 2025
REVISED:
26 JAN 2026
31 MAR 2026

MASTER PLANS

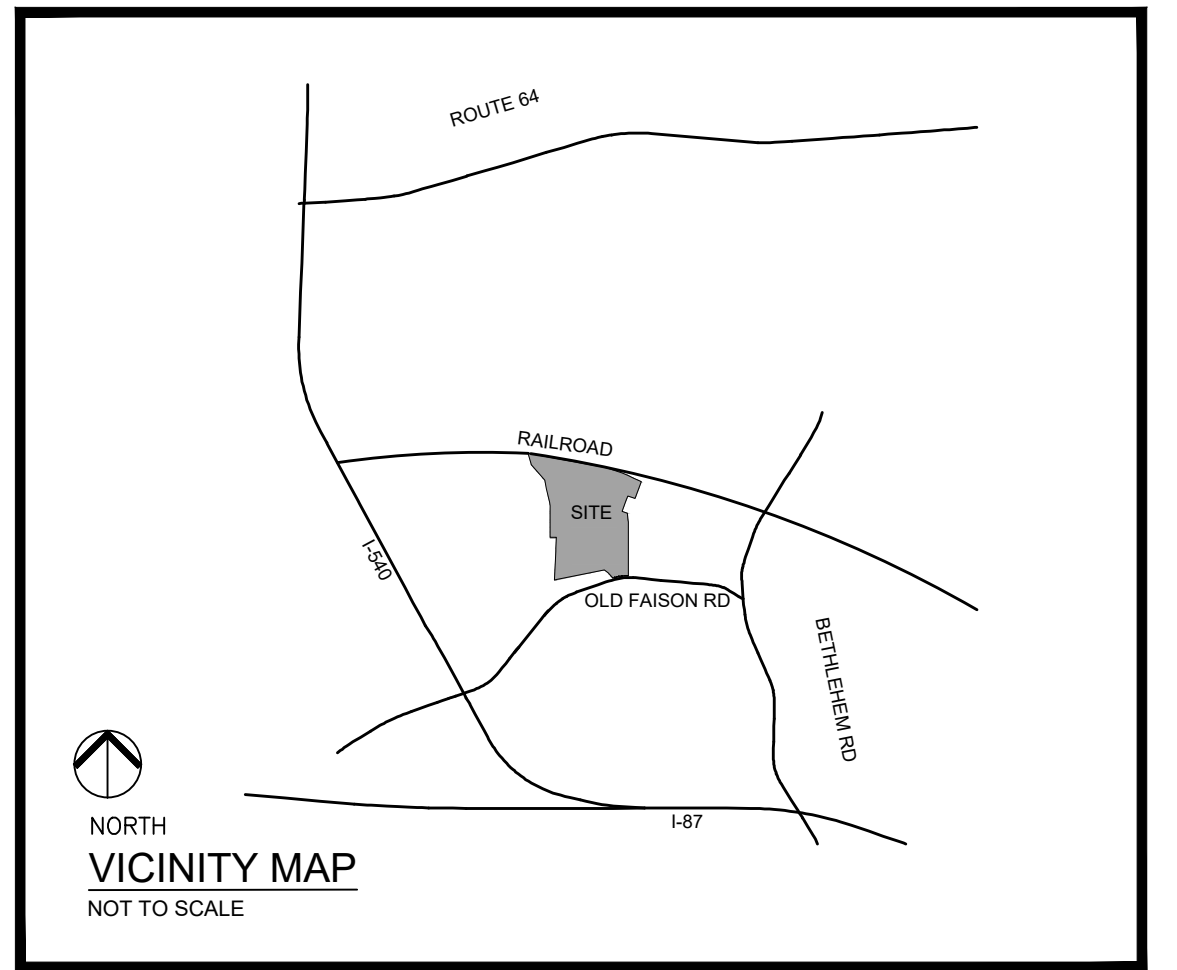
COVER SHEET

Job Code: **L70FRZ**

Dwg No.
MP 0.1



- LEGEND**
- EIP EXISTING IRON PIPE
 - EIR EXISTING IRON REBAR
 - ECM EXISTING CONCRETE MONUMENT
 - EPK EXISTING PKI MAG NAIL
 - IPS IRON PIPE SET
 - PKS PK NAIL SET
 - DB DEED BOOK
 - PB PLAT BOOK
 - PG PAGE
 - R/W RIGHT OF WAY
 - N/F NOW OR FORMERLY
 - (T) TOTAL
 - TYP TYPICAL
 - RCP REINFORCED CONCRETE PIPE
 - DIP DUCTILE IRON PIPE
 - CPP CORRUGATED PLASTIC PIPE
 - BCF BOUNDARY CORNER FOUND
 - BCS BOUNDARY CORNER SET
 - MPF MONUMENT FOUND
 - CPM COMPUTED POINT
 - SB SITE BENCHMARK
 - UV UTILITY VALVE
 - UMH UTILITY MANHOLE
 - UHH UTILITY HAND HOLE
 - UM UTILITY METER
 - UMK UTILITY MARKER
 - UP UTILITY POLE
 - UW UTILITY WIRE
 - LP LIGHT POLE
 - FH FIRE HYDRANT
 - CO CLEAN OUT
 - CB CATCH BASIN
 - DI DROP INLET
 - TR TRANSFORMER
 - EP ELECTRIC PEDESTAL / BOX
 - TP TELEPHONE PEDESTAL / BOX
 - CP CABLE PEDESTAL / BOX
 - WELL
 - WELL SIGN
 - AC UNIT
 - PL PROPERTY LINE SURVEYED
 - PLN PROPERTY LINE NOT SURVEYED
 - BL BOUNDARY TIE LINE
 - R/W RIGHT OF WAY
 - EASEMENTS
 - SETBACKS
 - OUH OVERHEAD UTILITY LINE
 - SSL SANITARY SEWER LINE
 - ISD UNDERGROUND SEWER LINE
 - ISU UNDERGROUND WATER
 - ISF UNDERGROUND FIBER
 - UGC UNDERGROUND CABLE
 - UGG UNDERGROUND GAS
 - UTL UNDERGROUND TELEPHONE
 - UNK UNDERGROUND UNKNOWN LINE
 - PAV PAVEMENT
 - CON CONCRETE
 - GRAV GRAVEL



- NOTES**
1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF F. REX COOPER, PLS.
 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON GPS OBSERVATIONS, NAD83 / NSRS 2011 / SPC, UNLESS OTHERWISE SHOWN.
 3. PROPERTY LIES IN ZONE "X" PER NATIONAL INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBERS 3720174300K & 37210174400K, DATED 07/19/2022.
 4. SUBJECT PROPERTY ZONED "RT" FOR THE TOWN OF KNIGHTDALE PER WAKE COUNTY GIS.
 5. AREAS COMPUTED BY COORDINATE METHOD.
 6. THIS MAP HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
 7. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND/OR PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY CLIENT.
 8. NO CEMETERIES WERE OBSERVED AS A RESULT OF THIS SURVEY.
 9. THE SUBJECT PARCEL HAS DIRECT ACCESS OLD FAISON ROAD, A PUBLIC RIGHT OF WAY.
 10. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
 11. BUILDINGS AND STRUCTURES SHOWN AS OBSERVED.
 12. BOUNDARY CORNERS SET ARE 3/4" IPS UNLESS OTHERWISE NOTED.
 13. NO EVIDENCE OF RECENT EARTH MOVING OR CONSTRUCTION WAS OBSERVED AT THE TIME OF SURVEY.
 14. SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES TO STREET RIGHT OF WAY LINES. NO EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF SURVEY.
 15. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

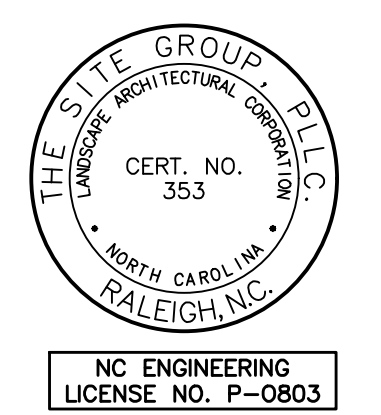
| CURVE TABLE | | | | |
|-------------|---------|---------|-------------|---------|
| CURVE# | LENGTH | RADIUS | BEARING | CHORD |
| C1 | 260.96' | 698.70' | S81°34'28"W | 260.04' |

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N
PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH
 EXISTING
 CONDITIONS PLAN
 SCALE: 1" = 100'

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026



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 Raleigh, NC 27605-1136 USA
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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

DATE:
 24 NOV 2025
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MASTER PLANS




EXISTING CONDITIONS PLAN

Job Code: L70FRZ

Dwg No.
 MP
 1.0

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TREE SAVE AREA LEGEND

-  TIER 1 TSA
-  TIER 2 TSA
-  TIER 3 TSA

GENERAL NOTES

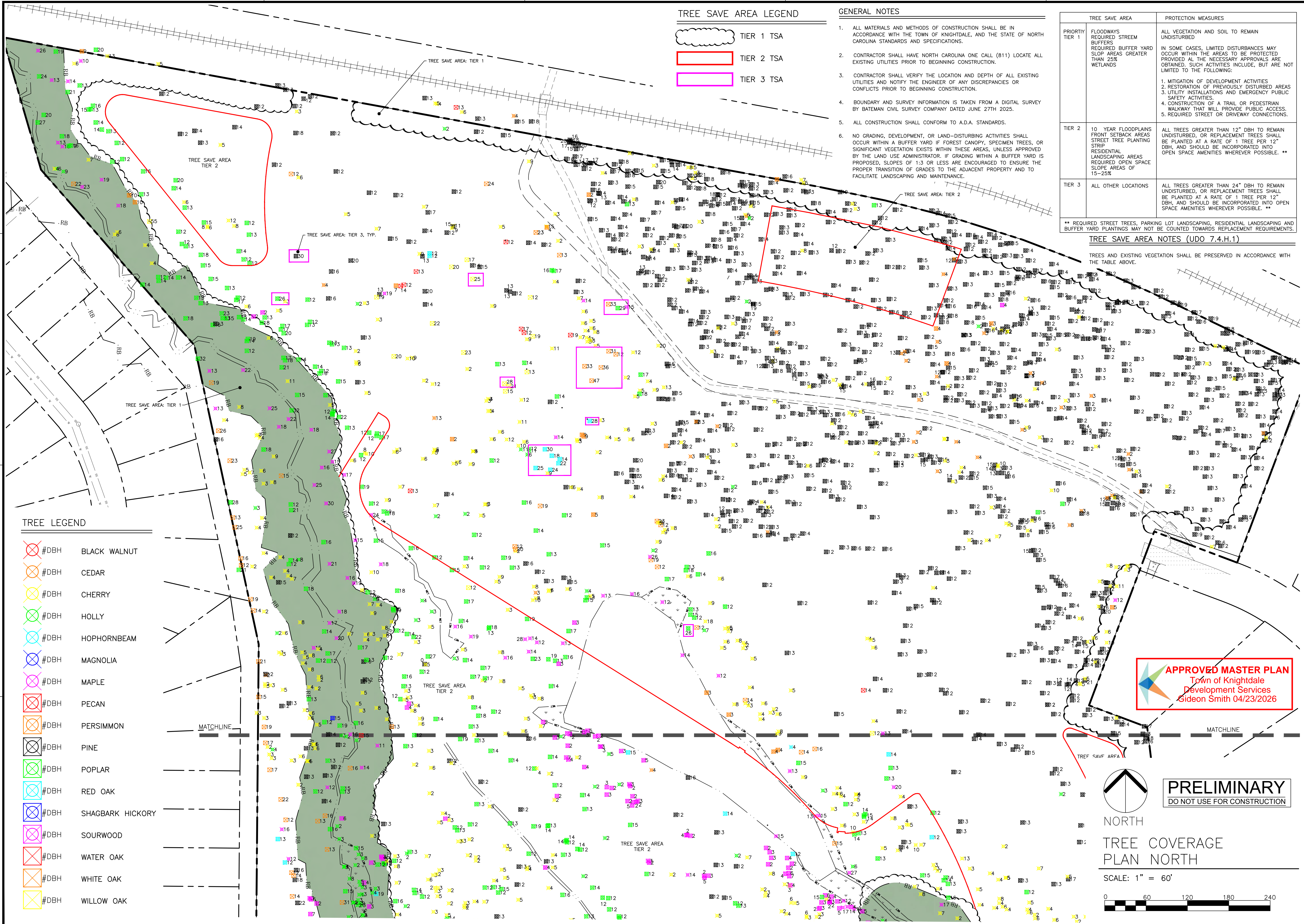
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| TREE SAVE AREA | PROTECTION MEASURES |
|---|--|
| PRIORITY TIER 1 FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOP AREAS GREATER THAN 25% WETLANDS | ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED IN SOME CASES, LIMITED DISTURBANCES MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED AL THE NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 1. MITIGATION OF DEVELOPMENT ACTIVITIES 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS. |
| TIER 2 10' YEAR FLOODPLAINS BUFFERS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25% | ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. ** |
| TIER 3 ALL OTHER LOCATIONS | ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. ** |

** REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

TREE SAVE AREA NOTES (UDO 7.4.H.1)

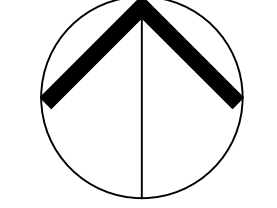
TREES AND EXISTING VEGETATION SHALL BE PRESERVED IN ACCORDANCE WITH THE TABLE ABOVE.



TREE LEGEND

-  #DBH BLACK WALNUT
-  #DBH CEDAR
-  #DBH CHERRY
-  #DBH HOLLY
-  #DBH HOPHORNBEAM
-  #DBH MAGNOLIA
-  #DBH MAPLE
-  #DBH PECAN
-  #DBH PERSIMMON
-  #DBH PINE
-  #DBH POPLAR
-  #DBH RED OAK
-  #DBH SHAGBARK HICKORY
-  #DBH SOURWOOD
-  #DBH WATER OAK
- #DBH WHITE OAK
- #DBH WILLOW OAK

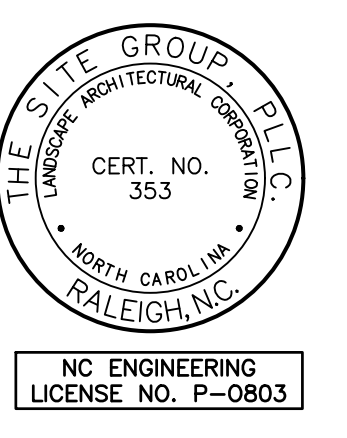
APPROVED MASTER PLAN
Town of Knightdale
Development Services
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PRELIMINARY
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TREE COVERAGE PLAN NORTH

SCALE: 1" = 60'



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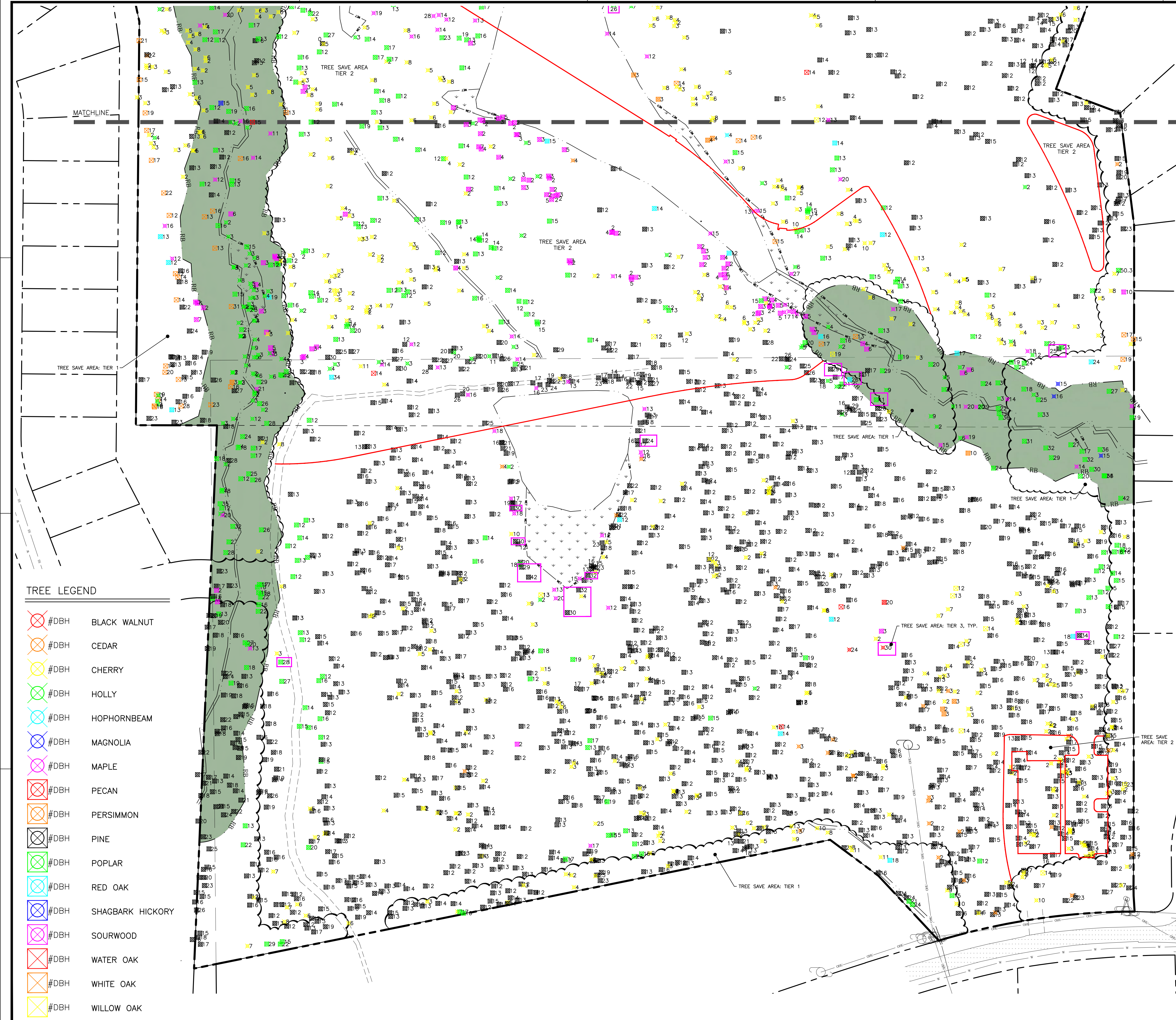
DATE: 24 NOV 2025
REVISED:
△ 26 JAN 2026
△ 31 MAR 2026

MASTER PLANS

TREE COVERAGE PLAN NORTHWEST

Job Code L70FRZ

Dwg No.
MP 1.1



TREE LEGEND

| | | |
|---|------|------------------|
| ⊗ | #DBH | BLACK WALNUT |
| ⊗ | #DBH | CEDAR |
| ⊗ | #DBH | CHERRY |
| ⊗ | #DBH | HOLLY |
| ⊗ | #DBH | HOPHORNBEAM |
| ⊗ | #DBH | MAGNOLIA |
| ⊗ | #DBH | MAPLE |
| ⊗ | #DBH | PECAN |
| ⊗ | #DBH | PERSIMMON |
| ⊗ | #DBH | PINE |
| ⊗ | #DBH | POPLAR |
| ⊗ | #DBH | RED OAK |
| ⊗ | #DBH | SHAGBARK HICKORY |
| ⊗ | #DBH | SOURWOOD |
| ⊗ | #DBH | WATER OAK |
| ⊗ | #DBH | WHITE OAK |
| ⊗ | #DBH | WILLOW OAK |

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 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
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TREE SAVE AREA NOTES (UDO 7.4.H.1)

TREES AND EXISTING VEGETATION SHALL BE PRESERVED IN ACCORDANCE WITH THE TABLE BELOW.

| TREE SAVE AREA | PROTECTION MEASURES |
|---|---|
| PRIORITY TIER 1 FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOP AREAS GREATER THAN 25% WETLANDS | ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED IN SOME CASES, LIMITED DISTURBANCES MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED ALL THE NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 1. MITIGATION OF DEVELOPMENT ACTIVITIES 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS. |
| TIER 2 10 YEAR FLOODPLAINS FRONT SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25% | ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. ** |
| TIER 3 ALL OTHER LOCATIONS | ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. ** |

** REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

TREE SAVE AREA LEGEND

| | |
|--|------------|
| | TIER 1 TSA |
| | TIER 2 TSA |
| | TIER 3 TSA |

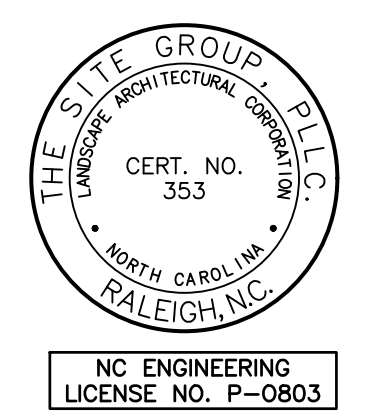
APPROVED MASTER PLAN
Town of Knightdale
Development Services
Gideon Smith 04/23/2026

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

NORTH

TREE COVERAGE PLAN SOUTH

SCALE: 1" = 60'



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC
1111 S. OAKWOOD
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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: **JHJ**
Checked By: **BDM**

DATE:
24 NOV 2025
REVISED:
△ 26 JAN 2026
△ 31 MAR 2026

MASTER PLANS

TREE COVERAGE PLAN SOUTH

Job Code: **L70FRZ**
Dwg No.: **MP 1.2**

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|--|--|
| <p>PRIORITY TIER 1</p> <p>FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOP AREAS GREATER THAN 25% WETLANDS</p> | <p>ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED</p> <p>IN SOME CASES, LIMITED DISTURBANCES MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED ALL THE NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:</p> <ol style="list-style-type: none"> 1. MITIGATION OF DEVELOPMENT ACTIVITIES 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES. 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS. |
| <p>TIER 2</p> <p>10 YEAR FLOODPLANS FRONT SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25%</p> | <p>ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **</p> |
| <p>TIER 3</p> <p>ALL OTHER LOCATIONS</p> | <p>ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **</p> |

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TREE SAVE AREA BREAKDOWN:

TIER 2 - REQUIRED OPEN SPACE: ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE/12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

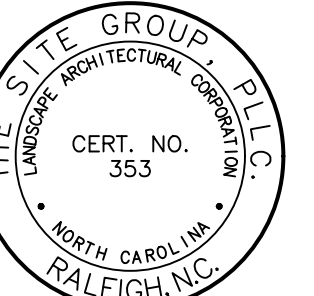
TREES WITHIN REQUIRED OPEN SPACE TO REMAIN UNDISTURBED OR REMOVED+REPLACED = 326 TREES

- (1) 12" CHERRY
- (3) 12" MAPLE
- (2) 13" MAPLE
- (8) 14" MAPLE
- (1) 15" MAPLE
- (3) 16" MAPLE
- (2) 17" MAPLE
- (1) 18" MAPLE
- (1) 19" MAPLE
- (1) 23" MAPLE
- (1) 27" MAPLE
- (1) 28" MAPLE
- (1) 12" PINE
- (36) 13" PINE
- (23) 14" PINE
- (11) 15" PINE
- (9) 16" PINE
- (7) 17" PINE
- (5) 18" PINE
- (4) 19" PINE
- (4) 20" PINE
- (4) 21" PINE
- (9) 22" PINE
- (2) 23" PINE
- (2) 24" PINE
- (4) 25" PINE
- (4) 26" PINE
- (4) 27" PINE
- (1) 28" PINE
- (1) 29" PINE
- (2) 30" PINE
- (29) 12" POPLAR
- (22) 13" POPLAR
- (21) 14" POPLAR
- (8) 15" POPLAR
- (5) 16" POPLAR
- (6) 17" POPLAR
- (2) 18" POPLAR
- (4) 19" POPLAR
- (3) 20" POPLAR
- (1) 22" POPLAR
- (1) 23" POPLAR
- (1) 25" POPLAR
- (1) 27" POPLAR
- (2) 12" RED OAK
- (1) 14" RED OAK
- (1) 34" RED OAK
- (1) 14" WATER OAK
- (1) 13" WHITE OAK
- (1) 15" WHITE OAK
- (2) 12" WILLOW OAK

TIER 3 - ALL OTHER LOCATIONS: ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE/12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

TREES IN OTHER LOCATIONS TO REMAIN UNDISTURBED OR REMOVED+REPLACED = 26 TREES

- (1) 30" BLACK WALNUT
- (1) 24" PINE
- (2) 25" PINE
- (2) 29" PINE
- (3) 30" PINE
- (2) 32" PINE
- (1) 34" PINE
- (1) 42" PINE
- (2) 26" POPLAR
- (1) 28" POPLAR
- (1) 29" POPLAR
- (1) 41" POPLAR
- (1) 24" WHITE OAK
- (1) 31" WHITE OAK
- (1) 33" WHITE OAK
- (1) 36" WHITE OAK
- (1) 47" WHITE OAK
- (1) 25" WILLOW OAK
- (1) 28" WILLOW OAK
- (1) 24" RED OAK
- (1) 25" RED OAK
- (1) 26" RED OAK
- (1) 28" RED OAK
- (1) 30" RED OAK



NC ENGINEERING LICENSE NO. P-0803

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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

DATE:
 31 MAR 2026

MASTER PLANS

TREE SAVE AREA BREAKDOWN

Job Code: **L70FRZ**

Dwg No.
MP 1.3



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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

ACTIVE AMENITY AREA INCLUDES:
 RAILROAD PLAYGROUND (PEMA CERTIFIED),
 COMMUNITY CLUBHOUSE W/ POOL, BIKE
 RACKS, MAIL KIOSKS & RESIDENCE PARKING
 (#=30,000 SF TOTAL)

STREET LENGTH TABLE:

| | |
|--------------------|-----------|
| WIDEWATERS PARKWAY | 2,495 LF. |
| STREET A | 941 LF. |
| STREET B | 1,023 LF. |
| STREET C | 463 LF. |
| STREET D | 745 LF. |
| STREET E | 643 LF. |
| STREET F | 547 LF. |
| STREET G | 1,262 LF. |
| ALLEY A | 430 LF. |
| ALLEY B | 424 LF. |
| ALLEY C | 1,148 LF. |
| ALLEY D | 1,591 LF. |
| ALLEY E | 362 LF. |
| ALLEY F | 272 LF. |
| ALLEY G | 430 LF. |
| ALLEY H | 775 LF. |

SITE DATA SUMMARY

| | |
|----------------------------------|---|
| PROJECT NAME: | FAISON RESERVE |
| PROPERTY OWNER: | MARLOWE & MOYE LLC PO BOX 20667 RALEIGH, NC 27619 PHONE: (919) 844-7888 |
| PARCEL #: | 0031642 |
| PIN(S): | 1743-89-5866, 1743-88-6921 |
| SITE ADDRESS: | 4402 OLD FAISON ROAD |
| JURISDICTION: | KNIGHTDALE |
| EXISTING ZONING: | RT |
| PROPOSED ZONING: | UR12 PUD |
| OVERLAY DISTRICT: | N/A |
| WATERSHED: | NEUSE RIVER |
| GROSS LOT ACREAGE: | 2,518,207 SF./57.81 AC. |
| RIGHT OF WAY DEDICATION: | 534,715 SF./12.27 AC. |
| NET LOT ACREAGE: | 1,983,492 SF./45.54 AC. |
| WIDEWATERS PARKWAY LENGTH: | 2,470 LF. |
| GREENWAY (PUBLIC & PRIVATE): | 3,500 LF. |
| PUBLIC SIDEWALKS (5' WIDE): | 5,000+ LF. |
| SANITARY SEWER LINES & MANHOLES: | ±6,700 LF. SS, 36 MANHOLES MIN. |
| CURRENT USE: | VACANT |
| PROPOSED USE: | TOWNHOMES, 40' SINGLE-FAMILY ROW HOUSES, 60' SINGLE-FAMILY HOMES, COMMERCIAL BUILDING |
| CURRENT USE OF ADJACENT PARCELS: | SINGLE FAMILY RESIDENTIAL |
| COMMERCIAL BUILDING AREA: | 7,500 SF. |
| COMMERCIAL LOT: | 28,674 SF./0.66 AC. |
| BUILDING HEIGHT: | 42' |
| PROPOSED UNITS: | 78 TOWNHOMES (42%) 53 SINGLE-FAMILY ROW HOUSES (29%) 53 SINGLE-FAMILY HOMES (29%) |
| PROPOSED DENSITY: | 4.04 DU/AC AFTER R/W DEDICATION |
| BUILDING SETBACKS: | |
| TOWNHOMES: | FRONT (MAX.): 25' SIDE (MIN.): 3' REAR (MIN.): 15' |
| SINGLE-FAMILY: | FRONT (MIN.): 10' CORNER SIDE (MIN.): 10' SIDE (MIN.): 20% LOT WIDTH (AS AGGREGATE) REAR (MIN.): SINGLE FAM: 25'; SINGLE FAM. ROW: 20' |
| COMMERCIAL (CLUBHOUSE): | FRONT (MIN.): 30' FRONT (MAX.): 30' SIDE (MIN.): 6' |
| MIXED-USE (RETAIL): | FRONT (MAX.): 10' SIDE (MIN.): 10' |
| PARKING CALCULATIONS: | TOWNHOMES: 1 PER BEDROOM UP TO 2 PER UNIT SINGLE-FAMILY: 2 PER BEDROOM UP TO 2 PER UNIT COMMERCIAL (COMMUNITY FACILITY): 1 PER 3 PERSONS PERMITTED CAP |
| REQUIRED PARKING (MIN.): | 2106 UNITS=212 SPACES |
| PARKING PROVIDED: | 156 SPACES (DRIVEWAY/GARAGE), 17 ON-STREET SPACES |
| COMMERCIAL (COMMUNITY FACILITY): | 1/2 OF MAXIMUM=X SPACES REQUIRED PARKING (MIN.): 1 PER 3 PERSONS PERMITTED CAP REQUIRED PARKING (MAX.): *X PERSONS=X SPACES PARKING PROVIDED: 10 OFF-STREET SPACES(INCL. 2 ADA), 8 ON-STREET SPACES |
| MIXED-USE (RETAIL): | 1/2 OF MAXIMUM=13 SPACES REQUIRED PARKING (MIN.): 3.5 PER KSF GFA REQUIRED PARKING (MAX.): 3.5*7.5 KSF GFA=26 SPACES PARKING PROVIDED: 24 OFF-STREET SPACES (INCL. 2 ADA & 3 EV CHARGING) |
| FLOOD ZONE: | NW CORNER LOCATED IN FLOOD ZONE ACCORDING TO FEMA MAP #372017A300K; 07/19/2022 |

LEGEND

| | |
|--------------------|---------------------|
| [Light Yellow Box] | SINGLE FAMILY HOMES |
| [Orange Box] | SF ROW HOUSES |
| [Dark Orange Box] | TOWNHOMES |

WATER ALLOCATION POINT TABLE:

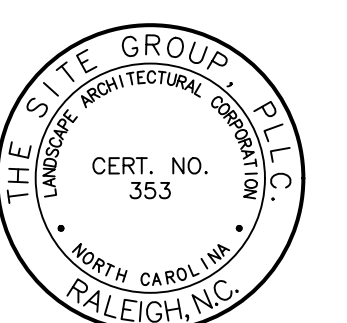
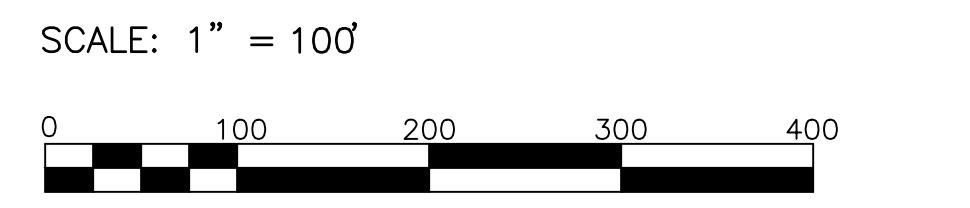
| BASE POINTS: | NOTES |
|---|---|
| MAJOR SUBDIVISION | 15 PTS |
| CATEGORY 2 - GREEN DEVELOPMENT STANDARDS: | |
| 2B: STORMWATER - BIORETENTION | 5 PTS INSTALL BIORETENTION FACILITIES TO IMPROVE WATER QUALITY AND MANAGE STORMWATER RUNOFF |
| 2B: STORMWATER - WETLAND | 5 PTS INCORPORATE CONSTRUCTED STORMWATER WETLANDS FOR NATURAL FILTRATION AND ENHANCED WATER TREATMENT |
| 2C: IMPLEMENT RECOMMENDATIONS OF THE AFFORDABLE KNIGHTDALE PLAN | 10 PTS SUPPORT THE TOWN'S AFFORDABLE HOUSING GOALS THROUGH A MONETARY CONTRIBUTION AND PROVIDING A RANGE OF AFFORDABLE HOUSING OPTIONS |
| 2C: EXCLUSIVE USE OF NATIVE LANDSCAPE SPECIES | 5 PTS UTILIZE ONLY NATIVE PLANTS IN COMMON AREAS TO PROMOTE SUSTAINABILITY AND ECOLOGICAL HEALTH |
| CATEGORY 3 - OUTDOOR ENHANCEMENT: | |
| 3: OUTDOOR DISPLAY OF PUBLIC ART | 4 PTS PROVIDE PUBLICLY VISIBLE ART IN AT LEAST TWO LOCATIONS TO ENHANCE NEIGHBORHOOD IDENTITY AND CHARACTER |
| 3: INSTALLATION OF WAYFINDING/TOWN SIGNAGE | 3 PTS INCLUDE TOWN-PROPOSED WAYFINDING SIGNAGE TO IMPROVE NAVIGATION AND COMMUNITY CONNECTIVITY |
| CATEGORY 4 - AMENITIES: | |
| 4A: PRIVATE GREENWAY | 2 PTS CONSTRUCT A 2,000 LF OR LONGER 10-FT-WIDE PAVED PATH |
| 4B: LAP POOL (4 LANE MIN.) | 3 PTS CONSTRUCT A FOUR-LANE LAP POOL AS PART OF THE COMMUNITY RECREATION AMENITIES |
| 4E: CLUBHOUSE (BATH & CHANGING ROOM ONLY) | 3 PTS CONSTRUCT A CLUBHOUSE WITH RESTROOMS AND CHANGING FACILITIES |
| 4F: IPEMA CERTIFIED PLAYGROUND EQUIPMENT | 4 PTS INSTALL PLAYGROUND EQUIPMENT |
| TOTAL POINTS | 59 PTS |

