

**Ample Storage Center**  
**6839 Knightdale Blvd**  
**Knightdale, NC 27545**  
**Proposed Indoor Self Storage**  
Proposed +/-28,800 SF, 3-Story Indoor Self-Storage Building  
**Sketch Plan Submittal**  
**Comprehensive Plan Consistency**  
July 28, 2023

**General Narrative**

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

The project area is currently wooded. No other environmental features are present on site. Proposed development is consistent with the existing development on the same parcel. The project area is bounded on two sides by the existing quarry and a third side by the existing on-site development. The final side adjoins TRW Electric Supply and will include preservation of the existing wooded area as part of the requisite screening buffer. The existing and proposed tree lines are shown on the Natural Resources Sketch Plan.

The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

### **Growth Framework Map Consistency**

The site is located within existing town limits. The project area is described as a 2-acre section of a 7-acre parcel (zoned MI). Existing development on the property includes 95,600 sf of self-storage (Mini-Warehouses).

### **Growth & Conservation Map Consistency**

The site is located within a Retail place type category. Adjacent land uses, along with the designated place type from the published map are as follows:

- Site: Ample Storage (Retail)
- North & West: Wake Stone Corporation – Knightdale Quarry (Heavy Industrial).
- Northeast: TRW Electric and Supply Company (Retail).
- East: Auto DRS (Light Industrial)  
Tractor Supply Company (Retail)
- Southeast: Knightdale Pediatrics (Retail).

The growth map designates the property for commercial development (retail). The proposed development is allowed under the UDO zoning and is consistent with existing development.

Given the location and surrounding uses, the proposed office development is consistent with and promotes the vision of the Growth & Conservation Map.

### **Trails & Greenways Map Consistency**

The site is not located adjacent to any existing or proposed trails, greenways, bicycle routes, parks or open space located within or adjacent to the site, it is consistent with the Trails & Greenways Map.

### **Street Network Map Consistency**

Existing development abuts Knightdale Blvd (NCDOT arterial) and Great Falls Ct. Development will be accessed via the exiting driveway at the end of the cul-de-sac on Great Falls Ct (city). The proposed development (mini-warehouses) will not significantly increase the number of trips along Great Falls Ct. Due to the nature of both the existing and proposed development, pedestrian and bike traffic will be very minimal, if ever. Any increase in vehicular traffic will not pose any risks to either group. The proposed development is consistent with the street network plan.

## **Transit Network**

The project area is not located along any planned transit route. As noted above, demand for transit use will be virtually non-existent for either the existing or proposed uses along Great Falls Ct. The proposed development fits the overall transit network plan.

## **Focus Area Studies**

The project area is not located within any existing Focus Area Study.

## **Water Allocation**

As the proposed development is an expansion of the existing mini-storage facility, no new office/residential facilities are included. Customers will have access to bathroom facilities in the Phase 2 building. No water connections will be used to provide any janitorial services. Submitted plans show only a fire line as part of development. No water demand will be needed to be allocated for the proposed development.

**CIVIL ENGINEER**

Rivers & Associates, INC.  
Greenville, NC



107 East Second Street  
Greenville, NC 27858  
(252) 752-4135

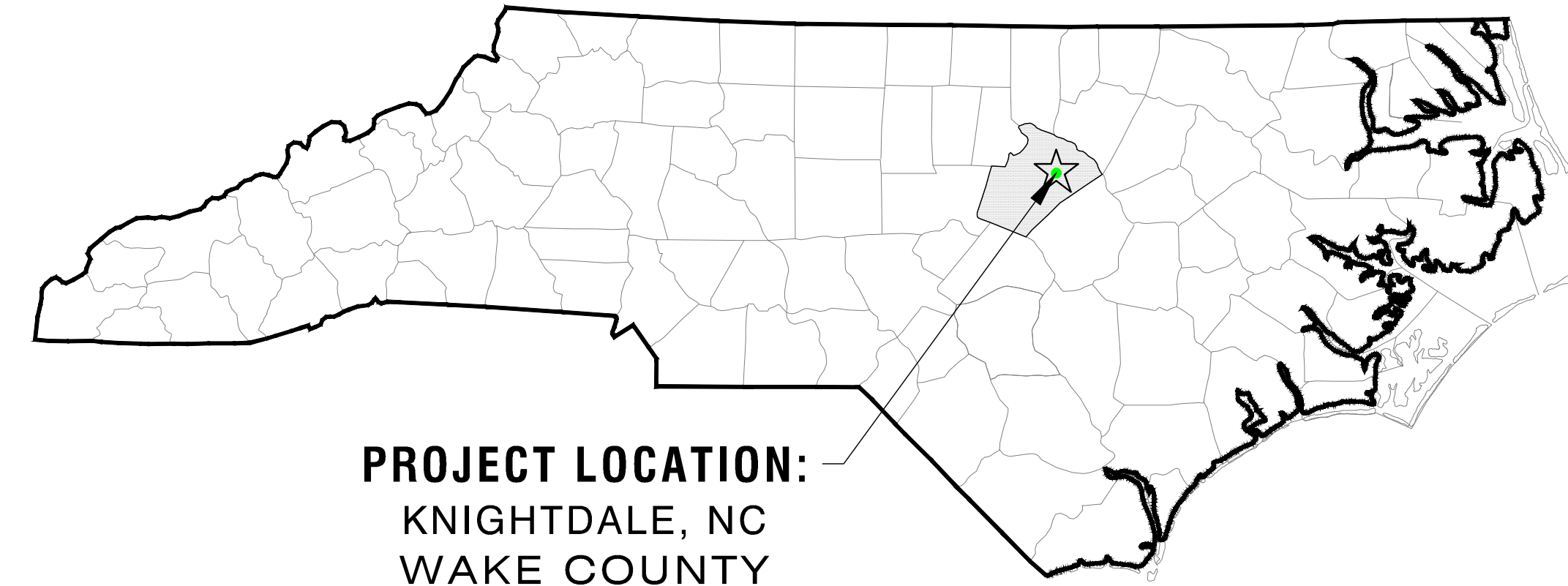
Contact: MATTHEW J. PROKOP, PE  
mprokop@riversandassociates.com

**OWNER/DEVELOPER**

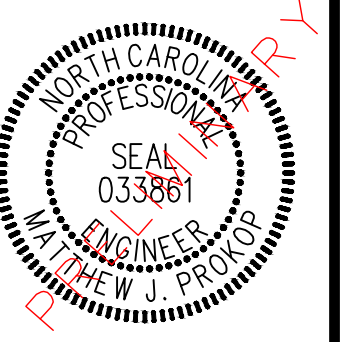
AMPLE STORAGE LAKE  
WORTH LLC

P.O. BOX 608  
SMITHFIELD, NC 27577-0608

Contact:



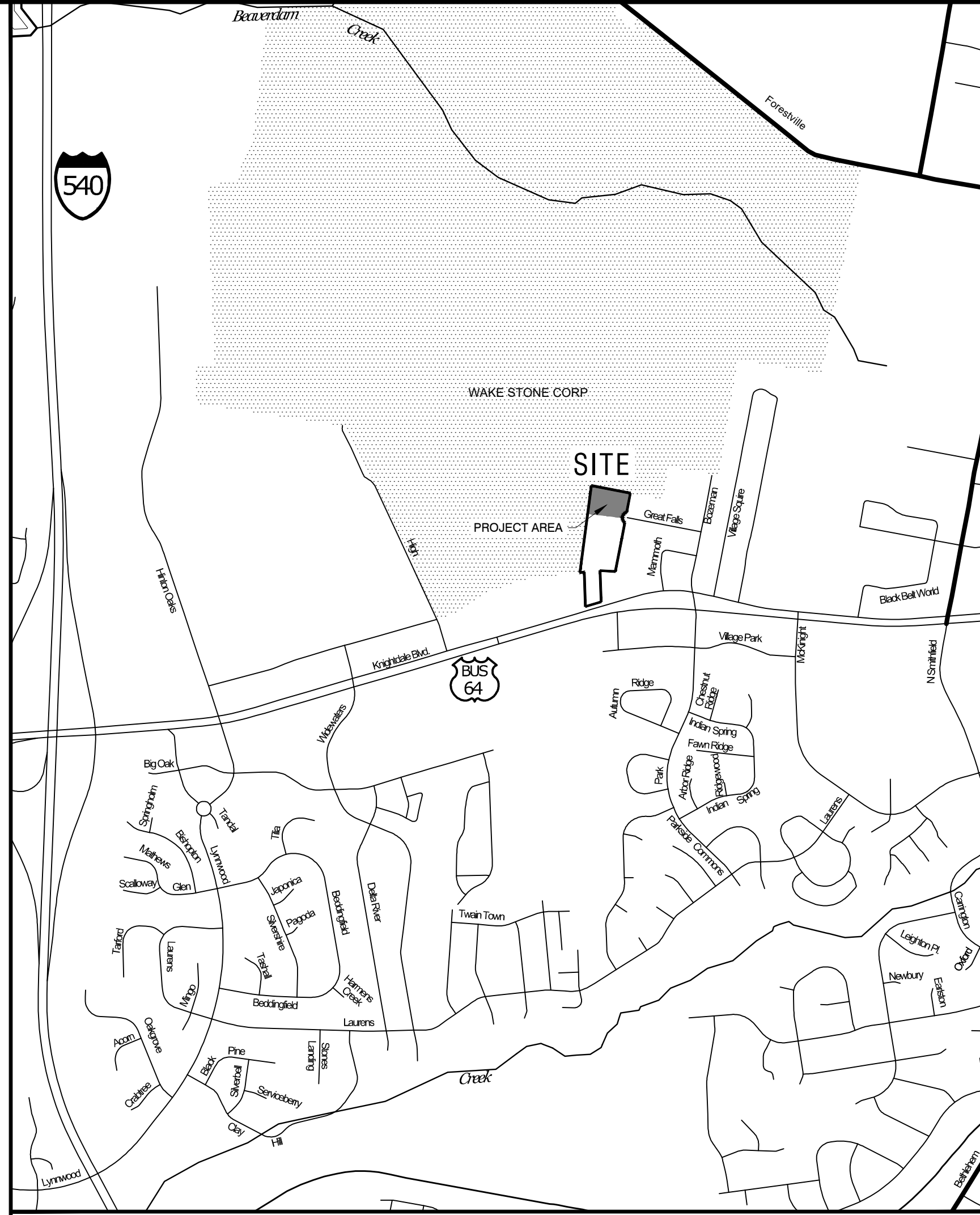
PROJECT LOCATION:  
KNIGHTDALE, NC  
WAKE COUNTY



SKETCH PLAN SUBMITTAL  
**AMPLE STORAGE  
EXPANSION**

| REVISIONS: |  |           |     |
|------------|--|-----------|-----|
| NO.        | DESCRIPTION                              | DATE      | BY  |
| 1          | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

| SITE DATA                                     |  |
|---|--|
| SITE ADDRESS PHASE 1:                         | 1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545                  |
| SITE ADDRESS PHASE 2:                         | 6839 KNIGHTDALE BLVD, KNIGHTDALE, NORTH CAROLINA 27545                   |
| MUNICIPALITY:                                 | ST. MATTHEWS   |
| PARCEL NO.:                                   | 1744988623   |
| DEED REFERENCE:                               | DB 15706, PG 63  |
| AREA IN SITE:                                 | 6.98 ACRES (+/- 303,818 SF)  |
| ZONING / LAND USE CLASSIFICATION:             | GENERAL COMMERCIAL - HB & MI   |
| EXISTING/PROPOSED USE:                        | MINI-WAREHOUSES  |
| WATERSHED:                                    | 27-29- BEAVERDAM CREEK   |
| RECEIVING STREAM:                             | C, NSW   |
| TOTAL BUILDING SQUARE FOOTAGE:                | 95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF                          |
| BUILDING HEIGHT:                              | EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY) |
| TOTAL NUMBER OF STORAGE UNITS:                | EXISTING = ~750 PROPOSED = 977   |
| <b>IMPERVIOUS AREA</b>                        |  |
| EXISTING BUILDINGS FOOTPRINT:                 | 62,611 SF  |
| EXISTING CONCRETE:                            | 4,197 SF   |
| EXISTING ASPHALT PARKING:                     | 87,965 SF  |
| TOTAL EXISTING IMPERVIOUS AREA:               | 154,773 SF (3.55 ACRE)   |
| EXISTING:                                     | 50.9 %   |
| <b>PROPOSED BUILDING FOOTPRINT:</b> 29,280 SF |  |
| PROPOSED CONCRETE:                            | 15,752 SF  |
| TOTAL PROPOSED IMPERVIOUS AREA:               | 45,0325F (1.03ACRES)   |
| TOTAL IMPERVIOUS AREA:                        | 199,805 SF (4.59 ACRES)  |
| TOTAL POST DEVELOPMENT:                       | 65.8 %   |
| <b>PARKING SUMMARY</b>                        |  |
| EXISTING REQUIREMENTS                         | MAXIMUM - .25 PER 1,000 SF(95,645 SF) = 23.9 SPACES                      |
| MINI-STORAGE:                                 | MINIMUM - 1/2 OF MAXIMUM() = 12 SPACES                                   |
| PROPOSED REQUIREMENTS                         | MAXIMUM - .25 PER 1,000 SF(87,840 SF) = 22 SPACES                        |
| MINI-STORAGE:                                 | MINIMUM - 1/2 OF MAXIMUM() = 11 SPACES                                   |
| TOTAL PARKING SPACES REQUIRED:                | 23   |
| TOTAL EXISTING PARKING SPACES:                | 12   |
| NEW PARKING SPACES REQUIRED:                  | 11   |
| NEW PARKING SPACES PROVIDED:                  | 16   |
| TOTAL PARKING SPACES PROVIDED:                | 28   |
| EXISTING H/C PARKING SPACES:                  | 2  |
| H/C PARKING SPACES REQUIRED:                  | 1  |
| TOTAL H/C PARKING SPACES PROVIDED:            | 3  |
| TOTAL BICYCLEPARKING REQUIRED:                | 2  |
| TOTAL BICYCLEPARKING PROVIDED:                | 2  |



Vicinity Map  
SCALE: 1" = 1000'

| SHEET INDEX  |   |
|--------------|---|
| Sheet Number | Sheet Title                                 |
| C1.01        | COVER SHEET                                 |
| C1.11        | BOUNDARY SURVEY                             |
| C1.12        | NATURAL RESOURCES SKETCH PLAN               |
| C1.21        | EXISTING CONDITIONS OVERALL                 |
| C1.22        | EXISTING CONDITIONS - PROJECT AREA          |
| C2.01        | SKETCH PLAN OVERALL                         |
| C2.10        | SKETCH PLAN - PROJECT AREA                  |
| C2.51        | SITE DETAILS                                |
| C2.52        | BUILDING ELEVATIONS                         |
| C3.01        | FIRE PREVENTION PLAN                        |
| C4.01        | GRADING & DRAINAGE PLAN                     |
| C5.01        | SEDIMENTATION & EROSION CONTROL PLAN - PH 1 |
| C5.02        | SEDIMENTATION & EROSION CONTROL PLAN - PH 2 |
| C5.11        | SEDIMENTATION & EROSION CONTROL NOTES       |
| C5.21        | SEDIMENTATION & EROSION CONTROL DETAILS     |
| C5.22        | SEDIMENTATION & EROSION CONTROL DETAILS     |
| C6.41        | PAVEMENT MARKING & SIGNAGE PLAN             |
| L1.01        | LANDSCAPING PLAN                            |
| L2.01        | LANDSCAPING DETAILS                         |
| SL1.01       | SITE LIGHTING PLAN - OVERALL                |

- GENERAL NOTES:**
- PROPOSED USE (MINI-WAREHOUSES) WILL REQUIRE CONDITIONAL DISTRICT REZONING PER UDO SECTION 3.1.C.6.I
  - NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE TOWN OF KNIGHTDALE AND THE ENGINEER.
  - ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR MUST NOTIFY ONE CALL CENTER, INC (NC ONE CALL) 1-800-632-4949 AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
  - CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
  - THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THIS PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON FIRM PANEL NUMBER 3720174400K, DATED JULY 19, 2022.
  - WETLANDS AND PONDS, IF PRESENT, ARE DENOTED ON THE SURVEY. NO IMPACTS TO WETLANDS ARE ANTICIPATED.
  - PLEASE BE ADVISED TO OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TARPAMLICO RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ), DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO THE RALEIGH REGIONAL OFFICE, (919) 791-4200
  - NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510 - EMERGENCY RESPONDER RADIO COVERAGE. FIRE DEPARTMENT VEHICULAR ACCESS TO ALL STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED AT ALL TIMES.
  - CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE POINTS.
  - SITE LIGHTING IS TO BE INSTALLED WITH COORDINATION BETWEEN CONTRACTOR, OWNER/DEVELOPER AND DUKE ENERGY.
  - COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/S.S. PERMITS, ETC.
  - OUTDOOR STORAGE IS PROHIBITED PER UDO SECTION 5.7.G.1.

▲ -SITE TABLE UPDATED  
-NOTES ADDED  
-SHEETS ADDED

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator

IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLAT(S), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

**Professional Design Engineer Certification.** These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale.

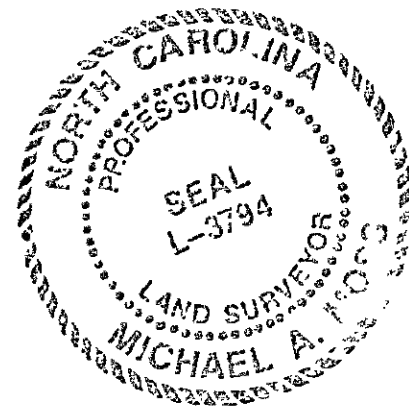
I, \_\_\_\_\_ PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) \_\_\_\_\_ of these drawings.

Scale By: \_\_\_\_\_, PE  
Date: \_\_\_\_\_

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**COVER SHEET**

DATE: AUGUST 11, 2023  
DESIGNED BY: MJP  
DRAWN BY: EDN  
CHECKED BY: JSJ  
PROJECT No. 2023008  
DRAWING No. W-4073-SK  
SCALE: 1" = 20'  
SHEET No. **C1.01**

I, MICHAEL A. MOSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE SOURCE OF INFORMATION FOR THE SURVEY IS SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL



*Michael A. Moss*  
PROFESSIONAL LAND SURVEYOR (L-3794)

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF KNIGHTDALE AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, PRESERVE AND PROTECT ALL SOILS AND VEGETATION IN THE TREE PROTECTION AREAS AS REQUIRED IN SECTION 8.5 OF THE TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE, PLANT SUPPLEMENTARY OR REPLACEMENT TREES AS REQUIRED, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS, TO PUBLIC OR PRIVATE USES AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER, STORM SEWER, AND WATER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE CITY OF RALEIGH, AND I HEREBY DEDICATE ALL STORM SEWER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE TOWN OF KNIGHTDALE.

1-25-2017 *Ample Storage Lake Worth LLC*  
DATE OWNER(S)

I, *Patricia D. Hildreth*, DO HEREBY CERTIFY

THAT *Guy Lampe* PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THIS CERTIFICATE. WITNESS MY HAND AND (WHERE AN OFFICIAL SEAL IS REQUIRED BY LAW) OFFICIAL SEAL THIS 25 DAY OF Jan, A.D., 2017 (YEAR)

*Patricia D. Hildreth*  
NOTARY  
09/27/2021  
COMMISSION EXPIRES

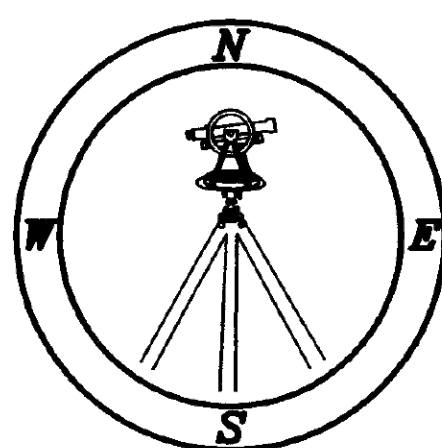
**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN IS EXEMPT FROM THE SUBDIVISION PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND IS THEREFORE EXEMPT FROM ITS PROVISIONS. THE PLAT HAS BEEN FOUND TO COMPLY WITH THE ZONING REGULATIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND HAS BEEN APPROVED BY THE TOWN OF KNIGHTDALE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

2/10/17 *[Signature]*  
DATE ADMINISTRATOR, TOWN OF KNIGHTDALE

REVIEW OFFICER CERTIFICATION  
STATE OF NORTH CAROLINA, COUNTY OF WAKE  
I, *Jennifer Curran*, REVIEW OFFICER OF WAKE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL THE STATUTORY REQUIREMENTS FOR RECORDING.

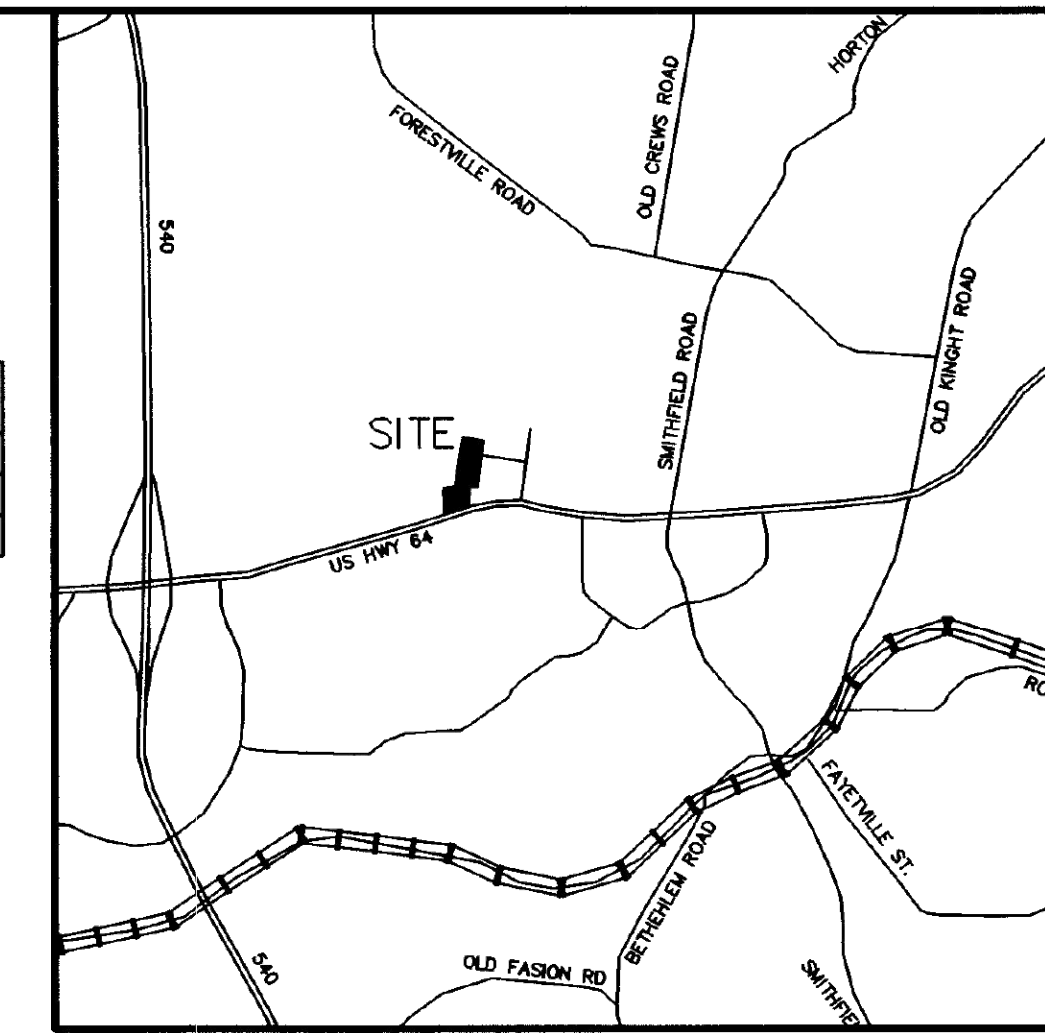
2-10-17 *[Signature]*  
DATE REVIEW OFFICER, TOWN OF KNIGHTDALE, WAKE COUNTY



CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

| LINE | LENGTH  | BEARING       |
|------|---------|---------------|
| L-1  | 141.12' | N 85°53'01" W |
| L-3  | 42.02'  | N 84°35'44" E |
| L-4  | 58.39'  | N 39°38'36" W |

| CURVE | LENGTH | RADIUS | CHORD  | BEARING       |
|-------|--------|--------|--------|---------------|
| C-1   | 61.61' | 55.00' | 58.44' | S 42°54'26" W |
| C-2   | 61.51' | 55.00' | 58.36' | S 21°13'27" E |



VICINITY MAP

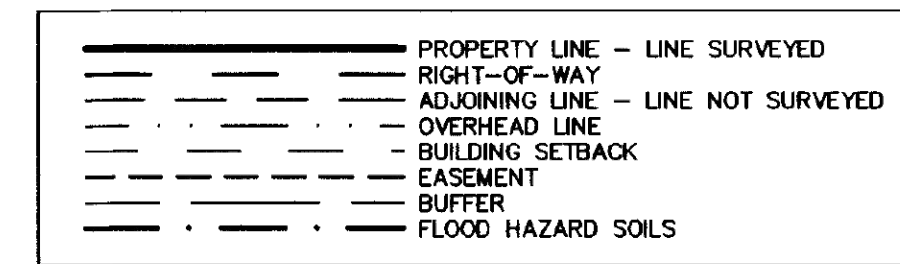
**EASEMENT LINE TABLE**

| LINE  | LENGTH  | BEARING       |
|-------|---------|---------------|
| EL-1  | 10.34'  | N 73°31'12" E |
| EL-2  | 95.34'  | N 01°43'54" W |
| EL-3  | 53.04'  | N 22°31'01" E |
| EL-4  | 104.59' | N 01°36'11" W |
| EL-5  | 51.82'  | N 68°07'32" E |
| EL-6  | 63.07'  | N 85°13'41" E |
| EL-7  | 53.22'  | S 01°46'35" E |
| EL-8  | 91.85'  | N 84°35'44" E |
| EL-9  | 51.25'  | S 00°17'28" W |
| EL-10 | 29.94'  | S 68°07'32" E |
| EL-11 | 109.42' | S 01°36'11" E |
| EL-12 | 53.05'  | S 22°31'01" W |
| EL-13 | 100.12' | S 01°43'54" E |
| EL-14 | 72.24'  | S 01°36'11" E |
| EL-15 | 84.97'  | S 26°13'12" E |
| EL-16 | 48.18'  | S 01°55'22" W |
| EL-17 | 189.56' | S 06°03'46" W |
| EL-18 | 107.89' | S 06°03'46" W |
| EL-19 | 26.80'  | S 83°17'45" E |
| EL-20 | 81.19'  | S 06°41'32" W |
| EL-21 | 178.73' | S 08°27'21" W |
| EL-22 | 36.84'  | S 03°38'40" W |
| EL-23 | 42.45'  | S 01°55'22" W |
| EL-24 | 60.32'  | S 26°13'12" E |
| EL-25 | 94.74'  | S 01°36'11" E |

