LOT WIDTH	PROPOSED (PER PUD)	18' TOWNHOME: 18'	
HEIGHT	PROPOSED	MINIMUM: 24'	
STORIES	(PER PUD)	MAXIMUM: 90' MINIMUM: 2 MAXIMUM: 6	
SETBACKS (APARTMENTS)	PROPOSED (PER PUD)	SEE PUD DOCUMENT FOR STANDARDS THE STANDARDS OF THE UDO SHALL APPLY EXCEPT: THE FRONT MAXIMUM SETBACK SHALL NOT BE APPLIED WHERE PUBLIC GATHERING SPACE IS PROVIDED BETWEEN THE FRONT OF THE BUILDING AND THE FRONT OF THE LOT	
	PARKING (PER PUD)	 SEE PUD DOCUMENT FOR STANDARDS PARKING SHALL BE PERMITTED WITHIN THE SIDE YARD WHERE EITHER (I) A TYPE "A" BUFFER OR (II) AN ARCHITECTURAL SCREEN CONSISTENT OR COMPLIMENTARY TO THE MATERIALS OF THE PRINCIPAL STRUCTURE IS PROVIDED BETWEEN 	
		 THE PARKING AREA AND THE STREET. REAR YARD SETBACK SHALL BE APPLIED TO THE PERIMETER OF THE DISTRICT AND NOT TO INDIVIDUAL BUILDING LOTS. 	
SETBACKS (MIXED USE)	PROPOSED (PER PUD)	SEE PUD DOCUMENT FOR STANDARDS THE STANDARDS OF THE UDO SHALL APPLY EXCEPT: THE FRONT MAXIMUM SETBACK SHALL NOT BE APPLIED WHERE PUBLIC GATHERING SPACE IS PROVIDED BETWEEN THE FRONT OF THE BUILDING AND THE FRONT OF THE LOT	
	PARKING (PER PUD)	 SEE PUD DOCUMENT FOR STANDARDS PARKING SHALL BE PERMITTED WITHIN THE SIDE YARD WHERE EITHER (I) A TYPE "A" BUFFER OR (II) AN ARCHITECTURAL SCREEN CONSISTENT OR COMPLIMENTARY TO THE MATERIALS OF THE 	
		 PRINCIPAL STRUCTURE IS PROVIDED BETWEEN THE PARKING AREA AND THE STREET. REAR YARD SETBACK SHALL BE APPLIED TO THE PERIMETER OF THE DISTRICT AND NOT TO INDIVIDUAL BUILDING LOTS. 	DIMENSION NMX DISTR
SETBACKS (COMMERCIAL)	PROPOSED (PER PUD)	MIN. FRONT:0'MAX. FRONT:30' (60' ALONG MCKNIGHT DR.)SIDE:0'REAR:0'	
	PARKING (PER PUD)	 SEE PUD DOCUMENT FOR STANDARDS PARKING SHALL BE PERMITTED WITHIN THE SIDE YARD WHERE EITHER (I) A TYPE "A" BUFFER OR (II) AN ARCHITECTURAL SCREEN CONSISTENT OR COMPLIMENTARY TO THE MATERIALS OF THE PRINCIPAL STRUCTURE IS PROVIDED BETWEEN THE PARKING AREA AND THE STREET. REAR YARD SETBACK SHALL BE APPLIED TO THE PERIMETER OF THE DISTRICT AND NOT TO INDIVIDUAL BUILDING LOTS. 	SETBACKS (SINGLE FA
SETBACKS (OUTLOT/LINER)	PROPOSED (PER PUD)	MIN. FRONT:0'MAX. FRONT:30' (60' ALONG MCKNIGHT DR.)SIDE:0'REAR:0'	
	PARKING (PER PUD)	 SEE PUD DOCUMENT FOR STANDARDS PARKING SHALL BE PERMITTED WITHIN THE SIDE YARD WHERE EITHER (I) A TYPE ''A'' BUFFER OR (II) AN ARCHITECTURAL SCREEN CONSISTENT OR COMPLIMENTARY TO THE MATERIALS OF THE 	
		 PRINCIPAL STRUCTURE IS PROVIDED BETWEEN THE PARKING AREA AND THE STREET. REAR YARD SETBACK SHALL BE APPLIED TO THE PERIMETER OF THE DISTRICT AND NOT TO INDIVIDUAL BUILDING LOTS. 	SETBACKS (TOWNHON
SETBACKS (LARGE LOT COMMERCIAL)	PROPOSED (PER PUD)	MIN. FRONT:0'MAX. FRONT:N/ASIDE:0'REAR:0'	
	PARKING (PER PUD)	 SEE PUD DOCUMENT FOR STANDARDS PARKING SHALL BE PERMITTED WITHIN THE SIDE YARD WHERE EITHER (I) A TYPE "A" BUFFER OR (II) AN ARCHITECTURAL SCREEN CONSISTENT OR COMPLIMENTARY TO THE MATERIALS OF THE PRINCIPAL STRUCTURE IS PROVIDED BETWEEN THE PARKING AREA AND THE STREET. FRONT AND REAR YARD SETBACK SHALL BE APPLIED TO THE PERIMETER OF THE DISTRICT AND NOT TO INDIVIDUAL BUILDING LOTS. 	
SETBACKS (CIVIC)	PROPOSED (PER PUD)	MIN. FRONT: 0' MAX. FRONT: N/A SIDE: 0' REAR: 0'	SETBACKS
SETBACKS (INSTITUTIONAL)	PROPOSED (PER PUD)	MIN. FRONT: 0' MAX. FRONT: N/A SIDE: 0' REAR: 0'	(2 OVER 2 0

DOV	V
KN	

VIDTH	PROPOSED (PER PUD)	SINGLE FAMILY: TOWNHOME:	30' 18'	
	PROPOSED	60' (SEE PUD DOCUMENT FOR		
	(PER PUD)	STORIES:	4	
ACKS	PROPOSED	MIN. TO RIGHT OF WAY	_	
ile family)	(PER PUD)	FRONT PORCH/STOOP:	5'	
		FRONT PRIMARY STRUCTURE: FRONT EAVES:		
		MIN. TO OPEN SPACE	N/A	
		FRONT PORCH/STOOP:	0'	
		FRONT PRIMARY STRUCTURE:	-	
		FRONT EAVES:	N/A	
		MIN. CORNER SIDE		
		TO PORCH/STOOP:	5'	
		TO PRIMARY STRUCTURE:	5'	
		TO EAVES:	N/A	
		MIN. SIDE		
		TO PORCH/STOOP:	3'	
		TO PRIMARY STRUCTURE: TO EAVES:	3' N/A	
		MIN. REAR	N/A	
		TO GARAGE FROM CURB:	7' (PARALLEL)	
		TO GARAGE FROM CURB:	18' (90°)	
			()	
	PROPOSED	MIN. TO RIGHT OF WAY FRONT PORCH/STOOP:	5'	
NHOMES)	(PER PUD)	FRONT PORCH/STOOP: FRONT PRIMARY STRUCTURE:		
		FRONT EAVES:	N/A	
		MIN. TO OPEN SPACE	,,,	
		FRONT PORCH/STOOP:	0'	
		FRONT PRIMARY STRUCTURE:	3'	
		FRONT EAVES:	N/A	
		MIN. CORNER SIDE		
		TO PORCH/STOOP:	3'	
		TO PRIMARY STRUCTURE:	5'	
		TO EAVES:	N/A	
		MIN. SIDE	0	
		INTERIOR UNIT: END UNITS:	0'	
		FRONT PORCH/STOOP:		0'
		SEPARATION BETWEEN	PORCHES/STOOPS:	-
		TO PRIMARY STRUCTUR		0'
		SEPARATION BETWEEN	BUILDINGS:	10'
		TO EAVES:		N/A
		MIN. REAR		
		TO GARAGE FROM CURB:	7' (PARALLEL)	
		TO GARAGE FROM CURB:	18' (90°)	
ACKS	PROPOSED	SEE PUD DOCUMENT FOR STA	NDARDS	
'ER 2 CONDOS)	(PER PUD)	THE STANDARDS OF THE UDO		
		THE FRONT MAXIMUM		
		PROVIDED BETWEEN TH		



THE PROPOSED MASTER PLAN HAS AN ASSOCIATED PLANNED DOCUMENT (DATED 10-24-22) WHICH DETAILS MODIFICATION BINDING ARCHITECTURAL CONDITIONS WHICH WOULD APPLY TO THE APPROVED MASTER PLAN.

CITY OF RALEIGH PUBLIC UTILITIES CONDITIONS OF APPROVAL:

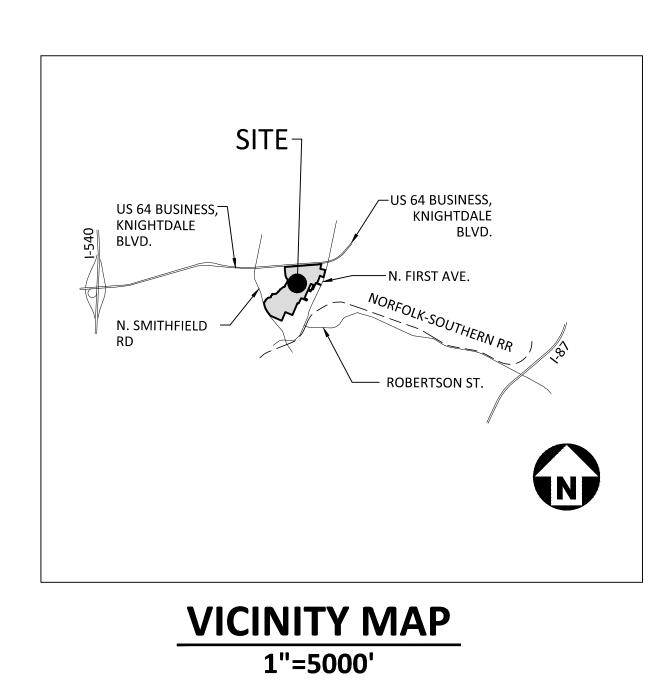
A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS

CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO MAP RECORDATION.

A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS

A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUD HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWINGS

THE DEVELOPER SHALL PROVIDE A LETTER OR E-MAIL FROM ANY PRIVATE UTILITY COMPANY AUTHORIZING NEW WATER AND SEWER MAIN ENCROACHMENTS ACROSS EXISTING TRANSMISSION EASEMENTS PRIOR TO CONCURRENT APPROVAL



NTOWN NORTH AT GHTDALE STATION

N SMITHFIELD ROAD KNIGHTDALE, NORTH CAROLINA

PUD MASTER PLAN

PROJECT NUMBER: AGN-21002 DATE: OCTOBER 24, 2022 CASE NUMBER: 791148 ZMA-13-22

D UNIT DEVELOPMENT (PUD)
ONS TO TYPICAL UDO STANDARDS AND

	1754220024	SITE D		79 1754227666 1754450000		
PIN		, 1754333504, , 1754552353	1/54335//	78, 1754337666, 1754450090,		
SITE AREA	GROSS AREA	۸:	(90.73 AC		
	APPX. R/W [DEDICATION:		<u>13.87 AC</u>		
	NET AREA:		-	76.86 AC		
EXISTING ZONING	RT, NMX, GR3					
PROPOSED ZONING	PUD - NMX (UD - NMX (61.91 AC), TC (28.82 AC)				
WATERSHED CLASSIFICATION	LOWER NEU	OWER NEUSE RIVER				
RIVER BASIN	NEUSE	EUSE				
FEMA DATA	FIRM PANEL	#3720175400	K, DATED 7,	/19/2022		
EXISTING USE	VACANT					
PROPOSED USE		E FAMILY DET		WNHOMES, 2 OVER 2 CONDOS E		
DENSITY	NMX			тс		
	468 UNITS /	61.91 AC = 7.5	6 DU/AC			
' (100'S, 200'S & 400'S LOT #'S)	SINGLE FAM	ILY = 136 UNIT	-s	MIXED USE MULTI-FAMILY		
(300'S & 500'S LOT #'S)	тоwnном	ES = 188 UNITS		APARTMENTS = 100 UNITS		
(600'S LOT #'S)	2 OVER 2 CC	NDOS = 144 U	NITS	* ANY UNITS WITHHELD FROM THE NMX DISTRICT MAY BE		
				APPLIED TO THE TC DISTRICT TO SUPPLEMENT		
PARKING (SFD)	REQUIRED (NMX)	2/UNIT x 468	UNITS = 9	36 SPACES		
	PROPOSED (NMX)	2/UNIT x 468 UNITS = 936 SPACES ON-STREET: APPX. 263 SPACES				
	REQUIRED (TC)	TO BE DETERMINED BASED ON USE				
	PROPOSED (TC)	ON-STREET: A	APPX. 118 S	PACES		
OPEN SPACE	REQUIRED	N/A PER PUD	CONDITIO	N		
	PROPOSED	10.00 ACRES				
	* SEE SHEET	C2.01 FOR OPI	EN SPACE P	ROGRAMMING TABLE		
TREE SAVE	REQUIRED (PUD)	5% PER PUE		N		
CONNECTIVITY	REQUIRED	1.5 (PUD-NM	X) & 1.6 (Pl	JD-TC)		
	PROPOSED	1.573 (107 LII	NKS/68 NO	DES)		
ESTIMATED WASTEWATER	SINGLE FAM	ILY HOMES	136 UNIT:	S X 250 GPD = 34,000 GPD		
FLOW RATES	TOWNHOM	ES	188 UNIT:	S X 250 GPD = 47,000 GPD		
(15A NCAC 02T .0114)	2 OVER 2 CC	NDOS	144 UNITS X 250 GPD = 36,000 GPD			
	APARTMENT		100 UNITS X 240 GPD = 24,000 GPD			
		AL (CORPUD)	2 000 00	APD X 30.04 AC = 90,120 GPD		

SHEET INDEX

C0.01	TYPICAL SECTIONS
C1.00	EXISTING CONDITIONS PLAN
C2.00	PUD MASTER PLAN
C2.01	OVERALL SITE PLAN
C2.02	SITE PLAN - AREA ''A''
C2.03	SITE PLAN - AREA ''B''
C2.04	SITE PLAN - AREA ''C''
C2.05	SITE PLAN - AREA ''D''
C4.00	OVERALL UTILITY PLAN
C4.01	UTILITY PLAN - AREA ''A''
C4.02	UTILITY PLAN - AREA ''B''
C4.03	UTILITY PLAN - AREA "C"
C4.04	UTILITY PLAN - AREA "D"
L5.00	OVERALL LANDSCAPE PLAN
L5.01	LANDSCAPE PLAN - AREA ''A''
L5.02	LANDSCAPE PLAN - AREA ''B''
L5.03	LANDSCAPE PLAN - AREA ''C''
L5.04	LANDSCAPE PLAN - AREA ''D''
L5.05	LANDSCAPE NOTES AND SCHEDULE

WATER ALLOCATION POINTS

REQUIRED POINTS	50 POINTS
PROPOSED POINTS	79 POINTS (50 BASE POINTS (MIXED USE) + 29 BONUS POINTS)
ARCHITECTURAL DESIGN STANDARDS	15 POINTS
ANY OTHER POOL	1 POINT
ON-STREET PUBLIC PARKING	4 POINTS
CLUBHOUSE	5 POINTS
PUBLIC ART	4 POINTS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF KNIGHTDALE, CITY OF RALEIGH PUBLIC UTILITIES, AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



The John R. McAdams Company, Inc 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CONTACT

TYLER PROBST probst@mcadamsco.com PHONE: 919. 287. 0844

CLIENT

ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



PROJECT DIRECTORY

JPM SOUTH DEVELOPMENT 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JOHN MYERS PHONE: 919. 306. 3330

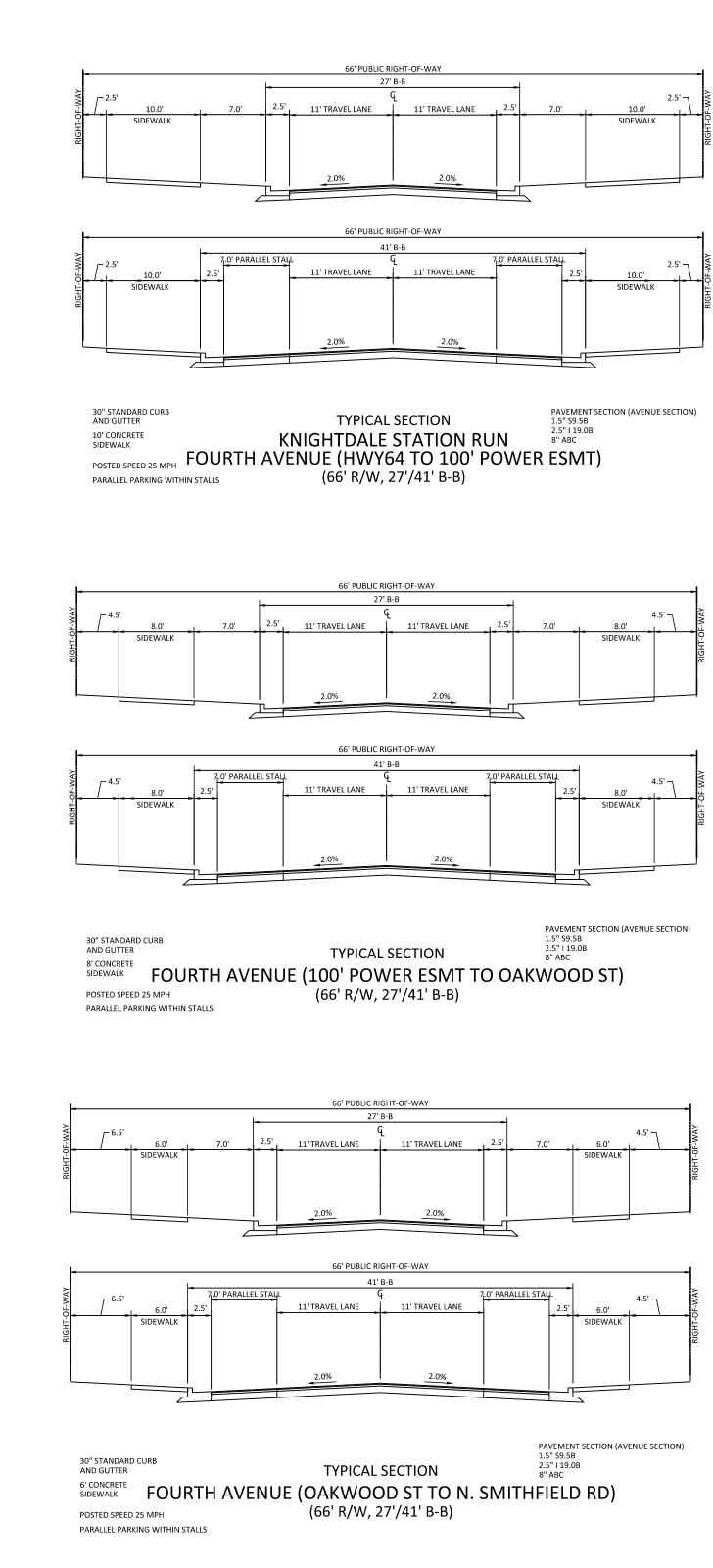


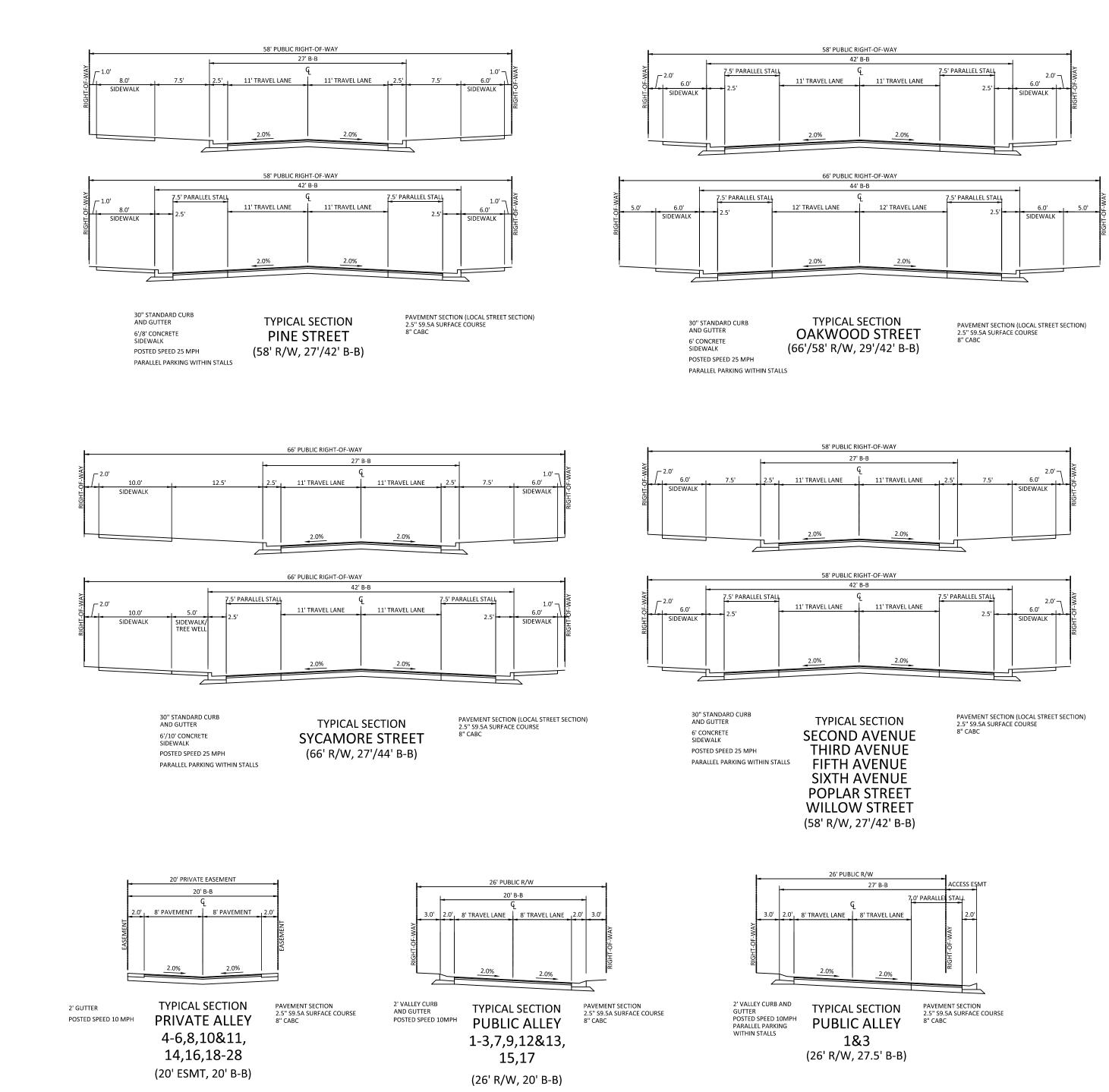


REVISIONS

NO. DATE

PUD MASTER PLAN FOR: DOWNTOWN NORTH AT KNIGHTDALE STATION N SMITHFIELD ROAD KNIGHTDALE, NORTH CAROLINA PROJECT NUMBER: AGN-21002







Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale. By: _____ Date: _____ Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project. | By: _____ __ Date: ___

Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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Ζ 0 F R Ο N SN KNIGH U ₹ N N



REVISIONS

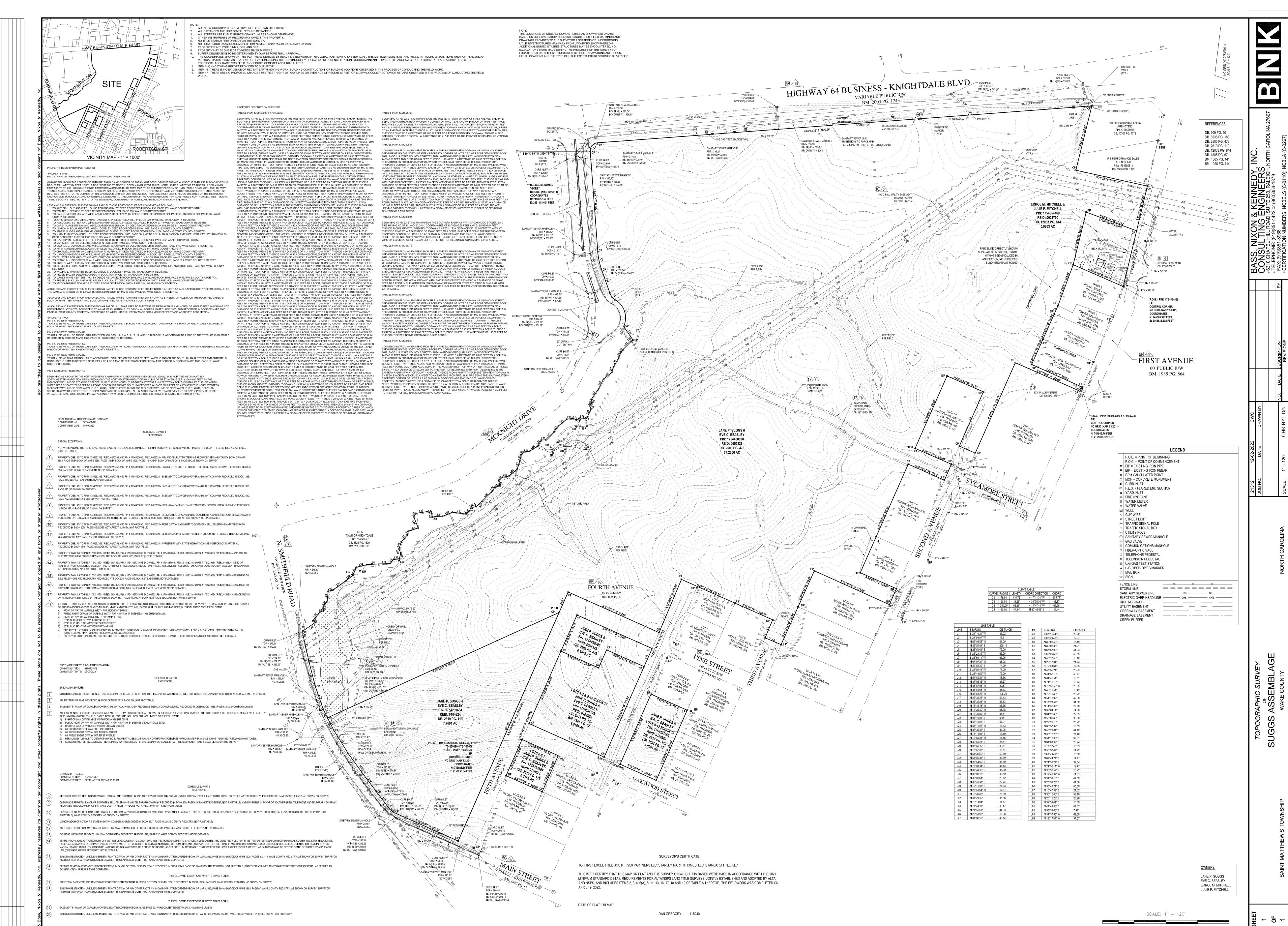
NO. DATE

PLAN INFORMATION

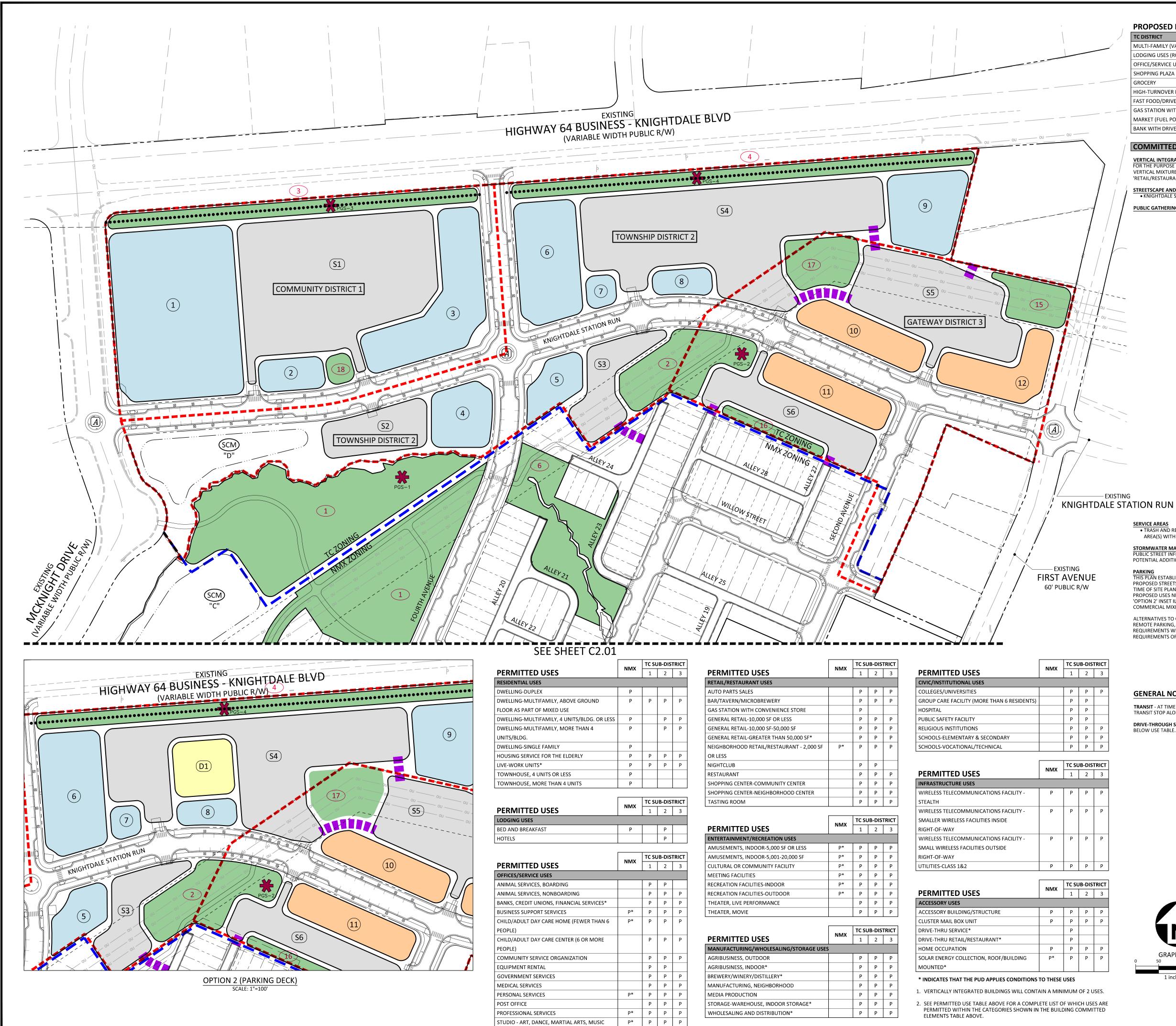
SHEET	
DATE	10. 24. 2022
SCALE	N.T.S.
DRAWN BY	RAD / RJF
CHECKED BY	JCM / TEP
FILENAME	AGN21002-TS1
PROJECT NO.	AGN-21002

TYPICAL SECTIONS





R:\2021\21312 - Suggs Assemblage (Knightdale)\SURVEY\21312CARLSON\dwg\21312 ALTA-PRESURFACE.dwg, 12/2/2022 9:29:03 AM, colin campbell



SEE SHEET C2.01						
		TC SU	TC SUB-DISTRICT			
ERMITTED USES	NMX	1	2	3		
SIDENTIAL USES						
VELLING-DUPLEX	Р					
VELLING-MULTIFAMILY, ABOVE GROUND	Р	Р	Р	Р		
DOR AS PART OF MIXED USE						
VELLING-MULTIFAMILY, 4 UNITS/BLDG. OR LESS	Р		Р	Р		
VELLING-MULTIFAMILY, MORE THAN 4	Р		Р	Р		
IITS/BLDG.						
VELLING-SINGLE FAMILY	Р					
USING SERVICE FOR THE ELDERLY	Р	Р	Р	Р		
'E-WORK UNITS*	Р	Р	Р	Р		
WNHOUSE, 4 UNITS OR LESS	Р					
WNHOUSE, MORE THAN 4 UNITS	Р					
		TC SU	TC SUB-DISTRICT			
ERMITTED USES	NMX	1	2	3		
DGING USES						
D AND BREAKFAST	Р		Р			
ITELS			Р			
	NINAY	TC SUB-DIST		RICT		
ERMITTED USES	NMX	1	2	3		
FICES/SERVICE USES						
IIMAL SERVICES, BOARDING		Р	Р			
IIMAL SERVICES, NONBOARDING		Р	Р	Р		
NKS, CREDIT UNIONS, FINANCIAL SERVICES*		Р	Р	Р		
SINESS SUPPORT SERVICES	Ρ*	Р	Р	Р		
ILD/ADULT DAY CARE HOME (FEWER THAN 6	Р*	Р	Р	Р		
OPLE)						
ILD/ADULT DAY CARE CENTER (6 OR MORE		Р	Р	Р		
OPLE)						
MMUNITY SERVICE ORGANIZATION		Р	Р	Р		
UIPMENT RENTAL		Р	Р			
VERNMENT SERVICES		Р	Р	Р		
EDICAL SERVICES		Р	Р	Р		
RSONAL SERVICES	P*	Р	Р	Р		
ST OFFICE		Р	Р	Р		
OFESSIONAL SERVICES	P*	Р	Р	Р		
UDIO - ART, DANCE, MARTIAL ARTS, MUSIC	P*	Р	Р	Р		

		TC SUB-DISTRICT		
PERMITTED USES	NMX	1	2	3
RETAIL/RESTAURANT USES				
AUTO PARTS SALES		Р	Р	Р
BAR/TAVERN/MICROBREWERY		Р	Р	Р
GAS STATION WITH CONVENIENCE STORE		Р		
GENERAL RETAIL-10,000 SF OR LESS		Р	Р	Р
GENERAL RETAIL-10,000 SF-50,000 SF		Р	Р	Р
GENERAL RETAIL-GREATER THAN 50,000 SF*		Р	Р	Р
NEIGHBORHOOD RETAIL/RESTAURANT - 2,000 SF	P*	Р	Р	Р
OR LESS				
NIGHTCLUB		Р	Р	
RESTAURANT		Р	Р	Р
SHOPPING CENTER-COMMUNITY CENTER		Р	Р	Р
SHOPPING CENTER-NEIGHBORHOOD CENTER		Р	Р	Р
TASTING ROOM		Р	Р	Р
		-		
	NMX	TC SL	JB-DIS	TRICT
PERMITTED USES	NMX	TC SU	JB-DIS	TRICT
PERMITTED USES ENTERTAINMENT/RECREATION USES	NMX			
	NMX			
ENTERTAINMENT/RECREATION USES		1	2	3
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS	P*	1 P	2 P	3 P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF	P*	1 P P	2 P P	3 P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY	P* P* P*	1 P P P	2 P P P	3 P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES	P* P* P* P*	1 P P P P	2 P P P P	3 P P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES RECREATION FACILITIES-INDOOR	P* P* P* P* P*	1 P P P P P	2 P P P P	3 P P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES RECREATION FACILITIES-INDOOR RECREATION FACILITIES-OUTDOOR	P* P* P* P* P*	1 P P P P P P P	2 P P P P P P	3 P P P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES RECREATION FACILITIES-INDOOR RECREATION FACILITIES-OUTDOOR THEATER, LIVE PERFORMANCE	P* P* P* P* P*	1 P P P P P P P P	2 P P P P P P P	3 P P P P P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES RECREATION FACILITIES RECREATION FACILITIES-INDOOR RECREATION FACILITIES-OUTDOOR THEATER, LIVE PERFORMANCE THEATER, MOVIE	P* P* P* P* P* P* P*	1 P P P P P P P P P P	2 P P P P P P P	3 P P P P P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES RECREATION FACILITIES-INDOOR RECREATION FACILITIES-OUTDOOR THEATER, LIVE PERFORMANCE	P* P* P* P* P*	1 P P P P P P P P P P	2 P P P P P P P P	3 P P P P P P P
ENTERTAINMENT/RECREATION USES AMUSEMENTS, INDOOR-5,000 SF OR LESS AMUSEMENTS, INDOOR-5,001-20,000 SF CULTURAL OR COMMUNITY FACILITY MEETING FACILITIES RECREATION FACILITIES RECREATION FACILITIES-INDOOR RECREATION FACILITIES-OUTDOOR THEATER, LIVE PERFORMANCE THEATER, MOVIE	P* P* P* P* P* P* P* P* P* NMX	1 P P P P P P P P P P TC SU	2 P P P P P P P JB-DIS	3 P P P P P P P P

	ΝΜΧ	TC SUB-DISTRICT		
PERMITTED USES		1	2	3
MANUFACTURING/WHOLESALING/STORAGE USES				
AGRIBUSINESS, OUTDOOR		Р	Р	Ρ
AGRIBUSINESS, INDOOR*		Р	Р	Ρ
BREWERY/WINERY/DISTILLERY*		Р	Р	Р
MANUFACTURING, NEIGHBORHOOD		Р	Р	Ρ
MEDIA PRODUCTION		Р	Р	Р
STORAGE-WAREHOUSE, INDOOR STORAGE*		Р	Р	Р
WHOLESALING AND DISTRIBUTION*		Р	Р	Р

		TC SI	TC SUB-DISTRICT		
PERMITTED USES	NMX	1	2	3	
CIVIC/INSTITUTIONAL USES					
COLLEGES/UNIVERSITIES		Р	Р	Р	
GROUP CARE FACILITY (MORE THAN 6 RESIDENTS)		Р	Р		
HOSPITAL		Р	Р		
PUBLIC SAFETY FACILITY		Р	Р		
RELIGIOUS INSTITUTIONS		Р	Р	Р	
SCHOOLS-ELEMENTARY & SECONDARY		Р	Р	Р	
SCHOOLS-VOCATIONAL/TECHNICAL		Р	Р	Р	
		1			
	NMX		JB-DIS	-	
PERMITTED USES		1	2	3	
INFRASTRUCTURE USES		-			
WIRELESS TELECOMMUNICATIONS FACILITY -	Р	Р	P	P	
STEALTH					
WIRELESS TELECOMMUNICATIONS FACILITY -	Р	Р	P	P	
SMALLER WIRELESS FACILITIES INSIDE					
RIGHT-OF-WAY					
WIRELESS TELECOMMUNICATIONS FACILITY -	Р	Р	P	P	
SMALL WIRELESS FACILITIES OUTSIDE					
RIGHT-OF-WAY					
UTILITIES-CLASS 1&2	Р	Р	Р	Р	
		TCS	JB-DIS	TDICT	
PERMITTED USES	ΝΜΧ	1	2	3	
ACCESSORY USES		<u> </u>	<u> </u>		
ACCESSORY BUILDING/STRUCTURE	Р	Р	Р	Р	
CLUSTER MAIL BOX UNIT	P	P	P	P	
DRIVE-THRU SERVICE*		P		<u> </u>	
DRIVE-THRU RETAIL/RESTAURANT*		P			
HOME OCCUPATION	Р	P	Р	P	
SOLAR ENERGY COLLECTION, ROOF/BUILDING	P*	P	P	P P	
MOUNTED*					
* INDICATES THAT THE PUD APPLIES CONDITIONS	TO THESE	USES	I	<u> </u>	
1. VERTICALLY INTEGRATED BUILDINGS WILL CONTA	AIN A MIN	IIMUM	OF 2 L	JSES.	
 SEE PERMITTED USE TABLE ABOVE FOR A COMPL PERMITTED WITHIN THE CATEGORIES SHOWN IN ELEMENTS TABLE ABOVE. 					
3. SEE HEIGHT TABLE THIS SHEET FOR MAXIMUM B	UILDING H	IEIGHT	(NUM	BER (

STORIES).

PROPOSED DENSITY

TC DISTRICT	MAX.
MULTI-FAMILY (VARIOUS)	100
LODGING USES (ROOMS)	115
OFFICE/SERVICE USES	80 KSI
SHOPPING PLAZA	70 KSI
GROCERY	65 KSI
HIGH-TURNOVER RESTAURANT	20 KSI
FAST FOOD/DRIVE-THRU	20 KSI
GAS STATION WITH CONVENIENCE	16
MARKET (FUEL POS.)	

HEIGHT TABLE

	HEIGHT IN FEET		HEIGHT IN STORIES	
TC DISTRICT	MIN.	MAX.	MIN.	MAX.
SUB-DISTRICT 1	24	90	2*	6
SUB-DISTRICT 2	24	90	2*	6
SUB-DISTRICT 3	36	90	2*	6
* INDICATES THAT THE PUD APPLIES CONDITIONS TO THESE				
HEIGHTS				

COMMITTED DESIGN ELEMENTS

BANK WITH DRIVE-THRU

VERTICAL INTEGRATION FOR THE PURPOSE OF THIS APPLICATION, "VERTICAL INTEGRATION" SHALL BE SATISFIED BY ANY BUILDING WITH A VERTICAL MIXTURE OF TWO OR MORE USE TYPE CATEGORIES. USE TYPE CATEGORIES (I.E. 'RESIDENTIAL USES', 'RETAIL/RESTAURANT USES', 'OFFICE/SERVICE USES') ARE PROVIDED IN THE PERMITTED USES TABLE BELOW.