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NORTH
 OVERALL PRELIMINARY
 SITE LAYOUT PLAN



NC ENGINEERING
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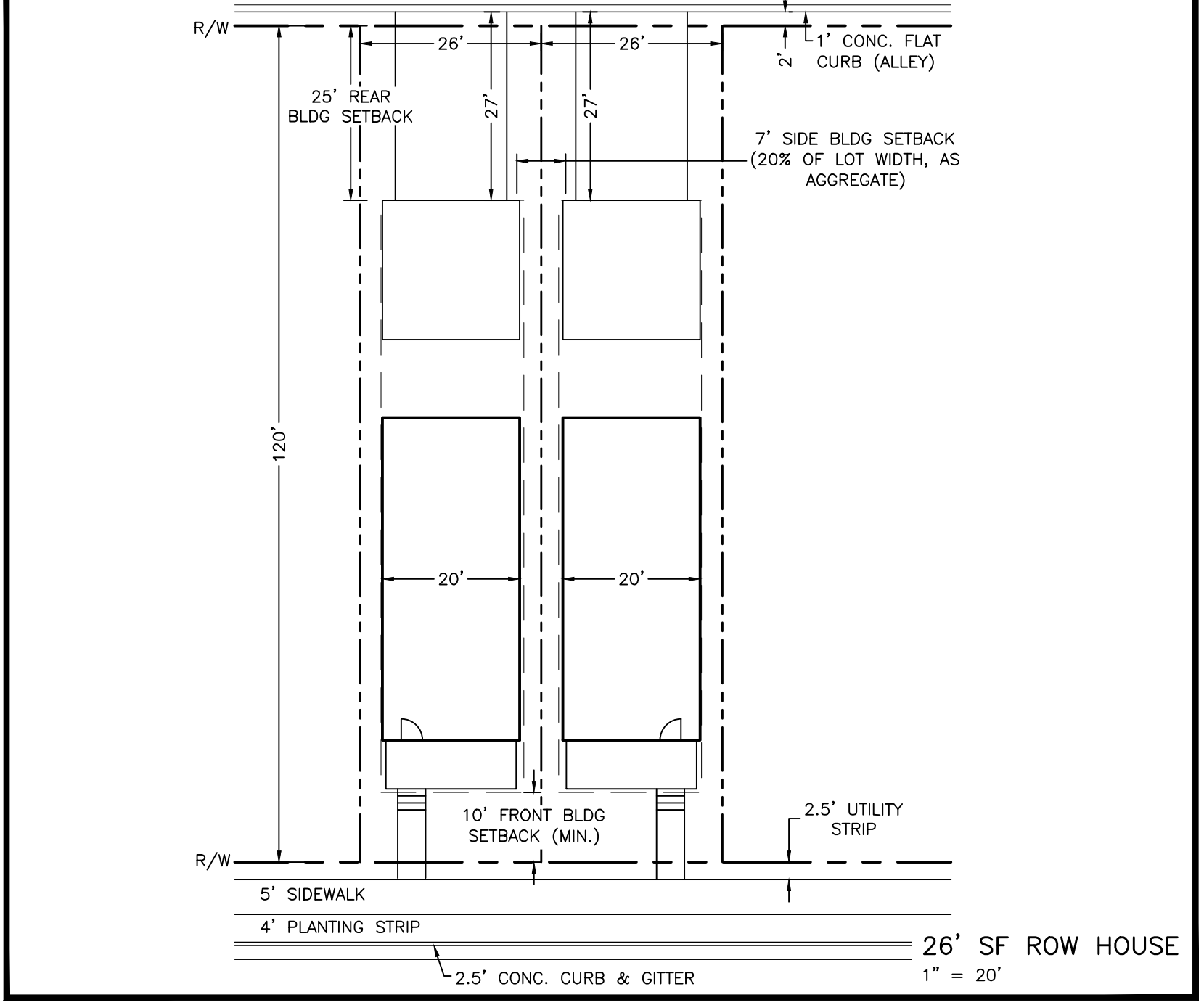
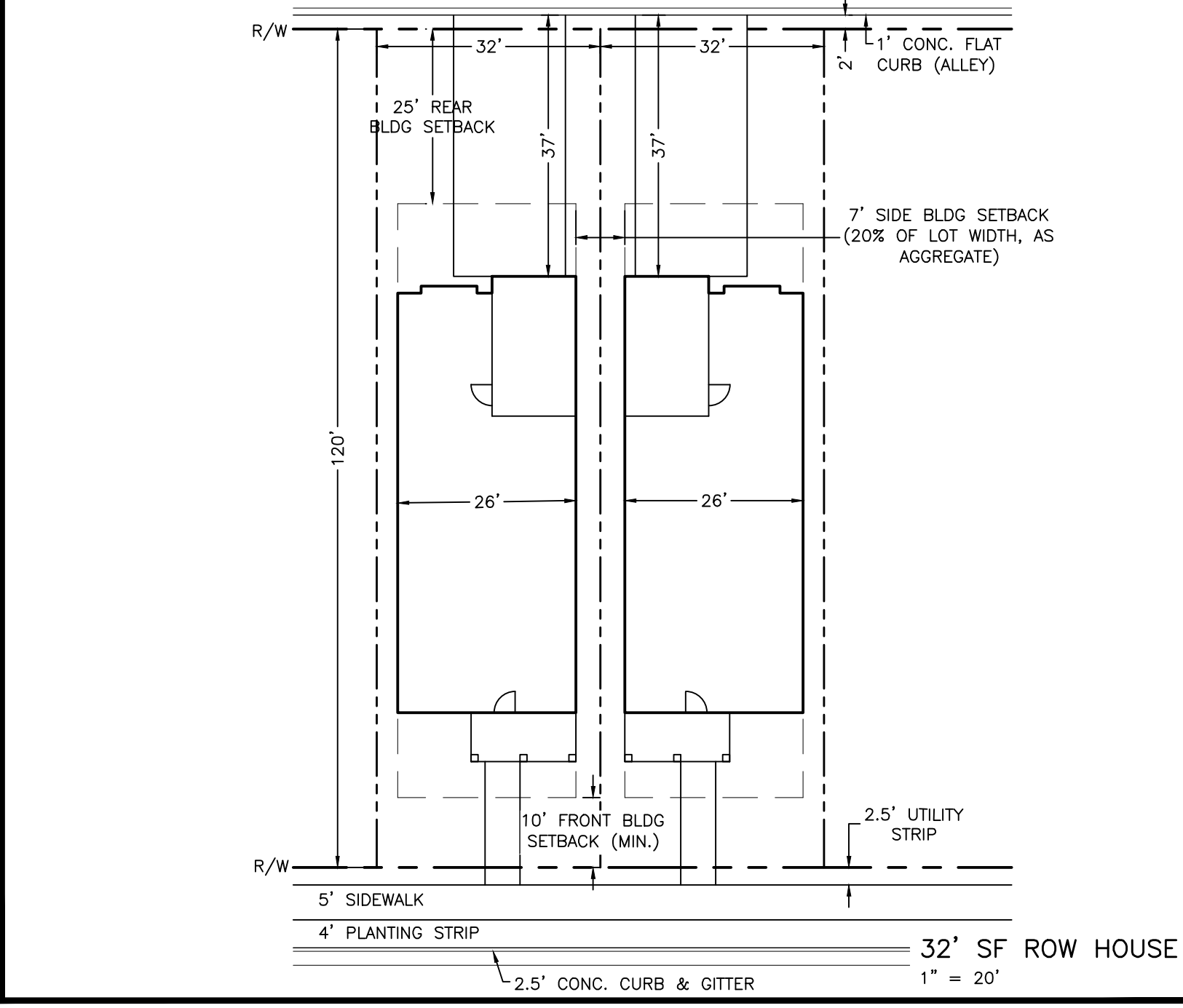
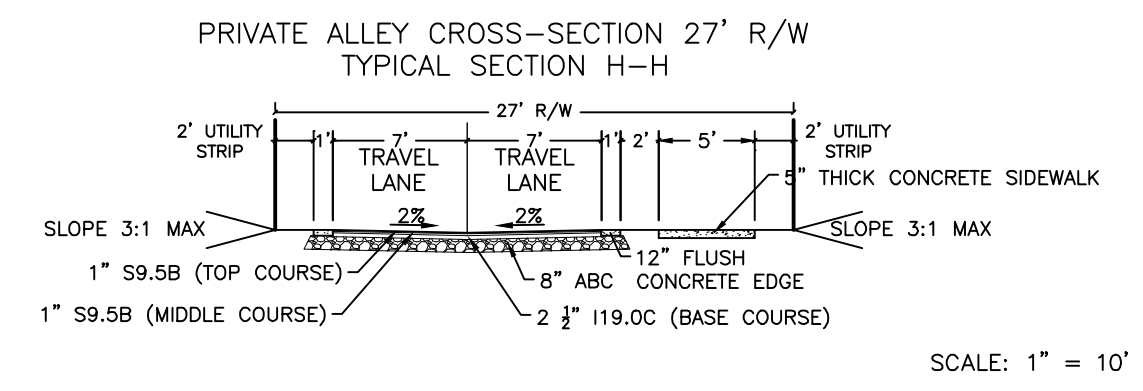
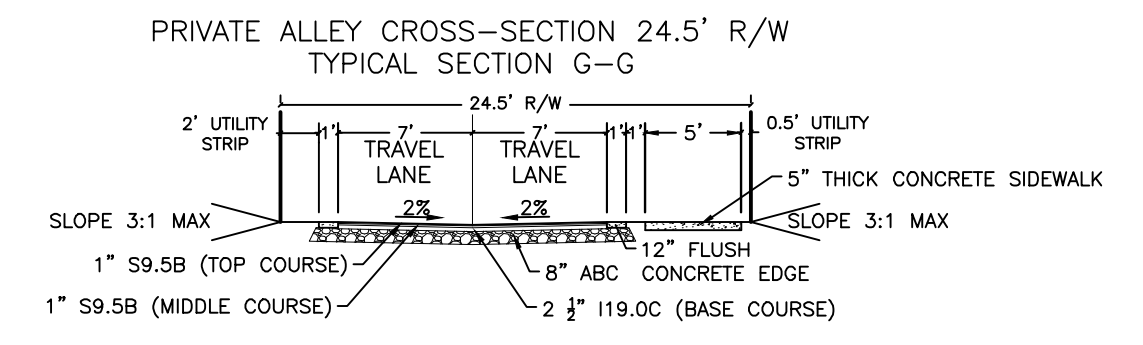
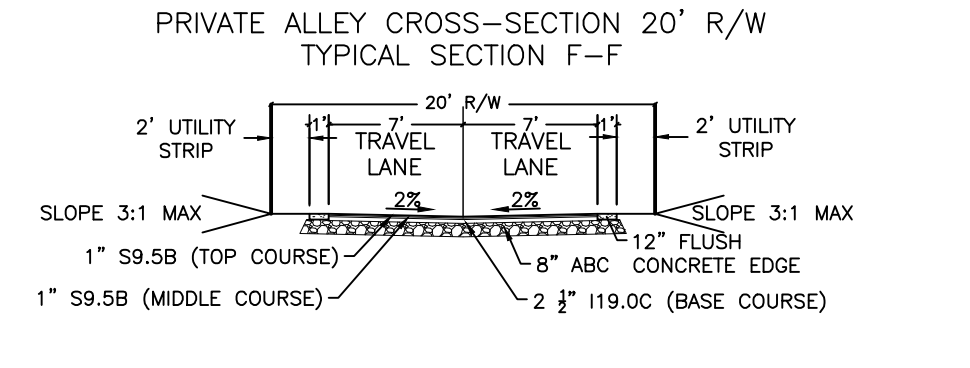
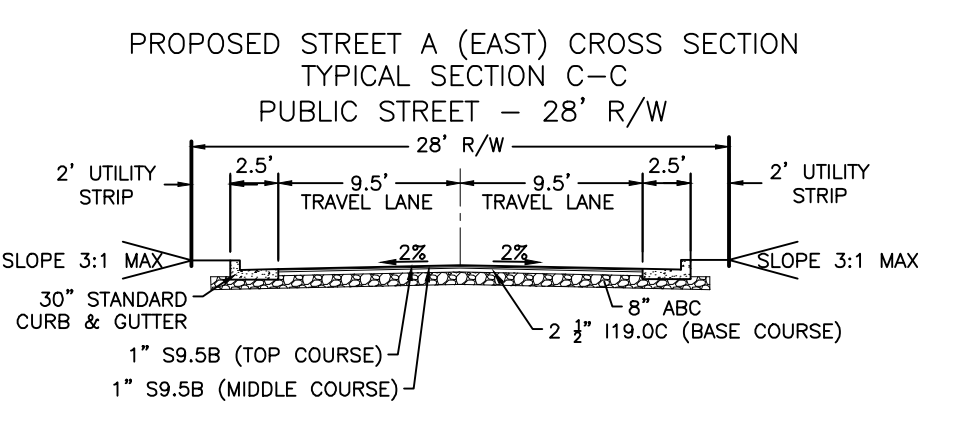
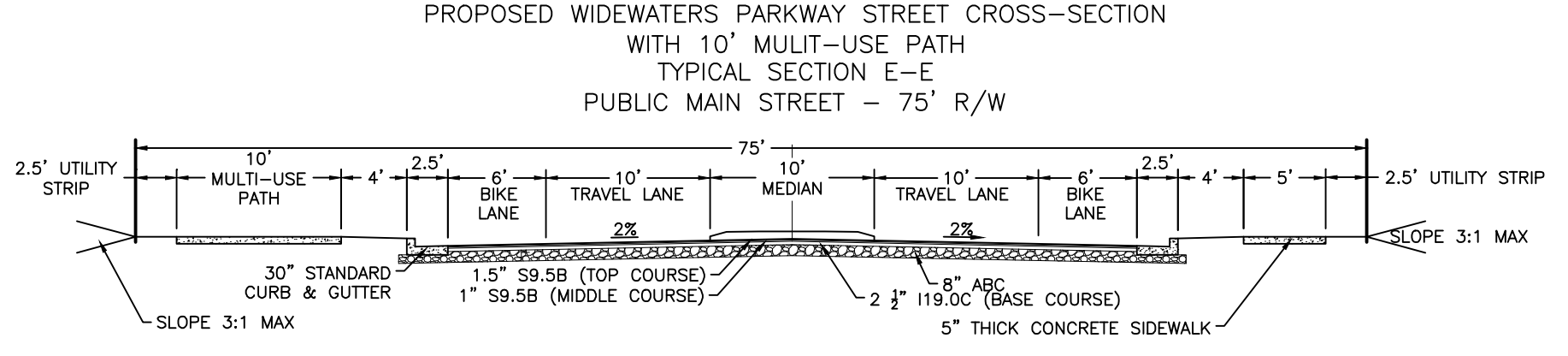
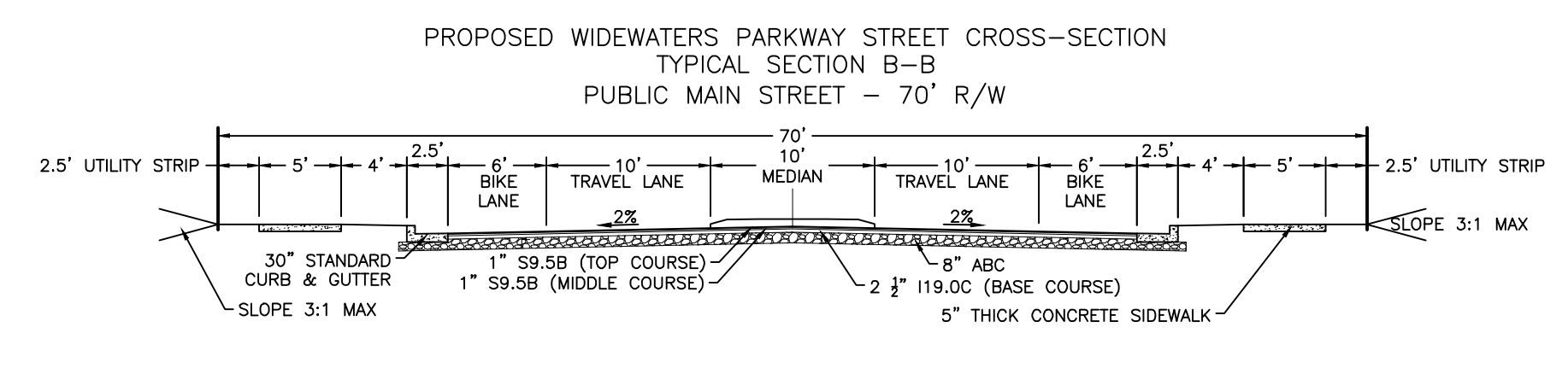
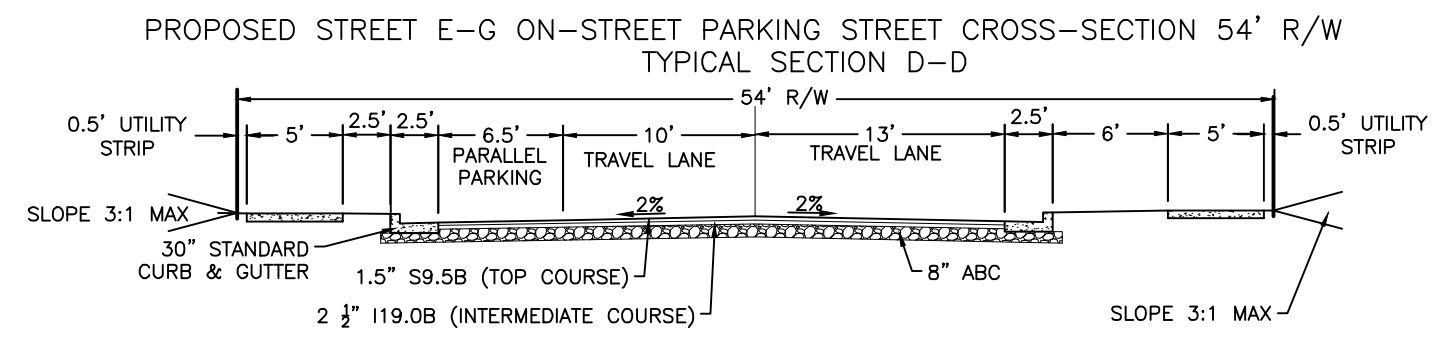
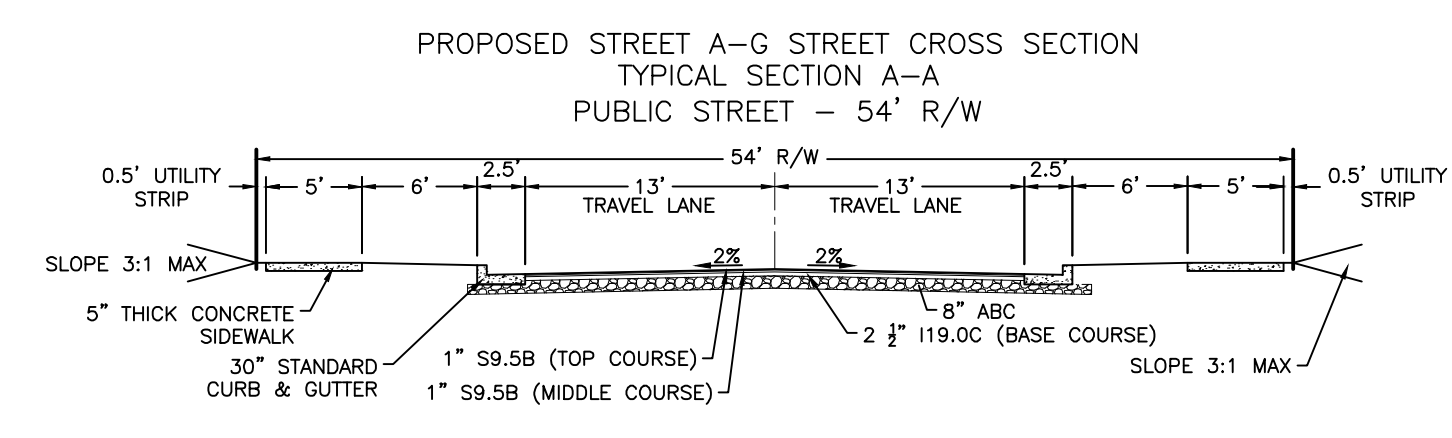
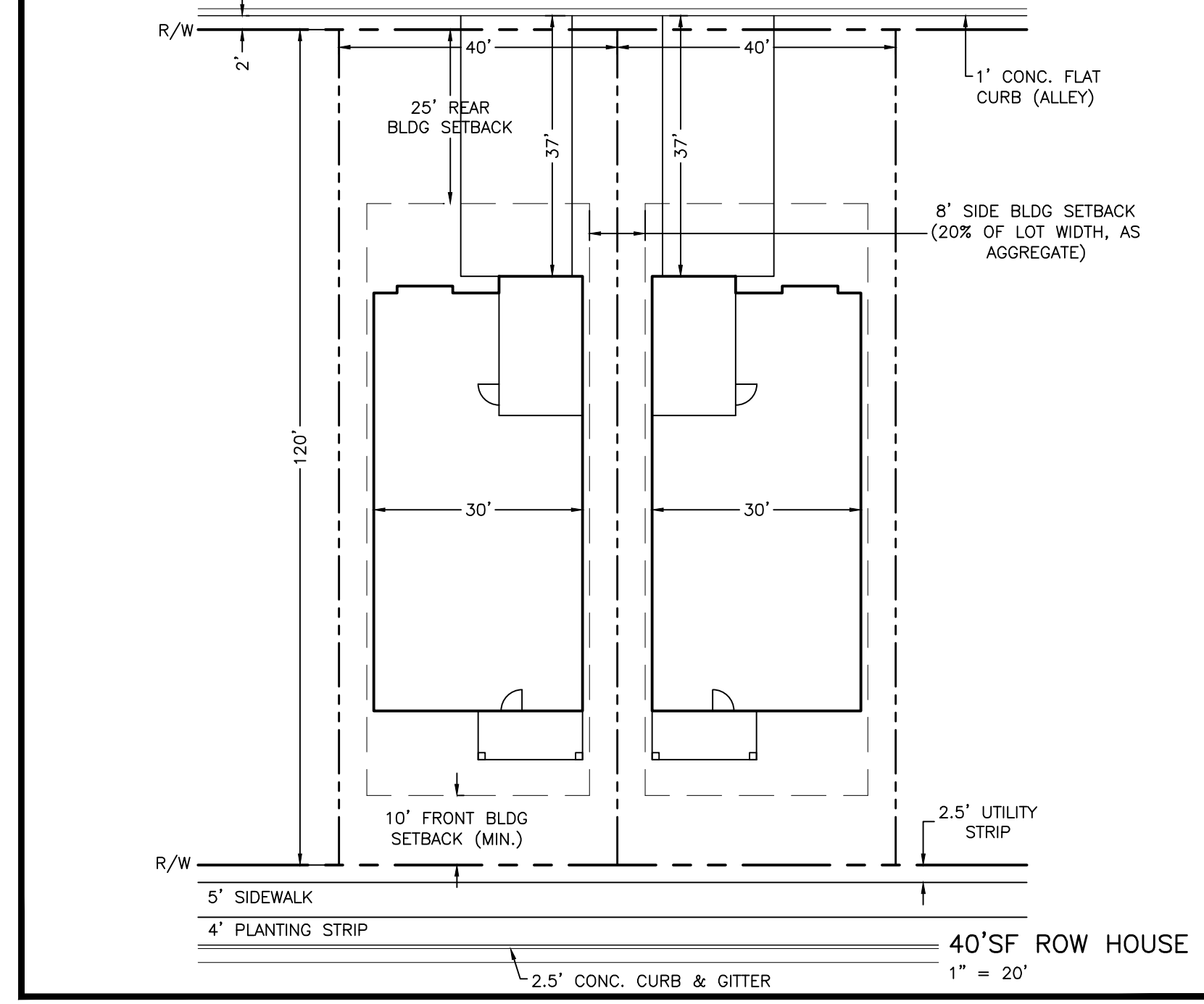
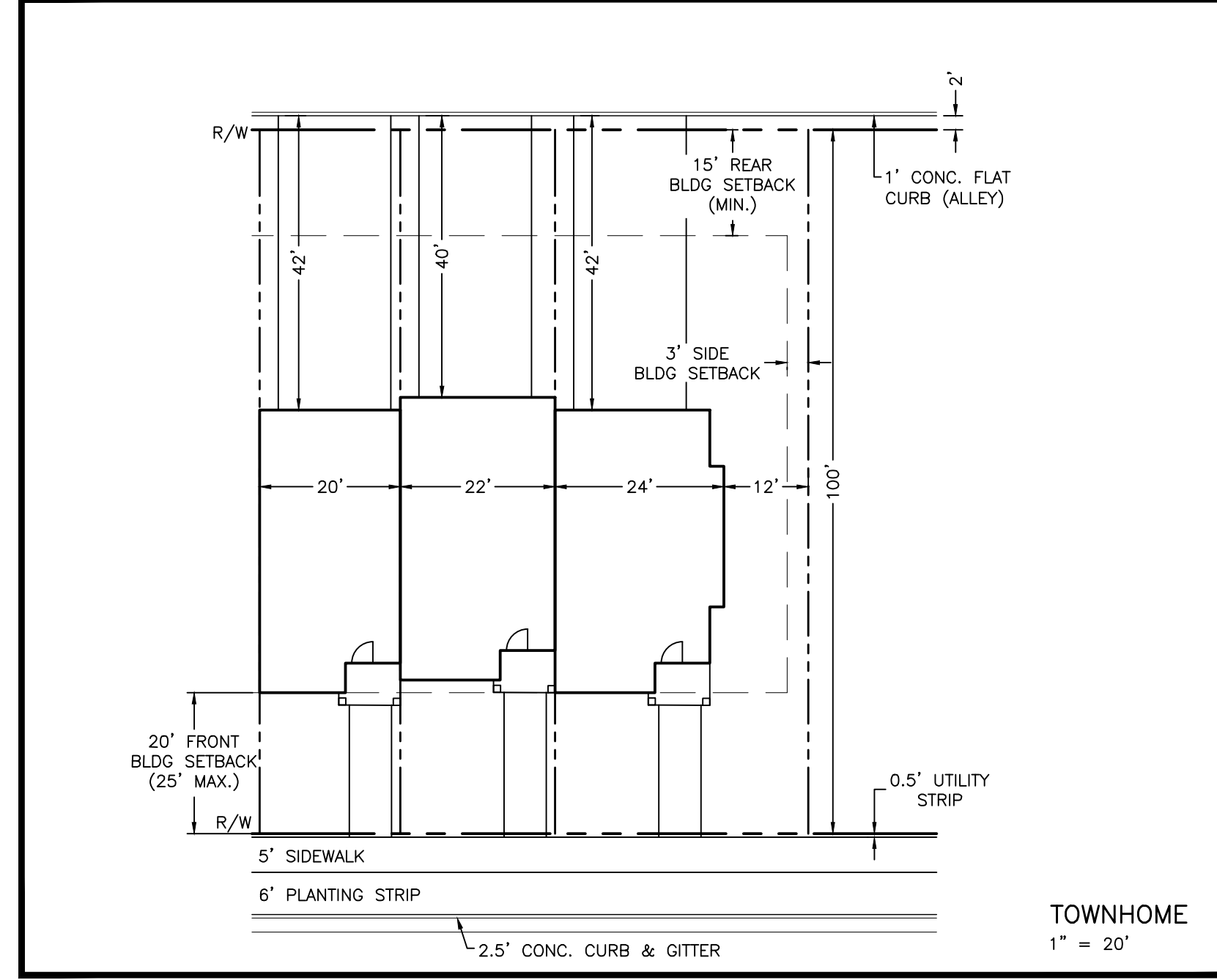
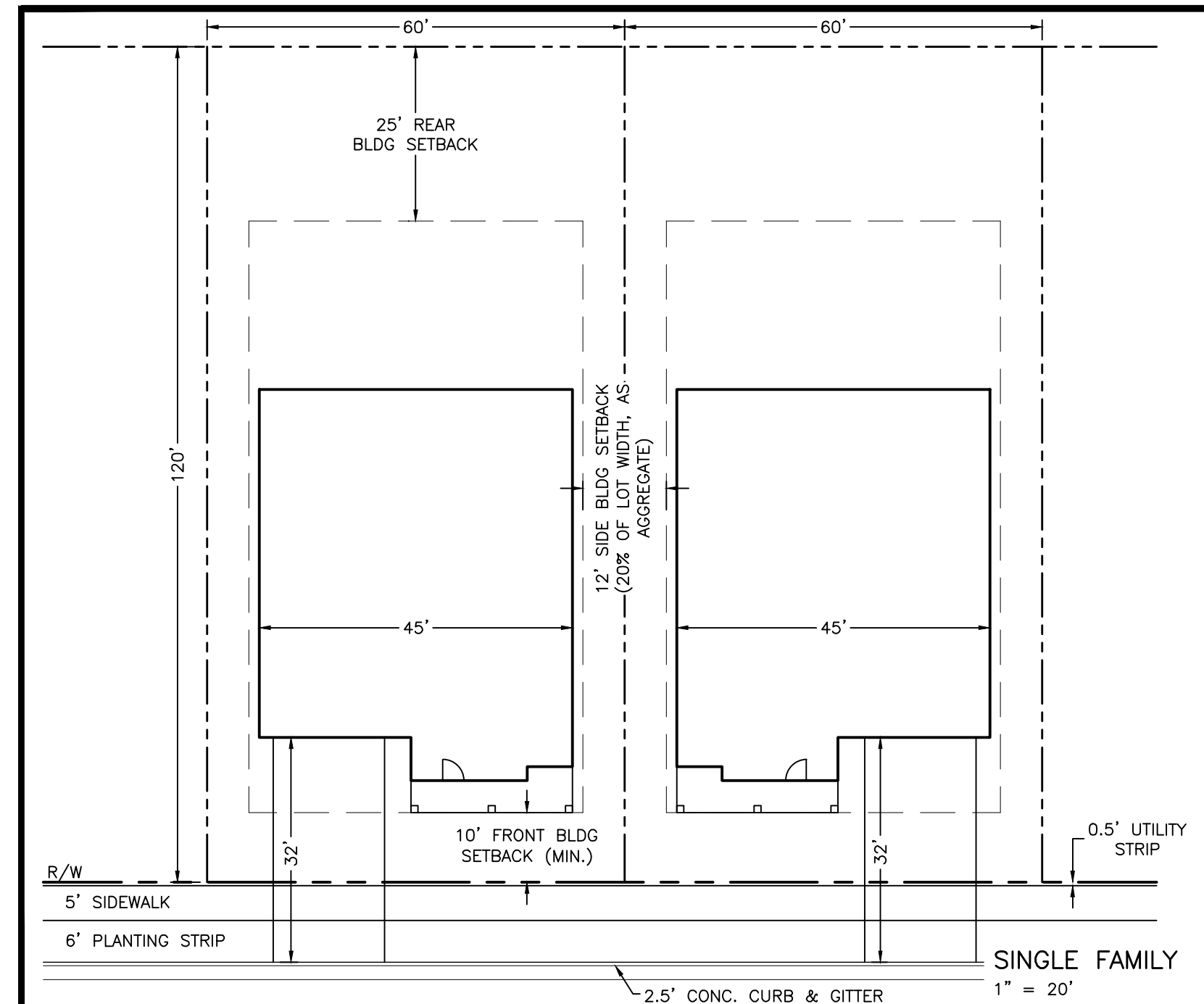
MASTER PLANS

OVERALL PRELIMINARY SITE LAYOUT PLAN

Job Code L70FRZ

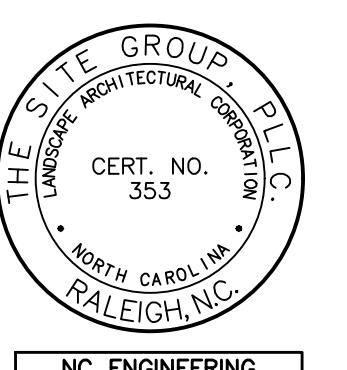
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APPROVED MASTER PLAN
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 Development Services
 Gideon Smith 04/23/2026

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Drawn By: **JHJ**
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DATE: 24 NOV 2025
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MASTER PLANS

SITE LAYOUT DETAILS

Job Code: L70FRZ

Dwg No. **MP 2.0A**

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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

STREET LENGTH TABLE:

| | |
|--------------------|-----------|
| WIDEWATERS PARKWAY | 2,495 LF. |
| STREET A | 941 LF. |
| STREET B | 1,023 LF. |
| STREET C | 463 LF. |
| STREET D | 745 LF. |
| STREET E | 643 LF. |
| STREET F | 547 LF. |
| STREET G | 1,262 LF. |
| ALLEY A | 430 LF. |
| ALLEY B | 424 LF. |
| ALLEY C | 1,148 LF. |
| ALLEY D | 1,591 LF. |
| ALLEY E | 362 LF. |
| ALLEY F | 272 LF. |
| ALLEY G | 430 LF. |
| ALLEY H | 775 LF. |

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY BATEMAN CIVIL SURVEY COMPANY DATED JUNE 27TH 2025.
 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
 - NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.



NC ENGINEERING
 LICENSE NO. P-0803

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
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 1111 Old Salem Road
 Raleigh, NC 27605-1136 USA
 Office: 919.835.4787
 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

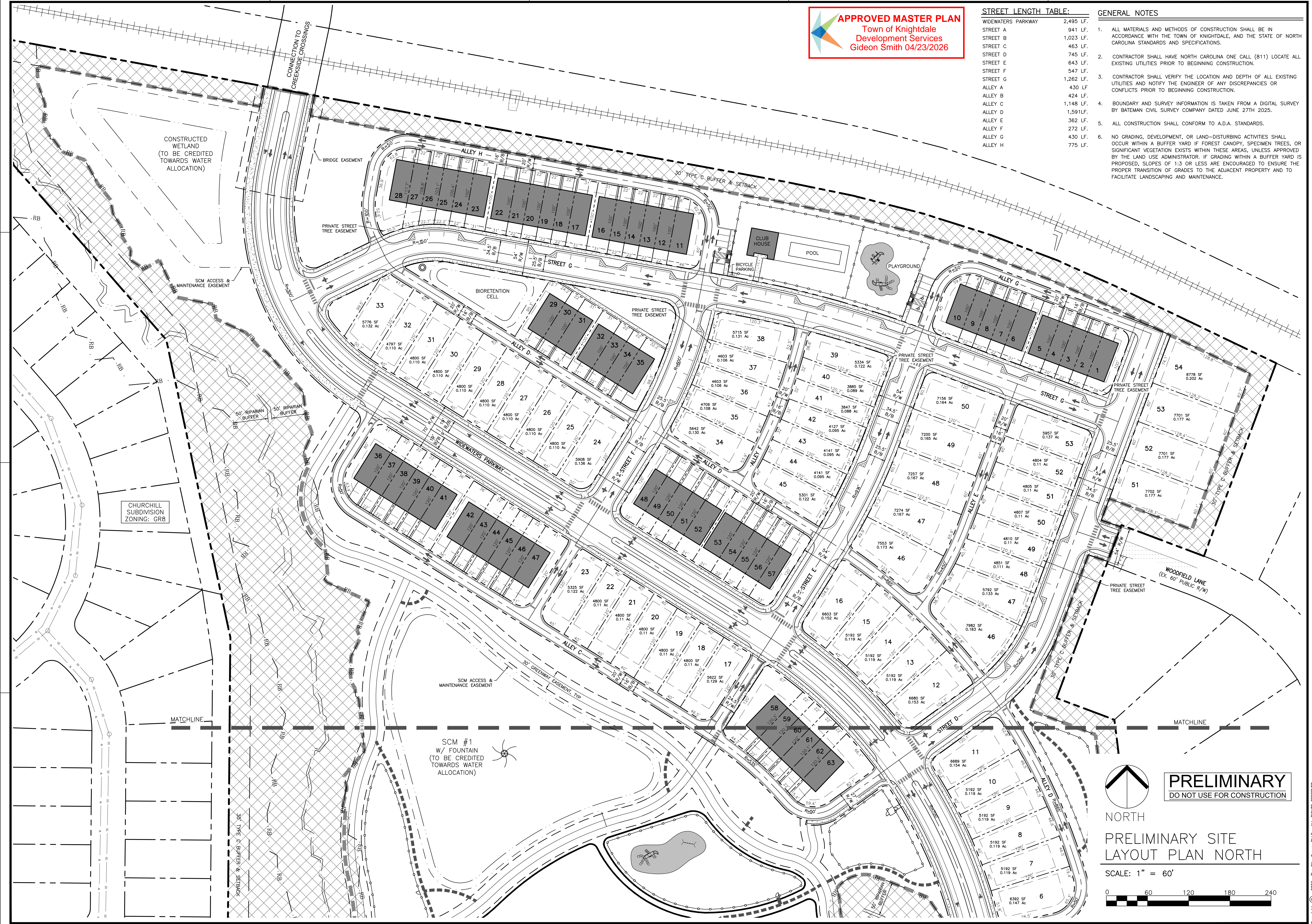
DATE:
 24 NOV 2025
 REVISED:
 ▲ 26 JAN 2026
 ▲ 31 MAR 2026

MASTER PLANS

PRELIMINARY SITE LAYOUT PLAN NORTH

Job Code: L70FRZ

Dwg No.
MP 2.1

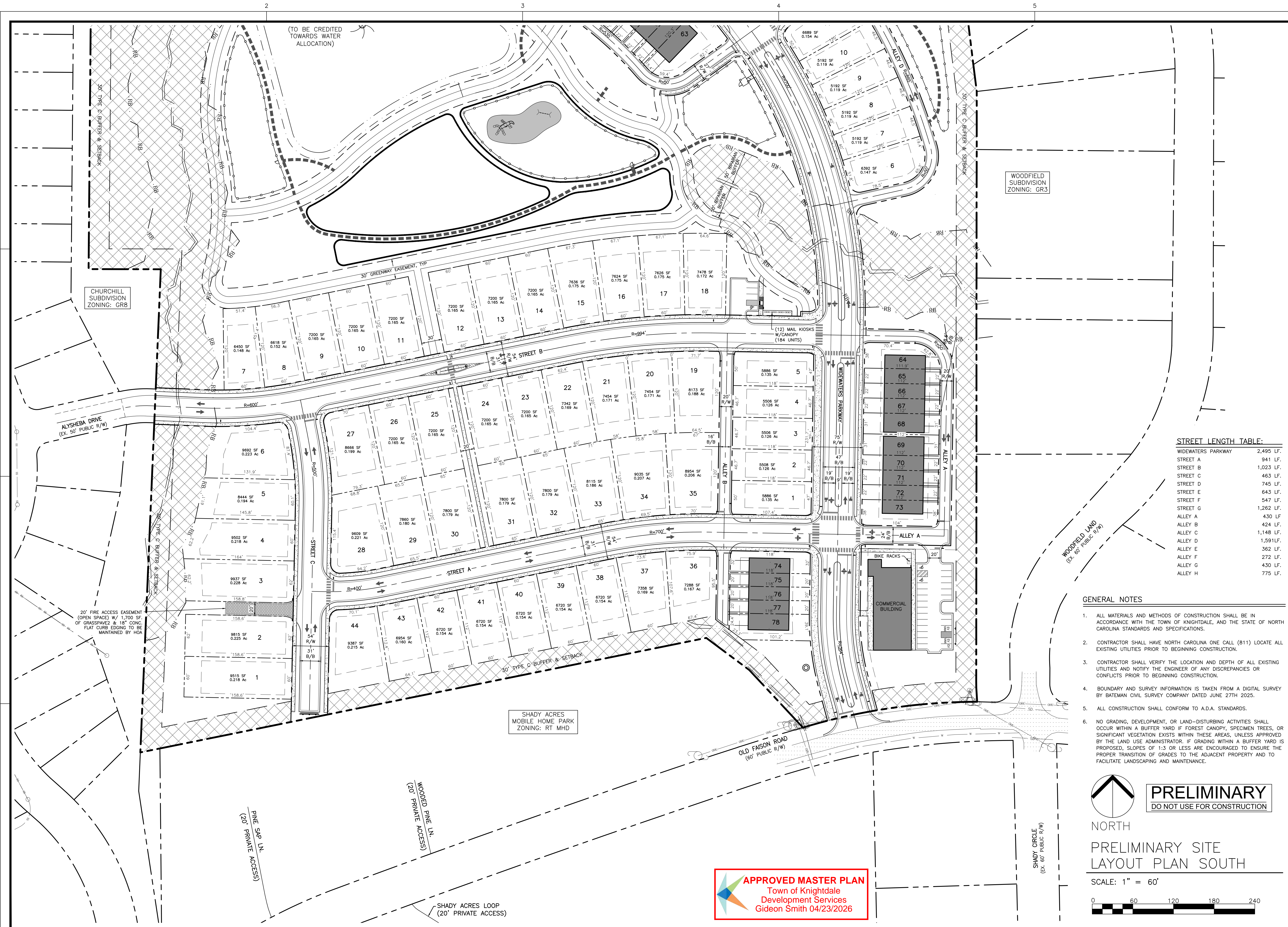


PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH
 PRELIMINARY SITE LAYOUT PLAN NORTH