**LEGEND:**

- EIP - EXISTING IRON PIPE
- EPK - EXISTING PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- SCP - SECURITY CAMERA POLE

**LINE TYPE LEGEND**



**FINAL PLAT FOR NEW STORMWATER BMP MAINTENANCE & ACCESS AMPLE STORAGE LAKE WORTH, LLC**

OWNER: AMPLE STORAGE LAKE WORTH, LLC

- REF: D.B. 15706 PAGE 63
- REF: B.M. 2005 PAGE 450
- REF: B.M. 2013 PAGE 683
- REF: B.M. 2015, PAGE 400

ST. MATTHEWS TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA

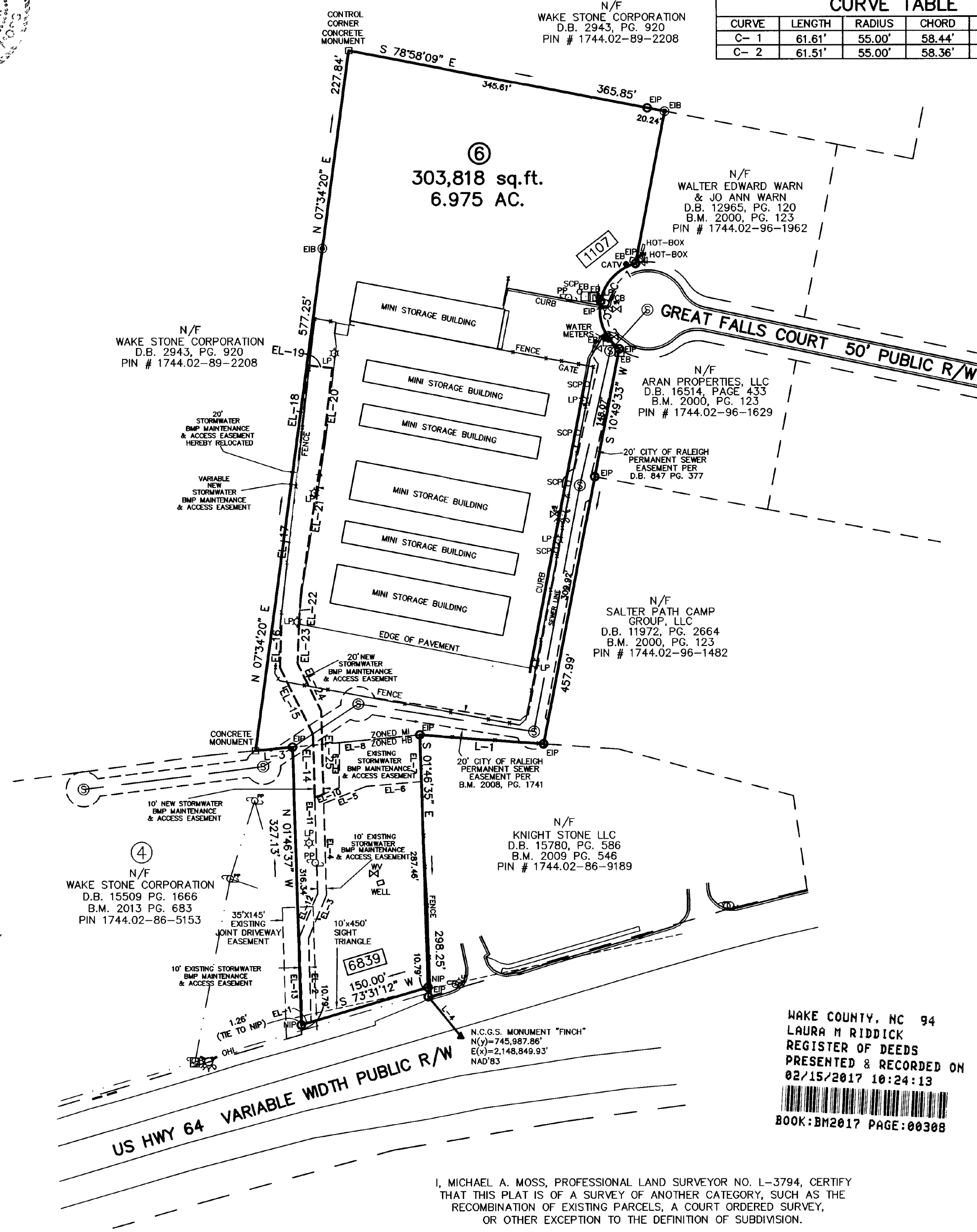


SCALE 1"=100'

DECEMBER 15, 2014  
REVISED MAY 25, 2016  
REVISED DECEMBER 1, 2016  
REVISED JANUARY 16, 2017  
REVISED JANUARY 17, 2017

ZONED HB & MI  
PIN # 1744-86-8623

EX-10-16  
ZCP-7-14



WAKE COUNTY, NC 94  
LAURA H RIDDICK  
REGISTER OF DEEDS  
PRESENTED & RECORDED ON  
02/15/2017 10:24:13  
BOOK: BM2017 PAGE: 00308

I, MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794, CERTIFY THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

*Michael A. Moss*  
MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794



REVISIONS:

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**BOUNDARY SURVEY**

DATE: AUGUST 11, 2023  
DESIGNED BY: MJP  
DRAWN BY: EDN  
CHECKED BY: JSJ  
PROJECT No. 2023008  
DRAWING No. W-4073-SK  
SCALE: NOT TO SCALE  
SHEET No.

**C1.11**

**NOTES:** PER UDO SECTION 7.4.H.1 ALL TREES GREATER THAN 24" DBH SHALL REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

NC License # 4334  
**Rivers**  
 & ASSOCIATES, INC.  
 Since 1918  
 riversandassociates.com  
 107 East Second Street  
 Greenville, NC 27658  
 (252) 752-4135  
 Engineers  
 Planners  
 Surveyors  
 Landscape Architects



**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**NATURAL RESOURCES SKETCH PLAN**

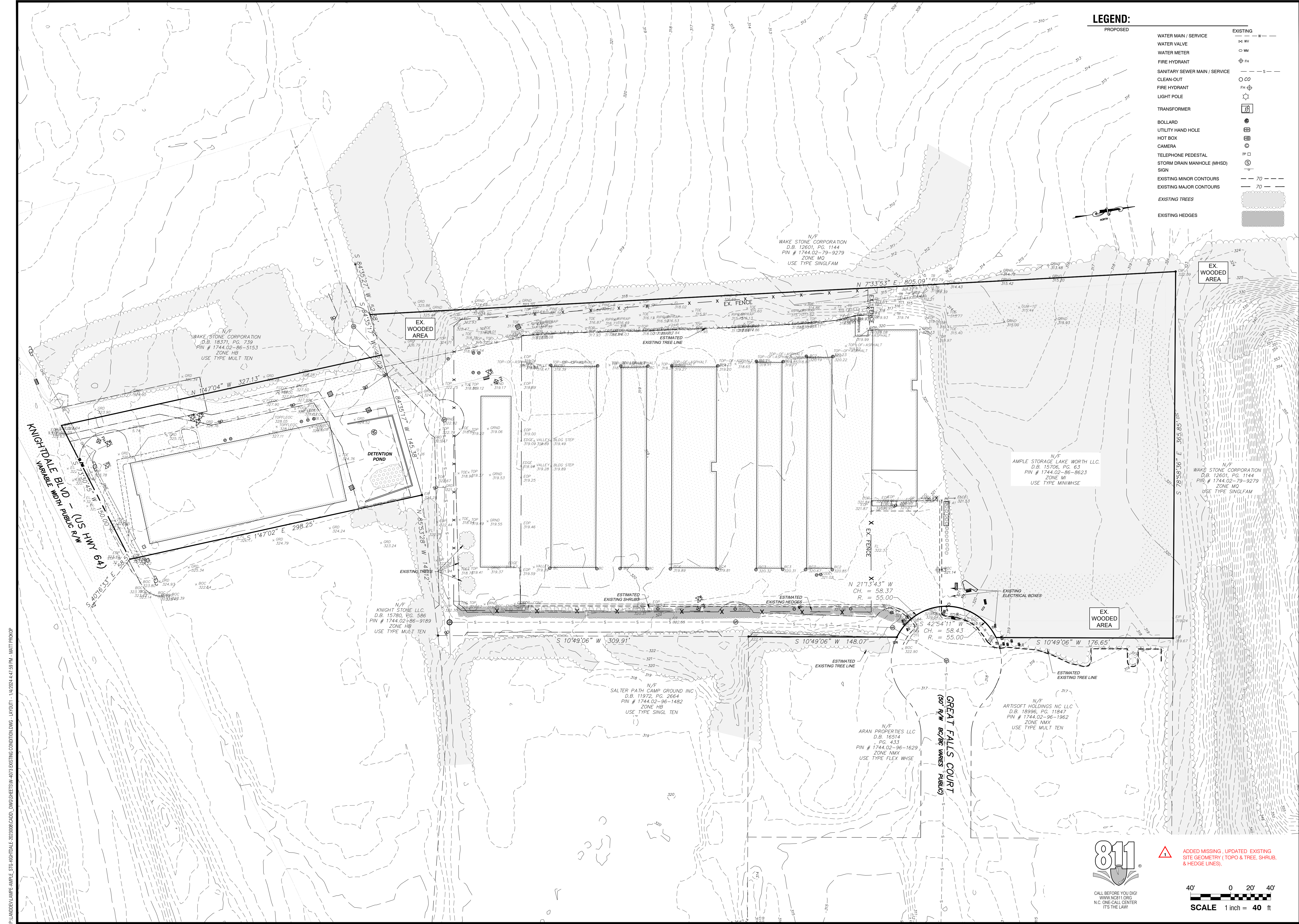
DATE: AUGUST 11, 2023  
 DESIGNED BY: MJP  
 DRAWN BY: EDN  
 CHECKED BY: JSJ  
 PROJECT No. 2023008  
 DRAWING No. W-4073-SK  
 SCALE: 1" = 20'  
 SHEET No.  
**C1.12**

CALL BEFORE YOU DIG!  
 WWW.811.ORG  
 N.C. ONE-CALL CENTER  
 IT'S THE LAW!

SCALE 1 inch = 20 ft



P:\LANDDEV\AMPLE-AMPE-STG-KNIGHTDALE\2023008\CADD\_DRAWINGS\RESOURCES\DWG-LAYOUT-15/2023 2:52:57 PM - MAT PRODU



**LEGEND:**

| PROPOSED                      | EXISTING   |
|-------------------------------|------------|
| WATER MAIN / SERVICE          | W - W      |
| WATER VALVE                   | WV         |
| WATER METER                   | WM         |
| FIRE HYDRANT                  | FH         |
| SANITARY SEWER MAIN / SERVICE | S - S      |
| CLEAN-OUT                     | CO         |
| FIRE HYDRANT                  | FH         |
| LIGHT POLE                    | LP         |
| TRANSFORMER                   | T          |
| BOLLARD                       | B          |
| UTILITY HAND HOLE             | UHH        |
| HOT BOX                       | HB         |
| CAMERA                        | C          |
| TELEPHONE PEDESTAL            | TP         |
| STORM DRAIN MANHOLE (MHSD)    | MHSD       |
| SIGN                          | S          |
| EXISTING MINOR CONTOURS       | --- 70 --- |
| EXISTING MAJOR CONTOURS       | --- 70 --- |
| EXISTING TREES                | (Symbol)   |
| EXISTING HEDGES               | (Symbol)   |

**Rivers**  
 RIVERS AND ASSOCIATES, INC.  
 ENGINEERS, PLANNERS, SURVEYORS, LANDSCAPE ARCHITECTS  
 107 East Second Street  
 Greenville, NC 27658  
 (252) 752-4135

**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**EXISTING CONDITIONS OVERALL**

DATE: AUGUST 11, 2023  
 DESIGNED BY: MJP  
 DRAWN BY: EDN  
 CHECKED BY: JSJ  
 PROJECT No. 2023008  
 DRAWING No. W-4073-SK  
 SCALE: 1"=40'  
 SHEET No. **C1.21**

**811**  
 CALL BEFORE YOU DIG!  
 WWW.811.ORG  
 N.C. ONE-CALL CENTER  
 IT'S THE LAW!

ADDED MISSING, UPDATED EXISTING SITE GEOMETRY (TOPO & TREE, SHRUB, & HEDGE LINES).

SCALE 1 inch = 40 ft

P:\LANDDEV\AMPE-AMPE\_SITING\KNDL-4073-EXISTING CONDITIONS\DWG - LANDUIT - 141224-4-41:59 PM - MATI.PRODUP

Do Not Use for Construction - PRELIMINARY

P:\LANDDEV\LAPE-AMPLE-AMPE-516-KNIGHTDALE-2023008\CADD\_DRAWINGS\EXISTING\_CONDITIONS\_DRAWING\_LAYOUT 2 - 1/4/2024 4:41:59 PM - MATI GROUP



**LEGEND:**

| PROPOSED                      | EXISTING   |
|-------------------------------|------------|
| WATER MAIN / SERVICE          | W - W      |
| WATER VALVE                   | WV         |
| WATER METER                   | WM         |
| FIRE HYDRANT                  | FH         |
| SANITARY SEWER MAIN / SERVICE | S - S      |
| CLEAN-OUT                     | CO         |
| FIRE HYDRANT                  | FH         |
| LIGHT POLE                    | LP         |
| TRANSFORMER                   | TR         |
| BOLLARD                       | B          |
| UTILITY HAND HOLE             | UH         |
| HOT BOX                       | HB         |
| CAMERA                        | C          |
| TELEPHONE PEDESTAL            | TP         |
| STORM DRAIN MANHOLE (MHSD)    | SM         |
| SIGN                          | S          |
| EXISTING MINOR CONTOURS       | --- 70 --- |
| EXISTING MAJOR CONTOURS       | --- 70 --- |
| EXISTING TREES                | [Symbol]   |
| EXISTING HEDGES               | [Symbol]   |

**Rivers**  
 & ASSOCIATES, INC.  
 Since 1918  
 PLANNERS  
 SURVEYORS  
 LANDSCAPE ARCHITECTS  
 107 East Second Street  
 Greenville, NC 27658  
 (252) 752-4135

**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

**LAMPE MANAGEMENT COMPANY**  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**EXISTING CONDITIONS**  
**- PROJECT AREA**

DATE: **AUGUST 11, 2023**  
 DESIGNED BY: **MJP**  
 DRAWN BY: **EDN**  
 CHECKED BY: **JSJ**  
 PROJECT No. **2023008**  
 DRAWING No. **W-4073-SK**  
 SCALE: **1"=40'**  
 SHEET No. **C1.22**

**811**  
 CALL BEFORE YOU DIG!  
 WWW.811.ORG  
 N.C. ONE-CALL CENTER  
 IT'S THE LAW!

ADDED THIS SHEET

SCALE 1 inch = 20 ft

Do Not Use for Construction - PRELIMINARY





REVISIONS:

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**SKETCH PLAN OVERALL**

DATE: AUGUST 11, 2023

DESIGNED BY: MJP

DRAWN BY: EDN

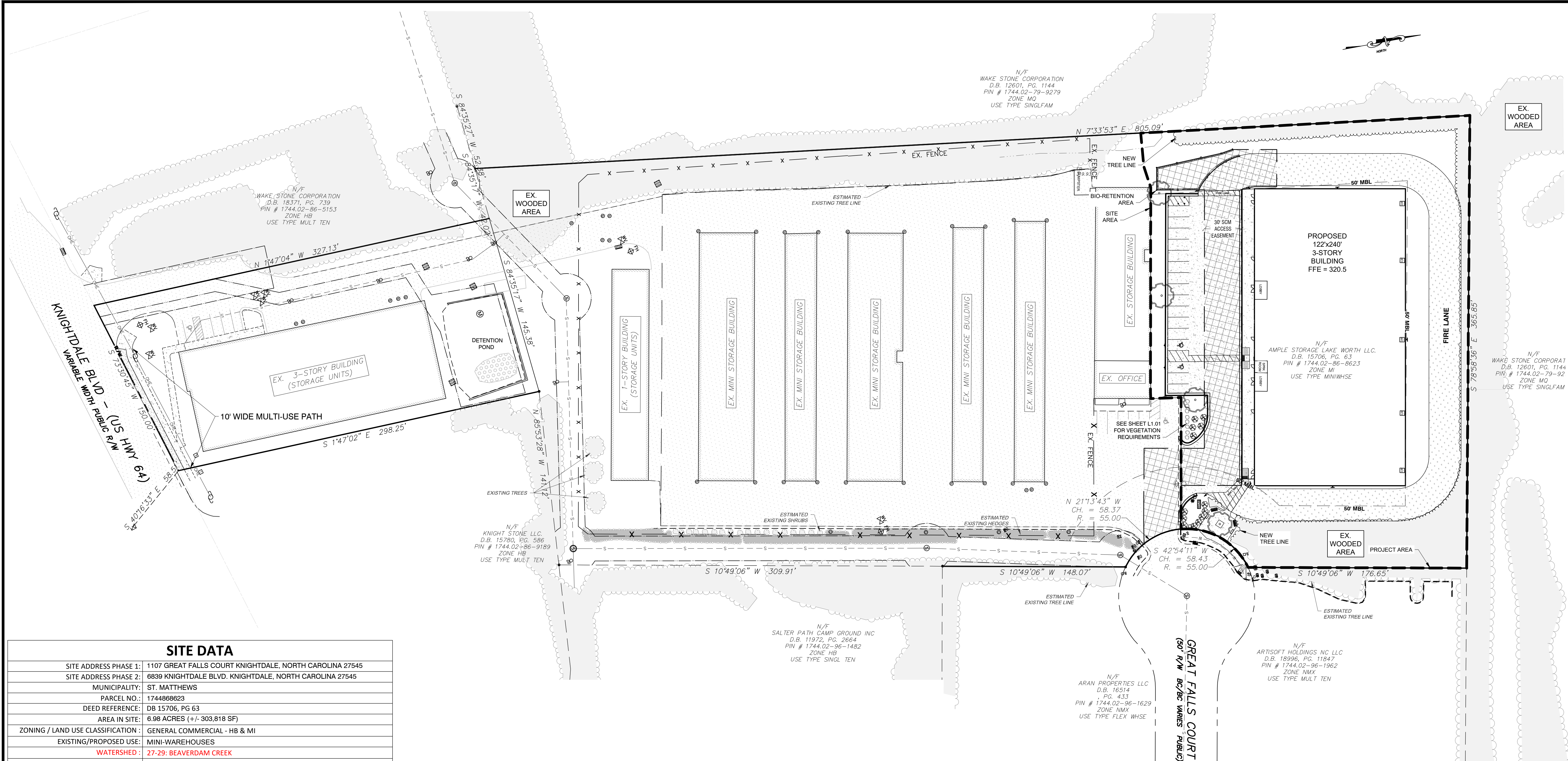
CHECKED BY: JSJ

PROJECT No. 2023008

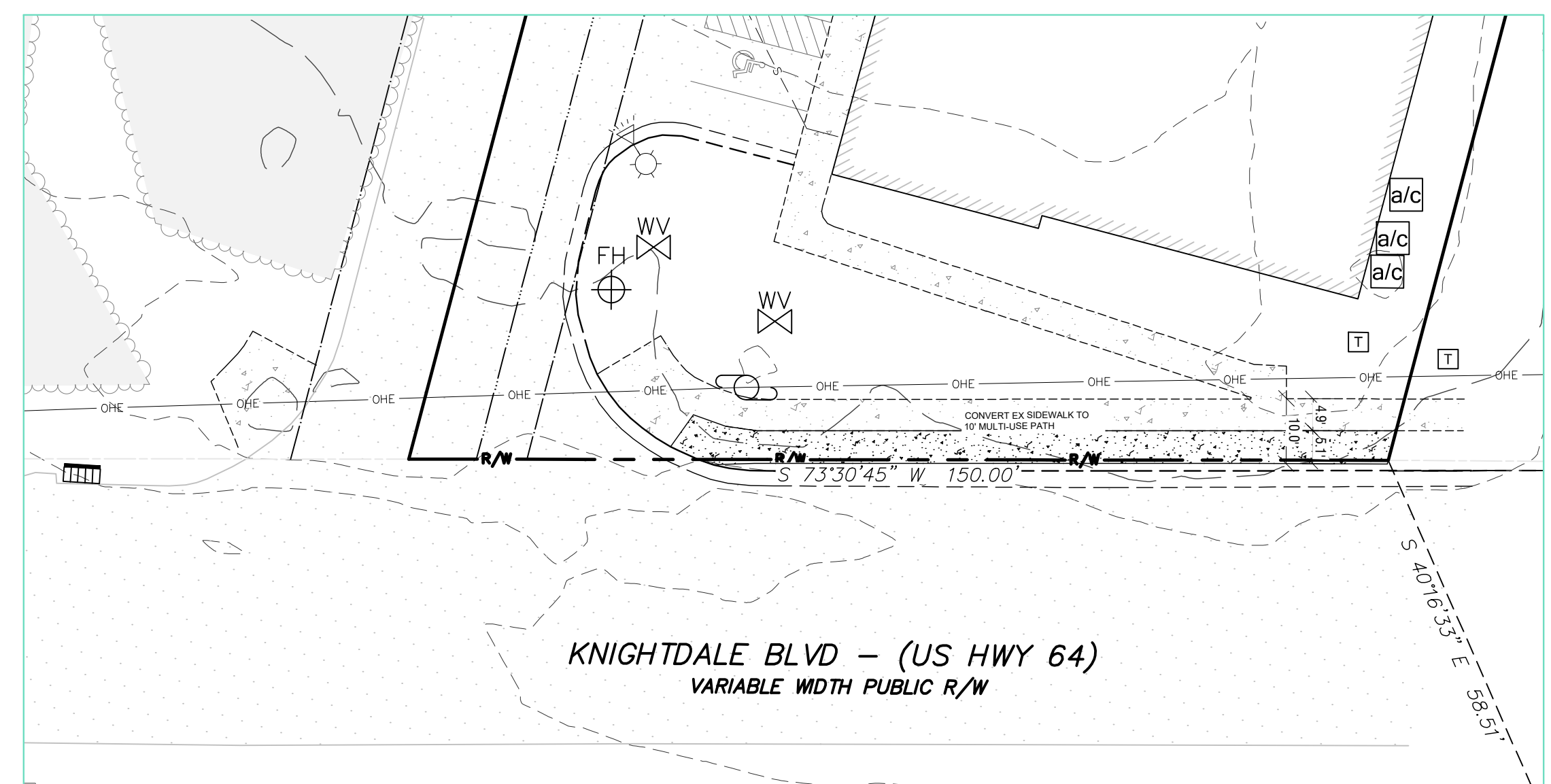
DRAWING No. W-4073-SK

SCALE: AS NOTED

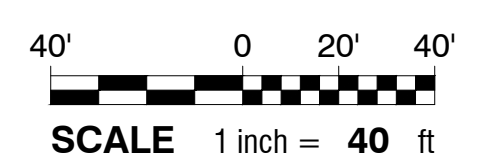
SHEET No. **C2.01**



| SITE DATA                          |  |
|------------------------------------|--|
| SITE ADDRESS PHASE 1:              | 1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545                  |
| SITE ADDRESS PHASE 2:              | 6839 KNIGHTDALE BLVD. KNIGHTDALE, NORTH CAROLINA 27545                   |
| MUNICIPALITY:                      | ST. MATTHEWS   |
| PARCEL NO.:                        | 1744868623   |
| DEED REFERENCE:                    | DB 15706, PG 63  |
| AREA IN SITE:                      | 6.98 ACRES (+/- 303,818 SF)  |
| ZONING / LAND USE CLASSIFICATION:  | GENERAL COMMERCIAL - HB & MI   |
| EXISTING/PROPOSED USE:             | MINI-WAREHOUSES  |
| WATERSHED:                         | 27-29: BEAVERDAM CREEK   |
| RECEIVING STREAM:                  | C. NSW   |
| TOTAL BUILDING SQUARE FOOTAGE:     | 95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF                          |
| BUILDING HEIGHT:                   | EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY) |
| TOTAL NUMBER OF STORAGE UNITS:     | EXISTING = ~750 PROPOSED = 977   |
| EXISTING BUILDINGS FOOTPRINT:      | 62,611 SF  |
| EXISTING CONCRETE:                 | 4,197 SF   |
| EXISTING ASPHALT PARKING:          | 87,965 SF  |
| TOTAL EXISTING IMPERVIOUS AREA:    | 154,773 SF (3.55 ACRE)   |
| EXISTING:                          | 50.9%  |
| PROPOSED BUILDING FOOTPRINT:       | 29,280 SF  |
| PROPOSED CONCRETE:                 | 15,752 SF  |
| TOTAL PROPOSED IMPERVIOUS AREA:    | 45,032 SF (1.03 ACRES)   |
| TOTAL IMPERVIOUS AREA:             | 199,805 SF (4.59 ACRES)  |
| TOTAL POST DEVELOPMENT:            | 65.8%  |
| <b>PARKING SUMMARY</b>             |  |
| EXISTING REQUIREMENTS              | MAXIMUM - .25 PER 1,000 SF(95,645 SF) = 23.9 SPACES                      |
| MINI-STORAGE:                      | MINIMUM - 1/2 OF MAXIMUM() = 12 SPACES                                   |
| PROPOSED REQUIREMENTS              | MAXIMUM - .25 PER 1,000 SF(87,840 SF) = 22 SPACES                        |
| MINI-STORAGE:                      | MINIMUM - 1/2 OF MAXIMUM() = 11 SPACES                                   |
| TOTAL PARKING SPACES REQUIRED:     | 23   |
| TOTAL EXISTING PARKING SPACES:     | 12   |
| NEW PARKING SPACES REQUIRED:       | 11   |
| NEW PARKING SPACES PROVIDED:       | 16   |
| TOTAL PARKING SPACES PROVIDED:     | 28   |
| EXISTING H/C PARKING SPACES:       | 2  |
| H/C PARKING SPACES REQUIRED:       | 1  |
| TOTAL H/C PARKING SPACES PROVIDED: | 3  |
| TOTAL BICYCLE PARKING REQUIRED:    | 2  |
| TOTAL BICYCLE PARKING PROVIDED:    | 2  |



TREE CANOPY CALCULATIONS FOUND ON SHEET L1.01



Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Administrator

- SITE DATA UPDATED
- ADJ L1/ZONING ADDED
- MULTI-USE PATH ADDED
- PROPOSED POND REDESIGNED AS A BIO-RETENTINO AREA
- EX VEGETATION ADDED

