

# BOULDER RIDGE PLANNED UNIT DEVELOPMENT

KNIGHTDALE, NORTH CAROLINA

PUD (NMX)  
ZMA-3-24

AUGUST, 2025



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# BOULDER RIDGE

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NMX PLANNED UNIT DEVELOPMENT PREPARED FOR THE TOWN OF KNIGHTDALE

## Submittal Dates

First Submittal: 08/25/25

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## Developer

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MCADAMS

SR REAL ESTATE PARTNERS

# 1. VISION + INTENT

## VISION + INTENT

As stated in §2.4 (C) and 12.2 (F)(3)(g) of the Knightdale Unified Development Ordinance, the Planned Unit Development District is designed to encourage master planning of development so as to coordinate and manage the impacts of the development on the provision of Town Services and infrastructure. The Planned unit Development encourages creativity and innovation in the design of development, but in return for this flexibility the expectation is for communities to:

- » Provide enhanced design, character, and quality.
- » Provide beneficial community amenities with an emphasis on place making.
- » Incorporate a creative and integrated design in the layout of buildings.
- » Ensure compatibility with surrounding land uses and neighborhood character.
- » Further the goals of the Comprehensive Plan to align with Knightdale Next V.2
- » Provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure.

### THE BOULDER RIDGE PUD MEETS THE STATED VISION AND INTENT OF THE PLANNED UNIT DEVELOPMENT AND GOALS OF ADOPTED PLANS AS FOLLOWS:

#### Provide enhanced design, character, and quality:

Homes within the proposed PUD will follow a set of prescribed architectural design standards which preserve the spirit and intent of those contained in Chapter 6 of the UDO, while providing site-specific allowances. The proposed development provides exceptional sit design, character, and quality through the location and design of open spaces, engaging streetscapes, thoughtful pedestrian connections, and diversity of uses.

#### Provide beneficial community amenities:

Boulder ridge will provide a diverse range of community amenities (including both passive and active recreational uses) equitably distributed throughout the site for maximum accessibility and exposure. Boulder ridge will include two separate clubhouses and pools, a central plaza, and a variety of recreational areas centered around the public greenway which traverses the site.

#### Incorporate creative design in the layout of buildings:

Boulder Ridge incorporates a mix multi-family apartment buildings, mixed use buildings and commercial buildings throughout the site. Each building has been strategically placed to have a strong presence along the enhanced streetscape or improved open space. Each building will have direct access to either a sidewalk, greenway or both to enhance residents ability to easily move around the site. Amenity buildings have also been placed near residential units with direct access to pedestrian connections and other amenity areas.

## Ensure compatibility with surrounding land uses and neighborhood character:

The area surrounding Boulder Ridge is largely undeveloped, resulting in minimal conflict points between the proposed development and neighbors. To the west, a natural riparian buffer provides separation and screening between Boulder Ridge and the two outparcels along Hodge Road. To the south, the site abuts Old Faison Road, and commercial buildings are proposed along Old Faison Rd to establish a commercial presence. Along the site's eastern boundary, a Type C buffer is proposed to provide ample screening between the proposed development and the small county subdivision along Money Tree lane.

## Ensure the creation of mixed density neighborhoods, neighborhood nodes and mixed use centers:

Boulder Ridge provides a compact, mixed use development with apartments, commercial uses, and vertical mixed use buildings tied together by pedestrian focused cross-sections and off-street facilities..

## Further the goals of the Comprehensive Plan including the growth framework and Growth & Conservation map:

Boulder Ridge establishes a desired mixed-use activity center by the intersection of Old Faison Road and Hodge Road, in alignment with the Comprehensive Plan's 'Target Growth Area' and 'Trail Oriented Development Activity Center' designations. This is further described in the 'Comprehensive Plan Conformity' section below.

## Provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure:

The proposed PUD is designed to be compact, efficient, and environmentally responsible. It further supports the Town's infrastructure goals of increased vehicular and pedestrian connectivity and capacity by implementing roadway improvements, while providing new internal roads and pedestrian alternatives.

## THE DESIGN OF BOULDER RIDGE ADDRESSES THE FOLLOWING FINDINGS OF FACT REQUIRED FOR PUD APPROVAL:

### Comprehensive Plan Conformity

Boulder Ridge establishes a desired mixed-use activity center by the intersection of Old Faison Road and Hodge Road, in alignment with the Comprehensive Plan's 'Target Growth Area' and 'Trail Oriented Development Activity Center' designations. The proposed scale and intensity of development in close proximity to I-87, the Mingo Creek Greenway, and Hodge Road Elementary takes advantage of existing infrastructure and establishes a logical activity center to address residential, service, and employment needs for the community. The multifamily and commercial core of this development will serve as the central hub of a broader community, complementing surrounding SFD and Townhome communities. Furthermore, Boulder Ridge's trail-oriented open spaces and centralized amenities and plazas create natural gathering areas to foster a vibrant sense of community.

### Public Welfare

The PUD is designed in adherence with all fire and emergency service requirements. The site's 2 public roadways are designed with wider pedestrian facilities as well as on-street parking to create an enhanced and safer pedestrian experience.

## Impact on Other Property

As a trail-oriented mixed use activity center, Boulder Ridge will serve as a central gathering space for commerce and community gatherings. In order to be sensitive to its neighbors, Boulder Ridge will use both proposed and existing natural buffers to maximize screening and separation between the proposed development and adjacent lots.

## Impact on Public Facilities and Resources

The planned unit development has been designed with adequate utilities, road access, drainage, and other necessary facilities. The project includes two new public roadways with enhanced pedestrian facilities and on-street parking. All other internal drives will be privately operated and maintained.

## Archaeological, Historical, or Cultural Impact:

The planned unit development does not adversely impact any known archaeological, historical, or cultural resources located on or off the parcels proposed for development.

## Parking and Traffic

The proposed PUD provides significant on-street parking along the N-S and E-W streets in adherence with the Town's adopted cross-sections. In order to reduce surface parking and increase pedestrian connectivity, a table-top parking deck is provided north of Street B. The associated TIA identifies required roadway improvements to address roadway impacts generated by the development.

## Adequate Buffering

To the west, a natural riparian buffer provides separation and screening between Boulder Ridge and the two out-parcels along Hodge Road. Along the site's eastern boundary, a Type C buffer is proposed to provide ample screening between the proposed development and the small county subdivision along Money Tree lane.

## Performance

McAdams has a proven track-record of recent PUD approvals of large, mixed-use projects and has a high level of familiarity with Knightdale's standards and expectations. Recent projects within Knightdale include 'Stone River' and 'Retreat at Robertson'(aka Project Hope), McAdams helped prepare plans for 'Brio', Old Milburnie PUD 'Parkside at Westlake', and 'Downtown North'.