SCALE: 1" = 60'
 0 60 120 180 240

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| | |
|------------------|-----------|
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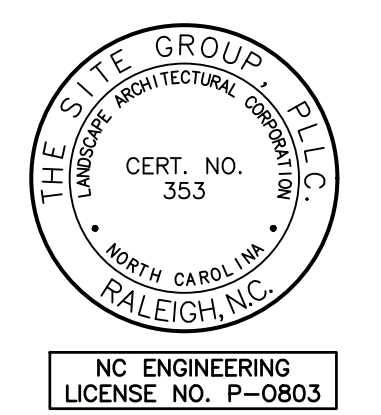
PRELIMINARY
DO NOT USE FOR CONSTRUCTION

NORTH

PRELIMINARY SITE LAYOUT PLAN SOUTH

SCALE: 1" = 60'

APPROVED MASTER PLAN
Town of Knightdale
Development Services
Gideon Smith 04/23/2026



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E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: **JHJ**
Checked By: **BDM**

DATE: 24 NOV 2025
REVISED:
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31 MAR 2026

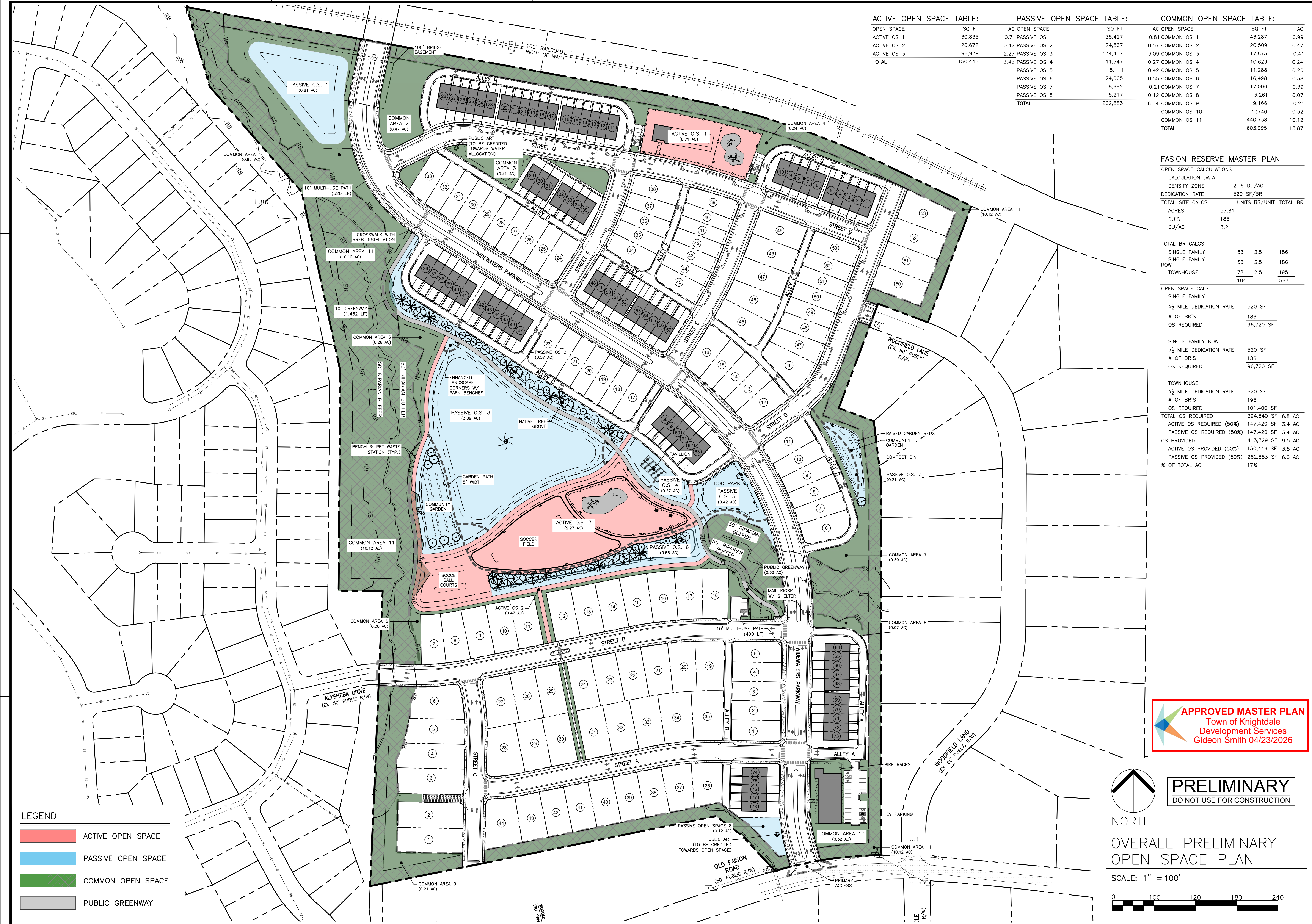
MASTER PLANS

PRELIMINARY SITE LAYOUT PLAN SOUTH

Job Code: L70FRZ

Dwg No. **MP 2.2**

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ACTIVE OPEN SPACE TABLE:

| OPEN SPACE | SQ FT |
|--------------|----------------|
| ACTIVE OS 1 | 30,835 |
| ACTIVE OS 2 | 20,672 |
| ACTIVE OS 3 | 98,939 |
| TOTAL | 150,446 |

PASSIVE OPEN SPACE TABLE:

| AC OPEN SPACE | SQ FT |
|---------------|----------------|
| PASSIVE OS 1 | 35,427 |
| PASSIVE OS 2 | 24,867 |
| PASSIVE OS 3 | 134,457 |
| PASSIVE OS 4 | 11,747 |
| PASSIVE OS 5 | 18,111 |
| PASSIVE OS 6 | 24,065 |
| PASSIVE OS 7 | 8,992 |
| PASSIVE OS 8 | 5,217 |
| TOTAL | 262,883 |

COMMON OPEN SPACE TABLE:

| AC OPEN SPACE | SQ FT | AC |
|---------------|----------------|--------------|
| COMMON OS 1 | 43,287 | 0.99 |
| COMMON OS 2 | 20,509 | 0.47 |
| COMMON OS 3 | 17,873 | 0.41 |
| COMMON OS 4 | 10,629 | 0.24 |
| COMMON OS 5 | 11,288 | 0.26 |
| COMMON OS 6 | 16,498 | 0.38 |
| COMMON OS 7 | 17,006 | 0.39 |
| COMMON OS 8 | 3,261 | 0.07 |
| COMMON OS 9 | 9,166 | 0.21 |
| COMMON OS 10 | 1,3740 | 0.32 |
| COMMON OS 11 | 440,738 | 10.12 |
| TOTAL | 603,995 | 13.87 |

FAISON RESERVE MASTER PLAN

OPEN SPACE CALCULATIONS

CALCULATION DATA:

DENSITY ZONE: 2-6 DU/AC

DEDICATION RATE: 520 SF/BR

TOTAL SITE CALCS: UNITS BR/UNIT TOTAL BR

| | |
|-------|-------|
| ACRES | 57.81 |
| DU'S | 185 |
| DU/AC | 3.2 |

TOTAL BR CALCS:

| | | | |
|-------------------|-----|-----|-----|
| SINGLE FAMILY | 53 | 3.5 | 186 |
| SINGLE FAMILY ROW | 53 | 3.5 | 186 |
| TOWNHOUSE | 78 | 2.5 | 195 |
| | 184 | | 567 |

OPEN SPACE CALS

SINGLE FAMILY:

> 1/4 MILE DEDICATION RATE: 520 SF

OF BR'S: 186

OS REQUIRED: 96,720 SF

SINGLE FAMILY ROW:

> 1/4 MILE DEDICATION RATE: 520 SF

OF BR'S: 186

OS REQUIRED: 96,720 SF

TOWNHOUSE:

> 1/4 MILE DEDICATION RATE: 520 SF

OF BR'S: 195

OS REQUIRED: 101,400 SF

TOTAL OS REQUIRED: 294,840 SF 6.8 AC

ACTIVE OS REQUIRED (50%): 147,420 SF 3.4 AC

PASSIVE OS REQUIRED (50%): 147,420 SF 3.4 AC

OS PROVIDED: 413,329 SF 9.5 AC

ACTIVE OS PROVIDED (50%): 150,446 SF 3.5 AC

PASSIVE OS PROVIDED (50%): 262,883 SF 6.0 AC

% OF TOTAL AC: 17%

LEGEND

- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- COMMON OPEN SPACE
- PUBLIC GREENWAY

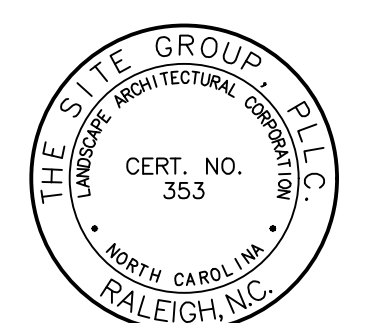
APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

OVERALL PRELIMINARY OPEN SPACE PLAN

SCALE: 1" = 100'

0 100 120 180 240



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 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: JHJ
 Checked By: BDM

DATE: 24 NOV 2025
 REVISED:
 26 JAN 2026
 31 MAR 2026

MASTER PLANS

OVERALL PRELIMINARY OPEN SPACE PLAN

Job Code: L70FRZ

Dwg No. MP 2.3

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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

| ACTIVE OPEN SPACE TABLE: | | PASSIVE OPEN SPACE TABLE: | | COMMON OPEN SPACE TABLE: | |
|--------------------------|----------------|---------------------------|--------------|--------------------------|--------------|
| OPEN SPACE | SQ FT | AC OPEN SPACE | SQ FT | AC OPEN SPACE | SQ FT |
| ACTIVE OS 1 | 30,835 | 0.71 | PASSIVE OS 1 | 35,427 | 0.81 |
| ACTIVE OS 2 | 20,672 | 0.47 | PASSIVE OS 2 | 24,867 | 0.57 |
| ACTIVE OS 3 | 98,939 | 2.27 | PASSIVE OS 3 | 134,457 | 3.09 |
| TOTAL | 150,446 | 3.45 | PASSIVE OS 4 | 11,747 | 0.27 |
| | | | PASSIVE OS 5 | 18,111 | 0.42 |
| | | | PASSIVE OS 6 | 24,065 | 0.55 |
| | | | PASSIVE OS 7 | 8,992 | 0.21 |
| | | | PASSIVE OS 8 | 5,217 | 0.12 |
| | | | TOTAL | 262,883 | 6.04 |
| | | | COMMON OS 1 | 43,287 | 0.99 |
| | | | COMMON OS 2 | 20,509 | 0.47 |
| | | | COMMON OS 3 | 17,873 | 0.41 |
| | | | COMMON OS 4 | 10,629 | 0.24 |
| | | | COMMON OS 5 | 11,288 | 0.26 |
| | | | COMMON OS 6 | 16,498 | 0.38 |
| | | | COMMON OS 7 | 17,006 | 0.39 |
| | | | COMMON OS 8 | 3,261 | 0.07 |
| | | | COMMON OS 9 | 9,166 | 0.21 |
| | | | COMMON OS 10 | 1,370 | 0.03 |
| | | | COMMON OS 11 | 440,738 | 10.12 |
| | | | TOTAL | 603,995 | 13.87 |



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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
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 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
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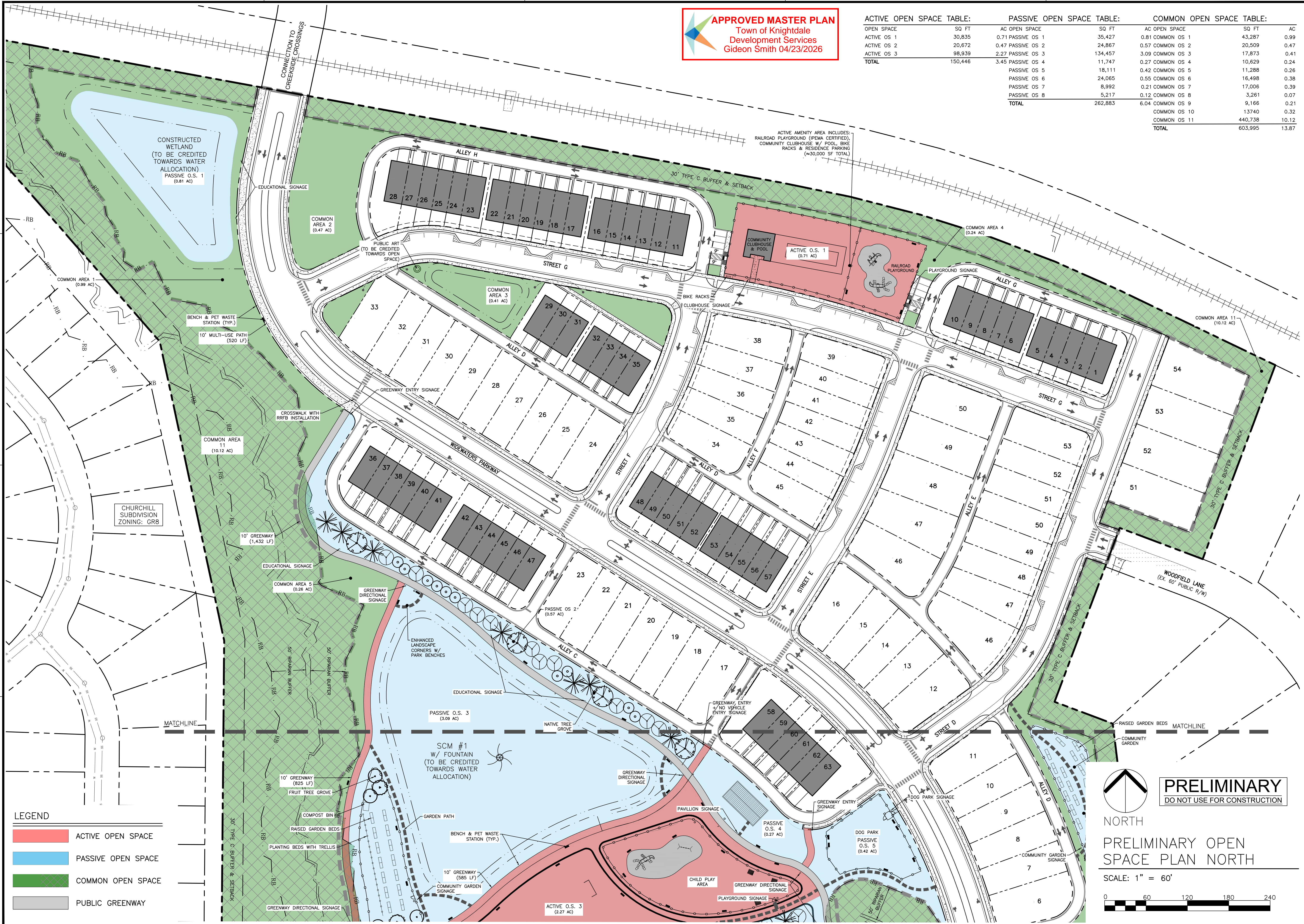
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MASTER PLANS

PRELIMINARY OPEN SPACE PLAN NORTH

Job Code: L70FRZ

Dwg No. **MP 2.4**



ACTIVE AMENITY AREA INCLUDES:
 RAILROAD PLAYGROUND (PEMA CERTIFIED),
 COMMUNITY CLUBHOUSE W/ POOL, BIKE
 RACKS & RESIDENCE PARKING
 (*30,000 SF TOTAL)

CONSTRUCTED WETLAND
 (TO BE CREDITED TOWARDS WATER ALLOCATION)
 PASSIVE O.S. 1
 (0.81 AC)

SCM #1
 W/ FOUNTAIN
 (TO BE CREDITED TOWARDS WATER ALLOCATION)

CHURCHILL SUBDIVISION ZONING: GR8

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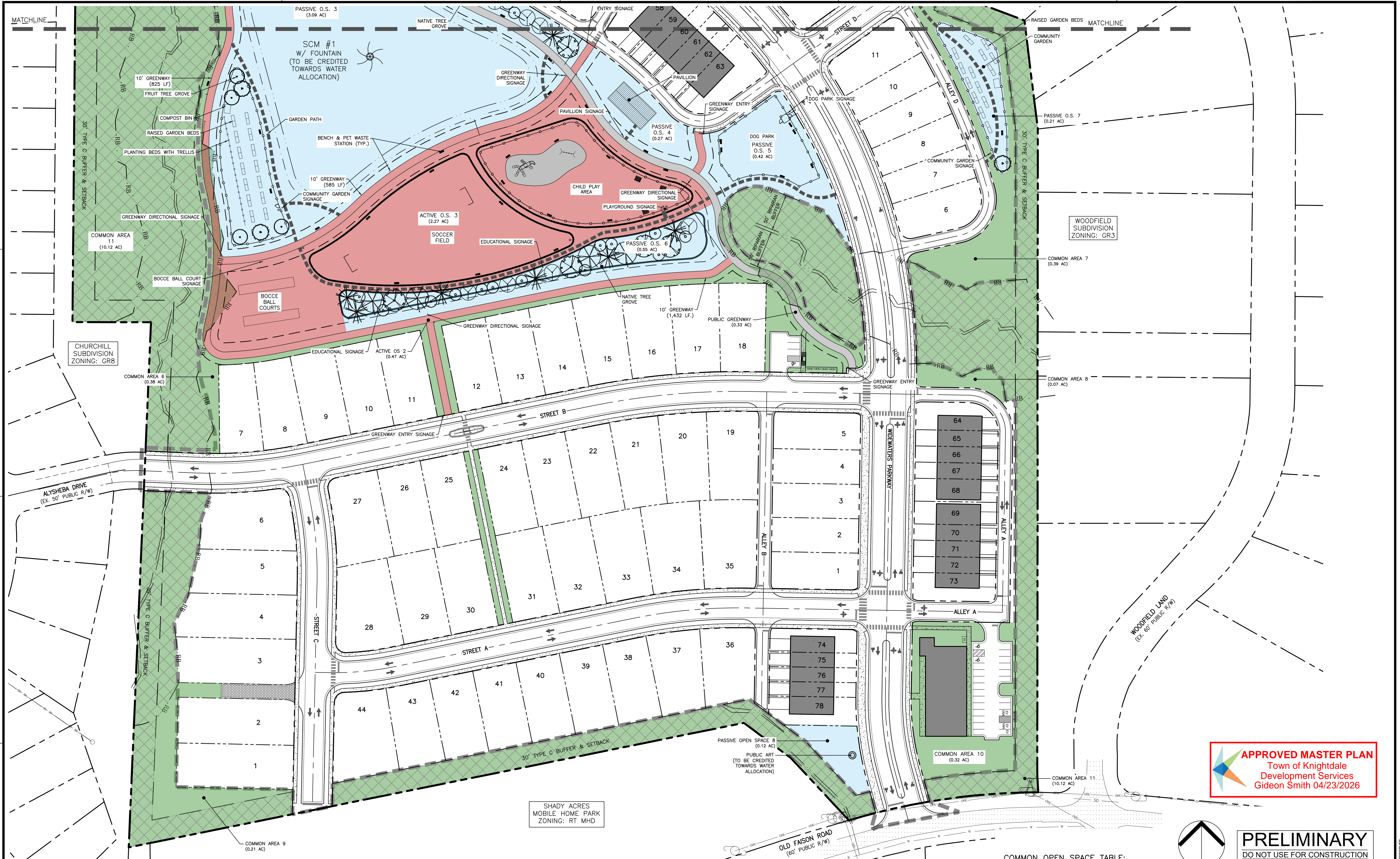
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31 MAR 2026

MASTER PLANS

PRELIMINARY OPEN SPACE PLAN SOUTH

Job Code: L70FRZ

Dwg No. MP 2.5



LEGEND

- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- COMMON OPEN SPACE
- PUBLIC GREENWAY

ACTIVE OPEN SPACE TABLE:

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APPROVED MASTER PLAN
Town of Knightdale
Development Services
Gideon Smith 04/23/2026

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

NORTH
PRELIMINARY OPEN SPACE PLAN SOUTH
SCALE: 1" = 60'



APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

| ABB. | SIGN | MUTCD STD. | SIZE |
|------|-----------------------|----------------|-------------|
| S01 | STOP | R1-1 | 30"X30" |
| S02 | SPEED LIMIT | R2-1 | 24"X30" |
| S03 | ROAD CLOSED | R11-4 | 60"X30" |
| S04 | STREET NAME | D3-1 | VARIES"X12" |
| S05 | PEDESTRIAN CROSSING | W11-2 & W16-7P | 36"X36" |
| S06 | TYPE 4 END OF ROADWAY | OM4-3 | 21"X15" |
| S07 | BIKE LANE | R3-17 | 24"X18" |
| S08 | KEEP RIGHT | R4-7 | 24"X30" |
| S09 | STOP AHEAD | W3-1 | 30"X30" |
| S10 | ACCESSIBLE PARKING | R7-8 | 12"X18" |
| S11 | VAN ACCESSIBLE | RT-8AP | 12"X8" |
| S12 | DEAD END - NO OUTLET | W14-1 | 30"X30" |
| S13 | ROAD CLOSED | R11-2 | 48"X30" |

ALL SIGNAGE AND PAVEMENT MARKINGS IN TOWN OF KNIGHTDALE R/W SHALL BE PER TOWN SPECIFICATIONS.

ALL SIGNAGE AND PAVEMENT MARKINGS IN NCDOT RW SHALL BE PER NCDOT SPECIFICATIONS.

ALL STRIPING SHALL BE HI-VIS THERMOPLASTIC EXCEPT PARKING LOT STRIPING MAY BE WHITE REFLECTIVE PAINT PER TOWN DETAIL 4.06.

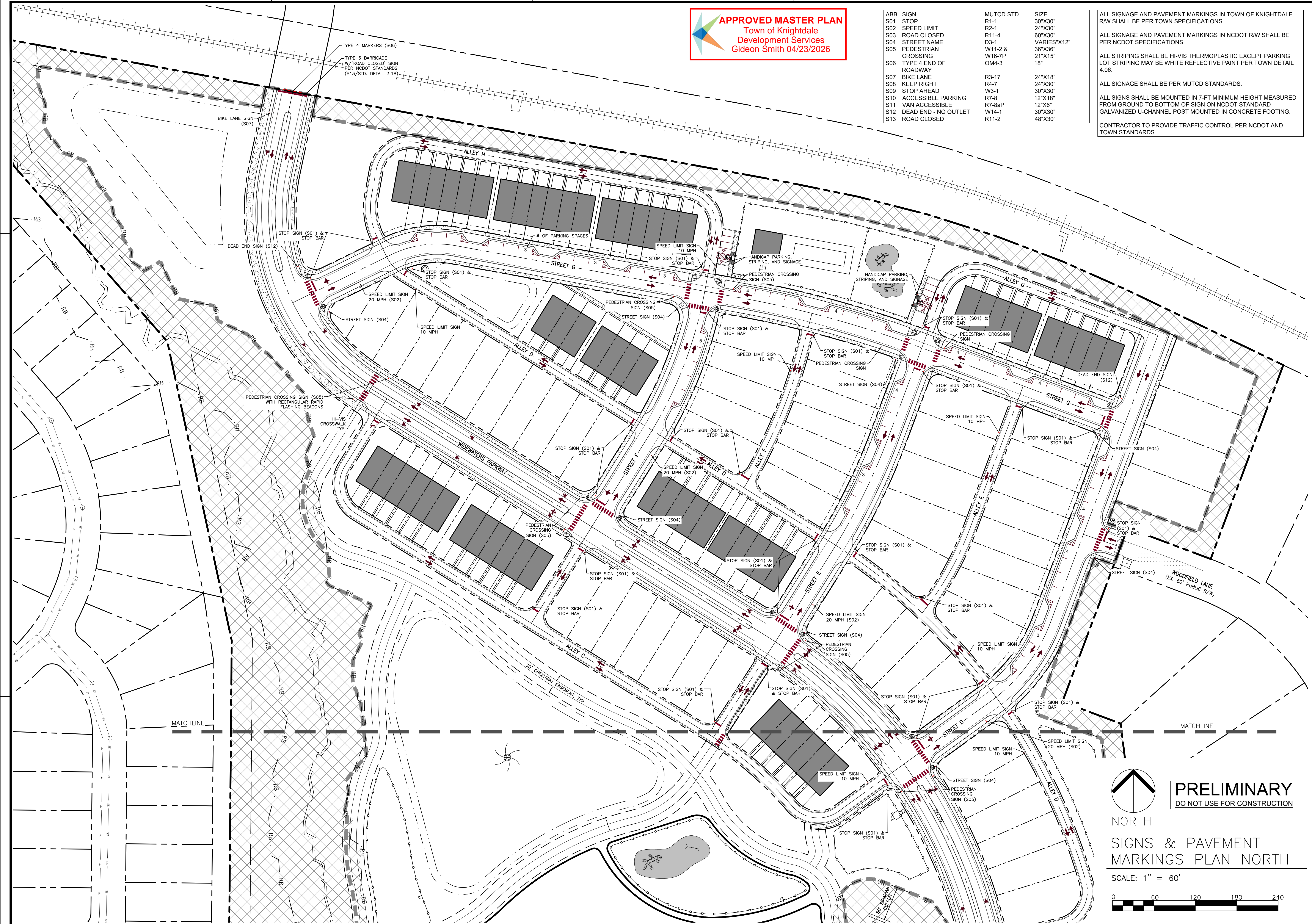
ALL SIGNAGE SHALL BE PER MUTCD STANDARDS.

ALL SIGNS SHALL BE MOUNTED IN 7-FT MINIMUM HEIGHT MEASURED FROM GROUND TO BOTTOM OF SIGN ON NCDOT STANDARD GALVANIZED U-CHANNEL POST MOUNTED IN CONCRETE FOOTING.

CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER NCDOT AND TOWN STANDARDS.



NC ENGINEERING LICENSE NO. P-0803



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MASTER PLANS

SIGNS & PAVEMENT MARKINGS PLAN NORTH

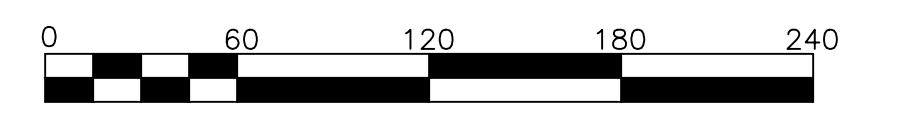
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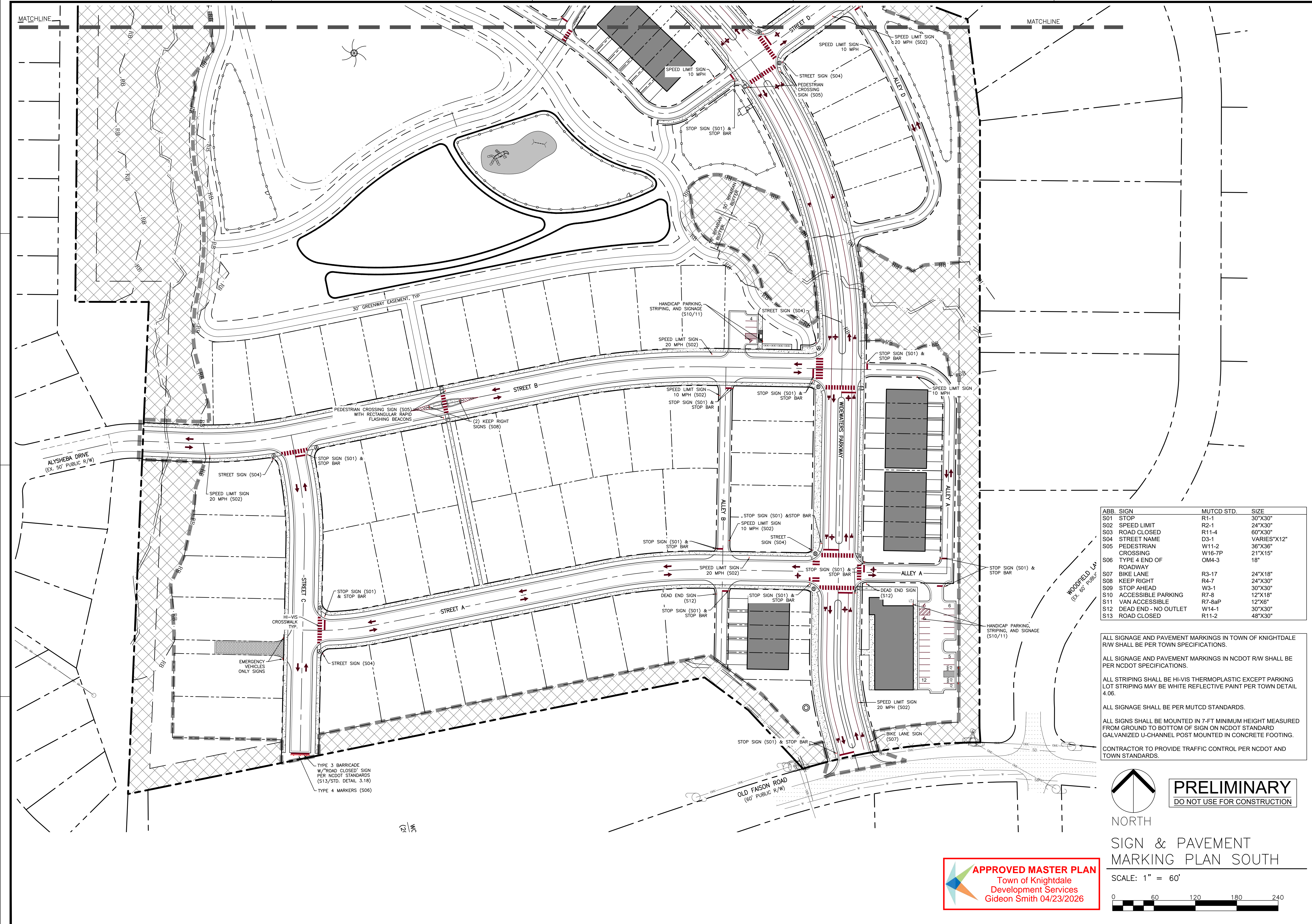
Dwg No. **MP 2.6**

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH
 SIGNS & PAVEMENT MARKINGS PLAN NORTH

SCALE: 1" = 60'





| ABB. SIGN | MUTCD STD. | SIZE |
|---------------------------|------------|-------------|
| S01 STOP | R1-1 | 30"x30" |
| S02 SPEED LIMIT | R2-1 | 24"x30" |
| S03 ROAD CLOSED | R11-4 | 60"x30" |
| S04 STREET NAME | D3-1 | VARIES"x12" |
| S05 PEDESTRIAN CROSSING | W11-2 | 36"x36" |
| S06 TYPE 4 END OF ROADWAY | OM4-3 | 18" |
| S07 BIKE LANE | R3-17 | 24"x18" |
| S08 KEEP RIGHT | R4-7 | 24"x30" |
| S09 STOP AHEAD | W3-1 | 30"x30" |
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| S11 VAN ACCESSIBLE | R7-8aP | 12"x8" |
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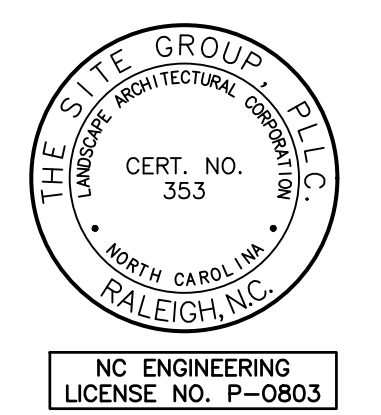
CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER NCDOT AND TOWN STANDARDS.

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH
 SIGN & PAVEMENT MARKING PLAN SOUTH

SCALE: 1" = 60'

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026



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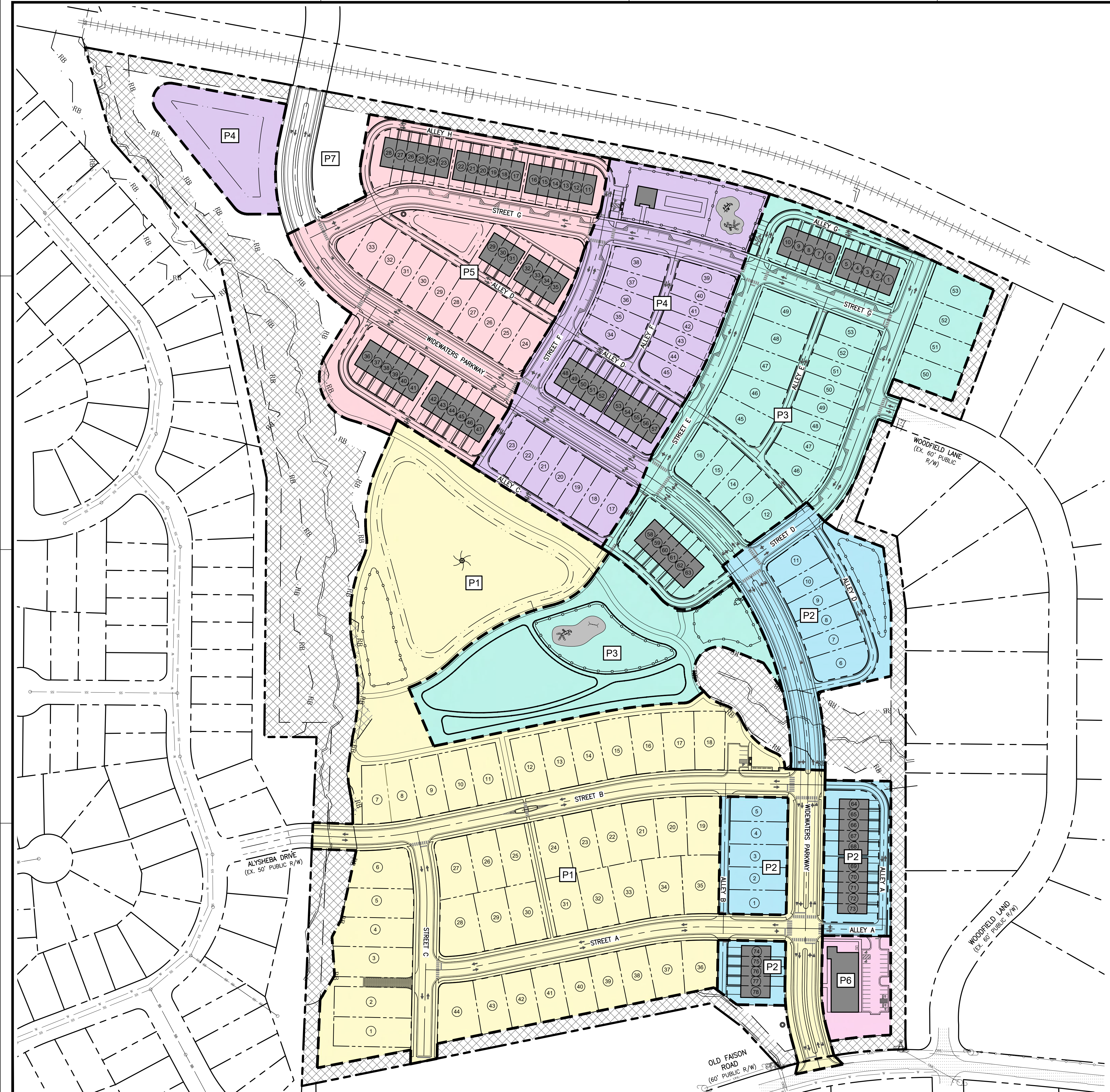
MASTER PLANS

SIGN & PAVEMENT MARKING PLAN SOUTH

Job Code: L70FRZ

Dwg No.
MP
2.7

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GENERAL NOTES

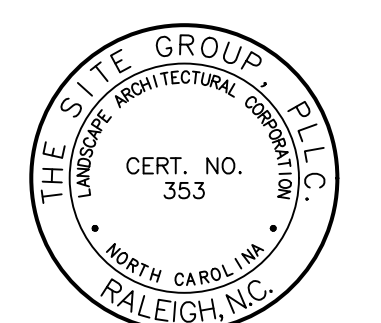
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5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.

PHASING NOTES

1. CONSTRUCTION OF WIDEWATERS PARKWAY WILL BEGIN WITH THE INITIAL PHASE.
2. AN SCM APPROPRIATE TO STORMWATER REQUIREMENTS WILL BE CONSTRUCTED WITH THE INITIAL PHASE.
3. PHASES 1-7 MAY BE CONSTRUCTED IN ANY ORDER.
4. DEAD-END STREET IN EXCESS OF 150 FT RESULTING FROM A PHASE PROJECT SHALL BE PROVIDED WITH AN APPROVED TEMPORARY TURNAROUND.