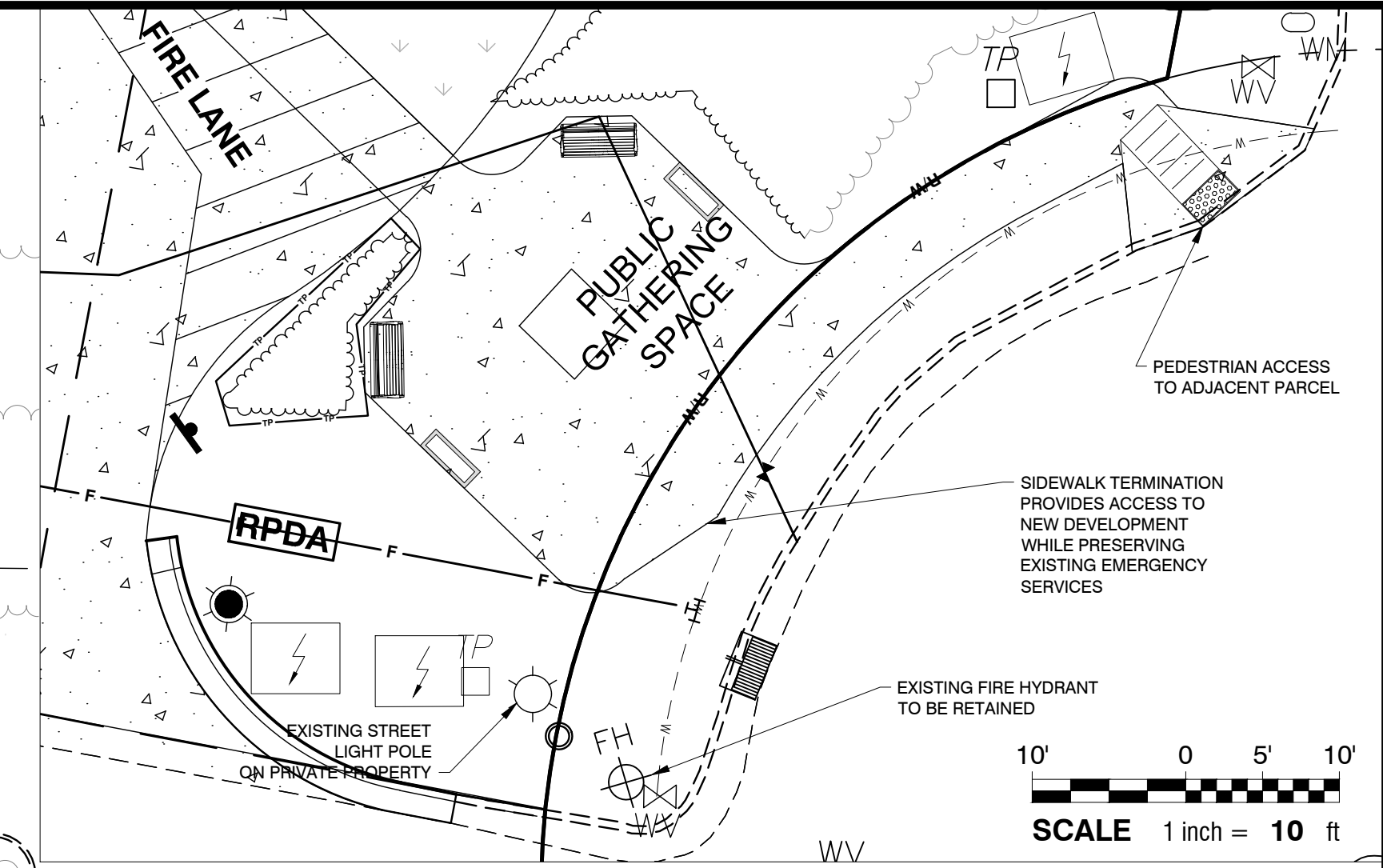
P:\LANDDEV\AMPLE-AMPE\_016-KNIGHTDALE\2023008\CADD\_DRAWINGS\2023008\04073-SKETCHPLAN OVERALL.DWG - LAYOUT1 - 15/08/2024 2:56:19 PM - MATI PROJ00P

REVISIONS:

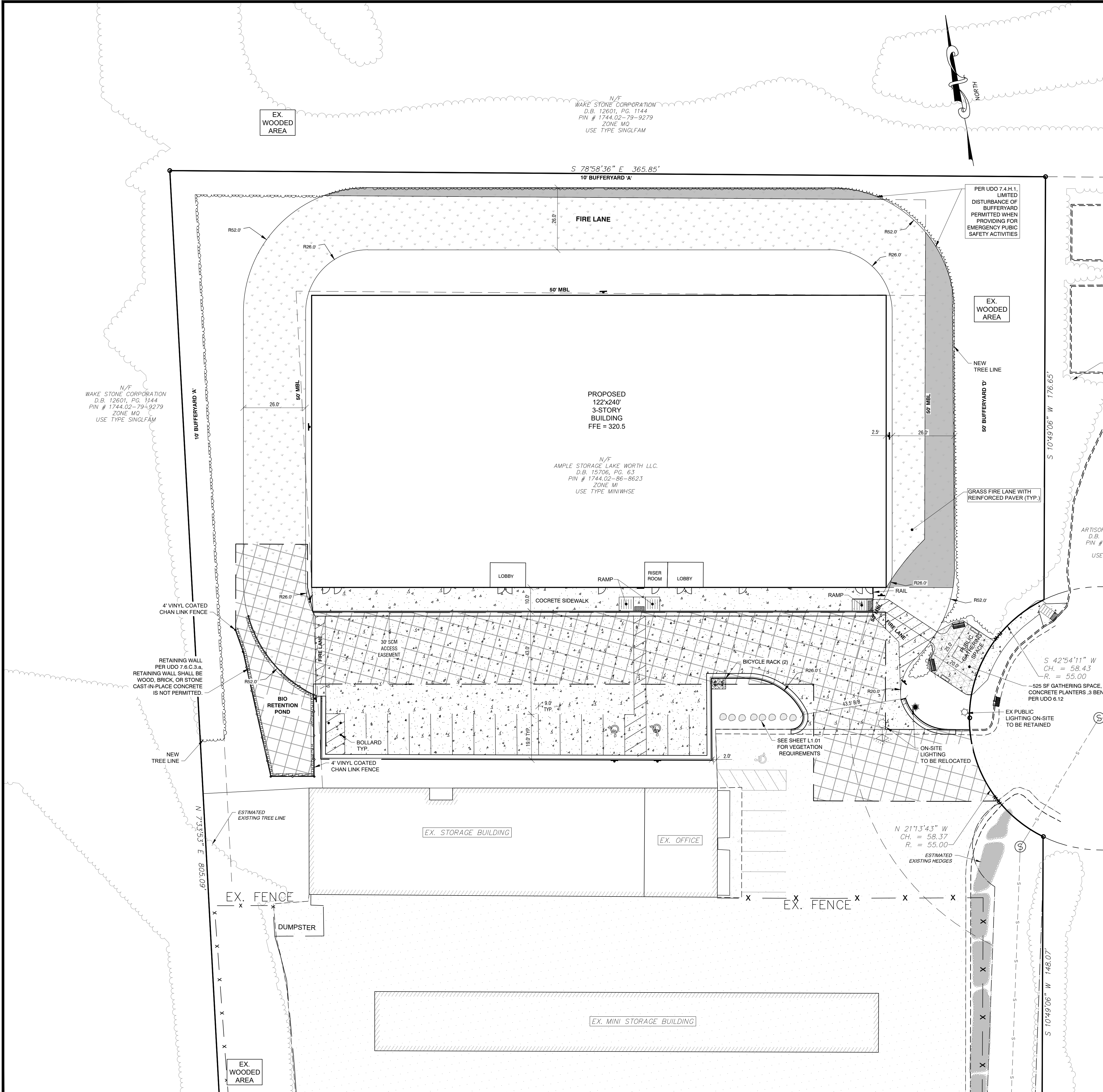
| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
 AMPLE STORAGE - EXPANSION  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**SKETCH PLAN - PROJECT AREA**

DATE: AUGUST 11, 2023  
 DESIGNED BY: MJP  
 DRAWN BY: EDN  
 CHECKED BY: JSJ  
 PROJECT No. 2023008  
 DRAWING No. W-4073-SK  
 SCALE: 1" = 20'  
 SHEET No.  
**C2.10**



**SIDEWALK AND PUBLIC GATHERING SPACE**

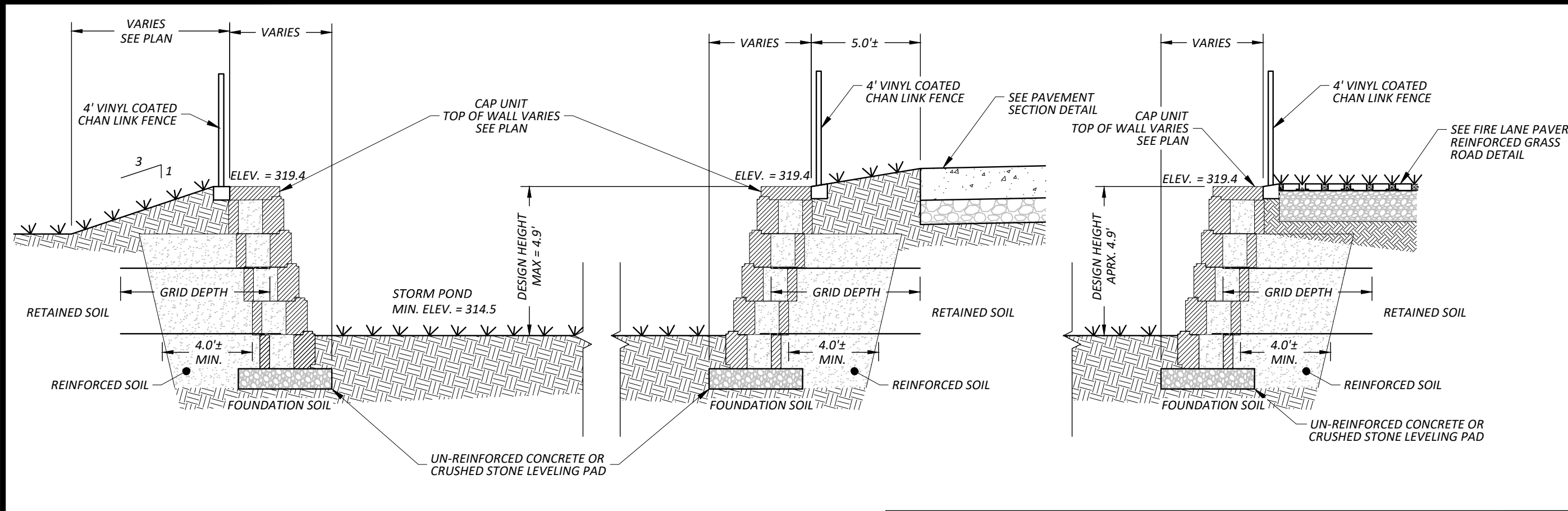


**NOTES:** SCM RETAINING WALL SHALL BE CONSTRUCTED WITH WOOD, BRICK, OR STONE PER UDO SECTION 7.6.C.3.A. CAST IN PLACE CONCRETE IS PROHIBITED.

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Administrator

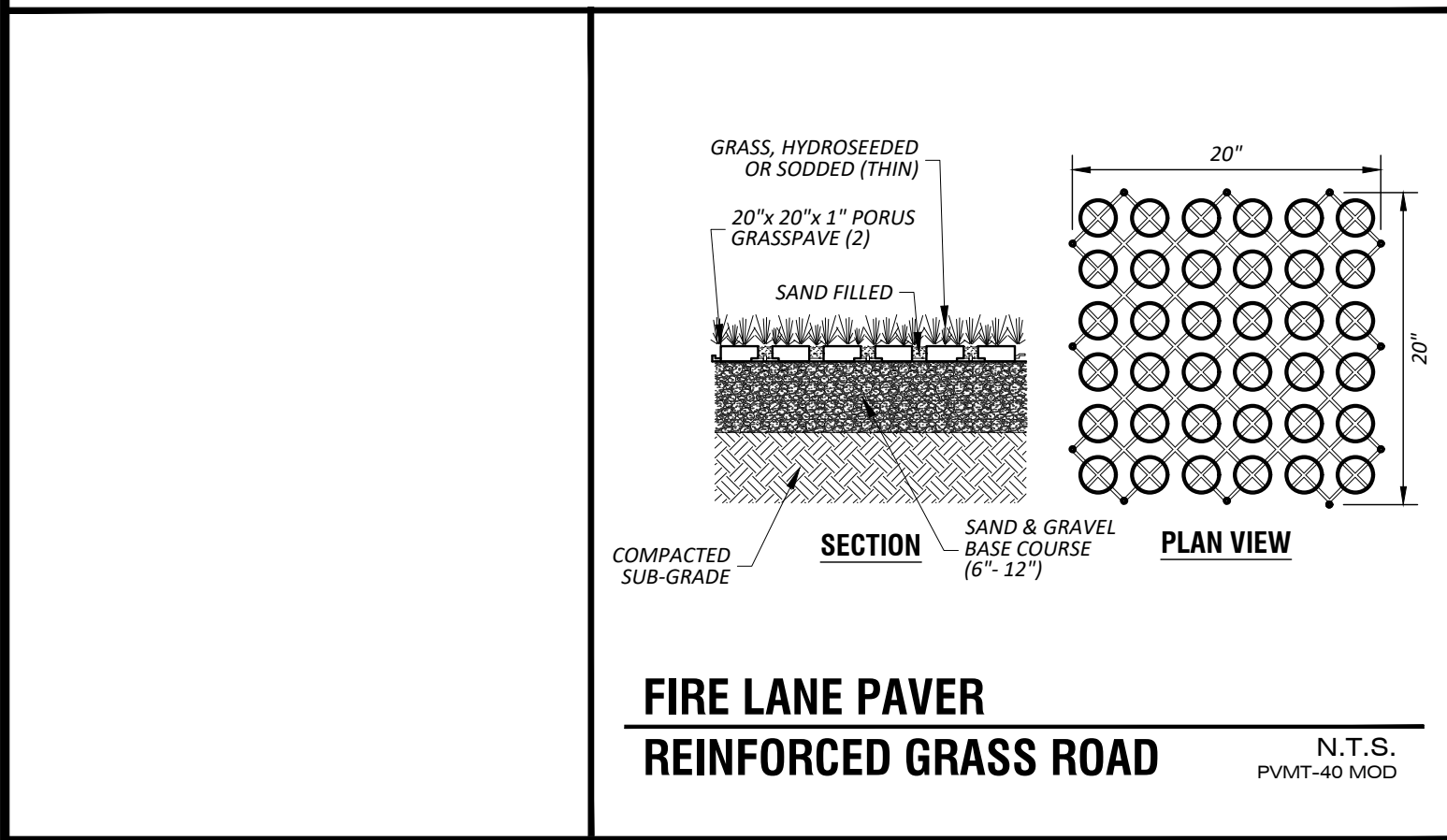
UPDATED SITE DATE & ADJACENT PROPERTIES INFORMATION. ADDED MISSING TREE, SHRUB, & HEDGE LINES. UPDATED SITE GEOMETRY (WALKS, PARKING, FIRE LANE, PONDS, TOPO, & NEW TREE LINE), ADDED EASEMENT LINES AND TREES & SHRUBS. ADDED ADDITIONAL SIDE WALK BY CHANGING GRASS STRIP TO CONCRETE ON SOUTH SIDE.





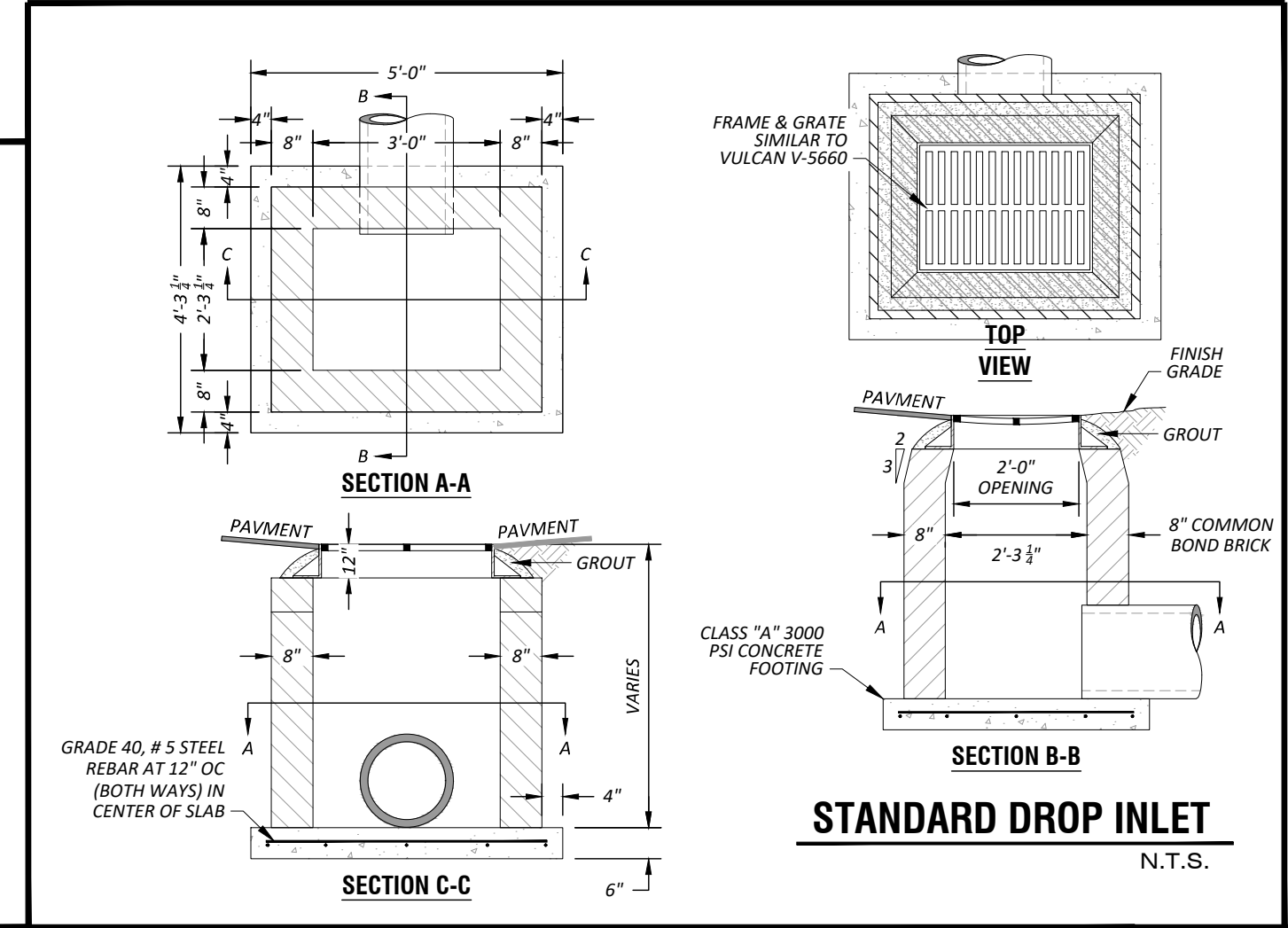
**RETAINING WALL SECTIONS**

N.T.S.  
RWAL-11 MOD



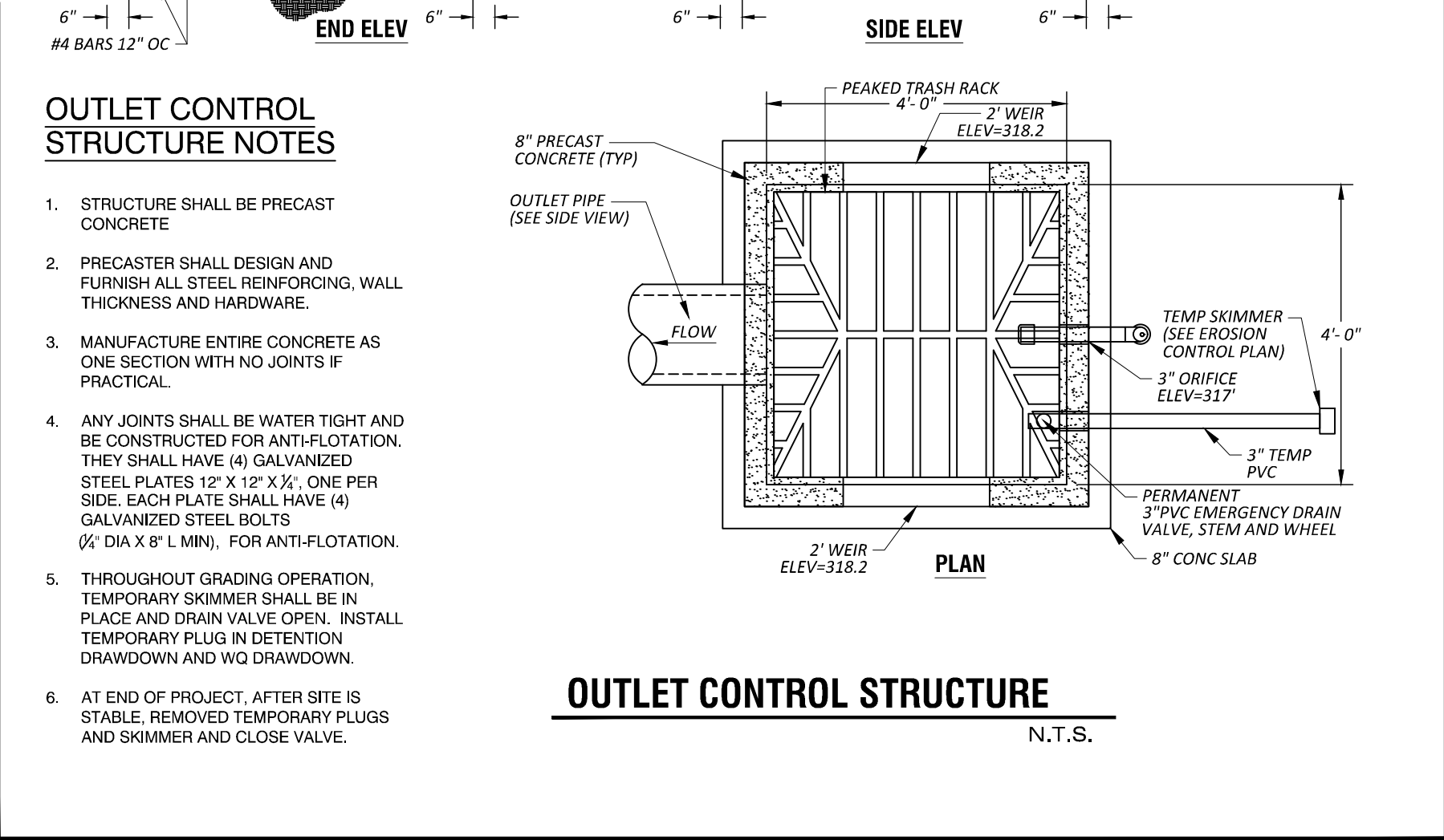
**FIRE LANE PAVER REINFORCED GRASS ROAD**

N.T.S.  
PVMT-40 MOD



**STANDARD DROP INLET**

N.T.S.

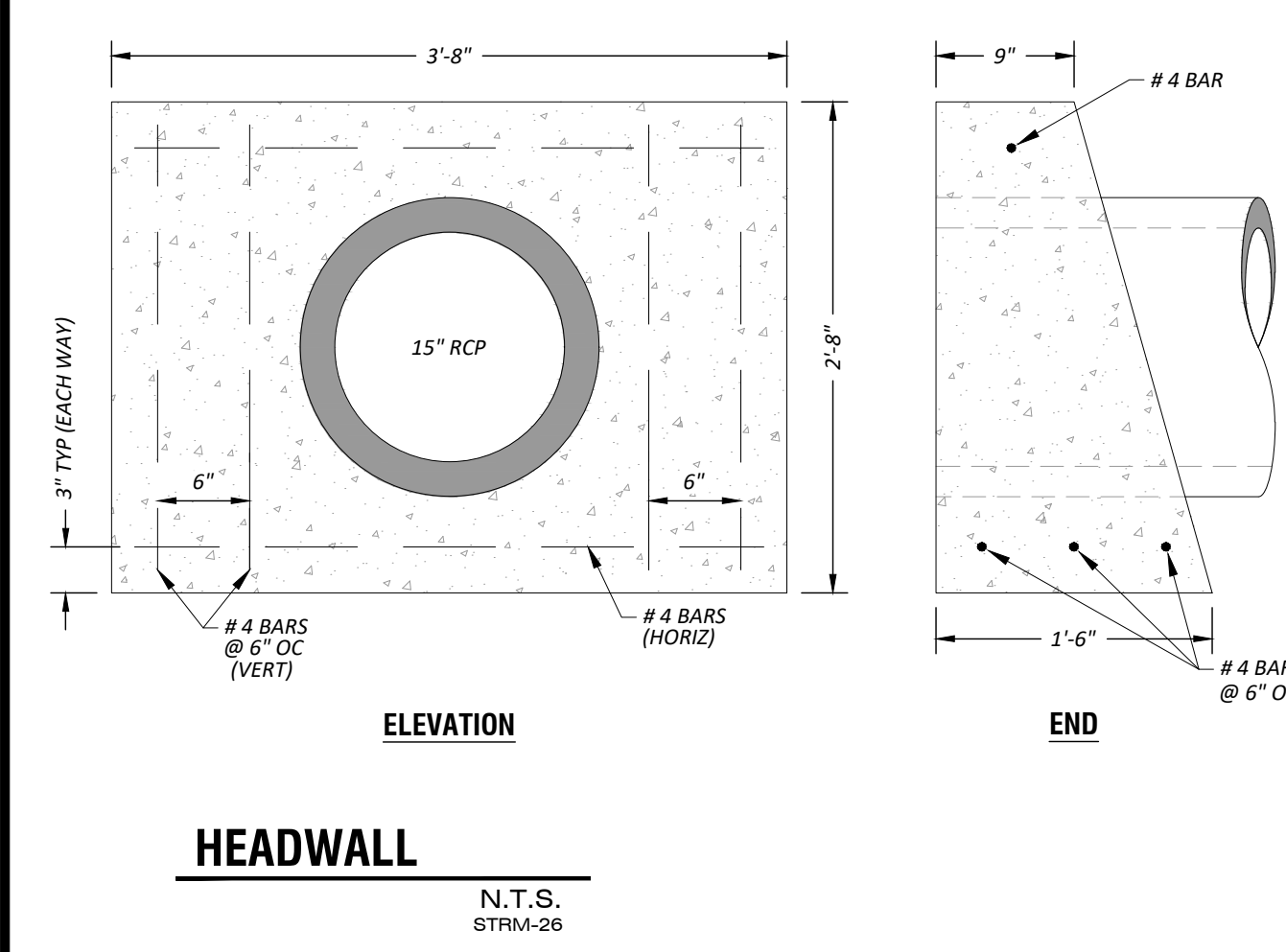


**OUTLET CONTROL STRUCTURE NOTES**

- STRUCTURE SHALL BE PRECAST CONCRETE.
- PRECASTER SHALL DESIGN AND FURNISH ALL STEEL REINFORCING, WALL THICKNESS AND HARDWARE.
- MANUFACTURE ENTIRE CONCRETE AS ONE SECTION WITH NO JOINTS IF PRACTICAL.
- ANY JOINTS SHALL BE WATER TIGHT AND BE CONSTRUCTED FOR ANTI-FLOTATION. THEY SHALL HAVE (4) GALVANIZED STEEL PLATES 12" X 12" X 1/4", ONE PER SIDE. EACH PLATE SHALL HAVE (4) GALVANIZED STEEL BOLTS (1/2" DIA X 8" L MIN), FOR ANTI-FLOTATION.
- THROUGHOUT GRADING OPERATION, TEMPORARY SKIMMER SHALL BE IN PLACE AND DRAIN VALVE OPEN. INSTALL TEMPORARY PLUGS IN DETENTION DRAWDOWN AND WQ DRAWDOWN.
- AT END OF PROJECT, AFTER SITE IS STABLE, REMOVED TEMPORARY PLUGS AND SKIMMER AND CLOSE VALVE.