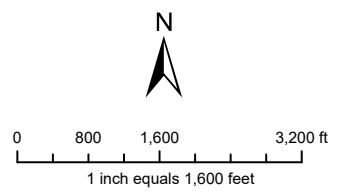
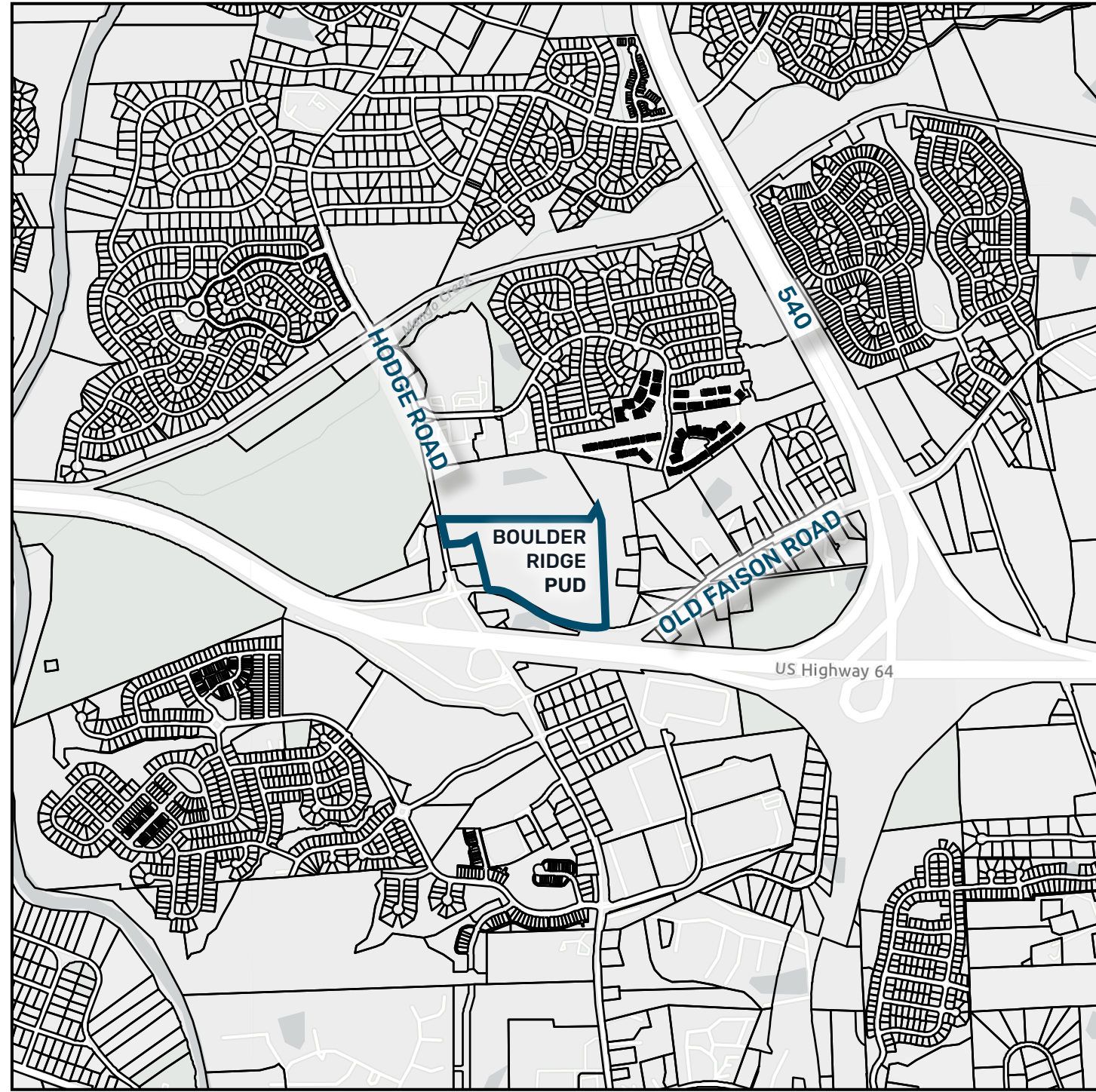
## 2. EXISTING CONDITIONS

### EXISTING CONDITIONS SUMMARY

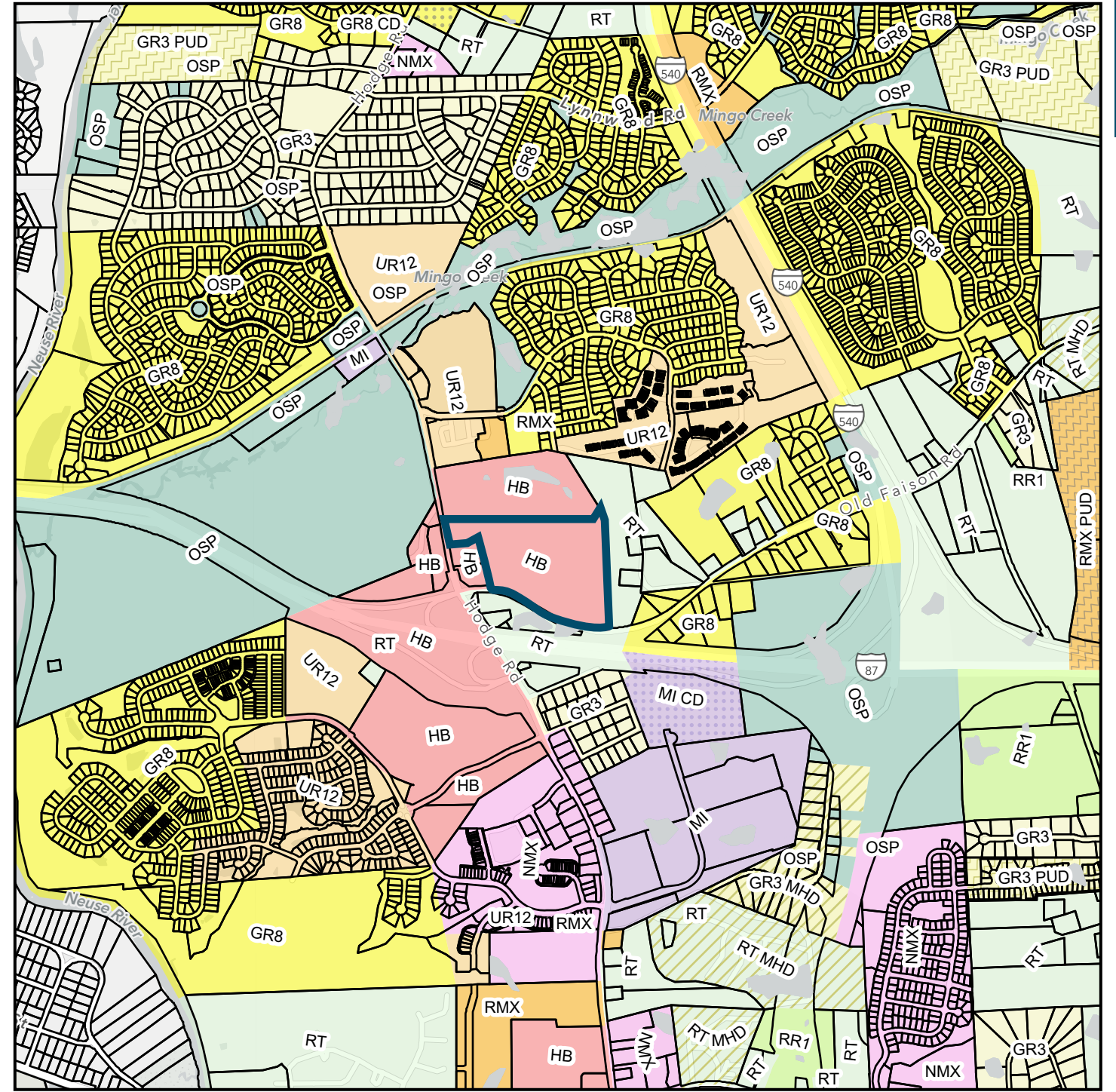
Boulder Ridge is located on 1 parcel along the north side of Old Faison Road, east of the intersection of Hodge Road and Old Faison Road and the I-87 on ramp. (PIN # 1743255851). The site is currently comprised of a mix of forests, and no known structures. The site has two stream features present, both of which have protective riparian buffers. One stream runs along the entirety of the western site boundary and the second stream runs diagonally across the north eastern corner. The site also has an 85' width overhead utility transmission line that runs from east to west at the southern portion of the site. Across the site there are also significant elevation changes from a highpoint of elevation 318' on the east of the site to a low point of 220' in elevation near the riparian buffer located on the west of the site. The total existing grade change is approximately 100' from the high point to the low point which creates challenges not only for the placement of buildings, parking, utilities and pedestrian connections but for upfront design and development costs that must be accounted for when creating a holistic and connected development.