NUMBER OF LOTS PER PHASE:

| | |
|---------|--|
| PHASE 1 | 44 SF LOTS, SCM #1 |
| PHASE 2 | 15 TH LOTS, 11 SF ROW LOTS |
| PHASE 3 | 16 TH LOTS, 18 SF ROW LOTS, 4 SF LOTS, ACTIVE O.S. |
| PHASE 4 | 10 TH LOTS, 19 SF ROW LOTS, CLUBHOUSE, SCM #2 |
| PHASE 5 | 37 TH LOTS, 10 SF ROW LOTS |
| PHASE 6 | COMMERCIAL |



NC ENGINEERING LICENSE NO. P-0803

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
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 Office: 919.835.4787
 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

DATE: 24 NOV 2025
 REVISED:
 ▲ 26 JAN 2026
 ▲ 31 MAR 2026

MASTER PLANS

OVERALL PRELIMINARY PHASING PLAN

Job Code: L70FRZ

Dwg No. **MP 2.8**

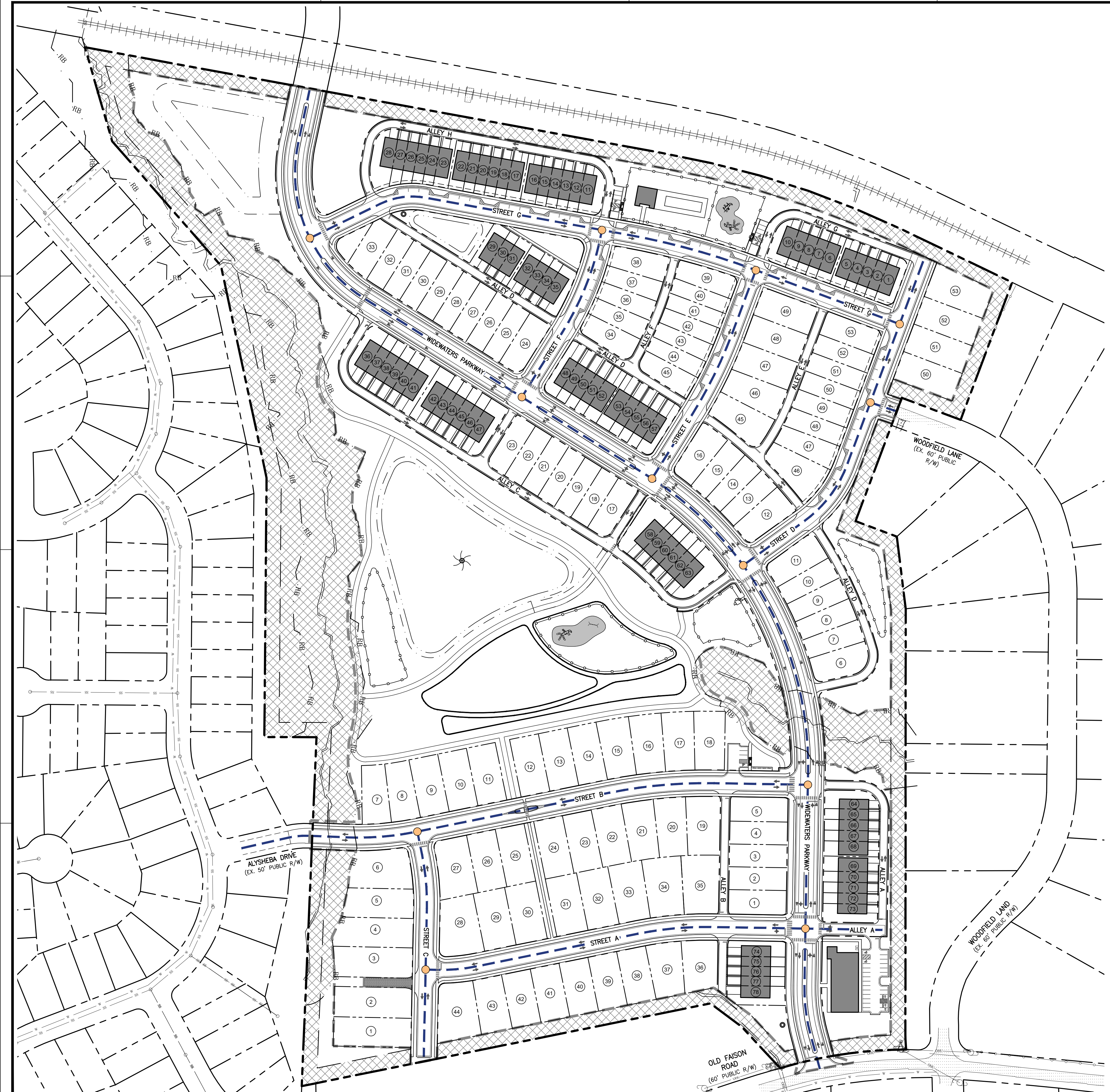
APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH
 OVERALL PRELIMINARY PHASING PLAN

SCALE: 1" = 100'
 0 100 200 300 400

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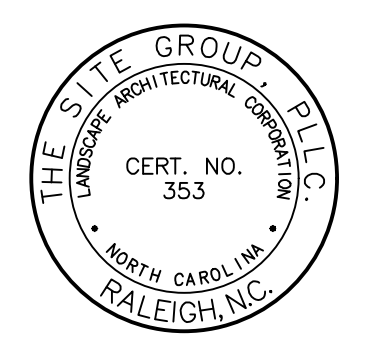
GENERAL NOTES

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LEGEND

- LINKS - 22
- NODES - 13

MINIMUM CONNECTIVITY INDEX SCORE (UR12): 1.40
 PROPOSED CONNECTIVITY INDEX: 22/13=1.69



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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
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Drawn By: **JHJ**
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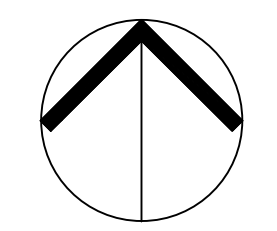
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 ▲ 26 JAN 2026
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MASTER PLANS

OVERALL PRELIMINARY CONNECTIVITY INDEX

Job Code: L70FRZ

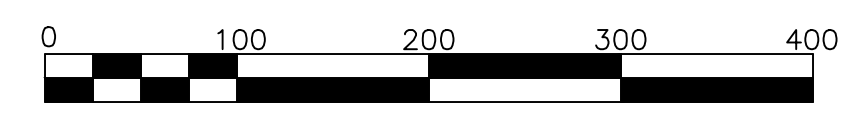
Dwg No. **MP 2.8**



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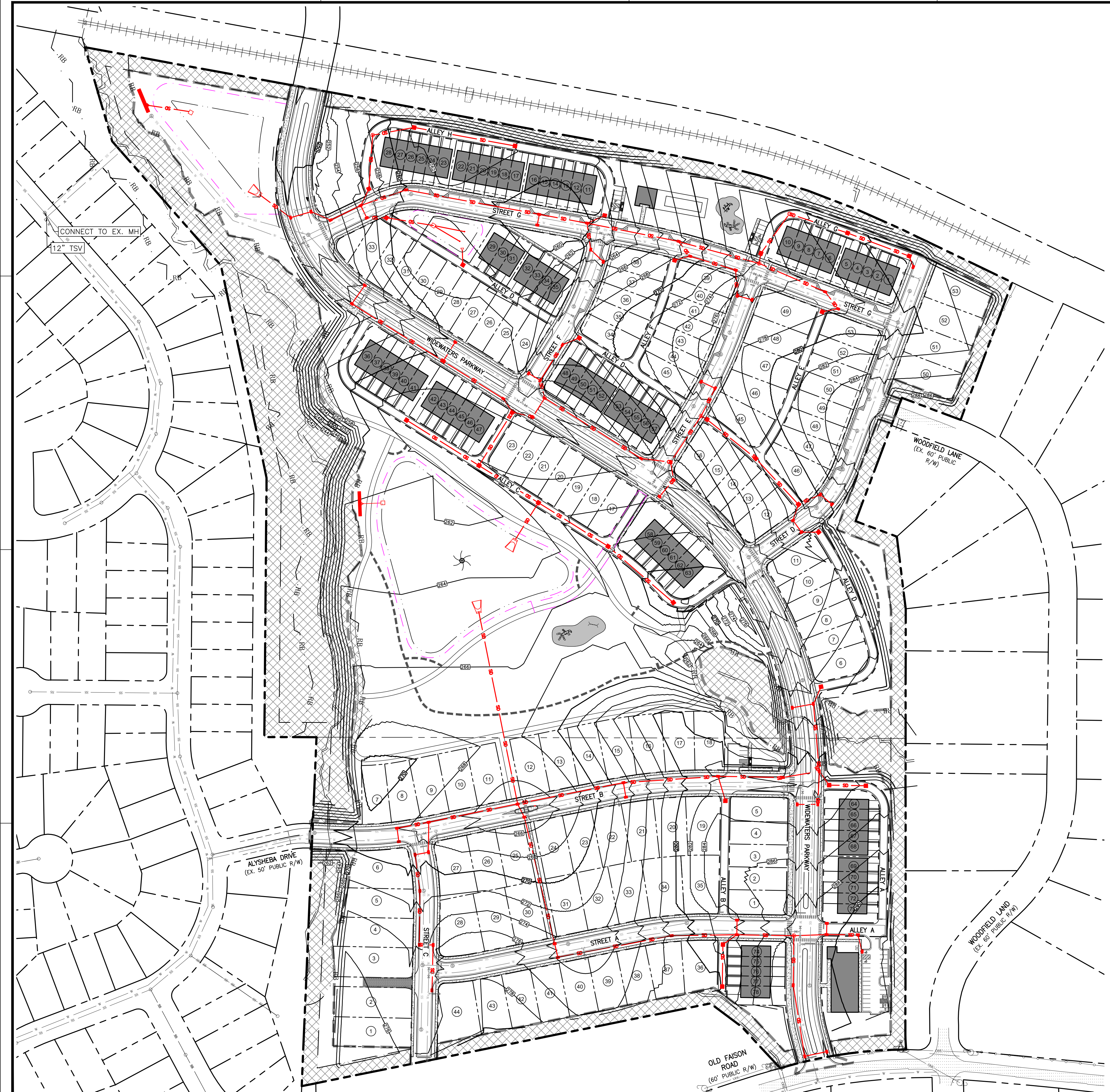
NORTH
 OVERALL PRELIMINARY CONNECTIVITY INDEX

SCALE: 1" = 100'



APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

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LINE LEGEND

| | |
|--|--------------------|
| | STORMWATER LINE |
| | GRATE |
| | CURB INLET |
| | STORMWATER MANHOLE |
| | LEVEL SPREADER |
| | CONTROL STRUCTURE |
| | SANITARY SEWER |
| | SANITARY MANHOLE |
| | RIPARIAN BUFFER |
| | WATER |



NC ENGINEERING LICENSE NO. P-0803

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MASTER PLANS (ZMA-1-25) FOR:
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 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **HCJ**
 Checked By: **BDM**

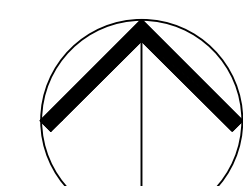
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 ▲ 31 MAR 2026

MASTER PLANS

OVERALL STORMWATER MANAGEMENT PLAN

Job Code: L70FRZ

Dwg No. **MP 3.0**



PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH

OVERALL STORMWATER MANAGEMENT PLAN

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

SCALE: 1" = 100'

NOT FOR CONSTRUCTION

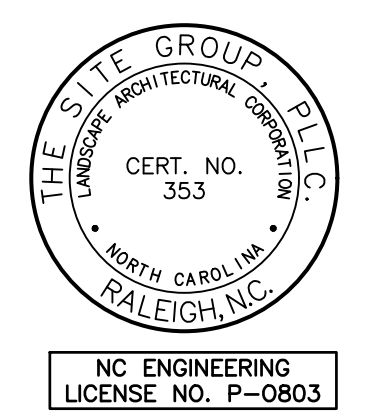
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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

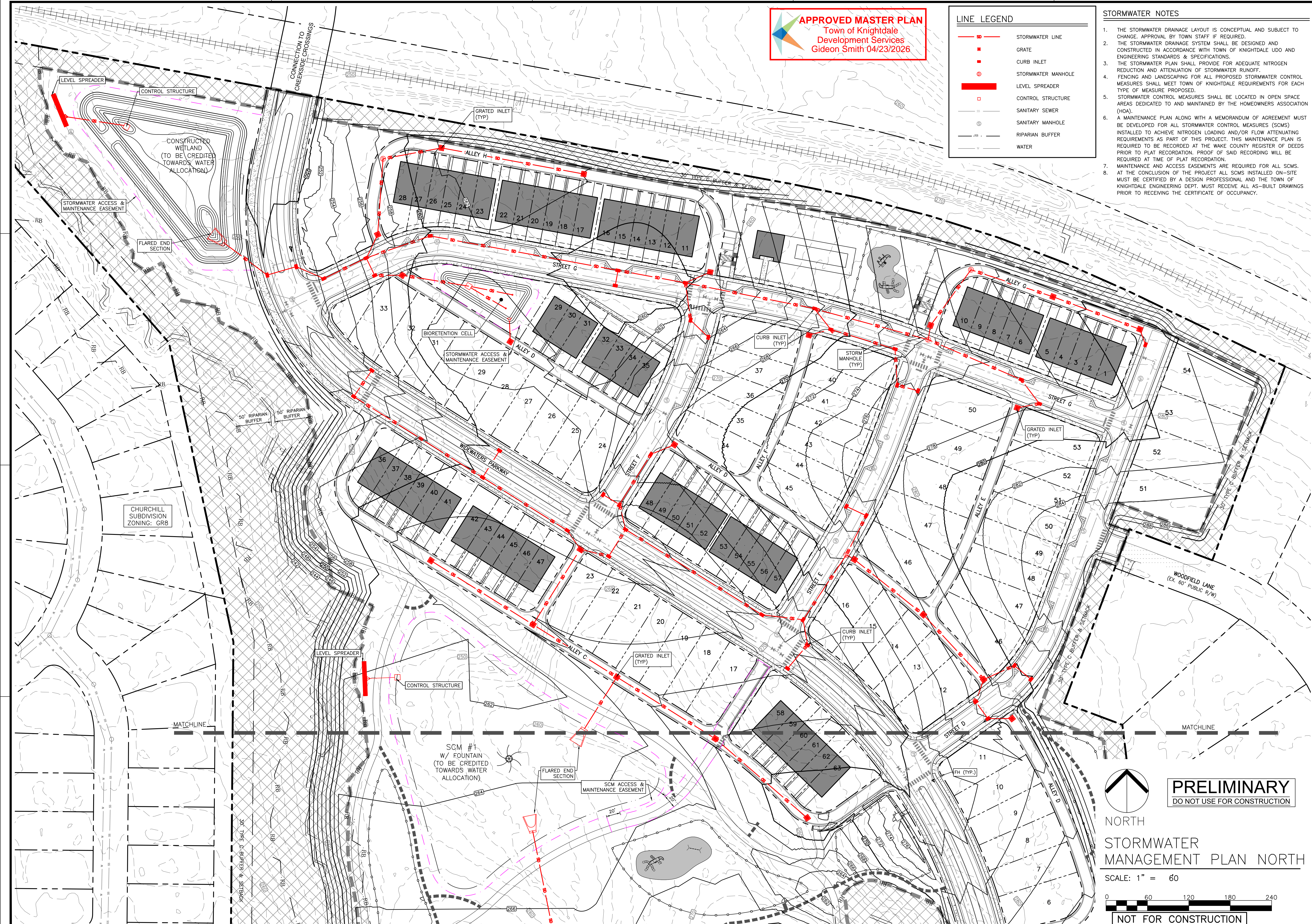
LINE LEGEND

| | |
|--|--------------------|
| | STORMWATER LINE |
| | GRATE |
| | CURB INLET |
| | STORMWATER MANHOLE |
| | LEVEL SPREADER |
| | CONTROL STRUCTURE |
| | SANITARY SEWER |
| | SANITARY MANHOLE |
| | RIPARIAN BUFFER |
| | WATER |

- STORMWATER NOTES**
1. THE STORMWATER DRAINAGE LAYOUT IS CONCEPTUAL AND SUBJECT TO CHANGE. APPROVAL BY TOWN STAFF IF REQUIRED.
 2. THE STORMWATER DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TOWN OF KNIGHTDALE UDO AND ENGINEERING STANDARDS & SPECIFICATIONS.
 3. THE STORMWATER PLAN SHALL PROVIDE FOR ADEQUATE NITROGEN REDUCTION AND ATTENUATION OF STORMWATER RUNOFF.
 4. FENCING AND LANDSCAPING FOR ALL PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE REQUIREMENTS FOR EACH TYPE OF MEASURE PROPOSED.
 5. STORMWATER CONTROL MEASURES SHALL BE LOCATED IN OPEN SPACE AREAS DEDICATED TO AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA).
 6. A MAINTENANCE PLAN ALONG WITH A MEMORANDUM OF AGREEMENT MUST BE DEVELOPED FOR ALL STORMWATER CONTROL MEASURES (SCMS) INSTALLED TO ACHIEVE NITROGEN LOADING AND/OR FLOW ATTENUATING REQUIREMENTS AS PART OF THIS PROJECT. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO PLAT RECORDATION. PROOF OF SAID RECORDING WILL BE REQUIRED AT TIME OF PLAT RECORDATION.
 7. MAINTENANCE AND ACCESS EASEMENTS ARE REQUIRED FOR ALL SCMS. AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DEPT. MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.



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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **HCJ**
 Checked By: **BDM**

DATE: 24 NOV 2025
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 ▲ 31 MAR 2026

MASTER PLANS

STORMWATER MANAGEMENT PLAN NORTH

Job Code: **L70FRZ**

Dwg No. **MP 3.1**

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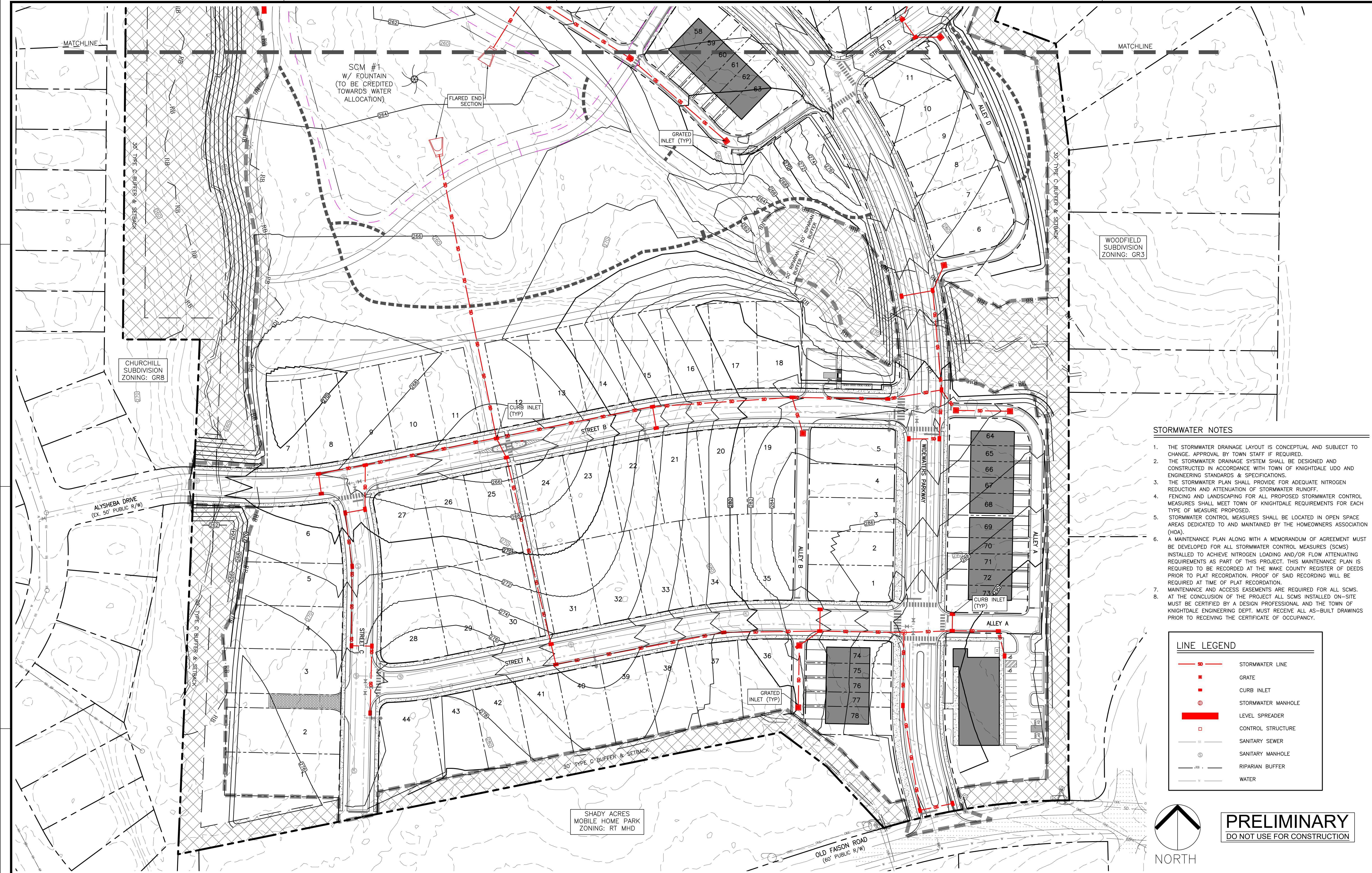
NORTH

STORMWATER MANAGEMENT PLAN NORTH

SCALE: 1" = 60'

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 - 8.

LINE LEGEND

| | |
|--|--------------------|
| | STORMWATER LINE |
| | GRATE |
| | CURB INLET |
| | STORMWATER MANHOLE |
| | LEVEL SPREADER |
| | CONTROL STRUCTURE |
| | SANITARY SEWER |
| | SANITARY MANHOLE |
| | RIPARIAN BUFFER |
| | WATER |

PRELIMINARY
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NORTH

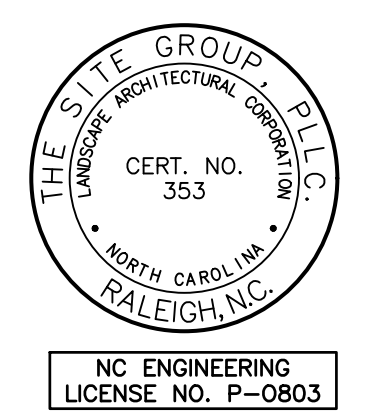
STORMWATER
MANAGEMENT PLAN SOUTH

SCALE: 1" = 60'

0 60 120 180 240

NOT FOR CONSTRUCTION

APPROVED MASTER PLAN
Town of Knightdale
Development Services
Gideon Smith 04/23/2026



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MASTER PLANS (ZMA-1-25) FOR:
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4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: **HCJ**
Checked By: **BDM**

DATE:
24 NOV 2025
REVISED:
26 JAN 2026
31 MAR 2026

MASTER PLANS

STORMWATER
MANAGEMENT
PLAN
SOUTH

Job Code: L70FRZ

Dwg No.
MP
3.2

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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL, OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENGAGEMENT EXTENDED TO 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAINS & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS; WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING THE TOP OF MAIN OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
- ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NECOT / RALEIGH AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOR PROGRAM COMPLIANCE PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR F00@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT: ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".

GENERAL NOTES

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RALEIGH WATER CONDITIONS OF APPROVAL:

- ALL WATER, SANITARY SEWER AND REFUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO.
- A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION.
- CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.
- A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE.
- A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUS HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- A DEED SHALL BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION.

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division to schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require re-installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of Raleigh Water Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

LINE LEGEND

- SD STORMWATER LINE
- GRATE
- CURB INLET
- STORMWATER MANHOLE
- LEVEL SPREADER
- CONTROL STRUCTURE
- SANITARY SEWER
- SANITARY MANHOLE
- RIPIARIAN BUFFER
- WATER

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

NORTH
OVERALL PRELIMINARY
UTILITY PLAN

SCALE: 1" = 100'
0 100 200 300 400
NOT FOR CONSTRUCTION



NC ENGINEERING LICENSE NO. P-0803

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, P.L.L.C.
1111 Old Faison Road
Raleigh, NC 27605-1136 USA
Office: 919.835.4787
E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: **HCJ**
Checked By: **BDM**

DATE: 24 NOV 2025
REVISED:
26 JAN 2026
31 MAR 2026

MASTER PLANS
OVERALL PRELIMINARY
UTILITY PLAN

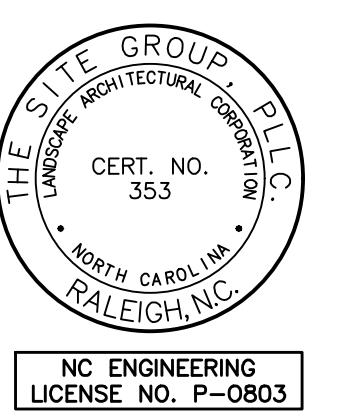
Job Code: **L70FRZ**

Dwg No. **MP 4.0**

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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

| LINE LEGEND | |
|-------------|--------------------|
| —SD— | STORMWATER LINE |
| ■ | GRATE |
| ■ | CURB INLET |
| ⊙ | STORMWATER MANHOLE |
| — | LEVEL SPREADER |
| □ | CONTROL STRUCTURE |
| —S— | SANITARY SEWER |
| ⊙ | SANITARY MANHOLE |
| —RB— | RIPIARIAN BUFFER |
| —W— | WATER |



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MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **HCJ**
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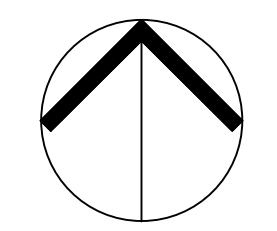
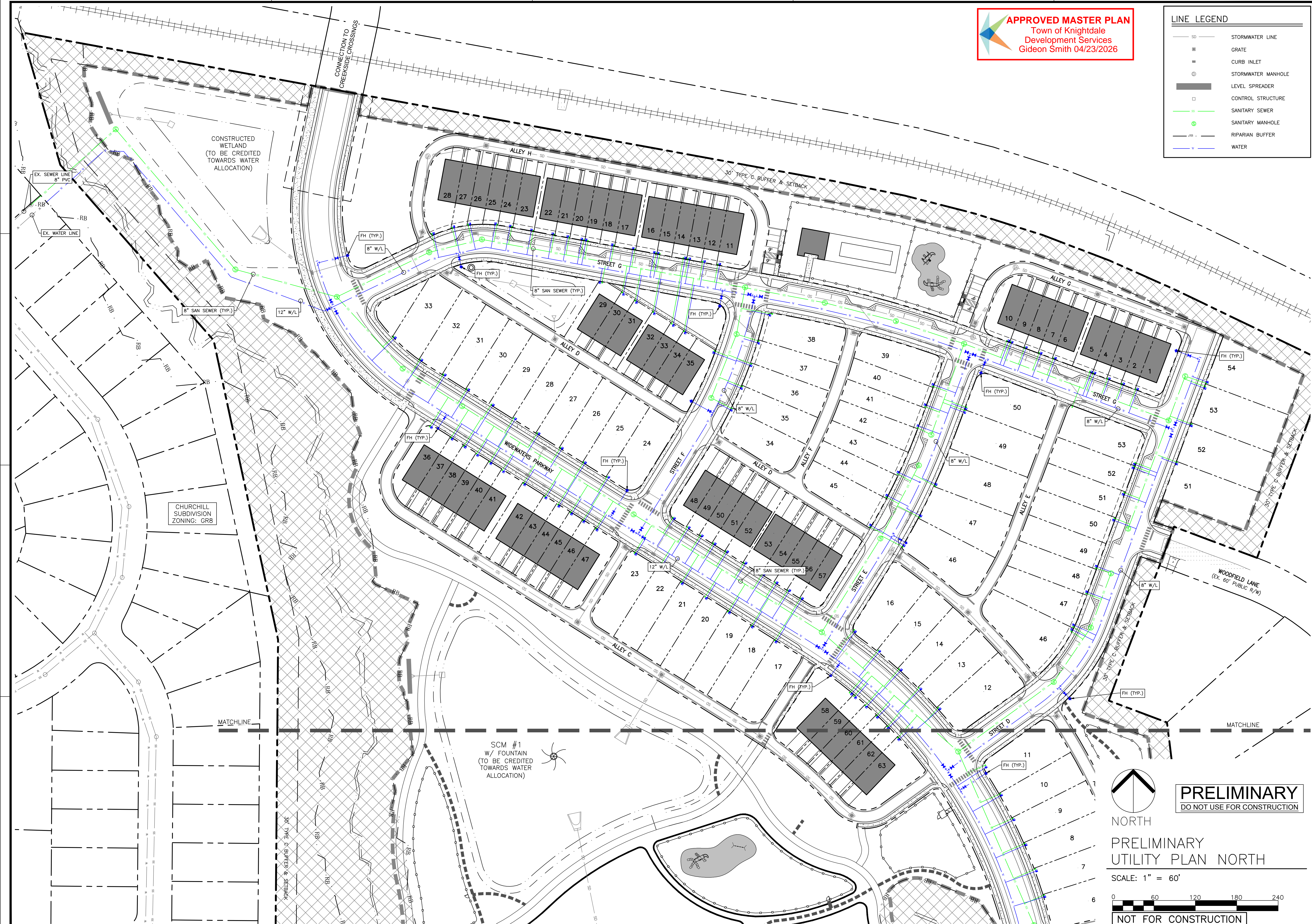
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 ▲ 31 MAR 2026

MASTER PLANS

PRELIMINARY UTILITY PLAN NORTH

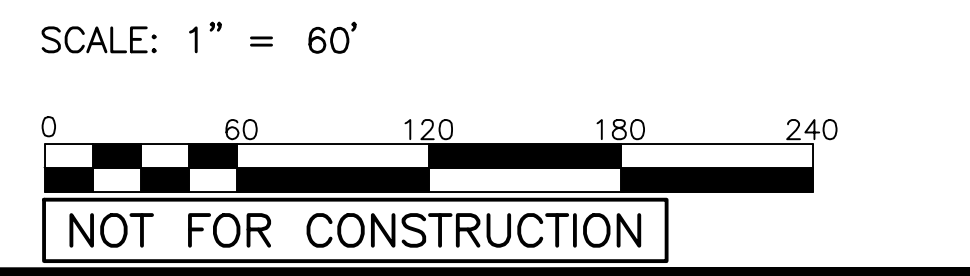
Job Code: **L70FRZ**

Dwg No.
MP 4.1

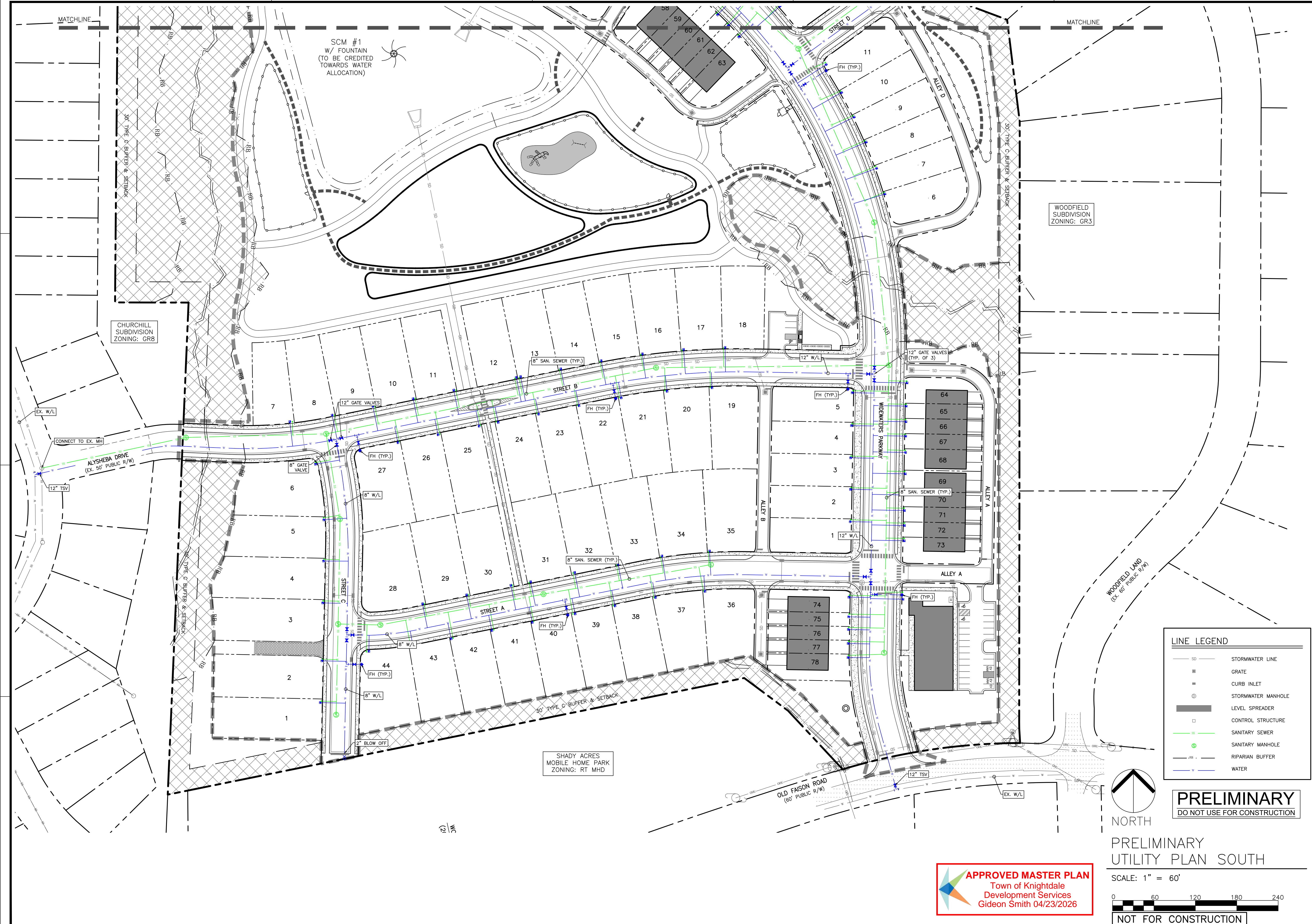


PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

NORTH
 PRELIMINARY
 UTILITY PLAN NORTH



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SCM #1
W/ FOUNTAIN
(TO BE CREDITED
TOWARDS WATER
ALLOCATION)

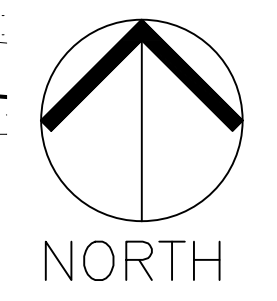
CHURCHILL
SUBDIVISION
ZONING: GR8

SHADY ACRES
MOBILE HOME PARK
ZONING: RT MHD

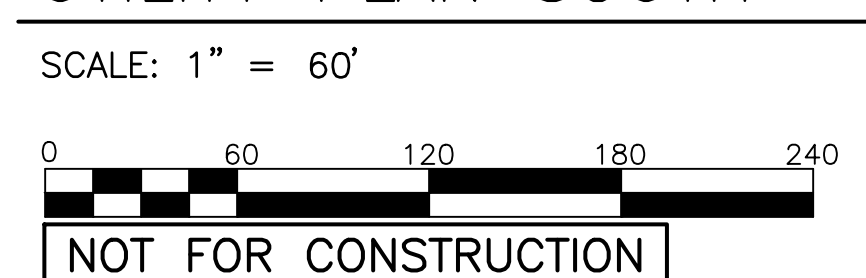
WOODFIELD
SUBDIVISION
ZONING: GR3

| LINE LEGEND | |
|-------------|--------------------|
| | STORMWATER LINE |
| | GRATE |
| | CURB INLET |
| | STORMWATER MANHOLE |
| | LEVEL SPREADER |
| | CONTROL STRUCTURE |
| | SANITARY SEWER |
| | SANITARY MANHOLE |
| | RIPARIAN BUFFER |
| | WATER |

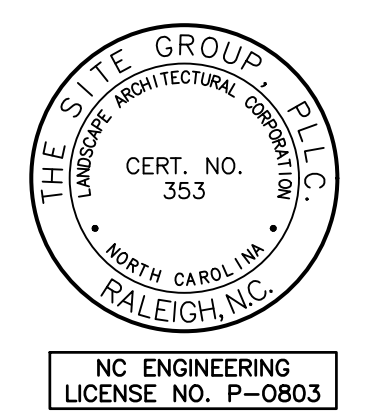
PRELIMINARY
DO NOT USE FOR CONSTRUCTION



NORTH
PRELIMINARY
UTILITY PLAN SOUTH



APPROVED MASTER PLAN
Town of Knightdale
Development Services
Gideon Smith 04/23/2026



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E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: **HCJ**
Checked By: **BDM**

DATE:
24 NOV 2025
REVISED:
26 JAN 2026
31 MAR 2026

MASTER PLANS

PRELIMINARY
UTILITY
PLAN
SOUTH

Job Code: **L70FRZ**

Dwg No.
**MP
4.2**

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APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

PRESERVED TREE CANOPY DATA:
 SITE PERIMETER: 7,182 LF.
 TREE CANOPY SAVE AREA REQUIRED: 7,182 (20)=143,640 SF.
 TREE CANOPY SAVE AREA PROVIDED: 440,739 SF.