STREETSCAPE AND FRONTAGE • KNIGHTDALE STATION RUN WILL INCORPORATE 10' SIDEWALKS, TO INCLUDE TREE WELLS.

12 KSF

PUBLIC GATHERING SPACES (TC DISTRICT ONLY)

O	OPEN SPACE PROGRAMMING			
PROGRAMMED SPACE	MINIMUM LAND AREA (SF)	MINIMUM FEATURE COUNT	COMMITTED FEATURES	
OPEN SPACE 1 # PGS #1	198,000	10	1,2,3,4,5,8,10,11, 15,18,20	
OPEN SPACE 2 # PGS #2	10,000	6	1,2,3,5,10,11	
OPEN SPACE ③ ※ PGS #3	25,000	5	1,2,3,4,10	
OPEN SPACE 30,000 5 1,2,3,4,10 * PGS #4 30,000 5 1,2,3,4,10				

LIST OF QUALIFYING FEATURES

DIRECT ACCESS TO PUBLIC SIDEWALK OR GREENWAY . PLACEMAKING / DIRECTIONAL SIGNAGE . INTERNAL PEDESTRIAN WALKWAY(S) AT LEAST 6' WIDE NEW SHADE TREES (OR PRESERVATION OF EXISTING) . MOVABLE TABLES AND CHAIRS OR SEATING WALLS & BENCHES

AMPHITHEATER(S)

. FIREPIT OR GRILLING STATIONS . ENHANCED LANDSCAPING OR GREEN INFRASTRUCTURE . SCULPTURE(S) OR OTHER PUBLIC ART FEATURES (MIN. 2 VERALL)

- D. WASTE RECEPTACLES (LANDFILL & MIXED RECYCLING)
- . BIKE PARKING 2. COMMUNITY GARDEN
- 13. PET PLAY AREA (WITH 4 FT ENCLOSURE & WASTE RECEPTACLES)
- 14. HARDSCAPE / LANDSCAPE SQUARE (DECK/PATIO PEDESTRIAN GATHERING SPACE)
- 5. COVERED PAVILLION (MIN. 3 OVERALL) 6. WATER PLAY AREA 7. PLAY AREA/PLAYGROUND WITH STRUCTURES, FIXTURES, OR EQUIPMENT 8. PLAY LAWN/PLAY FIELD/SPORT FIELD
- 9. POOL/POOL AMENITIES (MIN. 1 OVERALL) . PEDESTRIAN SCALE AND/OR CELEBRATORY LIGHTING
- TRANSIT STOP WITH SHELTER OTHER FEATURES AS APPROVED BY THE ADMINISTRATOR

SERVICE AREAS

- EXISTING

• TRASH AND RECYCLING SHALL BE EITHER COLLECTED AND TRANSFERRED TO A MAIN COMPACTOR/RECYCLING AREA(S) WITHIN THE PROJECT OR CONTAINED IN AN INDIVIDUAL TRASH/RECYCLING AREA(S).

STORMWATER MANAGEMENT THIN THE TC ZONING DISTRICT BUILT INITIALLY WILL BE TREATED BY SCM "D" AND POTENTIAL ADDITIONAL FACILITIES.

THIS PLAN ESTABLISHES THE GENERAL PERMITTED LOCATIONS FOR SURFACE PARKING IN RELATION TO EXISTING AND PROPOSED STREETS, AS WELL AS PERMITTED BUILDING AREAS. ALL PARKING REQUIREMENTS WILL BE VERIFIED AT THE TIME OF SITE PLAN SUBMITTAL, DEPENDENT UPON THE USE AND SQUARE FOOTAGE PROPOSED. IN THE EVENT THAT PROPOSED USES NECESSITATE A PARKING DECK TO ACCOMMODATE THE LEVEL OF MINIMUM PARKING NEEDED, THE 'OPTION 2' INSET ILLUSTRATES THE INTENDED PARKING DECK LOCATION, WHICH IS INTERNALIZED WITHIN THE COMMERCIAL MIXED USE SITE.

ALTERNATIVES TO ON-SITE PARKING

REMOTE PARKING, COMBINED PARKING, AND SHARED PARKING WILL BE PERMITTED TO SATISFY PARKING REQUIREMENTS WITHIN THE TC DISTRICT UPON DEMONSTRATING COMPLIANCE ON A DEVELOPMENT PLAN WITH THE REQUIREMENTS OF THE UDO FOR THE ALTERNATIVE(S) BEING REQUESTED.

TRANSIT - AT TIME OF FIRST DEVELOPMENT PLAN (CDs) FOR THE TC DISTRICT. DEVELOPER WILL ACCOMMODATE A

TRANSIT STOP ALONG KNIGHTDALE BOULEVARD AT A LOCATION MUTUALLY AGREEABLE TO THE TOWN AND DEVELOPER. DRIVE-THROUGH SERVICE - ANY BANK/ATM DRIVE-THRU AND/OR PHARMACY DRIVE-THRU SHALL BE LIMITED PER THE

BELOW USE TABLE. TC SUB-DISTRICT SHALL BE THE ONLY SUB-DISTRICT IN WHICH DRIVE-THRU SERVICES ARE PERMITTED.

CONCEPTUAL BUILDINGS - BUILDING ENVELOPES MAY INCLUDE MULTIPLE

BUILDINGS AND MAY SHIFT AT

CONCEPTUAL SURFACE PARKING

(SEE PARKING NOTES FOR RESTRICTIONS)

PUBLIC GATHERING SPACE - LOCATIONS ARE CONCEPTUAL AND MAY SHIFT AT DEVELOPMENT PLAN STAGE AS LONG AS

CONCEPTUAL PARKING

VERTICAL INTEGRATION DEVELOPMENT PLAN STAGE AS LONG AS

REQUIRED SUBSTANTIALLY SIMILAR.

CONCEPTUAL PRIVATE VEHICULAR CIRCULATION

DECKS

PROPOSED ZONING BOUNDARY LINE

PUBLIC ART

ALL MATERIAL & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ALL CITY OF

RALEIGH & TOWN OF KNIGHTDALE DESIGN

STANDARDS, DETAILS, AND SPECIFICATIONS

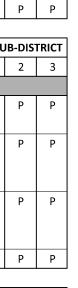
PROPOSED SUB-DISTRICT BOUNDARY LINE

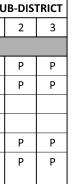
SUBSTANTIALLY SIMILAR

LEGEND

GENERAL NOTES

Р Р РР







1 inch = 100 ft.

100

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale. Town Engineer

[A]

These plans are approved by the Town of Knightdale and serve as construction plans for this project. Date

Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

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ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



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REVISIONS

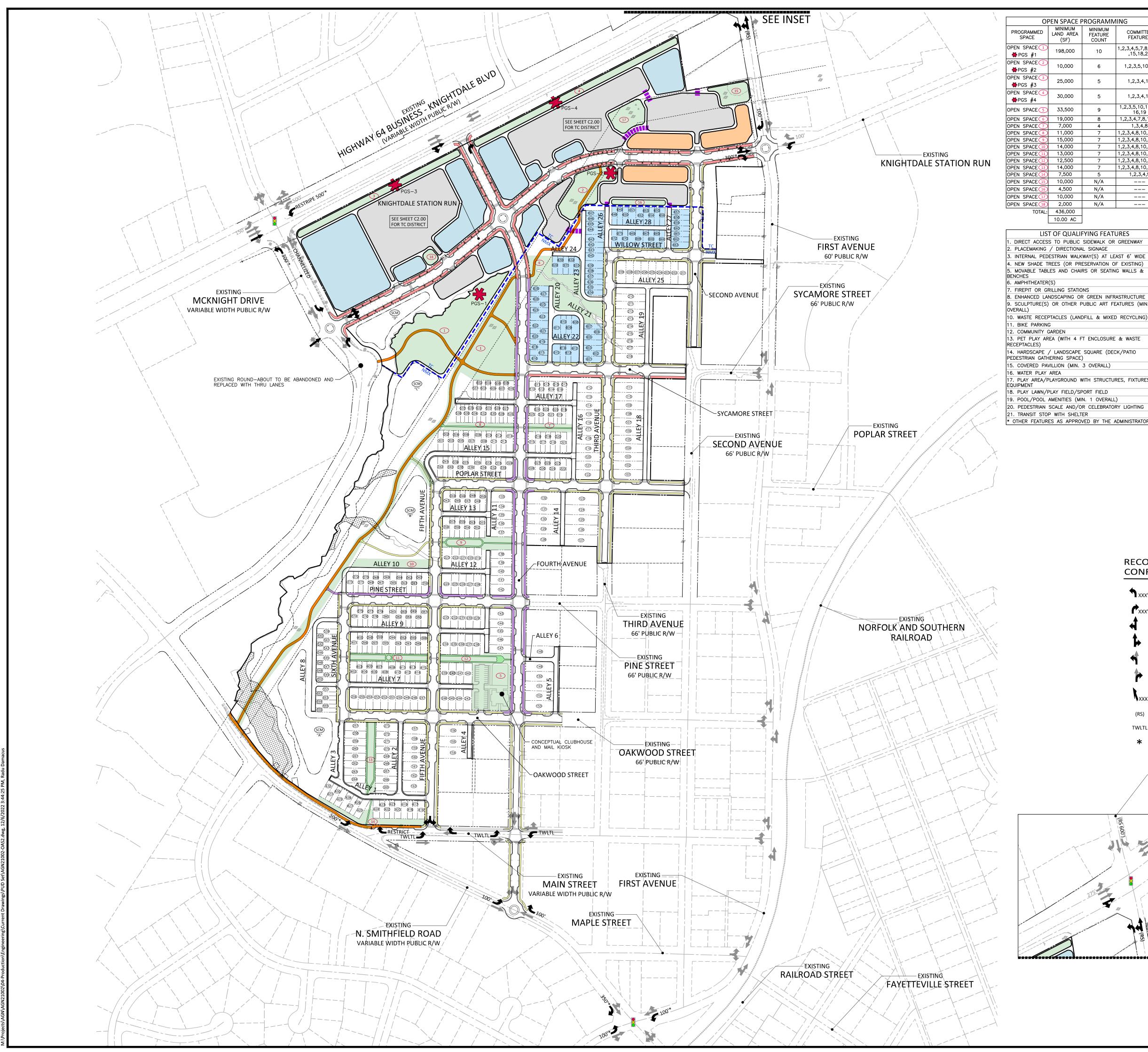
NO.	DATE

PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1" = 100'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-OAS1
PROJECT NO.	AGN-21002

PUD MASTER PLAN

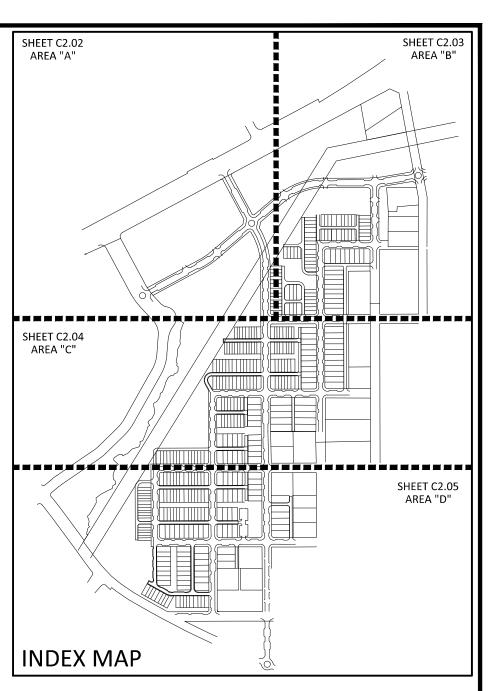




SPACE F	PROGRAMIV	ling
NIMUM D AREA SF)	MINIMUM FEATURE COUNT	COMMITTED FEATURES
B,000	10	1,2,3,4,5,7,8,10,11 ,15,18,20
,000	6	1,2,3,5,10,11
5,000	5	1,2,3,4,10
,000	5	1,2,3,4,10
5,500	9	1,2,3,5,10,11,15, 16,19
,000	8	1,2,3,4,7,8,10,11
,000	4	1,3,4,8
,000	7	1,2,3,4,8,10,14,20
,000	7	1,2,3,4,8,10,14,20
,000		1,2,3,4,8,10,14,20
,000	7	1,2,3,4,8,10,14,20
,500	7	1,2,3,4,8,10,14,20
.,000	7	1,2,3,4,8,10,14,20
,500	5	1,2,3,4,9
,000	N/A	
,500	N/A	
,000	N/A	
,000	N/A	
6,000		
DA OC		

LIST OF QUALIFYING FEATURES DIRECT ACCESS TO PUBLIC SIDEWALK OR GREENWAY INTERNAL PEDESTRIAN WALKWAY(S) AT LEAST 6' WIDE 4. NEW SHADE TREES (OR PRESERVATION OF EXISTING)

PING OR GREEN INFRASTRUCTURE THER PUBLIC ART FEATURES (MIN. 2 S (LANDFILL & MIXED RECYCLING) I TH 4 FT ENCLOSURE & WASTE DSCAPE SQUARE (DECK/PATIO SPACE) (MIN. 3 OVERALL) DUND WITH STRUCTURES, FIXTURES, O IELD/SPORT FIELD IES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER APPROVED BY THE ADMINISTRATOR	STATIONS
S (LANDFILL & MIXED RECYCLING) TH 4 FT ENCLOSURE & WASTE DSCAPE SQUARE (DECK/PATIO SPACE) (MIN. 3 OVERALL) DUND WITH STRUCTURES, FIXTURES, O IELD/SPORT FIELD IES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER	PING OR GREEN INFRASTRUCTURE
TH 4 FT ENCLOSURE & WASTE DSCAPE SQUARE (DECK/PATIO SPACE) (MIN. 3 OVERALL) DUND WITH STRUCTURES, FIXTURES, O IELD/SPORT FIELD IES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER	THER PUBLIC ART FEATURES (MIN. 2
TH 4 FT ENCLOSURE & WASTE DSCAPE SQUARE (DECK/PATIO SPACE) (MIN. 3 OVERALL) DUND WITH STRUCTURES, FIXTURES, O HELD/SPORT FIELD HES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER	S (LANDFILL & MIXED RECYCLING)
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SPACE) (MIN. 3 OVERALL) OUND WITH STRUCTURES, FIXTURES, O IELD/SPORT FIELD IES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER	TH 4 FT ENCLOSURE & WASTE
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IELD/SPORT FIELD IES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER	(MIN. 3 OVERALL)
IES (MIN. 1 OVERALL) AND/OR CELEBRATORY LIGHTING SHELTER	OUND WITH STRUCTURES, FIXTURES, O
AND/OR CELEBRATORY LIGHTING SHELTER	IELD/SPORT FIELD
SHELTER	IES (MIN. 1 OVERALL)
	AND/OR CELEBRATORY LIGHTING
APPROVED BY THE ADMINISTRATOR	SHELTER
	APPROVED BY THE ADMINISTRATOR



MCADAMS

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phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

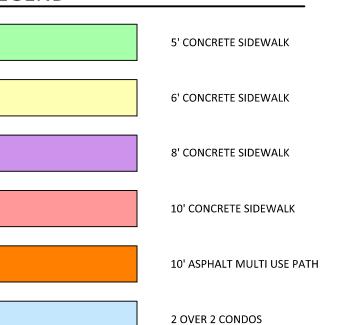
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LEGEND



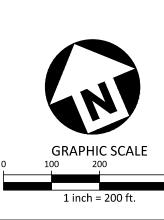
RECOMMENDED LANE CONFIGURATION | FGEND

CONFI	GURATION LEGEND		
♠ xxx'	RECOMMENDED LEFT TURN (XXX LF)	♠ xxx [,]	EXIST
¢xxx'	RECOMMENDED RIGHT TURN (XXX LF)	XXX'	EXIST
र्च	RECOMMENDED LEFT-STRAIGHT TURN	4	EXIST
•	RECOMMENDED RIGHT-STRAIGHT TURN	•	EXIST
4	RECOMMENDED RESTRIPE TO LEFT-STRAIGHT	1	EXIST
r	RECOMMENDED RESTRIPE TO RIGHT-STRAIGHT	***	EXIST
xxx'	RECOMMENDED MERGE LANE (XXX LF)	4	EXIST
(RS)	RECOMMENDED RESTRIPE LANE		EXISTI
TWLTL	TWO WAY LEFT TURN LANE		
*	STORAGE LENGTH SUBJECT TO CHANGE		

T XXX'	EXISTING LEFT TURN (XXX LF)
XXX'	EXISTING RIGHT TURN (XXX LF)
न्	EXISTING LEFT-STRAIGHT TURN
•	EXISTING RIGHT-STRAIGHT TURN
T	EXISTING STRAIGHT THRU LANE
***	EXISTING LEFT-RIGHT TURN
4	EXISTING LEFT-STRAIGHT-RIGHT TURN
	EXISTING SIGNAL

OLD KNIGHT ROAD 60' PUBLIC R/W – EXISTING

Administrator



HIGHWAY 64 BUSINESS - KNIGHTDALE BLVD

(VARIABLE WIDTH PUBLIC R/W)

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Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale. Town Engineer

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





REVISIONS

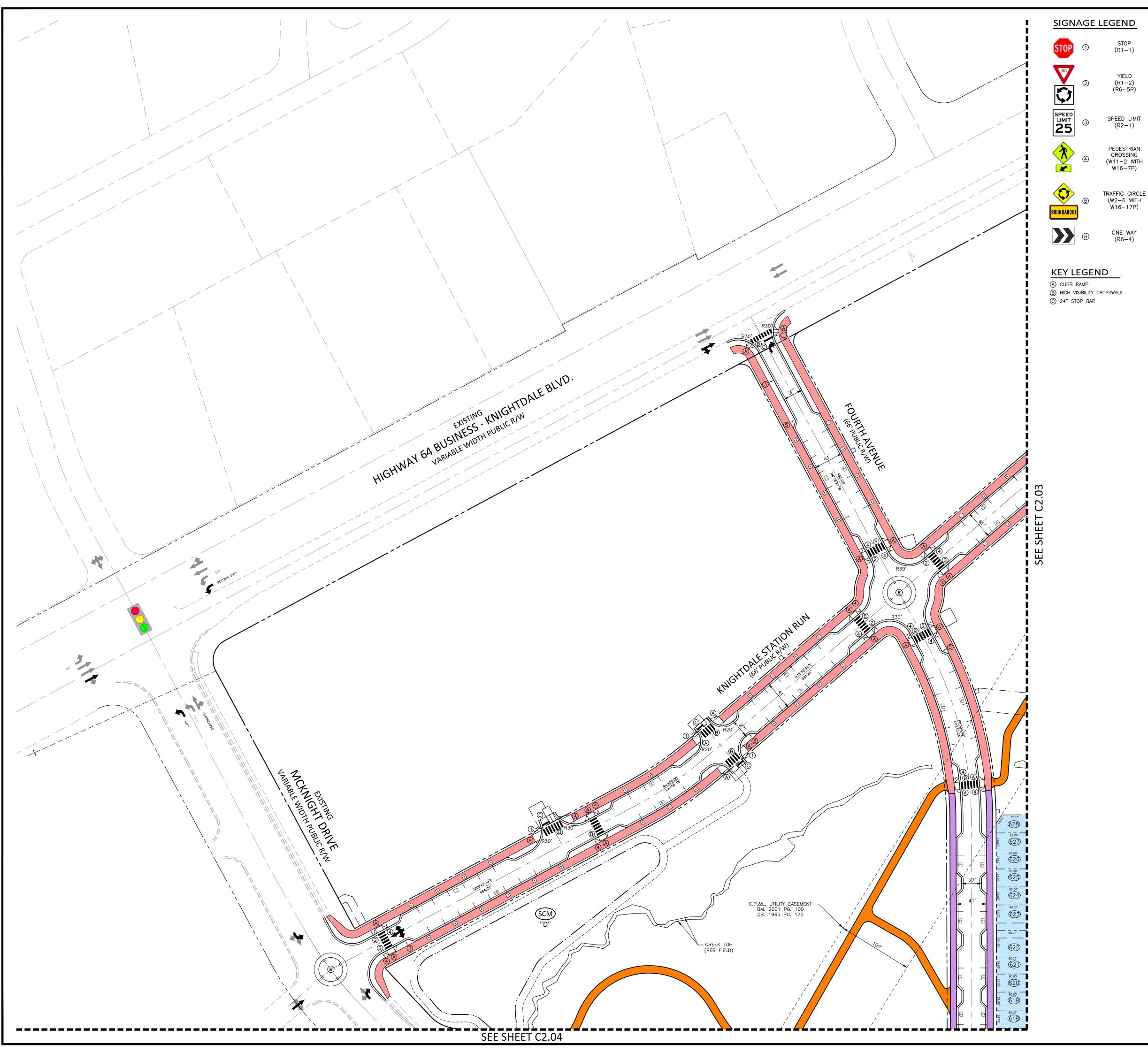
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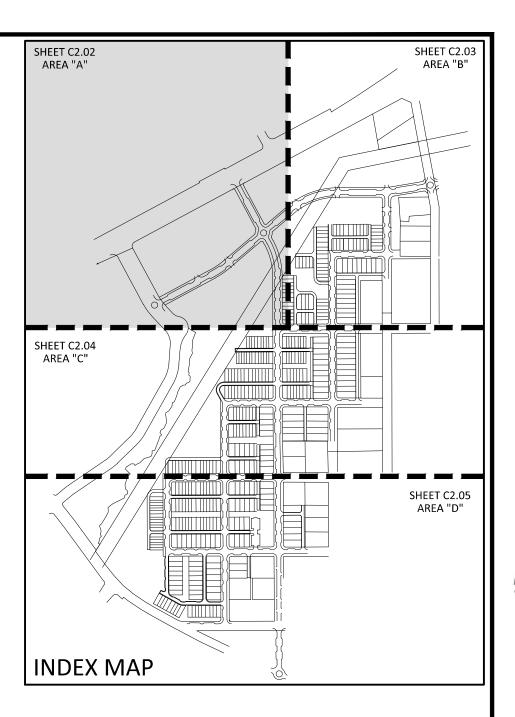
PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1" = 200'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-OAS2
PROJECT NO.	AGN-21002

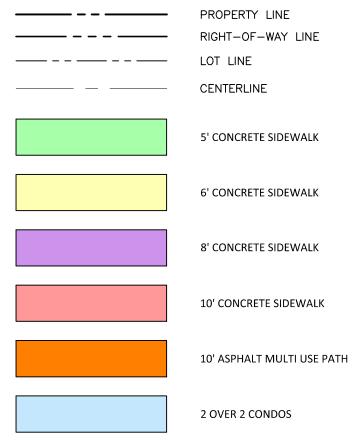
OVERALL SITE PLAN

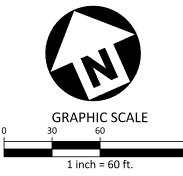






SITE LEGEND





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By: ______ Date: _____ Town Engineer These plans are approved by the Town of Knightdale and serve as construction plans for this project.

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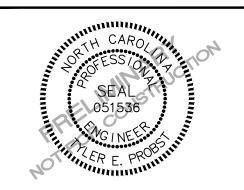
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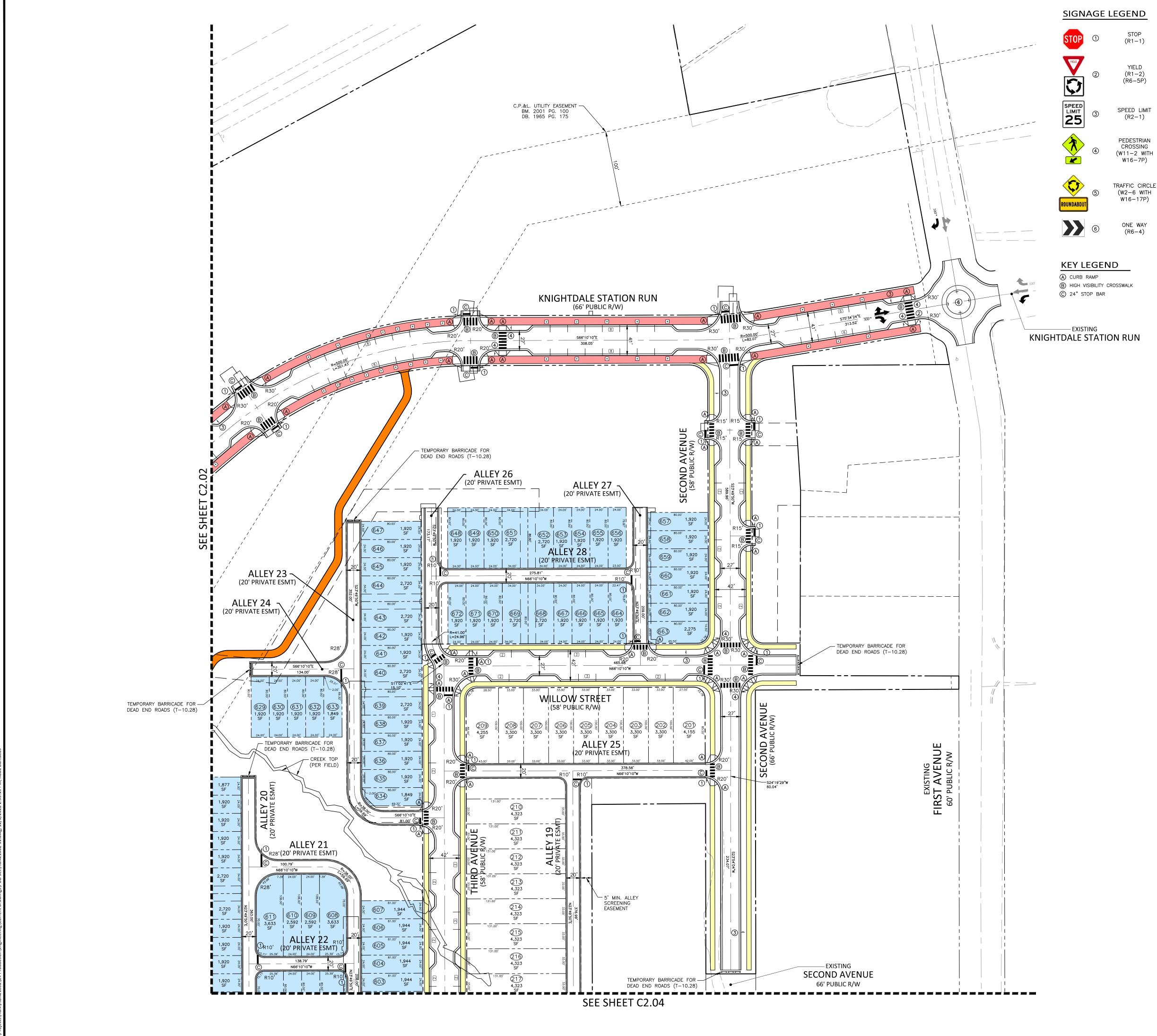
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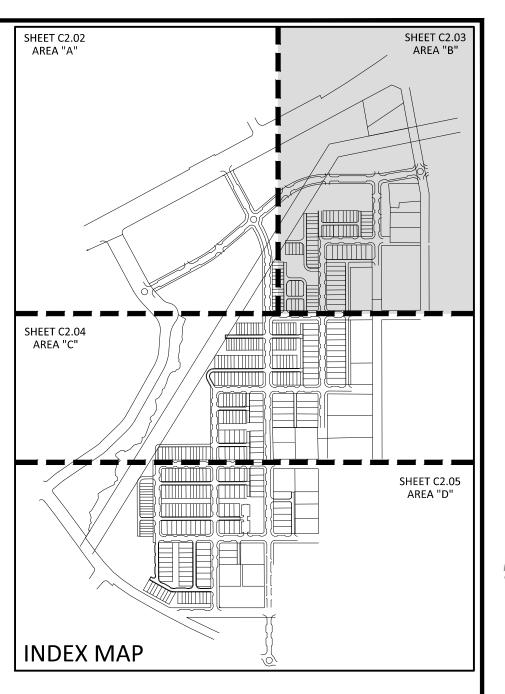
PLAN INFORMATION

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DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-S1
PROJECT NO.	AGN-21002

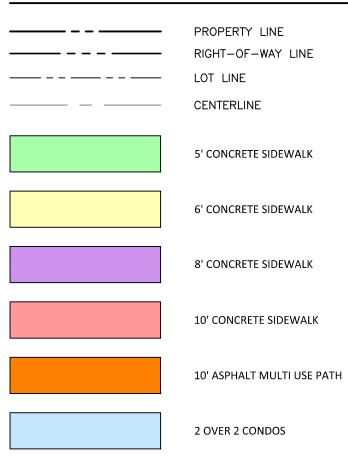


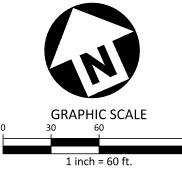






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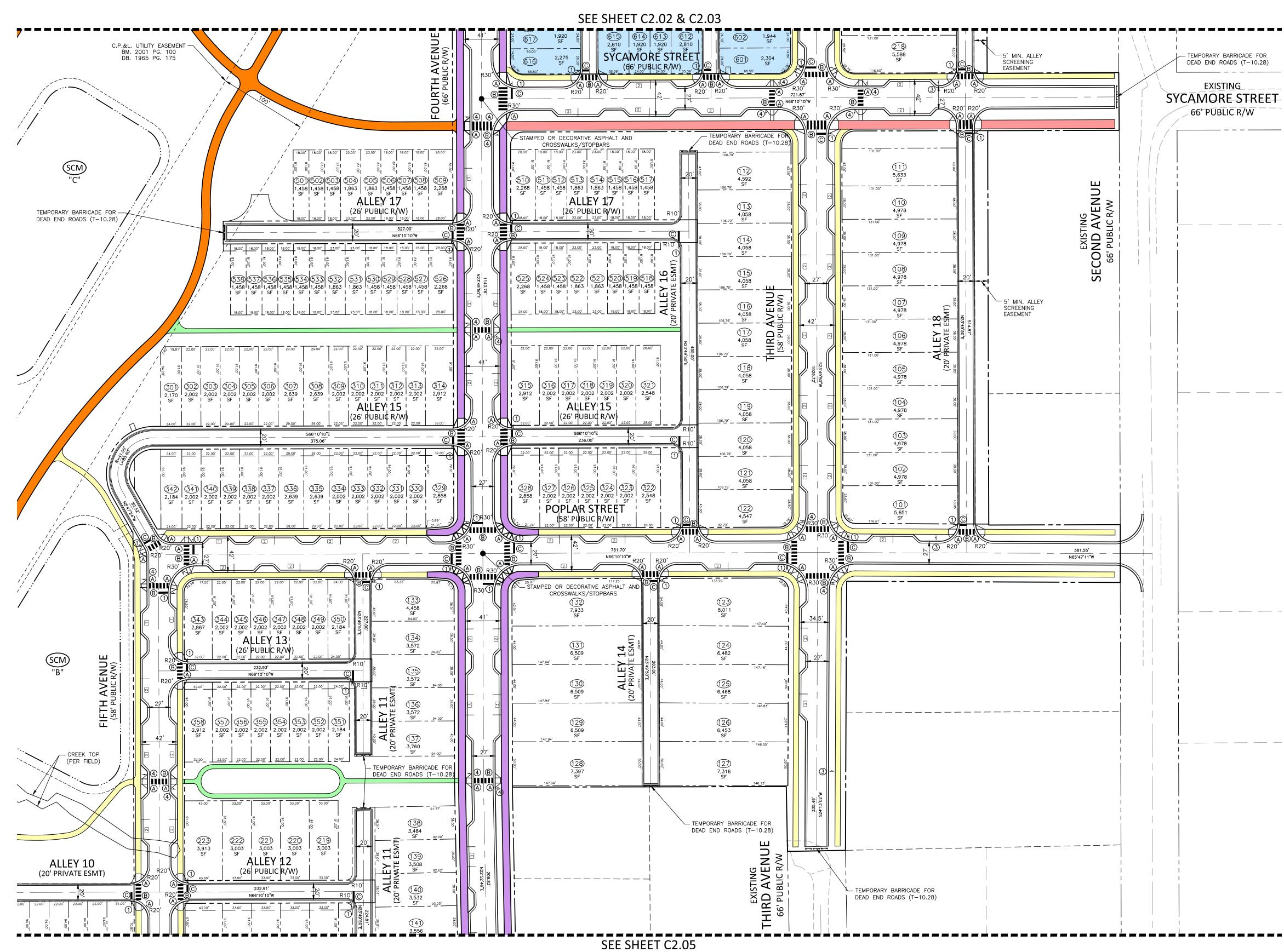
- NO. DATE

PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-S1
PROJECT NO.	AGN-21002

SITE PLAN - AREA "B"







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SHEET C2.05

AREA "D"

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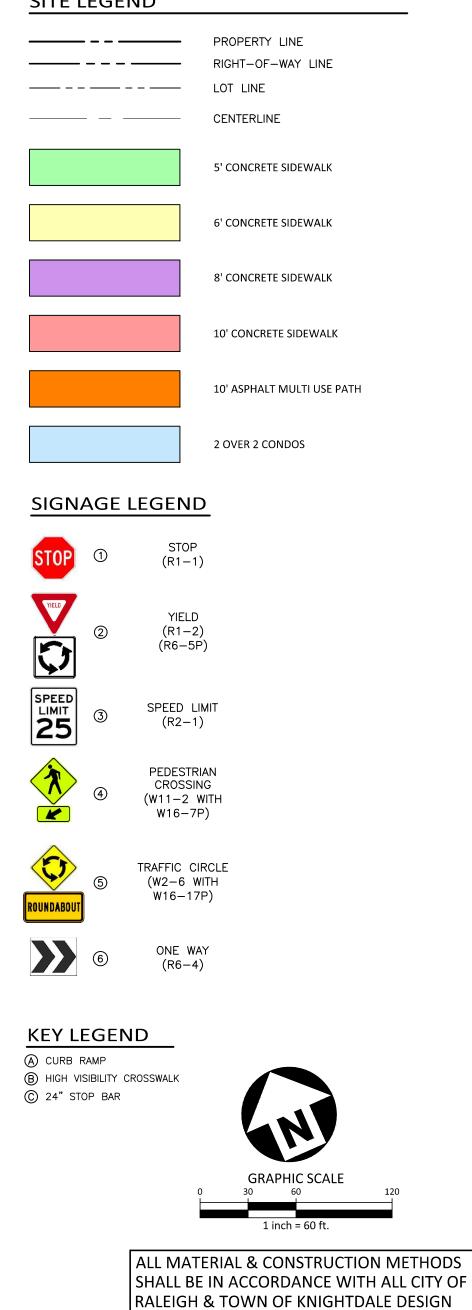
SITE LEGEND

INDEX MAP

SHEET C2.02 AREA "A"

SHEET C2.04

AREA "C"



STANDARDS, DETAILS, AND SPECIFICATIONS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

Town Certification. This design has been reviewed by the Engineer for the Town

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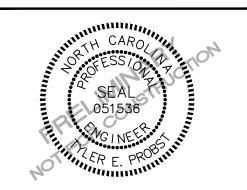
of Knightdale, and to the best of my knowledge and belief, it conforms to the equirements established in the Standard Specifications of the Town of Knightdale.

Town Engineer

Administrator

plans for this project.

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REVISIONS

NO.	DATE

PLAN INFORMATION

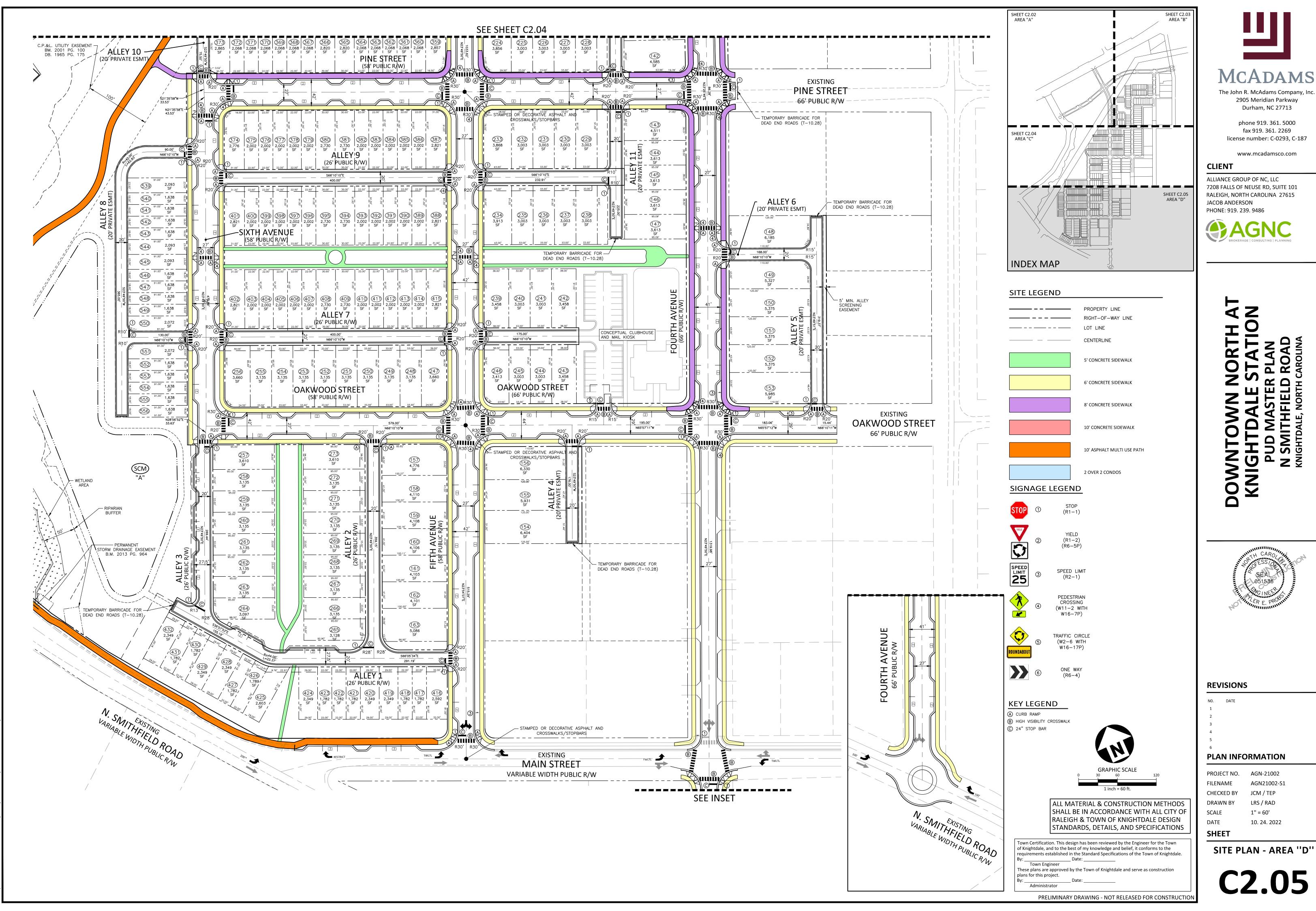
date SHEET	10. 24. 2022
SCALE	1" = 60'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-S1
PROJECT NO.	AGN-21002

SITE PLAN - AREA "C"



- TEMPORARY BARRICADE FOR DEAD END ROADS (T-10.28) _ _ _ _ ___



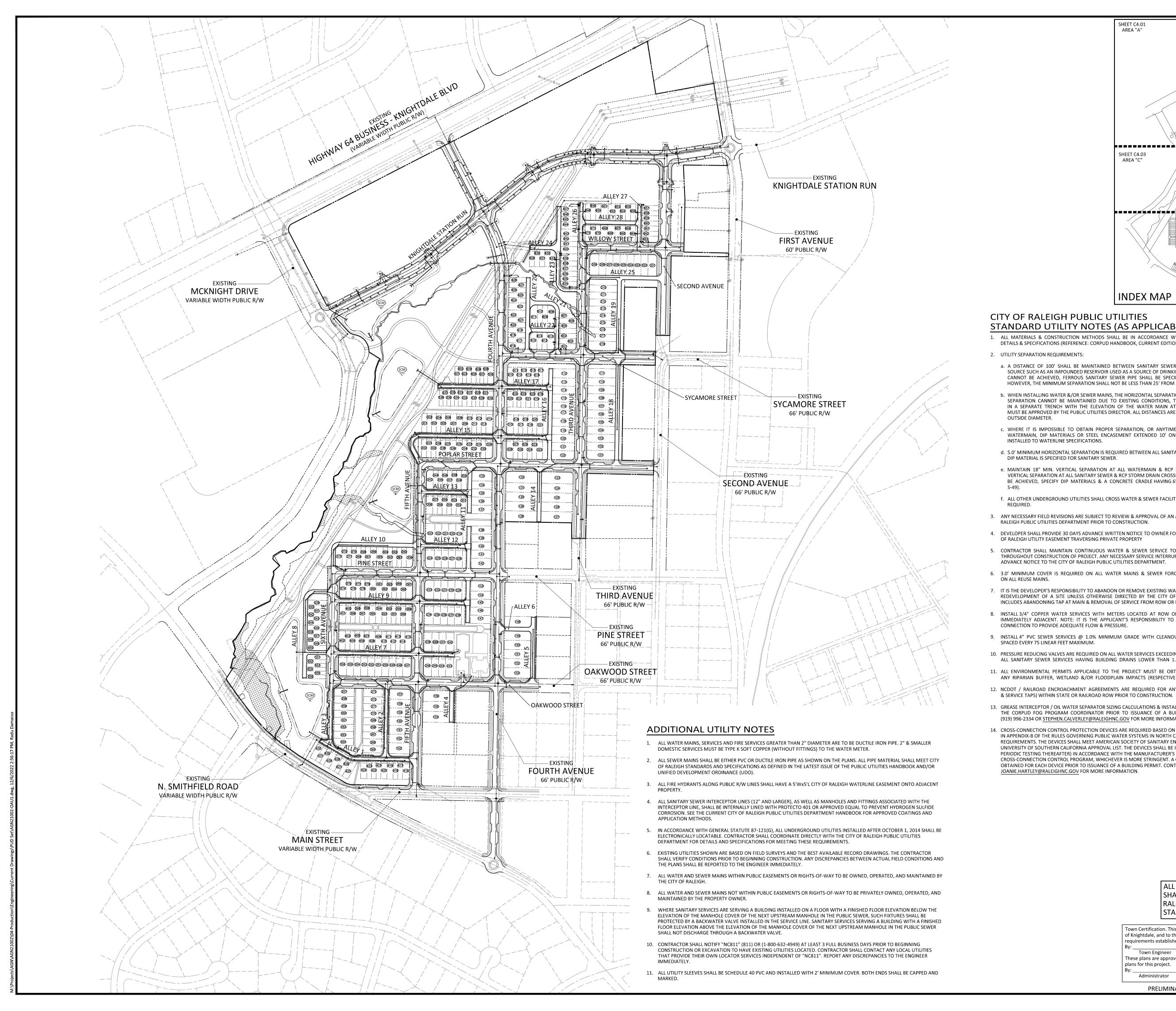


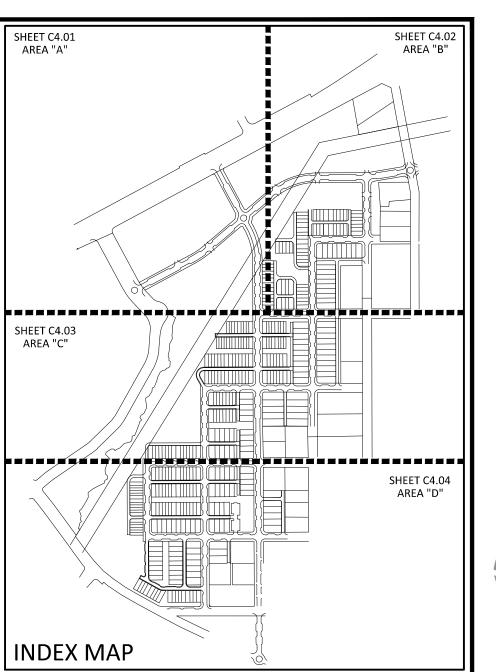
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CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)

a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.

b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.

d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 &

f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALFIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.