**OUTLET CONTROL STRUCTURE**

N.T.S.



**HEADWALL**

N.T.S.  
STRM-26

**MAINTENANCE**

**INSPECTION ACTIVITIES - (FREQUENCY)**

WHERE MAINTENANCE REQUIRES DEWATERING, DO SO BY MEANS OF DEWATERING PUMP.

**AFTER CONSTRUCTION**

INSPECT AFTER SEVERAL STORM EVENTS FOR BANK STABILITY, VEGETATION GROWTH, DRAINAGE SYSTEM FUNCTIONING, AND STRUCTURAL DAMAGE.

**SEMI-ANNUAL INSPECTION**

INSPECT FOR INVASIVE VEGETATION, DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENT; THE CONDITION OF THE RIPRAP IN THE INLET, OUTLET, AND PILOT CHANNELS; SEDIMENT ACCUMULATION IN THE BASIN; CLOGGING OF OUTLET; AND THE VIGOR AND DENSITY OF THE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR. CORRECT OBSERVED PROBLEMS AS NECESSARY.

NOTE: SIGNS OF HYDROCARBON BULDDIP SUCH AS FLOATING OIL ON WATER SURFACE. INSPECT FOR DAMAGE TO THE EMBANKMENT AND INLET/OUTLET STRUCTURES. REPAIR AS NECESSARY. MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY. EXAMINE INLET AND OUTLET DEVICES TO ENSURE THEY ARE FREE OF DEBRIS AND ARE OPERATIONAL.

**MAINTENANCE ACTIVITIES - (FREQUENCY)**

**ONE TIME**

- REPLACE WET POND VEGETATION TO MAINTAIN AT LEAST 50% OF SURFACE AREA COVERAGE IN WET POND PLANTS AFTER THE SECOND GROWING SEASON.

**AS NEEDED**

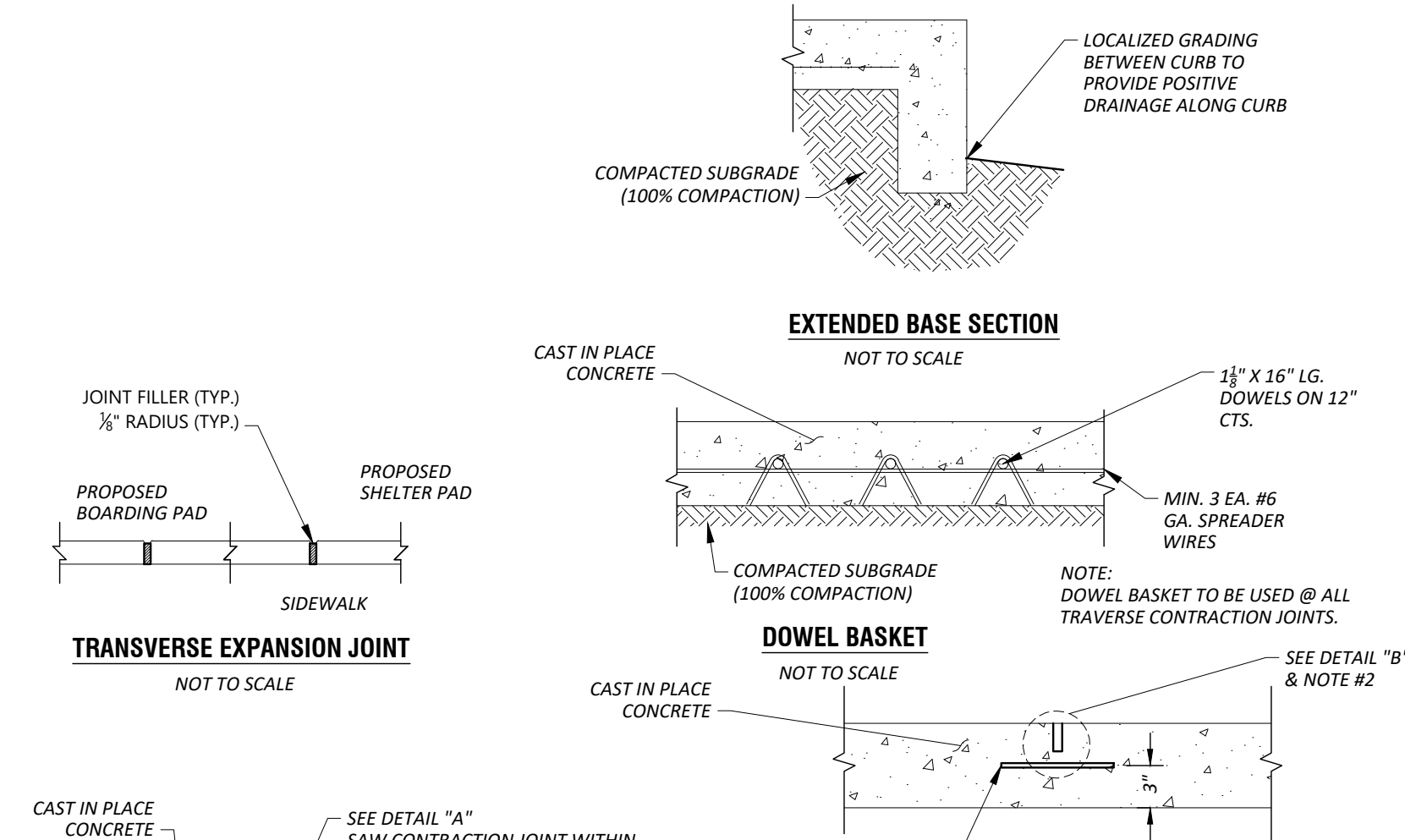
- REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED, WHERE PERMITTED BY THE DEPARTMENT OF FISH AND GAME OR OTHER AGENCY REGULATIONS, STOCK CONSTRUCTED WET PONDS REGULARLY WITH MOSQUITO FISH (GAMBUSIA SPP.) TO ENHANCE NATURAL MOSQUITO AND MIDGE CONTROL.

**3 TO 4 TIMES PER YEAR**

- CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES.
- MOW SIDE SLOPES AND REMOVE GRASS CLIPPINGS, REMOVE LITTER AND DEBRIS FROM BANKS, BASIN BOTTOM, TRASH RACKS, OUTLET STRUCTURES, AND VALVES AS REQUIRED.

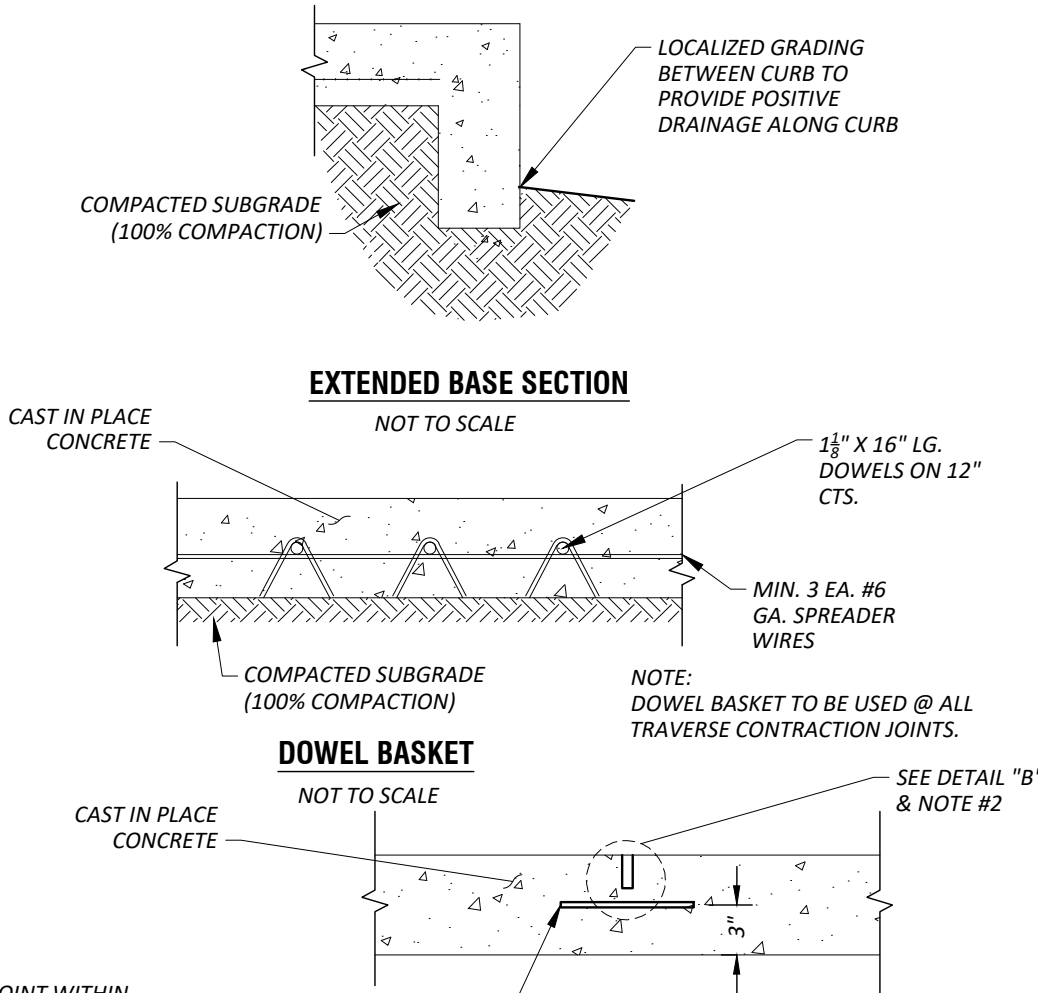
**ANNUAL (IF NEEDED)**

- SUPPLEMENT WET POND PLANTS IF A SIGNIFICANT PORTION HAVE NOT ESTABLISHED (AT LEAST 50% OF THE SURFACE AREA).
- REMOVE NUISANCE PLANT SPECIES.
- CLEAN FOREBAY TO AVOID ACCUMULATION IN MAIN WET POND AREA TO MINIMIZE WHEN THE MAIN WET POND AREA NEEDS TO BE CLEANED.
- HARVEST PLANT SPECIES IF VEGETATION BECOMES TOO THICK CAUSING FLOW BACKUP AND FLOODING. MORE FREQUENT PLANT HARVESTING MAY BE REQUIRED BY LOCAL VECTOR CONTROL AGENCIES.
- FERTILIZE NEW VEGETATION ONE TIME ONLY. THE OWNER SHALL NOT FERTILIZE VEGETATION AFTER THE INITIAL OCCURRENCE.
- MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE ACCUMULATED SEDIMENT VOLUME EXCEEDS 10-20% OF THE BASIN VOLUME. PLANTS ARE 'CHOKED' WITH SEDIMENT, OR THE WET POND BECOMES EUTROPHIC. IT IS SUGGESTED THAT THE MAIN AREA BE CLEANED ONE HALF AT A TIME WITH AT LEAST ONE GROWING SEASON IN BETWEEN CLEANINGS. THIS WILL HELP TO PREVENT THE VEGETATION AND ENABLE THE WET POND TO RECOVER MORE QUICKLY FROM THE CLEANING.



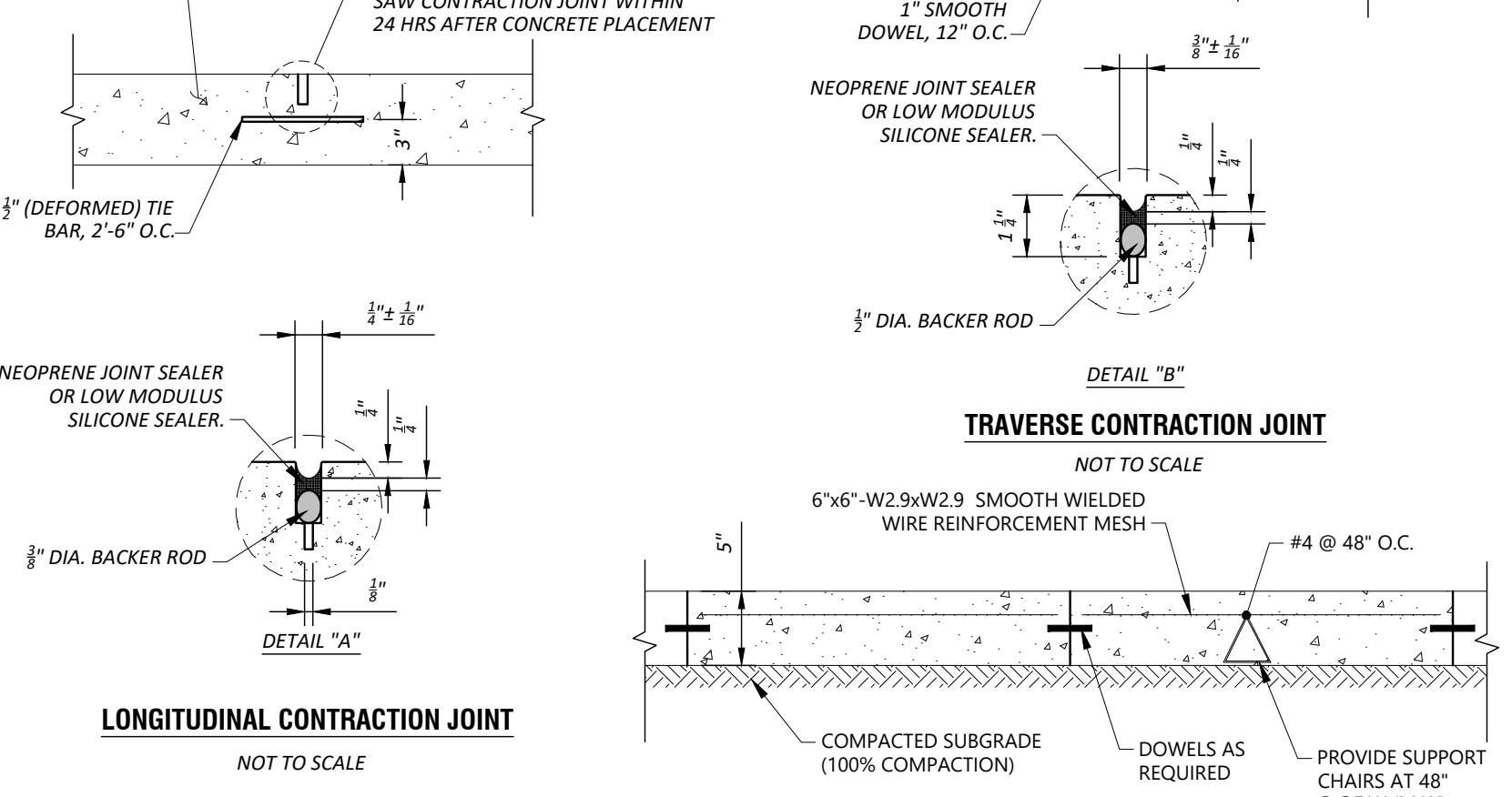
**TRANSVERSE EXPANSION JOINT**

NOT TO SCALE



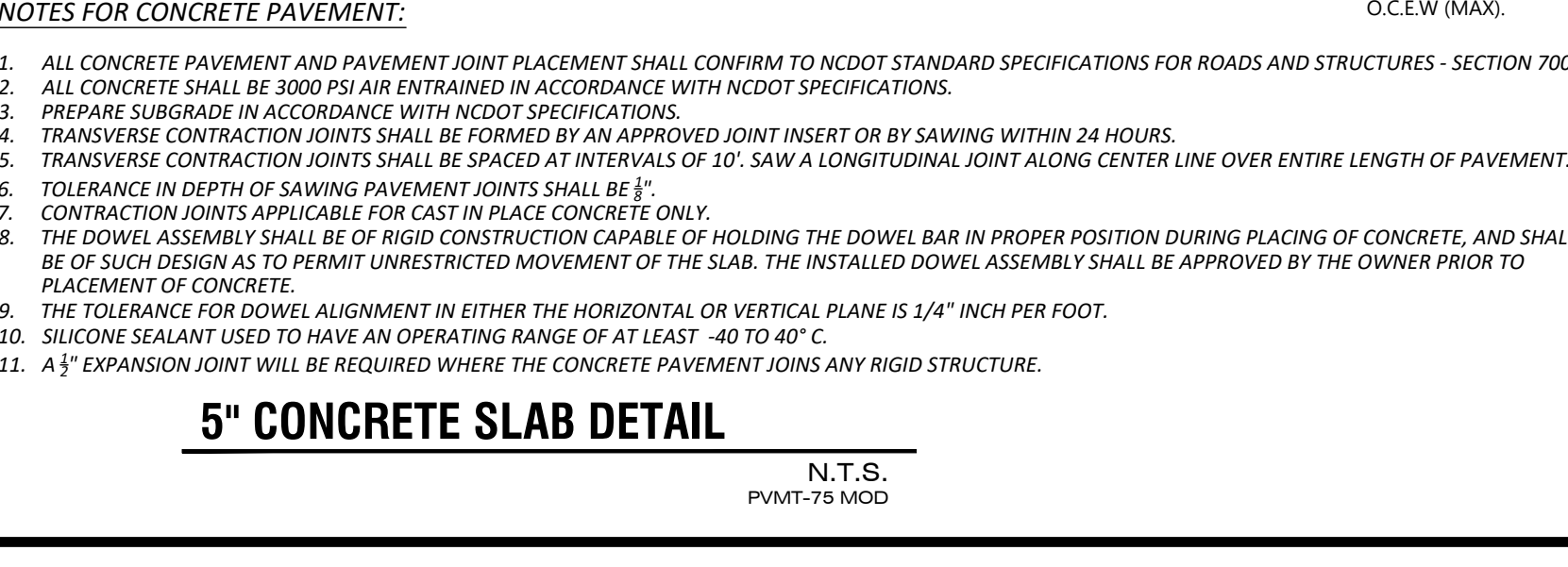
**DOWEL BASKET**

NOT TO SCALE



**LONGITUDINAL CONTRACTION JOINT**

NOT TO SCALE



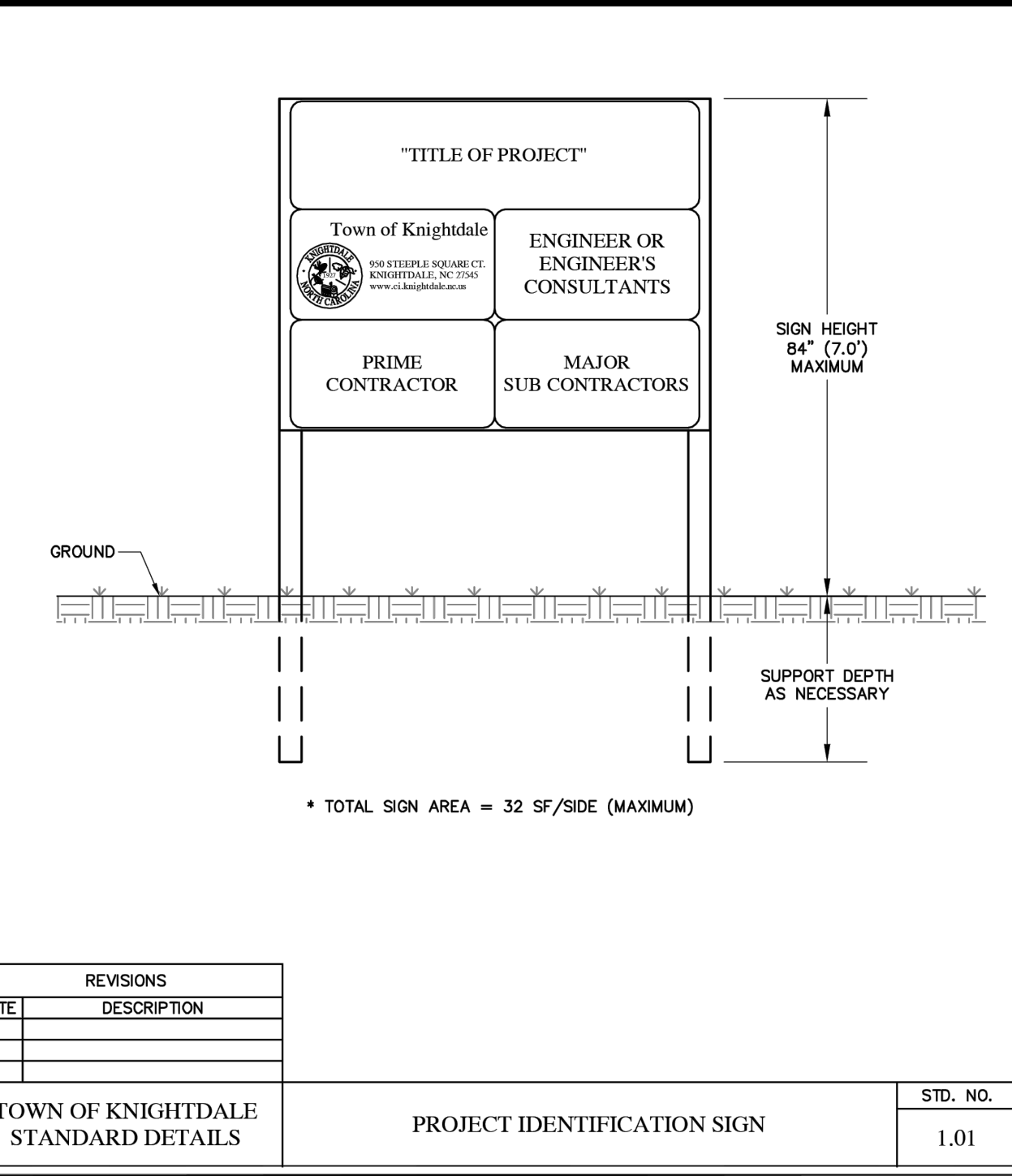
**5' CONCRETE SLAB DETAIL**

N.T.S.  
PVMT-75 MOD

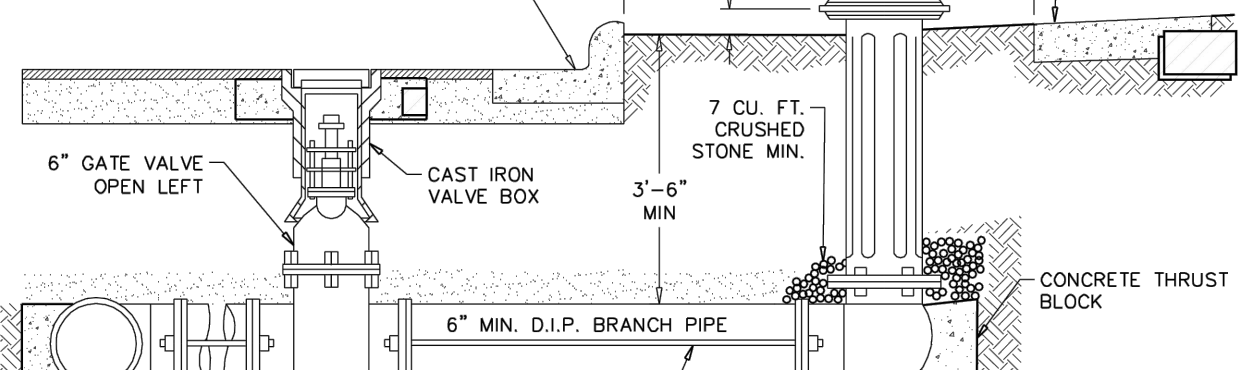
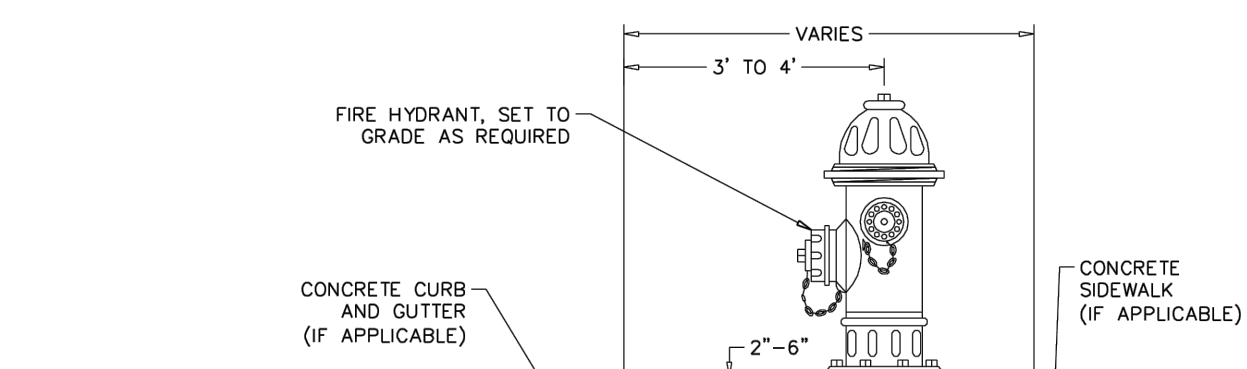


**BIKE RACK DETAIL**

N.T.S.  
LSCP-12



| REVISIONS | DATE | DESCRIPTION | STD. NO. |
|-----------|------|-------------|----------|
|           |      |             |          |



**NOTES:**

HYDRANTS SHALL BE EQUIPPED WITH ONE 5" STONE NOZZLE AND TWO 2-1/2" NOZZLES WITH NATIONAL STANDARD THREADS.