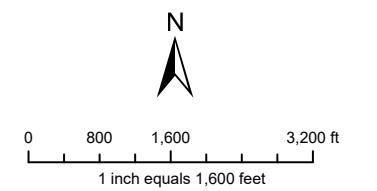
# VICINITY MAP



# CURRENT ZONING MAP



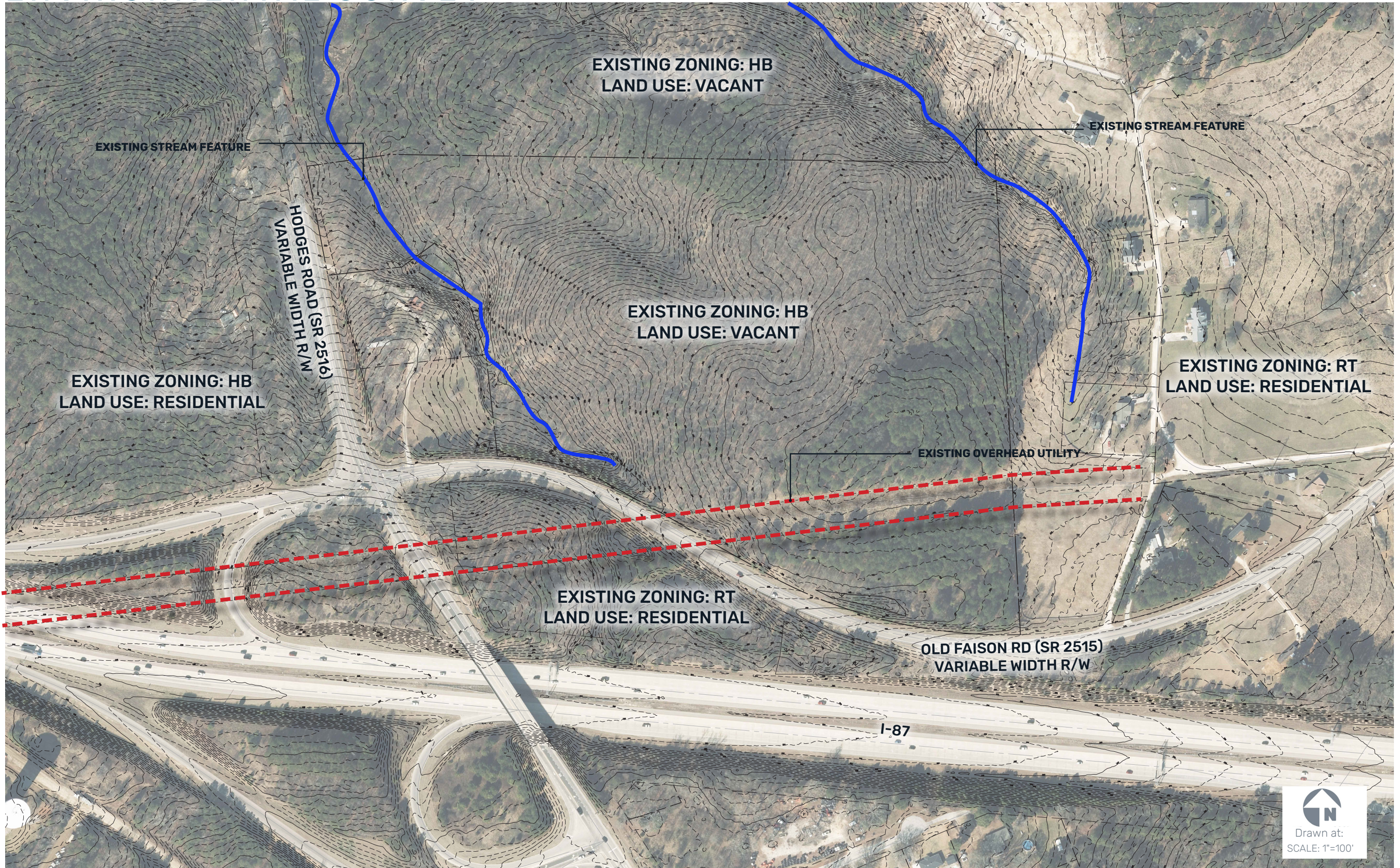
Property	GR3 MHD	GR3 MHD	C
OSP	OSP	GR3 PUD	GR3 PUD
RT	RT	GR8	GR8
RT MHD	RT MHD	GR8 MHD	GR8 MHD
RR1	RR1	NMX MHD	
GR3	GR3	HB	



EXISTING CONDITIONS

EXISTING CONDITIONS

# ENVIRONMENTAL SURVEY



# 3. PUD MASTER PLAN

## PLANNED UNIT DEVELOPMENT MASTER PLAN

### DEVELOPMENT DETAILS

Boulder Ridge is a master-planned development in southern Knightdale, consisting of approximately 564 multi-family units as well as a mix of live work units and commercial space. As reflected in the Town's adopted plans, its location along Hodge Road and proximity to I-87 makes it well suited to a more intense, mixed-use development pattern. As proposed, Boulder Ridge will provide an enhanced pedestrian experience, with engaging streetscapes, multi-use paths, public greenways, and interconnected amenities and commercial offerings.

### RESIDENTIAL DEVELOPMENT MIX

Product Type	Number of Units	Percentage of development
Multi-Family Dwellings	± 564	100%

\* Exact number of live-work units TBD, but shall not exceed '25'. Provided open space and parking accounts for these additional units.

### USE DISTRIBUTION SUMMARY

Use Type	Minimum Distribution	Maximum Distribution
Dwelling - Multifamily	40%	75%
Mixed-Use	10%	50%
Dwelling - Duplex/TH	0%	5%
Dwelling - SF	0%	5%
Non-Residential	5%	35%

NOTE: Minimum Distribution of Mixed Use + Non-Residential Use categories combined will be **25%**, to allow some areas currently shown as non-residential to potentially change to mixed use without violating the Use distribution established by this PUD.



# BOULDER RIDGE PLANNED UNIT DEVELOPMENT CONCEPTUAL RENDERING



**LEGEND**

- MULTI-FAMILY
- COMMERCIAL/OFFICE
- VERTICAL MIXED-USE
- AMENITY BUILDING



# PERMITTED USES

PERMITTED USE TABLE - RESIDENTIAL USES	
Dwelling-Multifamily, above ground floor as a part of mixed use	P
Dwelling-Multifamily, 4 units / bldg or less	P
Dwelling-Multifamily, more than 4 units / bldg	P
Family Care Home (6 or Less residents)	P
Housing Service for the Elderly	P
Live-Work Units	P
Townhouse, 4 units or less	CD
Townhouse, more than 4 units	CD

PERMITTED USE TABLE - LODGING USES	
Bed and Breakfast Inns	P
Hotels	CD

PERMITTED USE TABLE - OFFICE/SERVICE USES	
Animal Services, Boarding	SU
Animal Services, Nonboarding	P
Banks, Credit Unions, Financial Services	P
Business Support Services	P
Child/Adult Day Care Home	P
Child/Adult Day Care Center	P
Community Service Organization	P
Contractor Office	P
Corporate Campus	P
Funeral Homes	P
Government Services	P
Medical Services	P
Personal Services	P
Post Office	P
Professional Services	P
Studio – Art, dance, martial arts, music	P

PERMITTED USE TABLE - RETAIL/ RESTAURANT USES	
Auto Parts Sales	CD
Bar/Tavern/Microbrewery	P
Gas Station with Convenience Store	CD
General Retail – 10,000 sf or less	P
General Retail – 10,001 sf – 50,000 sf	P
Neighborhood Retail/Restaurant – 2,000 sf or less	P
Nightclub	CD
Restaurant	P
Tasting Room	P

PERMITTED USE TABLE - ENTERTAINMENT/ RECREATION USES	
Amusements, Indoor – 5,000 sf or less	P
Amusements, Indoor – 5,001 sf – 20,000 sf	SU
Amusements, Outdoor	CD
General Retail – 10,000 sf or less	P
Cultural or Community Facility	P
Meeting Facilities	P
Recreation Facilities, Indoor	P
Recreation Facilities, Outdoor	P
Theater, Live Performance	CD
Theater, Movie	CD

PERMITTED USE TABLE - MANUFACTURING/ WHOLESALING/STORAGE USES	
Manufacturing, Neighborhood	P
Laboratory – medical, analytical, research & development	CD

Note: P- Permitted by Right      SU- Special use Permit via the Board of adjustment  
 CD - Conditional District Use

# PERMITTED USES

PERMITTED USE TABLE - CIVIC/ INSTITUTIONAL USES	
Colleges/Universities	CD
Group Care Facility (More than 6 residents)	SU
Public Safety Facility	P
Religious Institutions	P
Schools – Vocational/Technical	CD

PERMITTED USE TABLE - INFRASTRUCTURE USES	
Wireless Telecommunication Facility-Stealth	P
Wireless Telecommunication Facility – Small Wireless (Facilities inside Right-of-Way)	P
Wireless Telecommunication Facility – Small Wireless (Facilities outside Right-of-Way)	P
Utilities-Class 1 & 2	P

PERMITTED USE TABLE - ACCESSORY USES	
Accessory Building / Structure	P
Cluster Mail Box Unit	P
Drive-Thru Service	CD
Drive-Thru Retail/Restaurants	CD
Dwelling Unit, Accessory	P
Home Occupation	P
Solar Energy Collection, Roof/Building Mounted	P

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Note: P- Permitted by Right

SU- Special use Permit via the Board of adjustment

CD - Conditional District Use

## 4. UDO + COMPREHENSIVE PLAN CONSISTENCY

### UNIFIED DEVELOPMENT ORDINANCE CONSISTENCY

The Boulder Ridge PUD has been designed to meet the requirements of the Unified Development Ordinance where practical and achievable. There are some instances where, due to site constraints or special needs associated with this project, it is not possible to meet the specific requirement of the Ordinance. In those instances, the applicant is proposing site development allowances that will meet the intent of the Ordinance while providing necessary flexibility. The requested modifications to the requirements of the UDO, and the proposed alternative methods of compliance, are listed below.