4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY

5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.

7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

8. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.

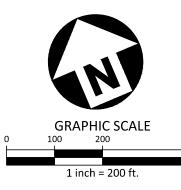
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.

10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE. 11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR

ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION. 12. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS

13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



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Town Engineer These plans are approved by the Town of Knightdale and serve as construction plans for this project. Date

Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



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REVISIONS

NO. DATE

PLAN INFORMATION

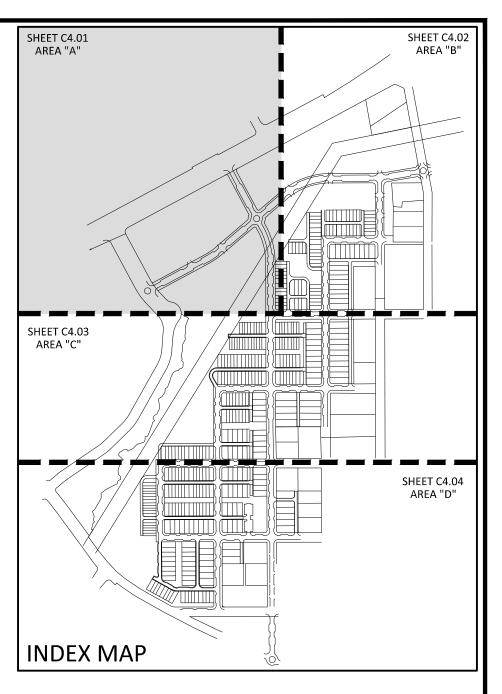
PROJECT NO.	AGN-21002
FILENAME	AGN21002-OAU1
CHECKED BY	JCM / TEP
DRAWN BY	LRS / RAD
SCALE	1" = 200'
DATE	10. 24. 2022
SHEET	

OVERALL UTILITY PLAN





Projects/AGN/AGN21002/04-Production/Engineering/Current Drawings/PUD Set/AGN21002-U1.dwg, 12/6/2022 2:56:41 PM, Radu Damacus



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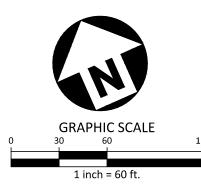


UTILITY LEGEND

→ → →	FIRE HYDRANT ASSEMBLY (FHA)
`	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
M	WATER VALVE
► PIV	POST INDICATOR VALVE
$\mathbf{\Theta}$	VALVE IN MANHOLE
	METER & VAULT
Ν	BACKFLOW PREVENTER
•	REDUCER
<u>ц</u>	PLUG
•₩	BLOW-OFF ASSEMBLY
\bullet	SANITARY SEWER MANHOLE
•	SEWER CLEAN-OUT
>	SEWER FLOW DIRECTION ARROW
	FLARED END SECTION
(ENDWALL SECTION
	CATCH BASIN
•	DROP INLET
0	JUNCTION BOX
	STORM DRAINAGE
·	WATERLINE
	SANITARY SEWER

EASEMENT LEGEND

- DE STORM DRAINAGE EASEMENT
- UE CITY OF RALEIGH UTILITY EASEMENT SSE CITY OF RALEIGH SANITARY SEWER EASEMENT
- (AE) PUBLIC ACCESS EASEMENT



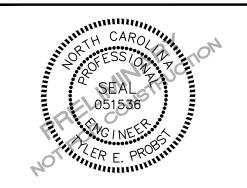
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Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





REVISIONS

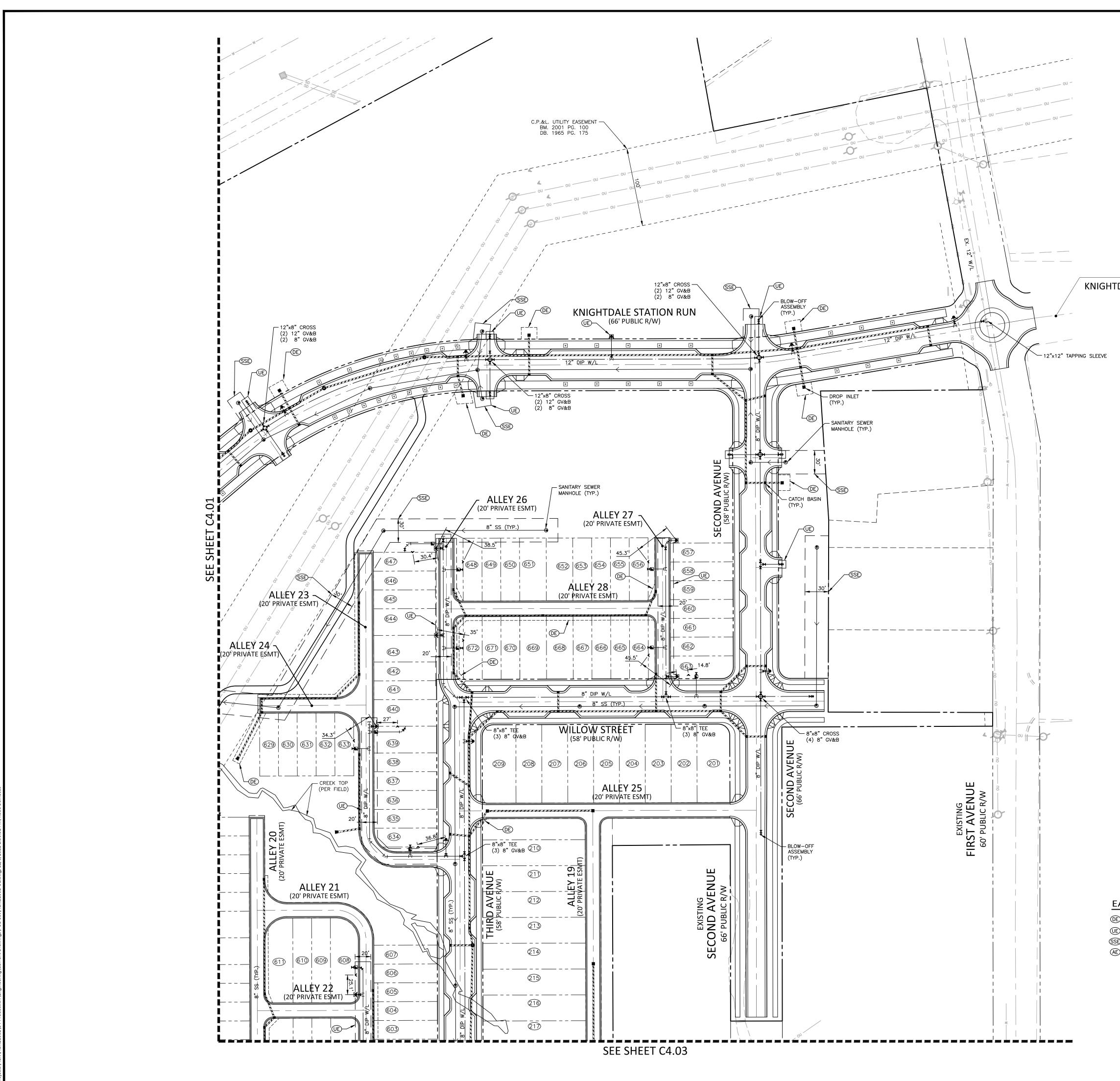
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PLAN INFORMATION

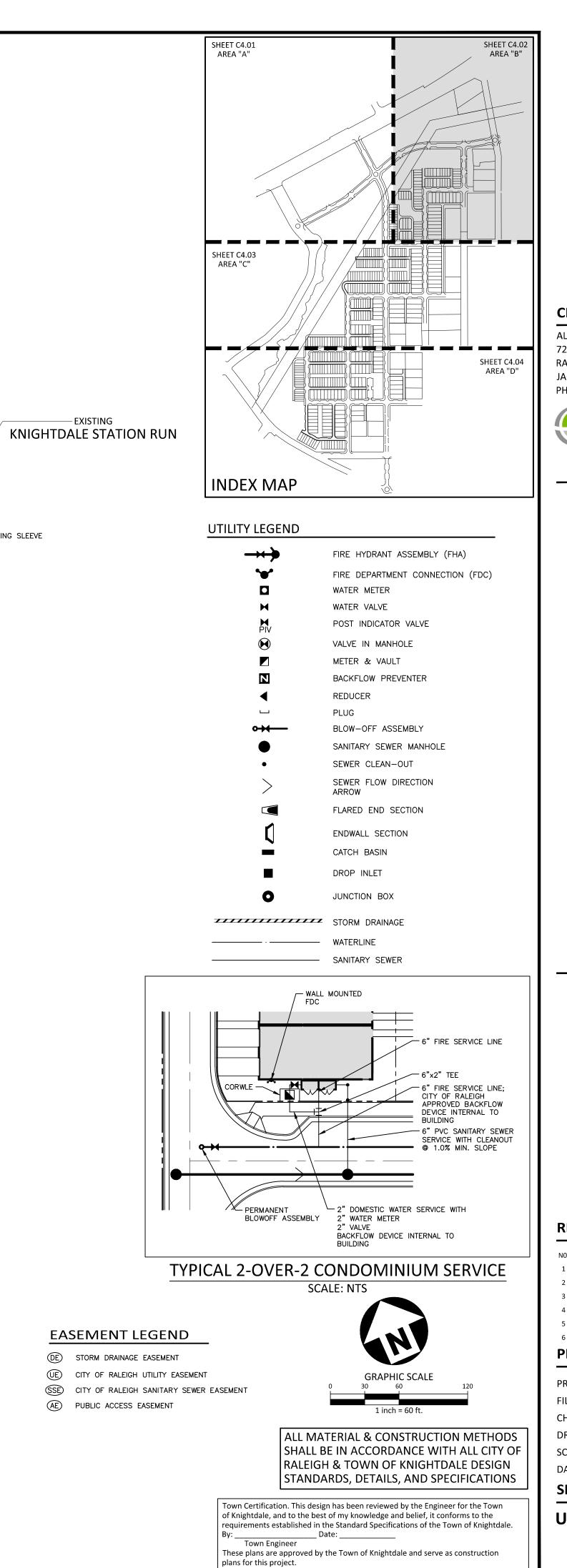
SHEET	
DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-U1
PROJECT NO.	AGN-21002

UTILITY PLAN - AREA "A"





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Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713

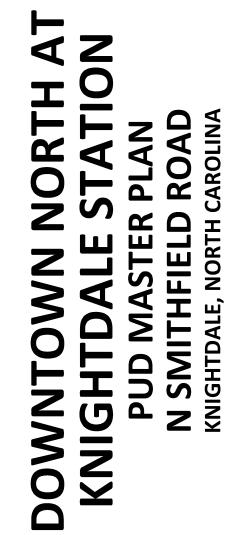
phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

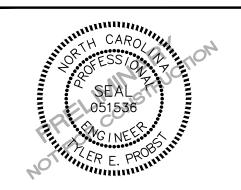
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CLIENT

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REVISIONS

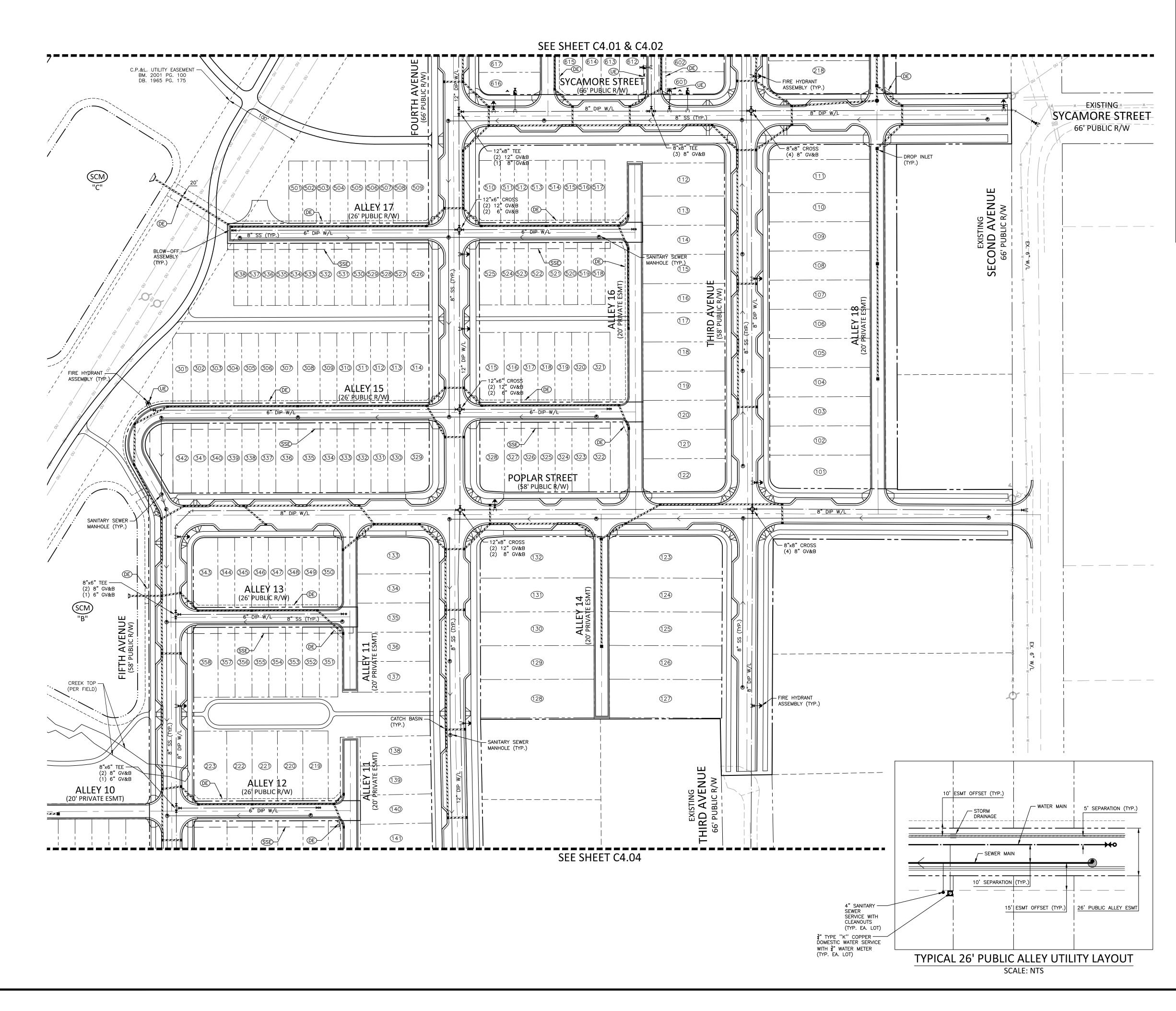
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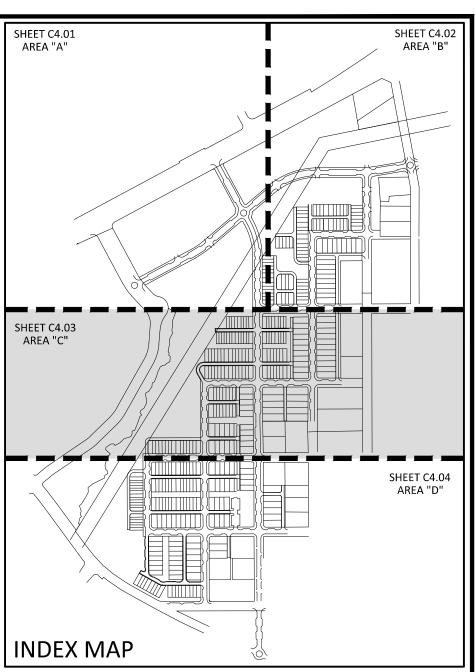
PROJECT NO.	AGN-21002
FILENAME	AGN21002-U1
CHECKED BY	JCM / TEP
DRAWN BY	LRS / RAD
SCALE	1" = 60'
DATE	10. 24. 2022
SHEET	

UTILITY PLAN - AREA "B"





jects\AGN\AGN21002\04-Production\Engineering\Current Drawings\PUD Set\AGN21002-U1.dwg, 12/6/2022 2:57:03 PM, Radu Damac





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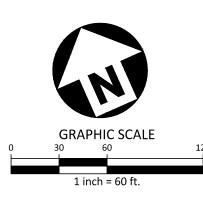