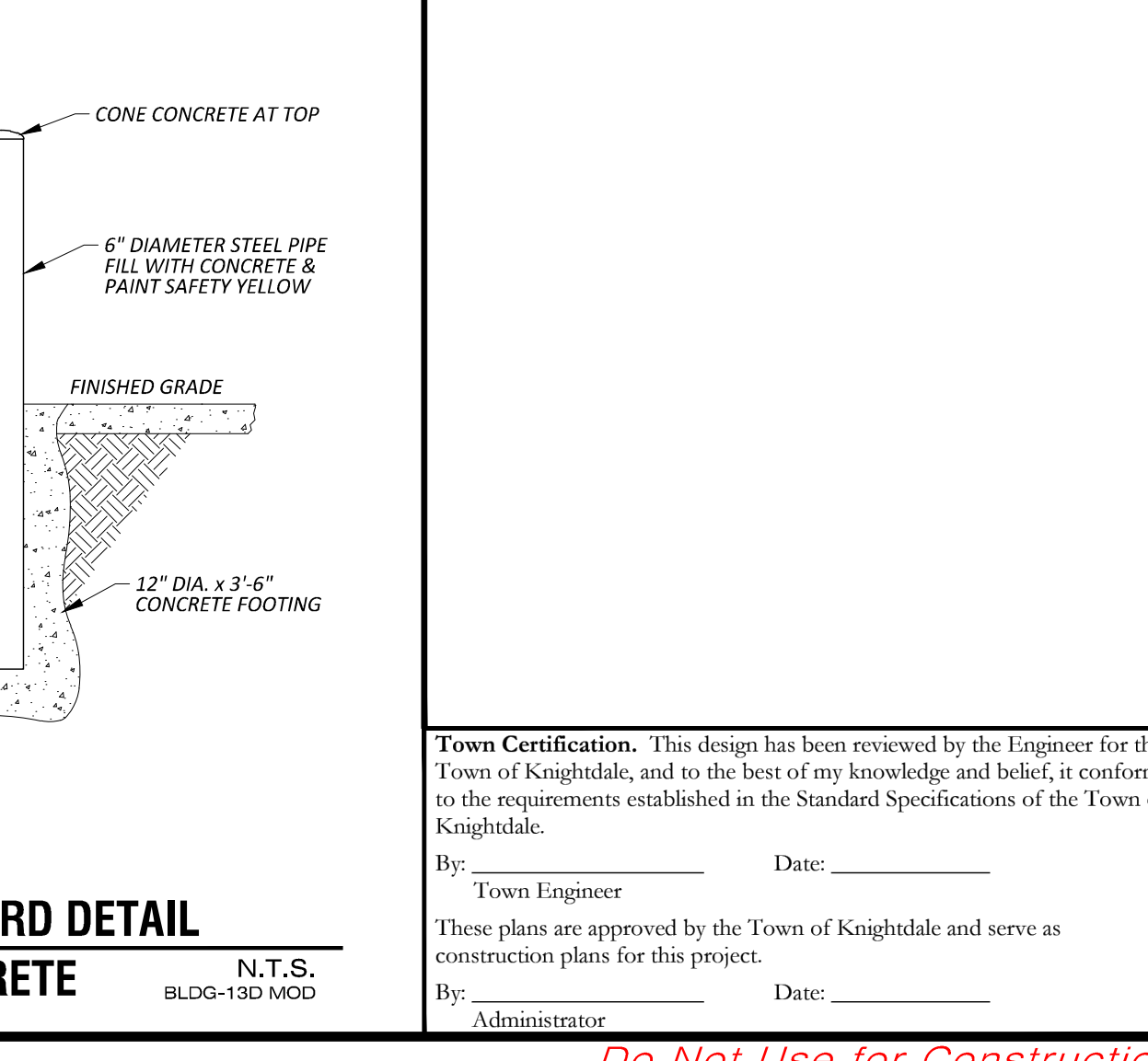
CONCRETE BLOCKING SHALL BE POURED SO AS TO LEAVE ALL FITTING BOLTS AND FLANGES EXPOSED.

IF HYDRANT IS LOCATED IN RURAL AREA, HYDRANT SHALL BE LOCATED APPROX. 1' INSIDE R/W.

IF HYDRANT IS LOCATED IN DOT R/W, USE DOT STANDARDS FOR LOCATION OF HYDRANT.

| REVISIONS | DATE | DESCRIPTION                  | STD. NO. |
|-----------|------|------------------------------|----------|
| 7/08      |      | CORRECTED NOZZLE SIZE & TYPE |          |

|                                     |                                       |      |      |
|-------------------------------------|---------------------------------------|------|------|
| TOWN OF KNIGHTDALE STANDARD DETAILS | STANDARD HYDRANT INSTALLATION - URBAN | 1.01 | 6.02 |
|-------------------------------------|---------------------------------------|------|------|



**BOLLARD DETAIL CONCRETE**

N.T.S.  
BLDG-13D MOD

**Rivers**  
ENGINEERS & ASSOCIATES, INC.  
107 East Second Street  
Greenville, NC 27658  
(252) 752-4135

**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

**LAMPE MANAGEMENT COMPANY**

**AMPLE STORAGE - EXPANSION**

TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

**SITE DETAILS**

DATE: AUGUST 11, 2023

DESIGNED BY: MJP

DRAWN BY: EDN

CHECKED BY: JSJ

PROJECT No. 2023008

DRAWING No. W-4073-SK

SCALE: 1" = 20'

SHEET No. C2.51

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

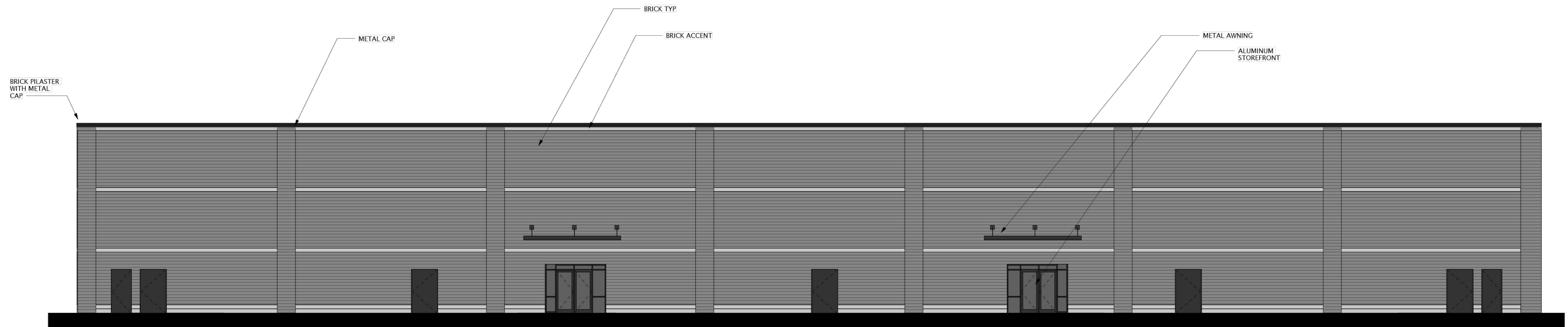
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator



2 SIDE ELEVATION FACING CUL-DE-SAC  
A1



1 FRONT ELEVATION  
1/8" = 1'-0"

# Ample Storage Knightdale

A1 BUILDING ELEVATIONS

Scale As indicated

RND Project No. 2118

LAMPE MANAGEMENT COMPANY

**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE — ST. MATTHEWS TWP. — WAKE CO. — NORTH CAROLINA

**BUILDING ELEVATIONS**

|   |                       |                      |       |
|---|-----------------------|----------------------|-------|
| <br><b>Rivers</b><br><small>&amp; ASSOCIATES, INC.</small><br><small>107 East Second Street<br/>Greensboro, NC 27408<br/>(336) 782-4110</small> | PROJECT No. 2023008   | SHEET No.            | C2.52 |
|   | DRAWING No. W-4073-SK | DATE AUGUST 11, 2023 |       |

ENGINEERS  
PLANNERS  
ARCHITECTS

PRELIMINARY SET

Date 6.29.23

N/F  
WAKE STONE CORPORATION  
D.B. 12601, PG. 1144  
PIN # 1744.02-79-9279  
ZONE MO  
USE TYPE SINGLFAM

N/F  
WAKE STONE CORPORATION  
D.B. 12601, PG. 1144  
PIN # 1744.02-79-9279  
ZONE MO  
USE TYPE SINGLFAM

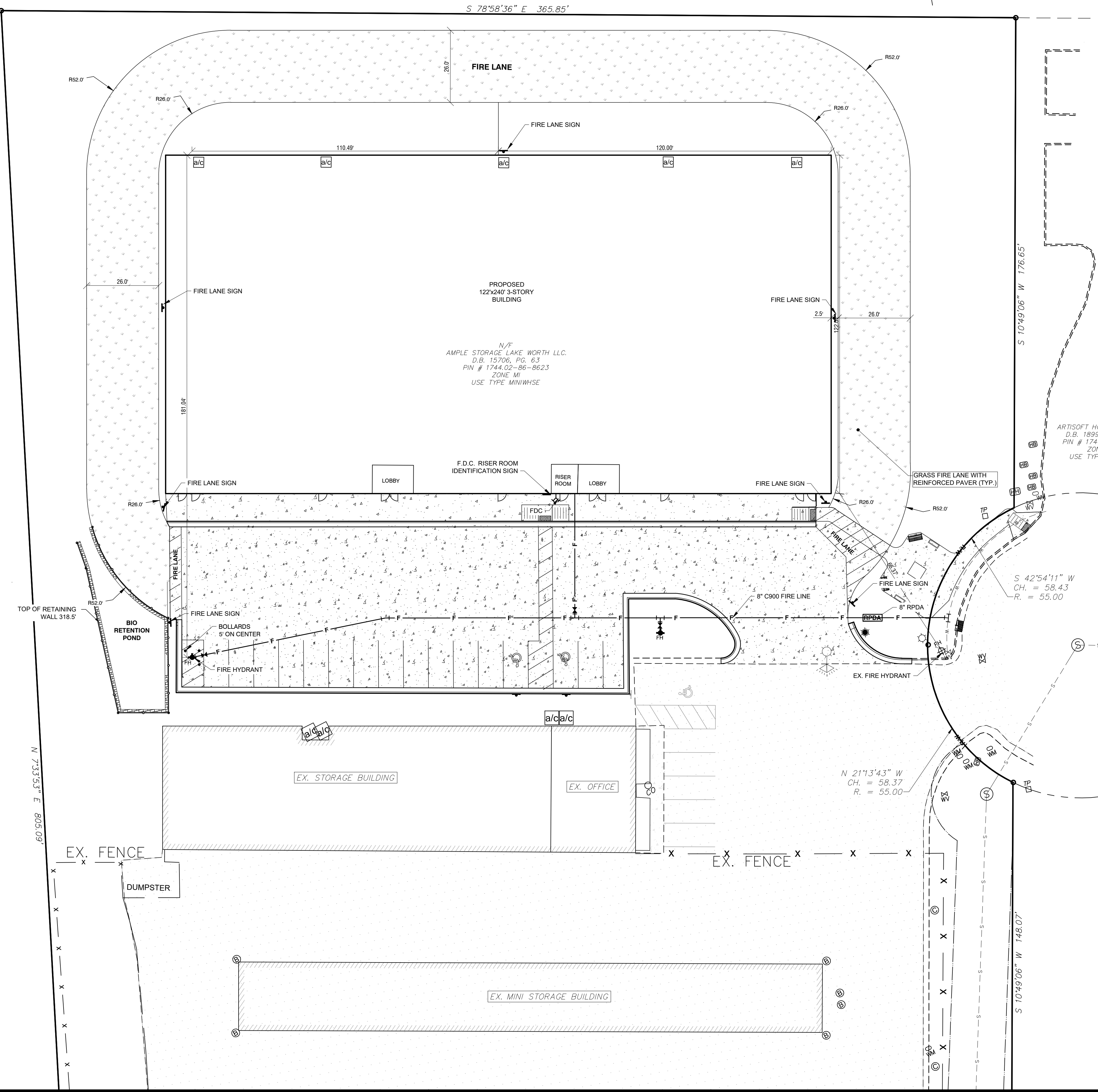
N/F  
AMPLE STORAGE LAKE WORTH LLC  
D.B. 15706, PG. 63  
PIN # 1744.02-96-9623  
ZONE MI  
USE TYPE MINIWHSE

N/F  
ARTISOFT HOLDINGS NC LLC  
D.B. 18996, PG. 11847  
PIN # 1744.02-96-1962  
ZONE NMX  
USE TYPE MULT TEN

N/F  
ARAN PROPERTIES LLC  
D.B. 16314  
PG. 433  
PIN # 1744.02-96-1629  
ZONE NMX  
USE TYPE FLEX WHSE

N 21°13'43" W  
CH. = 58.37  
R. = 55.00

S 42°54'11" W  
CH. = 58.43  
R. = 55.00



- REVISION #1
- SIGNAGE/PAVEMENT MARKING
  - UPDATED
  - FDC LABELED
  - HYDRANT ADDED
  - FIRE LANE WIDENED

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Engineers  
Planners  
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REVISIONS:

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**FIRE PREVENTION PLAN**

**WATER AND SEWER PERMITS IF APPLICABLE**

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION TO ITS PUBLIC SEWER SYSTEM AND EXTENSION OF THE PRIVATE SEWER COLLECTION SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTIONS METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

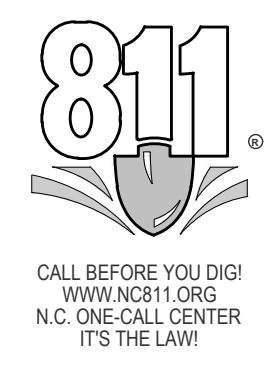
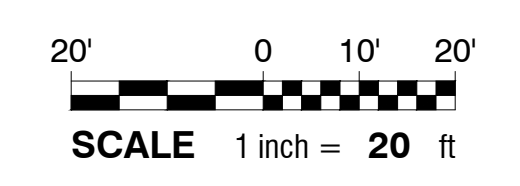
RALEIGH WATER REVIEW OFFICER \_\_\_\_\_

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

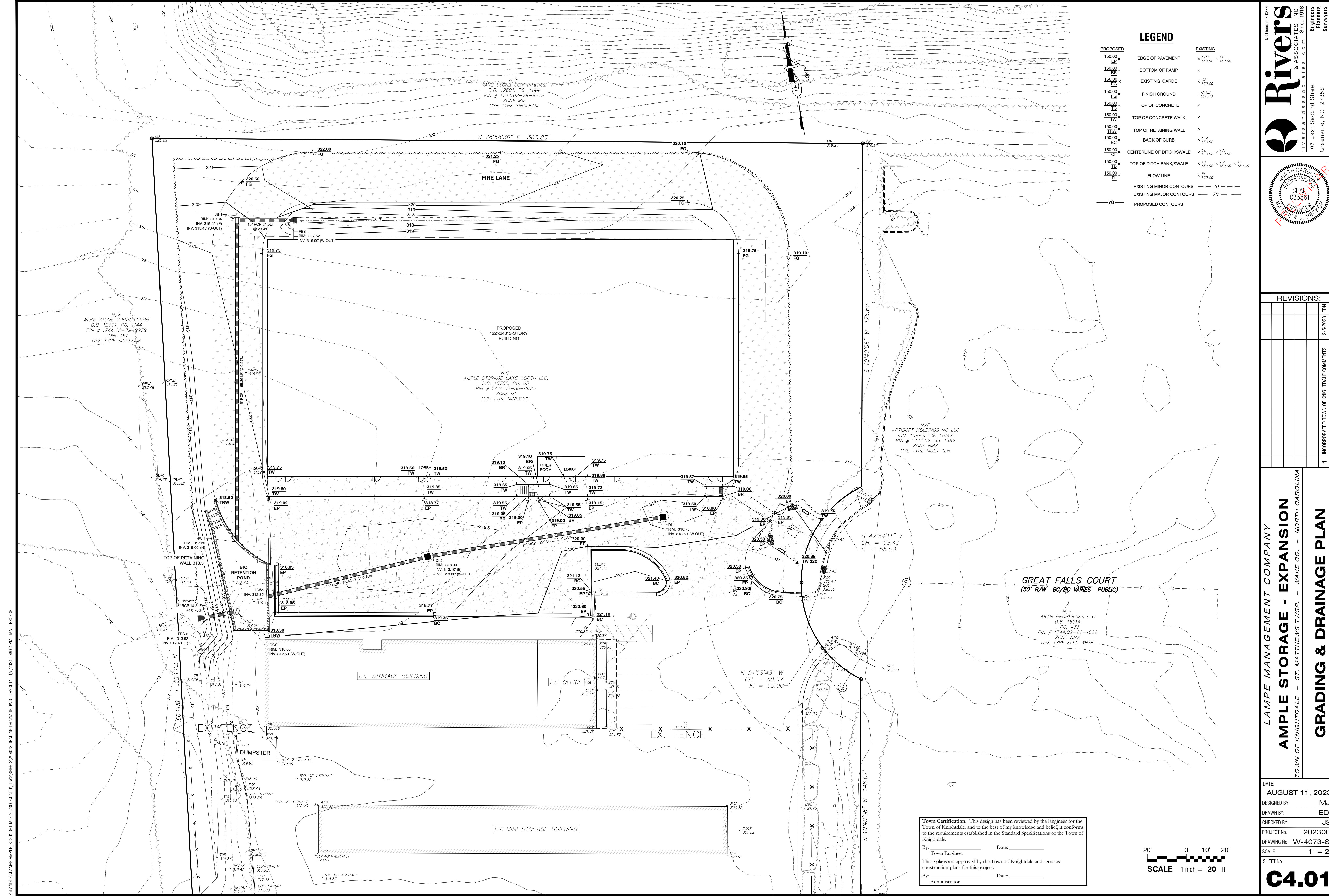
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator



P:\LANDDEV\AMPLE-AMPE-STG-KNIGHTDALE-202308\CADD\_DRAWINGS\GEN-4073 UTILITIES.DWG - LAYOUT1 - 1/5/2023 2:46:52 PM - MAT PRODP



**LEGEND**

| PROPOSED   | EXISTING  |
|------------|---|
| 150.00 EP  | EDGE OF PAVEMENT x EP 150.00 x 150.00                 |
| 150.00 BR  | BOTTOM OF RAMP x                                      |
| 150.00 EG  | EXISTING GARDE x GP 150.00                            |
| 150.00 FG  | FINISH GROUND x FGRD 150.00                           |
| 150.00 TC  | TOP OF CONCRETE x                                     |
| 150.00 TW  | TOP OF CONCRETE WALK x                                |
| 150.00 TRW | TOP OF RETAINING WALL x                               |
| 150.00 BC  | BACK OF CURB x BOC 150.00                             |
| 150.00 CL  | CENTERLINE OF DITCH/SWALE x CL 150.00 x 150.00        |
| 150.00 TB  | TOP OF DITCH BANK/SWALE x TB 150.00 x 150.00 x 150.00 |
| 150.00 FL  | FLOW LINE x FL 150.00                                 |
| ---        | EXISTING MINOR CONTOURS --- 70 ---                    |
| ---        | EXISTING MAJOR CONTOURS --- 70 ---                    |
| ---        | PROPOSED CONTOURS --- 70 ---                          |

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**Rivers**  
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 Planners  
 Surveyors  
 Landscape Architects



**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**GRADING & DRAINAGE PLAN**

DATE: AUGUST 11, 2023  
 DESIGNED BY: MJP  
 DRAWN BY: EDN  
 CHECKED BY: JSJ  
 PROJECT No. 2023008  
 DRAWING No. W-4073-SK  
 SCALE: 1" = 20'  
 SHEET No. **C4.01**

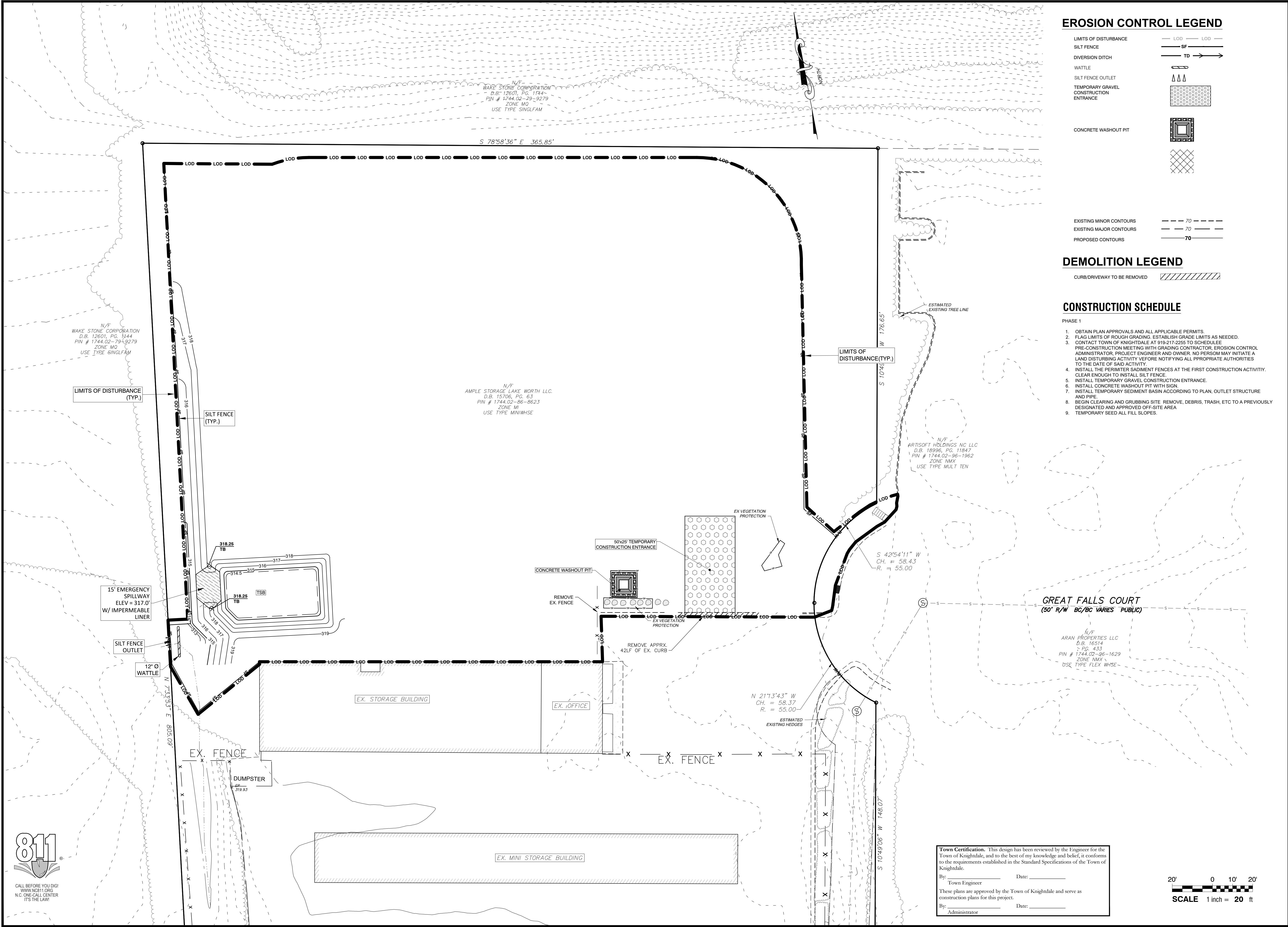
**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Administrator



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Do Not Use for Construction - PRELIMINARY

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### EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE: LOD
- SILT FENCE: SF
- DIVERSION DITCH: TD
- WATTLE: W
- SILT FENCE OUTLET: SFO
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE: TGE
- CONCRETE WASHOUT PIT: CWP
- EXISTING MINOR CONTOURS: 70
- EXISTING MAJOR CONTOURS: 70
- PROPOSED CONTOURS: 70

### DEMOLITION LEGEND

- CURB/DRIVEWAY TO BE REMOVED: [Hatched symbol]

### CONSTRUCTION SCHEDULE

- PHASE 1
- OBTAIN PLAN APPROVALS AND ALL APPLICABLE PERMITS.
  - FLAG LIMITS OF ROUGH GRADING. ESTABLISH GRADE LIMITS AS NEEDED.
  - CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
  - INSTALL THE PERIMETER SEDIMENT FENCES AT THE FIRST CONSTRUCTION ACTIVITY. CLEAR ENOUGH TO INSTALL SILT FENCE.
  - INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
  - INSTALL CONCRETE WASHOUT PIT WITH SIGN.
  - INSTALL TEMPORARY SEDIMENT BASIN ACCORDING TO PLAN, OUTLET STRUCTURE AND PIPE.
  - BEGIN CLEARING AND GRUBBING SITE. REMOVE, DEBRIS, TRASH, ETC TO A PREVIOUSLY DESIGNATED AND APPROVED OFF-SITE AREA.
  - TEMPORARY SEED ALL FILL SLOPES.