#### SITE DEVELOPMENT ALLOWANCE FOR REDUCTION OF MINIMUM PUBLIC ROW FRONTAGE FOR OPEN SPACE

Section 11.2.C.11 of the Knightdale UDO requires that all recreational open space shall have at least 50 feet of frontage on at least one public street. Within Boulder Ridge there will be sections of open space that meet this requirement though, in at least two areas the open space is situated away from public ROW to create a continuous connection of the community open space areas. The applicant requests a site deviation allowance to exempt the open spaces within the courtyard of Buildings G and H from this requirement, and to allow all other open spaces to be satisfied by 50' of frontage on either public ROW or a public greenway.

#### SITE DEVELOPMENT ALLOWANCE ON MULTI-FAMILY MIXED USE COMMERCIAL REQUIREMENTS

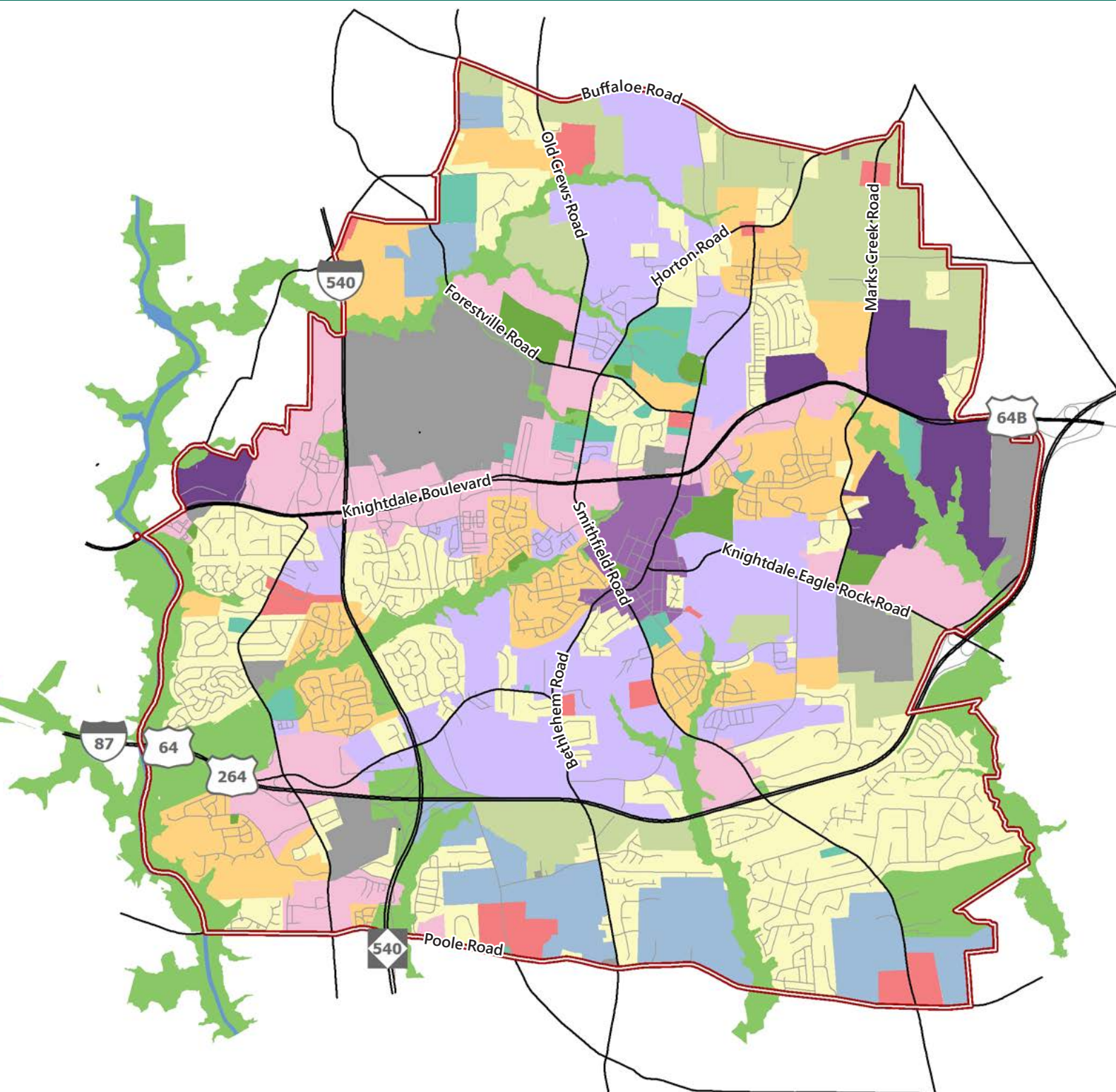
Section 5.2.A.2 of the Knightdale UDO requires that One hundred (100) square feet of nonresidential space shall be provided per every multifamily unit. Within Boulder Ridge, the total required amount of non-residential space must be located on-site (and may be in a future phase), but is not required to be located within each individual apartment building.

#### SITE DEVELOPMENT ALLOWANCE FOR ADMINISTRATIVE APPROVAL OF A MASTER PLAN AMENDMENT TO PHASE 3.

The developer hereby requests the ability for staff to administratively approve a master plan amendment to Phase 3, so long as said plan revision maintains a minimum of 50,000 non-residential SF within the project as a whole and any new buildings maintain a minimum height of 20' along Old Faison Road. This provision does not negate any applicable updates to the TIA (if required) based on changes in trip generation from new uses. This flexibility has been requested to more seamlessly facilitate commercial development of the site, as no commercial partner has been established at this point. The provided master plan layout is designed to accommodate a small grocery operation, as well as a multi-tenant and multi-story building capable of supporting various retail/office/personal service tenants. However, it is not the intention of this PUD to preclude the ability of a future partner to modify Phase 3 to accommodate a different use (as allowed in the permitted uses established by this PUD and subject to the dimensional and development standards per the Boulder Ridge PUD) and associated layout changes.

#### SITE DEVELOPMENT ALLOWANCE TO ALLOW FOR TRASH/DUMPSTERS TO ENCROACH INTO THE TYPE 'C' BUFFER

Along the eastern boundary of Boulder Ridge is a 30' Type 'C' Buffer. In one instance, the trash/dumpster encroaches approximated 20' into the buffer as parking lot circulation and building layouts create the need to have the dumpster location away from residential or commercial units.



### SITE DEVELOPMENT ALLOWANCE FOR DISTRIBUTION OF USES

Section 11.1B of the Knightdale UDO establishes a minimum and maximum required distribution of uses, calculated as the net development area which excludes street ROW and dedicated open space. As proposed, the Boulder Ridge PUD requests a site development allowance to the required distribution of uses to permit the exclusion of single-family uses and duplex/townhome uses, as well as an increase in the maximum distribution of multifamily uses, as detailed below.

Use Type	Minimum Distribution	Maximum Distribution
Dwelling - Multifamily	40%	75%
Mixed-Use	10%	50%
Dwelling - Duplex/TH	0%	5%
Dwelling - SF	0%	5%
Non-Residential	5%	35%

### SITE DEVELOPMENT ALLOWANCE FOR TREE PRESERVATION WITHIN AREAS OF SLOPES THAT EXCEED 25%

Due to the extreme slopes present on the Boulder Ridge site, the developer requests a site deviation allowance to exempt this site from the requirement to provide tree save in sloped areas greater than 25%, as called for in section 7.4.H.1 of the UDO. The site has a centralized band of steep slopes which do not contain jurisdictional streams or wetlands and which would disrupt the developer’s ability to create an activity center as envisioned in the town’s adopted plans without a deviation. By concentrating the development footprint as proposed in the current master plan, the developer can provide more open space, tree coverage, and trails than earlier layout iterations.

### SITE DEVELOPMENT ALLOWANCE FOR DEVIATION TO MINIMUM AND MAXIMUM SETBACK

Within the Boulder Ridge site there are several buildings that for topographic or environmental reasons need to deviate from the maximum setback established in chapter 6 for various building types. The deviations to these setbacks are as follows: Street 'A': 20' maximum setback, Street 'B': 10' maximum setback. Old Faison Road: 30' maximum setback. The following buildings shall be exempt from the maximum setback: Amenity buildings, Building 'C' and the Tabletop Deck.

### SITE DEVELOPMENT ALLOWANCE FOR DEVIATION TO UDO DESIGN GUIDELINES

Section 6 of the Knightdale UDO establishes design guidelines for all architectural building types. As outlined in section 5 of this PUD, alternative design guidelines are being proposed for the apartment, commercial and mixed use buildings types.

### SITE DEVELOPMENT ALLOWANCE FOR DEVIATION TO URBAN MAIN STREET CROSS SECTION

The Boulder Ridge PUD proposes a deviation to the Urban Main Street cross section for street 'A' to allow for a grassed planting strip with integrated street trees behind the curb in place of a hardscaped surface with trees set in tree wells. The deviation to the Urban Main Street cross section is being proposed for street 'A' only.