UTILITY LEGEND

~~~	FIRE HYDRANT ASSEMBLY (FHA)
` •*	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
Μ	WATER VALVE
PIV	POST INDICATOR VALVE
$\mathbf{\Theta}$	VALVE IN MANHOLE
	METER & VAULT
Ν	BACKFLOW PREVENTER
◀	REDUCER
<u>ц</u>	PLUG
•++	BLOW-OFF ASSEMBLY
\bullet	SANITARY SEWER MANHOLE
•	SEWER CLEAN-OUT
>	SEWER FLOW DIRECTION ARROW
	FLARED END SECTION
(ENDWALL SECTION
	CATCH BASIN
	DROP INLET
0	JUNCTION BOX
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	STORM DRAINAGE
	WATERLINE
	SANITARY SEWER

EASEMENT LEGEND

- DE STORM DRAINAGE EASEMENT
- UE CITY OF RALEIGH UTILITY EASEMENT
- SSE CITY OF RALEIGH SANITARY SEWER EASEMENT
- (AE) PUBLIC ACCESS EASEMENT



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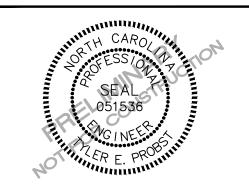
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Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





REVISIONS

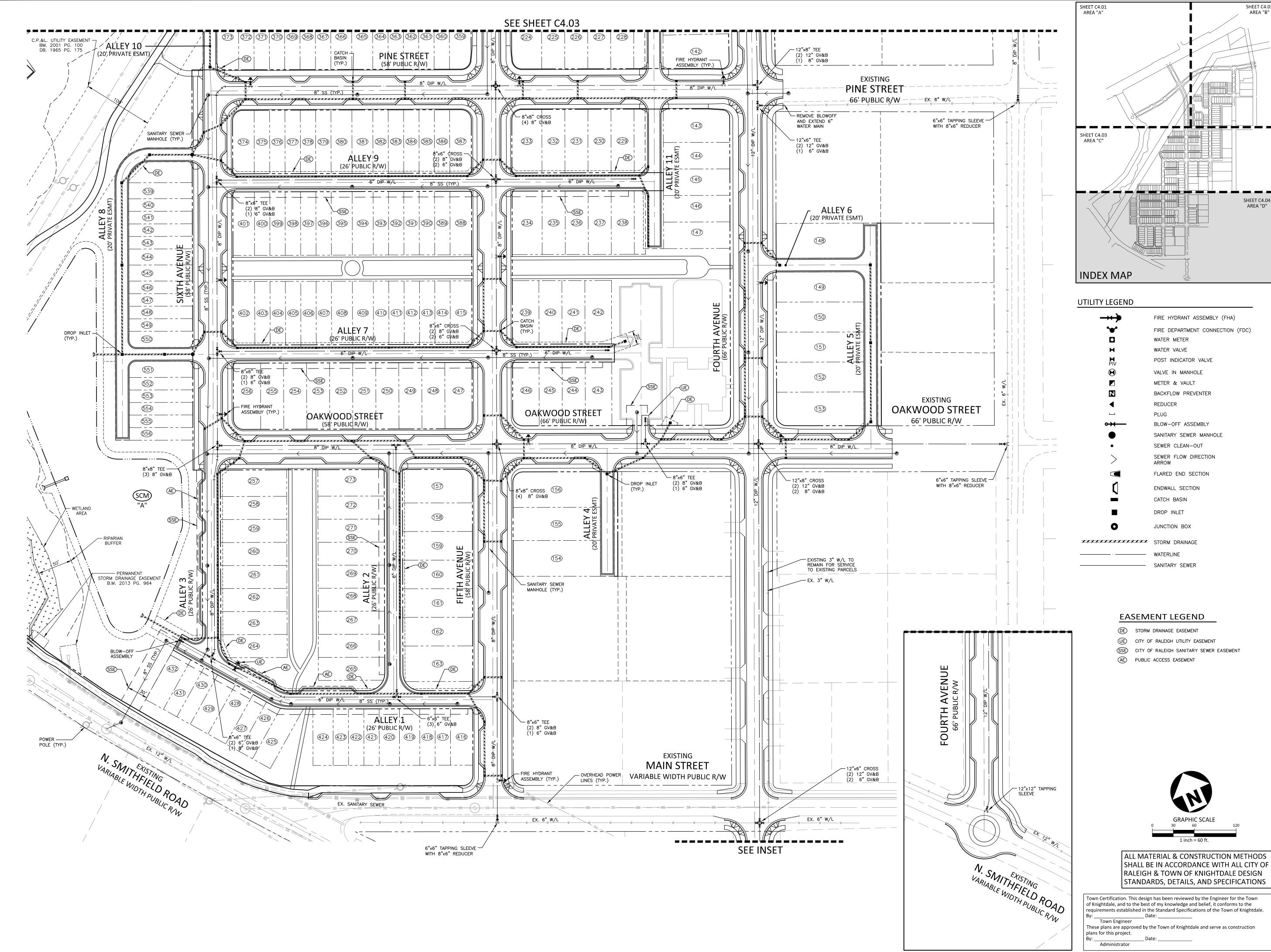
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PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-U1
PROJECT NO.	AGN-21002

UTILITY PLAN - AREA "C"





PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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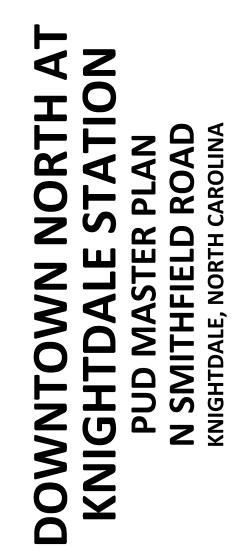
SHEET C4.02 AREA "B"

SHEET C4.04

AREA "D"

ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486







REVISIONS

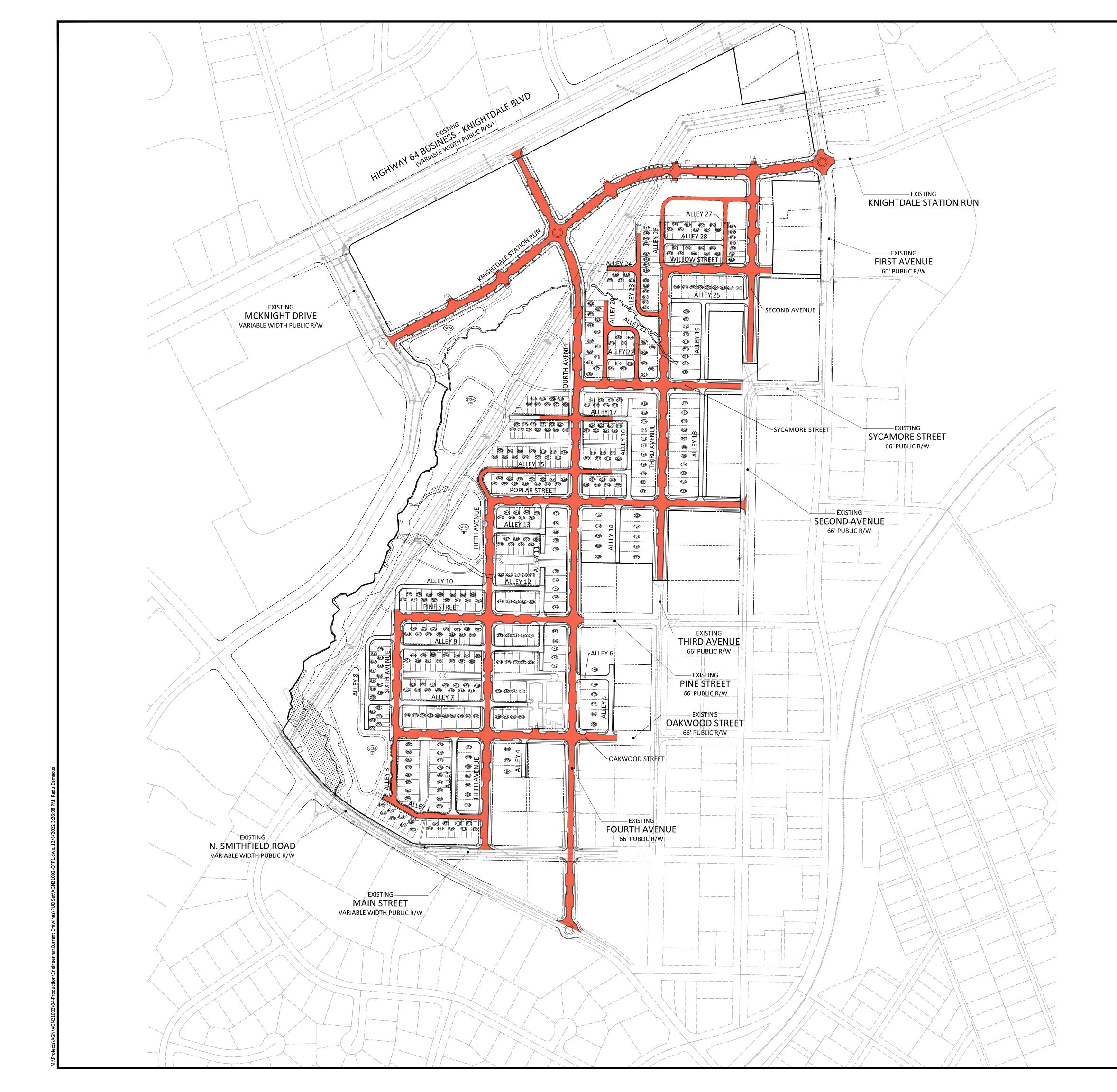
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PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	LRS / RAD
CHECKED BY	JCM / TEP
FILENAME	AGN21002-U1
PROJECT NO.	AGN-21002

UTILITY PLAN - AREA "D"







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phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

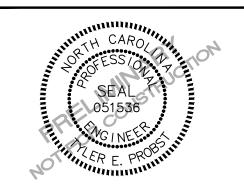
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DOWNTOWN NORTH AT KNIGHTDALE STATION PUD MASTER PLAN N SMITHFIELD ROAD KNIGHTDALE, NORTH CAROLINA



REVISIONS

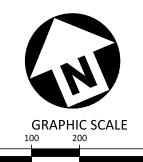
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PLAN INFORMATION

PROJECT NO.	AGN-21002
FILENAME	AGN21002-OFP1
CHECKED BY	JCM / TEP
DRAWN BY	LRS / RAD
SCALE	1" = 200'
DATE	10. 24. 2022
SHEET	





1 inch = 200 ft.

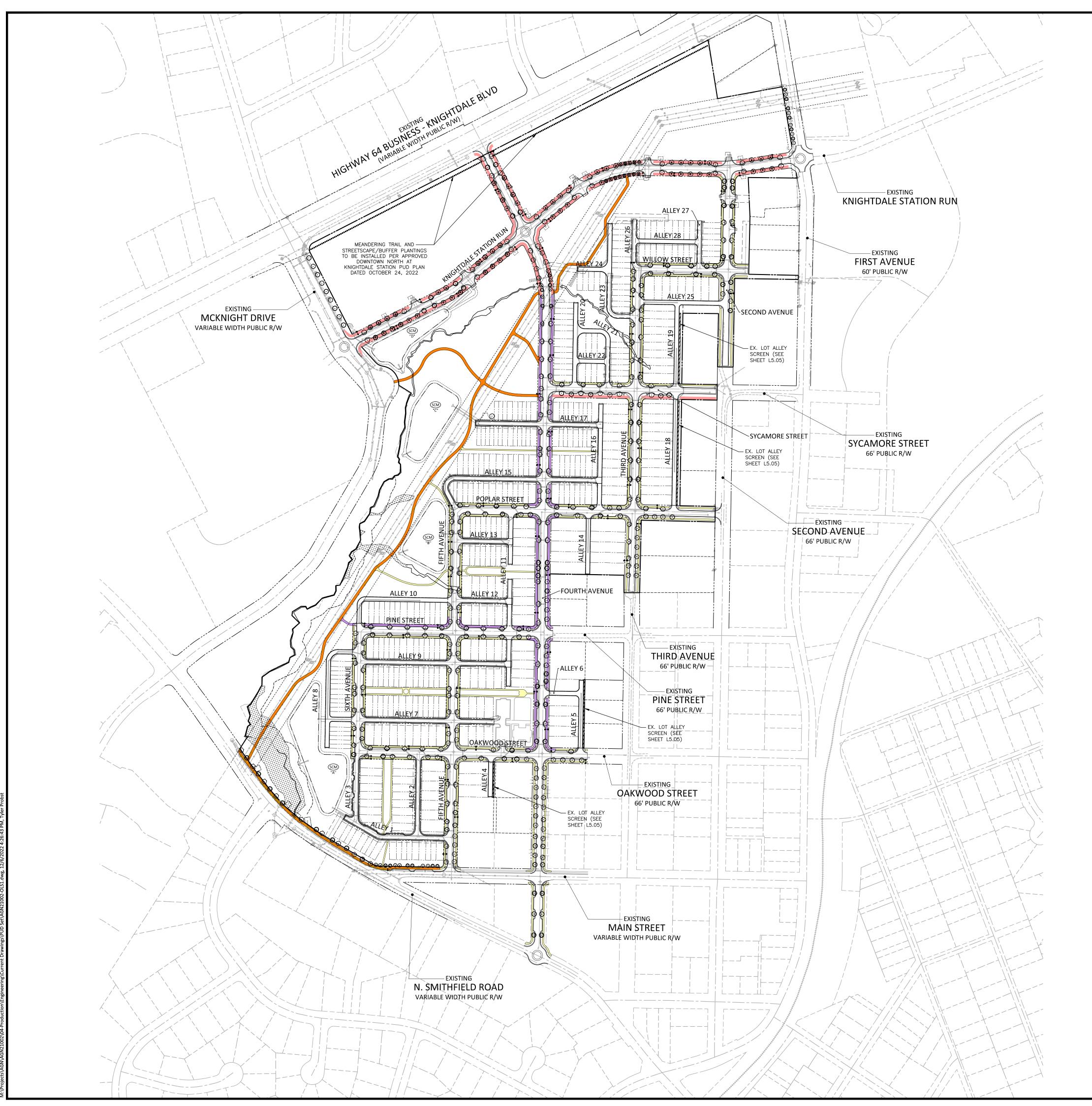
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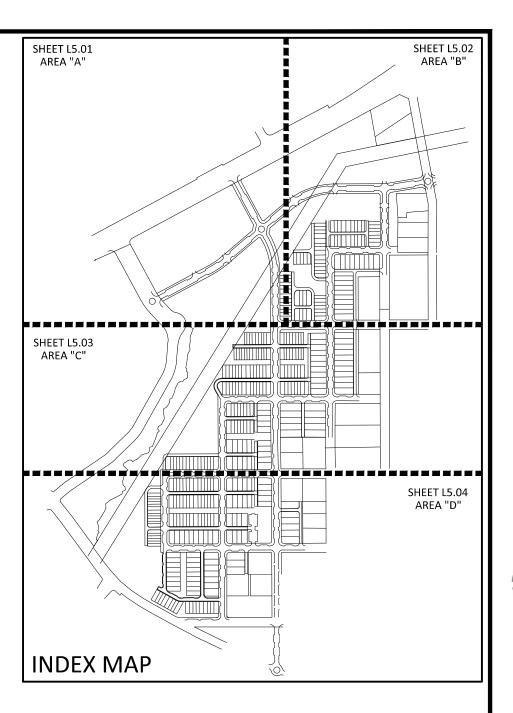
By: _____ Date: _____ Town Engineer These plans are approved by the Town of Knightdale and serve as construction plans for this project. By: _____ Date: ____

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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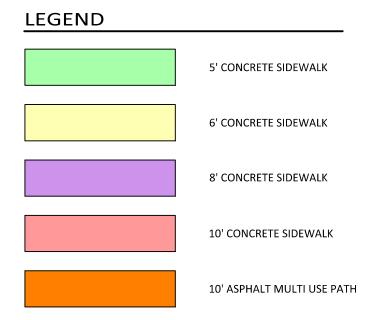
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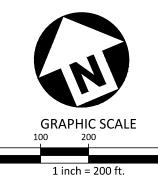
ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



PLANT SCHEDULE OVERALL

TLANT SCILL	PLANT SCHEDULE OVERALL					
CANOPY TREES	CODE	<u>QTY</u>	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
\bigcirc	ASM	54	Legacy Sugar Maple	Acer saccharum 'Legacy'	2" min	8` min
$\left(\cdot \right)$	CAC	37	American Hornbeam	Carpinus caroliniana	2" min	8` min
00000000000000000000000000000000000000	PSC	40	Chinese Pistache	Pistacia chinensis	2" min	8` min
en e	LOP	32	Columbia London Plane Tree	Platanus x acerifolia 'Columbia'	2" min	8` min
$\overline{\cdot}$	QUA	27	Sawtooth Oak	Quercus acutissima	2" min	8` min
\bigcirc	QLY	34	Highbeam Overcup Oak	Quercus lyrata 'QLFTB' TM	2" min	8` min
from a start of the start of th	QPL	34	Willow Oak	Quercus phellos	2" min	8` min
$\langle \cdot \rangle$	QXW	45	Streetwise Red Oak	Quercus x 'QRSW18' TM	2" min	8` min
\bigcirc	TIA	35	American Linden	Tilia americana	2" min	8` min
\bigcirc	UPE	42	Allee [®] Lacebark Elm	Ulmus parvifolia `Emer II`	2" min	8` min
	ZSG	39	Green Vase Japanese Zelkova	Zelkova serrata `Green Vase`	2" min	8` min
UNDERSTORY TREES	CODE	<u>QTY</u>	COMMON NAME	BOTANICAL NAME	<u>CAL</u>	HEIGHT
Juran and	ACB	7	Trident Maple	Acer buergerianum	1.5" min	6` min
+	КАР	16	Golden Rain Tree	Koelreuteria paniculata	1.5" min	6` min
60000000 6 • 5 60000000	PNO	23	Okame Flowering Cherry	Prunus x 'Okame'	1.5" min	6` min





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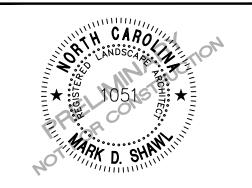
Administrator

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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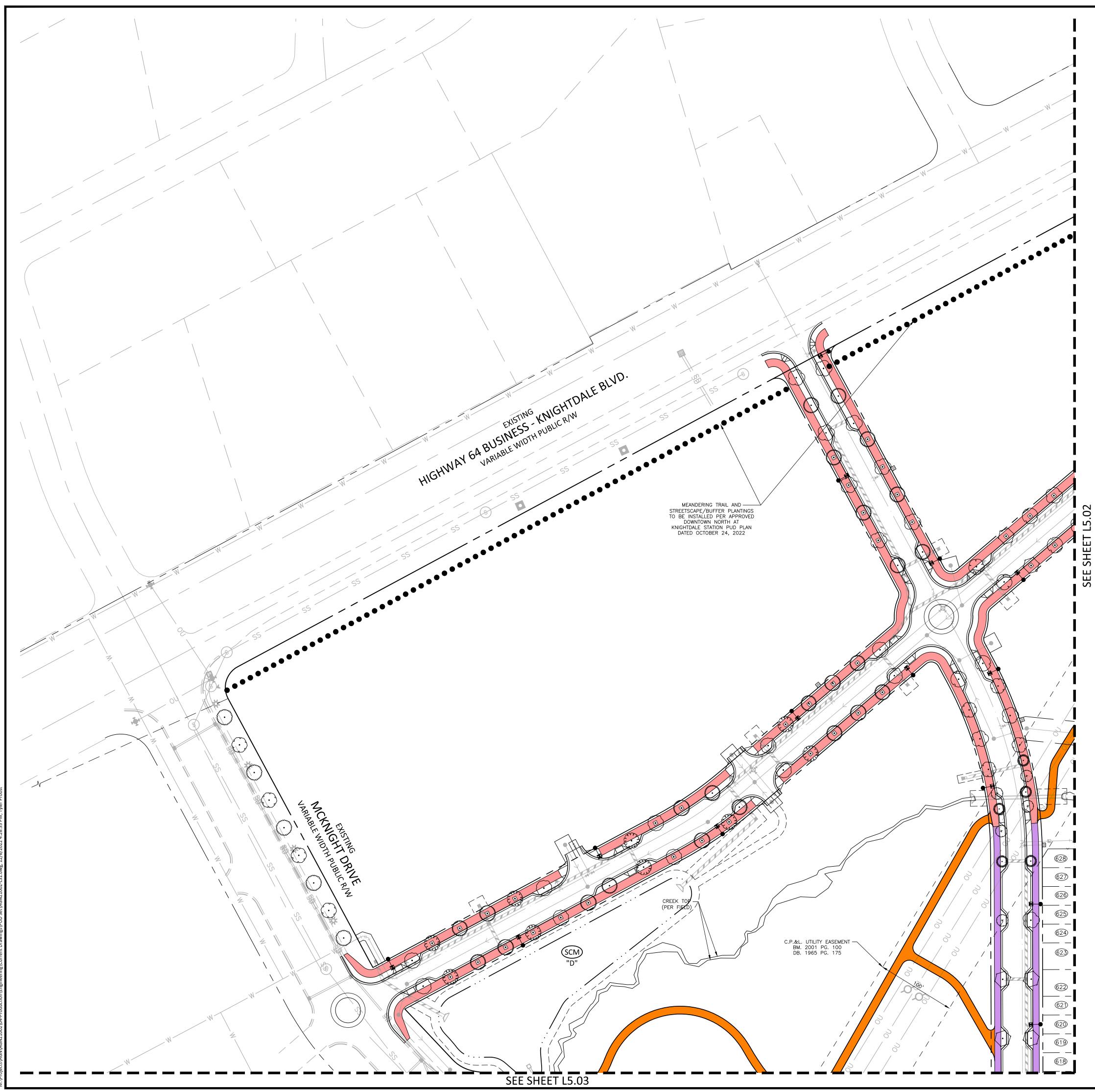
REVISIONS

NO. DATE

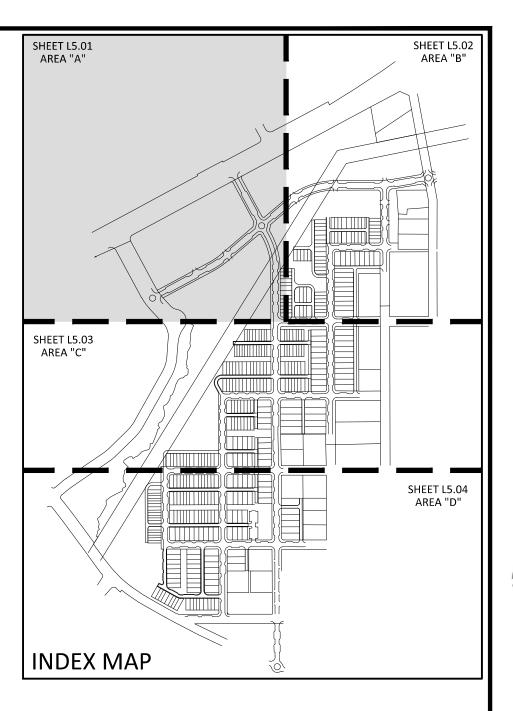


PLAN INFORMATION PROJECT NO. AGN-21002 AGN21002-OLS1 FILENAME CHECKED BY XXX DRAWN BY XXX SCALE 1" = 200' DATE 10. 24. 2022 SHEET

OVERALL LANDSCAPE PLAN



SHE



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phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

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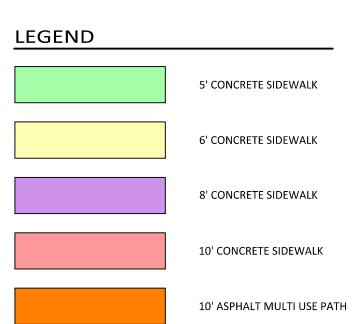
CLIENT

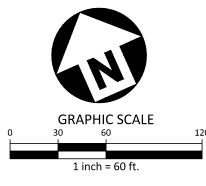
ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



PLANT SCHEDULE AREA "A"

CANOPY TREES	COMMON NAME	BOTANICAL NAME
\bigcirc	Legacy Sugar Maple	Acer saccharum 'Legacy'
$\left(\cdot \right)$	American Hornbeam	Carpinus caroliniana
6 ⁰⁰⁰⁰⁰⁰ 000 8 ⁰ € 8 8 ⁰ € 8 8 ⁰⁰⁰⁰⁰⁰⁰⁰⁰	Chinese Pistache	Pistacia chinensis
	Columbia London Plane Tree	Platanus x acerifolia 'Columbia'
$\overline{\cdot}$	Sawtooth Oak	Quercus acutissima
\bigcirc	Highbeam Overcup Oak	Quercus lyrata 'QLFTB' TM
£	Willow Oak	Quercus phellos
$\langle \cdot \rangle$	Streetwise Red Oak	Quercus x 'QRSW18' TM
$\overline{\mathbf{\cdot}}$	Allee [®] Lacebark Elm	Ulmus parvifolia `Emer II`
	Green Vase Japanese Zelkova	Zelkova serrata `Green Vase`
UNDERSTORY TREES	COMMON NAME	BOTANICAL NAME
+	Golden Rain Tree	Koelreuteria paniculata
South Contraction of the second secon	Okame Flowering Cherry	Prunus x 'Okame'





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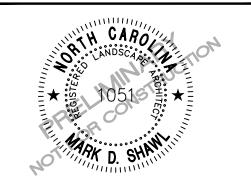
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





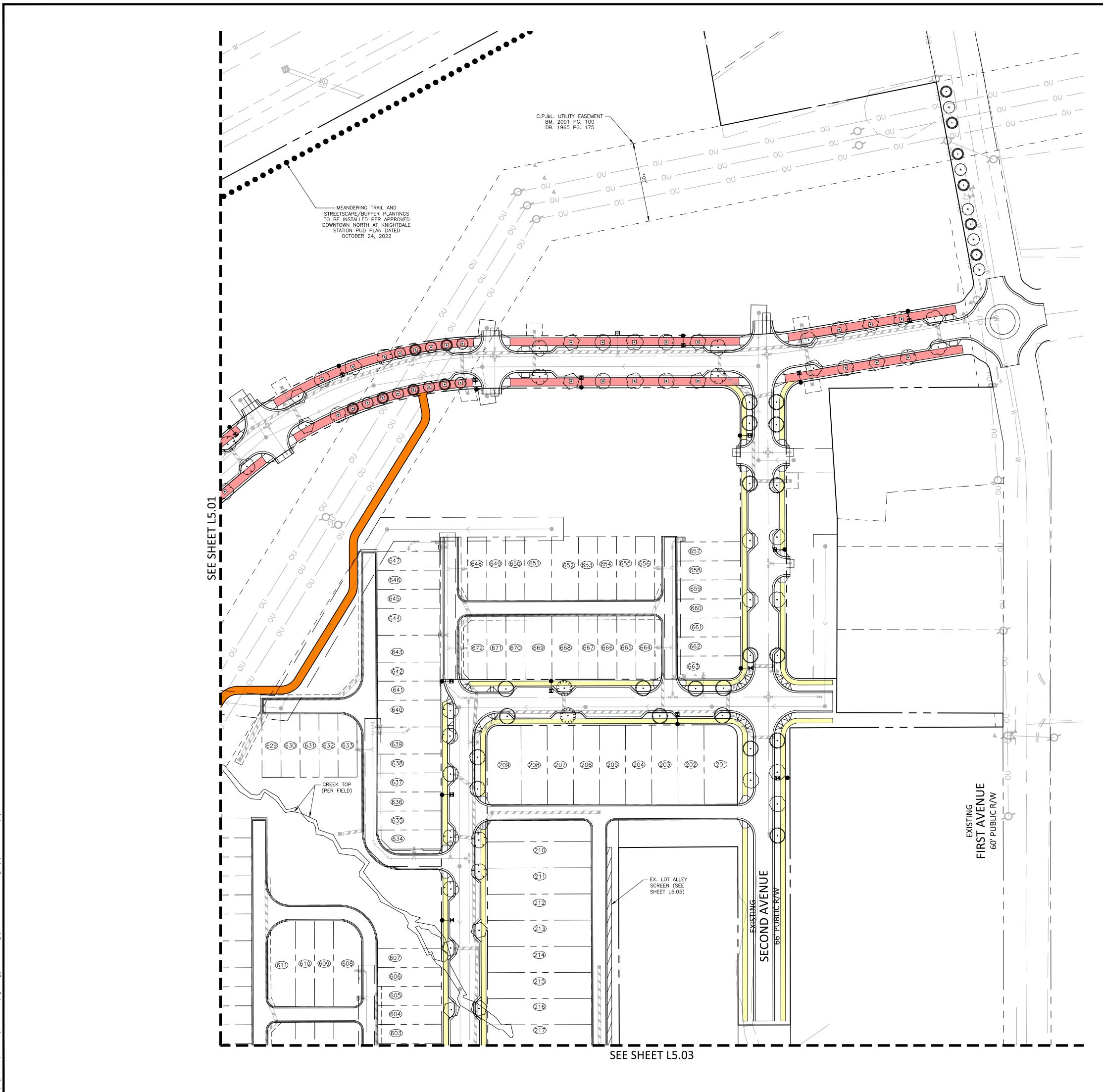
REVISIONS

- NO. DATE

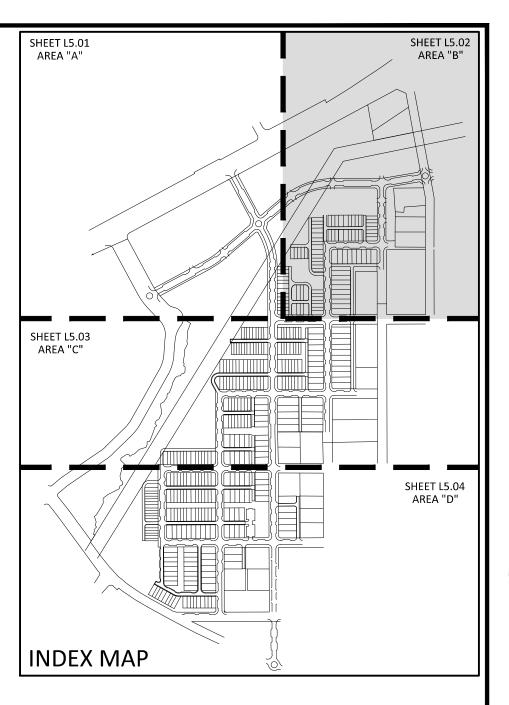
PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1" = 60'
DRAWN BY	XXX
CHECKED BY	XXX
FILENAME	AGN21002-LS1
PROJECT NO.	AGN-21002

LANDSCAPE PLAN -AREA "A" L5.01



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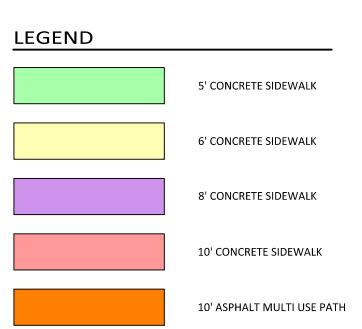
CLIENT

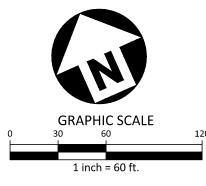
ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



PLANT SCHEDULE AREA "B"

CANOPY TREES	COMMON NAME	BOTANICAL NAME
\bigcirc	Legacy Sugar Maple	Acer saccharum 'Legacy'
$\left(\cdot \right)$	American Hornbeam	Carpinus caroliniana
60000000000000000000000000000000000000	Chinese Pistache	Pistacia chinensis
$\overbrace{\cdot}$	Sawtooth Oak	Quercus acutissima
\bigcirc	Highbeam Overcup Oak	Quercus lyrata 'QLFTB' TM
	Willow Oak	Quercus phellos
$\overline{\cdot}$	Streetwise Red Oak	Quercus x 'QRSW18' TM
\bigcirc	Allee [®] Lacebark Elm	Ulmus parvifolia `Emer II`
Ex was	Green Vase Japanese Zelkova	Zelkova serrata `Green Vase`
UNDERSTORY TREES	COMMON NAME	BOTANICAL NAME
y and the second	Trident Maple	Acer buergerianum
+	Golden Rain Tree	Koelreuteria paniculata
South and a second a	Okame Flowering Cherry	Prunus x 'Okame'





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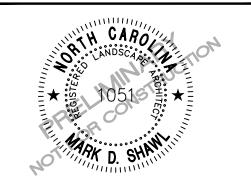
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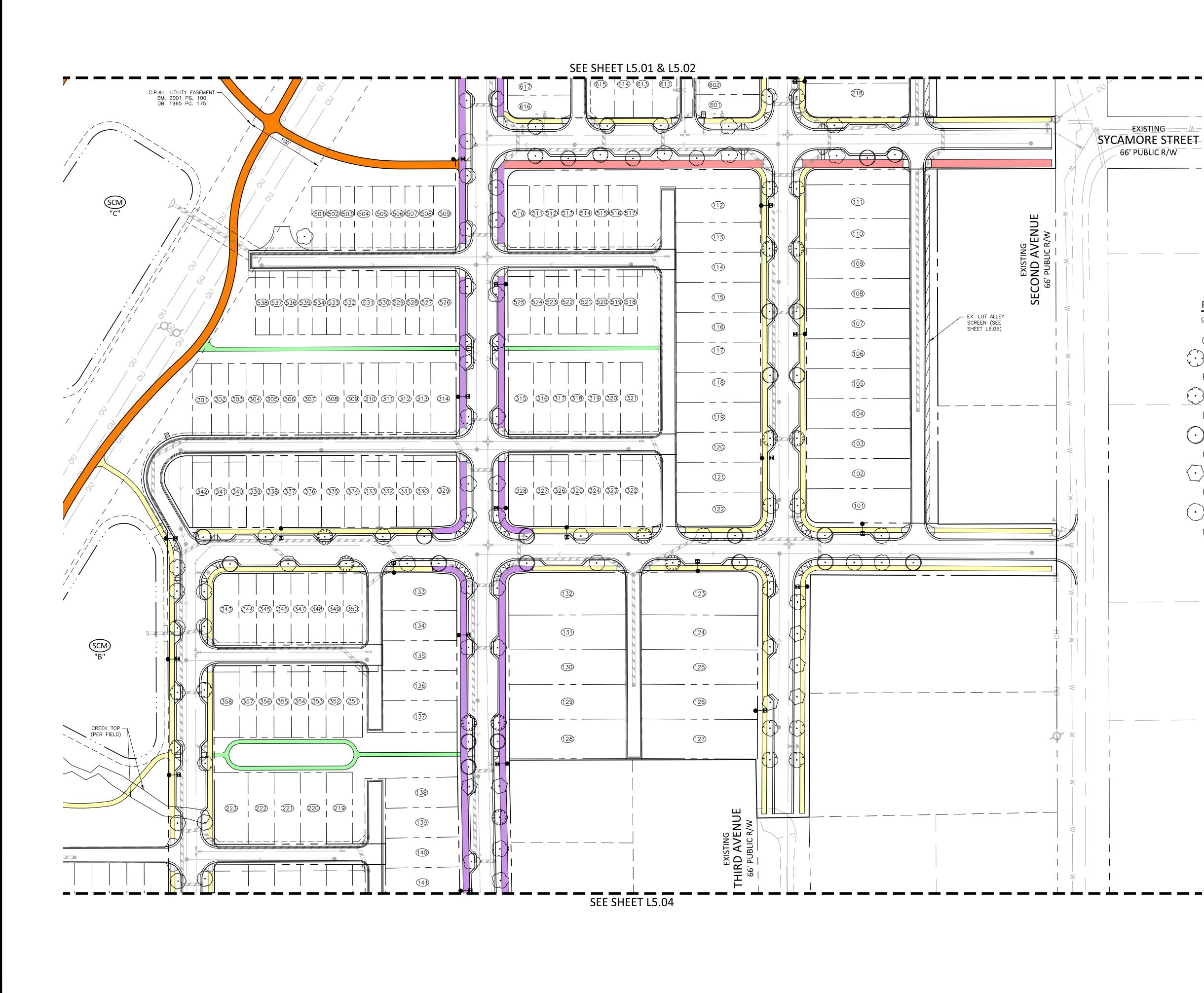
REVISIONS

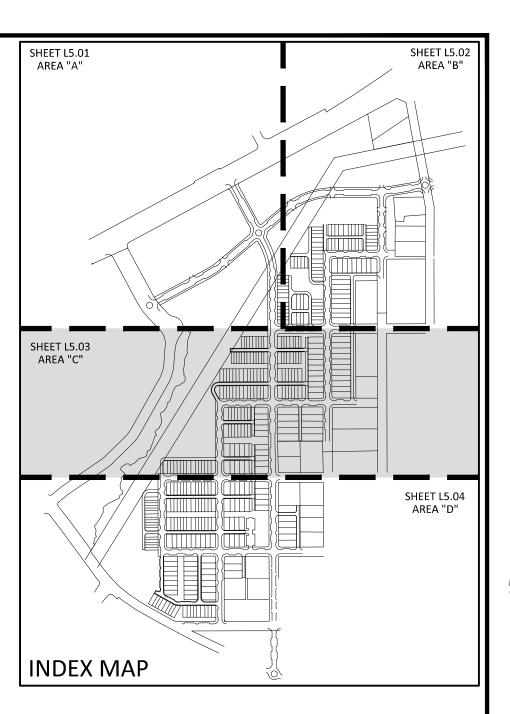
- NO. DATE
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PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	XXX
CHECKED BY	XXX
FILENAME	AGN21002-LS1
PROJECT NO.	AGN-21002

LANDSCAPE PLAN -AREA ''B'' L5.02







The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ALLIANCE GROUP OF NC, LLC 7208 FALLS OF NEUSE RD, SUITE 101 RALEIGH, NORTH CAROLINA 27615 JACOB ANDERSON PHONE: 919. 239. 9486



PLANT SCHEDULE AREA "C"

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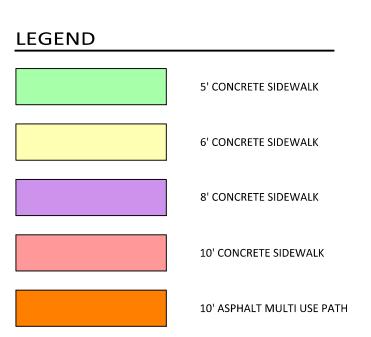
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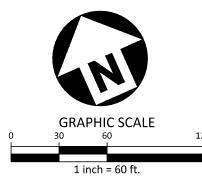
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CANOPY TREES	COMMON NAME	BOTANICAL NAME
\bigcirc	Legacy Sugar Maple	Acer saccharum 'Legacy'
	American Hornbeam	Carpinus caroliniana
00000000000000000000000000000000000000	Chinese Pistache	Pistacia chinensis
·······································	Columbia London Plane Tree	Platanus x acerifolia 'Columbia'
(·)	Sawtooth Oak	Quercus acutissima
$\overline{\cdot}$	Highbeam Overcup Oak	Quercus lyrata 'QLFTB' TM
	Willow Oak	Quercus phellos
\cdot	Streetwise Red Oak	Quercus x 'QRSW18' TM
\odot	American Linden	Tilia americana
\cdot	Allee [®] Lacebark Elm	Ulmus parvifolia `Emer II`
E	Green Vase Japanese Zelkova	Zelkova serrata `Green Vase`





ALL MATERIAL & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH & TOWN OF KNIGHTDALE DESIGN STANDARDS, DETAILS, AND SPECIFICATIONS

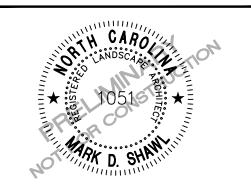
Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale. _ Date: ____ Town Engineer

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





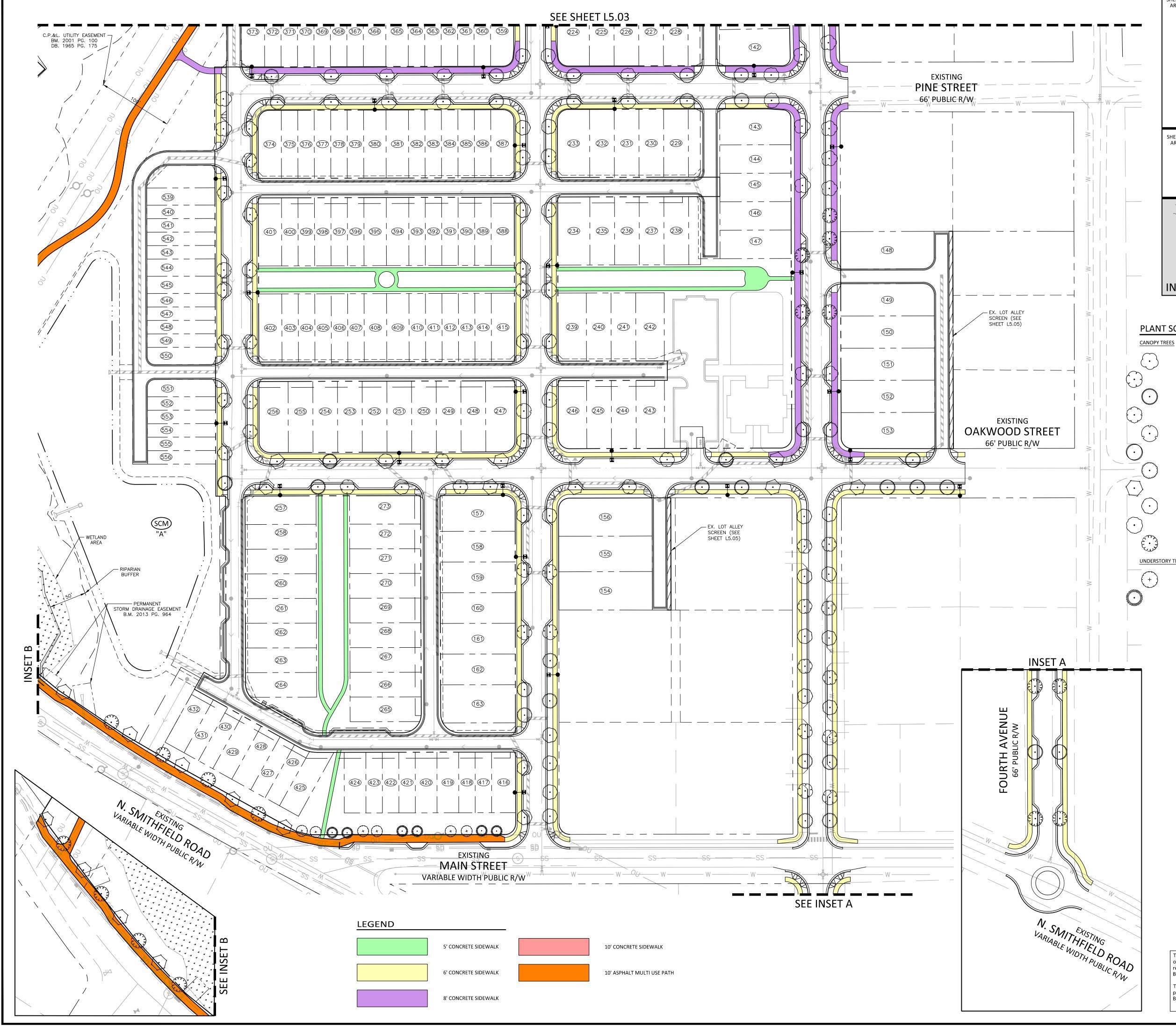
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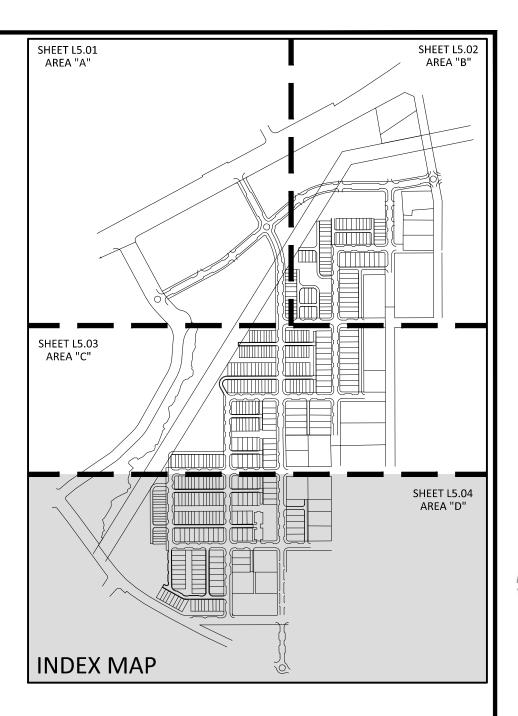
- NO. DATE

PLAN INFORMATION

SHEET	
DATE	10. 24. 2022
SCALE	1'' = 60'
DRAWN BY	XXX
CHECKED BY	XXX
ILENAME	AGN21002-LS1
PROJECT NO.	AGN-21002







MCADAMS

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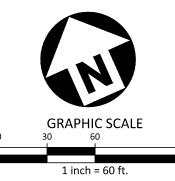
PLANT SCHEDULE AREA "D"

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CANOPY TREES	COMMON NAME	BOTANICAL NAME
\bigcirc	Legacy Sugar Maple	Acer saccharum 'Legacy'
	American Hornbeam	Carpinus caroliniana
60000000000000000000000000000000000000	Chinese Pistache	Pistacia chinensis
	Columbia London Plane Tree	Platanus x acerifolia 'Columbia'
(·)	Sawtooth Oak	Quercus acutissima
$\overline{\cdot}$	Highbeam Overcup Oak	Quercus lyrata 'QLFTB' TM
- { · · · · · · · · · · · · · · · · · ·	Willow Oak	Quercus phellos
\cdot	Streetwise Red Oak	Quercus x 'QRSW18' TM
\odot	American Linden	Tilia americana
\cdot	Allee [®] Lacebark Elm	Ulmus parvifolia `Emer II`
	Green Vase Japanese Zelkova	Zelkova serrata `Green Vase`
UNDERSTORY TREES	COMMON NAME	BOTANICAL NAME
+	Golden Rain Tree	Koelreuteria paniculata
• \$	Okame Flowering Cherry	Prunus x 'Okame'



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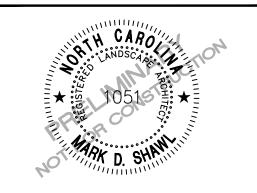
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REVISIONS

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DATE	10. 24. 2022
SHEET	



LANDSCAPE	E CALCULATIONS	
STREET TREES		
SECOND AVENUE*		1,040 LF
CANOPY TREES REQUIRED: PROVIDED:	26 (1/40 LF) 18	
THIRD AVENUE*		2,429 LF
CANOPY TREES REQUIRED: PROVIDED:	61 (1/40 LF) 37	
FOURTH AVENUE*		4,873 LF
CANOPY TREES REQUIRED: PROVIDED:	121 (1/40 LF) 78	
FIFTH AVENUE*		3,032 LF
CANOPY TREES REQUIRED: PROVIDED:	76 (1/40 LF) 44	
SIXTH AVENUE*		908 LF
CANOPY TREES REQUIRED: PROVIDED:	23 (1/40 LF) 15	
POPLAR STREET*		1,732 LF
CANOPY TREES REQUIRED: PROVIDED:	44 (1/40 LF) 25	
PINE STREET*		1,528 LF
CANOPY TREES REQUIRED: PROVIDED:	39 (1/40 LF) 20	
OAKWOOD STREET*		1,810 LF
CANOPY TREES REQUIRED: PROVIDED:	46 (1/40 LF) 24	
MAIN STREET		280 LF
UNDERSTORY TREES REQUIRED: PROVIDED:	5 12 (1/25 LF) 12	
N. SMITHFIELD ROAD		292 LF
CANOPY TREES REQUIRED: PROVIDED:	8 (1/40 LF) 8	
KNIGHTDALE STATION F	RUN*	3,615 LF
CANOPY TREES REQUIRED: PROVIDED:	91 (1/40 LF) 75	

*STREET TREES PROVIDED HAVE BEEN REDUCED TO PROVIDE ON-STREET PARKING AT RESIDENTIAL UNITS. FOURTH AVENUE AND KNIGHTDALE STATION RUN ARE REDUCED FURTHER DUE TO CP&L POWER EASEMENT.

1.	ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2.	CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3.	LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4.	CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5.	ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6.	VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCRPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
13.	SUBSTITUTIONS OF SPECIFIC PLANTS CAN ONLY OCCUR WITH PRIOR WRITTEN PERMISSION OF BOTH OWNER AND LANDSCAPE ARCHITECT.
14.	CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
15.	LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY AMERICAN HORT - AMERICANHORT.ORG.
16.	ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
17.	ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
18.	ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
19.	ALL TREES MUST BE PLANTED AFTER OCTOBER 1 AND BEFORE MARCH 31.
20.	CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
21.	CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
22.	PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.

GENERAL LANDSCAPE NOTES:

23. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.

24. ALL TREE PLANTINGS SHALL BE MULCHED WITH 3 INCHES OF SHREDDED BARK OR 4 INCHES OF PINE STRAW IN A 3 FOOT RADIUS AROUND THE TREE, OR TO THE DRIPLINE, WHICHEVER IS GREATER. THE MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE THEREAFTER. MULCH SHALL NOT COVER THE ROOT COLLAR.

MAINTENANCE NOTES:

1. WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

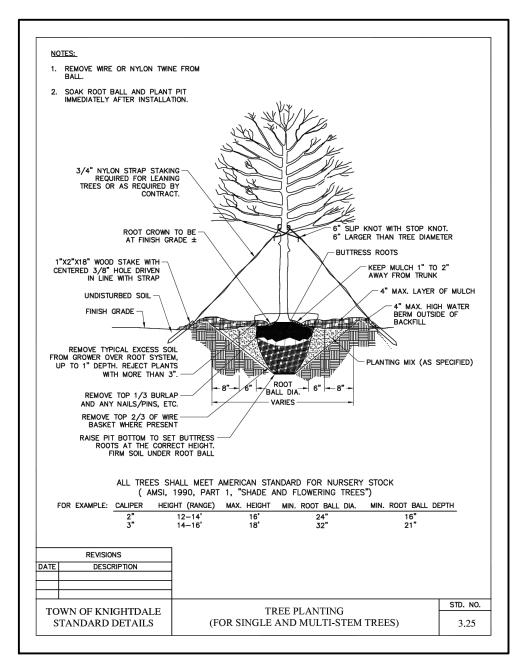
- DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.

2. THE OWNERS OF PROPERTY SHALL BE RESPONSIBLE FOR ALL NATURAL AND PHYSICAL FEATURES REQUIRED BY CODE AND SHALL PRESERVE AND MAINTAIN THESE FEATURES IN HEALTHY GROWING CONDITIONS, REPLACE THEM WHEN NECESSARY, AND KEEP THE AREAS AROUND THEM FREE OF REFUSE AND DEBRIS IN A MANNER THAT PREVENTS REFUSE AND DEBRIS FROM WASHING ONTO PUBLIC RIGHTS-OF-WAY. FAILURE TO MAINTAIN ALL PLANTINGS IN ACCORDANCE WITH THIS PLAN MAY CONSTITUTE A VIOLATION OF THIS ORDINANCE AND MAY RESULT IN FINES. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE VEGETATION, INCLUDING BUT NOT LIMITED TO:

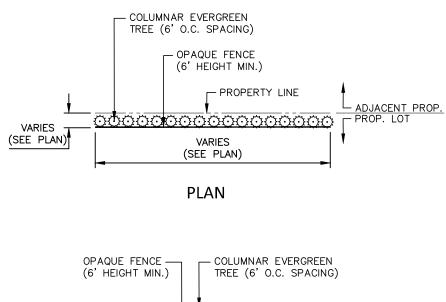
- FERTILIZATIONPRUNING WITHIN LIMITS
- PEST CONTROL
- MULCHINGMOWING
- PROTECTION OF THE ROOT ZONES FROM EQUIPMENT, CONSTRUCTION AND
- RELATED MATERIALS, ETC.METHOD OF IRRIGATION
- OTHER CONTINUING MAINTENANCE OPERATIONS

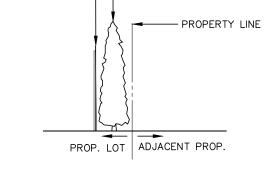
RESIDENTIAL LANDSCAPING NOTES:

- 1. EACH SINGLE-FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF ONE CANOPY TREE FOR EVERY 2,000 SF OF LOT AREA OR FRACTION THEREOF UP TO 20,000 SF IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE ADMINISTRATOR.
- 2. THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN 6 INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
- 3. REQUIRED STREET TREES MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT. APART FROM REQUIRED STREET TREES, ALL OTHER TREES REQUIRED FOR RESIDENTIAL LANDSCAPING SHALL BE PLANTED WITHIN THE PRIVATE LOT.
- 4. FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO FEET IN HEIGHT PLANTED AT FOUR FOOT INTERVALS.



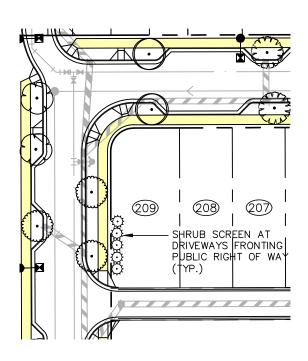
EX. LOT ALLEY BUFFER DETAIL

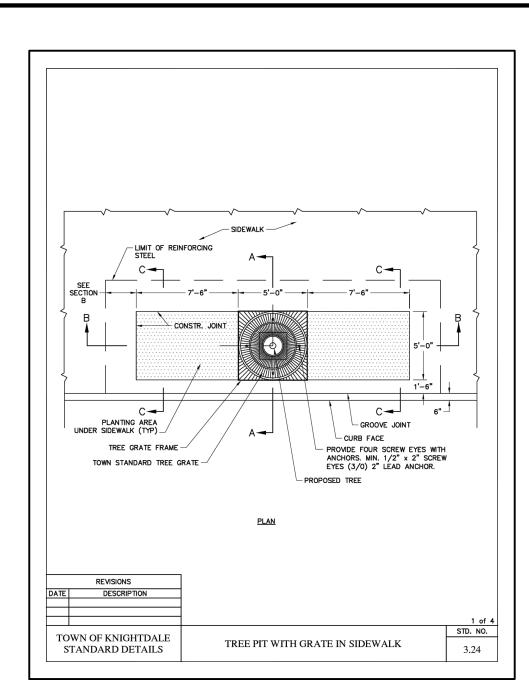


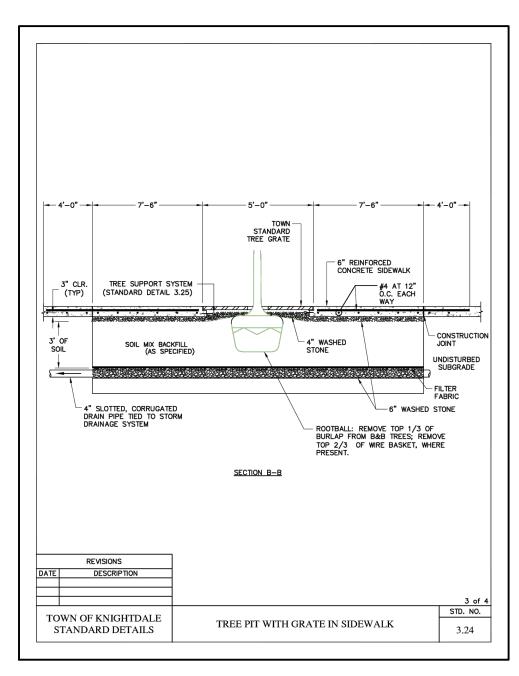


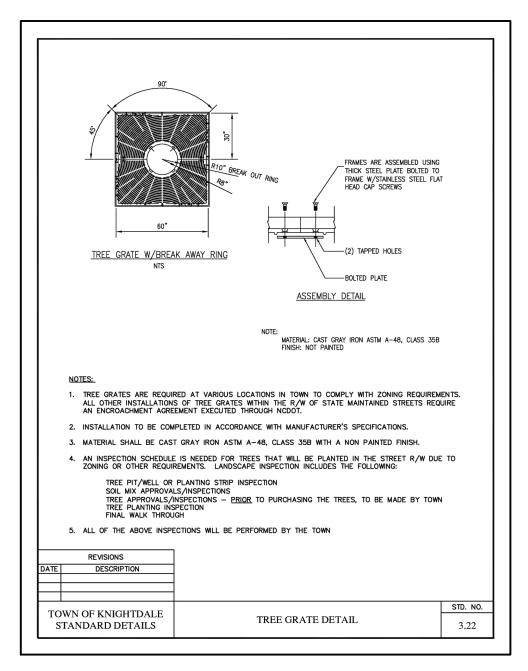
ELEVATION

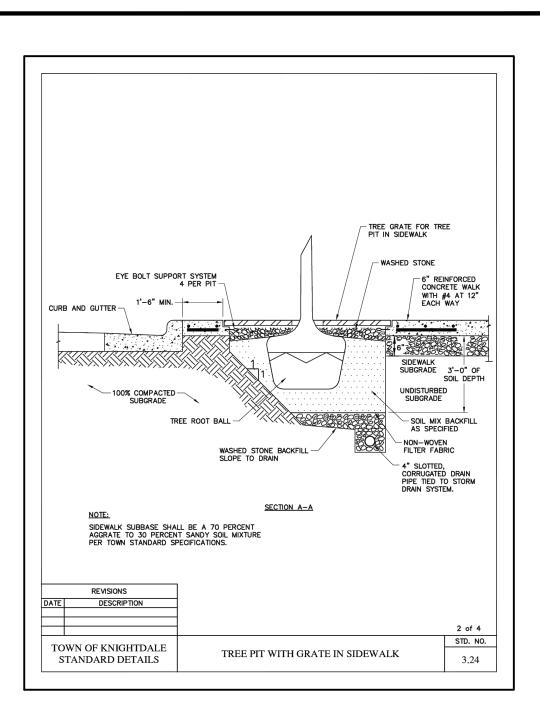
ALLEY PARKING BUFFER DETAIL

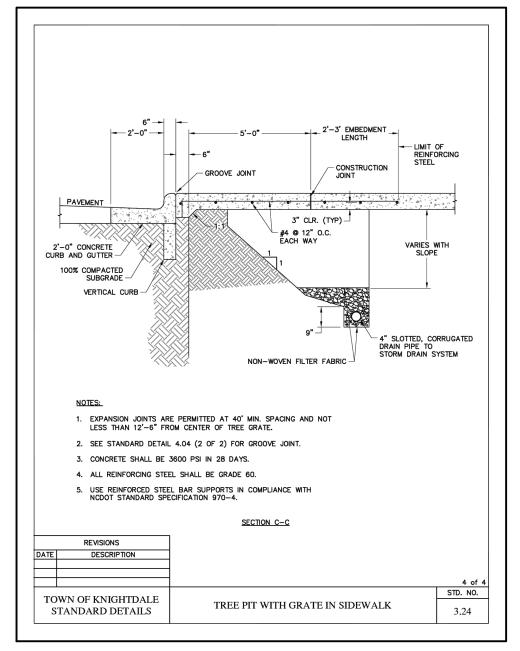


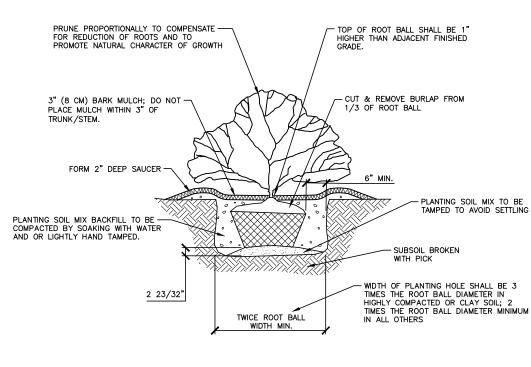












01 SHRUB INSTALLATION SCALE: 3/8"=1'-0"

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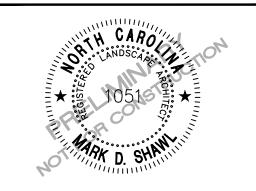
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DOWNTOWN NORTH AT KNIGHTDALE STATION PUD MASTER PLAN N SMITHFIELD ROAD KNIGHTDALE, NORTH CAROLINA



REVISIONS

NO. DATE

- 1
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PLAN INFORMATION

PROJECT NO.	AGN-21002
ILENAME	AGN21002-LS1
CHECKED BY	XXX
DRAWN BY	XXX
SCALE	N.T.S.
DATE	10. 24. 2022
SHEET	

LANDSCAPE NOTES AND SCHEDULE L5.05



Downtown North at Knightdale Station Planned Unit Development Town of Knightdale October 24, 2022



TABLE OF CONTENTS

1 **VISION + INTENT**

2. **EXISTING CONDITIONS**

Summary Vicinity Map Current Zoning Map

3. PLANNED UNIT DEVELOPMENT MASTER PLAN

Development Summary Permitted Uses

4. ADOPTED PLAN CONSISTENCY AND DEVELOPMENT **MODIFICATIONS / CONDITIONS**

Comprehensive Plan Consistency Modifications and Conditions

5. **DISTRICT DESIGN GUIDELINES**

NMX PUD District - Base District Specific Standards - Bulk and Dimensional Standards - Conditions Offered for the NMX base district - Building Type Standards TC PUD District - Base District Specific Standards - Bulk and Dimensional Standards - Supplemental Use Standards - Supplemental Use Standards

- - Sub-District Standards
 - Conditions Offered for the TC base district
 - Building Type Standards

6. **TRANSPORTATION ANALYSIS**

Transportation Impact Assessment (TIA) Summary

7. **RECREATIONAL OPEN SPACE + AMENITIES**

Open Space Standards

- 8. **PUBLIC FACILITIES & INFRASTRUCTURE**
- 9 NEIGHBORHOOD MEETING REPORT Meeting Summary Question Log
- 10. PRECEDENT IMAGERY

DOWNTOWN NORTH AT KNIGHDTALE STATION

Planned Unit Development Prepared for The Town of Knightdale

Submittal Dates

First Submittal:	10/24/22
Second Submittal:	12/6/22
Third Submittal:	n/a

Developer

7208 Partners LLC 7208 Falls of Neuse Rd Raleigh NC 27615

McAdams Company, Design Lead 2905 Meridian Parkway Durham NC 27113







VISION + INTENT

As stated in §2.4 (C) and 12.2 (F)(3)(g) of the Knightdale Unified Development Ordinance, the Planned Unit Development District is designed to encourage master planning of development so as to coordinate and manage the impacts of the development on the provision of Town Services and infrastructure. The Planned unit Development encourages creativity and innovation in the design of development, but in return for this flexibility the expectation is for communities to:

- > Provide exceptional design, character, and quality
- > Provide high quality community amenities with an emphasis on place making
- > Incorporate a creative and integrated design in the layout of buildings
- > Ensure compatibility with surrounding land uses and neighborhood character
- > Further the goals of the Comprehensive Plan including the growth framework and growth and conservation map
- > Provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure.

THE DOWNTOWN NORTH AT KNIGHTDALE STATION PLANNED UNIT DEVELOPMENT MEETS THE STATED VISION AND INTENT OF THE PUD AND GOALS OF ADOPTED PLANS AS FOLLOWS:

Provide exceptional design, character, and quality:

Homes within the proposed PUD will follow a set of prescribed architectural design standards which preserve the spirit and intent of the design requirements previously applicable in Chapter 5 of the Knightdale UDO (archived version). The proposed development provides exceptional site design, character, and quality through the location public gathering spaces, diversified housing stock, commercial integration, and by forming vital pedestrian connections through the neighborhood to the greater Knightdale area through the incorporation of greenways and supplemental pedestrian networks.

Provide high quality community amenities:

Downtown North at Knightdale Station is located in close proximity to both Knightdale Station Park and Harper Park. Due to the convenient access to these existing public recreational areas, amenities within Downtown North at Knightdale Station Park prioritize pedestrian friendly streetscapes, greenways, and public gathering areas. The layout of the site incorporates and is designed around a proposed greenway extension generally running parallel with Mango Creek and forming a new pedestrian connection to the proposed extension of Knightdale Station Run. In the center of this greenway extension is a proposed Community Park, framed by Fourth Avenue, Mingo Creek, and the site's commercial districts. Furthermore, the PUD will include a pool and clubhouse located along Fourth Avenue, which acts as a primary N-S connection through the site, to help anchor the southern portion of the project.

Incorporate creative design in the layout of buildings:

Downtown North is designed to serve as an extension of the revitalized downtown core which Knightdale has begun to develop. In order to provide more diversity in product type and experience, some units are designed to front on public greenspace in lieu of public right-of-way. Non-residential buildings within the commercial area are designed to front along Knightdale Station Run to create a pedestrian friendly and activated streetscape. Similarly, all single-family detached products are rear or side-loaded to enhance the pedestrian experience.

Ensure compatibility with surrounding land uses and neighborhood character:

Proposed residential products are positioned to naturally fit within the current block network of existing adjacent neighborhoods. Denser residential products are generally placed closer to the proposed community park and commercial element of the site, with larger residential offerings located along the project periphery to the east. the site's proposed commercial element is positioned along Knightdale Blvd and McKnight Drive, where infrastructure improvements will provide the greatest support. Furthermore, this area is divided into sub-districts with associated design standards to manage which areas are more pedestrian oriented vs. auto-oriented.

Ensure the creation of mixed density neighborhoods, neighborhood nodes, and mixed use centers:

The proposed development provides a diverse range of residential products (SFD detached, Townhomes, condos, apartment units), commercial integration, and commitments to vertical mixed use along Knightdale Station Run.

Further the goals of the Comprehensive Plan including the growth framework and growth and conservation map:

The growth framework map identifies the project area as a 'Priority Investment Area Around Activity Centers', within the 'Old Town' place type category. The proposed PUD meets the Comprehensive Plan's mission to encourage mixed-use, walkable development for in-town living, and provide ample public space for the community to come together.

Provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure:

Downtown North at Knightdale Station is designed to be compact and efficient, and is laid out in such a way that no space is wasted or underutilized. It further supports the Town's infrastructure goals of increased vehicular and pedestrian connectivity by providing key collector road and greenway connections.

THE DESIGN OF DOWNTOWN NORTH AT KNIGHTDALE STATION ADDRESSES THE FOLLOWING FINDINGS OF FACT REQUIRED FOR PUD APPROVAL:

Comprehensive Plan Conformity

The growth framework map identifies the project area as a 'Priority Investment Area Around Activity Centers' within the 'Old Town' place type category. The proposed PUD meets the Comprehensive Plan's mission to encourage mixed-use, walkable development for in-town living, and provide ample public space for the community to come together. It also incorporates both on and off-site connections incorporated in the Town's adopted transportation plans.

Public Welfare

The planned unit development is designed in adherence with all fire and emergency service requirements. Where units are accessed by alleys instead of typical public ROW cross-sections, said alleys are upgraded to meet all emergency vehicle service needs. The central location of this project allows for quick and efficient service by emergency services.

Impact on Other Property

The proposed planned unit development is helping to establish a true downtown core, while being sensitive to existing adjacent property. Connections and layout decisions have been made with the potential for future adjacent redevelopment in mind, while offering reasonable screening and transitions to existing development. The proposed layout and intensity are reasonable and suitable for the Town's Old Town district.

Impact on Public Facilities and Resources

The planned unit development has been designed with adequate utilities, road access, drainage, and other necessary facilities. The project includes off-site roadway improvements exceeding that which would otherwise be required by the provided TIA. Furthermore, the site will incorporate a proposed greenway network with a large, centralized park space.

Ensure the creation of mixed density neighborhoods, neighborhood nodes, and mixed use centers:

The proposed development provides a diverse range of residential products (SFD detached, Townhomes, condos, apartment units), commercial integration, and commitments to vertical mixed use along Knightdale Station Run.

Archaeological, Historical, or Cultural Impact:

The planned unit development does not adversely impact any known archaeological, historical, or cultural resources located on or off the parcels proposed for development.

Parking and Traffic

Downtown North at Knightdale Station provides on-street parking on the vast majority of its public street network. As previously mentioned, committed off-site roadway improvements exceed TIA requirements to better position the proposed development and address existing roadway deficiencies. The conceptual commercial area delineates permitted parking areas, with a proposed structured parking location identified in the event that non-residential parking demands exceed the ability of surface parking to accommodate it.

Adequate Buffering

The planned unit development provides appropriate buffering and screening where needed, without obstructing the feasibility of future redevelopment of adjacent properties.

Performance

The applicant and their respective consultants have a proven track-record of recent PUD approvals of large, mixed-use projects. Furthermore, Alliance Group has a long history of collaboration and coordination with the Town of Knightdale related to development opportunities.

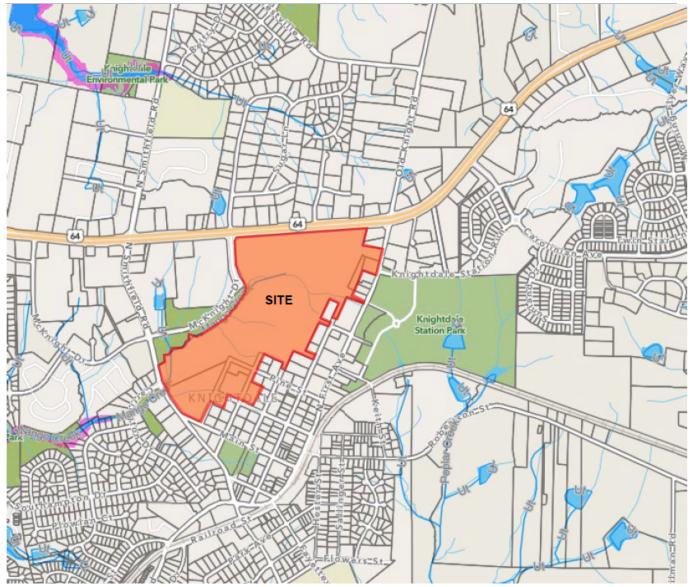




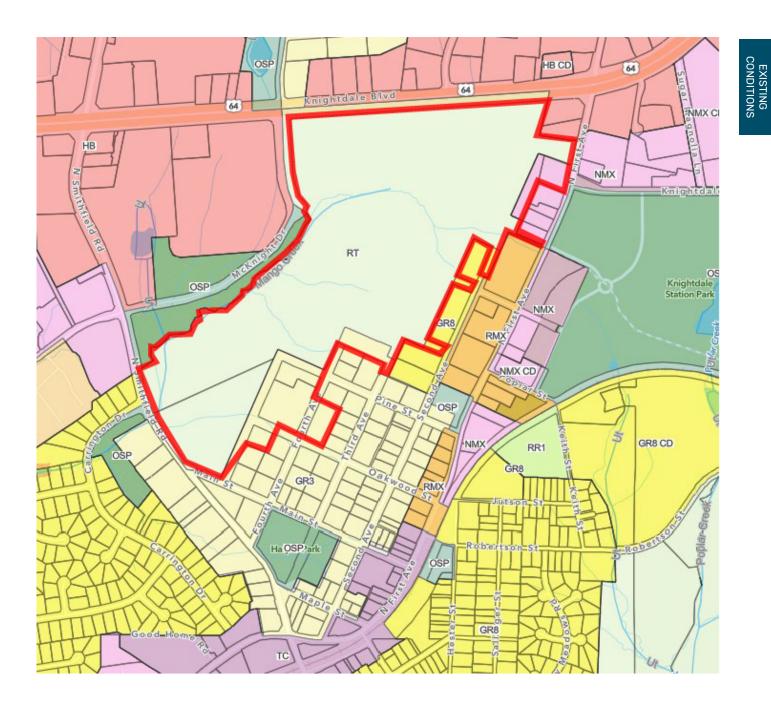
EXISTING CONDITIONS SUMMARY

Downtown North at Knightdale Station is located on 6 parcels in downtown Knightdale, generally bounded by Knightdale Boulevard to the north, McKnight Drive to the west, Smithfield Rd to the south, and First Avenue to the east. The 6 parcels are identified by Wake County Property Identification Numbers 11754450090, 1754239634, 175433504, 1754335778, 1754337666, 1754552353. The eastern portion of the site abuts an existing gridded street network, with access and potential connection points to Sycamore Street, N First Avenue, Second Avenue, Third Avenue, Fourth Avenue, Pine Street, and Oakwood Street. An existing 100' powerline easement cuts diagonally NE across the site from Smithfield Rd to N First Avenue. The site generally slopes towards the south and west towards Mingo Creek. Stands of trees dominate the majority of the site, with the exception of the powerline easement.

VICINITY MAP

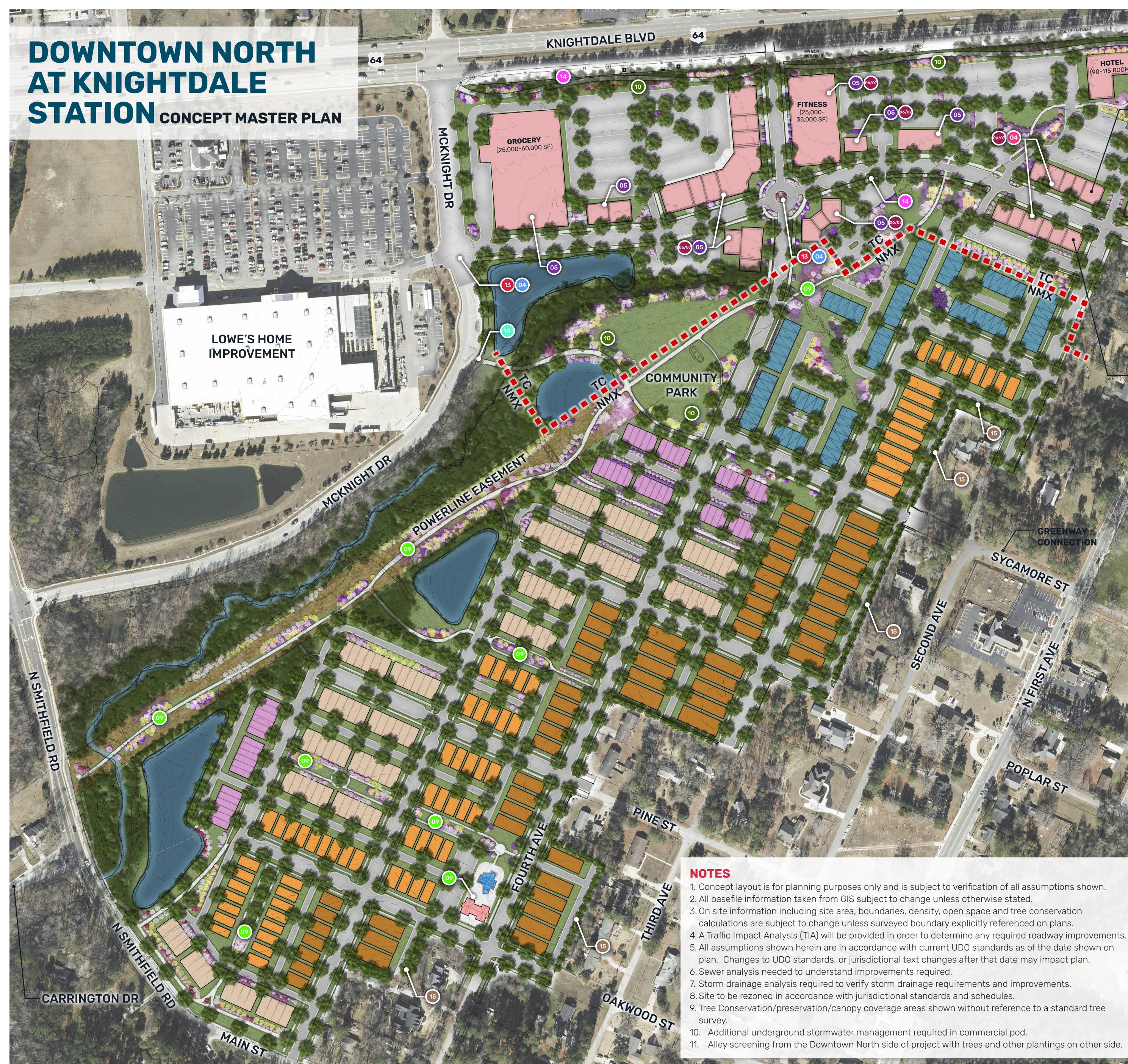


CURRENT ZONING MAP





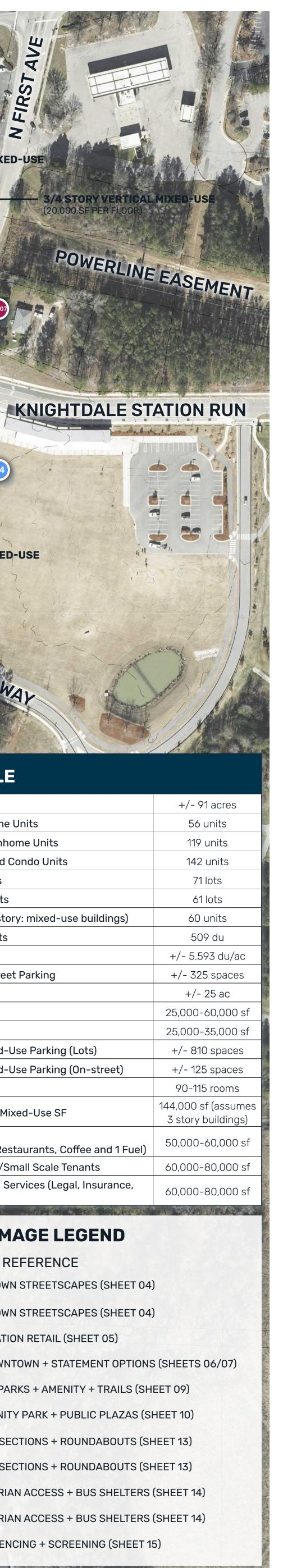




0-115 RO

VERTICAL MIXED-

GAS





STORY VERTICAL MIXED-USE

SITE DATA TABLE

Total Site Area
18' Rear-loaded Townhome Units
22'/24' Rear-loaded Townhome Units
2/2 Rear-loaded Attached Condo Units
32' Rear-loaded SFD Lots
38'+ Rear-loaded SFD Lots
Apartment Units (upper story: mixed-use buildings)
Total Proposed Dwelling Units
Proposed Density
Proposed Residential On-street Parking
Proposed Commercial Area
Proposed Grocery SF
Proposed Fitness SF
Proposed Commercial/Mixed-Use Parking (Lots)
Proposed Commercial/Mixed-Use Parking (On-street)
Proposed Hotel Rooms
Proposed 3/4 Story Vertical Mixed-Use SF
Proposed National Retail SF
(Sit-down and Quick Serve Restaurants, Coffee and 1 Fuel)

Proposed Local Shop Space/Small Scale Tenants Proposed Local Professional Services (Legal, Insurance, Small Local Medical, etc.) and the second s

PRECEDENT IMAGE LEGEND

SY

MBOL	IMAGE REFERENCE
04	DOWNTOWN STREETSCAPES (SHEET 04)
04	DOWNTOWN STREETSCAPES (SHEET 04)
05	DESTINATION RETAIL (SHEET 05)