NC License # 43334  
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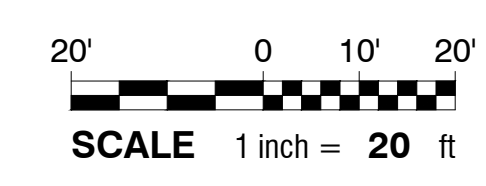


| REVISIONS: |  |
|------------|--|
| NO.        | DESCRIPTION                              |
| 1          | INCORPORATED TOWN OF KNIGHTDALE COMMENTS |
| EDN        | DATE                                     |
| 12-5-2023  | BY                                       |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**SEDIMENTATION & EROSION CONTROL PLAN - PH 1**

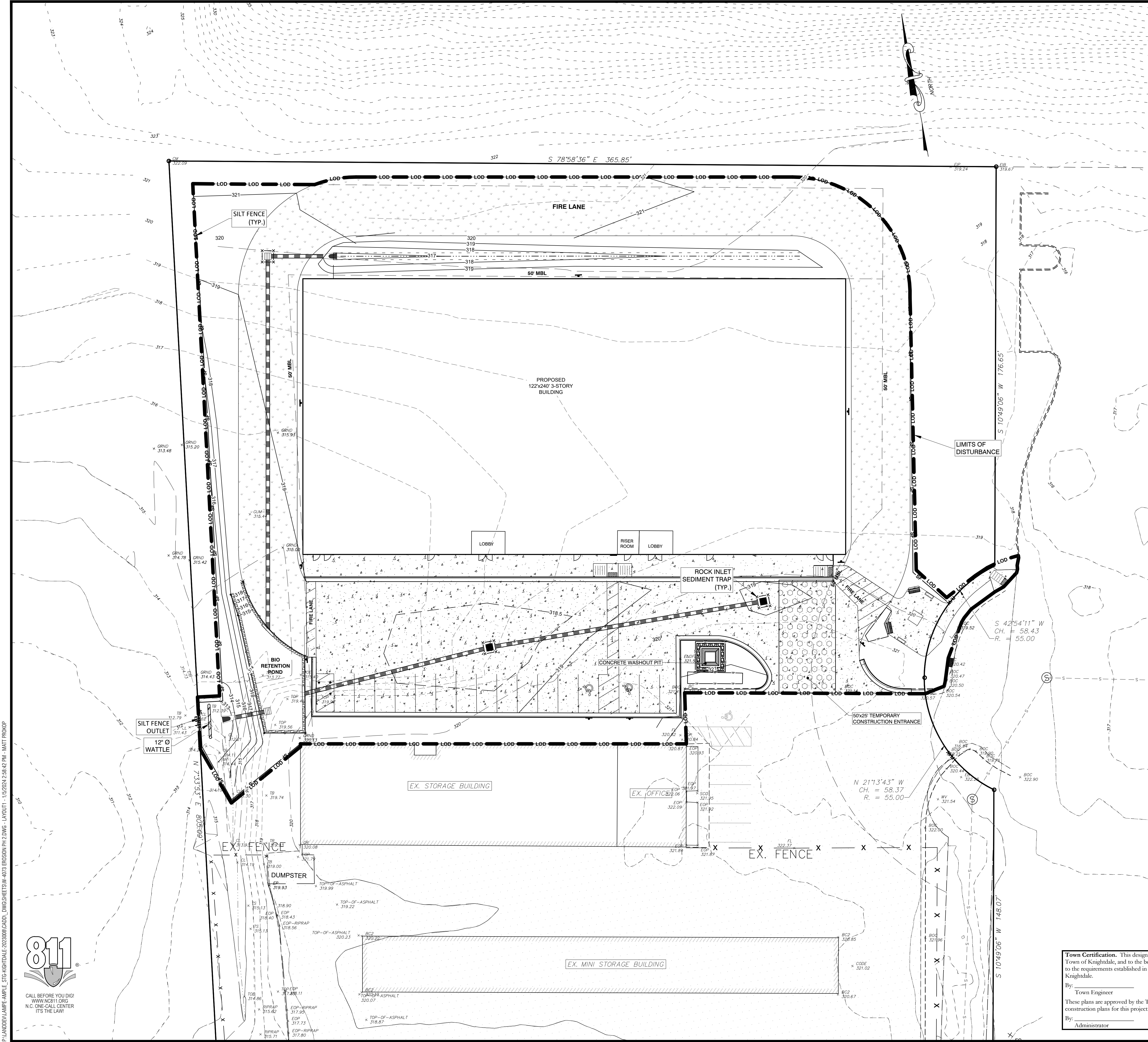
|              |                 |
|--------------|-----------------|
| DATE:        | AUGUST 11, 2023 |
| DESIGNED BY: | MJP             |
| DRAWN BY:    | EDN             |
| CHECKED BY:  | JSJ             |
| PROJECT No.  | 2023008         |
| DRAWING No.  | W-4073-SK       |
| SCALE:       | 1" = 20'        |
| SHEET No.    |                 |

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Administrator

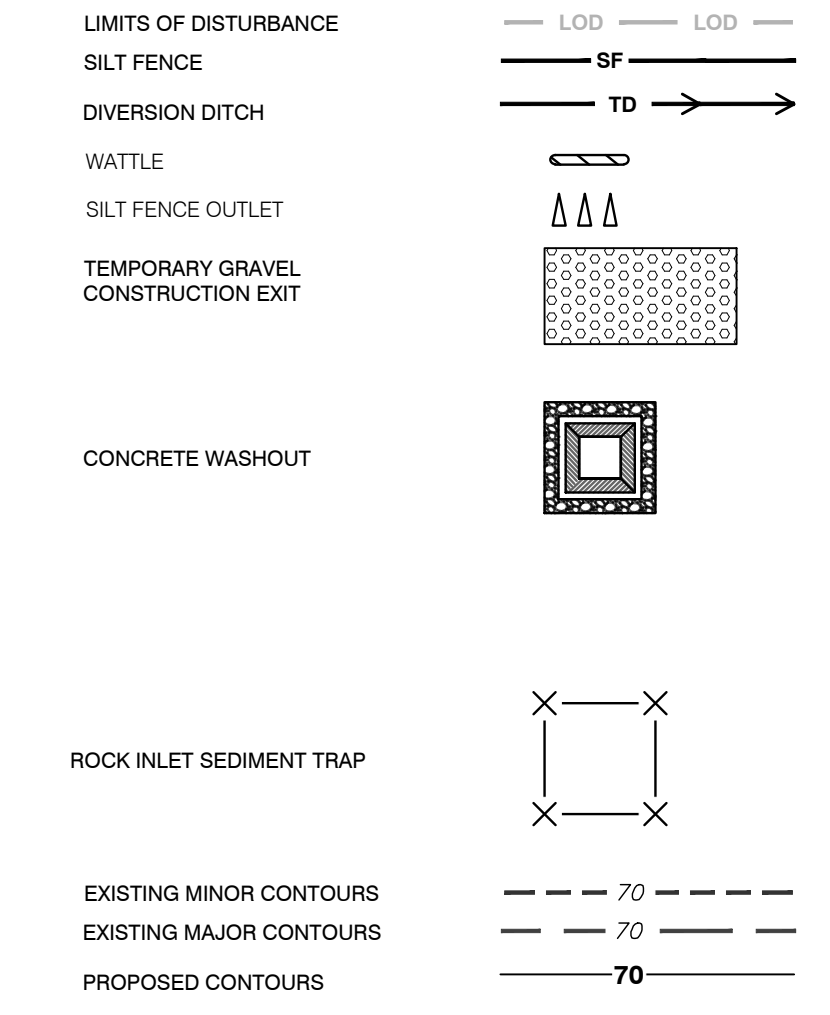


# C5.01

Do Not Use for Construction - PRELIMINARY



**EROSION CONTROL LEGEND**



**CONSTRUCTION SCHEDULE**

- PHASE 2
- INSTALL REMAINING STORM SEWER AND PROTECT INLETS WITH GRAVEL INLET CONTROLS, ROCK CHECK DAMS OR OTHER APPROVED MEASURES AS SHOWN ON PLAN. INSTALL END OF DAY MEASURES.
  - FINAL GRADE BUILDING PAD AND PAVEMENT AREA.
  - INSTALL DROP INLET GRATES. REPLACE ROCK INLET PROTECTION WITH SEDIMENT BAGS.
  - PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING FOR SLOPES 3:1 OR FLATTER INCLUDING ALL OTHER SLOPES 4:1 OR FLATTER. PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING FOR SLOPES 3:1 OR STEEPER, INCLUDING ALL PERMANENT DIKES, SWALES, DITCHES, SLOPES AND DISTURBANCES WITHIN HIGH QUALITY WATER (HQWQ) ZONES.
  - CONSTRUCT PERMANENT SCM. INSTALL RETAINING WALL FINAL GRADE ADJACENT FIRE LANE.
  - PERMANENT GROUND COVER SHALL BE PROVIDED FOR ALL DISTURBED AREAS WITHIN THE TIMEFRAME AS SPECIFIED IN THE STABILIZATION TIMEFRAME TABLE (SEE TABLE IN PLANS)
  - DEWATERING OF ANY TRENCHES IS TO BE DONE THROUGH A SILT BAG.
  - ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY THE STATE, OWNER OR TOWN OF KNIGHTDALE IF DEEMED NECESSARY.
  - FINE GRADE DISTURBED AREAS AND INSTALL PERMANENT VEGETATION.
  - ONCE 90% STABILIZATION HAS BEEN ACHIEVED, REMOVE ALL TEMPORARY MEASURES.
  - MAINTAIN PERMANENT VEGETATION BY TOP DRESSING WITH 700 LBS PER ACRE OF FERTILIZER EVERY 6 MONTHS UNTIL THE COMPLETION OF THE PROJECT.
  - WITHIN 6" OF FINAL GRADE, RE-DISTRIBUTE 6" OF TOP SOIL.
  - FINE GRADE PERMANENTLY SEED AND MULCH ALL LANDSCAPED AREAS.
  - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES UPON COMPLETION AND STABILIZATION OF PROJECT.

NC License # 4334

**Rivers**

RIVERS AND ASSOCIATES, INC.

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Greenville, NC 27658  
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Engineers  
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Surveyors  
Landscape Architects



**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY

**AMPLE STORAGE - EXPANSION**

TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

**SEDIMENTATION & EROSION CONTROL PLAN - PH 2**

DATE: AUGUST 11, 2023

DESIGNED BY: MJP

DRAWN BY: EDN

CHECKED BY: JSJ

PROJECT No. 2023008

DRAWING No. W-4073-SK

SCALE: 1" = 20'

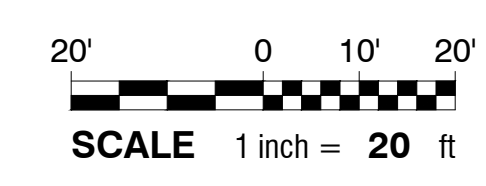
SHEET No.

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator



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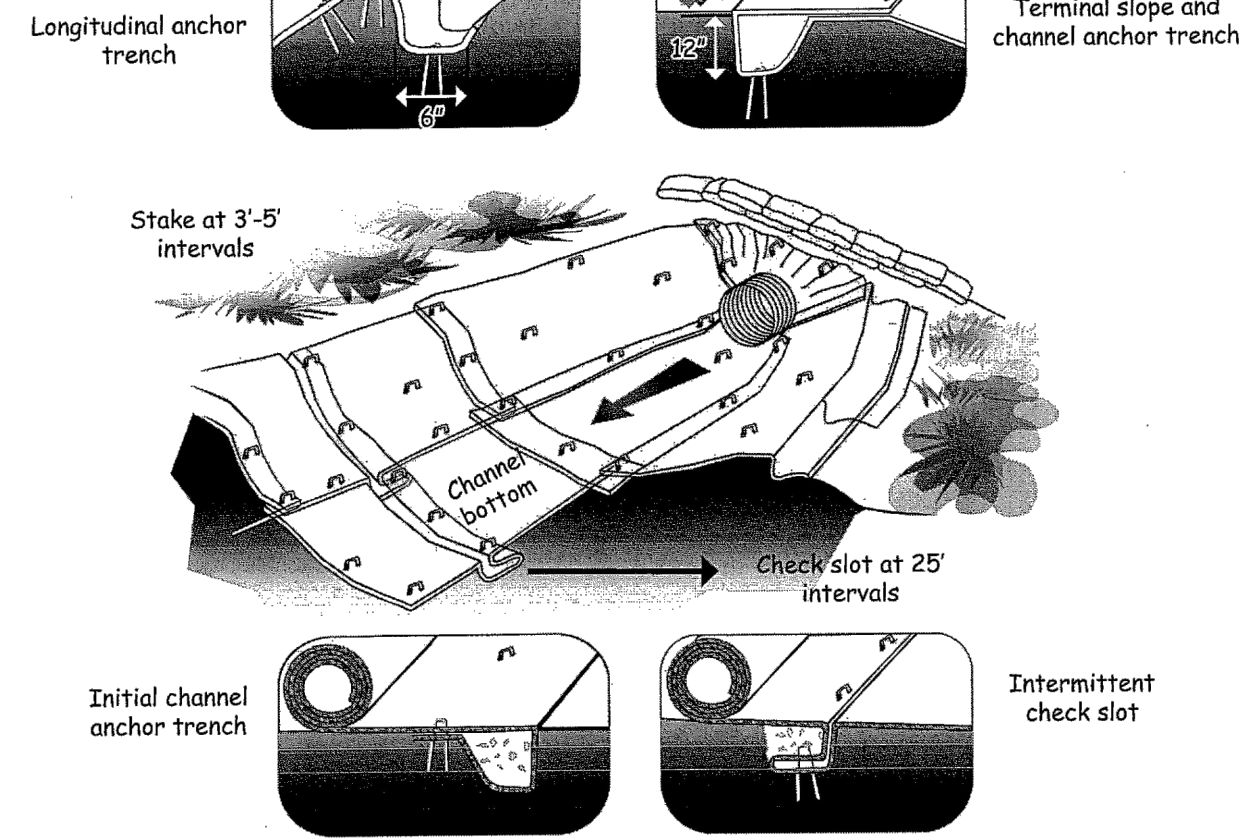
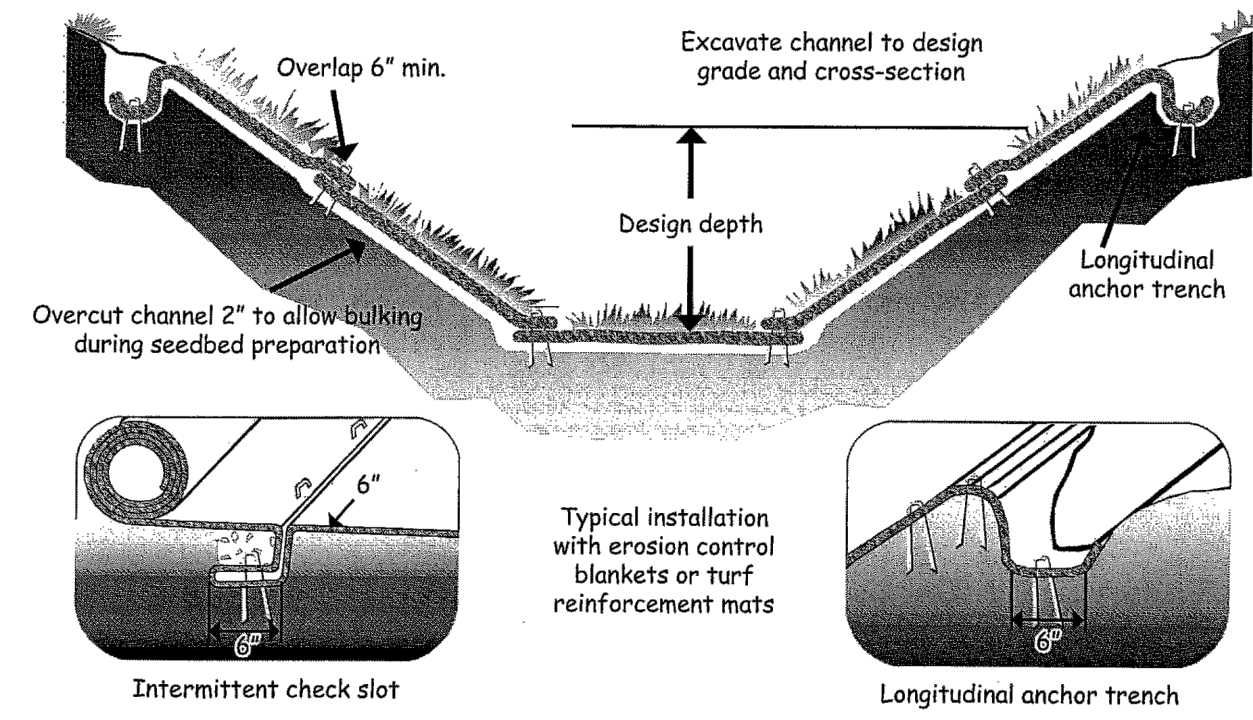




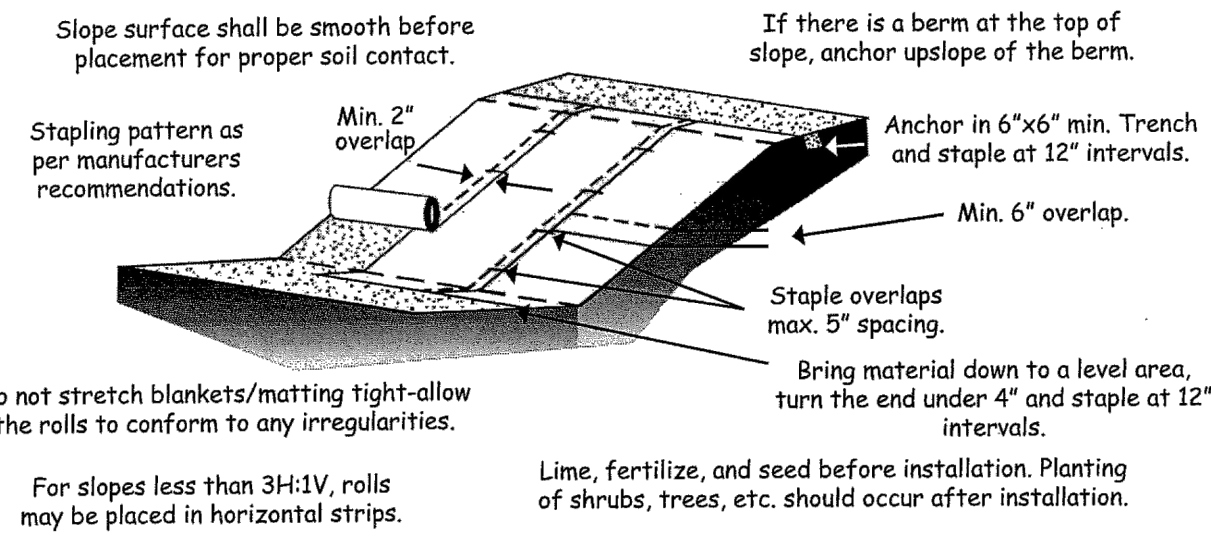


**RECP DETAIL**

N.T.S.



NOTE:  
1. Check slots to be constructed per manufacturers specifications.  
2. Staking or stapling layout per manufacturers specifications.



NOTES:  
1. Design velocities exceeding 2 ft/sec require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established.  
2. Grass-lined channels with design velocities exceeding 6 ft/sec should include turf reinforcement mats

**LINER CONSTRUCTION SPECIFICATIONS**

EVEN IF PROPERLY DESIGNED, IF NOT PROPERLY INSTALLED, RECP'S WILL PROBABLY NOT FUNCTION AS DESIRED. PROPER INSTALLATION IS IMPERATIVE. EVEN IF PROPERLY INSTALLED, IF NOT PROPERLY TIMED AND NOURISHED, VEGETATION WILL PROBABLY NOT GROW AS DESIRED. PRIOR TO SEEDING, PROPER SELECTION IS ALSO IMPERATIVE. GRADE THE SURFACE OF INSTALLATION AREAS SO THAT THE GROUND IS SMOOTH AND LOOSE. WHEN SEEDING PRIOR TO INSTALLATION, FOLLOW THE STEPS FOR SEED BED PREPARATION, SOIL AMENDMENTS, AND SEEDING IN SURFACE STABILIZATION, E.T.C. ALL GULLIES, BILLS, AND ANY OTHER DISTURBED AREAS MUST BE FINE GRADED PRIOR TO INSTALLATION. SPREAD SEED BEFORE RECP INSTALLATION. (IMPORTANT: REMOVE ALL LARGE ROCKS, DIRT CLOUDS, STUMPS, ROOTS, GRASS CLUMPS, TRASH, AND OTHER OBSTRUCTIONS FROM THE SOIL SURFACE TO ALLOW FOR DIRECT CONTACT BETWEEN THE SOIL SURFACE AND THE RECP).

TERMINAL ANCHOR TRENCHES ARE REQUIRED AT RECP ENDS AND INTERMITTENT TRENCHES MUST BE CONSTRUCTED ACROSS CHANNELS AT 25-FOOT INTERVALS. TERMINAL ANCHOR TRENCHES SHOULD BE A MINIMUM OF 12 INCHES IN DEPTH AND 6 INCHES IN WIDTH, WHILE INTERMITTENT TRENCHES NEED BE ONLY 6 INCHES DEEP AND 6 INCHES WIDE. INSTALLATION FOR SLOPES - PLACE THE RECP 2-3 FEET OVER THE TOP OF THE SLOPE AND INTO AN EXCAVATED END TRENCH MEASURING APPROXIMATELY 12 INCHES DEEP BY 6 INCHES WIDE. PIN THE RECP AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. UNROLL THE RECP DOWN (OR ALONG) THE SLOPE MAINTAINING DIRECT CONTACT BETWEEN THE SOIL AND THE RECP. OVERLAP ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN THE RECP TO THE GROUND USING STAPLES OR PINS IN A 3 FOOT CENTER-TO-CENTER PATTERN. LESS FREQUENT STAPLING/PINNING IS ACCEPTABLE ON MODERATE SLOPES.

INSTALLATION IN CHANNELS - EXCAVATE TERMINAL TRENCHES (12 INCHES DEEP AND 6 INCHES WIDE) ACROSS THE CHANNEL AT THE UPPER AND LOWER END OF THE LINED CHANNEL SECTIONS. AT 25-FOOT INTERVALS ALONG THE CHANNEL, ANCHOR THE RECP ACROSS THE CHANNEL EITHER IN 6 INCH BY 6 INCH TRENCHES OR BY INSTALLING TWO CLOSELY SPACED ROWS OF ANCHORS. EXCAVATE LONGITUDINAL TRENCHES 6 INCHES DEEP AND WIDE ALONG CHANNEL EDGES (ABOVE WATER LINE) IN WHICH TO BURY THE OUTSIDE RECP EDGES. PLACE THE FIRST RECP AT THE DOWNSTREAM END OF THE CHANNEL. PLACE THE END OF THE FIRST RECP IN THE TERMINAL TRENCH AND PIN IT AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH.

NOTE: THE RECP SHOULD BE PLACED UPSIDE DOWN IN THE TRENCH WITH THE ROLL ON THE DOWNSTREAM SIDE OF THE BENCH.

ONCE PINNED AND BACKFILLED, THE RECP IS DEPLOYED BY WRAPPING OVER THE TOP OF THE TRENCH AND UNROLLING UPSTREAM. IF THE CHANNEL IS WIDER THAN THE PROVIDED ROLLS, PLACE ENDS OF ADJACENT ROLLS IN THE TERMINAL TRENCH, OVERLAPPING THE ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN AT 1 FOOT INTERVALS, BACKFILL, AND COMPACT. UNROLL THE RECP IN THE UPSTREAM DIRECTION UNTIL REACHING THE FIRST INTERMITTENT TRENCH. FOLD THE RECP BACK OVER ITSELF, POSITIONING THE ROLL ON THE DOWNSTREAM SIDE OF THE TRENCH, AND ALLOWING THE MAT TO CONFORM TO THE TRENCH.

THEN PIN THE RECP (TWO LAYERS) TO THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. CONTINUE UP THE CHANNEL (WRAPPING OVER THE TOP OF THE INTERMITTENT TRENCH) REPEATING THIS STEP AT OTHER INTERMITTENT TRENCHES, UNTIL REACHING THE UPPER TERMINAL TRENCH.

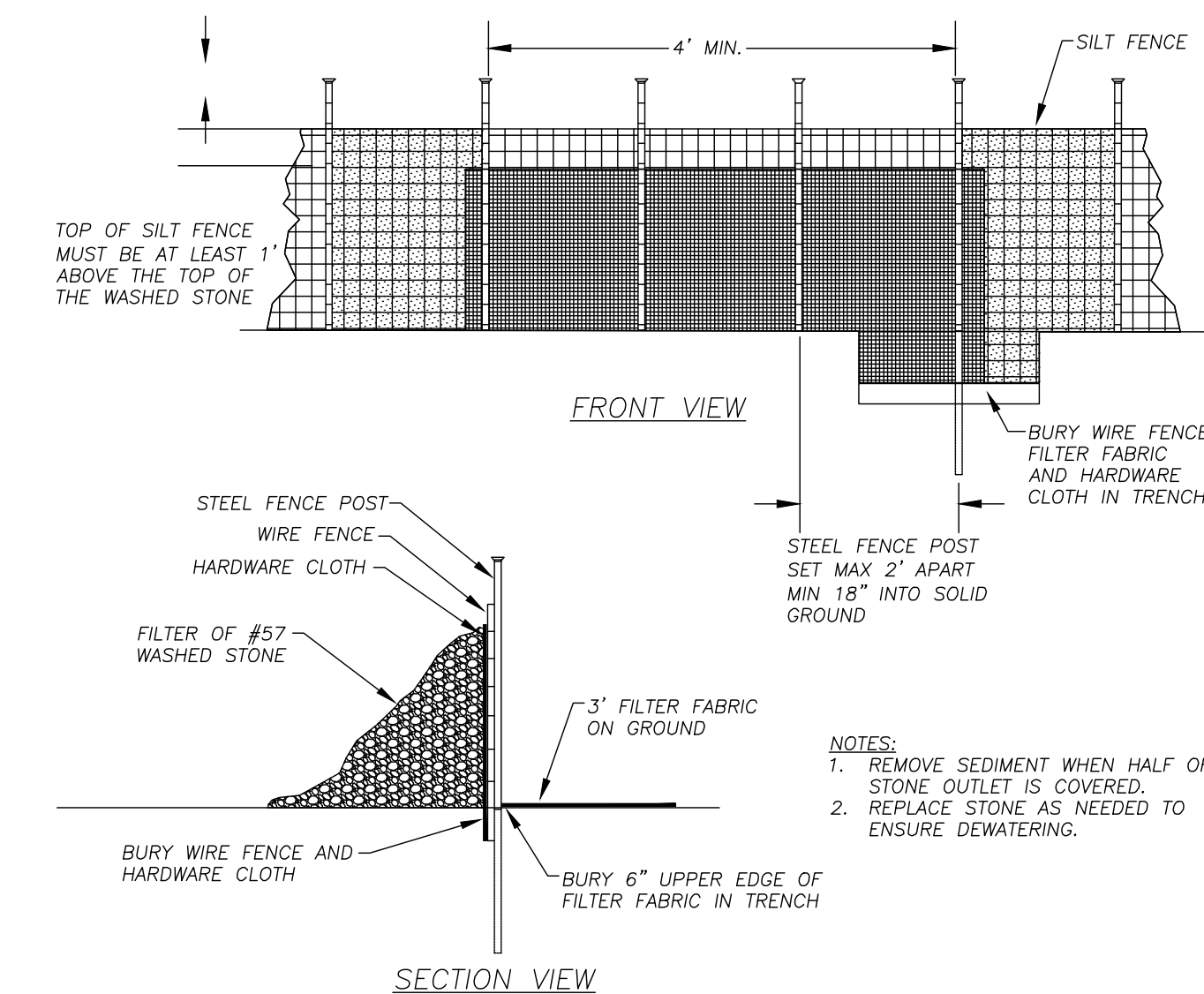
AT THE UPPER TERMINAL TRENCH, ALLOW THE RECP TO CONFORM TO THE TRENCH, SECURE WITH PINS OR STAPLES, BACKFILL, COMPACT AND THEN BRING THE MAT BACK OVER THE TOP OF THE TRENCH AND ONTO THE EXISTING MAT (2 TO 3 FEET OVERLAP IN THE DOWNSTREAM DIRECTION), AND PIN AT 1 FOOT INTERVALS ACROSS THE RECP. WHEN STARTING INSTALLATION OF A NEW ROLL, BEGIN IN A TRENCH OR SHINGLE-LAP ENDS OF ROLLS A MINIMUM OF 1 FOOT WITH UPSTREAM RECP ON TOP TO PREVENT UPLIFTING. PLACE THE OUTSIDE EDGES OF THE RECP(S) IN LONGITUDINAL TRENCHES, PIN, BACKFILL, AND COMPACT.