TREE SAVE AREA TABLE:

| | |
|------------------|------------|
| TREE SAVE AREA A | 95,703 SF |
| TREE SAVE AREA B | 55,899 SF |
| TREE SAVE AREA C | 234,537 SF |
| TREE SAVE AREA D | 30,049 SF |
| TREE SAVE AREA E | 24,551 SF |

TREE SAVE LEGEND
 TREE SAVE AREA



NC ENGINEERING
 LICENSE NO. P-0803

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MASTER PLANS FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

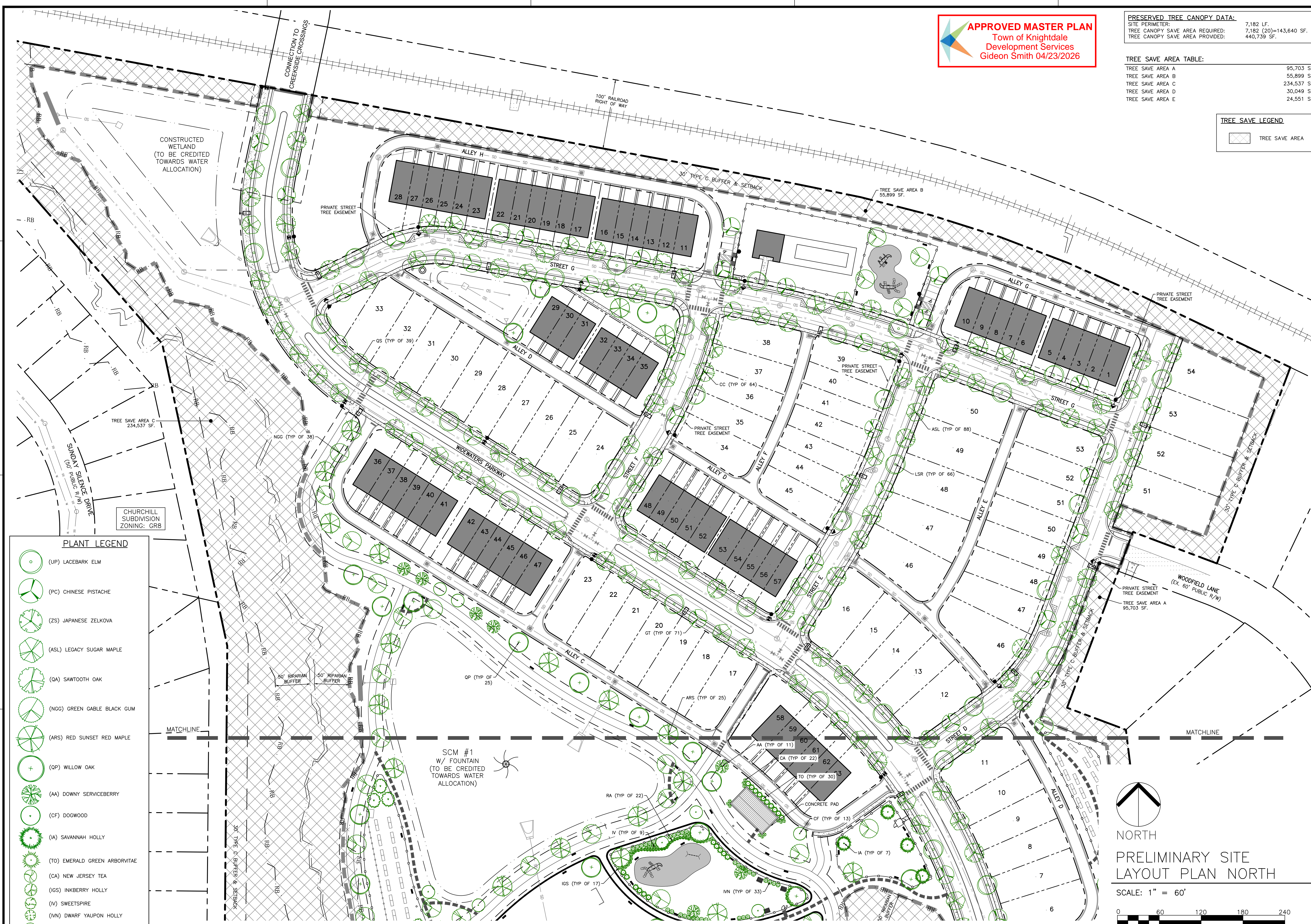
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MASTER PLANS

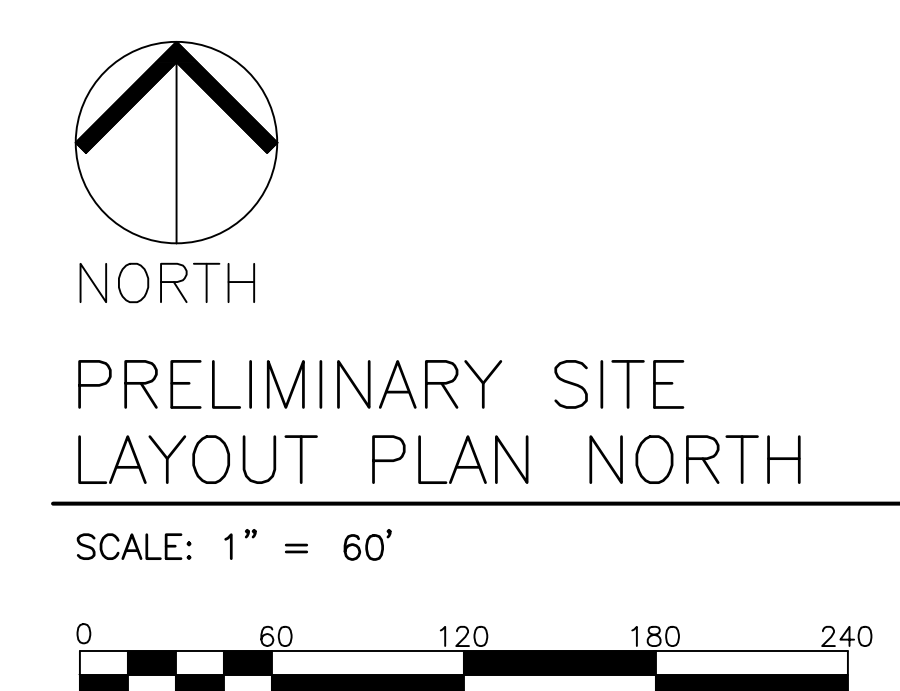
PRELIMINARY
 LANDSCAPE
 PLAN
 NORTH

Job Code: **L70FRZ**

Dwg No.
MP 5.1



- PLANT LEGEND**
- (UP) LACEBARK ELM
 - (PC) CHINESE PISTACHE
 - (ZS) JAPANESE ZELKOVA
 - (ASL) LEGACY SUGAR MAPLE
 - (QA) SAWTOOTH OAK
 - (NGG) GREEN GABLE BLACK GUM
 - (ARS) RED SUNSET RED MAPLE
 - (QP) WILLOW OAK
 - (AA) DOWNY SERVICEBERRY
 - (CF) DOGWOOD
 - (IA) SAVANNAH HOLLY
 - (TO) EMERALD GREEN ARBORVITAE
 - (CA) NEW JERSEY TEA
 - (IGS) INKBERRY HOLLY
 - (IV) SWEETSPIRE
 - (VN) DWARF YAUPON HOLLY
 - (RA) DWARF AZALEA



CONSTRUCTED WETLAND
 (TO BE CREDITED TOWARDS WATER ALLOCATION)

TREE SAVE AREA C
 234,537 SF.

CHURCHILL SUBDIVISION
 ZONING: GR8

SCM #1
 W/ FOUNTAIN
 (TO BE CREDITED TOWARDS WATER ALLOCATION)

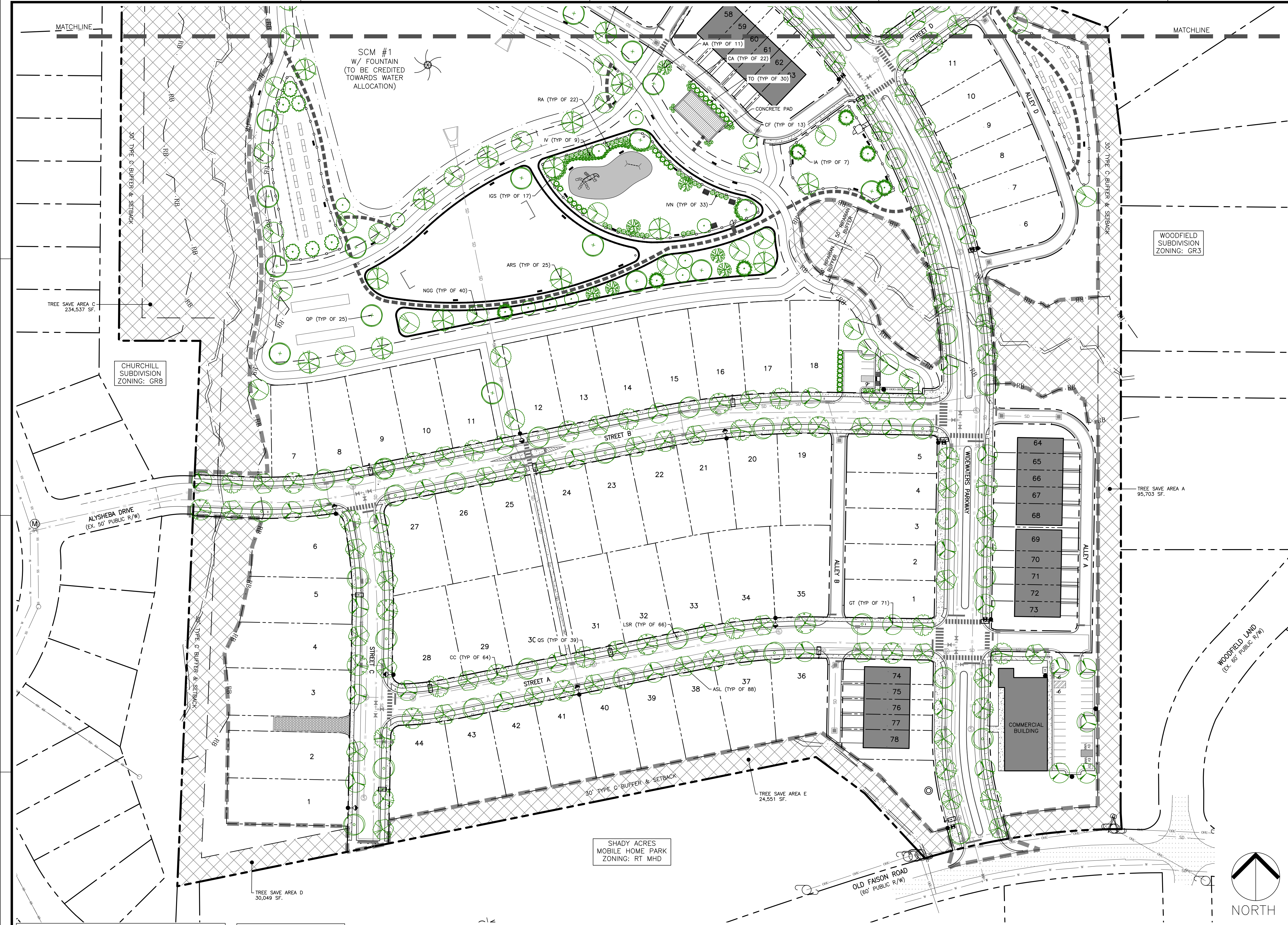
TREE SAVE AREA B
 55,899 SF.

TREE SAVE AREA A
 95,703 SF.

MATCHLINE

MATCHLINE

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PLANT LEGEND

- (UP) LACEBARK ELM
- (PC) CHINESE PISTACHE
- (ZS) JAPANESE ZELKOVA
- (ASL) LEGACY SUGAR MAPLE
- (QA) SAWTOOTH OAK
- (NGG) GREEN GABLE BLACK GUM
- (ARS) RED SUNSET RED MAPLE
- (QP) WILLOW OAK
- (AA) DOWNY SERVICEBERRY
- (CF) DOGWOOD
- (IA) SAVANNAH HOLLY
- (TO) EMERALD GREEN ARBORVITAE
- (CA) NEW JERSEY TEA
- (IGS) INKBERRY HOLLY
- (V) SWEETSPICE
- (IVN) DWARF YAUPON HOLLY
- (RA) DWARF AZALEA

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| | |
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TREE SAVE LEGEND

| | |
|--|----------------|
| | TREE SAVE AREA |
|--|----------------|

TREE SAVE AREA TABLE:

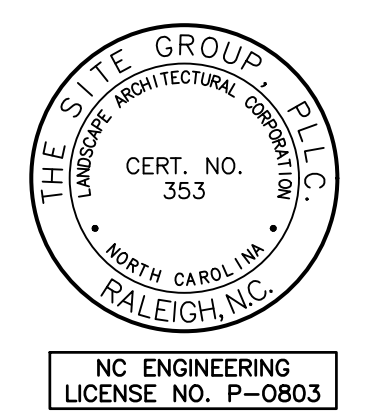
| | |
|------------------|------------|
| TREE SAVE AREA A | 95,703 SF |
| TREE SAVE AREA B | 55,899 SF |
| TREE SAVE AREA C | 234,537 SF |
| TREE SAVE AREA D | 30,049 SF |
| TREE SAVE AREA E | 24,551 SF |

NORTH

PRELIMINARY LANDSCAPE PLAN SOUTH

SCALE: 1" = 60'

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
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MASTER PLANS FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

DATE: 24 NOV 2025
 REVISED:
 ▲ 26 JAN 2026
 ▲ 31 MAR 2026

MASTER PLANS

PRELIMINARY LANDSCAPE PLAN SOUTH

Job Code: **L70FRZ**

Dwg No.
MP 5.2

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OVERALL SITE PLANT LIST

| KEY QTY | BOTANICAL NAME | COMMON NAME | HEIGHT | SIZE | MATURE HT./SPREAD | ROOT | SPACING | LOCATION | NATIVE |
|-------------------------|--------------------------------------|--------------------------|--------|-----------|-------------------|-------|----------|-------------|--------|
| CANOPY TREES | | | | | | | | | |
| ARS 25 | ACER RUBRUM 'RED SUNSET' | RED SUNSET RED MAPLE | 8-10' | 3" CAL. | 50'/40' | B&B | AS SHOWN | OPEN SPACE | YES |
| ASL 88 | ACER SACCHARUM 'LEGACY' | LEGACY SUGAR MAPLE | 8-10' | 3" CAL. | 60'/40' | B&B | AS SHOWN | STREET TREE | YES |
| CC 64 | CARPINUS CAROLINIANA | IRONWOOD | 8-10' | 3" CAL. | 40'/30' | B&B | AS SHOWN | STREET TREE | YES |
| LSR 66 | LIQUIDAMBAR STRACIFLUA 'ROTUNDILOBA' | FRUITLESS SWEETGUM | 8-10' | 3" CAL. | 50'/30' | B&B | AS SHOWN | STREET TREE | YES |
| NGG 38 | NYSSA SYLVATICA 'GREEN GABLE' | GREEN GABLE BLACK GUM | 8-10' | 2" CAL. | 60'/30' | B&B | AS SHOWN | OPEN SPACE | YES |
| GT 71 | GLEDTISIA TRICANTHOS 'INERMIS' | THORNLESS HONEYLOCUST | 8-10' | 2" CAL. | 40'/30' | B&B | AS SHOWN | STREET TREE | YES |
| QS 39 | QUERCUS SHUMARDII | SHUMARD OAK | 8-10' | 3" CAL. | 60'/40' | B&B | AS SHOWN | STREET TREE | YES |
| QP 25 | QUERCUS PHELLOS | WILLOW OAK | 8-10' | 3" CAL. | 60'/40' | B&B | AS SHOWN | OPEN SPACE | YES |
| UNDERSTORY TREES | | | | | | | | | |
| AA 11 | AMELANCHIER ARBOREA | DOWNY SERVICEBERRY | 8-10' | 1.5" CAL. | 20'/15' | B&B | AS SHOWN | OPEN SPACE | YES |
| CF 13 | CORNUS FLORIDA 'CHEROKEE CHIEF' | DOGWOOD | 8-10' | 1.5" CAL. | 20'/20' | B&B | AS SHOWN | OPEN SPACE | YES |
| IA 7 | ILEX ATTENUATA 'SAVANNAH' | SPARTAN JUNIPER | 8-10' | 1.5" CAL. | 25'/15' | B&B | AS SHOWN | OPEN SPACE | YES |
| TO 30 | THUJA OCCIDENTALIS 'SMARGO' | EMERALD GREEN ARBORVITAE | 8-10' | 1.5" CAL. | 12'/4' | B&B | AS SHOWN | OPEN SPACE | YES |
| SHRUBS | | | | | | | | | |
| CA 22 | CEONANTHUS AMERICANUS | NEW JERSEY TEA | 24" | #3 | 3'/3' | CONT. | AS SHOWN | OPEN SPACE | YES |
| IVN 33 | ILEX VOMITORIA 'NANA' | DWARF YAUPON HOLLY | 24" | #3 | 5'/5' | CONT. | AS SHOWN | OPEN SPACE | YES |
| IV 9 | ILEX VIRGINICA 'HENRY'S GARNET' | SWEETSPICE | 24" | #3 | 4'/5' | CONT. | AS SHOWN | OPEN SPACE | YES |
| IGS 17 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | 24" | #3 | 3'/4' | CONT. | AS SHOWN | OPEN SPACE | YES |
| RA 22 | RHODODENDRON ATLANTICUM | DWARF AZALEA | 24" | #3 | 3'/3' | CONT. | AS SHOWN | OPEN SPACE | YES |

LANDSCAPE REQUIREMENT CALCULATIONS:

TYPE C BUFFER REQUIREMENTS PER 100 LINEAR FEET OF BUFFER (30' WIDE MIN.):
 5 CANOPY TREES, 5 UNDERSTORY TREES, 25 SHRUBS
 TOTAL TYPE C BUFFER LENGTH = 6,706 LF
 335 CANOPY TREES, 335 UNDERSTORY TREES & 1,676 SHRUBS REQUIRED
 (ALL EXISTING VEGETATION WITHIN THE TYPE C BUFFERS ARE INTENDED TO BE PRESERVED FOR TREE SAVE AREAS. SUPPLEMENTAL BUFFER PLANTINGS MAY BE REQUIRED BASED ON FIELD CONDITIONS AT INSPECTION.)

STREET TREE REQUIREMENT PER LINEAR FEET OF FRONTAGE:
 1 CANOPY TREE @ 40' O.C.

WIDEWATERS PARKWAY = 2,150 LF. OF FRONTAGE
 2,150/40 x 2 = 108 STREET TREES REQUIRED

STREET A = 680 LF. OF FRONTAGE
 680/40 x 2 = 34 STREET TREES REQUIRED

STREET B = 922 LF. OF FRONTAGE
 922/40 x 2 = 46 STREET TREES REQUIRED

STREET C = 391 LF. OF FRONTAGE
 391/40 x 2 = 20 STREET TREES REQUIRED

STREET D = 581 LF. OF FRONTAGE
 581/40 x 2 = 29 STREET TREES REQUIRED

STREET E = 403 LF. OF FRONTAGE
 403/40 x 2 = 20 STREET TREES REQUIRED

STREET F = 307 LF. OF FRONTAGE
 307/40 x 2 = 15 STREET TREES REQUIRED

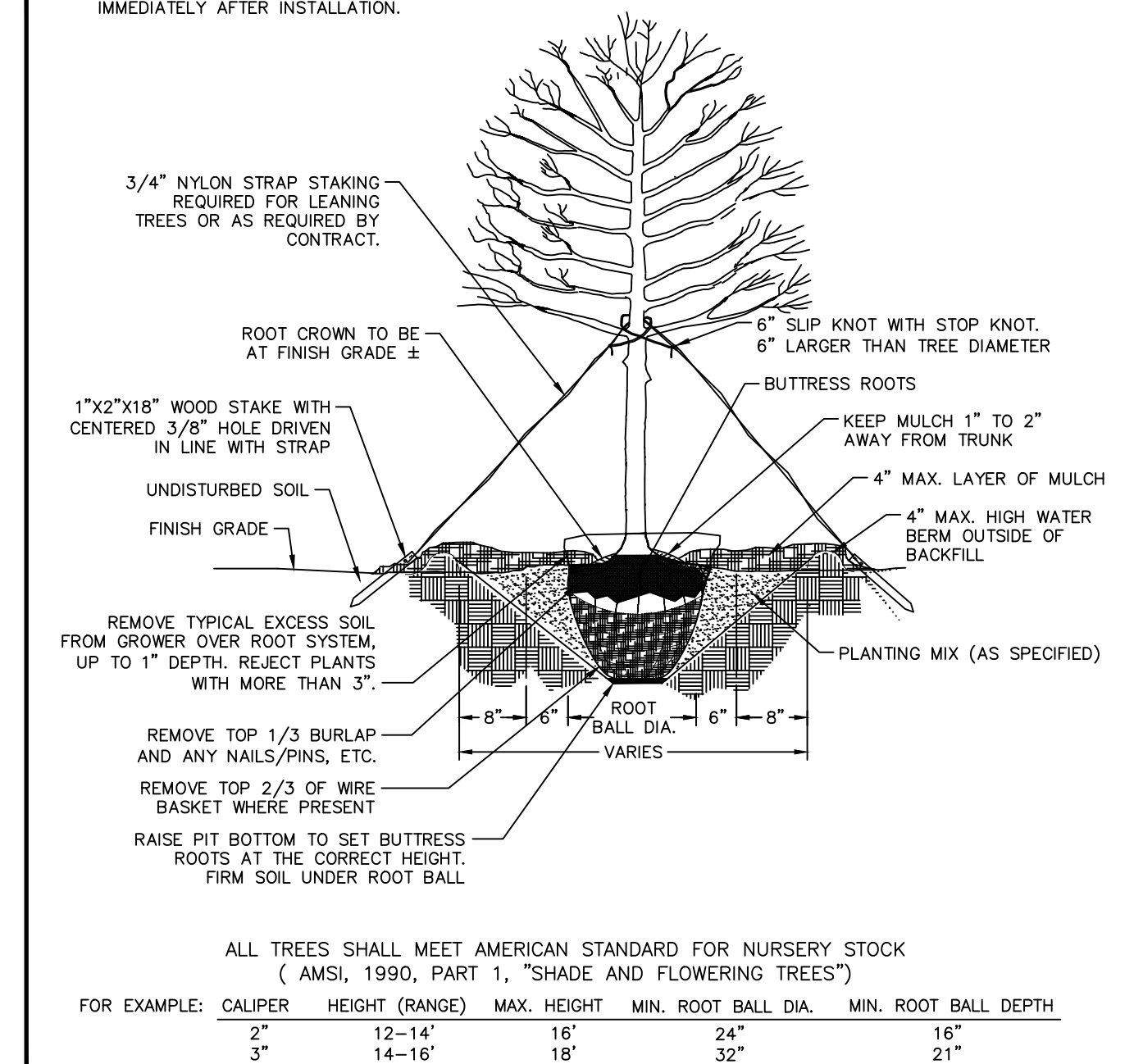
STREET G = 1,068 LF. OF FRONTAGE
 1,068/40 x 2 = 53 STREET TREES REQUIRED

LANDSCAPE SPECIES & TOLERANCE NOTE:

A MINIMUM OF 75% OF THE LANDSCAPE FEATURES UTILIZED ON A PARCEL THAT IS GREATER THAN 5 ACRES SHALL BE DROUGHT AND SALT-TOLERANT NATIVE SPECIES. TOTAL LANDSCAPE FEATURES, EXCLUDING TURF, SHALL NOT BE COMPRISED OF MORE THAN 20% OF ANY SINGLE SPECIES OR 25% OF ANY GENUS [UDO, SEC. 7.4.G.1.B.IV].

NOTES:

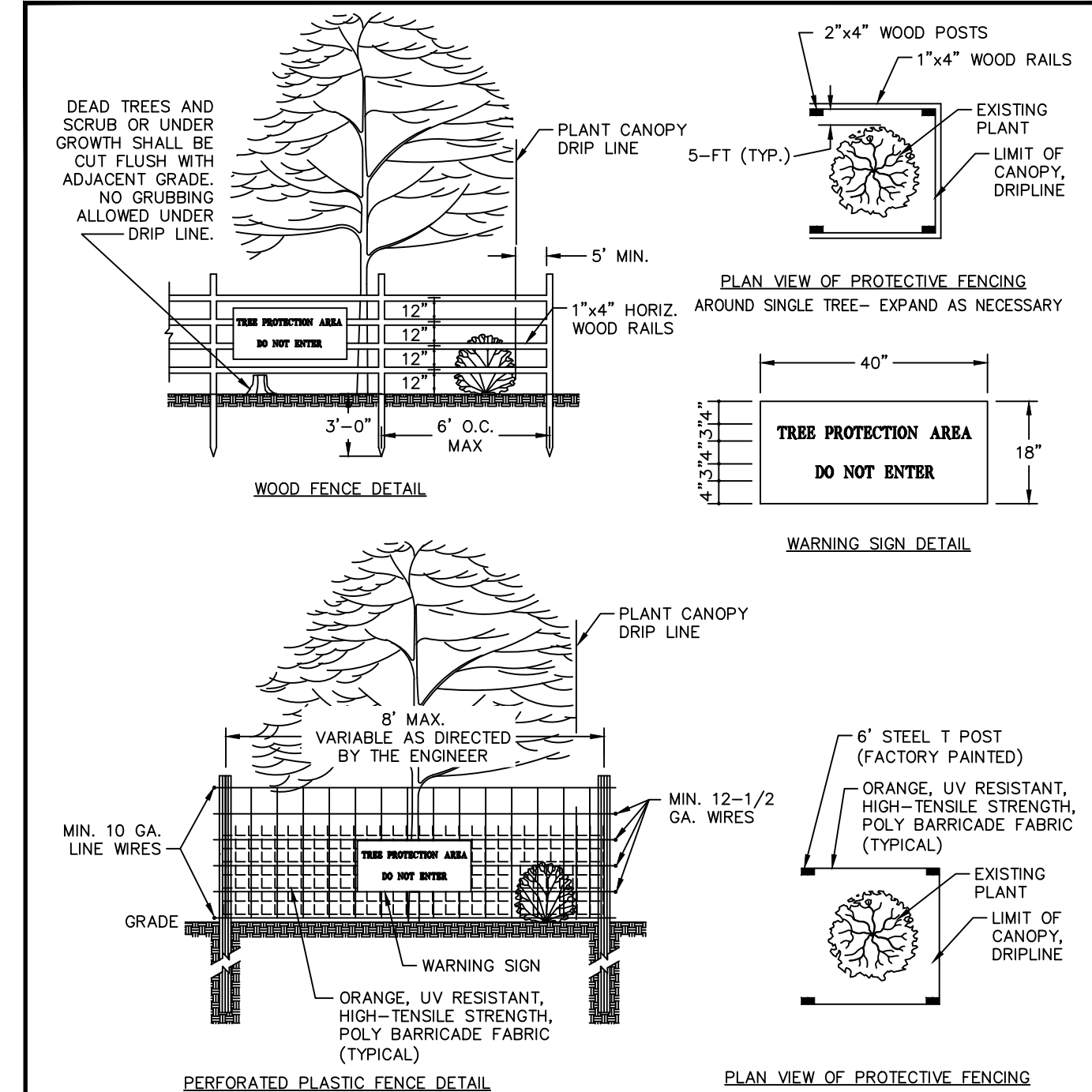
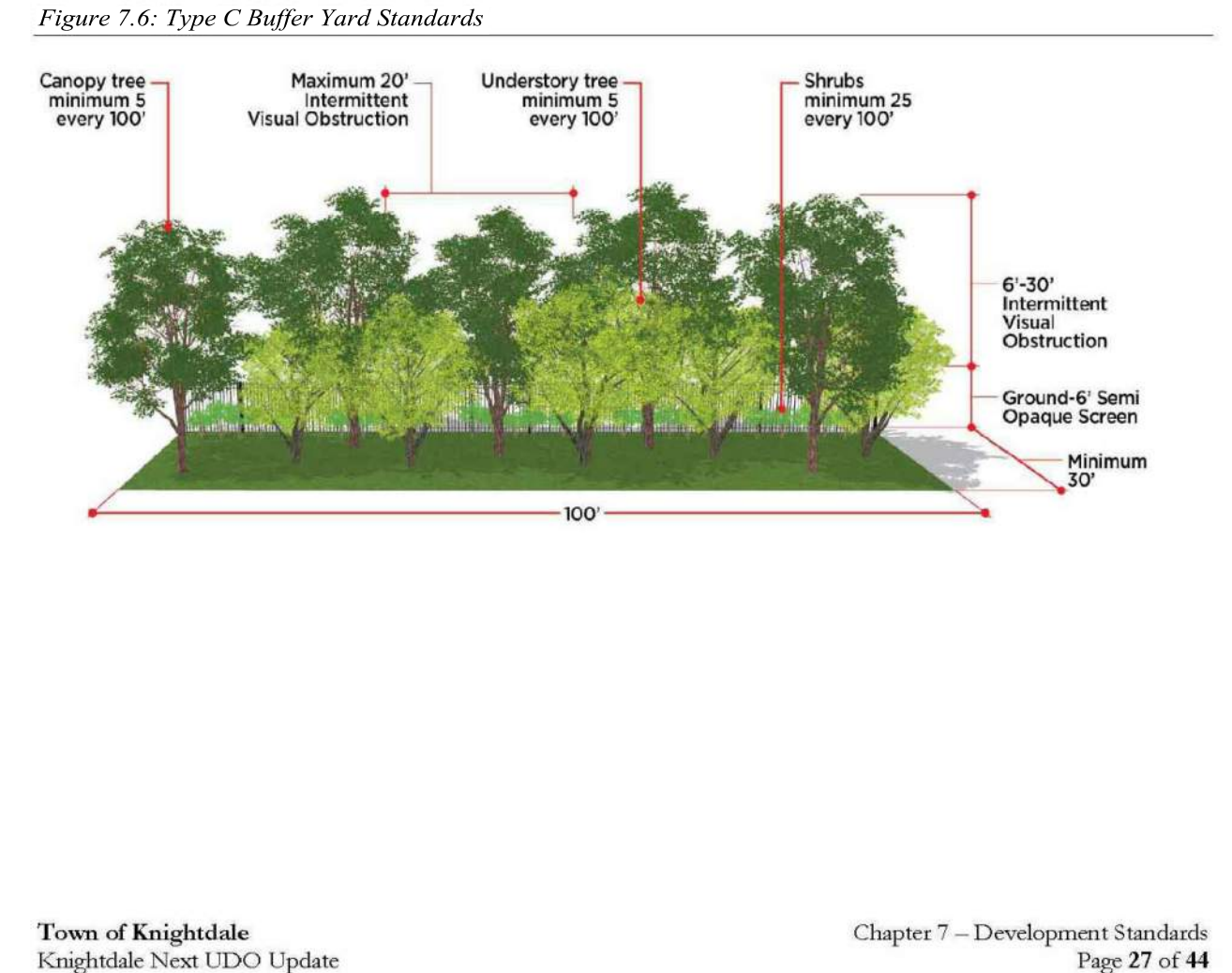
- REMOVE WIRE OR NYLON TWINE FROM BALL.
- SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.



| REVISIONS | DATE | DESCRIPTION | STD. NO. |
|-----------|------|-------------|----------|
| | | | |
| | | | |
| | | | |

TOWN OF KNIGHTDALE STANDARD DETAILS TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES) 3.25

4. Type C Buffer Yard.
- Minimum Width: Thirty (30) feet
 - Minimum Landscape Height and Opacity.
 - Ground to Six (6) Feet. Semi-Opaque Screen
 - Six (6) to Thirty (30) Feet. Intermittent Visual Obstruction
 - Maximum Landscape Horizontal Openings.
 - Five (5) Feet. Semi-Opaque Screen
 - Twenty (20) Feet. Intermittent Visual Obstruction
 - Performance Standard. A buffer which is thirty (30) feet in width and contains screening materials which at maturity provides semi-opacity from the ground to a height of six (6) feet, and intermittent visual obstruction from a height of six (6) height up to a height of thirty (30) feet. Vegetative screening materials within intermittent visual obstruction areas shall contain horizontal openings no greater than twenty (20) feet in width; vegetative screening materials within semi-opaque areas shall contain no horizontal openings greater than five (5) feet in width upon the plants' maturity.
 - Required Plantings. For every one hundred (100) linear feet, there shall be at least five (5) Canopy Trees, five (5) Understory Trees, and twenty-five (25) shrubs. Depending on the species chosen, additional trees or shrubs may be necessary to meet the performance standard in subsection "d" above.



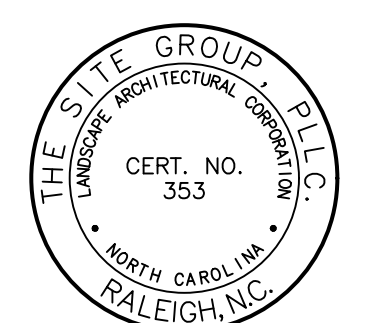
NOTES:

- REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT
- LANDSCAPING PLANS SHALL SHOW LOCATIONS OF ALL TREE PROTECTION FENCES.
- ALL PLANTS TO BE SAVED SHALL BE PROTECTED BY FENCING AS SHOWN IN THIS DETAIL.
- CONTRACTOR SHALL INSTALL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING ACTIVITY.
- CONTRACTOR SHALL CALL FOR INSPECTION AND APPROVAL OF PROTECTIVE FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING.
- PROTECTIVE FENCING SHALL BE LOCATED 5' OUTSIDE DRIFLINE OF TREES AND 1' MINIMUM OUTSIDE SHRUBS OR OTHER PLANTS.

| REVISIONS | DATE | DESCRIPTION | STD. NO. |
|-----------|------|-------------|----------|
| | | | |
| | | | |
| | | | |

TOWN OF KNIGHTDALE STANDARD DETAILS PLANT PROTECTIVE FENCING 2.10

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026



NC ENGINEERING LICENSE NO. P-0803

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MASTER PLANS FOR:
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 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: JHJ
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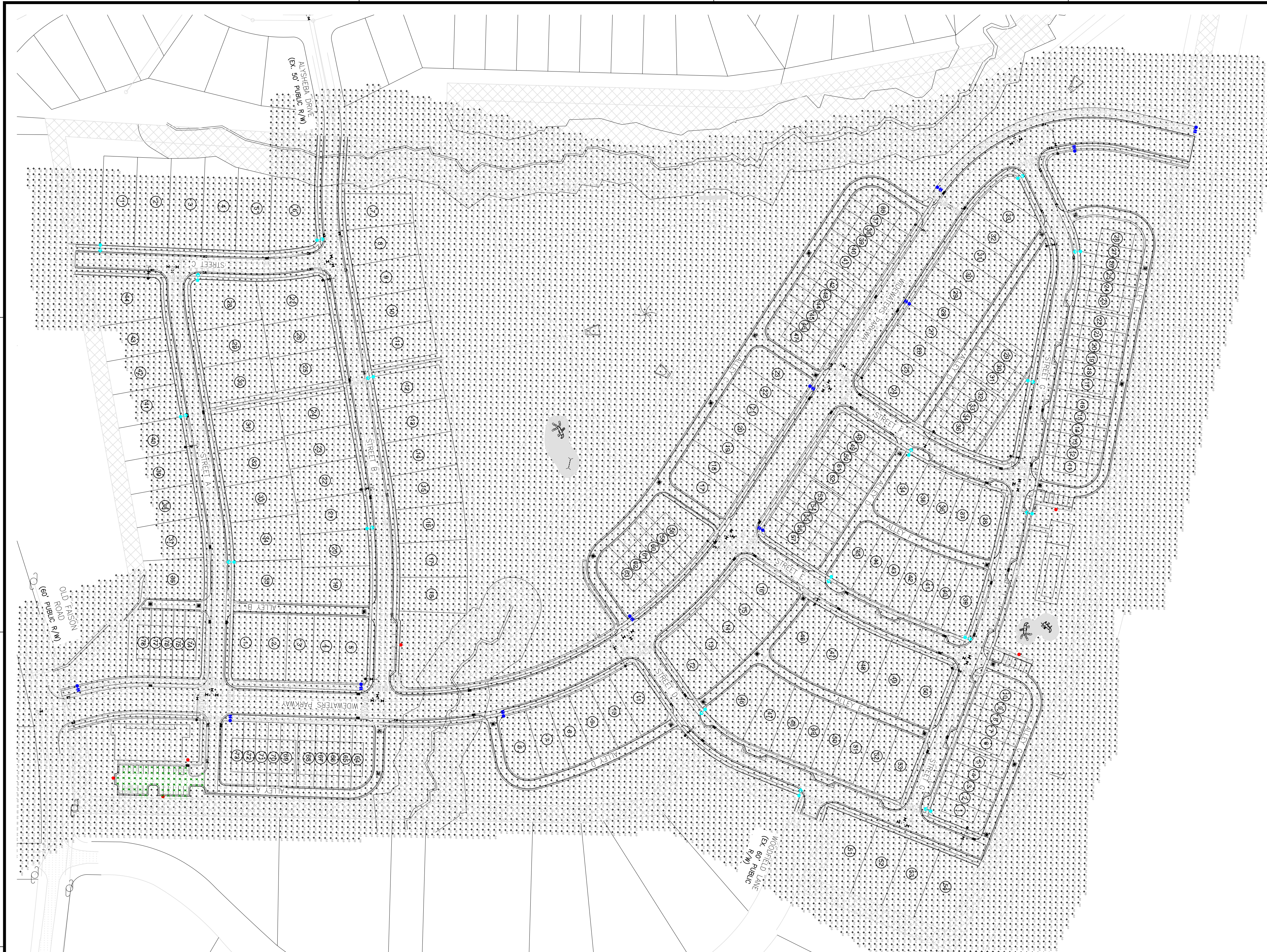
DATE: 24 NOV 2025
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 26 JAN 2026
 31 MAR 2026

MASTER PLANS
 PRELIMINARY LANDSCAPE DETAILS & NOTES

Job Code: L70FRZ

Dwg No. MP 5.3

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Outdoor Lighting

LED (Light-emitting diode) 110 | 150 | 220 | 280 watts
Mounting height 20' | 25' | 35'
Color Black | Gray
Pole Fiberglass, Metal, Wood
Applications Neighborhoods, Roadways, Shopping centers

Light source: LED (white)
Wattage: 110 | 150 | 220 | 280 watts
Light pattern: IESNA Type III Type IV (forward throw)
IESNA cutoff classification: B2U0G3
BUG rating: Type III = B3U0G3 (110W), B3U0G3 (150W), B3U0G4 (220W/280W)
 Type IV = B3U0G3 (150W), B3U0G4 (220W), B3U0G3 (280W)
Color temperature: 3,000K | 4,000K

| POLE AVAILABLE | MOUNTING HEIGHT | COLOR |
|----------------------------|-----------------|-------------------------------|
| Fiberglass | 25', 30', 35' | Gray, Black (additional cost) |
| Wood | 25', 30', 35' | Standard |
| Metal (special conditions) | 25', 30', 35' | Galvanized |

| FEATURES | BENEFITS |
|--|--|
| Turnkey operation | Provides hassle-free installation and service |
| Little or no installation cost | Frees up capital for other projects |
| Design services by lighting professionals included | Meets industry standards and lighting ordinances |
| Maintenance, electricity & warranty included | Eliminates high and unexpected repair bills |
| One low monthly cost on your electric bill | Convenience and savings for you |

For additional information, contact us at: OOLCarolina@duke-energy.com.