06/07	OLD DOWNTOWN + STATEMENT OPTIONS
09	LINEAR PARKS + AMENITY + TRAILS (SHE
10	COMMUNITY PARK + PUBLIC PLAZAS (SH
13	STREET SECTIONS + ROUNDABOUTS (SH
13	STREET SECTIONS + ROUNDABOUTS (SH
14	PEDESTRIAN ACCESS + BUS SHELTERS (
14	PEDESTRIAN ACCESS + BUS SHELTERS (
15	ALLEY FENCING + SCREENING (SHEET 15

SYCAMORE

4. A Traffic Impact Analysis (TIA) will be provided in order to determine any required roadway improvements. 5. All assumptions shown herein are in accordance with current UDO standards as of the date shown on





AGN-21002

12.06.2022

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PLANNED UNIT DEVELOPMENT MASTER PLAN

DEVELOPMENT SUMMARY

Downtown North at Knightdale Station is a mixed-use master plan positioned in the heart of Downtown Knightdale, next to Knightdale Station Park. It's unique location makes it ideally suited as an urban mixed use development, serving as an extension of the existing downtown core. The proposed PUD is comprised of ~568 residential units concentrated on the south and eastern sides of the site, as well as ~25 acres of commercial/mixed use space concentrated along Knightdale Boulevard and the extension of Knightdale Station Run. In order to accommodate these various uses in a controlled and deliberate manner, the base zoning of the PUD district is split between Neighborhood Mixed Use (NMX) and Town Center (TC). The Town-Center district is further split into 3 sub-districts to control and more naturally transition permitted uses and building scale. The development will accommodate a significant extension of public greenway along Mingo Creek, with a proposed community park along this greenway extension. Commercial and mixed-use development with the TC portion of the site will largely be oriented towards Knightdale Station Run to create a more pedestrian friendly Main Street-style feel to the commercial node.

RESIDENTIAL DEVELOPMENT MIX

	Product Type	# of Units Shown	Estimated % of Dev.	Min. % Required*
•	Rear-loaded Townhomes (18'-26')	188	33%	25%
•	2/2 Rear-loaded Attached Condo Units	144	25%	20%
•	Rear-loaded SFD Lots	136	24%	20%
•	Apartment Units (upper-story / mixed use)	100**	18%**	-

*<u>Note</u>: The 'Min. % Required' figures relate specifically to % required within the residential NMX district boundary. This provision is intended to avoid a nonconforming development mix in the event that higher levels of upper story apartments are incorporated in the Town Center zone during later stages of development.

**<u>Note</u>: Upper-story apartments within the TC portion of this development may change as plans for

this mixed-use area further develops, impacting the estimated number of units and percentage figures.



Permitted Use Table	NMX	TC S	TC Subdistrict		
		1	2	3	
Residential Uses					
Dwelling-Duplex	Р				
Dwelling-Multifamily, above ground floor as part of mixed use	Ρ	Ρ	Ρ	Ρ	
Dwelling-Multifamily, 4 units/bldg. or less	Р		Ρ	Р	
Dwelling-Multifamily, more than 4 units/bldg	Р		Ρ	Р	
Dwelling-Single Family	Р				
Family Care Home (6 or Less residents)	Р				
Housing Service for the Elderly	Р	Ρ	Ρ	Ρ	
Live-Work Units *	Р	Ρ	Ρ	Р	
Townhouse, 4 units of less	Ρ				
Townhouse, more than 4 units	Р				

	NMX	TC Subdistrict		
		1	2	3
Lodging Uses				
Bed and Breakfast	Р		Ρ	
Hotels			P	

	NMX	TC Subdistrict		
		1	2	3
Office / Service Uses				
Animal Services, Nonboarding		Р	Ρ	Ρ
Banks, Credit Unions, Financial Services *		Р	Ρ	Ρ
Business Support Services	P*	Р	Ρ	Ρ
Child / Adult Day Care Home (Fewer than 6 people)	P*	Р	Ρ	Ρ
Child / Adult Day Care Center (6 or more people)		Р	Р	Ρ
Community Service Organization		Р	Ρ	Р
Equipment Rental*		P*	P*	
Government Services		Р	Р	Ρ
Medical Services		Р	Ρ	Ρ
Personal Services	P*	Р	Ρ	Ρ
Post Office		Р	Ρ	Р
Professional Services	P*	Р	Р	Р
Studio - Art, dance, martial arts, music	P*	Р	Р	Р

* indicates that the PUD applies conditions to these uses

	NMX	TC Subdist		trict
	INIVIA	1	2	3
Retail / Restaurant Uses	•			
Auto Parts Sales		Р	Р	Р
Bar / Tavern / Microbrewery*		P*	P*	P*
Gas Station with Convenience Store		Р		
General Retail - 10,000 sf or less		Ρ	Ρ	Р
General Retail - 10,000 sf - 50,000 sf		Р	Ρ	Р
General Retail - Greater than 50,000 sf *		Ρ		
Neighborhood Retail / Restaurant - 2,000 sf or less	P*	Р	Ρ	Ρ
Nightclub		Р	Ρ	
Restaurant		Ρ	Ρ	Ρ
Shopping Center - Community Center		Ρ	Ρ	Р
Shopping Center - Neighborhood Center		Р	Ρ	Р
Tasting Room		Р	Ρ	Р

	NMX	TC S	trict	
	INIVIA	1	2	3
Entertainment / Recreation Uses				
Amusements, Indoor - 5,000 sf or less	P*	Р	Р	Р
Amusements, Indoor - 5,001 sf - 20,000 sf	P*	Р	Ρ	Ρ
Cultural or Community Facility	P*	Р	Ρ	Р
Meeting Facilities	P*	Р	Ρ	Р
Recreation Facilities - Indoor	P*	Р	Ρ	Р
Recreation Facilities - Outdoor*	P*	P*	P*	P*
Theater, Live Performance		Р	Ρ	Р
Theater, Movie		Ρ	Ρ	Р

	NMX	TC Subdistric		
	INIVIA	1	2	3
Manufacturing / Wholesaling / Storage Uses	•			
Agribusiness, Outdoor*		P*	P*	P*
Agribusiness, Indoor *		P*	P*	P*
Brewery / Winery / Distillery *		P*	P*	P*
Manufacturing, Neighborhood*		P*	P*	P*
Media Production*		P*	P*	P*
Storage - Warehouse, Indoor Storage *		P*	P*	P*
Wholesaling and Distribution *		P*	P*	P*

* indicates that the PUD applies conditions to these uses

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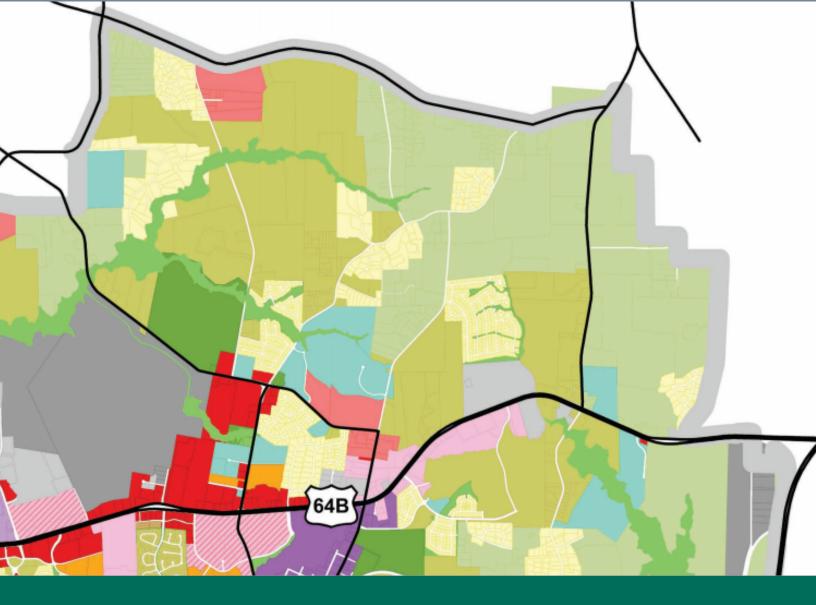
F

(<u>1</u>	2	3
P*	P *	P*
P*	P *	
P*	P *	
P*	P*	
P*	P *	P*
P*	P *	P*
P*	P*	P*
	P* P* P* P* P*	P* P* P* P*

	NMX	TC Subdistrict			
		1	2	3	
Infrastructure Uses					
Wireless Telecommunication Facility - Stealth	Р	Р	Р	Р	
Wireless Telecommunication Facility - Small Wireless Facilities					
inside Right-of-Way*	P*	P*	P*	P*	
Wireless Telecommunication Facility - Small Wireless Facilities					
outside Right-of-Way*	P*	P*	P*	P*	
Utilities-Class 1 & 2	Р	Р	Р	Р	

	NMX	TC Subdistrict		
		1	2	3
Accessory Uses	ł		•	-
Accessory Building / Structure	Р	Р	Р	Р
Cluster Mail Box Unit	Р	Р	Р	Р
Drive-Thru Service *		P*		
Drive-Thru Retail/Restaurant *		P*		
Home Occupation	Р	Р	Р	Р
Solar Energy Collection, Roof/Building Mounted *	P*	P*	P*	P*

* indicates that the PUD applies conditions to these uses



4 UDO + COMPREHENSIVE PLAN CONSISTENCY

KNIGHTDALENEXT 2035 COMPREHENSIVE PLAN CONSISTENCY

Downtown North at Knightdale Station is consistent with the Growth Framework Map and Growth and Conservation Map, which identify this area as a 'Priority Investment Area Around Activity Centers', within the 'Old Town' place type category. The proposed PUD meets the Comprehensive Plan's mission to encourage mixeduse, walkable development for in-town living, and provide ample public space for the community to come together. More specifically, Downtown North at Knightdale Station is consistent with the following Guiding Principles in the KnightdaleNext 2035 Comprehensive Plan ("KCP"):

1. Great Neighborhoods and Expanded Home Choices: This principle aims to promote vibrant neighborhoods that "provide greater access to a range of housing choices people need at different stages of their life." (KCP p. 17). This principle also notes that "new neighborhoods should mix two or more housing choices into one community." (KCP p. 17). The proposed PUD provides a mix of single family homes, townhomes, 2-over-2 condos, and upper-story apartments, which through their diversity will help "make Knightdale a more livable community—one where residents can live their entire lives." (KCP p. 17).

The Growth and Conservation Map designates this site as being in the Old Town place type category, within a Priority Investment Area Around Activity Centers. Per the Comprehensive Plan, Town officials are committed to promoting Old Town as the physical, civic, and iconic center of the community. Plans, programs, and projects identified for the area should encourage mixed-use, walkable development for in-town living, and provide ample public space for the community to come together for major events, evenings out, etc." KCP p.44). Consistent with these designations, Downtown North at Knightdale Station provides a compact, vertically mixed-use development pattern with recreational and retail activity centers fixed along public greenways and the Knightdale Station Run downtown streetscape.

2. **Transportation**: This guiding guiding principle aims to "provide a safe, reliable, and integrated transportation system that balances all modes of transportation, including walking, biking, public transit, and cars" (KCP p. 15). This project provides critical extensions to the downtown gridded street network. Most notably, Downtown North at Knightdale Station will include extensions to Fourth Avenue and Knightdale Station Run. Furthermore, this site will incorporate a public greenway extension along Mingo Creek, connecting to N First Avenue.

3. **Parks and Recreation**: This principle aims to "promote and expand opportunities where people can be more involved in an active community lifestyle represented, in part, by the presence of high quality parks, public spaces and recreation facilities located near where people live." (KCP p.15). As illustrated in the master plan, this PUD will incorporate public and private pedestrian trails, a community park along a public greenway extension, a pool and clubhouse, and public gathering spaces within the Town Center district.

4. Unique Activity Centers: This principle aims to "encourage the development of unique activity centers that include a mix of uses and activities located close together, providing people with new options for places to live, work, shop, and participate in civic life." Downtown North at Knightdale Station includes an approximately 25 acre commercial/mixed use POD conceptually illustrated within the Master Plan. This commercial/mixed area will be delineated into 3 sub-districts, with the western most subdistrict supportive of more traditional 'big-box' style commercial development, and the central and eastern sub-districts focused on more pedestrian friendly, mixed-use development types. Building orientiation shall be focused on Knightdale Station Run, creating a natural downtown streetscape with upper-story apartment living. The proposed community park along the public greenway extension will provide an additional activity center linking the various elements of this community together.

DEVELOPMENT STANDARDS (Modifications & Conditions)

STATEMENT OF CONSISTENCY: UNIFIED DEVELOPMENT ORDINANCE

Except as specifically provided herein and/or within the Master Plan, the Downtown North Planned Unit Development will comply with all portions of the Town of Knightdale's Unified Development Ordinance ("UDO") and standards & specifications for design and construction of the proposed development. The 'District Development Guidelines' contain additional development modifications specific to each PUD zoning district.

The development standards described below are deemed necessary to provide the necessary flexibility for a large, mixed use urban development of this nature. In some cases, development standards provided do not represent true 'modifications' to existing UDO standards, but rather 'clarifications' to existing UDO standards, to avoid the need for future zoning interpretations.

DEVELOPMENT STANDARDS PROVIDED

Parking Standards Provided

- Bicycle Parking
 - The NMX district shall provide a minimum of 40 bicycle parking spaces.
 - The TC District shall provide bicycle parking according to the standards of the UDO.
- Motorized Vehicle Parking
 - In the NMX District, all multifamily dwellings constructed with garages shall include at least one 220v outlet in the garage which shall be understood to fulfill (exceed) the requirements under section of 7.1(I)a of the UDO.
 - The TC District shall provide electric vehicle parking according to the standards of the UDO.
- Alternatives to Provision of On-Site Parking:
 - To the extent the herein proposed street sections provide parallel parking spaces within Rights-of-Way but outside of travelways, those parallel spaces may be attributed toward the number of spaces required under section 7.1 of the UDO. However, these parallel spaces shall not be attributed toward a maximum number of parking spaces permitted.
 - Remote Parking, Combined Parking, and Shared Parking are permitted and approved, hereunder. If
 new standards regulating remote parking, combined parking, and/or shared parking are adopted by
 the Town of Knightdale, the developer hereby reserves the right to apply either those standards in
 place at the time of PUD approval OR any subsquently adopted regulations.
- General Off-Street Vehicle Accommodation Design Standards
 - Temporary Uses shall qualify for exemption from the prepared hard pavement surfacing and curbing requirements until such time as a particular lot has been granted a Certificate of Occupancy for a permanent use. Parking areas for such Temporary Uses must be dust free and suitable for allweather access.
- Specific Motorized Vehicle Parking Area Design Standards Landscaping
 - Motorized Vehicle Parking Areas within this district may not strictly comply with the provisions of the UDO in this section (and related 7.4()), but, if they do not comply, it must be demonstrated on a conditional site plan that the same total number of trees are provided as would otherwise be required under exact compliance with 7.1(M)2 and 7.4(J).

Driveway Standards Provided

• Location of Driveway Access Points shall be provided as depicted on the Master Plan.

DEVELOPMENT STANDARDS (Modifications & Conditions)

 The standards of 7.2.B (and 11.2(G)) may not strictly apply. Instead, the Access Points depicted on the Master Plan shall govern.

Sidewalks and Pedestrian Walkway Standards Provided

- The Right-of-Way and street section of the Sycamore Street extension proposed on the Master Plan shall be constructed inclusive of a 10-foot greenway to replace the public greenway currently proposed in the same/similar location. The present easement for the current public greenway shall be abandoned upon completion of the new Sycamore Street extension.
- To ensure broader greenway system functionality, Pine Street must be constructed with a multiuse path of not less than 88-feet in width (per the provided street section for Pine Street) and a connection between Pine Street & the public greenway to its west must be constructed before construction may occur in the Sycamore Street.

Landscaping and Tree Protection Standards Provided

- <u>Buffers (7.4(I))</u>: Buffer Yards shall be provided as depicted on the Master Plan.
 - No buffer yard shall be required between proposed single-family homes within the NMX district and existing ad acent single family homes. Where a proposed alley would abut an existing residential lot, screening shall be provided as detailed in the master plan.
- <u>Residential Landscaping and Plat Notes (7.4(K)1)</u>: This section of the UDO shall not apply. However, at least one understory tree or ornamental tree shall be provided for each unit on each single-family, townhome, or multifamily lot where the unit is located.
- <u>Street Trees</u>: Due to the substantial amount of on-street parking incorporated into the Master Plan and the minimal front-setbacks applied to have a more engaged streetscape, average spacing of street trees shall not exceed 60 ft.
- <u>Overall Tree Canopy</u>: As a consequence of such a great portion of the PUD being covered by a powerline easement and the desire to have a denser, more efficient use of land in the downtown core, the UDO requirements for 10% Tree Cover Area shall be reduced to 5% within this PUD.

ENVIRONMENTAL PROTECTION STANDARDS PROVIDED

• For clarity: This PUD is understood to qualify for exemption from 9.3(B)1

INFRASTRUCTURE IMPROVEMENT STANDARDS PROVIDED

General Infrastructure Design Guidelines

• Street Classifications and Designs shall be provided as depicted on the Master Plan.

DEVELOPMENT STANDARDS (Modifications & Conditions)

SUBDIVISION STANDARDS PROVIDED

General Provisions

- This PUD shall not be restricted by the strict Distribution of Use ranges outlined in Section 11.1B of the UDO. The pro ect shall include a mixture of SFD detached, Townhomes, Condos, Commercial, and Mixed-use products, as outlined in the 'Proposed Density' table included on page C2.00 of the Master Plan set.
- The centerline radii specified for "Alley" on UDO Table 10.1(D)(2)(a) shall not apply. However, all alleys necessary for Fire access shall comply with North Carolina Fire Code Standards. Any other alleys shall be designed as shown on the Master Plan.
- UDO 10.5.(D).2.b shall not strictly apply. Intersection spacing will be as shown on the Master Plan. Notwithstanding this, best efforts shall be made to align new alley intersections where they are across public streets from each other except with respect to attempts to develop and integrate the network of historically recorded alleys on surrounding properties, particularly between Second Ave. and Fourth Ave.

Recreational Open Space

- Recreational Open Space Dedication shall be provided as depicted on the Master Plan.
 - Given the ad acency to Knightdale Station Park and Harper Park which contain significant active recreational components, this PUD shall be exempt from the Recreational Open Space standards contained in Section 11.2 of the UDO, as it might relate to such items as minimum recreational open space dedication requirements (11.2C4) and Recreational Open Space Criteria (11.2C7)

Circulation and Connectivity

- Circulation and Connectivity shall be provided as depicted on the Master Plan.
 - For clarity: The standards of 11.3 shall not strictly apply. Nevertheless, the Master Plan shall depict material compliance with the criteria of this UDO section. Further, a TIA and relevant memos, phasing, and commitments have been provided, all of which are understood to be included herein as commitments by reference.
- Access Management shall be provided as depicted on the Master Plan.
 - The standards of 11.3(G) (and 7.2.(B)) may not strictly apply. Instead, the Access Points depicted on the Master Plan shall govern.
 - Within the NMX district, all units will be rear-loaded.



5 DIS GU

DISTRICT DESIGN GUIDELINES

Images are illustrative in nature and subject to change based on review and approval by the Land Use Administrator.

NEIGHBORHOOD MIXED USE DISTRICT STANDARDS

(NMX District) STATEMENT OF CONSISTENCY: UNIFIED DEVELOPMENT ORDINANCE (NMX DISTRICT)

Except as specifically provided herein and/or within the Master Plan, the Downtown North Planned Unit Development will comply with all portions of the Town of Knightdale's Unified Development Ordinance ("UDO") and standards & specifications for design and construction of the proposed development.

The NMX District (as depicted on the Master Plan) proposes the following modification and conditions to the Base District Specific Standards, Use Specific Standards, Building Type Standards, Development Standards, Environmental Protection Standards, Infrastructure Improvement Standards, and Subdivision Standards which are allowed or required under the UDO for the Neighborhood Mixed Use District which shall be the Base District for this portion of this Planned Unit Development Overlay District Rezoning.

BASE DISTRICT SPECIFIC STANDARDS (NMX DISTRICT)

Bulk and Dimensional Standards Provided

- Lot Width; Street Loaded: N/A [As discussed later, Street-Loading is not permitted.]
- Lot Width (minimum): House Type: 30' Townhouse Type: 18'

•	Yard Setbacks:	House	Townhouse	Apartment
	Front Minimum from ROW			
	To porch or stoop:	5'	5′	See Below
	To primary structure:	10'	10'	See Below
	Front Minimum from O/S			
	To porch or stoop:	0'	0'	See Below
	To primary structure:	3'	3'	See Below
	Corner Side Minimum:			
	To porch or stoop:	3'	3'	See Below
	To primary structure:	5'	5′	See Below
	Side Minimum			
	To porch or stoop:	3'	0'	See Below
	To primary structure:	3'	0'	See Below
	End Unit Bldg Separation			
	To porch or stoop:	n/a	See Below	See Below
	To primary structure:	n/a	See Below	See Below
	Rear Minimum/Driveway			
	From edge of alley:	18'	18'	See Below

• Height (ft) (maximum): 60.

Parapets, spires, cupolas, antennae attached to a building, pro ections from buildings, mechanical equipment, and accessory structures associated with an activated roof deck, are not to be included in the calculation of building height.

- Height (stories) (maximum): 4, excluding rooftop access / amenities
- Minimum Residential Driveway Length (ft): (N/A);

Conditions Offered for the NMX District:

- All detached single family dwellings shall be rear or side-loaded.
- Entertainment / Recreation uses are limited to community-owned facilities, parks, and amenity sites.
- The Live-Work Use, in addition to the standards of the UDO, shall be further limited to the smaller of 1,000 sq ft or 25% of the conditioned floor area of the building in which they are located and shall be limited in the nature of their business to: 3.1.C.3.d Business Support Services; 3.1.C.3.e Child/Adult Daycare 6 people; 3.1.C.3.o Personal Services; 3.1.C.3.r Studio Art, dance, martial arts, music; 3.1.C.4.g Neighborhood Retail / Restaurant, provided: (1) No restaurant uses shall be permitted, and (2) Neighborhood retail shall only be allowed for goods made or repaired within the Live-Work unit; 3.1.C.9.f Home Occupation; and 3.1.C.3.q Professional Services.

Infrastructure Uses:

• Any wireless telecommunication facilities must meet the definition of Stealth/Camouflage as found in chapter 15 of the UDO.

BUILDING TYPES PROVIDED AND BUILDING TYPE STANDARDS PROVIDED

1. HOUSE BUILDING TYPE

Yard Setbacks

Front Minimum from ROW To porch or stoop: 5' To primary structure: 10' To eaves: N/A Front Minimum from Open Space To porch or stoop: 0' To primary structure: 3' To eaves: N/A

Corner Side Minimum: To porch or stoop: 5' from the Easement or Right-of-Way To primary structure: 5' from the Easement or Right-of-Way To eaves: N/A Side Minimum: To porch or stoop: 3' To primary structure: 3' To eaves: N/A Rear Minimum To garage from edge of improved alley: 18'

Conditions Offered for the House Building Type:

- Foundations shall be crawl spaces or elevated slab foundations which shall be at least 18" in height measured at no less than one point on the front façade of the House. Foundations shall be wrapped in brick or stone on all sides except where a driveway ties into a garage, where applicable.
- All House type buildings which are either located on the corner at an intersection of public streets, or located on the corner at the intersection of a public street with an alley (public or private) shall be constructed with a front porch, of greater than or equal to six (6) feet in depth, at least one half (50%) of the measurement of the width of the plane of the house to which the porch is affixed measured at the opposing outside edges of the siding or trim on the of the plane of the house to which the porch is affixed .
- The Master Plan shall identify the corners described above and shall further specify that no more than two ad acent houses may be constructed without porches as described, above.
- All House type buildings which do not have a porch, (defined above) shall have a stoop of greater than or equal to six (6) feet in depth, measured from the front plane of the house to lesser of (a) the inside edge of the front soffit (or equivalent) of the porch or stoop, or (b) the outside of any columns or railings, and shall be greater than or equal to six (6) feet in width measured by (a) the outside of any columns and/or railings, or (b) the inside of any soffits, (whichever is less).
- Each House with a side property line abutting or ad oining (proposed) Fourth Avenue shall have a porch or stoop pro ecting not less than 5' in depth on or along the side closest to the ROW of Fourth Avenue.

- Wall materials may include wood, synthetic wood, cementitious boards, brick, stone, cultured stone, stucco, and architectural metal. Wall material components of vinyl /polyvinyl material may only be used as a trim or accent material.
- Front facades shall be comprised of a minimum of two (2) of the listed wall materials, of which the brick or stone required for the foundation, above, shall count for one (1).
- Principle roofs shall have a pitch of not less than 6:12.
- Eaves shall pro ect not less than 6" except for bay window or similar façade pro ections which may have eaves of not less than 2".
- Rot-resistant trim material of no less than 3.5 inches in width shall be installed around all windows and doors.
- Windows and Doors, themselves, and relevant ambs and casings shall be of rot-resistant wood, wood-look materials, or equivalent materials if security, durability, or fire-resistance take precedence.
- Metal 'coil-stock' trim shall only be permitted for drip edge locations. All soffits, eaves, and facia will be constructed and/or clad with rot-resistant cementitious or synthetic boards.
- Roofs Roofs shall be clad in one or more of the following: standing-seam metal, slate, wood, or architectural asphalt shingles. Flat roof assemblies, or other roof assemblies of less than or equal to 3:12 pitch (excluding stoops and terraces) which face a street (excluding alleys) and which are clad in any materials other than standing-seam metal, shall be surrounded by a parapet, railing, cornice, or eave structure.
- Buildings shall not have uninterrupted wall planes greater than 30 feet in any direction visible from any street from any side of the building. Glazed windows, entry doors, cantilevers, band boards, water tables, ogs/offsets, and other similar architectural breaks shall be used to interrupt wall planes as appropriate. Buildings shall not have uninterrupted roof planes or parapet planes of greater than 30 feet in any direction. Steps, corbels, or ogs/offsets shall be used to interrupt roof planes or parapet planes.
- A minimum of four (4) of the below listed architectural features including at least one (1) feature from each of the three (3) categories shall be utilized on each house:
 - Entrance
 - $\circ~$ 6" min. width door trim or sidelights
 - Glazed panel in entry door.
 - Covered porch not less than 6' deep and extending more than 50% of the facade.
 - Facade
 - o Bay Window
 - Window Trim (4" min. width)
 - o Shutters
 - Patterned Finish (Scales, Shakes, Wainscoting, Board & Batten, etc.)
 - Roof
 - \circ Dormer
 - \circ Gable
 - o Chimney
 - Rooftop amenity space

DESIGN

2. TOWNHOUSE BUILDING TYPE

Yard Setbacks

Front Minimum from ROW

To porch or stoop: 5'

To primary structure: 10'

To eaves: N/A

Front Minimum from Open Space

To porch or stoop: 0'

To primary structure: 3'

To eaves: N/A

Corner Side Minimum:

To porch or stoop: 3' from the Easement or Right-of-Way

To primary structure: 5' from the Easement or Right-of-Way

To eaves: N/A

Side Minimum: 0' [*if a partywall exists*]

End Unit Side Minimum [or if a partywall does not exist]:

To porch or stoop: 0'; minimum separation between porches, of 6'

To primary structure: 0'; minimum separation between buildings of 10'

To eaves: N/A

Rear Minimum

To garage from edge of improved alley: 18'

Multi-Building Developments

This provision of the UDO shall apply as re-written: The primary entrance and front façade of individual buildings within a multi-building development shall be oriented towards the following (listed in priority order): a. Perimeter streets, b. Primary internal streets, c. Parks or other common open space, or d. Secondary internal streets. Primary entrances shall not be oriented towards off-street parking lots, garages, or carports.

Siting

The Siting standards of the UDO shall not apply. Rather, Siting shall be per the Master Plan and other conditions herein described.

Conditions Offered for the Townhouse Building Type:

- The Master Plan shall designate that at least 20%, but not more than 30%, of Townhouse buildings will be a minimum of 2-stories in height as described by chapter 3 of the UDO.
- Any townhouses greater than or equal to 24' in width shall have a 2-car garage.
- Townhome buildings shall be less than 200' wide, regardless of the number of townhomes in the building.
- Foundations shall be crawl spaces or elevated slab foundations which shall be at least 18" in height
 measured at no less than one point on the front façade of each Townhouse. Foundations shall be wrapped
 in brick or stone on all sides except where a driveway ties into a garage, where applicable.
- Thirty Percent (30%) of the Townhouses in any townhouse building cluster shall be constructed with a front porch of greater than or equal to five (5) feet in depth, measured from the front plane of the house to lesser of (a) the inside edge of the front soffit (or equivalent) of the porch, or (b) the front of any columns or railings, and which shall cover, measured by (a) the outside of any columns and/or railings, or (b) the inside of any soffits, (whichever is less), at least one half (50%) of the measurement of the width of

the plane of the house to which the porch is affixed measured at the opposing outside edges of the siding or trim on the of the plane of the house to which the porch is affixed .

- All Townhouse type buildings which do not have a porch, (defined above) shall have a stoop of greater than or equal to five (5) feet in depth, measured from the front plane of the house to lesser of (a) the inside edge of the front soffit (or equivalent) of the porch or stoop, or (b) the outside of any columns or railings, and shall be greater than or equal to five (5) feet in width measured by (a) the outside of any columns and/or railings, or (b) the inside of any soffits, (whichever is less).
- Each Townhouse with a side property line abutting or ad oining (proposed) Fourth Avenue shall have a porch or stoop pro ecting not less than 5' in depth on or along the side closest to the ROW of Fourth Avenue.
- Wall materials may include wood, synthetic wood, cementitious boards, brick, stone, cultured stone, stucco, and architectural glass and/or metal. Wall material components of vinyl /polyvinyl material may only be used as a trim or accent material.
- Front facades shall be comprised of a minimum of two (2) of the listed wall materials, of which the the brick or stone required for the foundation, above, shall count for one (1).
- Principle roofs shall have a pitch of not less than 6:12.
- Eaves shall pro ect not less than 6" except for bay window or similar façade pro ections which may have eaves of not less than 2".
- Rot-resistant trim material of no less than 3.5 inches in width shall be installed around all windows and doors.
- Windows and Doors, themselves, and relevant ambs and casings shall be of rot-resistant wood, wood-look materials, or equivalent materials if security, durability, or fire-resistance take precedence.
- Metal 'coil-stock' trim shall only be permitted for drip edge locations. All soffits, eaves, and facia will be constructed and/or clad with rot-resistant cementitious or synthetic boards.
- Roofs Roofs shall be clad in one or more of the following: standing-seam metal, slate, wood, or architectural asphalt shingles. Flat roof assemblies, or other roof assemblies of less than or equal to 3:12 pitch (excluding stoops and terraces) which face a street (excluding alleys) and which are clad in any materials other than standing-seam metal, shall be surrounded by a parapet, railing, cornice, or eave structure.
- Buildings shall not have uninterrupted wall planes greater than 30 feet in any direction visible from any street from any side of the building. Glazed windows, entry doors, cantilevers, band boards, water tables, ogs/offsets, and other similar architectural breaks shall be used to interrupt wall planes as appropriate. Buildings shall not have uninterrupted roof planes or parapet planes of greater than 30 feet in any direction. Steps, corbels, or ogs/offsets shall be used to interrupt roof planes or parapet planes.
- A minimum of five (5) of the below listed architectural features including at least one (1) feature from each of the four (4) categories shall be utilized on each unit:
 - Entrance
 - $\circ~$ 6" min. width door trim or sidelights
 - Glazed panel in entry door.
 - $\circ~$ Covered porch not less than 5' deep and <u>extending more than 50% of the facade</u>.
 - Building Off-Set (Min. of 2 per building cluster)
 - Facade Off-set (12" min.)
 - \circ Roof Line off-set (12" min.)
 - Facade
 - o Bay Window

- Window Trim (4" min. width)
- o Shutters
- Patterned Finish (Scales, Shakes, Wainscoting, Board & Batten, etc.)
- Roof
 - \circ Dormer
 - $\circ \, \text{Gable}$
 - $\circ \, \text{Chimney}$
- Proposed home elevations are included with the PUD and are approved with the PUD. Additional elevations and future reconstruction or renovation is permitted to the extent the above conditions are met.

3. APARTMENT BUILDING TYPE

Yard Setbacks:

The standards of the UDO shall apply, except: The Front Maximum setback shall not be applied where Public Gathering Space is provided between the front of the building and the front of the lot.

Parking Location;

The standards of the UDO shall apply, *except*:

- Parking shall be permitted within the Side Yard where depicted on the Master Plan.
- Rear Yard setback shall be applied to the perimeter of the district and not to individual Commercial Building lots.

Wall Materials

This provision of the UDO shall apply as re-written: "Wall Materials may include wood, synthetic wood, cementitious boards, brick, stone, cultured stone, stucco, and architectural glass and/or metal accents. Siding components of vinyl /polyvinyl material may only be used as a trim or accent material."

[See "Conditions" below.]

Roofs

This provision of the UDO shall apply as re-written: All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).

Façade

Articulation:

This provision of the UDO shall apply as re-written:

- All building elevations visible from the street shall provide doors and windows, and usable porches, stoops, or balconies.
- A minimum of 40% of front elevations and a minimum of 30% of side elevations which face a street and a minimum of 20% of rear elevations shall meet this standard. Non-transparent windows, inoperable doors and/or windows, and masonry details in the proportions and rhythms of other windows and doors may be used to satisfy this standard.
- Usable porches and stoops should form a predominant motif of the building design and be located on the front or side of the building. Usable front porches are at least 6 feet deep and extend more -than 30% of the façade.

Façade Design Details

The "Façade Design Details" provision of the UDO shall not apply for the Apartment Building Type. [See "Conditions" below.]

Building Offset Design Details

- The "Façade off-set" provision of the UDO shall not apply for the Apartment Building Type. [See "Conditions" below.]
- The "Roof Line off-set" provision of the UDO shall not apply for the Apartment Building Type. [See "Conditions" below.]

Building Entrance

Primary Facade Entrance

This provision of the UDO shall apply as re-written:

- The primary entrance shall be located on the front façade of the building.
- Front entrances shall be behind the front plane of any street-facing building facade.

Entrance Design Details

DESIGN GUIDELINES

 The "Entrance Design Details" provision of the UDO shall not apply for the Apartment Building Type.

[See "Conditions" below.]

Service Entrance

This provision of the UDO shall apply as re-written:

 "Entrances for shipping and receiving shall be screened from view from public rights-of-way (except alleys) via architectural features and/or landscaping."

Multi-Building Developments

This provision of the UDO shall apply as re-written:

 The primary entrance and front façade of individual buildings within a multi-building development shall be oriented towards the following (listed in priority order): a. Perimeter streets, b. Primary internal streets, c. Parks or other common open space, or d. Secondary internal streets. Primary entrances shall not be oriented towards off-street parking lots, garages, or carports but may be oriented toward private accessways and/or fire accessways.

Residential Use Standards

- UDO 5.2.(A) shall not apply.
- All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).

Conditions Offered for the Apartment Building Type

- Rot-resistant trim material of no less than 3.5 inches in width shall be installed around all windows and doors.
- Windows and Doors, themselves, and relevant ambs and casings shall be of rot-resistant wood, wood-look materials, or equivalent materials if security, durability, or fire-resistance take precedence.
- Metal 'coil-stock' trim shall only be permitted for drip edge locations. All soffits, eaves, and facia will be constructed and/or clad with rot-resistant cementitious or synthetic boards.
- Roofs Roofs shall be clad in one or more of the following: standing-seam metal, slate, wood, or architectural asphalt shingles. Flat roof assemblies, or other roof assemblies of less than or equal to 3:12 pitch (excluding stoops and terraces) which face a street (excluding alleys) and which are clad in any materials other than standing-seam metal, shall be surrounded by a parapet, railing, cornice, or eave structure.
- Buildings shall not have uninterrupted wall planes greater than 30 feet in any direction visible from any street from any side of the building. Glazed windows, entry doors, cantilevers, band boards, water tables, ogs/offsets, and other similar architectural breaks shall be used to interrupt wall planes as appropriate. Buildings shall not have uninterrupted roof planes or parapet planes of greater than 30 feet in any direction. Steps, corbels, or ogs/offsets shall be used to interrupt roof planes or parapet planes.
- Foundations The foundations of all buildings shall have a masonry-type cladding from the elevation of the finished grade to no less than the elevation of the floor of the front porch or stoop. Masonry-type cladding may consist of brick, stone, or cultured stone.
- Masonry finishes totaling not less than 50% of the area of all vertical planes less the area(s) which are counted towards Façade Articulation as described above.
- Mechanical and Electrical Equipment As allowed by North Carolina Residential Code, and excepting plumbing vents, clothes dryer vents, attic vents, and bath fan vents, the mechanical components of structures shall be screened to limit or proscribe visibility from public rights-of-way via one of the

following: (a) opaque landscaping, (b) building-matched wing walls, (c) parapets, (d) architectural screens or louvers, (e) opaque fencing, or (f) an equivalent residential-context visual-obstruction. Plumbing vents, clothes dryer vents, attic vents, bath fan vents and equivalent apparatuses shall be either (a) incorporated into the structure, (b) placed in inconspicuous locations, or (c) be colored to match the building plane which they penetrate, and/or be trimmed in the same fashion as windows and doors and colored to match the trim.

- Porches and Stoops Building entrances shall have inset or pro ecting porches or stoops (or a combination of inset and pro ecting) which insets and/or pro ections shall total at least five (5) feet in depth [measured from the outward-facing Entrance Door of the apartment to lesser of (a) the inside edge of the front facia (or equivalent) of the porch, or (b) the inside of any columns or railings,]
- Proposed home elevations are included with the PUD and are approved with the PUD. Additional
 elevations and future reconstruction or renovation is permitted to the extent the above conditions are
 met. If the above conditions cannot be met and a material deviation from the approved elevations is
 proposed, a separate conditional site plan review & approval shall be required.

TOWN CENTER DISTRICT STANDARDS

STATEMENT OF CONSISTENCY: UNIFIED DEVELOPMENT ORDINANCE (TC DISTRICT)

Except as specifically provided herein and/or within the Master Plan, the Downtown North Planned Unit Development will comply with all portions of the Town of Knightdale's Unified Development Ordinance ("UDO") and standards & specifications for design and construction of the proposed development.

The TC District (as depicted on the Master Plan) proposes the following modifications and conditions to the Base District Specific Standards, Use Specific Standards, Building Type Standards, Development Standards, Environmental Protection Standards, Infrastructure Improvement Standards, and Subdivision Standards which are allowed or required under the UDO for the Town Center District which shall be the Base District for this portion of this Planned Unit Development Overlay District Rezoning.

This district permits a number of building types not typically associated with the Town Center base district. However, the express intent is that all buildings will be regarded Mixed Use buildings *unless* specifically containing a single use. The conditions, below, for such building types disincentivize single use buildings and require the appearance of multiple uses and/or require building attachment such that building groupings will have a mixture of uses even where a single building contains a single use.

DISTRICT SPECIFIC STANDARDS (TC DISTRICT)

Bulk and Dimensional Standards Provided

- Lot Width; Street Loaded: N/A
- Lot Width (minimum): 18'
- Yard Setbacks: See the standards described per building type under "BUILDING TYPES PROVIDED AND BUILDING TYPE STANDARDS PROVIDED," below.
 - Buildings or building groupings shall be required to address Fourth Avenue and/or Knightdale Station Run and/or First Avenue with a façade (as further described and conditioned under each building type); and buildings shall be attached or 10' separated except where public gathering space is provided (as further described and conditioned under each building type).
- Height (ft) (minimum): 24.
- Height (ft) (maximum): 90.
 - Parapets, spires, cupolas, antennae attached to a building, projections from buildings, mechanical equipment, and accessory structures associated with an activated roof deck, are not to be included in the calculation of building height.
- Height (stories) (maximum): 6, excluding rooftop access / amenities
- Height (stories) (minimum): 2; [additional clarifications and conditions provided under "SUB-DISTRICTS PROVIDED AND SUB-DISTRICT STANDARDS PROVIDED,"]
- Minimum Residential Driveway Length (ft): (N/A); [See: Yard Setbacks, variously, below, per Building Type.]

Permitted Uses in TC District

- <u>3.1(C)</u>: All uses provided in the UDO as Permitted Uses and Conditional District Uses for the TC district shall be Permitted Uses, hereunder. All uses provided in the UDO as Special Uses shall be allowed upon approval of a (separate) Special Use Permit as detailed in the UDO.
- <u>Uses Not Listed</u>: Except as specifically provided herein, any use not listed in the Use Matrices shall be interpreted by the Land Use Administrator per 3.1(B)5.

Permitted Uses Added / Expanded in TC District

- <u>Retail/Restaurant Uses:</u> Gas Station with Convenience Store; Shopping Center Community Center; Shopping Center Neighborhood Center.
- <u>Manufacturing / Wholesaling / Storage Uses:</u> Agribusiness, Outdoor; Brewery / Winery / Distillery*, Storage – Warehouse, indoor storage*; Wholesaling and Distribution*. [*These uses are limited / conditioned subsequently, herein.]
- <u>Accessory Uses</u>: Drive-Thru Services; Drive-Thru Retail/Restaurant; Solar Energy Collection, Roof/Building Mounted. [These uses are limited / conditioned subsequently, herein.]
- <u>3.1(C)10.b and 3.1(C)10.c</u>: These provisions of the UDO shall apply as re-written:
 - b. Specific Requirements
 - i. Carnival or Circus or <u>Fireworks Sales</u>. A carnival or circus <u>or fireworks sales</u> may be permitted for a period not to exceed twenty-one (21) calendar days.
 - ii. Seasonal Sales. Holiday tree, fireworks, <u>pumpkins/gourds, strawberries</u>, and other <u>such single-product</u> seasonal sales in open lots may be permitted for a period not to exceed forty-five (45) calendar days within the NMX, TC, HB, and MI districts. Holiday tree sales may also be permitted for a period not to exceed forty-five (45) days on a portion of a lot primarily used for agribusiness purposes.
 - iii. Contractor's Office or Equipment Shed. A contractor's office or equipment shed is permitted in any district for a period covering the construction phase of the project not to exceed one (1) year, provided that such office be placed on the property to which it is appurtenant.
 - iv. Food Trucks. Food trucks may be permitted on a parcel with an existing retail/restaurant, office/service, or entertainment/recreation use subject to the following requirements:
 - a) The maximum number of food trucks allowed per commercial parcel are as follows:

(i) Two (2) food trucks shall be allowed on parcels less than 1 acre in size

- (ii) Three (3) food trucks shall be allowed on parcels between 1 and 2 acres in size
- (iii) Four (4) food trucks shall be allowed on parcels greater than 2 acres in size
- (iv) Additional food trucks may be allowed at special events with prior permission
- [The remainder of the above subsection "iv" as well as subsection "v" are intended to apply as written in the UDO.]
 - vi. Farmer's Market. Sales of multiple seasonally available agricultural products in a temporary outdoor marketplace shall be permitted in any district for one (1) year. Such sales may include holiday trees, pumpkins/gourds, and strawberries, etc. without additional zoning compliance permits provided that multiple other agricultural products are concurrently available.

c. Extensions. A zoning compliance permit for a temporary use may be extended, <u>upon the request of the permit holder</u>, by the Land Use Administrator, provided the combined periods of the original permit and extension do not exceed the maximum period lengths previously specified in subsections (a) and (b), and provided that the temporary use has not been found in violation of any Town code or ordinance.

Prohibited Uses in TC District

- Office/Service Uses: Child/Adult Day Care Center (Fewer than 6 people); Funeral Home.
- <u>Civic / Institutional Uses</u>: Cemetaries. [*These uses require a special use permit.]

Use Standards Provided

• The provisions of UDO (5.4.C.2) shall not apply to this district. However, a conditional site plan shall be required for any such uses.

Residential Use Standards

This provision of the UDO (5.2.A) shall apply as re-written:

 All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).

Office / Service Uses

 Permitted Equipment Rental shall not include any outdoor storage, especially including heavy equipment or industrial-scale farming equipment or manufacturing machinery. Nevertheless, it may include (i) office machinery and equipment, such as computers, office furniture, copiers, etc. (ii) nonconsumer machinery of a size and weight suitable for indoor storage without specialized doors, ramps, or docks.

Retail / Restaurant Uses

 For clarity: entertainment activities, including live music, dancing, and comedy, are allowable activities within Bar/Tavern establishments. For further clarity: these establishments may sell alcoholic beverages even if food service is not also available.

Entertainment / Recreation Uses

 Recreation Facilities – Outdoor shall be limited to amenitization of Public Gathering Spaces and Programmed Open Spaces. Tennis courts, riding stables, golf courses, ball fields, campgrounds and other similar large-area uses shall not be permitted.

Civic / Institutional Uses

- All Civic / Institutional uses must be located within a vertically mixed-use building or attached to one.
- No single Civic / Institutional use may exceed 20,000 sf.

General Retail - Greater than 50,000 sf

 Any such uses may only have a <u>single floor plate</u> greater than 50,000 sf in the portion of the district which is west of the proposed Fourth Avenue extension.

Manufacturing / Wholesaling / Storage Uses

- These uses shall only be permitted as (a) Temporary Uses, or (b) as accessory uses in the same building as the primary use, or in buildings which are attached to the primary use, and in no event shall these uses occupy greater than one-half (50%) of the gross area or enclosed volume of the total use.
- Agribusiness uses shall be limited to small-scale (i) production of plants, fruits, vegetables, bee products and other non-livestock farm products in support of an adjacent restaurant or grocer, (ii) selling of farm products by farmers even if produced offsite. ("small scale", in this instance, shall be understood to mean indoor or outdoor beds or plots cultivated exclusively with hand tools and small equipment.)
- Outdoor Media Production facilities ("backlots") shall not be permitted.

Infrastructure Uses:

 Any wireless telecommunication facilities must meet the definition of "Stealth/Camouflage" as found in chapter 15 of the UDO.

Accessory Uses:

• Solar Energy Collection, Building-Mounted shall require a subsequent conditional site plan.

Structured Parking Standards Provided

Ground Story

 The ground story of structured parking must have active uses (including, but not limited to, residential, commercial, office, or public gathering space) located between the parking structure and any street.

Façade Treatment

- The materials, windows, architectural rhythms and detailing of the ground floor façade treatment shall be continued on the upper stories.
- Roof and Facade standards as applicable to the adjacent or integrated active uses shall apply to the façade of the parking structure <u>except</u> that the transparency standards may be met with screening materials other than windows and doors.
- Allowable screening materials include
 - Mesh, tensile fabric, perforated or decorative panels, tinted or sandblasted opaque curtain glass, and other architectural materials matching or compatible with the associated active use building in terms of material, color, texture, and quality.
 - Mesh or perforated materials shall have a maximum open area of 40%
 - Chain link or similar fencing is prohibited for use as a screening material.
 - On-site buildings, walls, and fences located within 30-feet of the parking structure shall qualify as screening elements.

Green walls, louvers, lattice, and other elements which provide 60% opacity may be permitted by the zoning administrator provided that the opacity and architectural compatibility is demonstrated and certified by a licensed architect.

[Compliance with this standard shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping which shall include the sealed certification of the Architect with supporting materials, and which shall be, at the discretion of Development Services, subject to evaluation by its staff or consultant Architect.]

Openings

- Screening elements shall extend their coverage to within 12 inches from the wall opening they screen.
- Vehicular ingress and egress openings may extend 30 feet in width without screening for simple two way movements.
- Vehicular ingress and egress may extend up to 40 feet in width without screening if they include one of the following:
 - More than two vehicular movements, or
 - A pedestrian access opening.
- Pedestrian access openings may extend 8 feet in width without screening.
 - Wider pedestrian access openings without screening shall be allowed if required by Section 903.2.11 of the Fire Code.

Lighting

- Lighting levels measured 10 feet outside the parking deck shall not be greater than 0.5 footcandles.
 Lighting of parking structures shall be designed to reduce light spillage outside the parking structure.
 - Internal illumination sources shall not be visible from outside the parking structure unless screened or shielded and directed upward and into the structure.
 - Internal fixtures shall either be
 - Flush with or recessed above the ceilings or ceiling structure of the parking structure, or
 - Of a cut-off fixture design
 - \cdot Which, if within 15 feet of the perimeter of the structure, will include shields to prevent offsite light spillage

[Compliance with this standard shall be enforced through the submittal, review, and approval of a lighting plan for each parking structure.]

SUB-DISTRICTS PROVIDED AND SUB-DISTRICT STANDARDS PROVIDED

Sub-Districts Defined and Conditioned [See Master Plan for identification / applicability of the Subdistricts]

- Community District (Sub-district 1)
 - The (only) sub-district in which the Large Lot Commercial Building Type is permitted.
 - The (only) sub-district in which drive-thrus are permitted, subject to the following:
 - Drive-thrus shall only per permitted as accessory uses for principal uses in adjoining or nearby buildings.
 - All drive-thru fixtures must be separated or screened from streets (other than Knightdale Boulevard) by the building to which they are accessory (or by an architectural extension of the

building) which shall, at a minimum, run parallel the street for at least the width of any drive-thrurelated canopy or drive isle.

All drive-thru windows must be shrouded by a canopy as contemplated in UDO 5.10(C) which is architecturally integral to the building or <u>functionally equivalent as</u> demonstrated and certified by a licensed architect.

[Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping which shall include the sealed certification of the Architect with supporting materials, and which shall be, at the discretion of Development Services, subject to evaluation by its staff or consultant Architect.]

- The (only) sub-district in which Gas Station with Convenience Store is permitted.
- Grocery-friendly maximum setback modification(s) and Loading Area Conditions provided (subsequently, herein) along McKnight Drive (only).
- Every building shall either have occupiable space on a level <u>above the first floor</u> (outlined, below), or must appear to have it. [See various conditions subsequently provided under each of the Permitted Building Types.]
- Township District (Sub-district 2)
 - Every building shall have occupiable space on a level <u>above the first floor</u>. For the purposes of this PUD, such may include:
 - \circ An additional floor which may or may not be associated with the use(s) below it
 - o A mezzanine accessible from the floor below it.
 - An accessible rooftop terrace intended for daily occupancy by a use/user in the building or building grouping (weather permitting).
- Gateway District (Sub-district 3)
 - Any single building shall have occupiable space on a level <u>above the second floor</u>. For the purposes of this PUD, such may include:
 - o Additional floor(s) which may or may not be associated with the use(s) below it
 - o A mezzanine accessible from the floor below it
 - An accessible rooftop terrace intended for daily occupancy by a use/user in the building or building grouping (weather permitting).
 - Alternatively, any building which does not have occupiable space above the second floor must both:
 - have occupiable space on a level *above the first floor* (as outlined above), AND,
 - be attached to a building which does have occupiable space above the second floor (as outlined above).

BUILDING TYPES PROVIDED AND BUILDING TYPE STANDARDS PROVIDED

- 1. APARTMENT BUILDING TYPE
- 2. MIXED USE BUILDING TYPE
- 3. COMMERCIAL BUILDING TYPE
- 4. OUTLOT / LINER BUILDING TYPE