### SITE DEVELOPMENT ALLOWANCE FOR DEVIATION TO OPEN SPACE REQUIREMENTS FOR BUILDING J

The number of upper-story apartment units in Building J (Phase 3) is undetermined at this time. Building J will be a 2-3 story building. Multifamily units are estimated to range between 14-28 units. Any additional open space required for these units may be met solely by passive open space and will not require any additional active open space beyond what is included in the approved Master Plan.



# KNIGHTDALE NEXT 2035 COMPREHENSIVE PLAN CONSISTENCY

The Boulder Ridge PUD is consistent with the Knightdale Next V.2 Comprehensive Plan, as detailed below.

The town's intentional Growth Areas Map identifies the subject property as a Target Growth Area. Per the Town's Comprehensive Plan, Target Growth Areas "provide an opportunity to re-imagine Knightdale's future, and introduce new, energized activity areas that provide key locations for new employment centers, retail centers, entertainment areas, and upper story or adjacent residential units in appropriate locations.

The Town's adopted Framework Map within the Comprehensive Plan identifies the subject property as a Trail-Oriented Development Activity Center, while the Future Place Type Map applies a 'Mixed Use Center' designation. The Boulder Ridge adheres to these plan designations by providing a mixed use activity center with strong pedestrian connections, as well as buildings and amenitized open spaces oriented around a public greenway which traverses the site from east to west.

## 1. Planned and Orderly Growth

This principle seeks to encourage a mix of land uses and development intensities in accordance with Chapter 3 (General Growth Framework) that promotes economic development, sense of place, social interaction, community-building, and the efficient use of town facilities and services. Boulder Ridge establishes a desired mixed-use activity center by the intersection of Old Faison Road and Hodge Road, in alignment with the Comprehensive Plan's 'Target Growth Area' and 'Trail Oriented Development Activity Center' designations. The proposed scale and intensity of development in close proximity to I-87, the Mingo Creek Greenway, and Hodge Road Elementary take advantage of existing infrastructure and establishes a logical activity center to address residential, service, and employment needs for the community. The multifamily and commercial core of this development will serve as the central hub of a broader community, complementing surrounding SFD and Townhome communities. Furthermore, Boulder Ridge's trail-oriented open spaces and centralized amenities and plazas create natural gathering areas to foster a vibrant sense of community.

## 2. Town-wide Place making

This principle seeks to foster a distinct brand and sense of place for the Town that is uniquely Knightdale through high-level design, walkable environments, thoughtful open spaces, and active living. Boulder Ridge places connections to natural and designed open spaces at the forefront of its layout - incorporating an abundance of pedestrian greenways, paths, infrastructure and centrally located improved open spaces to maximize access and exposure from adjacent residential lots. The positioning of open spaces and public gathering areas around the site's E-W public greenway fully activates this pedestrian connection and makes it a focal point of the development.

## 3. Home and Neighborhood Choices

Boulder Ridge provides a key residential choice in the form of multifamily apartment buildings that is otherwise lacking in the surrounding community. The surrounding area is dominated by single-family detached homes and townhomes, with the only other multifamily development within 1 mile of Boulder Ridge being Mingo Village apartments, which is less than 100 units and subject to income restrictions. Thus, Boulder Ridge would represent the only market-rate apartments within a 1-mile radius.

## 4. Environmental Stewardship and Sustainability

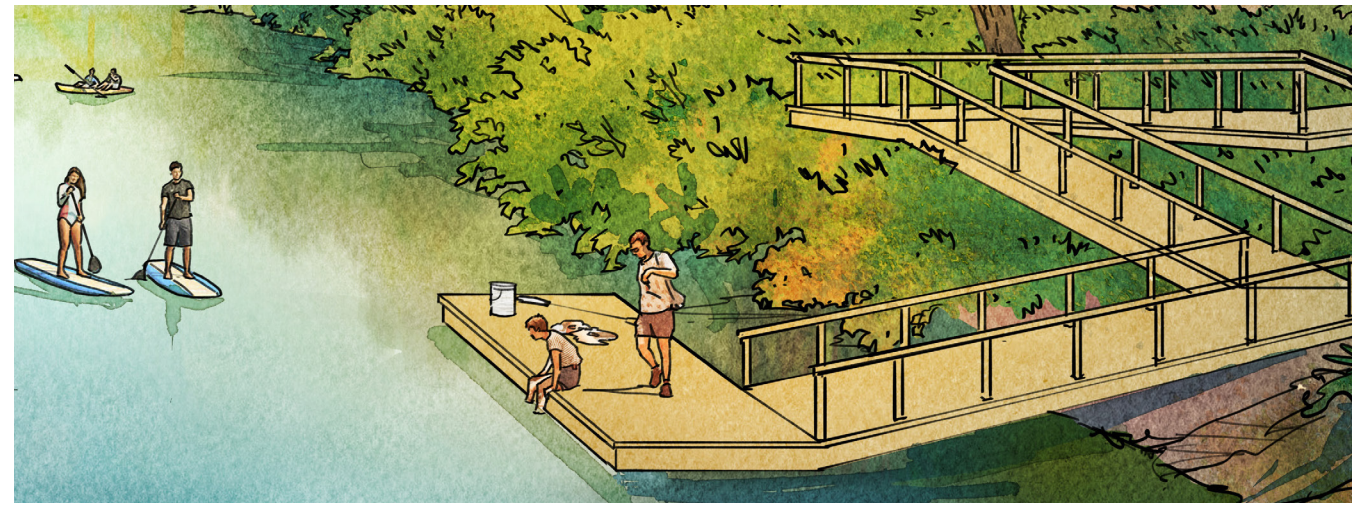
This principle seeks to create a comprehensive and coordinated open space network while reducing environmental impact of development through natural preservation and sustainable design. Boulder Ridge maintains over 40% of the total site as some form of open space (including common open space). The proposed development layout was designed to minimize environmental impact by avoiding vehicular crossings of riparian buffers and using split-level buildings to minimize grading, taking advantage of existing slopes by adding additional building height on the low-elevation side, and allow for a more compact development area.

## 5. Multi-Modal Transportation Systems

Boulder ridge provides an array of alternative transportation options to pedestrians and bicyclists through its abundant sidewalk, greenway, and trail system. Furthermore, at staff's request Old Faison Road has been designed to include both on-street buffered bike lanes, as well as a wider roadside multi-purpose path to accommodate pedestrians and bicyclists who are more comfortable off-road. By providing a mixture of uses on site, Boulder Ridge supports internal trip capture and provides a viable option for walking and biking to on-site employers and businesses.

## 6. Economic Vitality

Boulder ridge aims to build on Knightdale's growing economic vitality by providing over 50,000 SF of non-residential square footage, to the benefit of the Town's tax base. The development increases access to diversified employment opportunities by mixing residential and non-residential uses throughout the site (both horizontally and vertically).



## CONSISTENCY WITH RIVER DISTRICT SMALL AREA PLAN

The Boulder Ridge Site is located within a much broader area identified as the 'River District' within the River District Small Area Plan adopted in 2023. The River District SAP established the Trail-Oriented Development Activity Center Place Type and seeks opportunities to capitalize on the Neuse River and its tributaries as a unique form of place making.

In alignment with the River District SAP and the Trail-Oriented Development place type, Boulder ridge provides an abundance of expanded pedestrian facilities, both within public ROW and in the form of public greenways and private trails and walkways. Boulder Ridge proposes a new public greenway system which would connect to Hodge Road, cross over a tributary of Mingo Creek via pedestrian bridge, and extend E-W through the site along multiple veins. The northern-most proposed greenway extension would straddle the northern property boundary, providing future connections to the undeveloped property to the north and supporting direct access to proposed multifamily buildings and improved open spaces. Along this greenway stretch, the developer has proposed multiple public gathering areas oriented around the greenway, in the form of linear parks spaces, seating areas, grill stations, permanent yard games, and a dog park. Extending south from this E-W greenway is an additional leg which winds its way along the edge of the riparian buffer to the main amenity site within Phase 1 of the development. These off-street pedestrian facilities are further supported by internal pedestrian walkways and wide side paths with on-street parking along Streets A and B.

As a mixed-use center with predominant multifamily uses, Boulder Ridge will incorporate accessible electric vehicle charging stations in compliance with Chapter 7 of the UDO and in alignment with the River Districts goal of sustainable development practices.