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Outdoor Lighting

LED (Light-emitting diode) 50 watts
Mounting height 12' - 17' | 16'
Color Black
Pole Aluminum, Fiberglass, Concrete, Decorative aluminum
Applications Neighborhoods, Parks, Shopping centers, Streets

Light source: LED (white)
Wattage: 50 watts
Lumens: 5,261
Light pattern: IESNA Type III Type V
IESNA cutoff classification: Full-cutoff
BUG rating: Type III = B1U0G2 Type V = B2U0G2
Color temperature: 3,000K | 4,000K

| POLE AVAILABLE | MOUNTING HEIGHT | COLOR |
|---------------------|-----------------|-------|
| Aluminum | 12', 15', 17' | Black |
| Fiberglass | 16' | Black |
| Fluted concrete | 13' | Black |
| Decorative aluminum | 12', 16' | Black |

| FEATURES | BENEFITS |
|--|--|
| Turnkey operation | Provides hassle-free installation and service |
| Little or no installation cost | Frees up capital for other projects |
| Design services by lighting professionals included | Meets industry standards and lighting ordinances |
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| One low monthly cost on your electric bill | Convenience and savings for you |

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LIGHTING DESIGN TOLERANCE

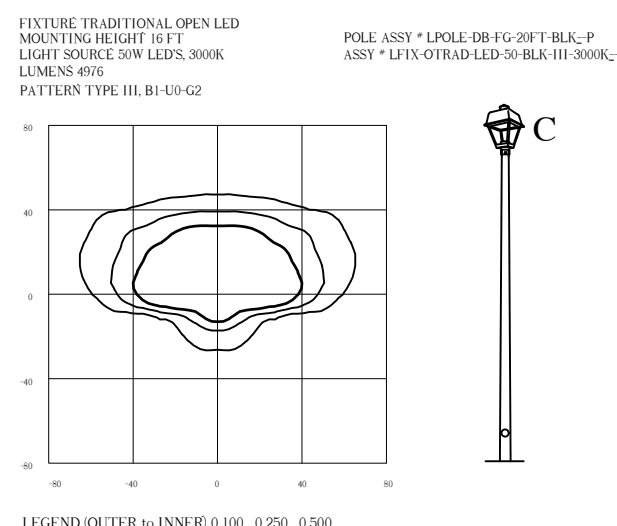
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



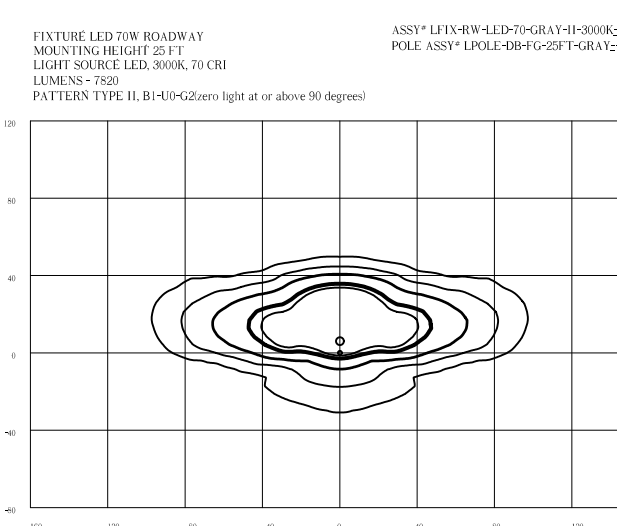
PROPRIETARY & CONFIDENTIAL

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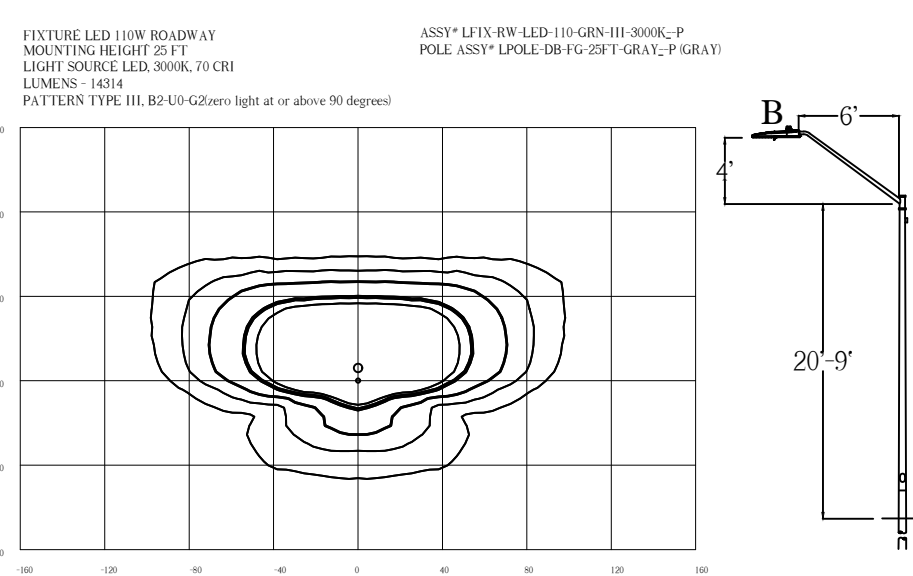
ISOFOOTCANDLE CURVES



ISOFOOTCANDLE CURVES



ISOFOOTCANDLE CURVES



| Statistics | | | | | | |
|-----------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Amenity Parking | X | 0.8 fc | 1.7 fc | 0.2 fc | 8.5:1 | 4.0:1 |

| Schedule | | | | | | |
|----------|-------|-----|---|--------------|-------------|--|
| Symbol | Label | QTY | Description | Number Lamps | Lamp Output | |
| | A | 17 | LED 70w Roadway - Type II - 3000K | 1 | 7776 | |
| | B | 11 | LED 110w Roadway - Type III - 3000K - Street | 1 | 14306 | |
| | C | 6 | LED 50w Open Traditional - Type III - 3000K - Parking/Private | 24 | 207 | |

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

NORTH

PRELIMINARY SITE LIGHTING PLAN-DUKE

SCALE: 1" = 100'

THE SITE GROUP, PLLC
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 1111 OAKWOOD ROAD
 RALEIGH, NC 27605-1136 USA
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CERT. NO. 353
 NC ENGINEERING LICENSE NO. P-0803

MASTER PLANS FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

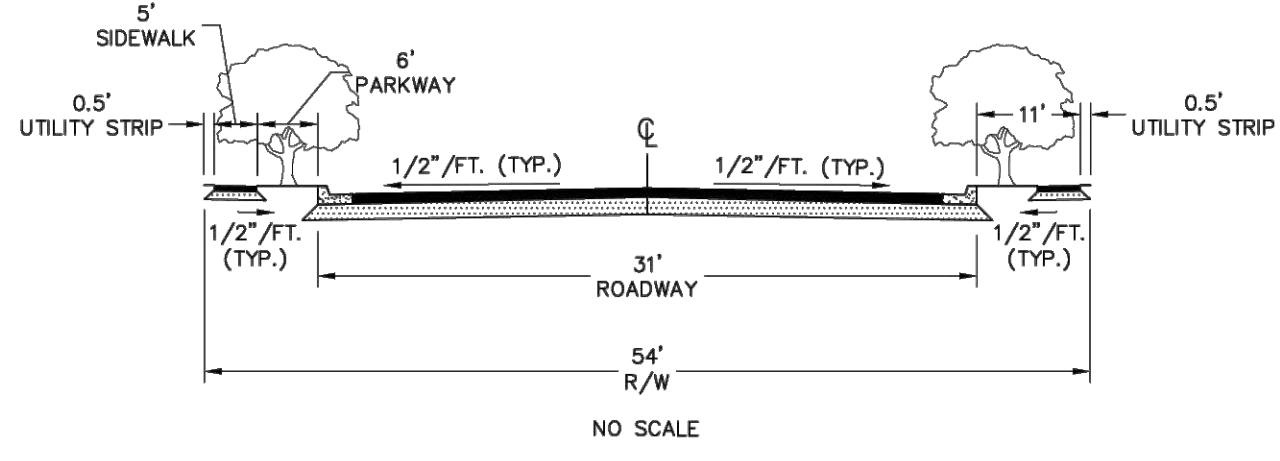
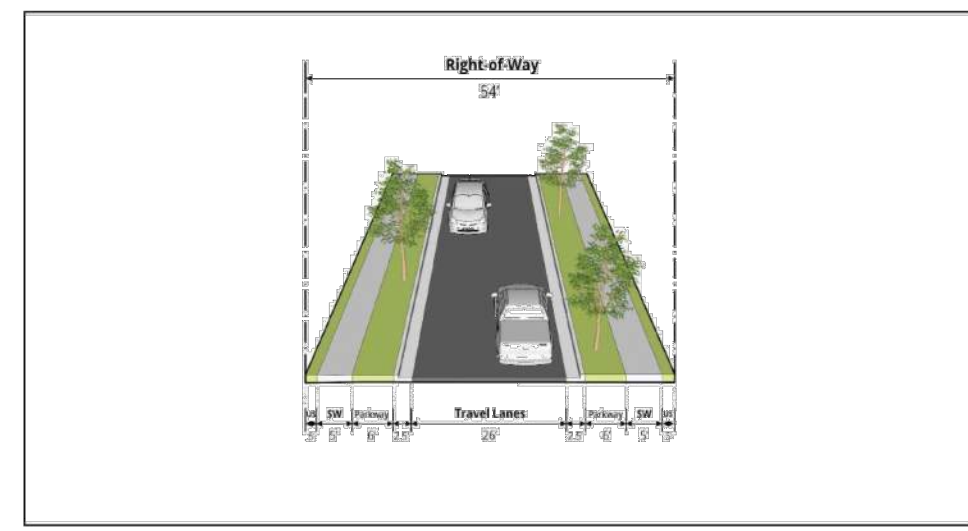
Drawn By: JHJ
 Checked By: BDM

DATE: 31 MAR 2026

Job Code: L70FRZ

Dwg No. MP 5.4

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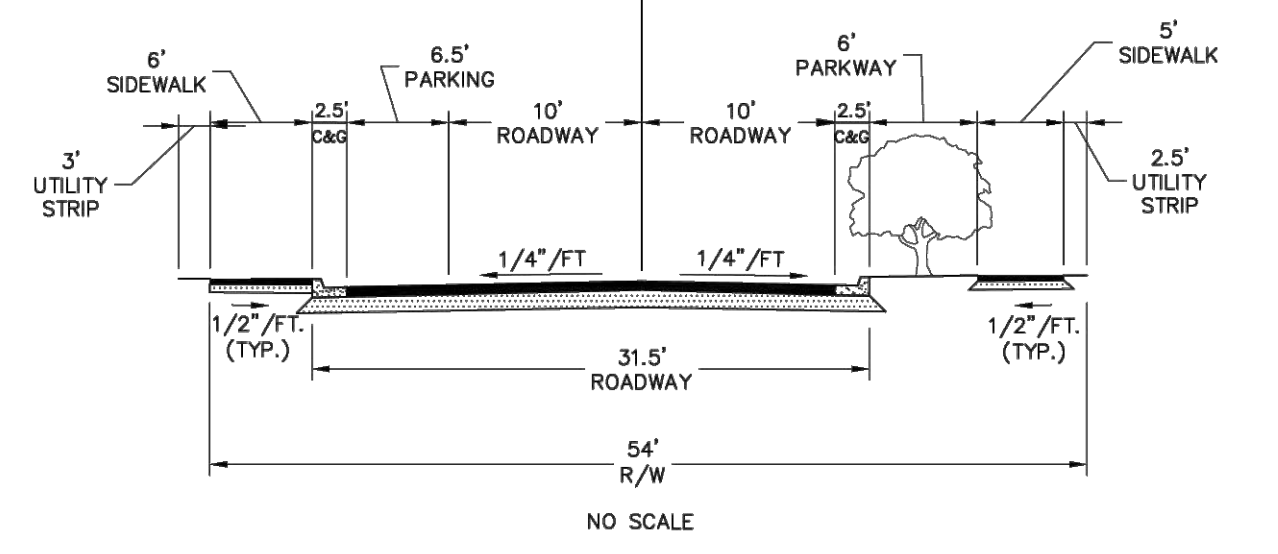
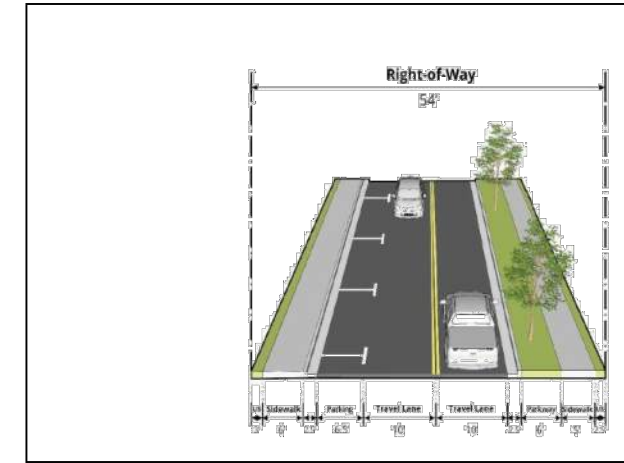


MINIMUM PAVEMENT DESIGN:
 BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B
 INTERMEDIATE COURSE: 2 1/2" I 19.0B
 BASE COURSE: 8" ABC

STREET FEATURES:
 FLEXIBLE STREET DESIGN
 COORDINATE STREET DESIGN ELEMENTS WITH TOWN STAFF
 STREET WIDTH OF 20 FT. FOR ONE-WAY
 STREET WIDTH OF 31 FT. FOR TWO-WAY
 CURB & GUTTER
 INFORMAL PARKING - ONE SIDE ONLY
 PARKWAY - 6 FT. ON EACH SIDE
 SIDEWALK - 5 FT. ON EACH SIDE
 UTILITY STRIP - 0.5 FT. ON EACH SIDE
 REQUIRES 47 FT. OF RIGHT-OF-WAY FOR ONE-WAY
 REQUIRES 54 FT. OF RIGHT-OF-WAY FOR TWO-WAY
 UTILITY LOCATION UNDERGROUND
 AVERAGE SPEED 20 MPH
 STREET TREES LOCATED IN PARKWAY

| REVISIONS | DATE | DESCRIPTION | STD. NO. |
|-----------|------|-------------|----------|
| | | | |

TOWN OF KNIGHTDALE STANDARD DETAILS LOCAL STREET - 2 LANES SIDEWALKS 3.02-1

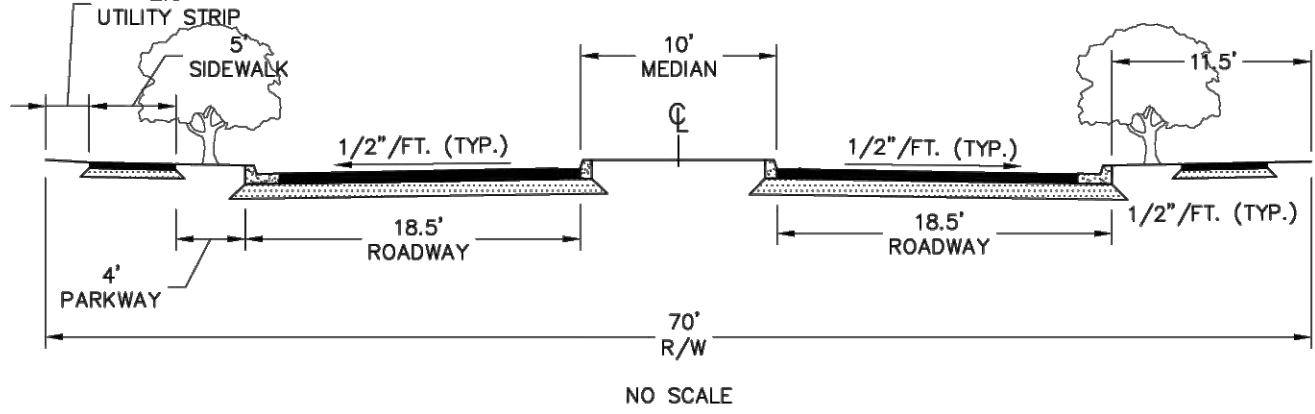
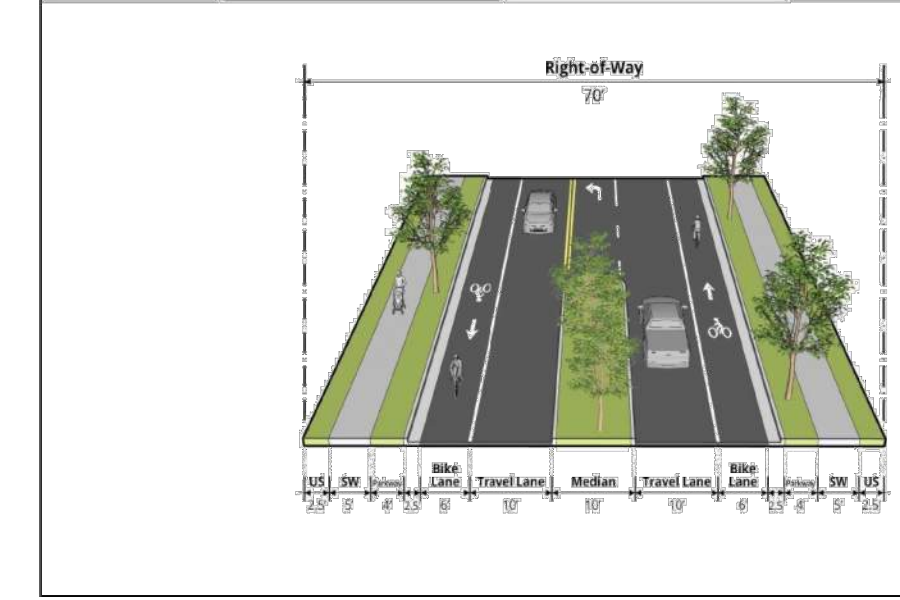


MINIMUM PAVEMENT DESIGN:
 BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B
 INTERMEDIATE COURSE: 2 1/2" I 19.0B
 BASE COURSE: 8" ABC

STREET FEATURES:
 FLEXIBLE STREET DESIGN
 COORDINATE STREET DESIGN ELEMENTS WITH TOWN STAFF
 TRAVEL LANES OF 10 FT.
 CURB & GUTTER
 STRIPED PARALLEL PARKING - ONE SIDE ONLY
 PARKWAY - 6 FT. ON EACH SIDE
 SIDEWALK - 6 FT. ON PARKING SIDE; 5 FT. ON OPPOSING SIDE
 REQUIRES 54 FT. OF RIGHT-OF-WAY
 AVERAGE SPEED 20 MPH
 UTILITY LOCATION UNDERGROUND
 STREET TREES LOCATED IN PARKWAY
 STREET TREES LOCATED ON PARKING SIDE OF STREET
 WILL BE PLACED IN CURB BULB OUT OR BACK OF SIDEWALK

| REVISIONS | DATE | DESCRIPTION | STD. NO. |
|-----------|------|-------------|----------|
| | | | |

TOWN OF KNIGHTDALE STANDARD DETAILS LOCAL STREET - ON STREET PARKING ONE SIDE ONLY 3.02-2

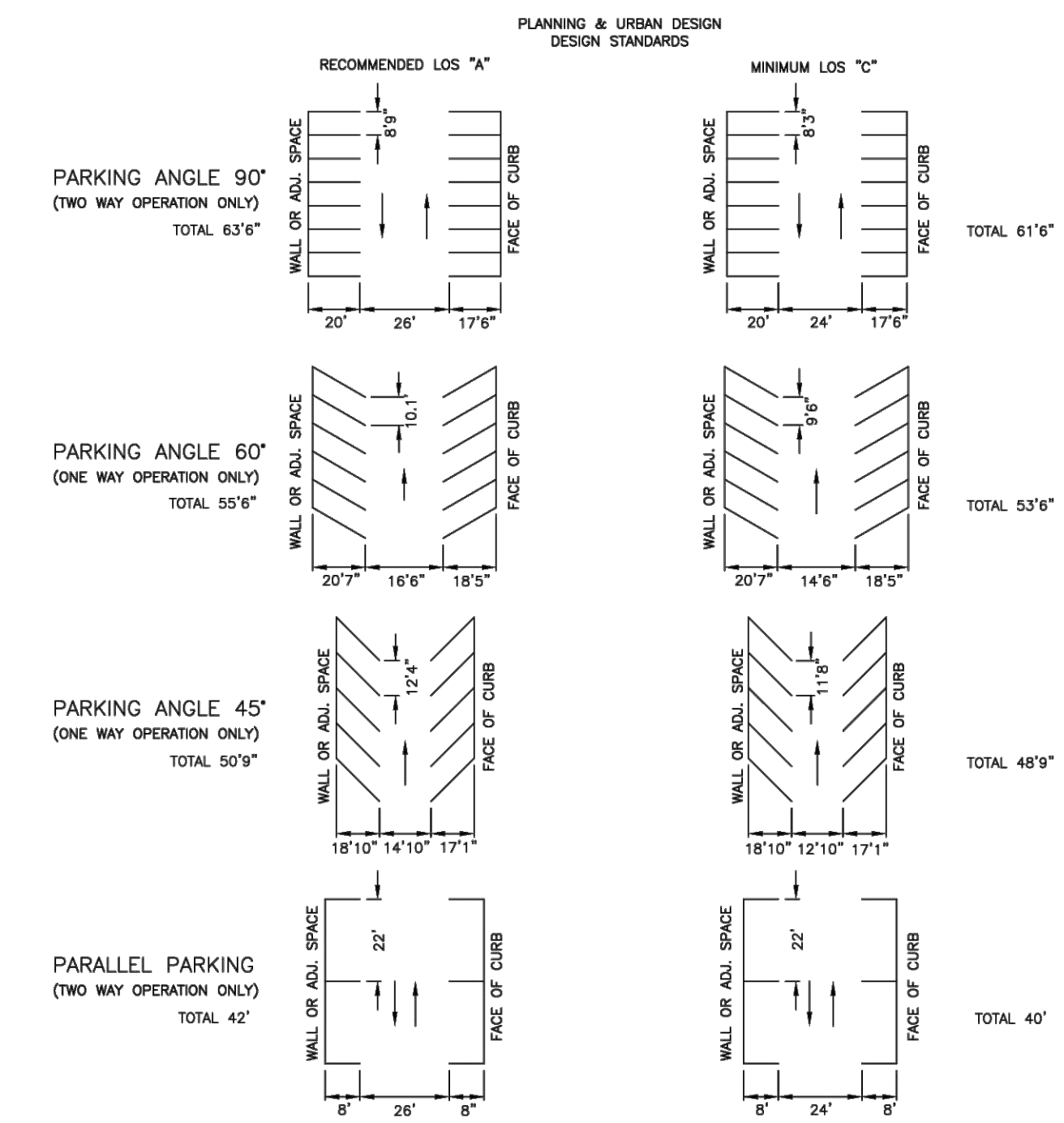


MINIMUM PAVEMENT DESIGN:
 BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B
 INTERMEDIATE COURSE: 2 1/2" I 19.0B
 BASE COURSE: 8" ABC

STREET FEATURES:
 MEDIAN OF 10 FT.
 TRAVEL LANES OF 10 FT.
 CURB & GUTTER
 BIKE LANE - 6 FT. ON EACH SIDE
 PARKWAY - 4 FT. ON EACH SIDE
 SIDEWALKS - 5 FT. ON EACH SIDE
 REQUIRES 70 FT. OF RIGHT-OF-WAY
 UTILITY LOCATION UNDERGROUND OR ALLEY
 AVERAGE SPEED 20-25 MPH
 STREET TREES LOCATED IN PARKWAY
 UTILITY LOCATION BEHIND CURBS ON NCDOT FACILITIES
 BICYCLE FACILITY PAVEMENT MARKINGS SHALL ADHERE TO MUTCD STANDARDS

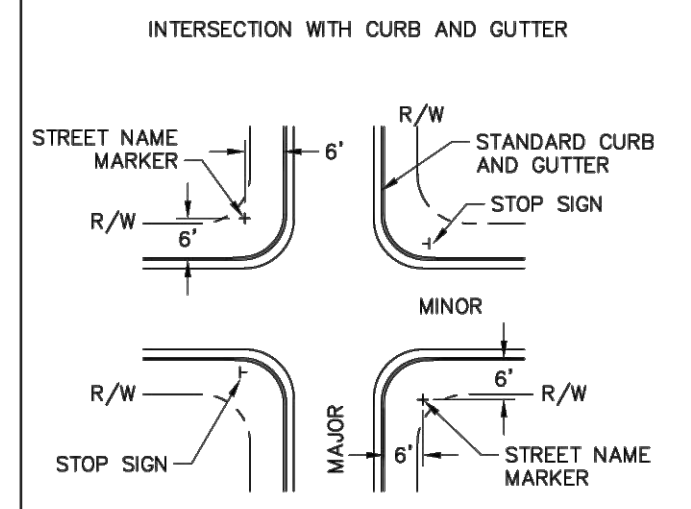
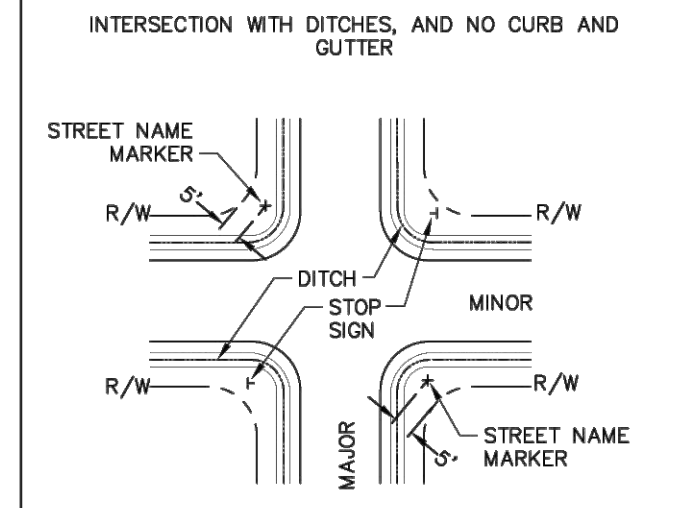
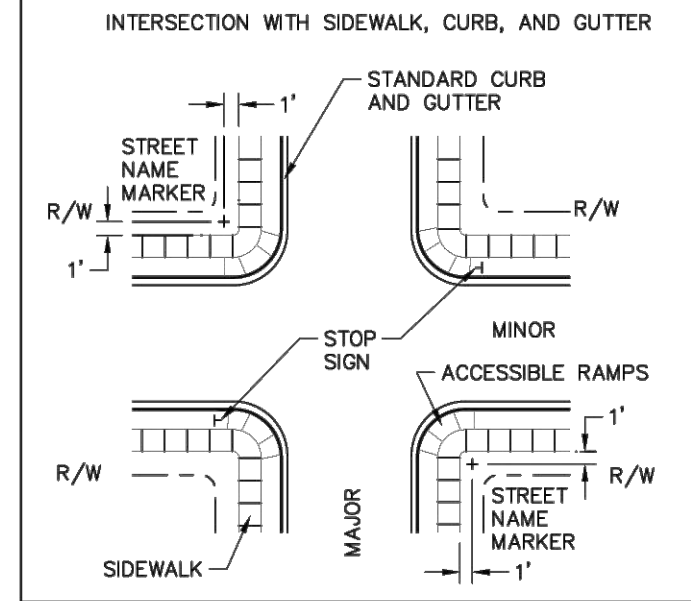
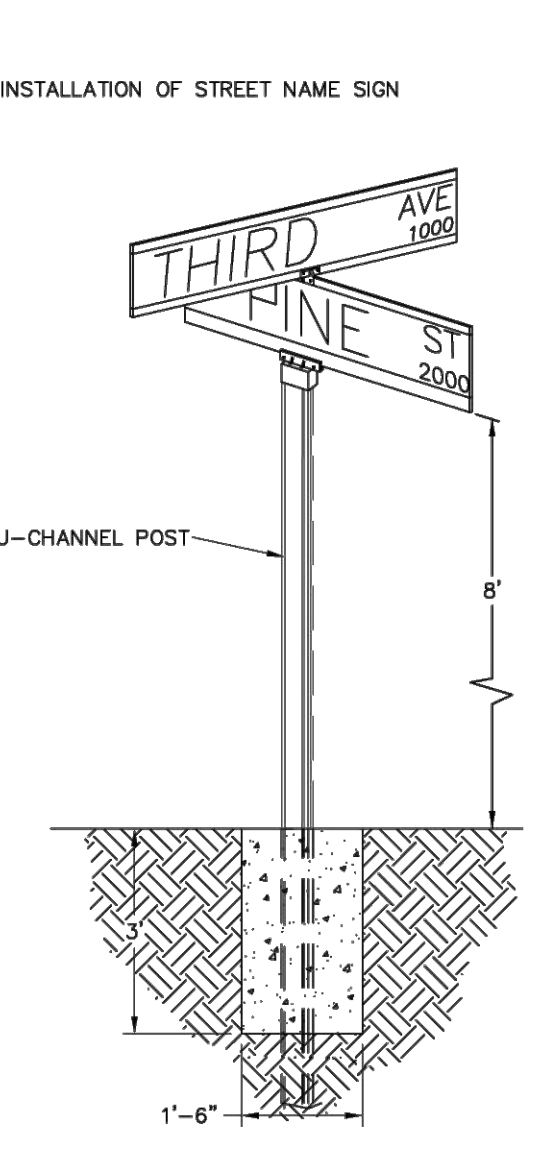
| REVISIONS | DATE | DESCRIPTION | STD. NO. |
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TOWN OF KNIGHTDALE STANDARD DETAILS MAIN STREET - 3 LANES BIKE LANES 3.03



| REVISIONS | DATE | DESCRIPTION | STD. NO. |
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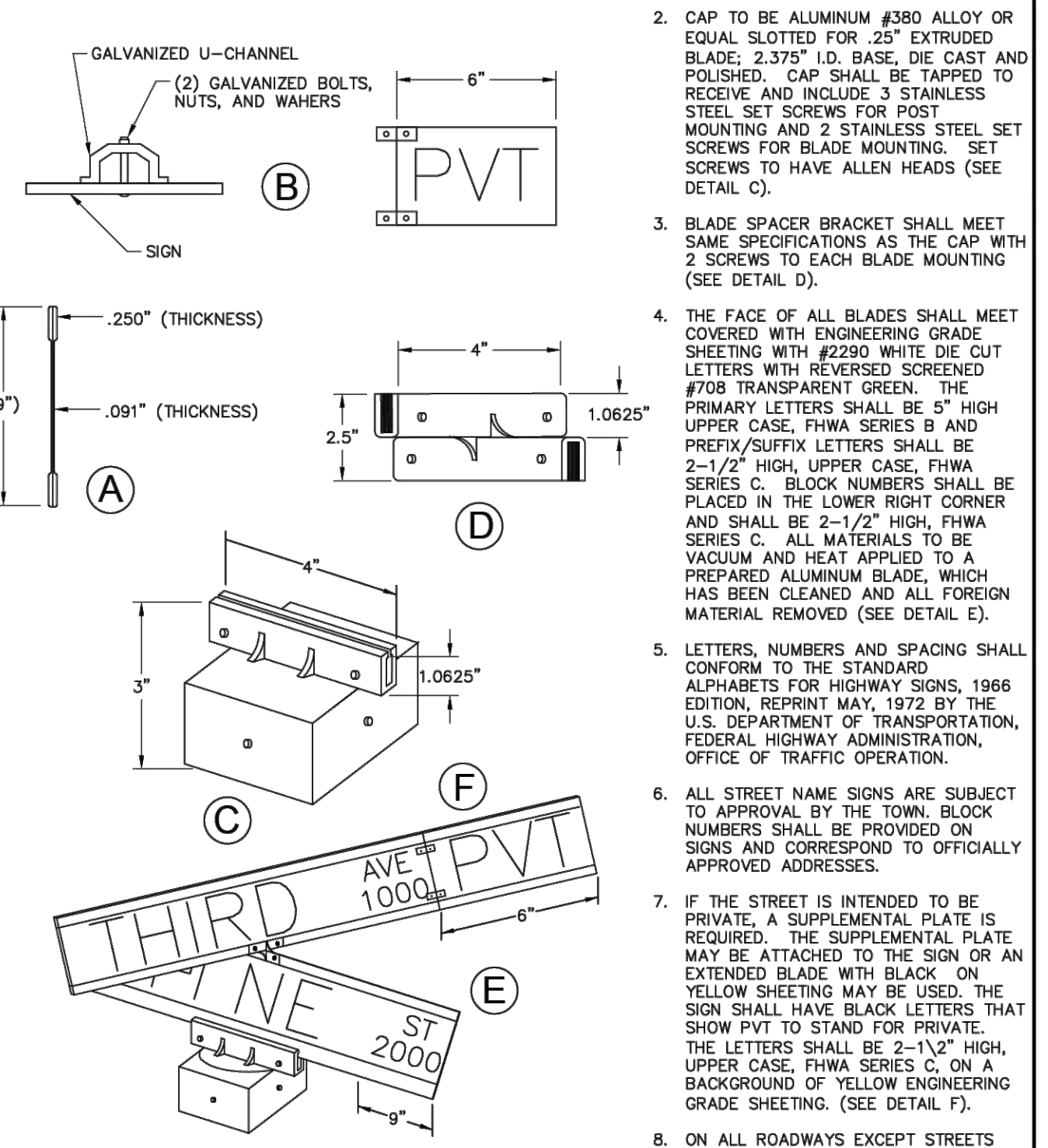
TOWN OF KNIGHTDALE STANDARD DETAILS PARKING STANDARDS 3.20



NOTES:
 1. TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
 2. ANY VARIANCE FROM THIS STANDARD MUST BE APPROVED BY THE TOWN OF KNIGHTDALE.
 3. ALL DECORATIVE SIGNS MUST BE REVIEWED AND APPROVED BY THE TOWN.