- 5. LARGE LOT COMMERCIAL BUILDING TYPE
- 6. INSTITUTIONAL BUILDING TYPE
- 7. CIVIC BUILDING TYPE

1. APARTMENT BUILDING TYPE

Yard Setbacks:

The standards of the UDO shall apply, <u>except</u>: The Front Maximum setback shall not be applied where Public Gathering Space is provided between the front of the building and the front of the lot.

Parking Location;

The standards of the UDO shall apply, except:

- Parking shall be permitted within the Side Yard where either (i) a Type-A buffer, or (ii) an
 architectural screen, consistent or complimentary to the materials of the principal structure, is
 provided between the parking area and the street.
- Rear Yard setback shall be applied to the perimeter of the district and not to individual building lots.

Wall Materials

This provision of the UDO shall apply as re-written: "Wall Materials may include wood, synthetic wood, cementitious boards, brick, stone, cultured stone, stucco, and architectural glass and/or metal accents. Siding components of vinyl /polyvinyl material may only be used as a trim or accent material."

[See "Conditions" below.]

Roofs

This provision of the UDO shall apply as re-written: All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).

Façade

Articulation:

This provision of the UDO shall apply as re-written:

- All building elevations visible from the street shall provide doors and windows, and usable porches, stoops, or balconies.
- A minimum of 40% of front elevations and a minimum of 30% of side elevations which face a street and a minimum of 20% of rear elevations shall meet this standard.
- Usable porches and stoops should form a predominant motif of the building design and be located on the front or side of the building. Usable front porches are at least 6 feet deep and extend more than 15% of the facade.

Façade Design Details

• The "Façade Design Details" provision of the UDO shall not apply for the Apartment Building Type. [See "Conditions" below.]

Building Offset Design Details

- The "Façade off-set" provision of the UDO shall not apply for the Apartment Building Type. [See "Conditions" below.]
- The "Roof Line off-set" provision of the UDO shall not apply for the Apartment Building Type. [See "Conditions" below.]

Building Entrance

Primary Façade Entrance

This provision of the UDO shall apply as re-written:

- The primary entrance shall be located on the front façade of the building.
- Front entrances shall be behind the front plane of any street-facing building façade. Entrance Design Details
- The "Entrance Design Details" provision of the UDO shall not apply for the Apartment Building Type.

[See "Conditions" below.]

Service Entrance

This provision of the UDO shall apply as re-written:

 "Entrances for shipping and receiving shall be screened from view from public rights-of-way (except alleys) via architectural features and/or landscaping."

Multi-Building Developments

This provision of the UDO shall apply as re-written:

The primary entrance and front façade of individual buildings within a multi-building development shall be oriented towards the following (listed in priority order): a. Perimeter streets, b. Primary internal streets, c. Parks or other common open space, or d. Secondary internal streets. Primary entrances shall not be oriented towards off-street parking lots, garages, or carports but may be oriented toward private accessways and/or fire accessways.

Conditions Offered for the Apartment Building Type

- All apartment buildings shall have vehicular/parking access from an alleyway or similar accessway at the rear or side of the Apartment and shall not have a garage within the front façade nor any other off-street parking in the front yard.
- Rot-resistant trim material of no less than 3.5 inches in width shall be installed around all windows and doors.
- Windows and Doors, themselves, and relevant ambs and casings shall be of rot-resistant wood, wood-look materials, or equivalent materials if security, durability, or fire-resistance take precedence.
- Metal 'coil-stock' trim shall only be permitted for drip edge locations. All soffits, eaves, and facia will be constructed and/or clad with rot-resistant cementitious or synthetic boards.
- Roofs Roofs shall be clad in one or more of the following: standing-seam metal, slate, wood, or
 architectural asphalt shingles. Flat roof assemblies, or other roof assemblies of less than or equal to 3:12
 pitch which are clad in any materials other than standing-seam metal, shall be surrounded by a parapet or
 eave structure such that the roof material shall not be visible from the street on any side of the building.

- Buildings shall not have uninterrupted wall planes greater than 30 feet in any direction visible from any street from any side of the building. Glazed windows, entry doors, cantilevers, band boards, water tables, ogs/offsets, and other similar architectural breaks shall be used to interrupt wall planes as appropriate. Buildings shall not have uninterrupted roof planes or parapet planes of greater than 30 feet in any direction. Steps, corbels, or ogs/offsets shall be used to interrupt roof planes or parapet planes.
- Foundations The foundations of all buildings shall have a masonry-type cladding from the elevation of the finished grade to no less than the elevation of the floor of the front porch or stoop. Masonry-type cladding may consist of brick, stone, or cultured stone.
- Masonry finishes totaling not less than 50% of the area of all vertical planes less the area(s) which are counted towards Façade Articulation as described above.
- Mechanical and Electrical Equipment As allowed by North Carolina Residential Code, and excepting
 plumbing vents, clothes dryer vents, attic vents, and bath fan vents, the mechanical components of
 structures shall be screened to limit or proscribe visibility from public rights-of-way via one of the
 following: (a) opaque landscaping, (b) building-matched wing walls, (c) parapets, (d) architectural screens
 or louvers, (e) opaque fencing, or (f) an equivalent residential-context visual-obstruction. Plumbing vents,
 clothes dryer vents, attic vents, bath fan vents and equivalent apparatuses shall be either (a) incorporated
 into the structure, (b) placed in inconspicuous locations, or (c) be colored to match the building plane
 which they penetrate, and/or be trimmed in the same fashion as windows and doors and colored to match
 the trim.
- Porches and Stoops Building entrances shall have inset or pro ecting porches or stoops (or a combination of inset and pro ecting) which insets and/or pro ections shall total at least five (5) feet in depth [measured from the outward-facing Entrance Door of the apartment to lesser of (a) the inside edge of the front facia (or equivalent) of the porch, or (b) the inside of any columns or railings,]

2. MIXED USE BUILDING TYPE

Yard Setbacks:

The standards of the UDO shall apply, <u>except</u>: The Front Maximum setback shall not be applied where Public Gathering Space is provided between the front of the building and the front of the lot.

Parking Location;

The standards of the UDO shall apply, except:

- Parking shall be permitted within the Side Yard where either (i) a Type-A buffer, or (ii) an
 architectural screen, consistent or complimentary to the materials of the principal structure, is
 provided between the parking area and the street.
- Rear Yard setback shall be applied to the perimeter of the district and not to individual building lots.

Roofs

This provision of the UDO shall apply as re-written: All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).

Façade

Articulation

This provision of the UDO shall apply as written. For clarity: 'non-parapet railing systems around rooftop amenity areas' (described in conditions, below) shall qualify as elements of articulation.

Building Entrance

Primary Façade Entrance

This provision of the UDO shall apply as re-written:

- <u>Not less than one entrance</u> for ground floor uses shall be located on the façade of the building facing the primary street to which it abuts.
- <u>Primary</u> entrances for upper floor uses <u>may</u> be located on side or rear façades.

Service Entrance

This provision of the UDO shall apply as re-written:

 "Entrances for shipping and receiving shall be screened from view from public rights-of-way (except alleys) via architectural features and/or landscaping."

Multi-Building Developments

This provision of the UDO shall apply as re-written:

 Each building façade which faces a Perimeter street, Primary internal street, Park or other common open space, or Secondary internal street shall comply with the Articulation, Awnings, Transparency, and Window Dimensions standards under the Façade section of the UDO for Mixed Use Buildings.

Residential Use Standards

This provision of the UDO (5.2.A) shall apply as re-written:

 All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).

Conditions Offered for the Mixed Use Building Type

- All Mixed Use buildings shall either be multi-story buildings or shall be designed and constructed in the appearance of multi-story buildings, including compliance with the Façade Articulation standards per Chapter 6 of the UDO for upper stories. [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]
 - Note: Standards for multi-story building treatment are defined by sub-district, and are explained in the 'SUB-DISTRICTS PROVIDED AND SUB-DISTRICT STANDARDS PROVIDED' section of the Design Guidelines.
- All Mixed-Use Buildings which are two (2) stories and/or are two (2) stories <u>in appearance</u> (as described above) shall be attached to another Mixed Use Building or shall be designed and constructed in the appearance of multiple attached Mixed Use buildings. For clarity: this condition shall not apply to structures which are three (3) or more stories or three (3) or more stories <u>in appearance</u>.
 [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]

3. COMMERCIAL BUILDING TYPE

Yard Setbacks:

The Front Minimum Yard Setback: 0 ft The Front Maximum Yard Setback: 30 ft, <u>except</u>: 60 ft along McKnight Drive. The Front Maximum Yard Setback AVERAGE: 20 ft, <u>except</u> 60 ft along McKnight Drive. The Side Minimum Yard Setback: 0 ft The Rear Minimum Yard Setback: 0 ft

Parking Location;

The standards of the UDO shall apply, except:

- Parking shall be permitted within the Side Yard where either (i) a Type-A buffer, or (ii) an
 architectural screen, consistent or complimentary to the materials of the principal structure, is
 provided between the parking area and the street.
- Rear Yard setback shall be applied to the perimeter of the district and not to individual building lots.

Roofs

<u>Relief</u>

This provision of the UDO shall not strictly apply. However, conditions have been added, below, to address alternative methods of measurement and compliance.

Façade

Articulation

This provision of the UDO shall apply as written. For clarity: 'non-parapet railing systems around rooftop amenity areas' (described, below) shall qualify as elements of articulation.

Building Entrance

Primary Façade Entrance

This provision of the UDO shall apply as re-written:

- <u>Not less than one entrance</u> for ground floor uses shall be located on the façade of the building facing the primary street to which it abuts.
- <u>Primary</u> entrances shall be designed for the pedestrian and shall be distinguishable from the rest
 of the building through the use of elements such as, but not limited to, a landscape forecourt, a

wide pedestrian path from the sidewalk with special paving, access and pathway lighting, special plantings and landscape, and/or a prominent roof form.

Service Entrance

This provision of the UDO shall apply as re-written:

 "Entrances for shipping and receiving shall be screened from view from public rights-of-way (except alleys) via architectural features and/or landscaping."

Conditions Offered for the Commercial Building Type

- All Commercial buildings shall either be multi-story buildings or shall be designed and constructed in the appearance of multi-story buildings, including compliance with the Façade Articulation standards per Chapter 6 of the UDO for <u>all</u> stories. [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]
- All Commercial buildings which are two (2) stories and/or are two (2) stories <u>in appearance</u> (as described above) shall be attached to another Mixed Use Building or shall be designed and constructed in the appearance of multiple attached Mixed Use buildings. For clarity: this condition shall not apply to structures which are three (3) or more stories or three (3) or more stories <u>in appearance</u>.
 [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]
- All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).
- Roofs shall avoid long, monotonous, uninterrupted planes over 40 feet by utilizing vertical offsets equal to 10% of the length of the uninterrupted roof plane or horizontal offsets equal to 5% of an uninterrupted roof plane except as appropriate for a particular architectural theme which appropriateness shall be demonstrated and certified by a licensed architect.

[Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping which shall include the sealed certification of the Architect with supporting materials, and which shall be, at the discretion of Development Services, subject to evaluation by its staff or consultant Architect.]

4. OUTLOT / LINER BUILDING TYPE

Yard Setbacks:

The Front Minimum Yard Setback: 0 ft

The Front Maximum Yard Setback: 30 ft, except: 60 ft along McKnight Drive.

The Front Maximum Yard Setback AVERAGE: 20 ft, except 60 ft along McKnight Drive.

The Side Minimum Yard Setback: 0 ft

The Rear Minimum Yard Setback: 0 ft

Parking Location;

The standards of the UDO shall apply, *except*:

- Parking shall be permitted within the Side Yard where either (i) a Type-A buffer, or (ii) an
 architectural screen, consistent or complimentary to the materials of the principal structure, is
 provided between the parking area and the street.
- Rear Yard setback shall be applied to the perimeter of the district and not to individual building lots.

Roofs

<u>Relief</u>

This provision of the UDO shall not strictly apply. However, conditions have been added, below, to address alternative methods of measurement and compliance.

Building Entrance

Primary Façade Entrance

This provision of the UDO shall apply as re-written:

 <u>At least one entrance</u> for ground floor uses shall be located on the façade of the building facing the primary street to which it abuts.

Service Entrance

This provision of the UDO shall apply as re-written:

 "Entrances for shipping and receiving shall be screened from view from public rights-of-way (except alleys) via architectural features and/or landscaping."

Façade

Articulation

This provision of the UDO shall apply as written. For clarity: 'non-parapet railing systems around rooftop amenity areas' (described, below) shall qualify as elements of articulation.

Conditions Offered for the Outlot/Liner Building Type

- All Outlot / Liner buildings shall either be multi-story buildings or shall be designed and constructed in the appearance of multi-story buildings, including compliance with the Façade Articulation standards per Chapter 6 of the UDO for <u>all</u> stories. [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]
- All Outlot / Liner I buildings which are two (2) stories and/or are two (2) stories <u>in appearance</u> (as described above) shall be attached to another Outlot / Liner building or shall be designed and constructed in the appearance of multiple attached Outlot / Liner buildings. For clarity: this condition shall not apply to structures which are three (3) or more stories or three (3) or more stories <u>in appearance</u>.
 [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]

- All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).
- Roofs shall avoid long, monotonous, uninterrupted planes over 40 feet by utilizing vertical offsets equal to 10% of the length of the uninterrupted roof plane or horizontal offsets equal to 5% of an uninterrupted roof plane except as appropriate for a particular architectural theme which appropriateness shall be demonstrated and certified by a licensed architect.

[Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping which shall include the sealed certification of the Architect with supporting materials, and which shall be, at the discretion of Development Services, subject to evaluation by its staff or consultant Architect.]

5. LARGE LOT COMMERCIAL BUILDING TYPE

Description:

This provision of the UDO shall apply as re-written:

The Large Lot Commercial Building *may have* a footprint *for a single use* greater than 25,000 square feet (often used by *"big-box" retailers*). In this district, any Large Lot Commercial Buildings shall either be (a) screened from the proposed Fourth Avenue and Knightdale Station Run extensions with attached or detached Mixed Use, Outlot / Liner, or Commercial Building types (as defined, above), or (b) architecturally treated per the below conditions.

Applicability:

This provision of the UDO shall apply as re-written:

The Large Lot Commercial Building is predominantly distinguished from the other building types by (a) floor plate area which exceeds 25,000 square feet within a single building or building grouping for a single use, and (b) the Yard and Parking standards as set forth, below.

Yard Setbacks:

The Front Minimum Yard Setback: 0 ft

The Front Maximum Yard Setback: n/a

The Side Minimum Yard Setback: 0 ft

The Rear Minimum Yard Setback: 0 ft

Parking Location

The standards of the UDO shall apply, *except*:

- Parking shall be permitted within the Side Yard where either (i) a Type-A buffer, or (ii) an architectural screen, consistent or complimentary to the materials of the principal structure, is provided between the parking area and the street.
- The Front and Rear Yard setback shall be applied to the perimeter of the district and not to individual building lots.

Roofs

Relief

This provision of the UDO shall not strictly apply. However, conditions have been added, below, to address alternative methods of measurement and compliance.

Façade

Articulation

This provision of the UDO shall apply as written.

- For clarity: For building façades closest to McKnight Drive, 'windows' may include
 - Glazed surfaces with limited or no transparency
 - Window or door patterned masonry details which have at least six (6) inches of horizontal offset (inward and/or outward) from the plane of the building upon which they are a feature.
- For clarity: 'non-parapet railing systems around rooftop amenity areas' (described, below) shall qualify as elements of articulation.

Transparency

The standards of the UDO shall apply, except:

 These standards shall not apply along McKnight Drive if an architectural screening wall is provided as described in the conditions, below. DESIGN GUIDELINES

Building Entrance

Primary Façade Entrance

This provision of the UDO shall apply as written.

Service Entrance

This provision of the UDO shall apply as re-written:

 "Entrances for shipping and receiving shall be screened from view from public rights-of-way (except alleys) via architectural features and/or landscaping."

Conditions Offered for the Large Lot Commercial Building Type

- All Large Lot buildings shall either be multi-story buildings or shall be designed and constructed in the appearance of multi-story buildings, including compliance with the Façade Articulation standards per Chapter 6 of the UDO for <u>all</u> stories. [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]
- All Large Lot Commercial buildings which are two (2) stories and/or are two (2) stories <u>in appearance</u> (as described above) shall be attached to another building or shall be designed and constructed in the appearance of multiple attached buildings. For clarity: this condition shall not apply to structures which are three (3) or more stories or three (3) or more stories <u>in appearance</u>.
 [Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]
- All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).
- Roofs shall avoid long, monotonous, uninterrupted planes over 40 feet by utilizing vertical offsets equal to 10% of the length of the uninterrupted roof plane or horizontal offsets equal to 5% of an uninterrupted roof plane except as appropriate for a particular architectural theme which appropriateness shall be demonstrated and certified by a licensed architect.

[Compliance with this condition shall be enforced through the submittal, review, and approval of a conditional site plan for each building or building grouping.]

• To mitigate the impacts of a potential Loading Area / Loading Berth between McKnight Drive and the closest building(s) to McKnight Drive (as depicted on the Master Plan), installation of an architectural masonry screening wall of not less than five (5) feet in height above the grade of the eastern shoulder of McKnight Drive, located between the Right-of Way of McKnight Drive and any Loading Area / Loading Bay, shall be a special condition of approval for the conditional site plan for any building associated with the Loading Area.

6. INSTITUTIONAL BUILDING TYPE

Yard Setbacks:

The Front Minimum Yard Setback: 0 ft The Front Maximum Yard Setback: n/a The Side Minimum Yard Setback: 0 ft The Rear Minimum Yard Setback: 0 ft

Conditions Offered for the Institutional Building Type

- All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).
- Parking location standards for the Institutional Building Type shall be the same as the other Commercial and Mixed Use building types as provided herein.

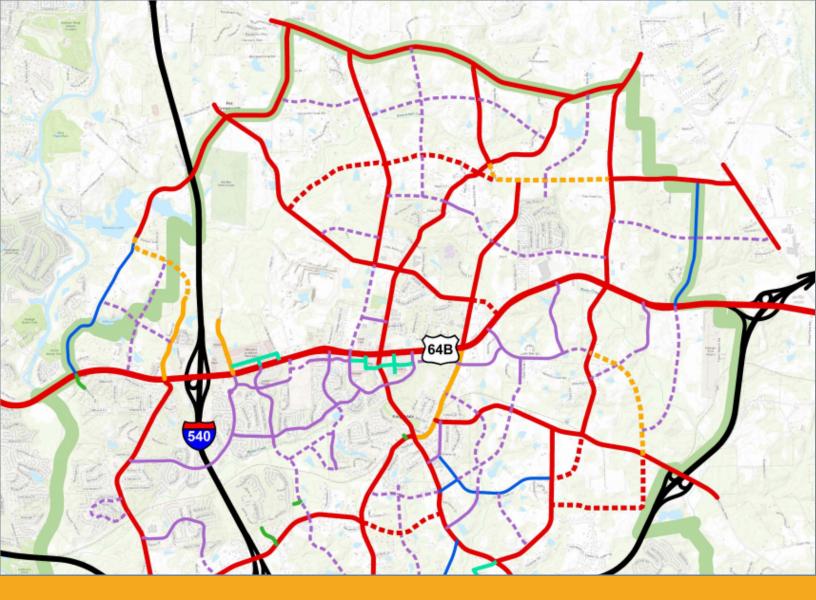
7. CIVIC BUILDING TYPE

Yard Setbacks:

The Front Minimum Yard Setback: 0 ft The Front Maximum Yard Setback: n/a The Side Minimum Yard Setback: 0 ft The Rear Minimum Yard Setback: 0 ft

Conditions Offered for the Civic Building Type

- All Rooftop service areas will be inset into pitched roofs or flat and screened from view by parapet walls. Rooftop amenity areas may have non-parapet railing system (of glass, cable, metal, wood, polymer, or a combination thereof).
- Parking location standards for the Civic Building Type shall be the same as the other Commercial and Mixed Use building types as provided herein.



TRANSPORTATION ANALYSIS

TRANSPORTATION IMPACT ANALSYIS SUMMARY

A Traffic Impact Analysis (TIA) was conducted by Ramey Kemp and Associates for the proposed development in accordance with the Knightdale (Town) Unified Development Ordinance (UDO) and North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. A full copy of the TIA will be submitted for review and approval with the PUD submittal. A summary of the recommended traffic improvements and phasing of improvements is provided on the following pages for reference.

Study Area

Based on coordination with the Town of Knightdale (Town) and the North Carolina Department of Transportation (NCDOT), the study area is proposed to consist of the following intersections:

- Mcknight Drive and Knightdale Blvd (US 64 Business)
- N. First Avenue / Old Knight Road and Knightdale Blvd (US 64 Business)
- Smithfield Road and Knightdale Blvd (US 64 Business)
- Mcknight Drive at Lowes Driveway
- Knightdale Station Run and N First Avenue
- Sycamore Street and N. First Avenue
- Pine Street and N. First Avenue
- Fourth Avenue and Main Street
- Main Street and N. First Avenue
- Main Street and Smithfield Road
- Smithfield Road and N. First Avenue
- Carrington Drive and Smithfield Road
- Smithfield Road and 4th Street
- N. First Avenue and Robertson Street
- N. First Avenue and Fayetteville Street

TIMING OF AREA ROAD and TIA IMPROVEMENTS

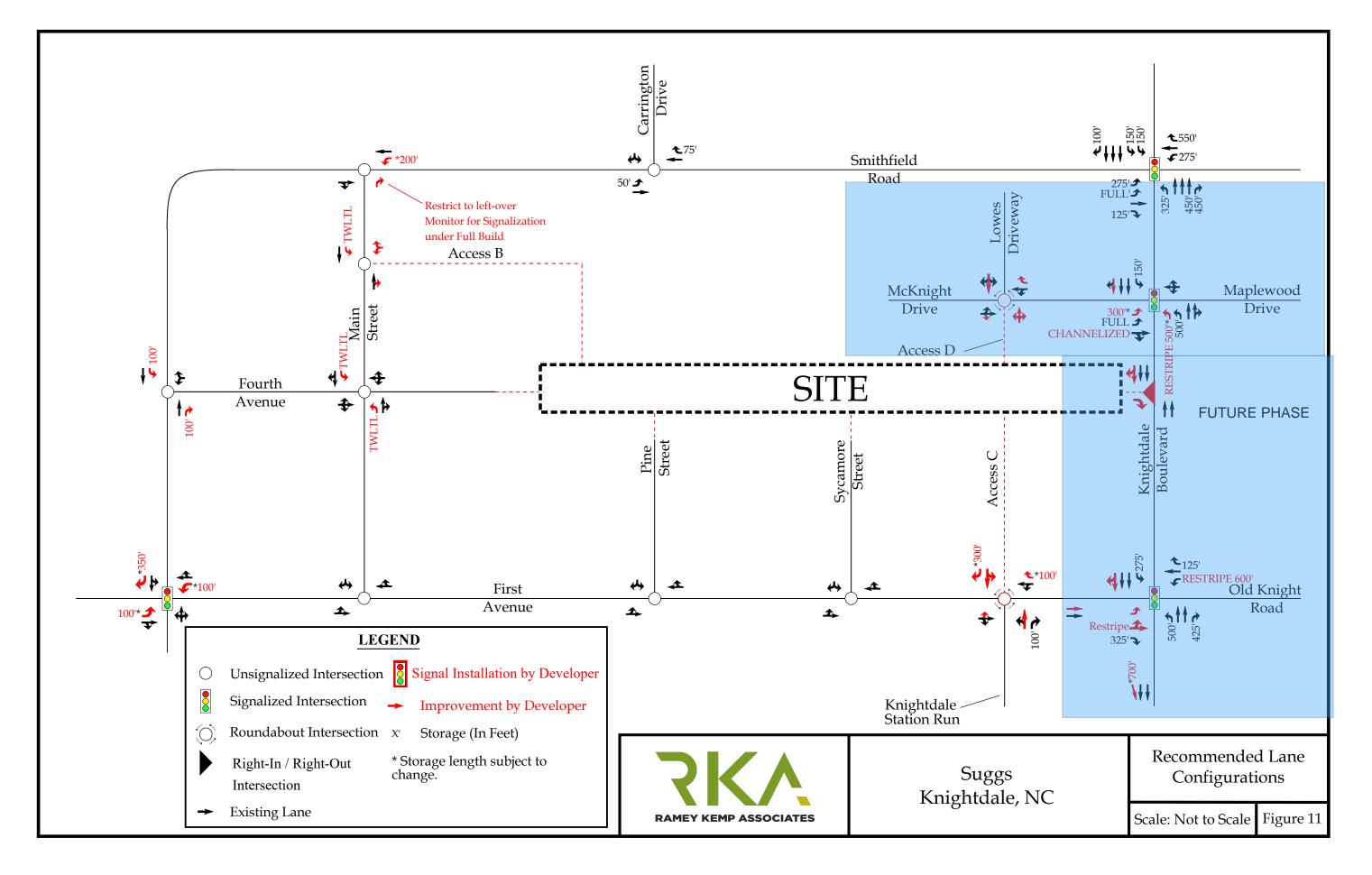
Based on anticipated development patterns at Downtown North, it is expected that the residential portion shall proceed ahead of the commercial development. Generally, the Improvements can be broken down into 2 primary areas - those being (i) Smithfield Road Corridor and (ii) Hwy 64 Frontage Improvements. The Smithfield Road Corridor Improvements shall be aligned largely with the Residential Development while the Hwy 64 Frontage Improvements are aligned closely with the development of the Town Center. The phasing of the TIA Improvements shall be as follows:

Smithfield Road Corridor:

- Prior to recording of the first Residential plat adjacent to Main street, the turn lanes proposed for Main Street shall be installed. Internal extensions from project to Pine Street and Oakwood Street shall be connected thru from the Residential Development to N First Avenue.
- Prior to the recordation of the 150th Lot in the Residential Development, the following Improvements shall be completed in the Smithfield Corridor......(i) Improvement of the First and Smithfield intersection per DOT approved plans; (ii) Completion of the 4th avenue and Smithfield intersection improvements to include a traffic circle; (iii) Completion of the turn lanes at Smithfield and Main Street.

Hwy 64 Frontage Improvements:

- Prior to recordation of the 300th Lot in the Residential, the following shall be completed.....(i) 4th Avenue extended thru the Residential Development to the proposed intersection with Knightdale Station Blvd in the Town Center; (ii) Knightdale Station Blvd shall be extended from N First Avenue to the proposed 4th Avenue intersection; (iii) Traffic circles and related improvements shall be installed at 4th Ave/Knightdale Station and N First/Knightdale Station.
- Developer shall be allowed up to 50,000 SF of non-residential space (east or west of 4th Avenue) with completion of the full connection of 4th Avenue to Hwy 64 (to include a 200-foot right turn lane on Hwy 64) as well as completion of the nearest Hwy 64 intersection improvements as noted in the approved TIA. If the 50,000 SF is west of 4th Avenue, then the McKnight Intersection Improvements shall be constructed including the connection of Knightdale Station Blvd to McKnight, the proposed traffic circle at McKnight and Knightdale Station Blvd, as well as the McKnight/Hwy 64 intersection improvements. If the 50,000 SF is east of 4th Avenue, then the N First / Hwy 64 Improvements shall be completed.
- Prior to issuance of a CO for the 50,001st SF of non-residential space in the Town Center, all the remaining Hwy 64 Frontage Improvements shall be completed including the full lane across the frontage of the Property as well as any remaining intersection improvements as identified on the approved TIA.
- If the non-residential were to precede the Residential development, then the same improvements would apply as noted herein for the non-residential with the addition of a requirement to complete the N First/Smithfield intersection improvement prior to the issuance of a CO in the non-residential.



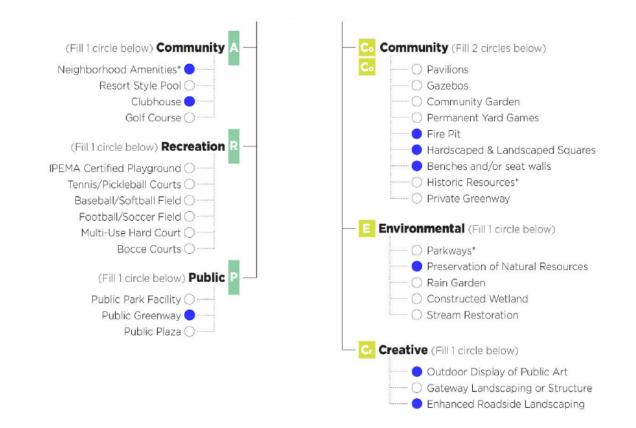


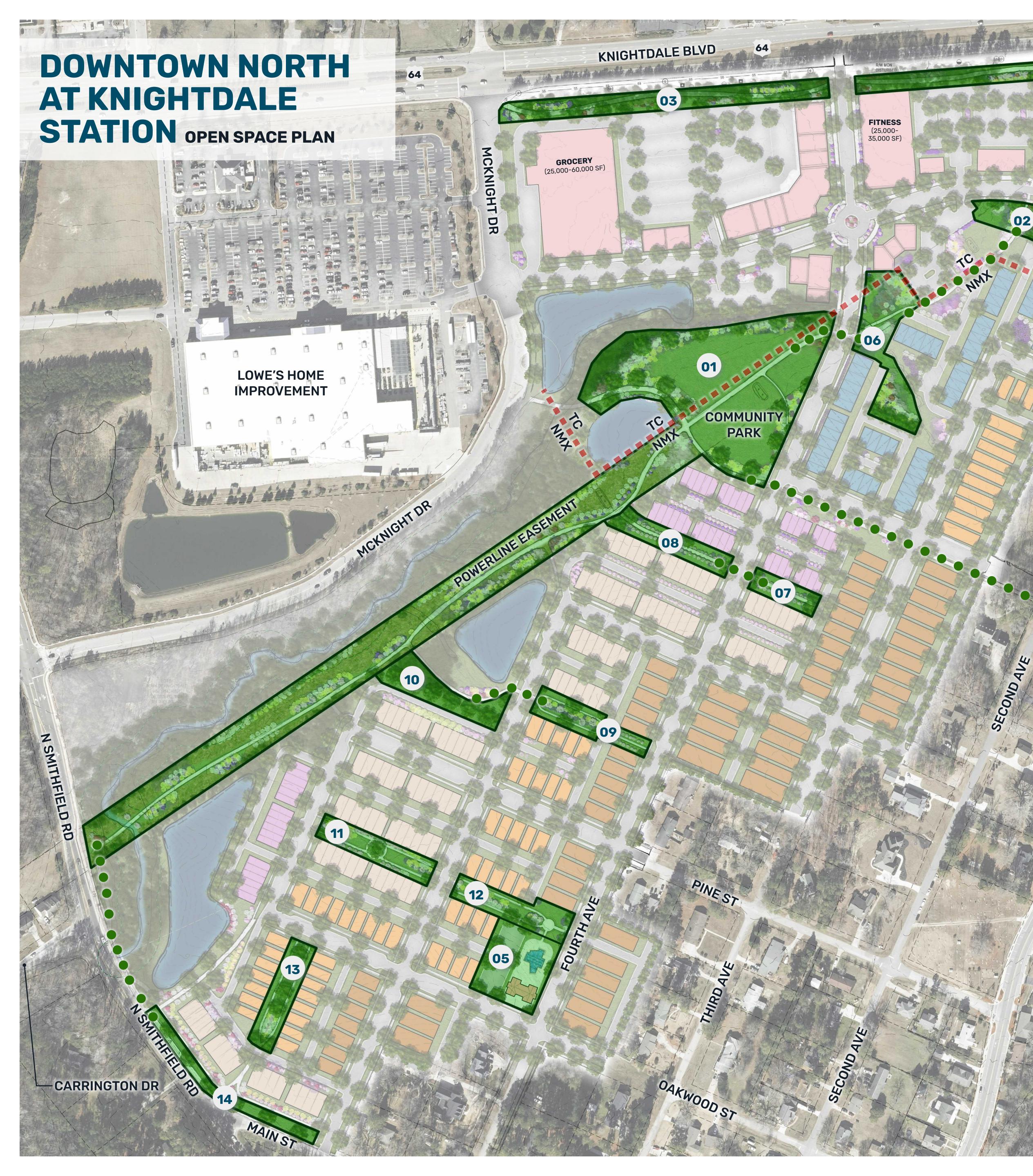
RECREATIONAL OPENSPACE + AMENITIES

RECREATIONAL OPEN SPACE AND AMENITIES

Downtown North at Knightdale Station, due to its close proximity to both Knightdale Station Park and Harper Park, shall be exempt from the Recreational Open Space standards contained in Section 11.2 of the UDO, as it might relate to such items as minimum recreational open space dedication requirements (11.2C4) and Recreational Open Space Criteria (11.2C7). Instead, recreation and open space areas shall be as generally depicted in the approved Master Plan and as shown in the Open Space Plan exhibit on the following page.