# KNIGHTDALE 2023 STRATEGIC PLAN CONSISTENCY

Through its diverse housing, amenity options, and sustainable design, Boulder Ridge aligns with the following Focus Areas and Objectives outlined in the Town's Strategic Plan.

## 1. Connected and Inclusive

Supported Objectives:

- » Augment our small-town feel and appearance through the creation of unique spaces as we grow.
- » Embrace opportunities for physical connectivity through the transportation network.
- » Ensure multi-modal transportation choices to connect to the region.

## 2. Sustainable

Supported Objectives:

- » Endeavor to preserve and protect our environmental resources.
- » Promote financial sustainability and balanced growth between residential and commercial development.
- » Encourage quality commercial and residential development that ages well over time.

## 3. Active and Healthy

Supported Objectives:

- » Offer a variety of health, fitness, and cultural opportunities to meet the needs of a diverse population.
- » Encourage non-vehicular transportation.

# 5. DESIGN GUIDELINES

## APARTMENT ARCHITECTURAL STANDARDS

### Yard Setbacks:

- Front Minimum: 0 ft
- Front Maximum:
  - Street 'A': 20' max.
  - Street 'B': 10' max.
  - Old Faison: 30' max.
- Side Minimum: 10ft\*
- Rear Minimum: 15 ft

\*If partiwall exists, 0 foot side yard minimum.

### Parking Locations:

#### Permitted Yard:

- a. Front Yard: prohibited
- b. Side Yard: permitted
- c. Rear Yard: permitted

#### Required Setback

- a. Front Yard: not applicable
- b. Side Yard: 0 feet
- c. Rear Yard: 5 feet

### Wall Materials:

- Walls shall be clad pursuant to the following regulations. Material percentages exclude windows, display windows, doors, roofing, fascia, and soffit materials.
  - a. Primary Materials. At least 25% of a building's facades shall be brick, stone (natural/cultured, limestone marble, or granite), or a combination thereof.
  - b. Secondary Materials. Not more than 75% of a building's facades shall be clapboard, stucco, cementitious fiber board, glass, decorative concrete masonry units (CMU), or exterior insulation finishing systems (EIFS).

### Facades:

- All architectural front building elevations shall provide doors, usable porches and stoops, balconies, and/or windows. All building facades (front, side, and rear) will include windows.
- A minimum of 60% of front elevations, and a minimum of 30% of the rear building elevations, as applicable, shall meet this standard.
- Porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Usable front porches are at a minimum 4 feet deep and extend more than 15% of the facade.

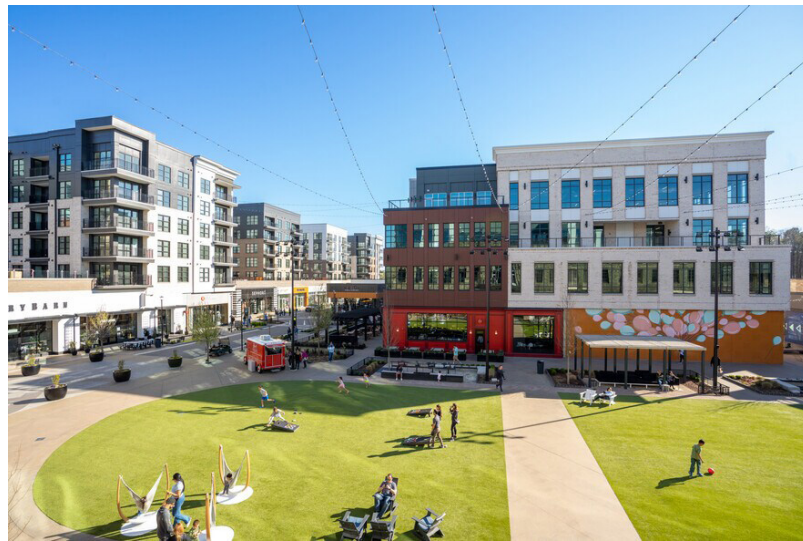
### Roofing:

- The Standards of the UDO shall apply.

### Building Entrances:

- The Standards of the UDO shall apply.

NOTE: For Building I, mixed-use standards will only apply to the portion of the building that is vertically mixed-use. The remainder of the building will follow the apartment building standards. (See master plan for illustration of proposed use type)



*Note: All building elevation renderings provided in this document are conceptual only. They are intended to provide a visual representations of elevations which would meet the binding architectural commitments provided via text within this document.*

# MIXED-USE ARCHITECTURAL STANDARDS

## Yard Setbacks:

- Front Minimum: 0 ft
- Front Maximum:
  - Street 'A': 20' max.
  - Street 'B': 10' max.
  - Old Faison: 30' max.
- Side Minimum: 10ft\*
- Rear Minimum: 0 ft

\*If partiwall exists, 0 foot side yard minimum.

## Parking Locations:

### Permitted Yard:

- a. Front Yard: prohibited
- b. Side Yard: permitted
- c. Rear Yard: permitted

### Required Setback

- a. Front Yard: not applicable
- b. Side Yard: 0 feet
- c. Rear Yard: 5 feet.

## Wall Materials:

- The Standards of the UDO shall apply,
- Walls shall be clad pursuant to the following regulations. Material percentages exclude windows, display windows, doors, roofing, fascia, and soffit materials.

- a. Primary Materials.** At least 25% of a building's facades shall be brick, stone (natural/cultured, limestone marble, or granite), or a combination thereof.
- b. Secondary Materials.** Not more than 75% of a building's facades shall be clapboard, stucco, cementitious fiber board, glass, decorative concrete masonry units (CMU), or exterior insulation finishing systems (EIFS).

## Roofs

- The Standards of the UDO shall apply.

## Facades:

- The Standards of the UDO shall apply, with the following exceptions:
  - a.** Along the eastern facade of Building J, opaque windows may be used in lieu of transparent windows along the ground floor.
  - b.** Along the mixed use portion of Building I, opaque windows may be used in lieu of transparent windows along the southern, parking-lot facing facade.

## Building Entrance:

- The Standards of the UDO shall apply.

NOTE: For Building I, mixed-use standards will only apply to the portion of the building that is vertically mixed-use. The remainder of the building will follow the apartment building standards. (See master plan for illustration of proposed use type)

# COMMERCIAL ARCHITECTURAL STANDARDS

## Yard Setbacks:

- Front Minimum: 10 ft
- Front Maximum:
  - Street 'A': 20' max.
  - Street 'B': 10' max.
  - Old Faison: 30' max.
- Side Minimum: 6 ft\*
- Rear Minimum: 0 ft

\*If partiwall exists, 0 foot side yard minimum.

## Parking Locations:

### Permitted Yard:

- a. Front Yard: prohibited
- b. Side Yard: permitted
- c. Rear Yard: permitted

### Required Setback

- a. Front Yard: not applicable
- b. Side Yard: 0 feet
- c. Rear Yard: 5 feet

## Wall Materials:

- The Standards of the UDO shall apply,
- Walls shall be clad pursuant to the following regulations. Material percentages exclude windows, display windows, doors, roofing, fascia, and soffit materials.

- a. Primary Materials.** At least 25% of a building's facades shall be brick, stone (natural/cultured, limestone marble, or granite), or a combination thereof.
- b. Secondary Materials.** Not more than 75% of a building's facades shall be clapboard, stucco, cementitious fiber board, glass, decorative concrete masonry units (CMU), or exterior insulation finishing systems (EIFS).

## Roofing:

- The Standards of the UDO shall apply,

## Foundations

- The Standards of the UDO shall apply,

## Facades:

- At the time of this application, the anticipated use for Building L is a small grocery anchor, with a front facade facing internal to the site. Due to the planned building orientation and the elevation change between Old Faison road and Building L, alternative architectural treatment along Old Faison Rd is proposed. Along the southern elevation of Building L, a minimum 10' wide evergreen screen may be applied in lieu of the UDO facade standards outlined in Section 6.9 of the UDO for Commercial Buildings. This screen will be comprised of a combination of evergreen trees and shrubs, to provide a fully opaque screen within 3 years of planting.
- Where the described screen is not provided, the exposed facade must incorporate at least one of the following facade design details every 20 ft.
  - Awning
  - Columns
  - Non-Transparent windows
  - Building facade material change (min. 6' wide)

## Building Entrances:

- The Standards of the UDO shall apply.
- The front entrance and primary facade for building L will be north facing oriented internal to the site.

## Public Improvements:

- Required public gathering space (as outlined in Section 6.9 of the UDO) may be provided independently for building K and L, or may be combined into 1 public gathering area meeting or exceeding the square footage of both.

NOTE: Buildings along Old Faison Road (Buildings L and K as identified on the PUD master plan) shall follow the Commercial Building Standards as modified by this PUD application. All mixed-use buildings will follow the Mixed-Use Building standards, as modified by this PUD application.