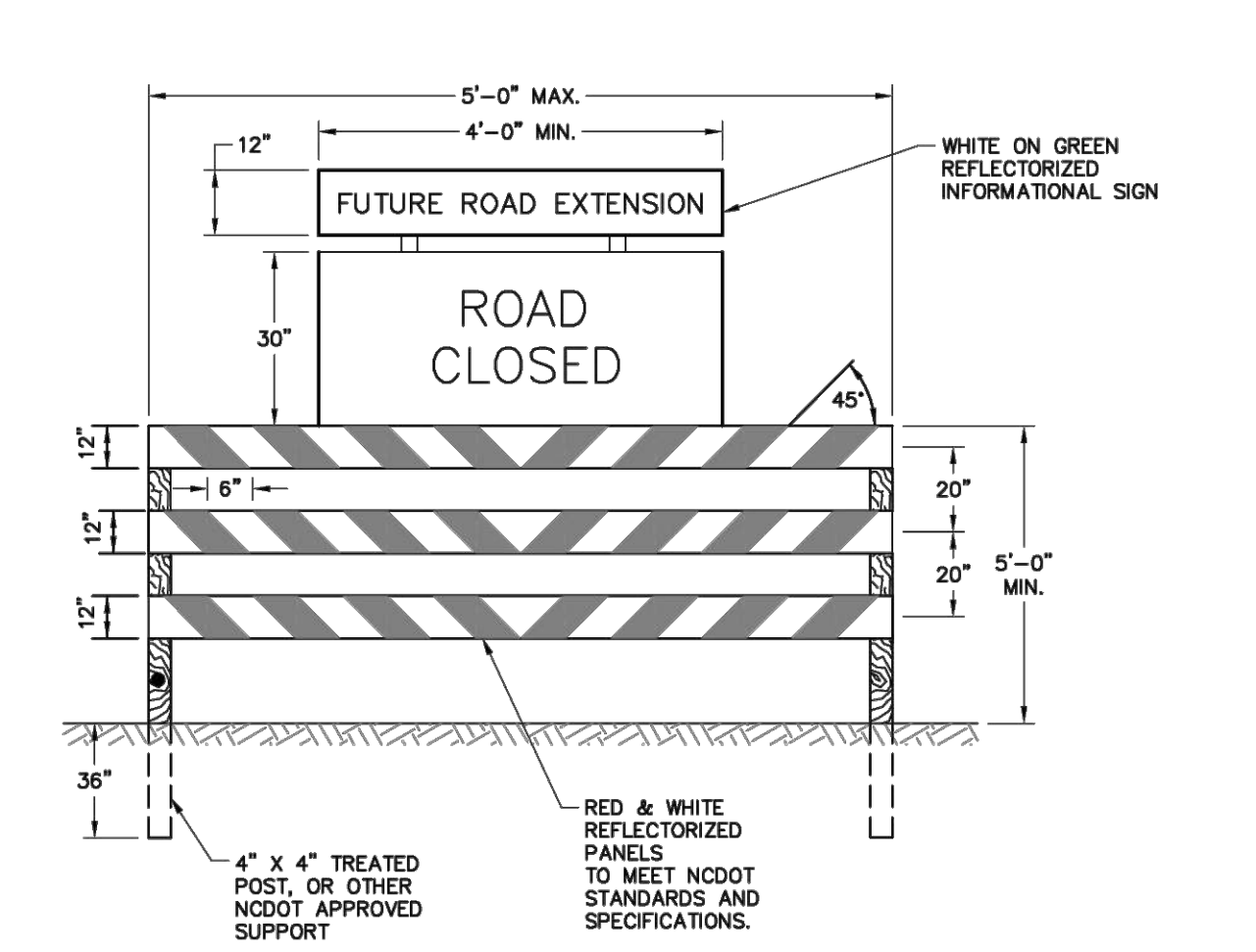
| REVISIONS | DATE | DESCRIPTION | STD. NO. |
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TOWN OF KNIGHTDALE STANDARD DETAILS STREET NAME SIGN INSTALLATION LOCATIONS 3.16-1



| REVISIONS | DATE | DESCRIPTION | STD. NO. |
|-----------|------|-------------|----------|
| | | | |

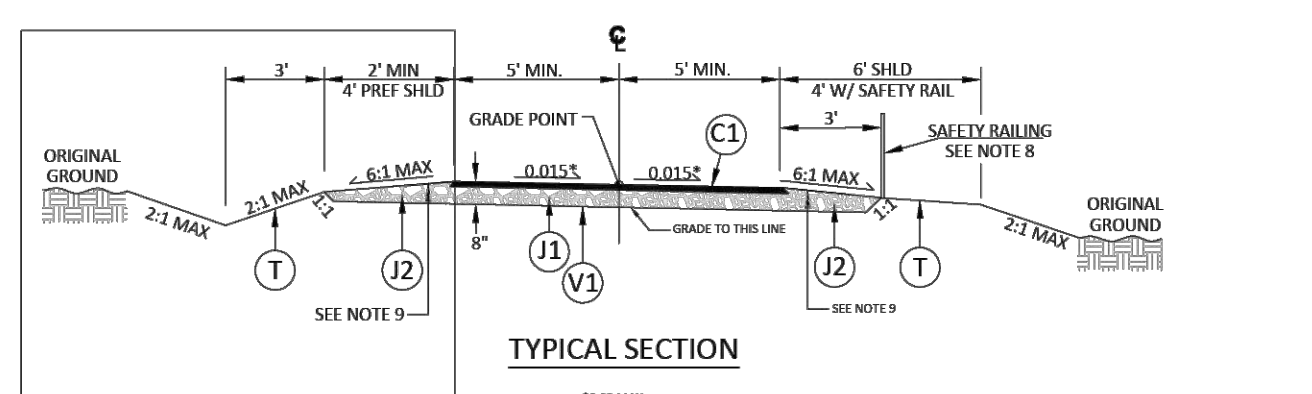
TOWN OF KNIGHTDALE STANDARD DETAILS STREET NAME SIGN 3.16-2



NOTES:
 1. BARRICADE(S) TO BE ERECTED ACROSS ENTIRE ROADWAY INCLUDING CURB & GUTTER.
 2. ADVANCE WARNING SIGN W14-1 (DEAD END) SHALL BE PLACED JUST AFTER LAST INTERSECTING STREET.
 3. MARKINGS FOR BARRICADE RAILS SHALL BE REFLECTIVE AND ALTERNATE RED AND WHITE STRIPS.
 4. "ROAD CLOSED" SIGN SHALL MEET SPECIFICATIONS OF M.U.T.C.D. R11-2 AND BE REQUIRED ATOP EACH BARRICADE USED.

| REVISIONS | DATE | DESCRIPTION | STD. NO. |
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| | | | |

TOWN OF KNIGHTDALE STANDARD DETAILS TEMPORARY BARRICADE FOR DEAD END ROADS 3.18



NOTES:
 1. TRAIL WIDTH TO BE DETERMINED BY THE TOWN OF KNIGHTDALE
 2. WHEN CONDITIONS PERMIT, USE 6" SHOULDER IN FILL SECTIONS AND 4" SHOULDER IN CUT SECTIONS. USE MINIMUM 2" SHOULDER IN CUT AND FILL SECTIONS. FOR CUT SECTION CONDITION SHOWN IN "INSET 1", APPLY ENGINEERING JUDGEMENT TO DETERMINE IF UPHILL SIDE REQUIRES A SHOULDER.
 3. PROVIDE MINIMUM 2" SHOULDER OF UNPLANTED AGGREGATE BASE COURSE.
 4. TRAILS OR TRAIL SEGMENTS OF ANY LENGTH MAY BE CONSTRUCTED WITH RUNNING SLOPES/VERTICAL GRADES UP TO 1:20 (5%). TO ACCOMMODATE STEEP TERRAIN, TRAILS MAY BE DESIGNED WITH STEEPER SECTIONS OF CONSTRAINED LENGTH AS SHOWN IN TABLE 1. RESTING INTERVALS WITH FLATTER GRADES ARE REQUIRED BETWEEN TRAIL SEGMENTS ANY TIME RUNNING SLOPE EXCEEDS 1:20 (5%). RESTING INTERVALS SHALL BE LOCATED ON UPHILL SIDE OF TRAIL IF ONLY PROVIDED ON ONE SIDE.
 5. TO ENSURE THAT A TRAIL IS NOT DESIGNED AS A SERIES OF STEEP SEGMENTS, NO MORE THAN 30% OF THE TOTAL LENGTH OF TRAIL MAY HAVE A RUNNING SLOPE/VERTICAL GRADE OF 7.5% (0.33% OR 1:12 MAX). RESTING INTERVALS MUST BE PROVIDED FREQUENTLY AS THE RUNNING SLOPE INCREASES.
 6. RUNNING SLOPE/VERTICAL GRADE RECOMMENDATIONS MAY NOT BE ACHIEVED FOR TRAIL REPLACEMENT PROJECTS. FOR THESE TYPE OF PROJECTS, REPLACEMENT OF EXISTING CONDITION IN KIND IS SUFFICIENT.
 7. TYPICAL CROSS SLOPE SHALL BE 1.5% (2.08% OR 1:48 MAX). CROSS SLOPE DIRECTION VARIES. SLOPE SHOULDERS FOR POSITIVE DRAINAGE WHICH MAY REQUIRE CONTINUING PAVEMENT OR SHOULDER SLOPES UNTIL THEY IN WITH NATURAL GROUND. SEE PLAN SHEETS AND CROSS SECTIONS.
 8. WHEN CONDITIONS PERMIT, SHOULDER TO MATCH CROSS SLOPE OF TRAIL AND SIDE SLOPES TO BE 3:1 OR FLATTER.
 9. PROVIDE A SAFETY RAIL FOR THE FOLLOWING CIRCUMSTANCES WITHIN 6' OF THE EDGE OF PAVEMENT:
 1) SLOPE > 3:1 AND DROP OF 6'; 2) SLOPE > 2:1 AND DROP OF 4'; 3) SLOPE > 1:1 AND DROP OF 1'.
 10. CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED DURING CONSTRUCTION.
 11. PROOF ROLLING SHALL OCCUR IN PRESENCE OF THE OWNER OR THE OWNER'S TESTING AGENCY AT THE FOLLOWING STAGES: 1) PRIOR TO PLACING FILL IN LOW AREAS; 2) AFTER THE PREPARATION OF SUBGRADE PRIOR TO PLACING ABC; 3) AFTER THE PLACEMENT OF ABC PRIOR TO PAVING.
 12. PAVEMENT EDGE SLOPES ARE 1:1 UNLESS OTHERWISE NOTED.
 13. NO ABOVE-GROUND UTILITIES OR UTILITY SURFACE COVERS/PATES/MANHOLES SHALL BE LOCATED WITHIN THE TRAIL AND SHALL BE A MINIMUM OF 2' FROM THE EDGE OF TRAIL. PAVED MANHOLES SHALL BE A MINIMUM OF 4' FROM THE EDGE OF TRAIL.

| PAVEMENT SCHEDULE | DESCRIPTION |
|-------------------|--|
| C1 | 2" ASPHALT CONCRETE SURFACE COURSE, TYPE 50.58 AT AN AVERAGE RATE OF 220 LBS. PER SQ. YD. OR 10.0 LBS. PER SQ. YD. IN PLACE OF TWO LAYERS. |
| J1 | 6" AGGREGATE BASE COURSE |
| T | EARTH MATERIAL |
| V1 | GEOTEXTILE FOR PAVEMENT STABILIZATION |

| TABLE 1 - MAXIMUM RUNNING SLOPE AND TRAIL SEGMENT LENGTH | MAX LENGTH OF SEGMENT |
|--|-----------------------|
| 1:20 (5%) | 200 FT |
| 1:12 (8.33%) | 30 FT |

| REVISIONS | DATE | DESCRIPTION | STD. NO. |
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| | | | |

TOWN OF KNIGHTDALE STANDARD DETAILS ASPHALT TYPICAL GREENWAY SECTION VARIABLE WIDTH (10' MIN) 4.09-1



NC ENGINEERING LICENSE NO. P-0803

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 Office: 919.835.4787
 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: JHJ
 Checked By: BDM

DATE: 24 NOV 2025
 REVISED:
 26 JAN 2026
 31 MAR 2026

MASTER PLANS
 SITE DETAILS

Job Code: L70FRZ

Dwg No.
 MP
 6.0





NC ENGINEERING LICENSE NO. P-0803

THE SITE GROUP CIVIL ENGINEERS • LANDSCAPE ARCHITECTS THE SITE GROUP, P.L.L.C. 11110 Old Pl. Rd. Raleigh, NC 27605-1136 USA Office: 919.835.4787 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR: FAISON RESERVE 4402 OLD FAISON ROAD KNIGHTDALE, NORTH CAROLINA WAKE COUNTY

Drawn By: JHJ, Checked By: BDM

DATE: 24 NOV 2025, REVISED: 26 JAN 2026, 31 MAR 2026

MASTER PLANS

SITE DETAILS

Job Code: L70FRZ

Dwg No. MP 6.1

APPROVED MASTER PLAN Town of Knightdale Development Services Gideon Smith 04/23/2026

CONCRETE SIDEWALKS

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

CURB AND GUTTER

STD. NO. 4.01

1 of 2

NOTES:

- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET APART.
- CONTROL JOINTS TO BE AT 5 FEET O.C.
- ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.

CURB AND GUTTER

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

CURB AND GUTTER

STD. NO. 4.01

3 of 3

NOTES:

- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.
- ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.
- CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
- TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

CURB AND GUTTER

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

CURB AND GUTTER

STD. NO. 4.01

2 of 3

1'-6" MOUNTABLE CURB AND GUTTER TO BE USED IN MEDIANS ONLY WHEN SPECIFIED BY THE TOWN ENGINEER.

1'-6" BINDER CURB TO BE USED IN ALLEYS ONLY WHEN SPECIFIED BY THE TOWN ENGINEER.

1'-6" STANDARD CURB AND GUTTER

CURB AND GUTTER

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

CURB AND GUTTER

STD. NO. 4.01

1 of 3

STANDARD 2'-6" CURB AND GUTTER

1'-6" STANDARD CURB AND GUTTER

2'-0" STANDARD CURB & GUTTER

SLOPE FOR VARIABLE SUPER ELEVATION RATES

WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)

STD. NO. 4.06-3

3 of 8

TYPE N-4

TYPE N-4A

CONCRETE DEPTH: RAMP/FLARE 6", LANDING 4"

CONCRETE DEPTH: RAMP/FLARE 6", LANDING 4"

NOTES:

- 7.5% (8.33% [1:12]) MAX RAMP SLOPE
- 1.5% (2.08% [1:48]) MAX CROSS SLOPE
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5 (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)

STD. NO. 4.06-2

2 of 8

TYPE N-3

TYPE N-3A (COMMERCIAL/RETAIL USE)

CONCRETE DEPTH: RAMP/FLARE 6", LANDING 4"

CONCRETE DEPTH: RAMP/FLARE 6", LANDING 4"

NOTES:

- 7.5% (8.33% [1:12]) MAX RAMP SLOPE
- 1.5% (2.08% [1:48]) MAX CROSS SLOPE
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5 (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- SIDEWALK WIDTH TO MATCH CORRESPONDING STREET SECTION.

WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)

STD. NO. 4.06-1

1 of 8

TYPE N-1 (CURB TYPE)

TYPE N-1A (FLARE TYPE)

TYPE N-2 (RADIUS)

CONCRETE DEPTH: RAMP/FLARE 6", LANDING 4"

CONCRETE DEPTH: RAMP/FLARE 6", LANDING 4"

NOTES:

- 7.5% (8.33% [1:12]) MAX RAMP SLOPE
- 1.5% (2.08% [1:48]) MAX CROSS SLOPE
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5 (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

CONCRETE SIDEWALKS

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
| | |

TOWN OF KNIGHTDALE STANDARD DETAILS

CONCRETE SIDEWALKS

STD. NO. 4.04-2

2 of 2

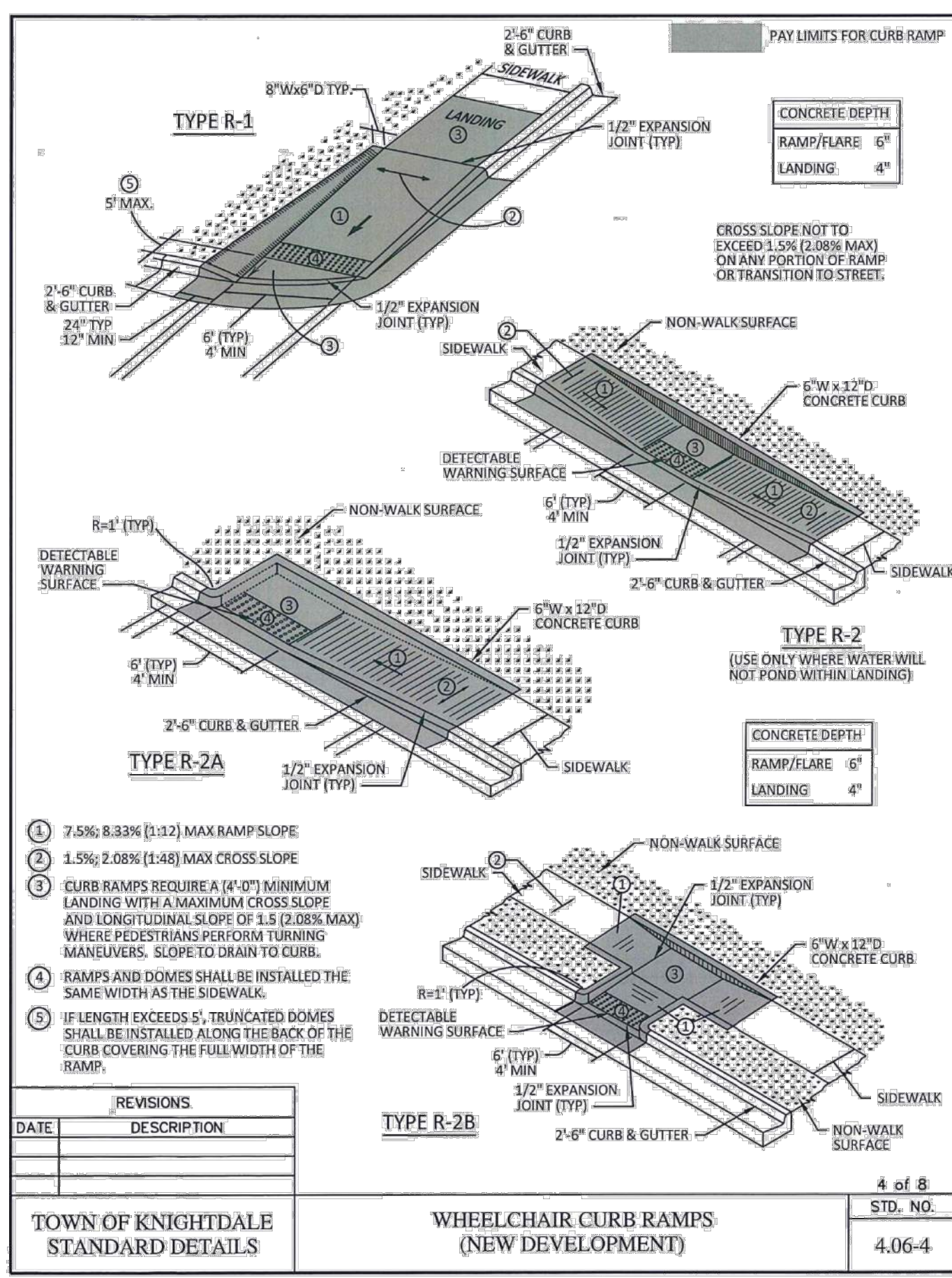
GROOVE JOINT IN SIDEWALK

TRANSVERSE EXPANSION JOINT IN SIDEWALK

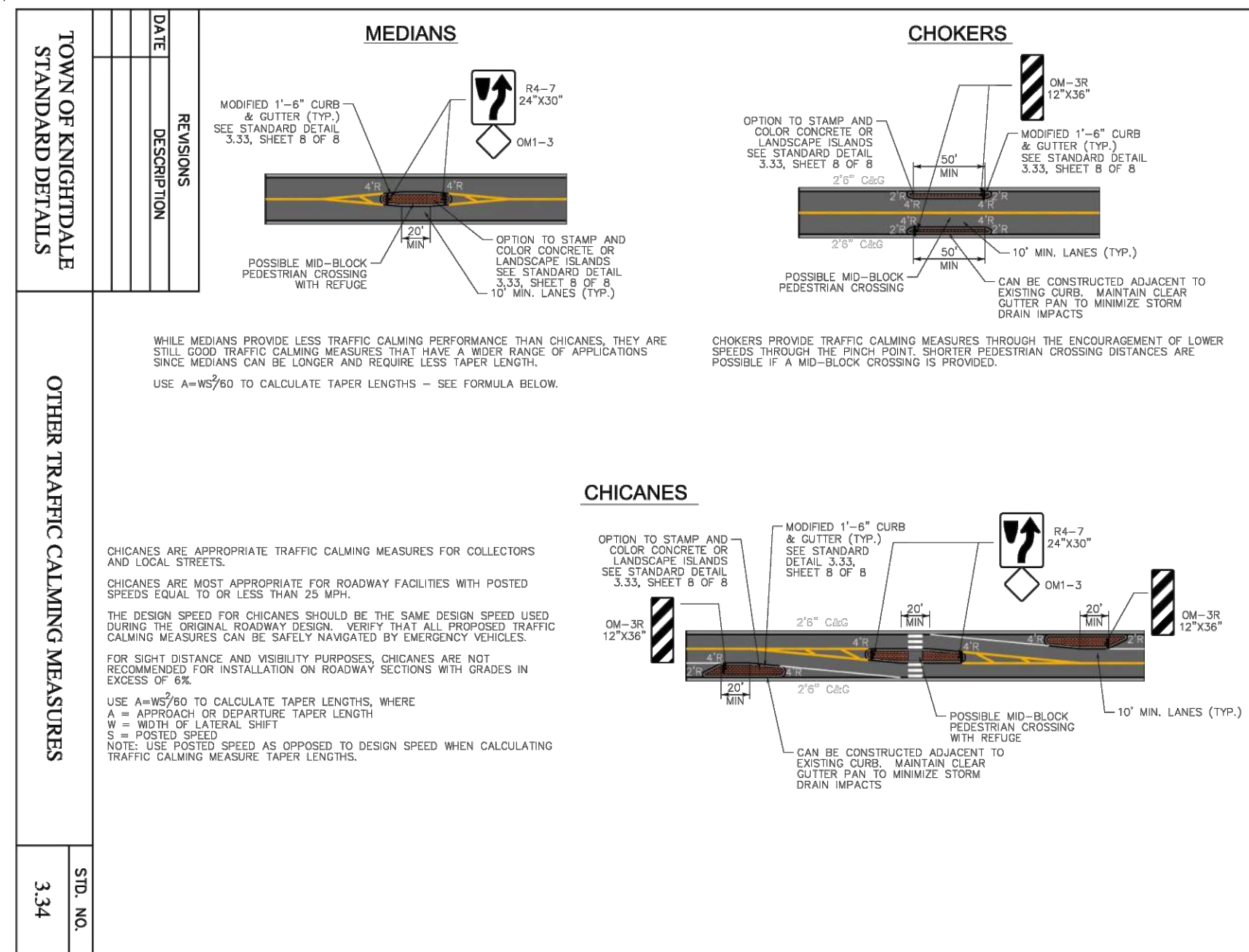
DETAILS SHOWING EXPANSION JOINTS IN CONCRETE SIDEWALK

NOTES:

- A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 60' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
- SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
- WIDTH OF SIDEWALK SHALL CORRESPOND TO STREET CROSS SECTION BUT SHALL BE 5' AT A MINIMUM.
- SIDEWALK ADJACENT TO CURB AND GUTTER IN PARKING LOT OR ALONG STREET SHALL BE 6' WIDE AT A MINIMUM.
- SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.



- KNIGHTDALE STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
 - CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE TOWN OF KNIGHTDALE WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
 - DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
 - THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
 - NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 - ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48".
 - USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
 - A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
 - CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
- REVISIONS
 DATE DESCRIPTION
- TOWN OF KNIGHTDALE STANDARD DETAILS
 WHEELCHAIR CURB RAMP NOTES
 7 of 8
 STD. NO. 4.06-7



NC ENGINEERING LICENSE NO. P-0803

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
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 1111 GARDEN ROAD
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
 4402 OLD FAISON ROAD
 KNIGHTDALE, NORTH CAROLINA
 WAKE COUNTY

Drawn By: **JHJ**
 Checked By: **BDM**

DATE: 24 NOV 2025
 REVISED:
 ▲ 26 JAN 2026
 ▲ 31 MAR 2026

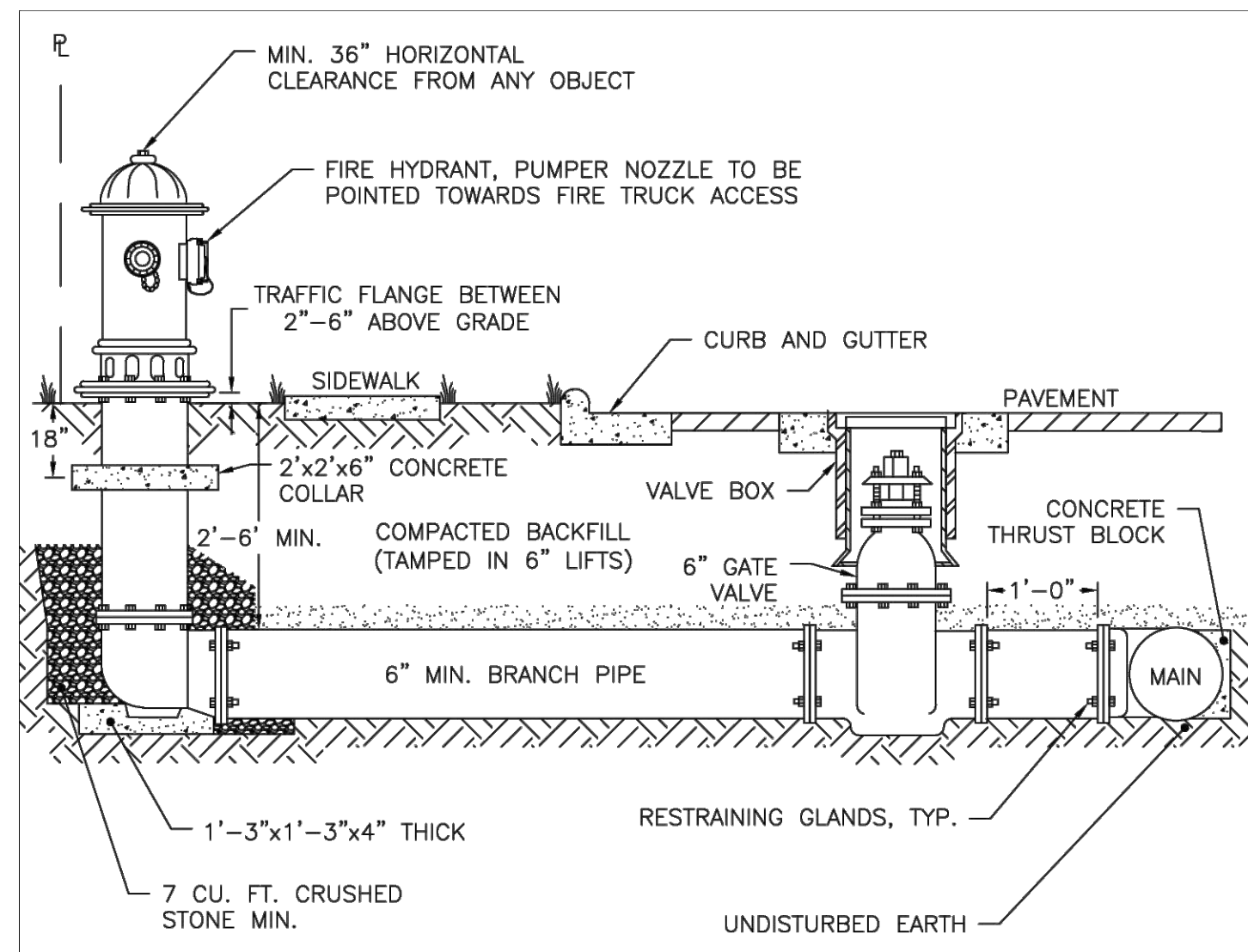
MASTER PLANS
 SITE DETAILS

Job Code: L70FRZ

Dwg No. **MP 6.2**

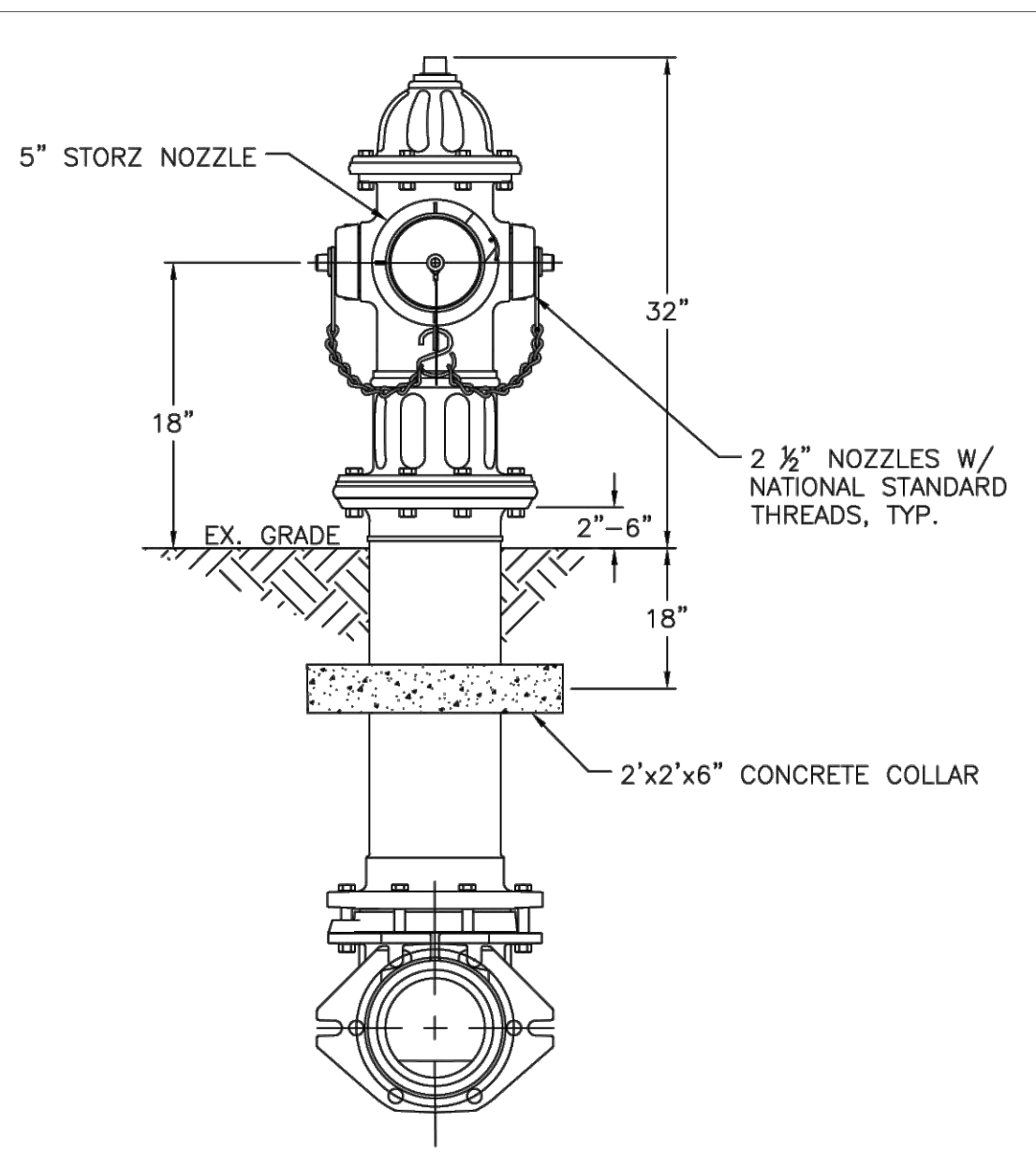


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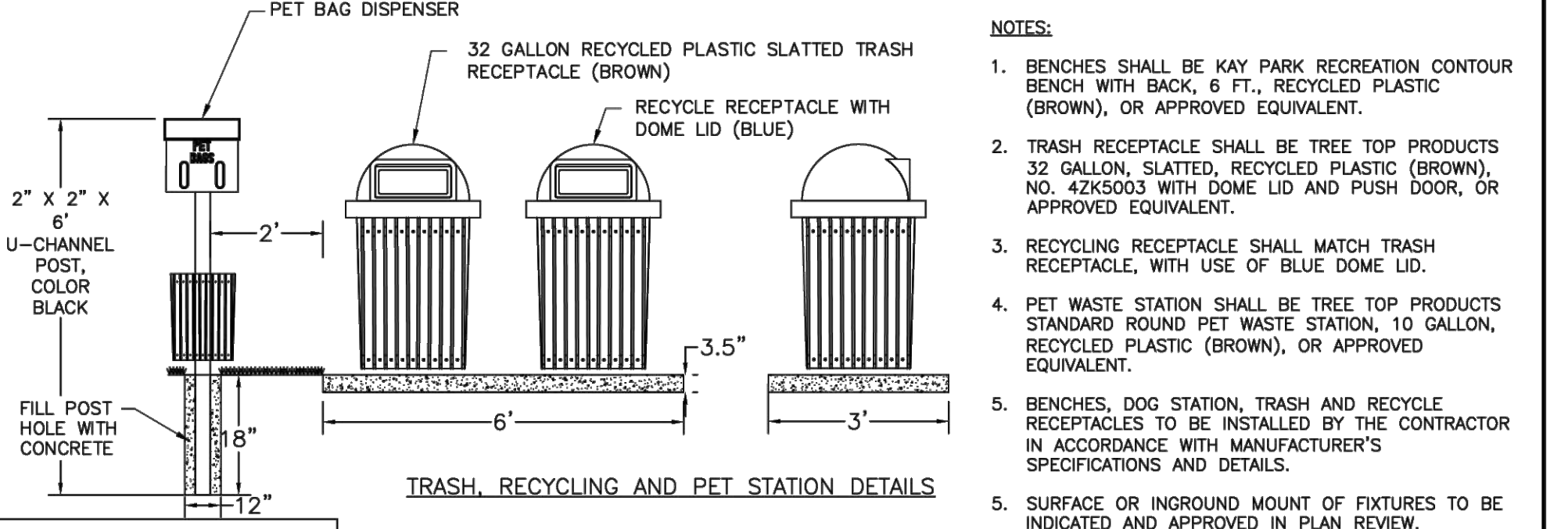
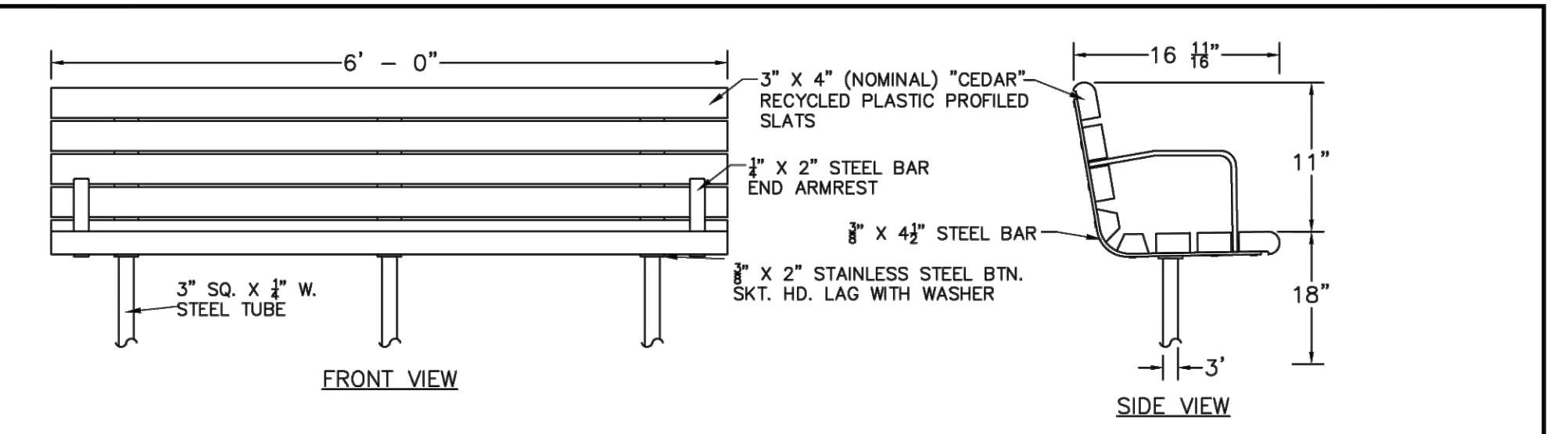
- NOTES:
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY OR CLOW.
 2. BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150.
 3. 6" GATE VALVE SHALL BE AWWA C500 OPEN LEFT.
 4. RODS AND BOLTS SHALL BE 3/4" 316 STAINLESS STEEL.
 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION.
 6. RODS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
 7. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2.5 FOOT EASEMENT (ON ALL SIDES OF HYDRANT) FOOT EASEMENT ADJACENT TO ROW.
 8. ANYTIME SITE WORK, CONSTRUCTION, ROAD WORK, OR ANY OTHER WORK CHANGES THE GRADE OF THE FIRE HYDRANT, THE PERSON RESPONSIBLE FOR THE WORK IS RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANT TO STAY WITHIN COMPLIANCE.

| CITY OF RALEIGH STANDARD DETAIL | | |
|------------------------------------|------------|---|
| REVISIONS | DATE | NOT TO SCALE |
| | 01/18/2025 | |
| | | STANDARD FIRE HYDRANT INSTALLATION (RESTRAINT GLANDS) |
| W-4 | | |



- NOTES:
1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
 2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

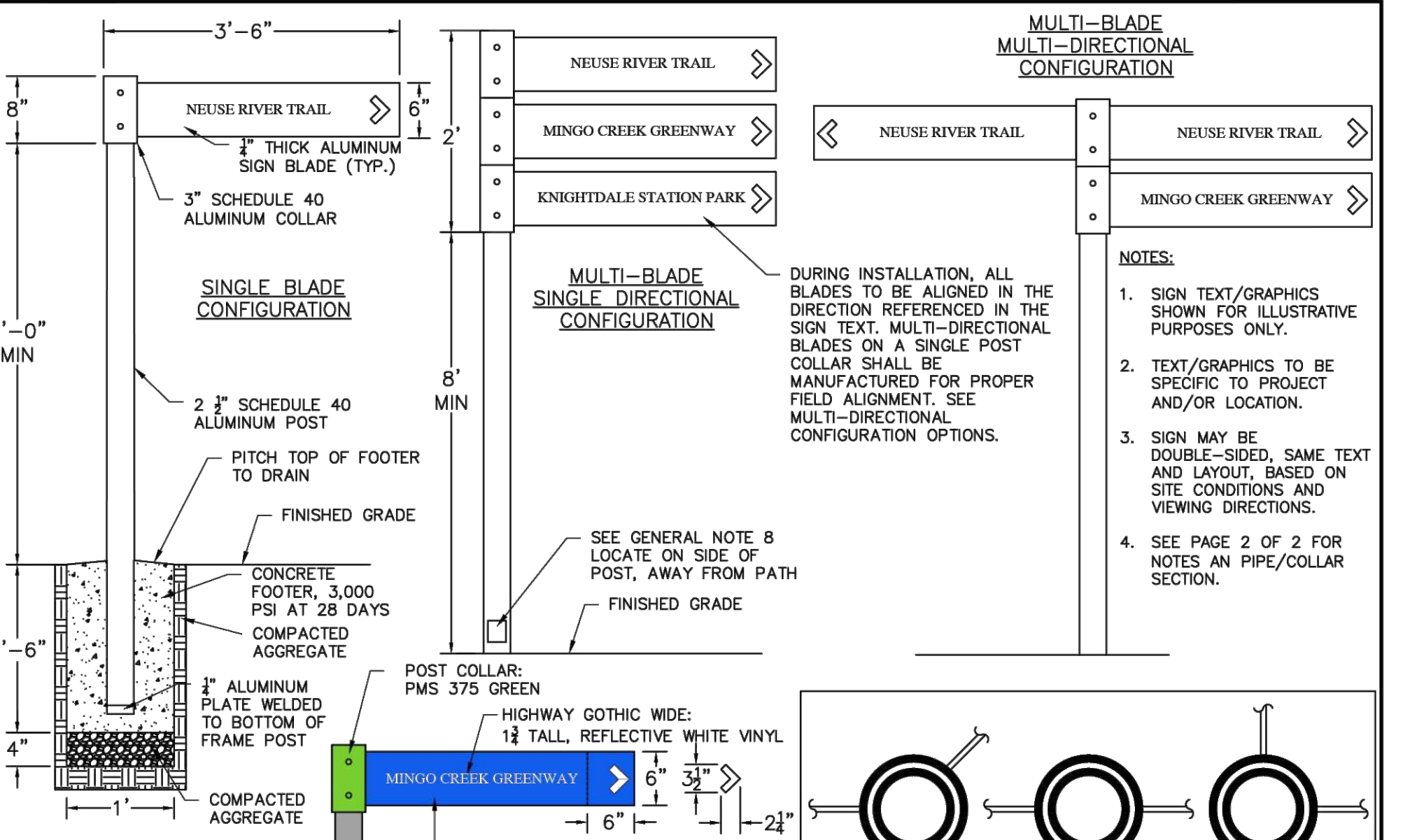
| CITY OF RALEIGH STANDARD DETAIL | | |
|------------------------------------|------------|--|
| REVISIONS | DATE | NOT TO SCALE |
| | 01/18/2025 | |
| | | STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE |
| W-5 | | |



- NOTES:
1. BENCHES SHALL BE KAY PARK RECREATION CONTOUR BENCH WITH BACK, 6 FT., RECYCLED PLASTIC (BROWN), OR APPROVED EQUIVALENT.
 2. TRASH RECEPTACLE SHALL BE TREE TOP PRODUCTS 32 GALLON, SLATTED, RECYCLED PLASTIC (BROWN), NO. 42K5003 WITH DOME LID AND PUSH DOOR, OR APPROVED EQUIVALENT.
 3. RECYCLING RECEPTACLE SHALL MATCH TRASH RECEPTACLE, WITH USE OF BLUE DOME LID.
 4. PET WASTE STATION SHALL BE TREE TOP PRODUCTS STANDARD ROUND PET WASTE STATION, 10 GALLON, RECYCLED PLASTIC (BROWN), OR APPROVED EQUIVALENT.
 5. BENCHES, DOG STATION, TRASH AND RECYCLE RECEPTACLES TO BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
 6. SURFACE OR INGROUND MOUNT OF FIXTURES TO BE INDICATED AND APPROVED IN PLAN REVIEW.
 7. AMENITIES TO BE PLACED IN ACCORDANCE WITH UDD AND APPROVED CONSTRUCTION PLANS.