ANCHORING DEVICES - 11 GAUGE, AT LEAST 6 INCHES LENGTH BY 1 INCH WIDTH STAPLES OR 12 INCH MINIMUM LENGTH WOODEN STAKES ARE RECOMMENDED FOR ANCHORING THE RECP TO THE GROUND.

DRIVE STAPLES OR PINS SO THAT THE TOP OF THE STAPLE OR PIN IS FLUSH WITH THE GROUND SURFACE. ANCHOR EACH RECP EVERY 3 FEET ALONG ITS CENTER. LONGITUDINAL OVERLAPS MUST BE SUFFICIENT TO ACCOMMODATE A ROW OF ANCHORS AND UNIFORM ALONG THE ENTIRE LENGTH OF OVERLAP AND ANCHORED EVERY 3 FEET ALONG THE OVERLAP LENGTH. ROLL ENDS MAY BE SPLICED BY OVERLAPPING 1 FOOT (IN THE DIRECTION OF WATER FLOW), WITH THE UPSTREAM/UNDSLOPE MAT PLACED ON TOP OF THE DOWNSTREAM/DOWNSLOPE RECP. THIS OVERLAP SHOULD BE ANCHORED AT 1 FOOT SPACING ACROSS THE RECP. WHEN INSTALLING MULTIPLE WIDTH MATS HEAT SEALED IN THE FACTORY, ALL FACTORY SEAMS AND FIELD OVERLAPS SHOULD BE SIMILARLY ANCHORED.

MAINTENANCE

1. INSPECT ROLLED EROSION CONTROL PRODUCTS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAIN FALL EVENT REPAIR IMMEDIATELY.
2. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE RECP.
3. ANY AREAS OF THE RECP THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
4. IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED.
5. MONITOR AND REPAIR THE RECP AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.



**STANDARD SILT FENCE OUTLET**  
N.T.S.

**SILT FENCE**

**MAINTENANCE**

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL, MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

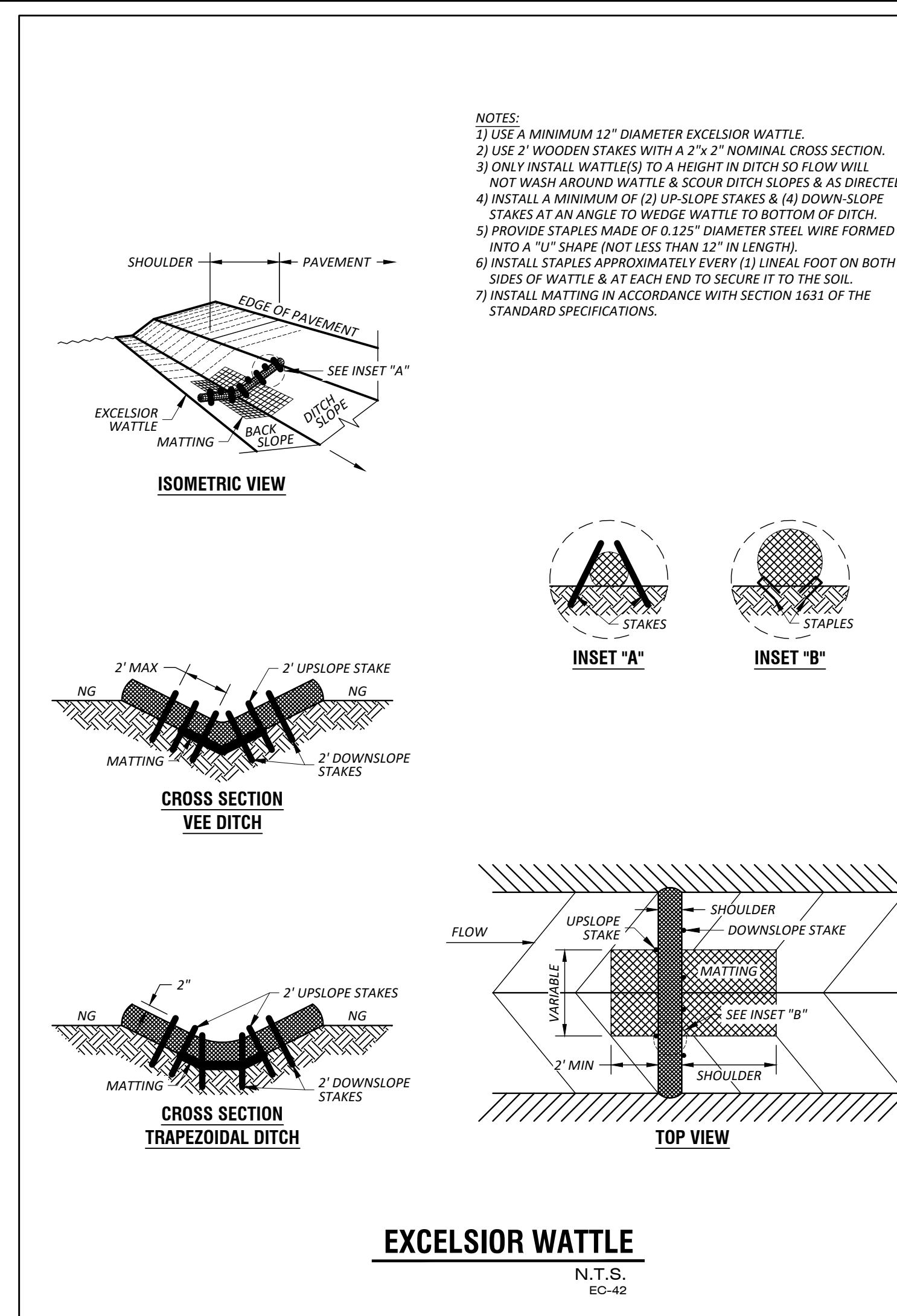
SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

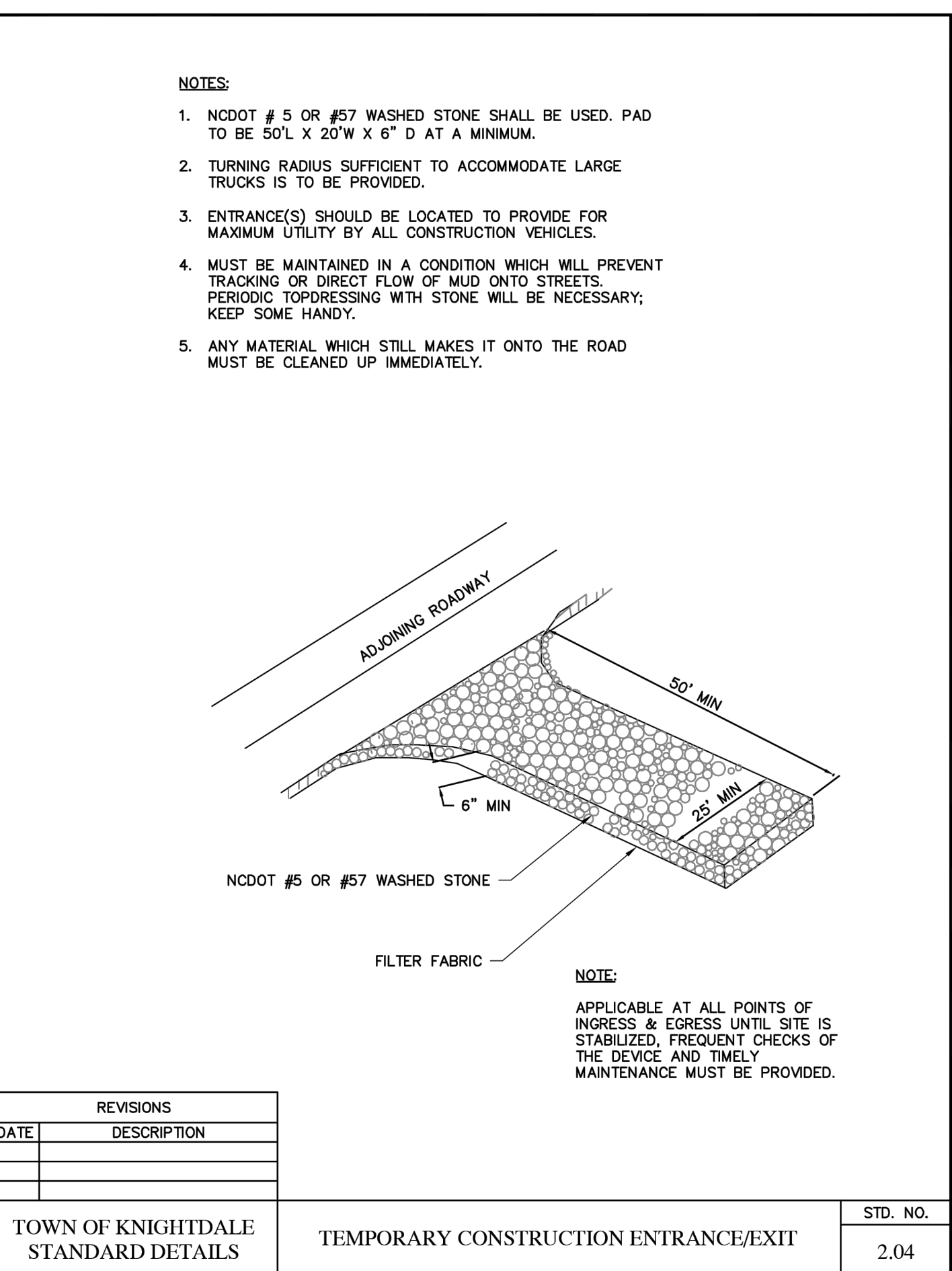
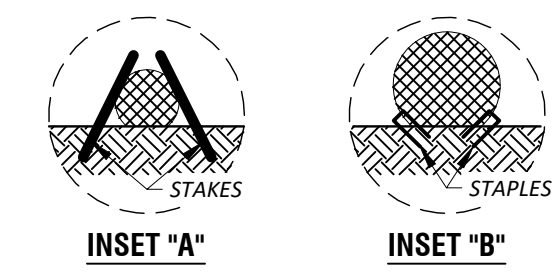
| DATE | REVISIONS DESCRIPTION | STD. NO. |
|------|-----------------------|----------|
|      |                       | 2.04     |

TOWN OF KNIGHTDALE STANDARD DETAILS  
TEMPORARY CONSTRUCTION ENTRANCE/EXIT  
STD. NO. 2.04



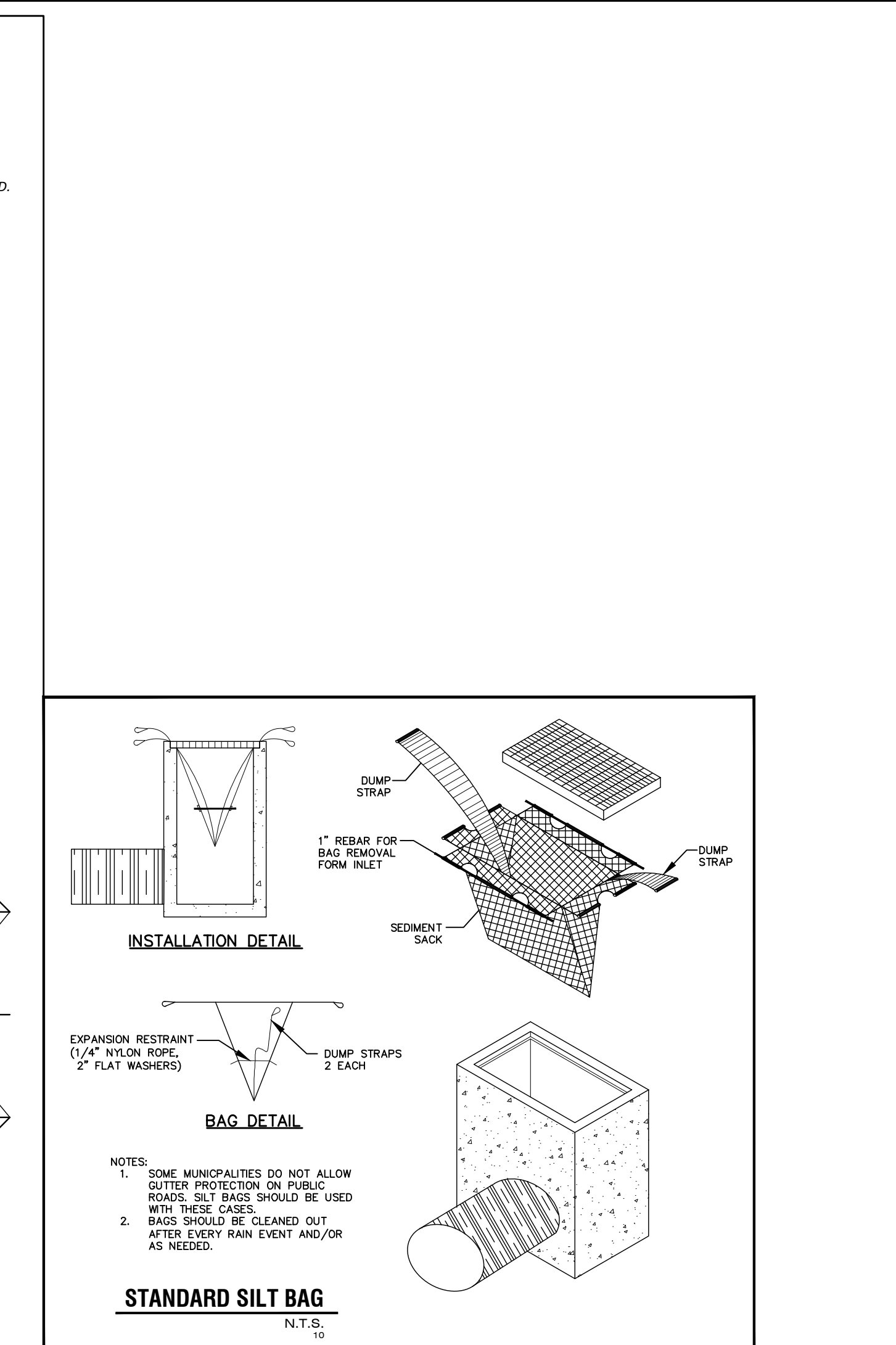
**EXCELSIOR WATTLE**  
N.T.S.  
EC-42

- NOTES:  
1) USE A MINIMUM 12" DIAMETER EXCELSIOR WATTLE.  
2) USE 2" WOODEN STAKES WITH A 2"x2" NOMINAL CROSS SECTION.  
3) ONLY INSTALL WATTLE(S) TO A HEIGHT IN DITCH SO FLOW WILL NOT WASH AROUND WATTLE & SCOUR DITCH SLOPES & AS DIRECTED.  
4) INSTALL A MINIMUM OF (2) UPSLOPE STAKES & (4) DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.  
5) PROVIDE STAPLES MADE OF 0.125" DIAMETER STEEL WIRE FORMED INTO A "U" SHAPE (NOT LESS THAN 12" IN LENGTH).  
6) INSTALL STAPLES APPROXIMATELY EVERY (1) LINEAL FOOT ON BOTH SIDES OF WATTLE & AT EACH END TO SECURE IT TO THE SOIL.  
7) INSTALL MATTING IN ACCORDANCE WITH SECTION 1631 OF THE STANDARD SPECIFICATIONS.

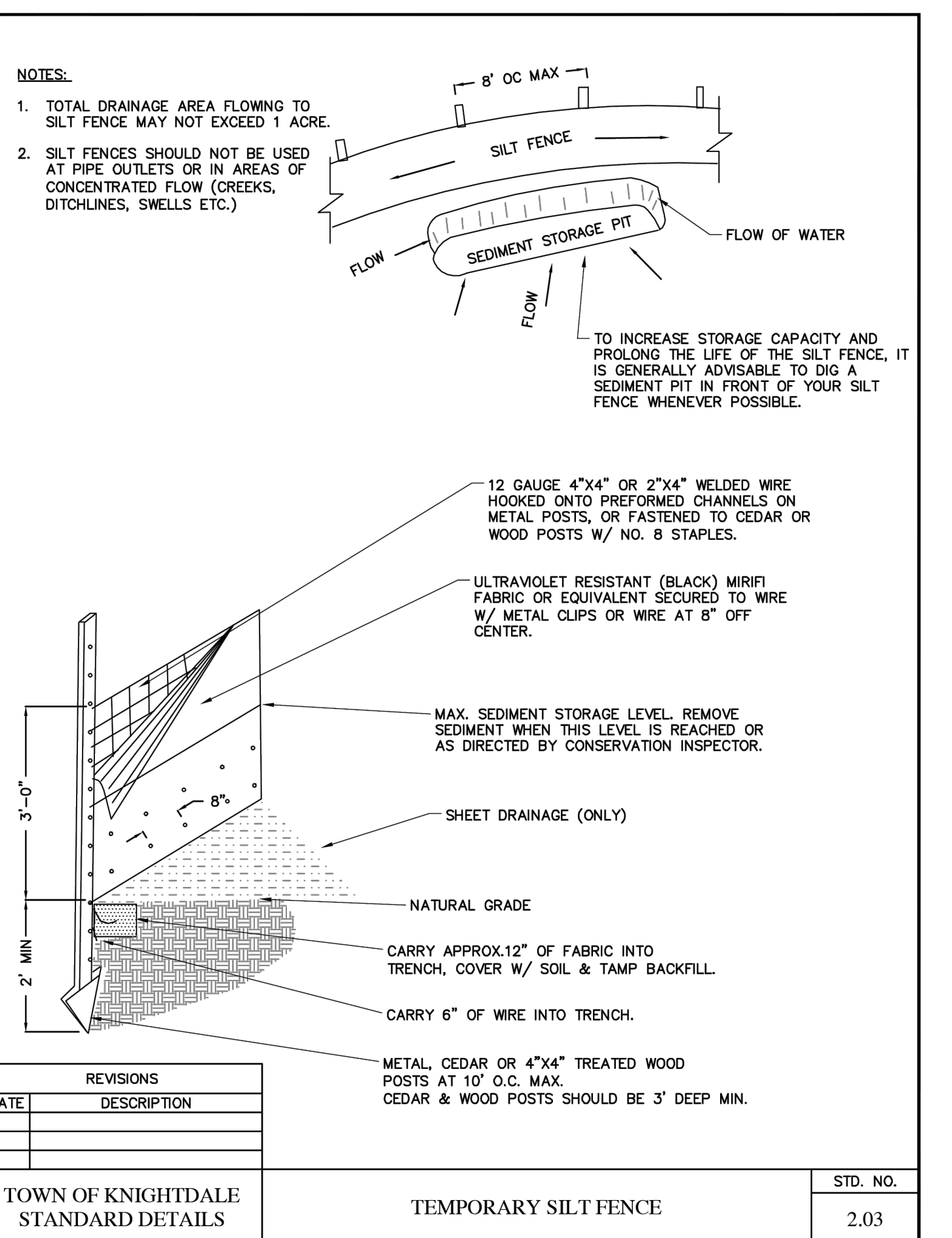


| DATE | REVISIONS DESCRIPTION | STD. NO. |
|------|-----------------------|----------|
|      |                       | 2.03     |

TOWN OF KNIGHTDALE STANDARD DETAILS  
TEMPORARY SILT FENCE  
STD. NO. 2.03



**STANDARD SILT BAG**  
N.T.S.  
10



| DATE | REVISIONS DESCRIPTION | STD. NO. |
|------|-----------------------|----------|
|      |                       | 2.03     |

TOWN OF KNIGHTDALE STANDARD DETAILS  
TEMPORARY SILT FENCE  
STD. NO. 2.03

NC License # 4334  
**Rivers**  
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS  
107 East Second Street  
Greenville, NC 27658  
(252) 752-4135  
Landscape Architects

PROFESSIONAL SEAL  
033861  
W. J. DOK

REVISIONS:

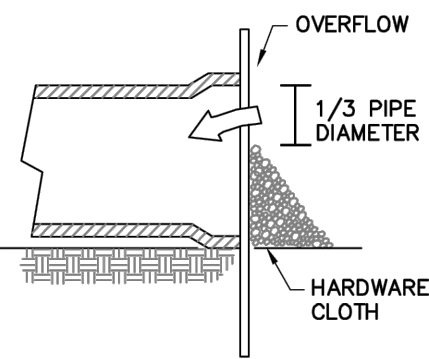
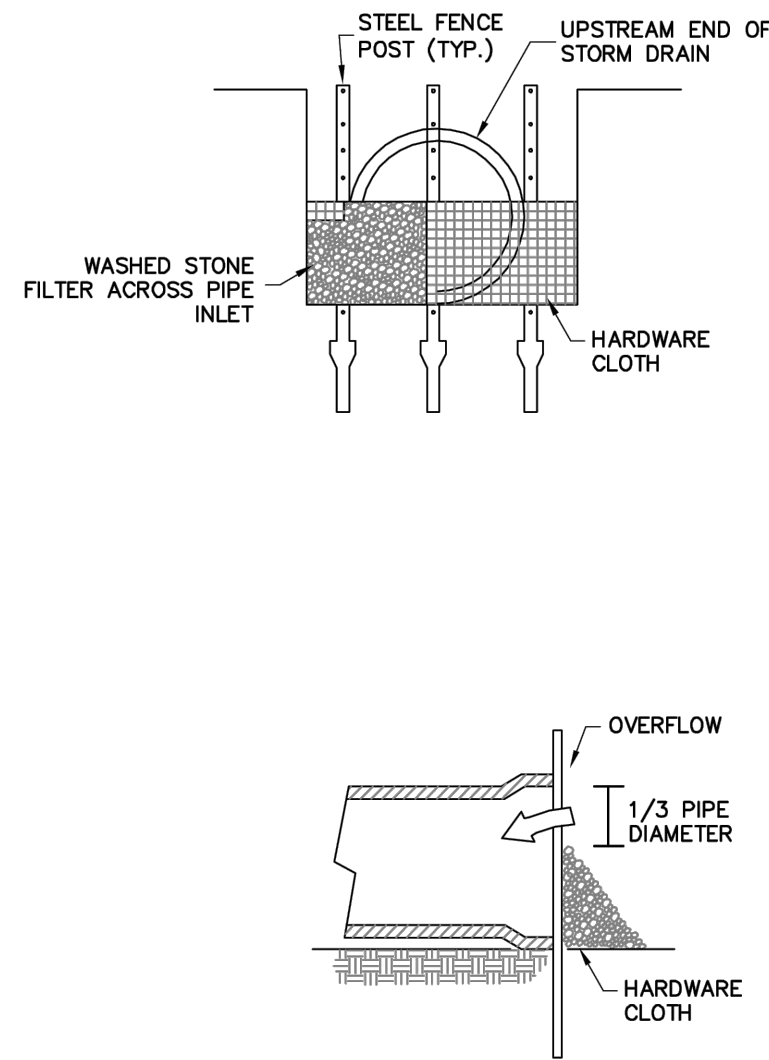
| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**SEDIMENTATION & EROSION CONTROL DETAILS**

DATE: AUGUST 11, 2023  
DESIGNED BY: MJP  
DRAWN BY: EDN  
CHECKED BY: JSJ  
PROJECT No. 2023008  
DRAWING No. W-4073-SK  
SCALE: 1" = 20'  
SHEET No. **C5.21**

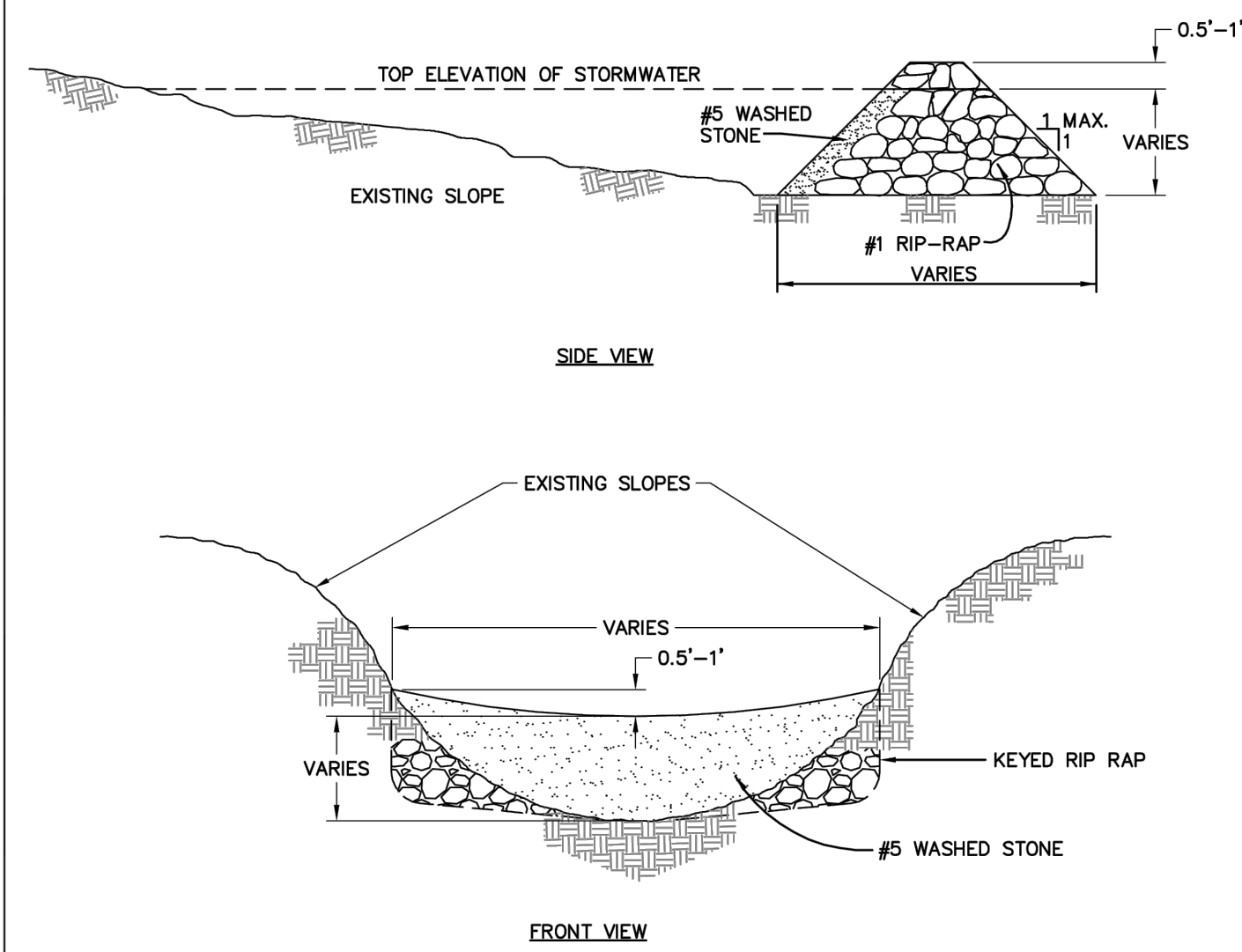
**NOTE:**

ALL PARTIALLY COMPLETED STORM DRAINS SHALL BE PROTECTED AT THE END OF EACH DAY IN ACCORDANCE WITH THESE DRAWINGS.