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# APARTMENT EXAMPLE ELEVATIONS



# MIXED-USE & COMMERCIAL EXAMPLE ELEVATIONS



*Note: All building elevation renderings provided in this document are conceptual only. They are intended to provide a visual representations of elevations which would meet the binding architectural commitments provided via text within this document.*

# 6. TRANSPORTATION ANALYSIS

## TRANSPORTATION IMPACT ANALYSIS SUMMARY

A Traffic Impact Analysis (TIA) was conducted by McAdams for the proposed development.

The purpose of this Traffic Impact Analysis is to determine the potential traffic impacts of this development and to identify transportation improvements that may be required to mitigate the impacts on the roadway network. The proposed residential and retail mixed-use development will be located north of Old Faison Road and east of Hodge Road in Knightdale, North Carolina. Site access will be served via two (2) full movement driveways on Old Faison Road and one (1) right-in/right-out driveway on Old Faison Road. The site is currently undeveloped and is expected to consist of a maximum of 564 mid-rise multifamily housing units and 57,500 sq. ft. of retail space at full buildout. The proposed site is expected to be phased with Phase 1 expected to be completed in 2028, Phase 2 expected to be completed in 2030, and Phase 3 of the development expected to be completed by 2032.

### STUDY AREA

The study area for the TIA was determined through coordination with the Town and NCDOT and consists of the following existing intersections:

Based on the approved scoping, the following intersections were included in this TIA study area:

- US 64 Business (Knightdale Boulevard) and Hodge Road
- Hodge Road and Mingo Bluff Boulevard
- Hodge Road and Old Faison Road / I-87 Westbound Ramps
- Hodge Road and I-87 Eastbound Ramps
- Bethlehem Road and Old Faison Road
- Old Faison Road and Site Access #1 (Proposed)
- Old Faison Road and Site Access #2 (Proposed)
- Old Faison Road and Site Access #3 (Proposed)

# RECOMMENDED IMPROVEMENTS BY DEVELOPER (Subject to Change)

Based on the findings in the TIA, the improvements (Subject to final NCDOT review and approval) below have been recommended to be constructed by the developer to mitigate traffic impacts by the proposed development:

## Old Faison Road and Site Access #1

- Constructed Site Access #1 as the southbound approach with one (1) ingress lane and one (1) egress lane. – Phase 1
- Provide stop control on the southbound approach of the proposed site driveway. – Phase 1
- Construct an exclusive eastbound left-turn lane on Old Faison Road with a minimum of 100 feet of full width storage and appropriate deceleration and taper. – Phase 1

## Old Faison Road and Site Access #2

- Constructed Site Access #2 as the southbound approach with one (1) ingress lane and one (1) egress lane striped as a right-turn only. – Phase 3

## Old Faison Road and Site Access #3

- Constructed Site Access #3 as the southbound approach with one (1) ingress lane and two (2) egress lanes striped as a left and right-turn lane. – Phase 2
- Provide stop control on the southbound approach of the proposed site driveway. – Phase 2
- Construct an exclusive eastbound left-turn lane on Old Faison Road with a minimum of 175 feet of full width storage and appropriate deceleration and taper. – Phase 2
- Install a signal once warranted and approved by NCDOT. – Phase 3

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# 7. RECREATIONAL OPEN SPACE + AMENITIES

## RECREATIONAL OPEN SPACE AND AMENITIES

Boulder Ridge will provide a diverse offering of active and passive recreation areas within the development detailed on the following pages. The provided open space areas will be linked by a comprehensive network of sidewalks and greenways. Boulder Ridge will have over **40%** of the site as some form of open space (including common open space) in both natural and formal settings.

### Open Space Standards

- Total recreation open space required: 7.72\* Acres
- Active recreation space required: 3.86 Acres
- Active recreation space provided: 3.96 Acres
- Passive open space required: 3.86 Acres
- Passive open space provided: 4.56 Acres

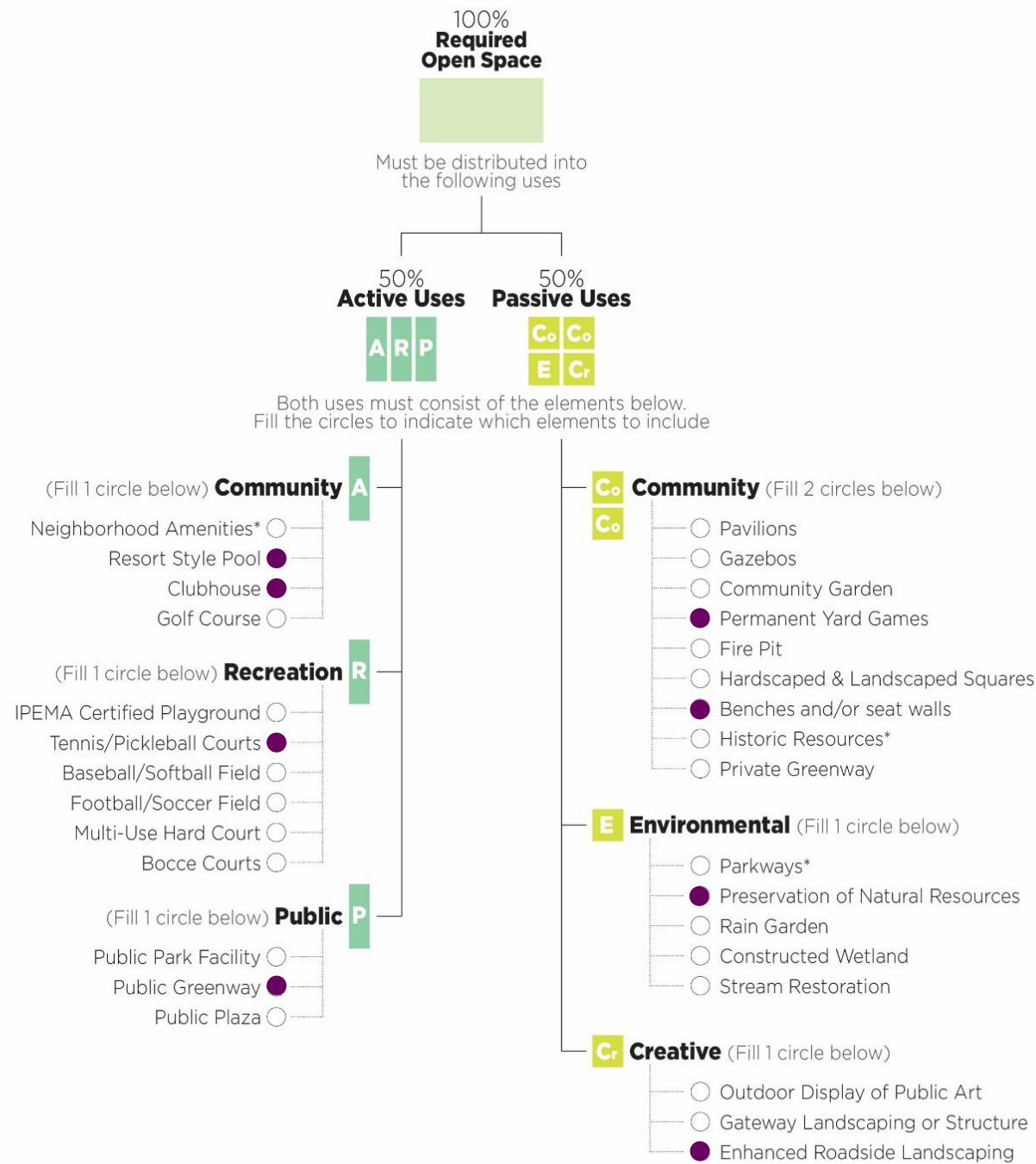
Boulder Ridge provides several open space areas that offer residents and community members numerous options for recreational opportunities. These spaces will include yard games, a dog park, grilling stations, courts, pools and clubhouses as well as a site wide greenway network. In addition to programed areas, Boulder Ridge provides areas of refuge with benches and an overlook at the north western corner of the site.

To ensure residents have easy access to all amenity areas, Boulder Ridge will offer two separate clubhouses and pools that are within close proximity to residential units. Each amenity space will be located with access to either a sidewalk or greenway or both.