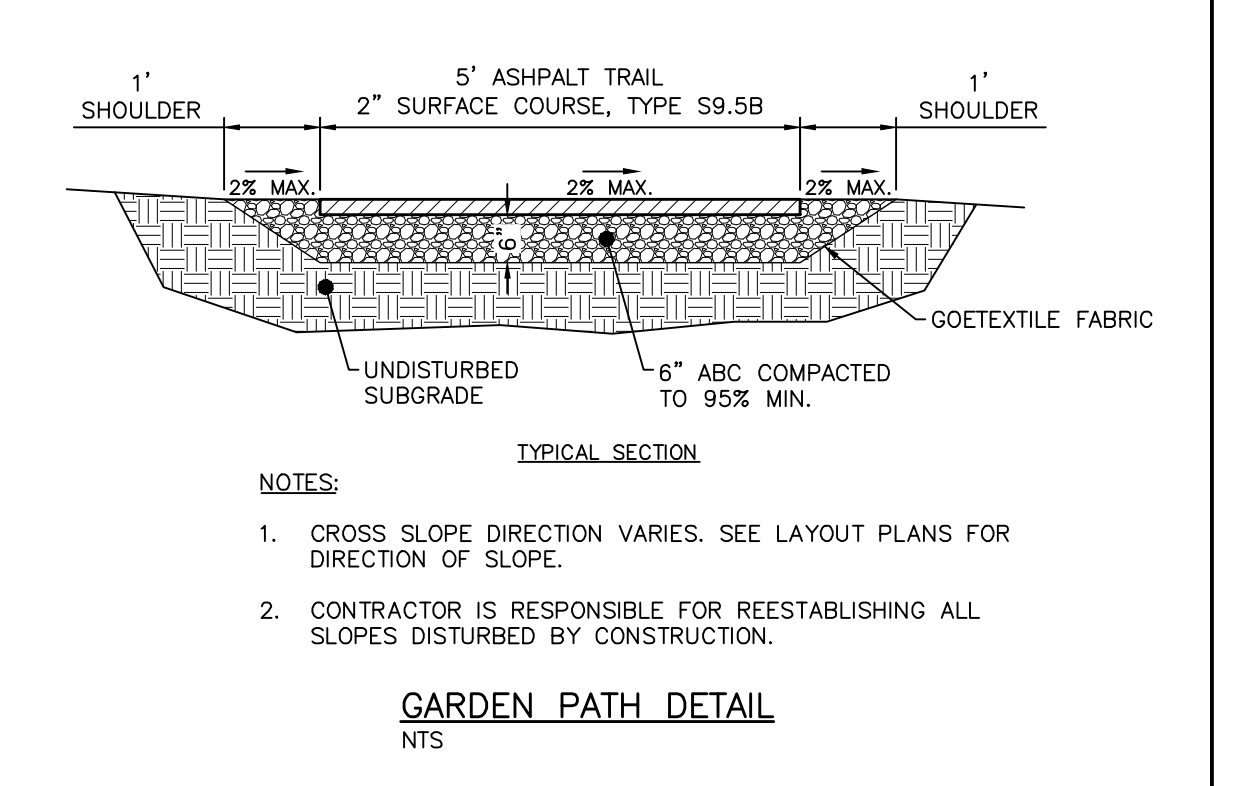
| REVISIONS | | DATE | DESCRIPTION |
|-----------|--|------|-------------|
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| TOWN OF KNIGHTDALE STANDARD DETAILS | PUBLIC GREENWAY AMENITIES (BENCH, TRASH, RECYCLING, PET STATION) | STD. NO. 4.09-4 |
|--|---|--------------------|



| REVISIONS | | DATE | DESCRIPTION |
|-----------|--|------|-------------|
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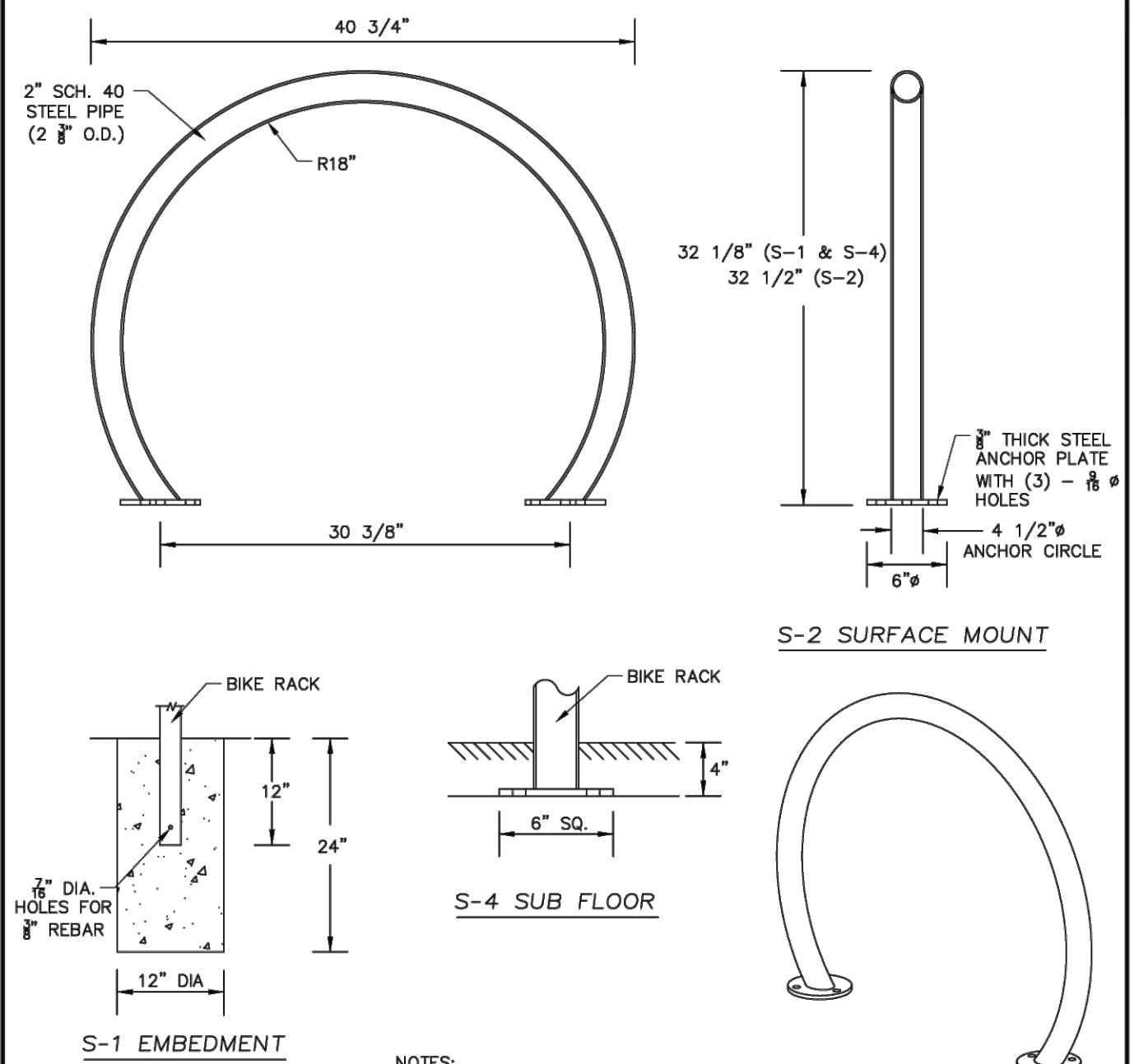
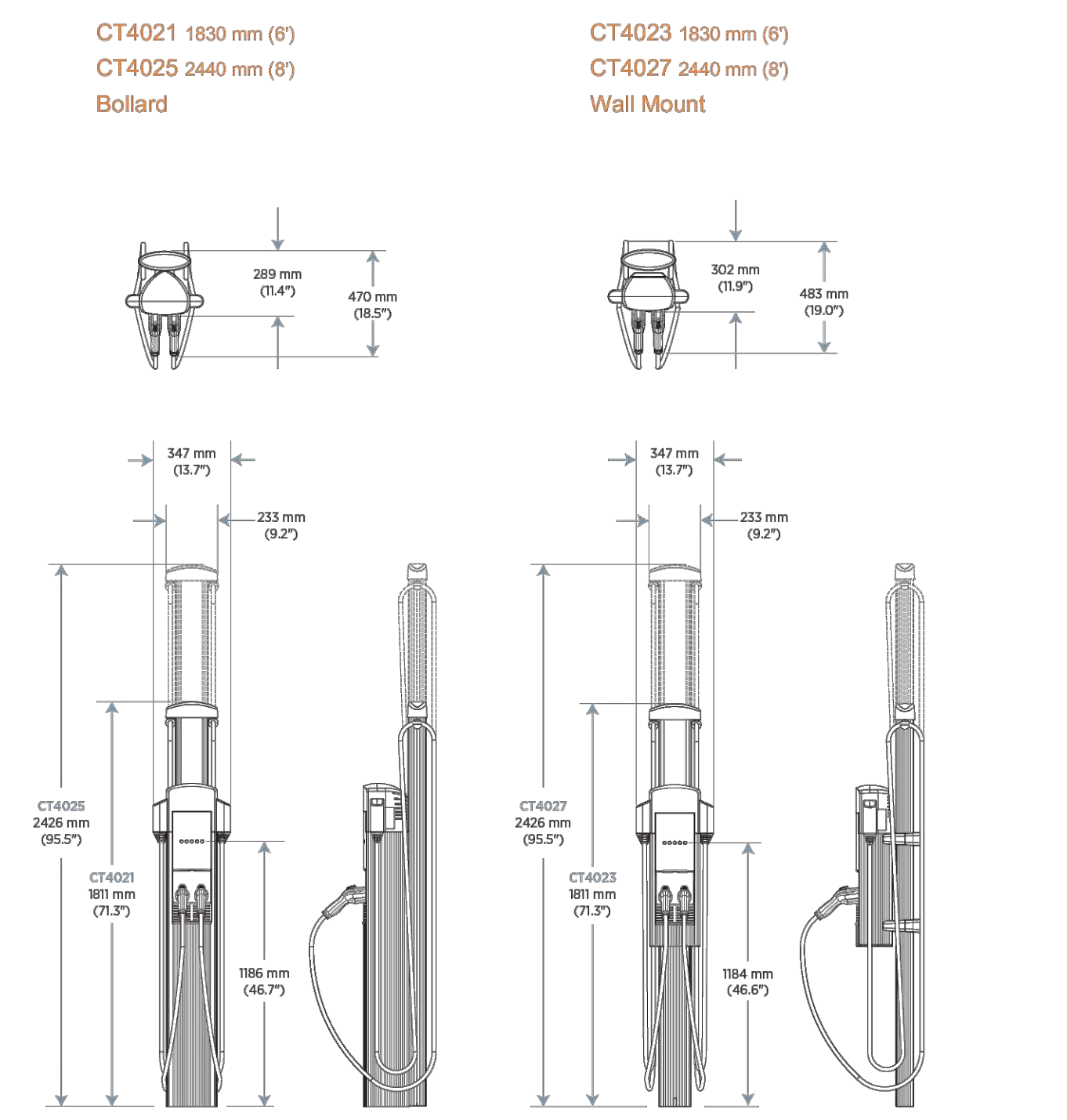
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| TOWN OF KNIGHTDALE STANDARD DETAILS | GREENWAY DIRECTIONAL SIGNAGE | 1 OF 2 STD. NO. 4.09-5 |
|--|------------------------------|------------------------------|



| REVISIONS | | DATE | DESCRIPTION |
|-----------|--|------|-------------|
| | | | |

| | | |
|--|-------------------|------------------|
| TOWN OF KNIGHTDALE STANDARD DETAILS | TYPICAL BIKE RACK | STD. NO. 4.15 |
|--|-------------------|------------------|

Architectural Drawings (Dimensions)



- NOTES:
1. BIKE RACK SHALL BE DIMOR 292 SERIES POWDER COATED (BLACK), OR EQUIVALENT.
 2. OTHER DESIGNS MAY BE ALLOWED PER TOWN OF KNIGHTDALE REVIEW AND APPROVAL.
 3. BIKE RACK TO BE INSTALLED BY CONTRACTORS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
 4. ALL STEEL MEMBERS COATED WITH ZINC RICH EPOXY COATING THEN FINISHED WITH POLYESTER POWDER COATING.
 5. 1/2" x 3/8" EXPANSION ANCHOR BOLTS PROVIDED FOR OPTIONS S-2 & S-4.

| REVISIONS | | DATE | DESCRIPTION |
|-----------|--|------|-------------|
| | | | |

| | | |
|--|-------------------|------------------|
| TOWN OF KNIGHTDALE STANDARD DETAILS | TYPICAL BIKE RACK | STD. NO. 4.15 |
|--|-------------------|------------------|



NC ENGINEERING LICENSE NO. P-0803

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E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:
FAISON RESERVE
4402 OLD FAISON ROAD
KNIGHTDALE, NORTH CAROLINA
WAKE COUNTY

Drawn By: JHJ
Checked By: BDM

DATE:
24 NOV 2025
REVISED:
26 JAN 2026
31 MAR 2026

MASTER PLANS
SITE DETAILS

Job Code L70FRZ

Dwg No.
MP
6.3

APPROVED MASTER PLAN
Town of Knightdale
Development Services
Gideon Smith 04/23/2026

Mitchell METALS 1761 McCaba Drive, Suite A, Smyrna, GA 30080
Phone: (770) 431-7300 Fax: (770) 431-7305

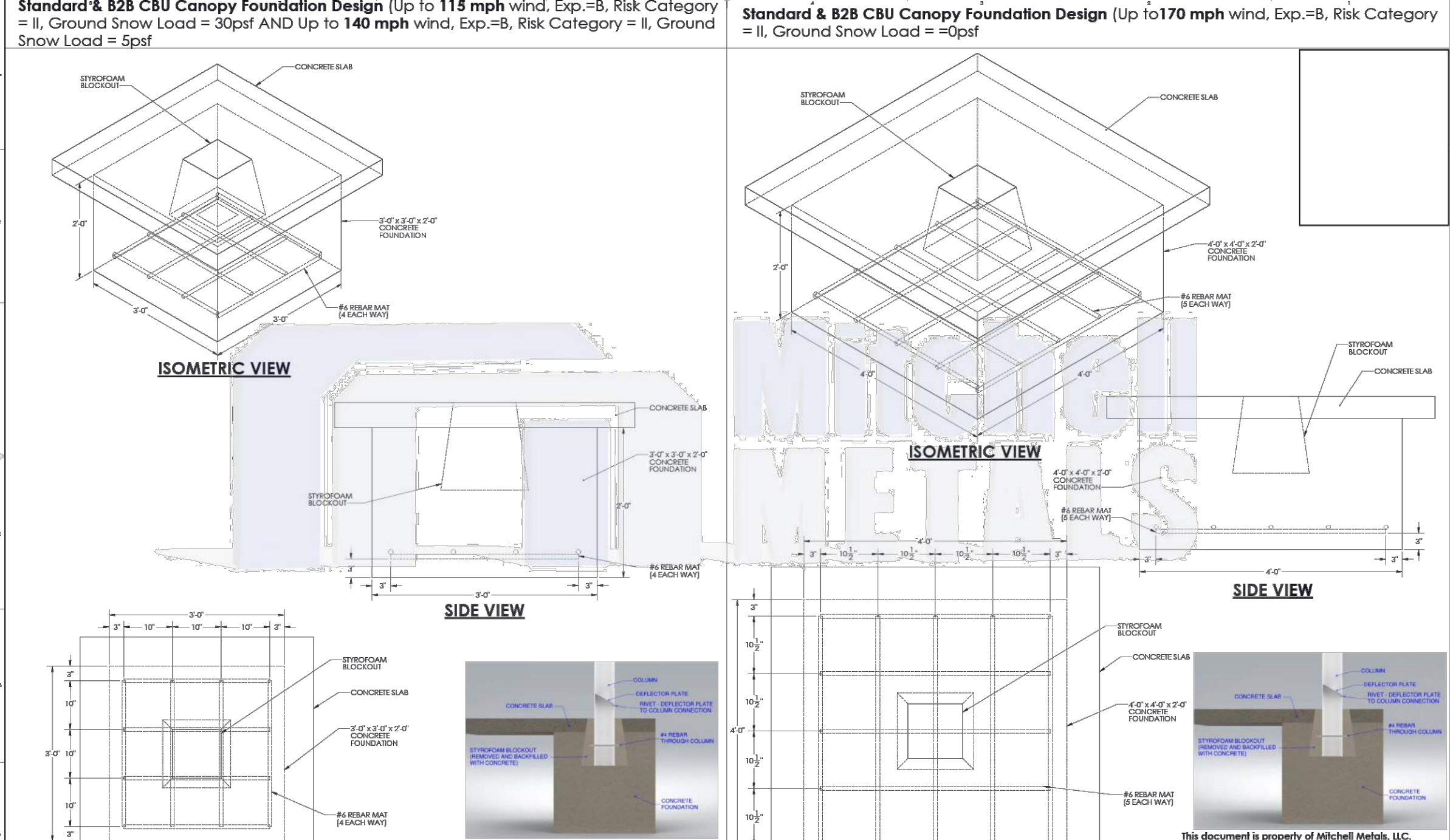
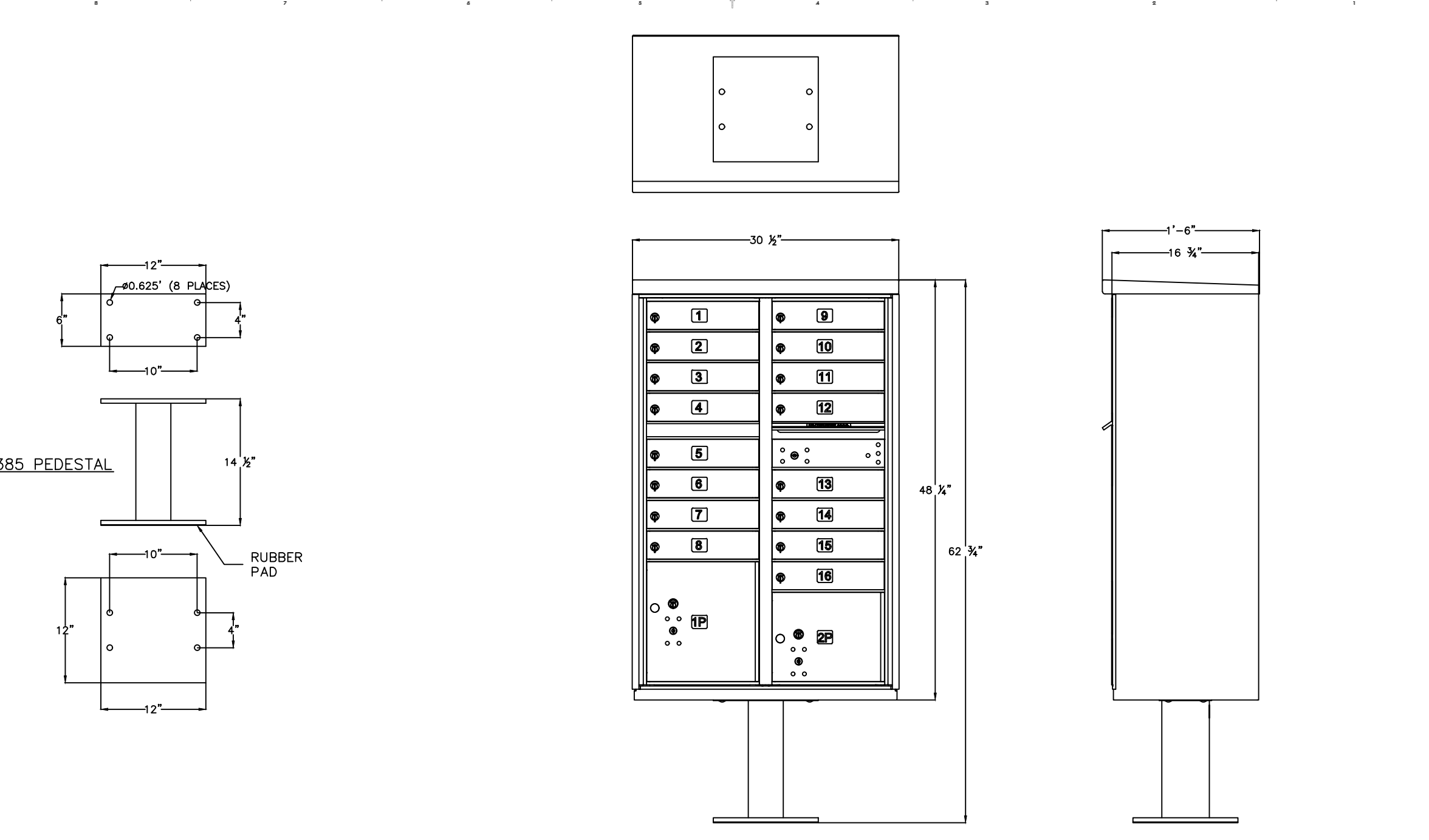
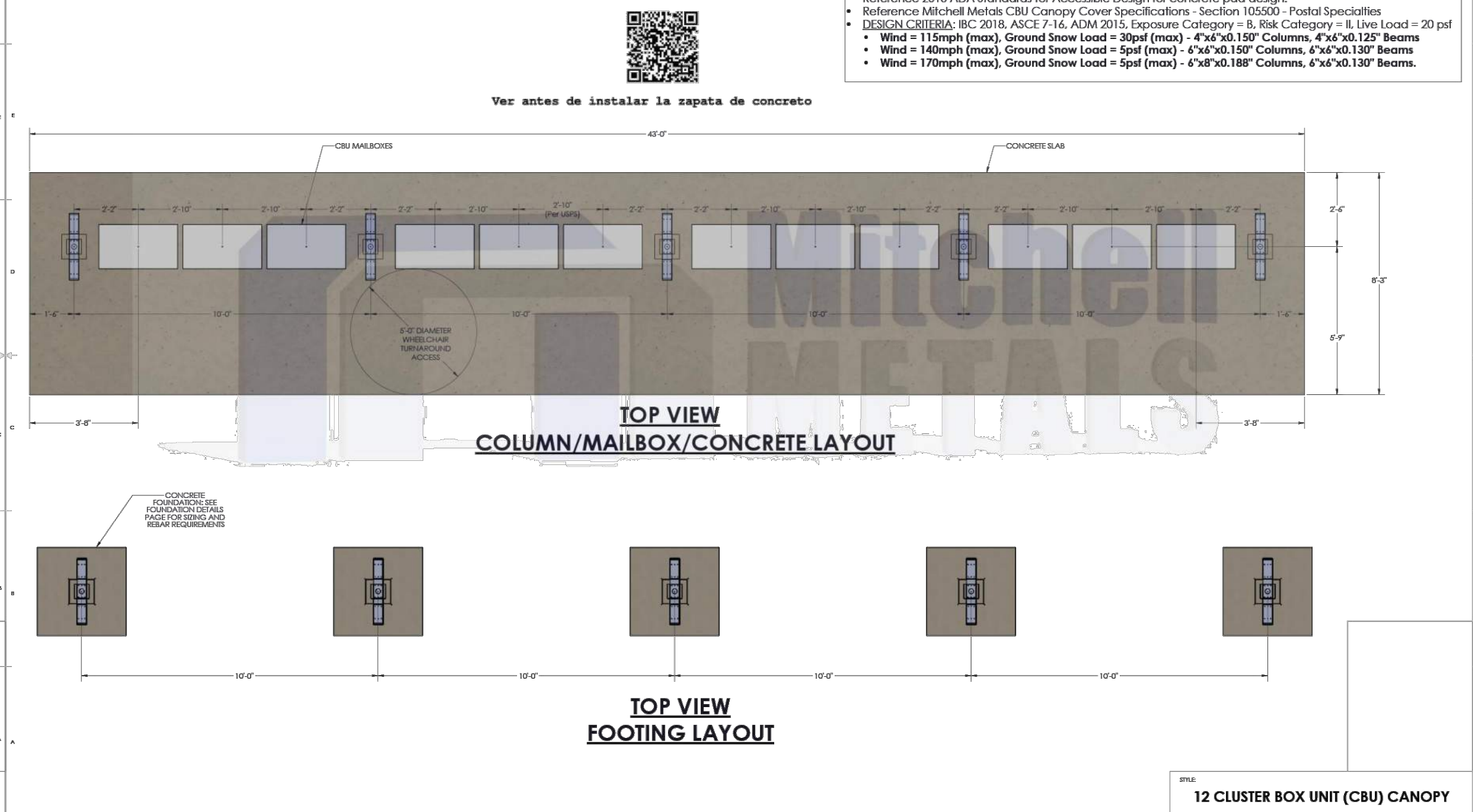
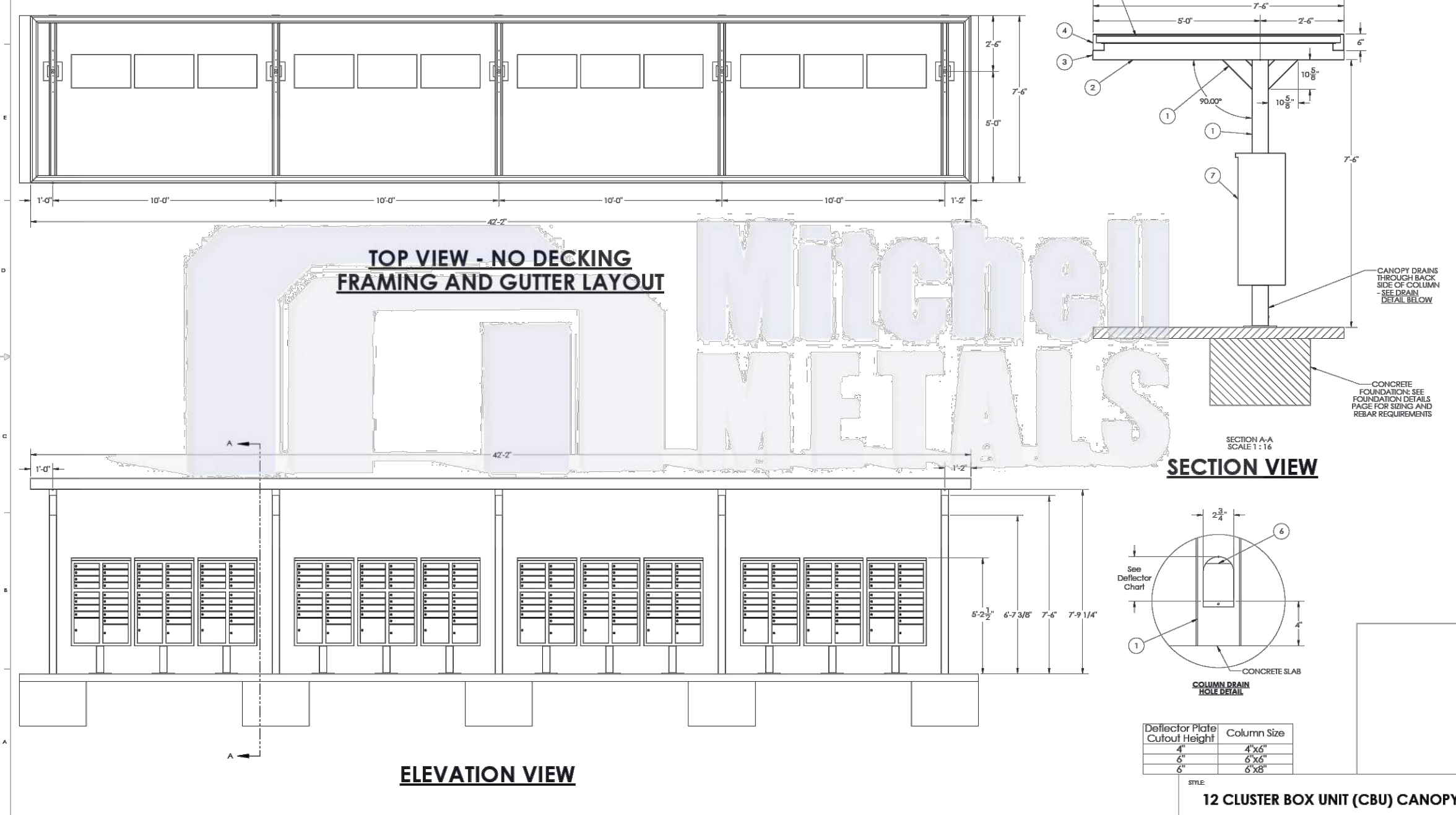
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| 7 | PART NUMBER | DESCRIPTION |
|---|----------------|--------------------------------|
| 1 | 65510 Aluminum | Column (see page 1 for detail) |
| 2 | 65510 Aluminum | Beam (see page 1 for detail) |
| 3 | 65510 Aluminum | Truss (see page 1 for detail) |
| 4 | 65510 Aluminum | Truss (see page 1 for detail) |
| 5 | 65510 Aluminum | Truss (see page 1 for detail) |
| 6 | 65510 Aluminum | Truss (see page 1 for detail) |
| 7 | 65510 Aluminum | Truss (see page 1 for detail) |

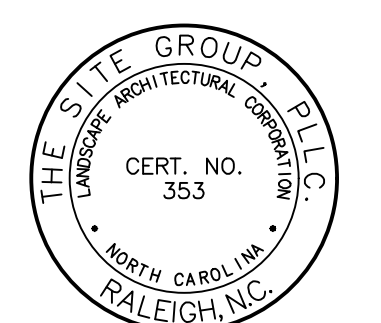
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Phone: (770) 431-7300 Fax: (770) 431-7305

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- GENERAL NOTES:**
- Max column height to be 9'-0". Canopy designed at 7'-6" to bottom of beam above finished concrete slab.
 - See Foundation Details Page for concrete foundation design based on project location design criteria.
 - Minimum footing size is based on 1500 PSF soil condition.
 - Adhere to all local building codes, including layout, foundation design and depth (i.e. frost line depth).
 - Canopy design complies with USFS Developers and Builders Guide.
 - Any canopy lighting required is provided by others and may require additional canopy framing to support.
 - Reference 2010 ADA Standards for Accessible Design for concrete post design.
 - Reference Mitchell Metals CBU Canopy Cover Specifications - Section 10550 - Postal Specifications
 - DESIGN CRITERIA: IRC 2015, ASCE 7-16, ADM 2015, Exposure Category = II, Risk Category = II, Live Load = 20 psf
 - Wind = 115mph (max), Ground Snow Load = 30psf (max) - 4"x6"x0.130" Columns, 4"x6"x0.125" Beams
 - Wind = 140mph (max), Ground Snow Load = 5psf (max) - 4"x6"x0.130" Columns, 4"x6"x0.130" Beams
 - Wind = 170mph (max), Ground Snow Load = 5psf (max) - 4"x6"x0.130" Columns, 4"x6"x0.130" Beams



| | | | | |
|---|---|--|---|-------------------------------------|
| DRAWN: AE DATE: 4/5/2019 SCALE: 1:1 | SALSBUURY 18300 Central Avenue Carson, CA 90746-4008 Phone: (800) 624-5269 Fax: (800) 624-5299 email: engineering@mailboxes.com | CLUSTER BOX UNITS 3300 SERIES "F" CBUs AVAILABLE FOR USPS ACCESS OR PRIVATE ACCESS | (16) MAILBOXES (1) OUTGOING MAIL COMPARTMENT (2) PARCEL LOCKERS | MODEL: 3316 DRAWING NO: CAD_3316 |
|---|---|--|---|-------------------------------------|



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Drawn By: JHJ
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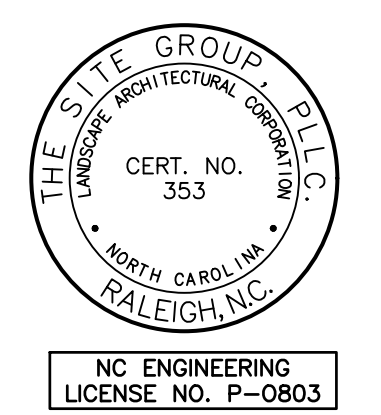
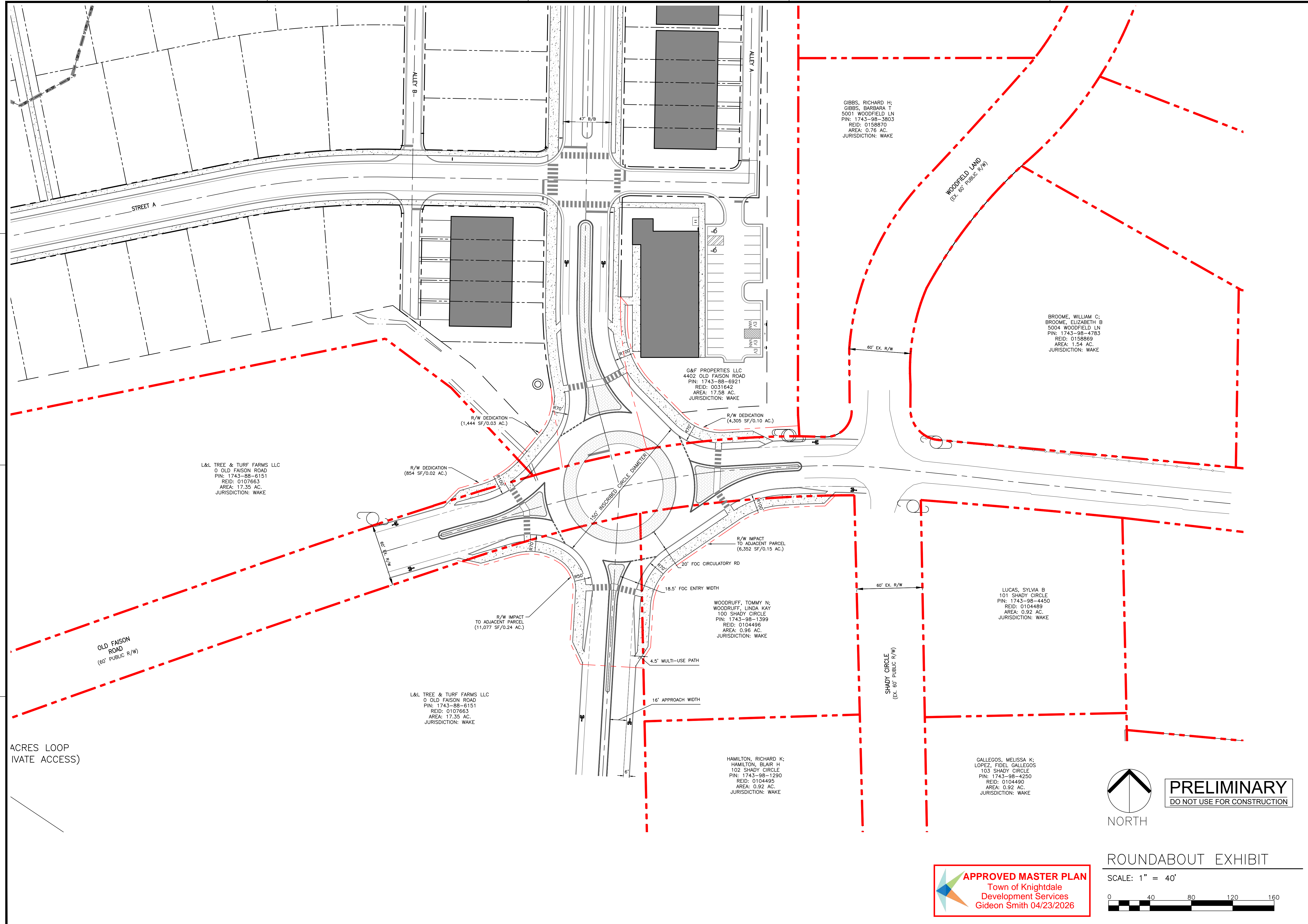
DATE: 24 NOV 2025
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MASTER PLANS
 SITE DETAILS

Job Code: L70FRZ

APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

Dwg No.
 MP
 6.4



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MASTER PLANS (ZMA-1-25) FOR:
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 WAKE COUNTY

Drawn By: **LLF**
 Checked By: **BDM**

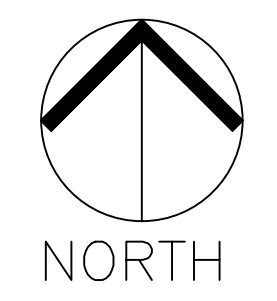
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 31 MAR 2026

MASTER PLANS

ROUNDAABOUT EXHIBIT

Job Code: **L70FRZ**

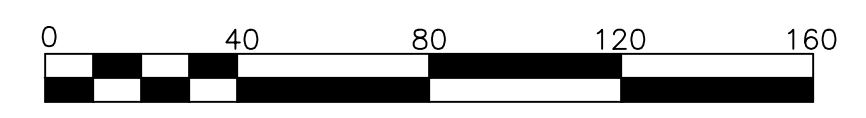
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EX 1.0



PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

ROUNDAABOUT EXHIBIT

SCALE: 1" = 40'



APPROVED MASTER PLAN
 Town of Knightdale
 Development Services
 Gideon Smith 04/23/2026

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