At a minimum, Downtown North at Knightdale Station shall include 14 programmed open space areas, including a pool and clubhouse. Cumulatively, these open space areas shall include the following open space elements identified in Figure 11.1 (Open Space Menu) of the UDO. Program options for each open space is provided within the Open Space Plan exhibit. Example imagery of linear parks, amenity, and trail designs which will influence and inform many of these spaces are contained in Section 10 of this document.





HOTEL (90-115 ROOMS)

3/4 STORY VERTICAL MIXED-USE (13,000 SF PER FLOOR)

MARATHON

GAS

FIRSTAVE

Z

- 3/4 STORY VERTICAL MIXED+USE (20,000 SF PER FLOOR)



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-OPLAR ST

TC NMX

OPEN SPACE PROGRAMMING

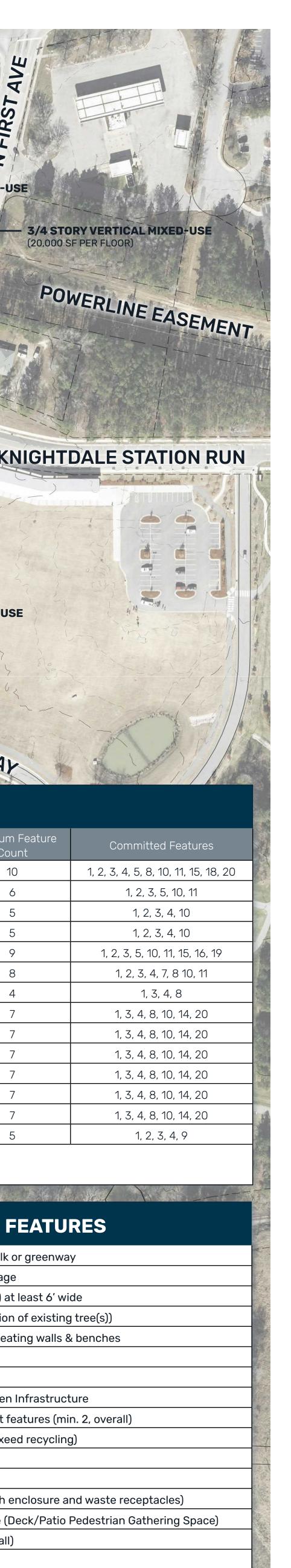
WHISTIN

Minimum Land Area (Sq. Ft.)	Minimum Feature Count	Committ
198,000	10	1, 2, 3, 4, 5, 8
10,000	6	1, 2, 3
25,000	5	1, 2,
30,000	5	1, 2,
33,500	9	1, 2, 3, 5, 10
19,000	8	1, 2, 3, 4
7,000	4	1, 3
11,000	7	1, 3, 4, 8
15,000	7	1, 3, 4, 8
14,000	7	1, 3, 4, 8
13,000	7	1, 3, 4, 8
12,500	7	1, 3, 4, 8
14,000	7	1, 3, 4, 8
7,500	5	1, 2,
409,5000		
9.40		
	(Sq. Ft.) 198,000 10,000 25,000 30,000 33,500 19,000 19,000 19,000 11,000 11,000 15,000 14,000 12,500 14,000 7,500 409,5000	(Sq. Ft.)Count198,0001010,000625,000530,000533,500919,00087,000411,000715,000714,000712,500714,000714,0005409,50005

3/4 STORY VERTICAL MIXED-USE (15,000 SF PER FLOOR)



/	1	Direct access to public sidewalk or greenway
1	2	Placemaking/Directional Signage
ALC: N	3	Internal pedestrian walkway(s) at least 6' wide
and the second	4	New shade trees (or Preservation of existing tree(s))
16	5	Movable tables and chairs or Seating walls & benches
a PIN	6	Amphitheater(s)
	7	Firepit or Grilling Stations
A SHOW	8	Enhanced Landscaping or Green Infrastructure
A A	9	Scultpure(s) or other Public Art features (min. 2, overall)
11	10	Waste receptacles (landfill+mixeed recycling)
1	11	Bike Parking
Color	12	Community Garden
1	13	Pet Play Area (with 4-foot-high enclosure and waste recepta
1	14	Hardscape/Landscape Square (Deck/Patio Pedestrian Gathe
2	15	Covered Pavillion (min. 3, overall)
C. Carlo	16	Water play area
1.0	17	Play Area/Playground with structures, fixtures, or equipmen
P	18	Play Lawn/Play Field/Sport Field
- And	19	Pool/Pool amenities (min. 1, overall)
State of the	20	Pedestrian scale and/or celebratory lighting
	21	Transit stop with shelter
A Charles		* Other features as approved by administrator
(m)	ALL STOR	LA TOLIAL DONALS RECO











STREETS + SIDEWALKS

Streets and alleys within Downtown North at Knightdale Station shall be designed according to customized crosssections included within the Master Plan. These cross-sections are intended to address unique needs related to onstreet parking, tree wells, alley screening, etc. Pavement construction standards shall adhere to Town of Knightdale's standards and specifications.

> The Right-of-Way and street section of the Sycamore Street extension proposed on the Master Plan shall be constructed inclusive of a 10-foot greenway to replace the public greenway currently proposed in the same/ similar location. The present easement for the current public greenway shall be abandoned upon completion of the new Sycamore Street extension.

> To ensure broader greenway system functionality, Pine Street must be constructed with a multiuse path of not less than 8-feet in width (per the provided street section for Pine Street) and a connection between Pine Street & the public greenway to its west must be constructed before construction may occur in the Sycamore Street.

STORMWATER

Downtown North at Knightdale Station is located within the Neuse River basin with the site's stormwater runoff draining into Mingo Creek. The proposed development shall be subject to stormwater management requirements found in Chapter 9: Environmental Protection Standards of the Town of Knightdale's Unified Development Ordinance (UDO). Per regulations established in Chapter 9 of the Town of Knightdale's UDO, stormwater runoff provisions shall address peak flow mitigation and water quality management.

Four above ground stormwater control measures (SCMs) are proposed to meet regulations established Chapter 9 of the Town of Knightdale's UDO by providing peak flow mitigation and water quality management for the site. Additional above or below ground SCMs will be incorporated into the future development plans for the TC district. All SCMs will be designed to have a minimum of 85% avg. annual removal for Total Suspended Solids (TSS).

WATER + SEWER

Water and sewer within the proposed PUD are designed to meet the standards of the City of Raleigh. Sewer wastewater for the project will be served by a City of Raleigh public gravity system to two separate anticipated connections, one along McKnight Drive and one along N Smithfield Rd. City of Raleigh public water will be extended through all public streets within the site, connecting to form a grid from existing nearby public rights of way. TC Zoning areas are set up for future connection by public main stubs to each building area for water and sewer. Residential single family and townhome lots will be services by individual meters and cleanouts, while the 2-over-2 condos will use one connection per building. Future TC building services will be determined at the time of Site Plan for each respective building.



NEIGHBORHOOD MEETING REPORT

Downtown North at Knightdale Station - Neighborhood Meeting Log (10/18/22)

Meeting Time: 7:00-8:30 PM

Meeting Location: Northside Community Church (621 N First Ave, Knightdale, NC 27545)

Total attendees: 22 (14 Neighbors/Residents and 8 Dev. Team/Town Staff)

Neighbors/Interested Residents Present:

1.	Perry Reynolds	(7526 Knightdale Blvd)
2.	Elizabeth Nichols	(204 Pine St)
3.	Christine Price	(316 Main St)
4.	Henry & Connie Knight	(6020 Watkins Rd)
5.	Voyage Capital Ventures LLC	(101 Forest Drive & 608 N. First Ave.)
6.	Pete Mangum	(605 N. First Ave.)
7.	Linwood R. Jones	(607 Second Ave.)
8.	Russell & Kipley Killen	(585 Second Ave.)
9.	Lee & Lauren Kimball	(407 N. Smithfield Rd.)
10.	William White	(1905 Alexander Rd)
11.	John G. Spencer	(801 N. First Ave.)

Presenters:

- a. John Myers (JPM)
- b. Jacob Anderson (Alliance Group of NC)
- c. David Bergmark (McAdams)

Presentation

With the aid of a PowerPoint presentation, John Myers provided a summary of the development proposal covering the following areas:

- Introduction of the development team
- History of the development site (portions platted 100 years ago)
- Development approach to preserve and build on the existing neighborhood and urban network.
- 5 keys to the development as developed during the charette process:
 - Town Center and Mixed Use
 - o Defined connector roads and collector street
 - o Transition from existing residential
 - o Park and Public open space improvements
 - Pedestrian connectivity.

- Explanation of the Town Center Zone (Mixed use section) vs. the Neighborhood Center Zone (Residential Section).
- Overview of development units and Types
 - ~460 total units within the NMX zone (~40% Townhome, ~30% 2-over-2 condos; ~30%SFD detached).
- Residential (NMX) development pattern, consisting of compact alley loaded lots. Focus on highly pedestrian focused, walkable environment with parallel parking and sidewalks on both sides of most streets. Products pulled closer to the street to create engagement.
- Transitioning of development product, where adjacent existing residential lots would be adjacent to proposed single family detached lots.
- Proposed Transportation Improvements, including:
 - o Roundabout at south side of Fourth Avenue
 - o Roundabout at Knightdale Station and First Avenue
 - o Roundabout at McKnight Drive
- Summary of existing adjacent park facilities , and proposed open space and park Improvements, including:
 - 14 distinct programmed open space areas, highlighted by a larger community park along the greenway and a pool/clubhouse at open space #5.
 - o Potential seating areas and wildflowers along public greenway
 - Linear parks with landscaping/hardscaping some of which units front on instead of roads.
- Example imagery was provided for site signage, public art, streetscapes, and housing options.
- Explanation of potential architectural guidelines differentiated by product type.
 - John explained that they would be focusing on clean line, old farm-style architecture with less emphasis on masonry and more emphasis on rooflines, other materials, colors, and visible porches and stoops.
- 2-over-2 condos would be located next to proposed commercial to create logical transitions.
- Intended buffering where proposed alleys would abut existing single-family lots. Example imagery was provided of a 6' opaque fence with evergreen vegetation.
- Example imagery was provided for different mixed-use building styles and retail buildings.
- A slide was shared showing the location of planned roadway improvements. John explained that Ramey Kemp performed a TIA which would be reviewed by Town staff and NCDOT. The TIA would recommend improvements, but planned improvements exceed those recommendations.

Citizen Questions and Responses

- Question/Comment You stated that existing single family lots would be adjacent to proposed single family lots. Along the northern portion of the site, it looks like 2-over-2 condos abut an existing single-family lot. [Product Type / Transitions]
 - a. <u>Response</u>: In addition to the public ROW separating our proposed condos from the existing lot you are referencing, we also own an ~40 ft strip of land on the eastern side of that road providing additional separation/buffering.

- 2. Question/Comment What size are your proposed single-family lots, in acreage? [Density/Lot Size]
 - a. <u>Response</u>: approximately 1/8th an acre. The single family lots would be approximately 32-42' wide by 120 ft deep.
- 3. **Question/Comment** Would there be a planted buffer by adjacent property # 11? (identified on an existing conditions map). Would there be a fence? [Buffers]
 - a. Response: We would have a planted buffer. We could look at putting a fence there as

well.

- Question/Comment How will new streets with curb and gutter transition to existing streets?[Streets / Transitions]
 - a. <u>Response</u>: We would he to work out an appropriate transition to existing streets with Town staff. Our plan is for our new streets to include parallel parking and regular street trees with a more urban feel. Exactly how that tapers or transitions with existing streets will be discussed further with staff.
- 5. Question/Comment What route will new traffic take to get to work? Will commuters take Pine to Smithfield Rd? [Traffic]
 - a. <u>Response</u>: Ideally new traffic will utilize Fourth Avenue, or take McKnight to Knightdale Boulevard. All 2-over-2 condos have easy access to Knightdale Station Run.
- 6. **Question/Comment** I live on the corner of Fifth Avenue and Smithfield Road. It looks like you have Townhomes adjacent to me (not single family detached) [Product Type / Transitions]
 - a. <u>Response</u>: There is a public ROW between the lots, and in this case it looks like it would be a sideyard against a side-yard, with both your lot and the proposed lots facing Smithfield Road, but we'll look at this.
- 7. **Question/Comment** How do you choose where a fence starts and stops, especially where existing homes already have a fence? [Buffers]
 - a. <u>Response</u>: We will need to take an individualized approach as each site can be a little different. With that said, it is not our intention to fence our entire border, as that would create a divided broader community, which goes directly against what we are trying to accomplish.
- 8. Question/Comment Does Sycamore continue past Second Avenue? [Streets/Connections]
 - a. <u>Response</u>: Yes.
- 9. Question/Comment Will Second Avenue continue through? [Streets/Connections]
 - a. <u>Response</u>: We currently have a small gap in ownership in that area, but the ROW exists. We would have to confirm with the town if we can/need to make that connection. In general, we want to provide connections, but some areas are topographically challenged.
- 10. **Question/Comment** I am concerned over having a 4-story 2-over-2 building next to my single-family home, even with the bit of separation. [Product Types/Transitions]
 - a. <u>Response</u>: Understood. We will look more closely at this.
- 11. Question/Comment Would Street trees be on both sides of the street [Street Design]
 - a. Response: Yes
- 12. Question/Comment Will there be widening of Smithfield Road coming from McKnight Drive?[Transportation Improvements]

- a. <u>Response</u>: No. We would do a traffic circle at McKnight, but we would not be widening that entire section. The Town's long range transportation plan does not call for that to be a 4-lane section.
- 13. Question/Comment I have concerns over traffic and the impact a proposed traffic circle would have on traffic. [Traffic]
 - a. **Response:** The expectation is that the traffic circle will help existing conditions.
- 14. Question/Comment What is the definition of affordable housing? Will any of the housing be subsidized? [Home Price/Value]
 - a. <u>Response</u>: No subsidized housing is planned. It's hard to say with today's market, but we would expect the SFD detached lots to sell for \$600k+, the Townhomes to sell between \$400k-\$600k, and the 2-over-2 condos to sell from mid-\$300k-\$500k. For the 2-over-2's, the upper-story units would have a roof-top terrace and be more expensive, but the better units would be applied (c.1450 as .ft) and would be more affordable. The single family
 - bottom units would be smaller (~1450 sq. ft) and would be more affordable. The single-family homes would likely be ~2600-4000 SF in size.
- 15. Question/Comment Will this project hurt existing home values? [Home Price/Value]
 - a. <u>Response</u>: Based on our estimated home prices and our experience with these types of development, we don't anticipate any negative effect on existing home values. Our design, amenities, lighting, road improvements, etc. typically help boost home values.
- 16. Question/Comment Did you say the swimming pool was public? [Amenities]
 - a. <u>Response</u>: No. The swimming pool and clubhouse would be private for the new residents. However, the community park would be open to members of the public. It would be privately maintained, but the public would not be excluded.
- 17. Question/Comment Would existing neighboring homes be subject to your new HOA rules?
 - [HOA]
 - a. Response: No.
- 18. Question/Comment Asked about proposed improvements to Main Street and Smithfield Rd [Traffic/Streets]
 - a. <u>Response</u>: We would be adding a dedicated left turn lane to go onto Main Street. There would b a limited movement at Main and Smithfield to address existing issues with the odd intersection angle.
- 19. Question/Comment Asked about phasing for the project [Phasing/Timeline]
 - a. <u>Response</u>: Residential development would lead commercial. We are developing a phase plan, but anticipate starting at the southern side and working north. Improvements on Knightdale Boulevard would come in as commercial development starts. In the first phase, we would make improvements to Main Street. IN the second phase, we plan to provide all improvements to Smithfield Road.
- 20. Question/Comment Are you widening Knightdale Blvd? [Traffic/Streets]
 - a. **Response:** We would be extending an existing turn lane to be through-right movement.
- 21. Question/Comment Asked when development is expected to occur [Phasing/Timeline]
 - a. <u>Response</u>: Following zoning approval, we expect to spend 7-8 months in the Construction Drawing phase. We expect the earliest groundbreaking to be in Q4 of 2023. It would likely take 4 years to build out the residential/NMX portion of the project. We want to get started on commercial before residential is completed, but at a minimum we would start some road improvements in the second phase to support

- 22. Question/Comment The owner of an existing gas station asked if proposed sidewalks would extend beyond the project boundary along Knightdale Boulevard and impact his development [Road Improvements]
 - a. <u>Response</u>: We will need to coordinate with Town staff regarding how and where our pedestrian facilities on Knightdale Boulevard terminate. We are proposing a meandering multi-purpose path with landscaping and hardscaped areas along Knightdale Boulevard.
- 23. Question/Comment Are proposed open spaces going to generate more noise for neighbors?[Noise]
 - a. <u>Response</u>: We anticipate having some larger gatherings at the proposed community park more so than at our linear parks. We don't expect those gathering to be on the same scale as those at Knightdale Station Park.
- Question/Comment Do you plan on using a single builder for all 450 residential units? [Builder]
 - a. <u>Response</u>: Yes, we plan on using Stanley Martin Communities to build all the residential units in the NMX portion of our site.
- 25. Question/Comment What type of commercial development are you targeting? [Commercial Development]
 - a. <u>Response</u>: We plan on having larger tenants (such as a grocery or fitness center) closer to McKnight Boulevard, with smaller tenants as you head east towards First Avenue. Based on conversations with the Town, we expect more 2-story height buildings closer to Fourth Street, but a minimum of 3-stories as you get closer to First Avenue.
- 26. Question/Comment I think you all have done a great job with your presentation and creating a high level of public participation. Are you doing a development agreement to address phasing and improvements? [Phasing / Development Agreement]
 - a. <u>Response</u>: We want commercial to happen sooner rather than later, but we also want to be able to be selective with our commercial builders and tenants to ensure we get quality commercial. We need to support the commercial development through infrastructure improvements to make it easier for a commercial user to come in and develop in varying sizes. Our phasing of transportation improvements would have commitments we would be held to.
- 27. Question/Comment The biggest issues to address will likely revolve around the density of what is being built and how that ties into the existing neighboring development. Is there a process for working through decisions about connection points and how those connections will be designed and finished? How transitions are made to the stubs will be important to create a thoughtful and consistent design [Density/ Scale of Development/Transitions]
 - a. <u>Response</u>: Part of the process will come from feedback from the community. We are prepared to be flexible. Outside of one portion of Second Street, our plan is to build every connection that we own. However, the real question is how we work with neighbors and the Town to identify any additional off-site connections that we might be able to help with. We could meet with residents a couple streets at a time. Smaller group meetings or on-site meetings would likely help. We would like to do that either later this month or next month.

28. Question/Comment - What is being one to ensure this remains a safe community? [Safety]

- a. <u>Response</u>: Our design lends itself to greater safety. A more compact design allows neighbors to keep an eye on one another and be more likely to see any suspicious behavior. Deliberate lighting and open space planning helps as well. Within a development this large, we may even have emergency services living on site. We have developed a lot of larger communities like this and have not seen safety be an issue.
- 29. Question/Comment Are there planned speed bumps for proposed roads to help slow cars down? [Traffic/ Safety]
 - a. <u>Response</u>: Municipalities and emergency services typically don't like speed bumps. Instead of speed bumps or speed tables, the design of the road itself lends itself to different speeds. Roads like ours with on-street parking and bulb-outs with street trees have traffic calming effects. Furthermore, part of our intent with Fourth Avenue improvements is to take pressure off N. First Avenue. Our internal roads also transition the right-of-way down from 66' to 58' to help calm traffic.

Concluding Remarks

• John Meyers and Jacob Anderson thanked everyone for all their time and input in this collaborative process. David Bergmark explained the next steps in terms of anticipated project submittal and estimated dates for public review by the DRC, Planning Board, and Town Council.

NEIGHBORHOOD MEETING MAILING LIST

OWNER	ADDRESS 1	ADDRESS 2
7208 PARTNERS LLC	7208 FALLS OF NEUSE RD STE 101	RALEIGH NC 27615-3244
AUSTIN, JESSE H JR AUSTIN, LYN T	6237 CORNWALLIS RD	GARNER NC 27529-8216
AVERY DAVIS INVESTMENTS LLC	7417 KNIGHTDALE BLVD STE 107	KNIGHTDALE NC 27545-8824
BEATTY, MICHAEL BEATTY, MARY	805 N 1ST AVE	KNIGHTDALE NC 27545-8511
BIGGERSTAFF, JUDY C	PO BOX 245	KNIGHTDALE NC 27545-0245
BOUZIGARD, JON J MCCOY, ANGELA D	102 SYCAMORE ST	KNIGHTDALE NC 27545-9445
BUILDER & BUILDER INVESTMENT GROUP LLC	9007 MANDERLEY DR	INDIANAPOLIS IN 46240-2050
CALM III LLC	8000 TOWER POINT DR	CHARLOTTE NC 28227-7726
CAPITAL AREA PROPERTIES LLC	7419 KNIGHTDALE BLVD STE 115	KNIGHTDALE NC 27545-8825
COLUMBIA STREET ASSOC LLC ; CC PETER JB PACE	3337 RIDGECREST CT	RALEIGH NC 27607-6764
CRIDER, JOSEPH N	PO BOX 1305	KNIGHTDALE NC 27545-1305
DC QUESENBERRY HOLDINGS LLC	7048 KNIGHTDALE BLVD STE 200	KNIGHTDALE NC 27545-8894
DEBNAM, CHARLES H JR	107 DUMBARTON CT	CARY NC 27511-6305
DEMAY, KATHY ANN DEMAY, JAMES STEPHEN	PO BOX 723	KNIGHTDALE NC 27545-0723
DEMENT, RUSSELL W III	717 N 1ST AVE	KNIGHTDALE NC 27545-8509
EAST PARK OFFICE CONDOMINIUMS	PO BOX 58473	RALEIGH NC 27658-8473
EDWARDS, AMY CATHERINE	581 2ND AVE	KNIGHTDALE NC 27545-5112
ESPARZA-GARCIA, ANA CECILA	321 N SMITHFIELD RD	KNIGHTDALE NC 27545-7707
GODWIN, RICHARD H GODWIN, NANNETTE M	101 SYCAMORE ST	KNIGHTDALE NC 27545-9445
HIGH, DAVID E HIGH, LENA S	422 4TH AVE	KNIGHTDALE NC 27545-8885
JONES, LINWOOD R	607 2ND AVE	KNIGHTDALE NC 27545-8933
KATSIAS, FRANCES F	PO BOX 697	KNIGHTDALE NC 27545-0697
KILLEN, RUSSELL B KILLEN, KIPLEY C	585 2ND AVE	KNIGHTDALE NC 27545-5112
KIMBALL, ROBERT LEE III KIMBALL, LAUREN ELISE	407 N SMITHFIELD RD	KNIGHTDALE NC 27545-7709
KNIGHT, HENRY H	6020 WATKINS RD	WENDELL NC 27591-8256
KNIGHTDALE BAPTIST CHURCH	PO BOX 21	KNIGHTDALE NC 27545-0021
KNIGHTDALE BUSINESS PARTNERS LLC	3305 DURHAM DR STE 109	RALEIGH NC 27603-3579
KNIGHTDALE METHODIST CHURCH	7071 FORESTVILLE RD	KNIGHTDALE NC 27545-9096
KNIGHTDALE RA LLC; REXFORD OFFICE LLC	PO BOX 11370	CHARLOTTE NC 28220-1370
LOCKE, CHARLOTTE C	605 LYNNDALE CT STE B	GREENVILLE NC 27858-5449
LOCKE, L W LOCKE 2 LLC	PO BOX 398	ENFIELD NC 27823-0398
LOWES HOME CENTER INC; TAX DEPARTMENT	1000 LOWES BLVD	MOORESVILLE NC 28117-8520
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MANGUM, JOSEPH P JR MANGUM, KAREN N	PO BOX 127	KNIGHTDALE NC 27545-0127
MAPLEWOOD HOMEOWNERS ASSOC INC	99 MAPLEWOOD DR	KNIGHTDALE NC 27545-9606
MAYAS MANAGEMENT LLC	PO BOX 1134	WAKE FOREST NC 27588-1134
MILLER, JENNIFER ANNE	104 CARRINGTON DR	KNIGHTDALE NC 27545-9416
MURRAY, PAMELA JEAN	92 MAPLEWOOD DR	KNIGHTDALE NC 27545-9606
NICHOLS, JOSEPH REA	204 PINE ST	KNIGHTDALE NC 27545-9444
NORTHSIDE COMMUNITY CHURCH OF KNIGHTDALE	PO BOX 1139	KNIGHTDALE NC 27545-1139
OKAFOR, RAVITA T OMABU OKAFOR, FELIX A	2905 NC HIGHWAY 97	WENDELL NC 27591-9322
OLD GREENFIELD ROAD PERSONAL RESIDENCE TR		RALEIGH NC 27604-9786
OUZTS, ALBERT LAURENCE OUZTS, MARY B	110 PINE ST	KNIGHTDALE NC 27545-9443
POOLE, JESSE A POOLE, JOYCE R	809 N 1ST AVE	KNIGHTDALE NC 27545-8511
PRICE, CHRISTINE A	316 MAIN ST	KNIGHTDALE NC 27545-8838
PRUDE, ELENA PRUDE, JAMES R JR	502 MORGANITE CT	KNIGHTDALE NC 27545-7265

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SLEDGE, ASHEVILLE H JR SLEDGE, SALLY H	1813 YAMACRAW DR	KNIGHTDALE NC 27545-7470
SOUTHERN BELL TELEPHONE & TELE CO; TAX DEPT	1155 PEACHTREE ST NE # 15H08	ATLANTA GA 30309-7629
SPENCER, JOHN GRAHAM III SPENCER, STEPHANIE	801 N 1ST AVE	KNIGHTDALE NC 27545-8511
SUGGS, JANE P BEASLEY, EVE C	1507 TRAILWOOD DR	RALEIGH NC 27606-3720
TIGERS GROUP LLC	1224 MAGNOLIA BEND LOOP	CARY NC 27519-0118
TURNER, LINDA D TURNER, LISA	813 N 1ST AVE	KNIGHTDALE NC 27545-8511
VOYAGE CAPITAL VENTURES LLC	2917 MAPLE POINTE DR	WENDELL NC 27591-7486
VSK HOLDINGS LLC	PO BOX 185	KNIGHTDALE NC 27545-0185
WEST, BRANDON WEST, REBECCA	102 PINE ST	KNIGHTDALE NC 27545-9443
WILDER, WILLIAM A JR WILDER, LIBBY J	PO BOX 154	KNIGHTDALE NC 27545-0154
WOOLARD, BETTY S	508 4TH AVE	KNIGHTDALE NC 27545-7751
YOUNG, CHARLES RANDAL & SUZANNE WILLIS	517 N 1ST AVE	KNIGHTDALE NC 27545-8505

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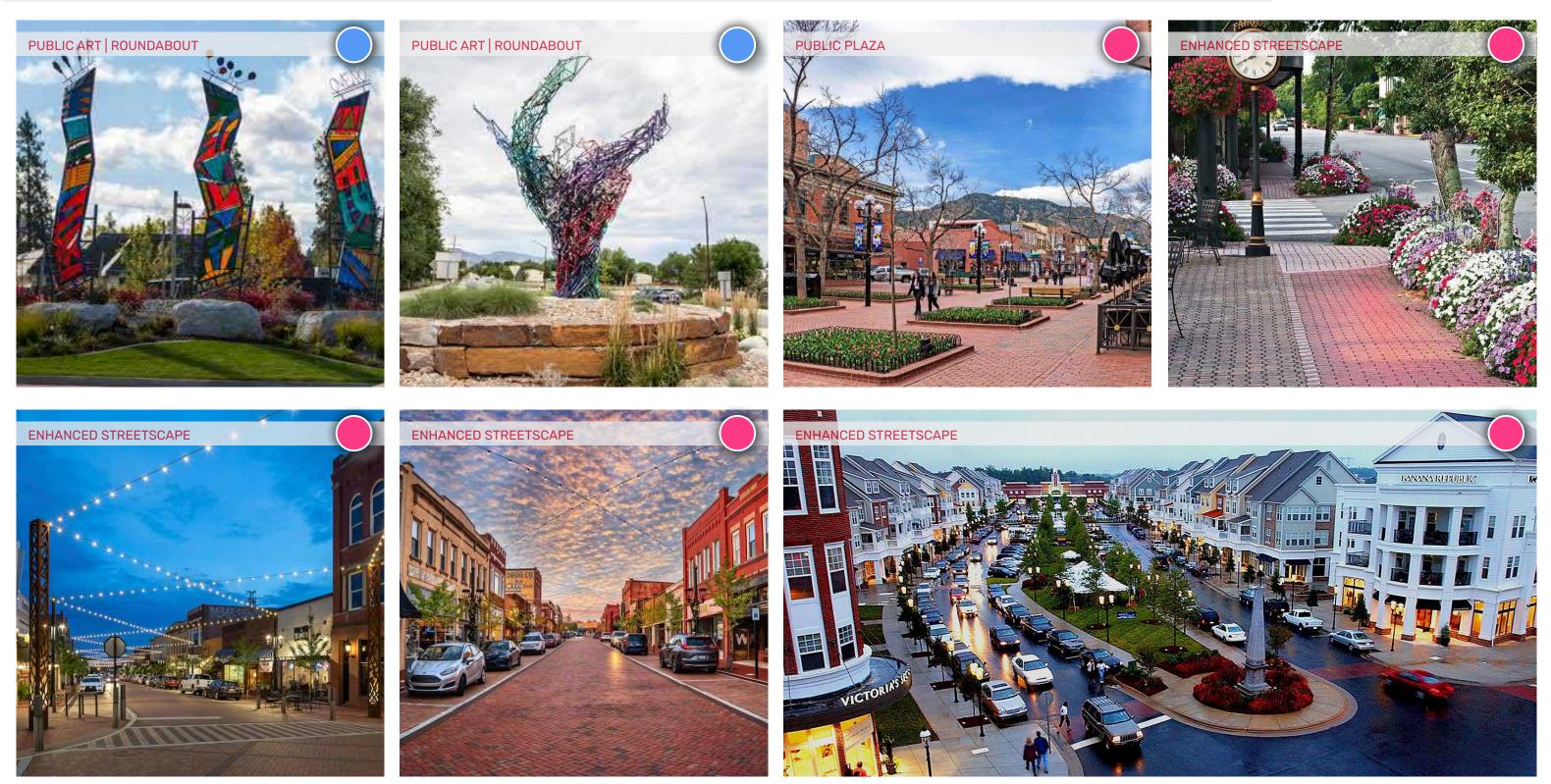
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10 PRECEDENT IMAGERY

<u>Note</u>: The precedent imagery contained within this PUD document is intended to provide visual examples of different design elements which could influence subsequent construction drawing or site plan submittals. These images are meant to collectively convey the <u>general</u> vision of the developer, with the understanding that no individual image represents a committed feature for inclusion. Rather, the image library represents examples of different design options which would typically adhere to the architectural and development standards established by this PUD document. All precedent imagery is subject to change.

DOWNTOWN NORTH AT KNIGHTDALE STATION DOWNTOWN STREETSCAPES



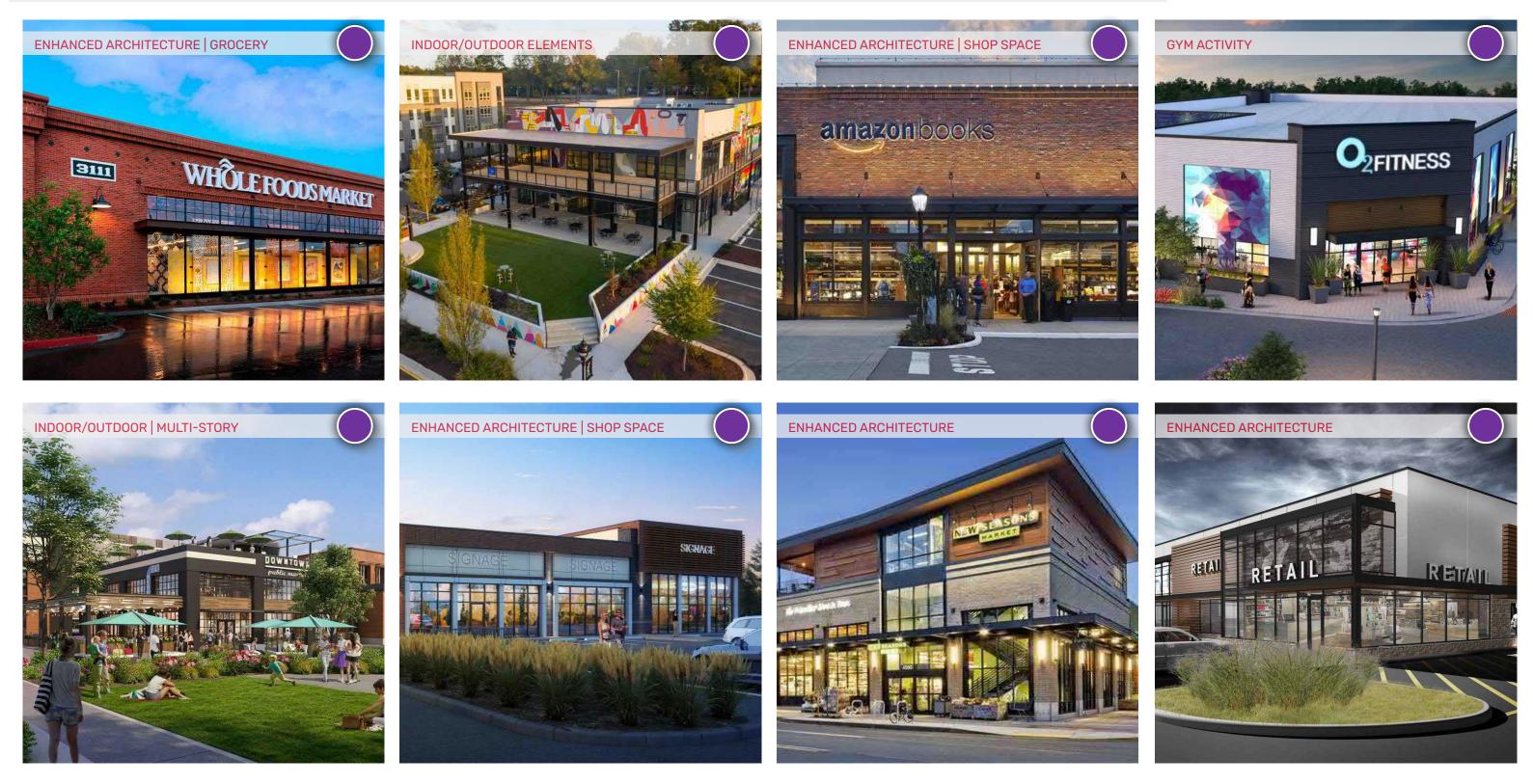


DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES





DOWNTOWN NORTH AT KNIGHTDALE STATION DESTINATION RETAIL



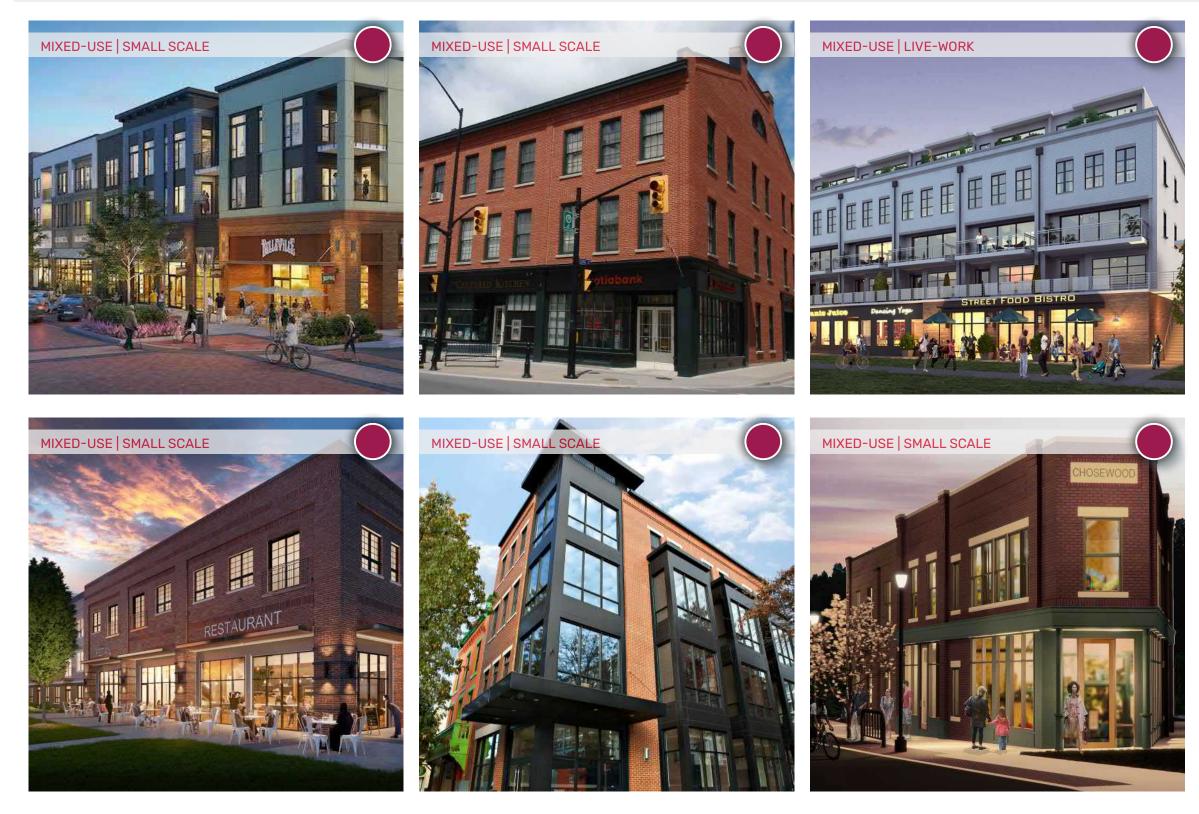


DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES





DOWNTOWN NORTH AT KNIGHTDALE STATION OLD DOWNTOWN OPTIONS





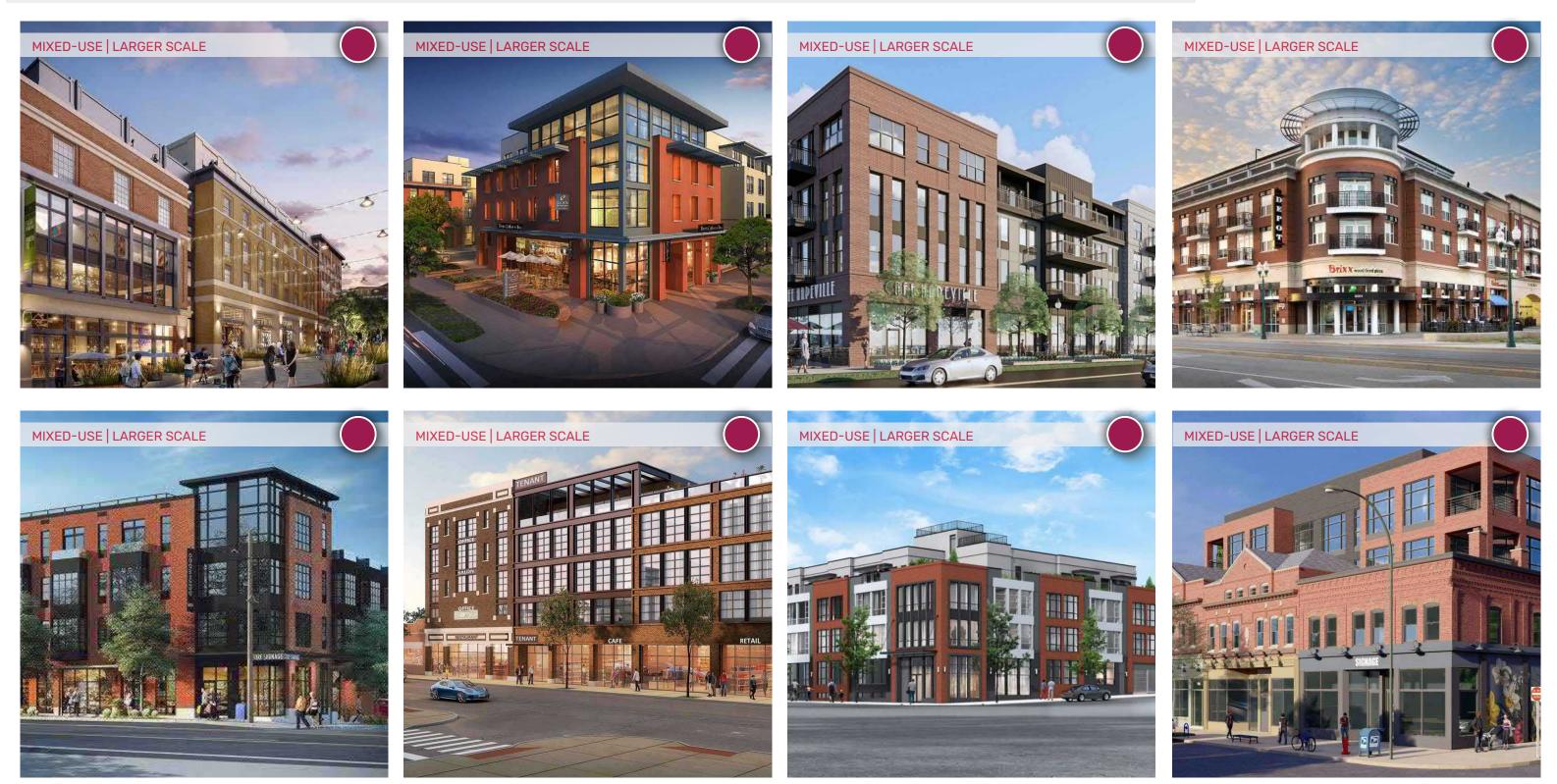
DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES







DOWNTOWN NORTH AT KNIGHTDALE STATION STATEMENT OPTIONS





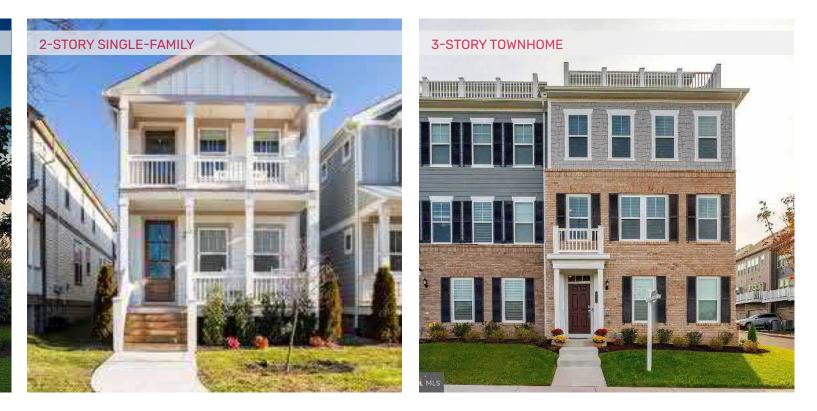
DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES



DOWNTOWN NORTH AT KNIGHTDALE STATION SFD + TH HOUSING OPTIONS













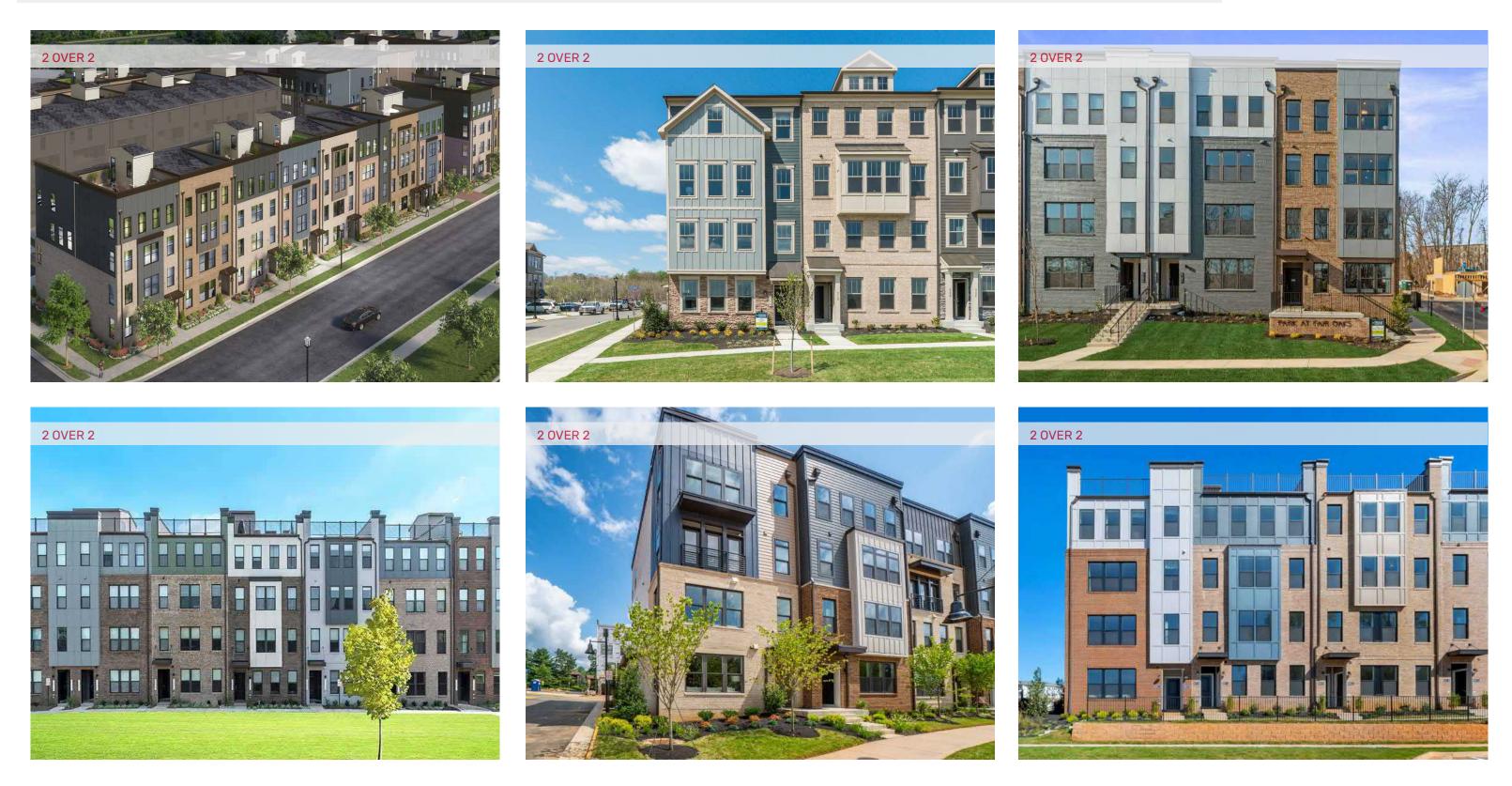
DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES

KNIGHTDALE, NORTH CAROLINA



12.06.2022

DOWNTOWN NORTH AT KNIGHTDALE STATION 2 OVER 2 HOUSING OPTIONS



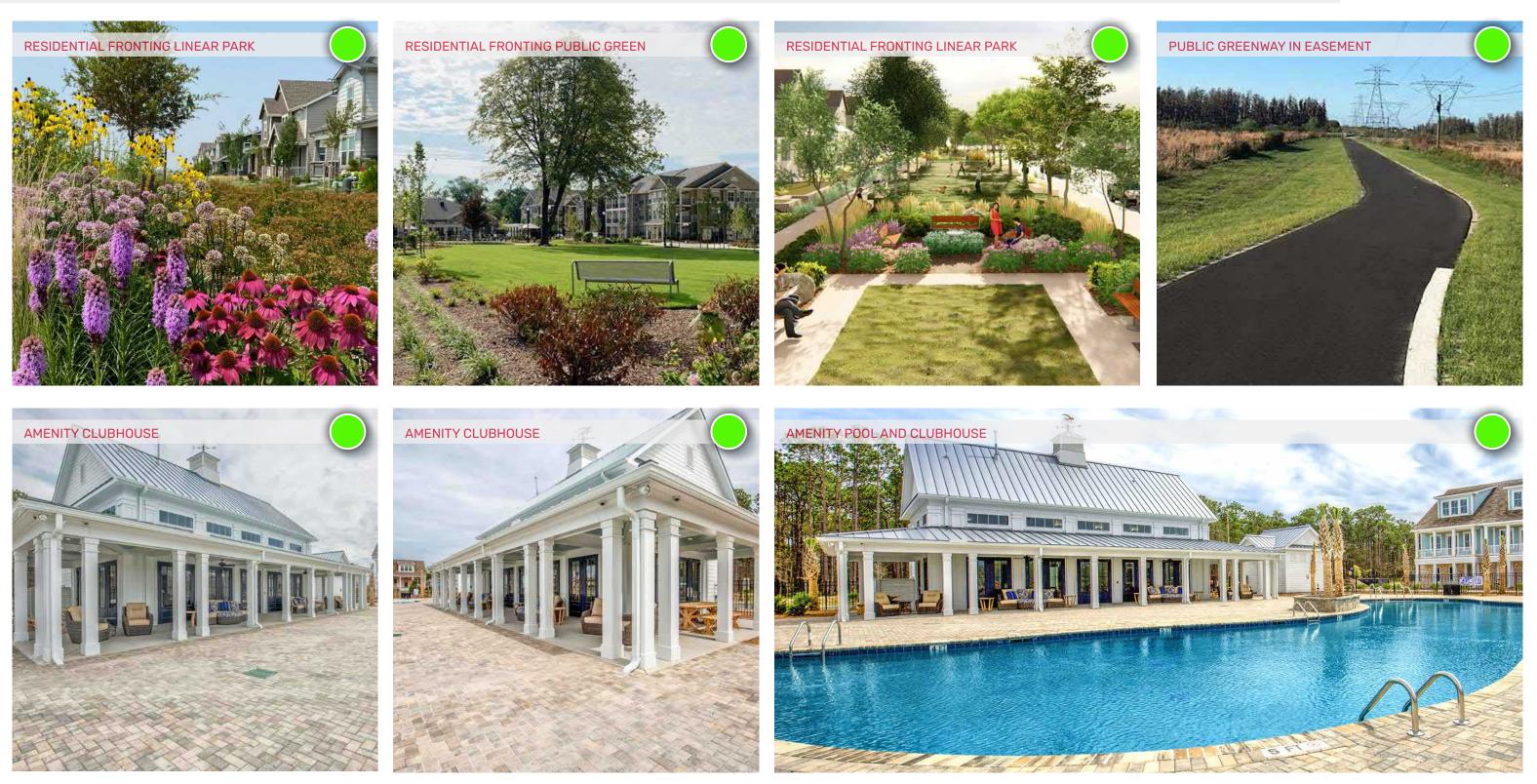


DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES





DOWNTOWN NORTH AT KNIGHTDALE STATION LINEAR PARKS + AMENITY + TRAILS





DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES





DOWNTOWN NORTH AT KNIGHTDALE STATION COMMUNITY PARK + PUBLIC PLAZAS





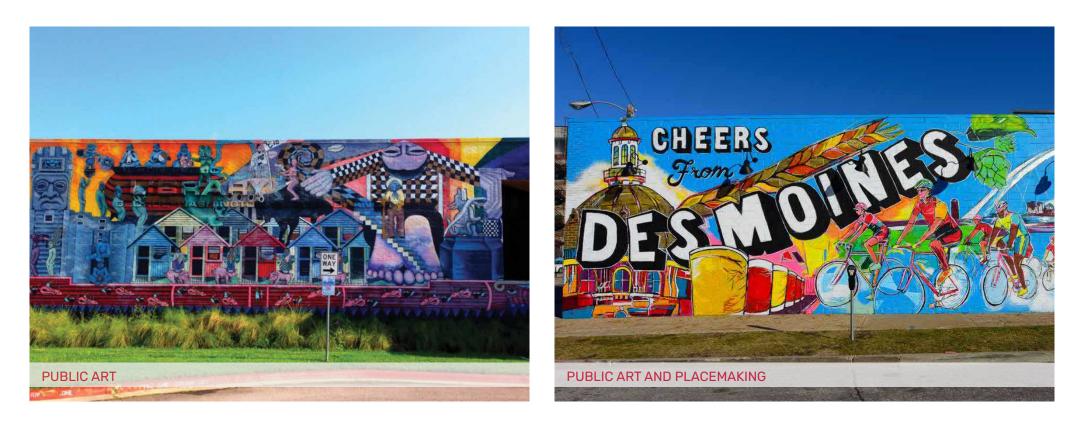
DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES



DOWNTOWN NORTH AT KNIGHTDALE STATION PUBLIC ART









DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES

KNIGHTDALE, NORTH CAROLINA

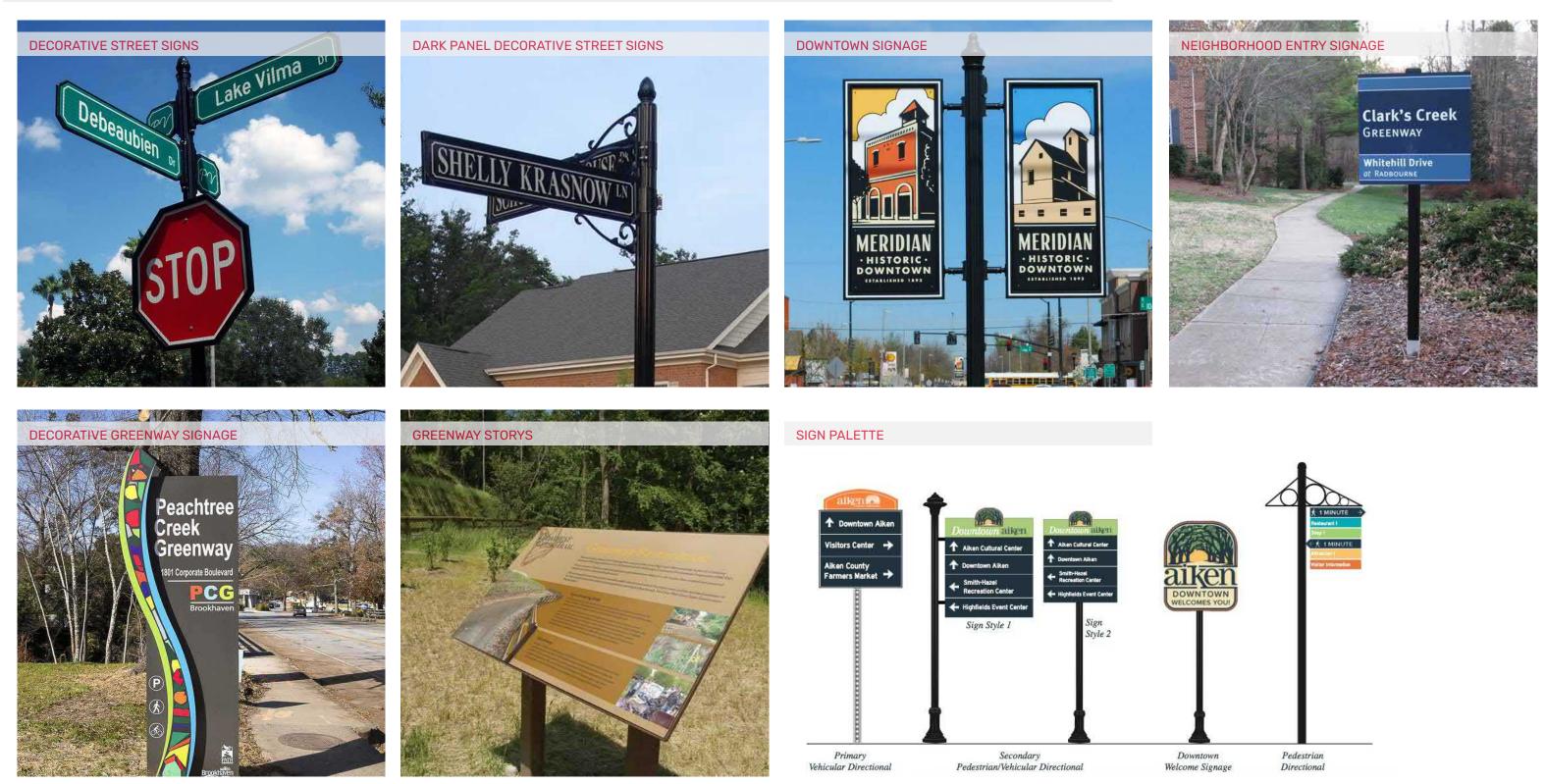






PUBLIC ART

DOWNTOWN NORTH AT KNIGHTDALE STATION SITE SIGNAGE





DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES





DOWNTOWN NORTH AT KNIGHTDALE STATION STREET SECTIONS + ROUNDABOUTS







DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES

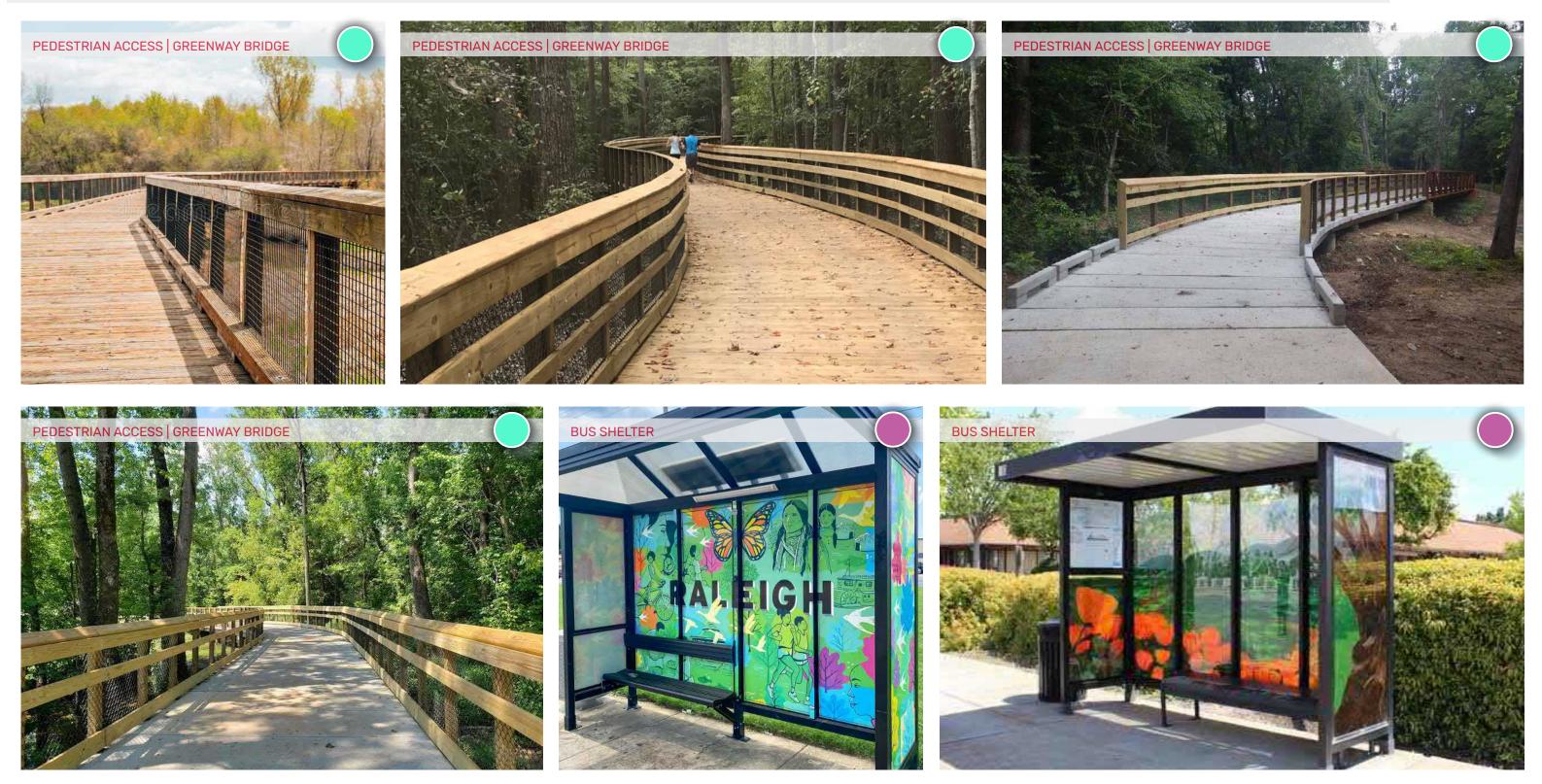
KNIGHTDALE, NORTH CAROLINA



12.06.2022



DOWNTOWN NORTH AT KNIGHTDALE STATION PEDESTRIAN ACCESS + BUS SHELTERS





DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES

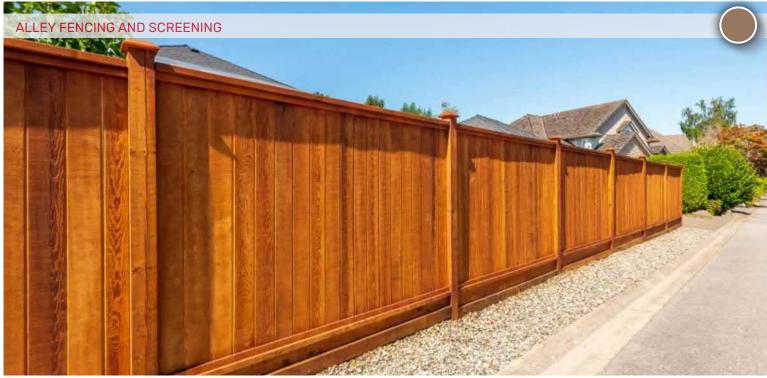


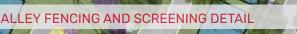


DOWNTOWN NORTH AT KNIGHTDALE STATION ALLEY FENCING + SCREENING













DOWNTOWN NORTH AT KNIGHTDALE STATION PRECEDENT IMAGES