## RECREATIONAL OPEN SPACE AND AMENITIES

Boulder Ridge will provide a diverse offering of active and passive recreation areas within the development as detailed below. Each active and passive area will be linked by a comprehensive network of sidewalks and greenways. In addition to more traditional active park spaces, Boulder Ridge will offer residents unique amenities including:



## RECREATIONAL OPEN SPACE PRECEDENT IMAGES



# 8. INFRASTRUCTURE

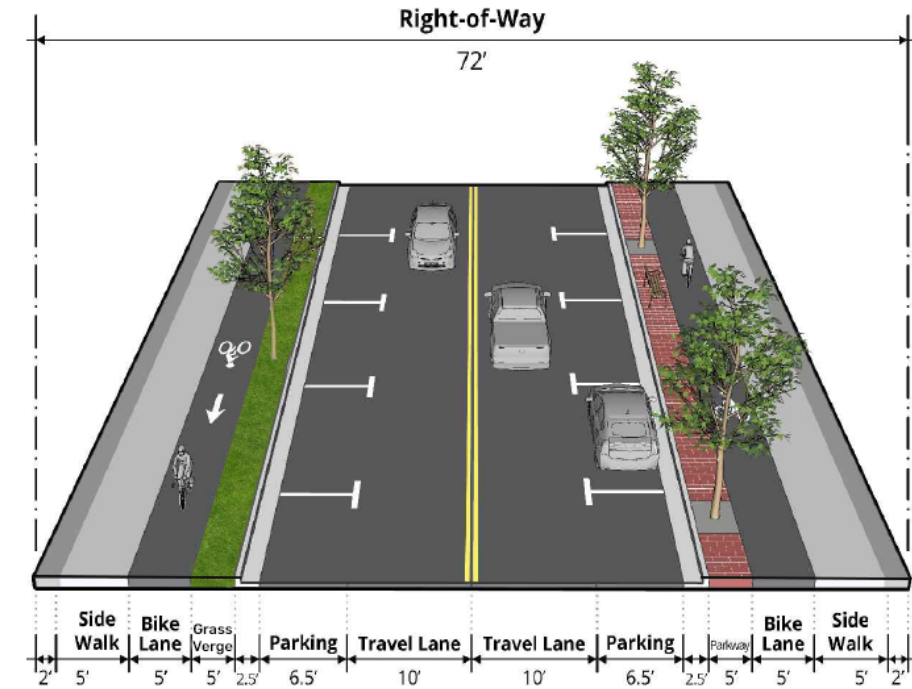


## STREETS + SIDEWALKS

Streets and alleys within Boulder Ridge are designed to meet the construction standards of the Town of Knightdale, though modifications to the Street 'A' & 'B' cross-section are proposed as part of the PUD.

Street 'A' & 'B' will generally follow the Town's preferred Main Street cross section with variations to allow for a wider sidepath and on-street parking. Please refer to detail below and the master plan sheet for an illustrative cross section. Along Street A, street trees will be planted within a grassed verge. Along Street B, where mixed use buildings activate the streetscape, street trees will be placed within tree wells for a wider pedestrian zone.

## MAIN STREET CROSS SECTIONS



## STORMWATER

Boulder Ridge is located within the Neuse River basin. The proposed development shall be subject to stormwater management requirements found in Chapter 9: Environmental Protection Standards of the Town of Knightdale's Unified Development Ordinance (UDO). Per regulations established in Chapter 9 of the Town of Knightdale's UDO, stormwater runoff provisions shall address peak flow mitigation and water quality management.

## WATER + SEWER

Water and sewer within Boulder Ridge are designed to meet the standards of the City of Raleigh

Boulder Ridge will be served by two (2) Stormwater control measure (SCM) which will be designed to meet regulations established Chapter 9 of the Town of Knightdale's UDO by providing peak flow mitigation and water quality management for the site. This SCM will be designed to have a minimum of 85% avg. annual removal for Total Suspended Solids (TSS). The SCM located on the western side of the site will be accessible via the public greenway, with pedestrian seating and a stormwater fountain.

# 9. NEIGHBORHOOD MEETING REPORT

## NEIGHBORHOOD MEETING

June 17, 2025 6:00pm

### Online Zoom Meeting

#### TOTAL ATTENDEES:

+/- 12 people including presenters.

1. Jim Cain
2. Michael Ochsenhirt
3. Jacinta Ochsenhirt
4. Victor J Vega
5. Robert Boyette
6. Tucker Fulle (Town Staff)
7. William Riehl (Dev. Team)
8. Bella Patrocino (Dev. Team)
9. Jon Epstein (Dev. Team)
10. Gideon Smith (Town Staff)
11. David Bergmark (Dev. Team)
12. Oliver Robinson (Dev. Team)

#### PRESENTERS:

McAdams: David Bergmark

#### PRESENTATION:

To start the meeting Gideon Smith gave a brief overview of his role and the submittal process for the Town of Knightdale. With the aid of a PowerPoint presentation, David Bergmark then provided a summary of the development proposal covering the following areas:

- Purpose of neighborhood meetings
- Introduction of the development team
- Project development timeline
- Project location and existing and adjacent zoning
- Project Detail overview
- Explanation of the master plan layout
- Traffic Improvement overview
- Internal site transportation network
- Proposal Summary
- Project development timeline
- Development Team contact information shared



## CITIZEN QUESTIONS AND RESPONSES:

1. QUESTION/COMMENT - (Victor Vega) I live on Money Tree Lane, Kind of confused as if we will be in the way of the project? Or is this just to inform us that if it gets accepted there will be construction near us? Would help to mark on the MAP where we stand.

- » **RESPONSE:** David responded by sharing the vicinity map and confirmed that the purpose of this meeting is to share that a development will be happening close to the property owners notified of this neighborhood meeting and that this meeting is part of the overall rezoning process in Knightdale. David also shared that along the eastern site boundary there will be additional buffering and screening.

2. QUESTION/COMMENT - (Victor Vega) Once un-muted, Victor asked if his land or any adjoining landowners need to be worried about any land taking or forced selling of land.

- » **RESPONSE:** David explained that the development is happening separately and will not impact the adjoining lots. Gideon clarified that if there are any other concerns please reach out to Gideon and the town and we can help to answer all questions and make all parties happy.

3. QUESTION/COMMENT - (Jim Cain) Thank you Nice job.

- » **RESPONSE:** Thank you for attending

## Closing Remarks:

David Bergmark summed up the project highlights and thanked all participants for attending. Gideon Smith shared the Town's project page in that chat as a way for all residents to stay up to date. Gideon reiterated that he is open to all forms of communication for the project. Gideon shared that he will be sharing out a public meeting letter to the joint public hearing.

## MAILING LIST:

Address	Owner	Mailing Address 1	Mailing Address 2	Mailing Address 3
0 HODGE RD	NEW HORIZON HOLDINGS LLC	C/O SEDIVY, ROBERT	4804 DURGANCROFT PL	FUQUAY VARINA NC 27526-8690
0 HODGE RD	NC DEPARTMENT OF TRANSPORTATION	1546 MAIL SERVICE CTR	RALEIGH NC 27699-1500	
0 HODGE RD	OLD FAISON CO LLC	PO BOX 31827	RALEIGH NC 27622-1827	
1917 JENNY CIR	SATTERWHITE, JESSE W JR	5933 FARMWELL RD	RALEIGH NC 27610-9283	
2005 HODGE RD	BRAYBOY, JERRY D BRAYBOY, LOIS F	PO BOX 1275	ZEBULON NC 27597-1275	
1937 HODGE RD	PARKER, TAYLOR PARKER, JOSEPH L	1929 HODGE RD	KNIGHTDALE NC 27545-9592	
1912 HODGE RD	SATTERWHITE, JESSE W JR SATTERWHITE, ELAINE J	5933 FARMWELL RD	RALEIGH NC 27610-9283	
255 MONEY TREE LN	VEGA, VICTOR J VEGA, ANA MARIA	255 MONEY TREE LN	KNIGHTDALE NC 27545-8680	
1904 HODGE RD	SATTERWHITE, JESSE W JR SATTERWHITE, ELAINE	5933 FARMWELL RD	RALEIGH NC 27610-9283	
2021 HODGE RD	STALLINGS, NELLIE M	1105 BELFRY DR	KNIGHTDALE NC 27545-7980	
249 MONEY TREE LN	GP ASSOCIATES NORTH CAROLINA INC	7048 KNIGHTDALE BLVD	KNIGHTDALE NC 27545-8894	
1929 HODGE RD	PARKER, JAMES SHERWOOD PARKER, JOSEPH L	1929 HODGE RD	KNIGHTDALE NC 27545-9592	
0 HODGE RD	PARKER, JAMES SHERWOOD	1929 HODGE RD	KNIGHTDALE NC 27545-9592	
235 MONEY TREE LN	OCHSENHIRT, MICHAEL L OCHSENHIRT, JACINTA M	235 MONEY TREE LN	KNIGHTDALE NC 27545-8680	