| REVISIONS |             | STD. NO. |
|-----------|-------------|----------|
| DATE      | DESCRIPTION |          |
|           |             | 2.09     |

|  |                       |      |
|--|-----------------------|------|
| TOWN OF KNIGHTDALE<br>STANDARD DETAILS | PIPE INLET PROTECTION | 2.09 |
|--|-----------------------|------|



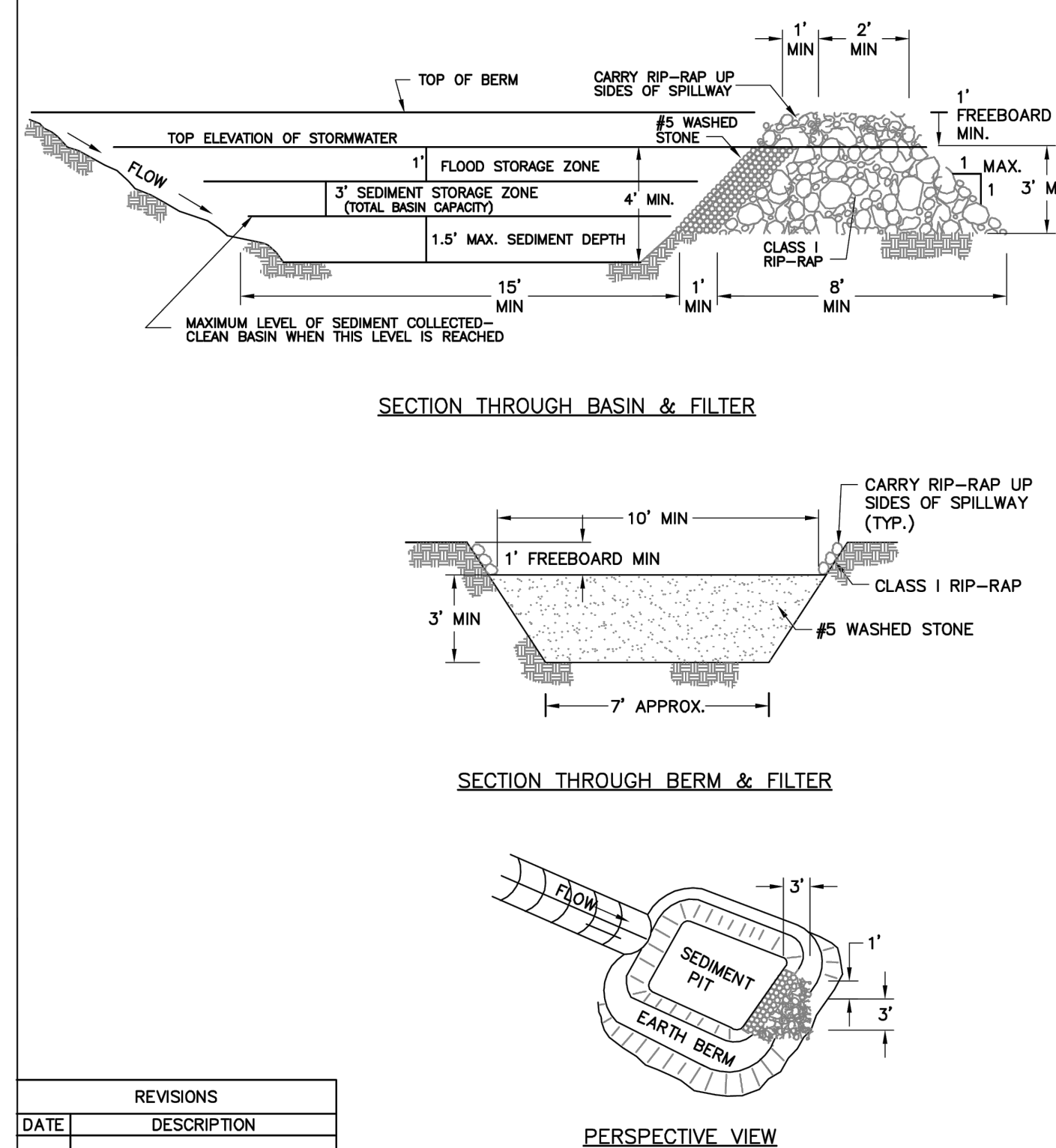
**DESIGN OF SPILLWAYS**

| DRAINAGE AREA (ACRES) | MINIMUM WEIR LENGTH (FT) |
|-----------------------|--------------------------|
| 1                     | 4.0                      |
| 2                     | 6.0                      |
| 3                     | 8.0                      |
| 4                     | 10.0                     |
| 5                     | 12.0                     |

- NOTES:**
- HEIGHT & WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
  - KEY RIP RAP INTO THE DAM FOR STABILIZATION.

| REVISIONS |             | STD. NO. |
|-----------|-------------|----------|
| DATE      | DESCRIPTION |          |
|           |             | 2.05     |

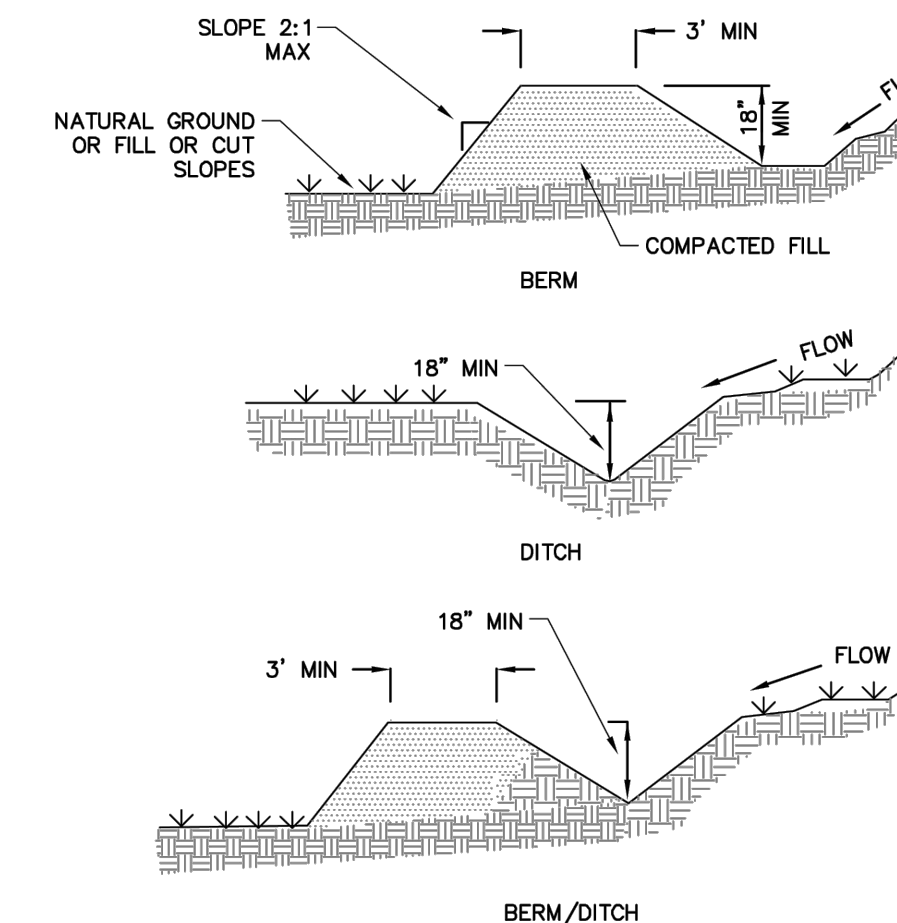
|  |                    |      |
|--|--------------------|------|
| TOWN OF KNIGHTDALE<br>STANDARD DETAILS | STANDARD CHECK DAM | 2.05 |
|--|--------------------|------|



| REVISIONS |             | STD. NO. |
|-----------|-------------|----------|
| DATE      | DESCRIPTION |          |
|           |             | 2.07     |

|  |                         |      |
|--|-------------------------|------|
| TOWN OF KNIGHTDALE<br>STANDARD DETAILS | STANDARD SEDIMENT BASIN | 2.07 |
|--|-------------------------|------|

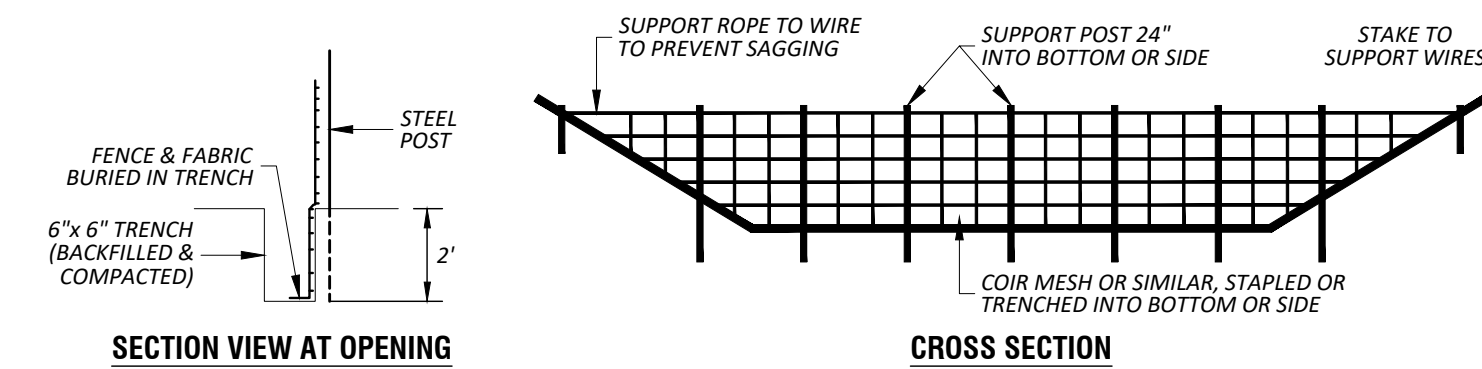
- NOTES:**
- MACHINE COMPACTION OF ALL FILL IS REQUIRED. DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT-LADEN STORMWATER INTO A SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF THE AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AS EACH CRITICAL POINT IS REACHED).
  - DIVERSIONS SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
  - DIVERSIONS SHOULD BE SEEDED AND MULCHED IF THEY ARE TO REMAIN IN PLACE OVER 30 DAYS.
  - CHECK DEVICE AFTER EACH RAIN, BUT ONCE A WEEK REGARDLESS. REPAIR AS NECESSARY.



- NOTE:**
- POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. IF SLOPE EXCEEDS 2% SEED AND MULCH DIVERSION. TRY NOT TO EXCEED OR (HIGH VELOCITIES RESULT). MAXIMUM DRAINAGE AREA = 5 ACRES WITHOUT SUPPORTING CALCS. DIVERSIONS AT THE TOP OF SLOPES MUST BE EMPTY INTO AN APPROVED SLOPE DRAIN. BERM/DITCH IS MOST COMMONLY USED.

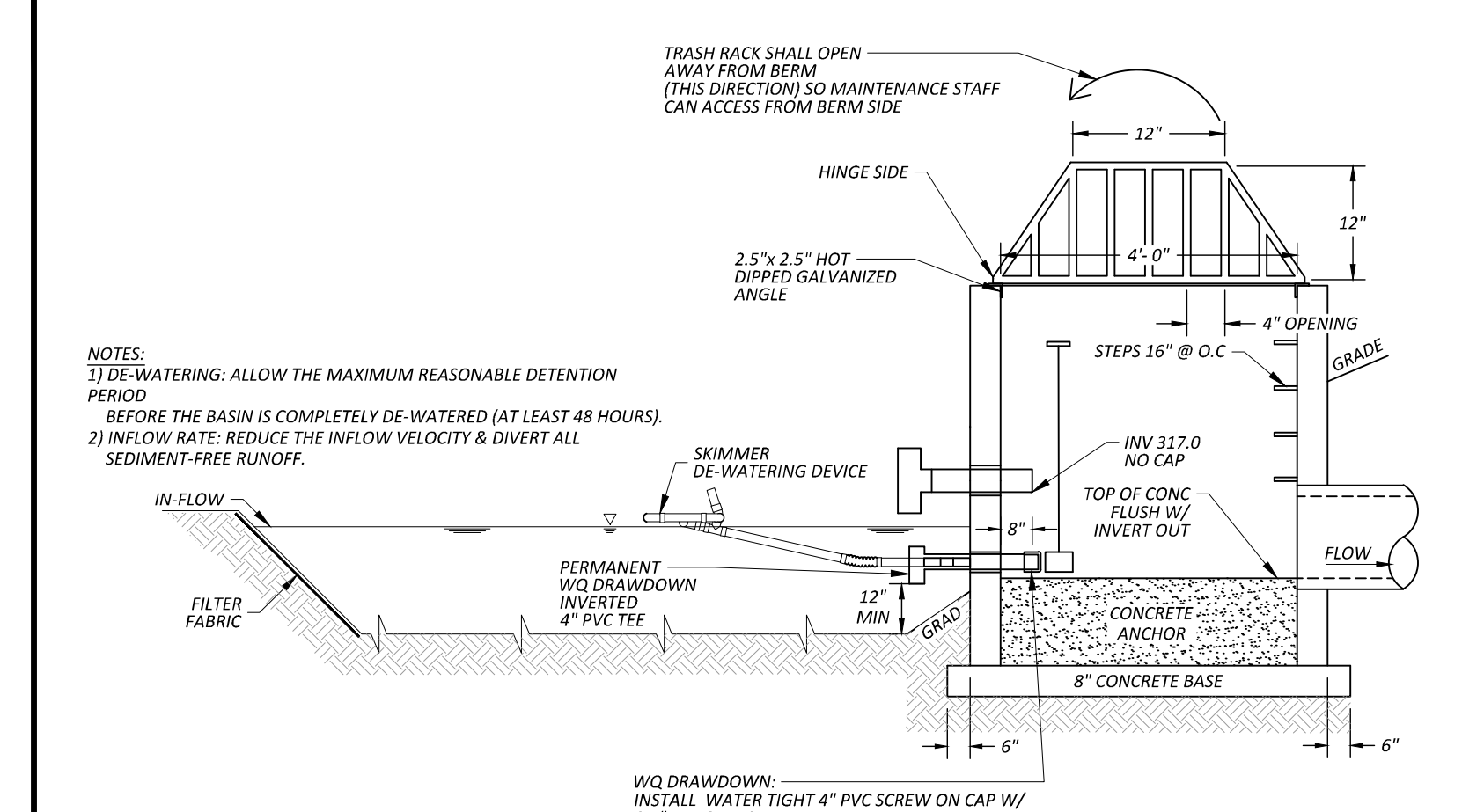
| REVISIONS |             | STD. NO. |
|-----------|-------------|----------|
| DATE      | DESCRIPTION |          |
|           |             | 2.02     |

|  |                                |      |
|--|--------------------------------|------|
| TOWN OF KNIGHTDALE<br>STANDARD DETAILS | TEMPORARY DIVERSION BERM/DITCH | 2.02 |
|--|--------------------------------|------|



- NOTES:**
- BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM & SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
  - MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
  - PROVIDE 3 BAFFLES (USE 2 IF LESS THAN 20' IN LENGTH). PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
  - BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET.
  - TOPS OF BAFFLES SHALL BE 2" LOWER THAN THE TOP OF THE BERMS.
  - INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.

**STANDARD BAFFLES**  
N.T.S.



- NOTES:**
- DE-WATERING: ALLOW THE MAXIMUM REASONABLE DETENTION PERIOD BEFORE THE BASIN IS COMPLETELY DE-WATERED (AT LEAST 48 HOURS).
  - INFLOW RATE: REDUCE THE INFLOW VELOCITY & DIVERT ALL SEDIMENT-FREE RUNOFF.

**SEDIMENT BASIN WITH SKIMMER SECTION VIEW**  
N.T.S.

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator

NC License # 43334  
**Rivers**  
RIVERS AND ASSOCIATES, INC.  
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(252) 752-4135

PROFESSIONAL SEAL  
033361  
W. J. DUKAKIS  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL ENGINEER

| REVISIONS: |  | EDN       | BY  |
|------------|--|-----------|-----|
| NO.        | DESCRIPTION                              | DATE      |     |
| 1          | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

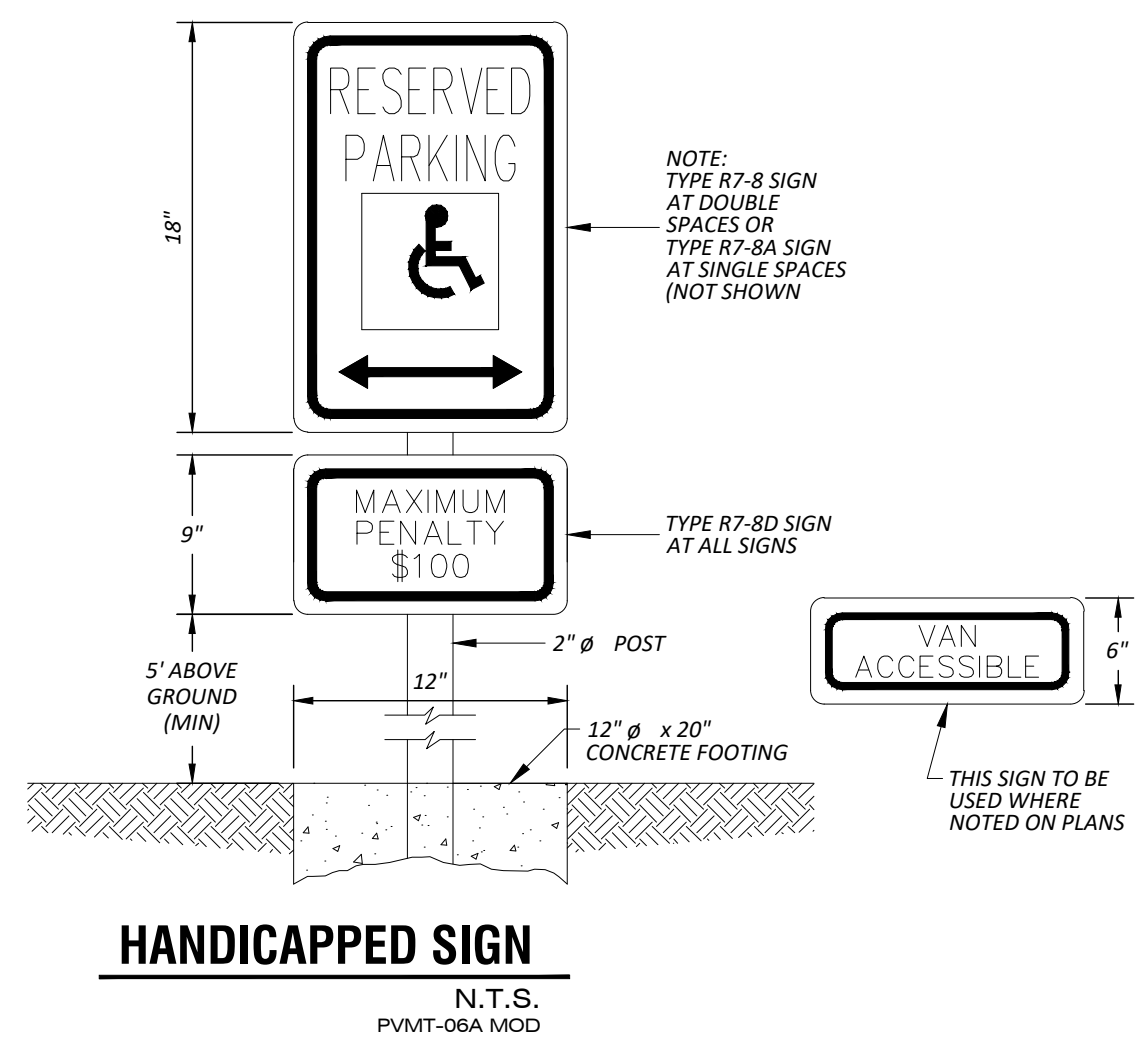
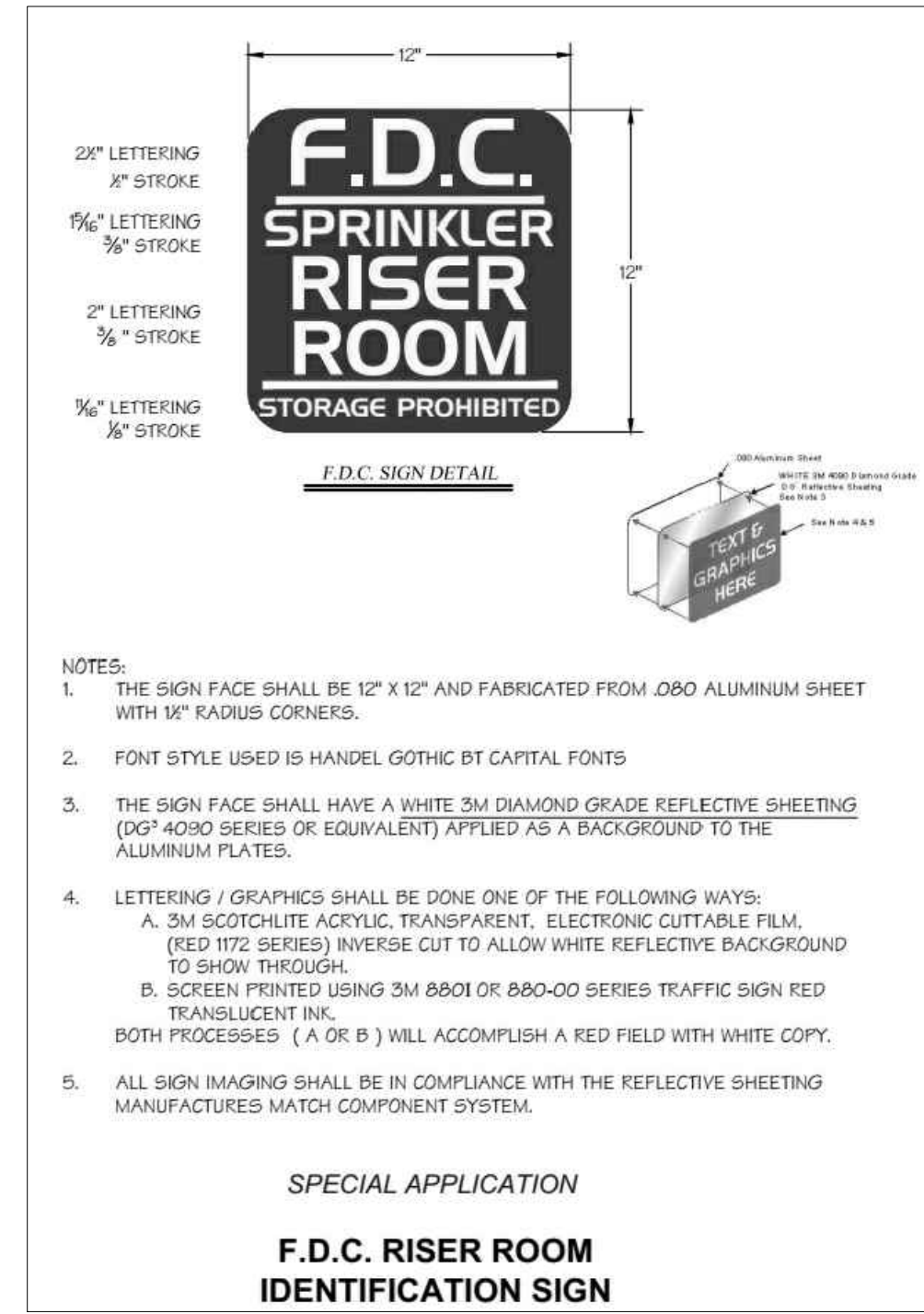
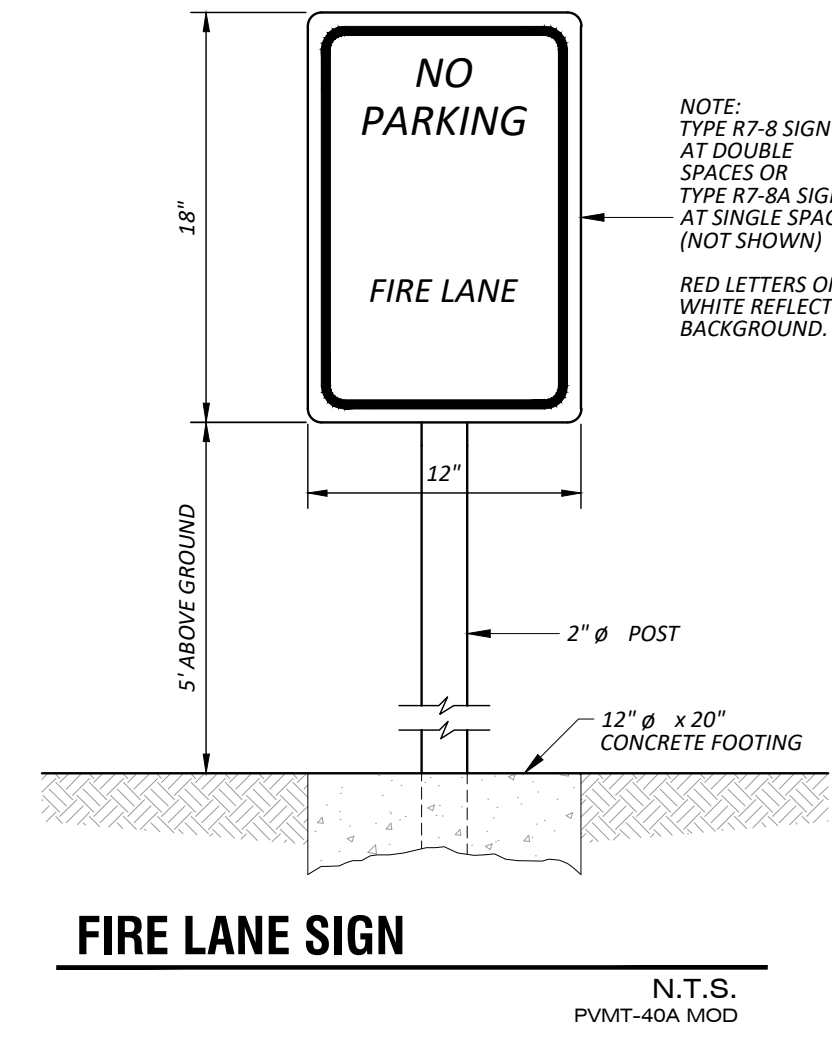
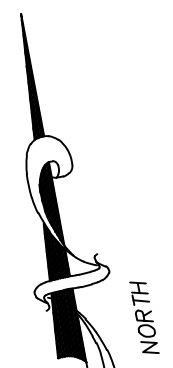
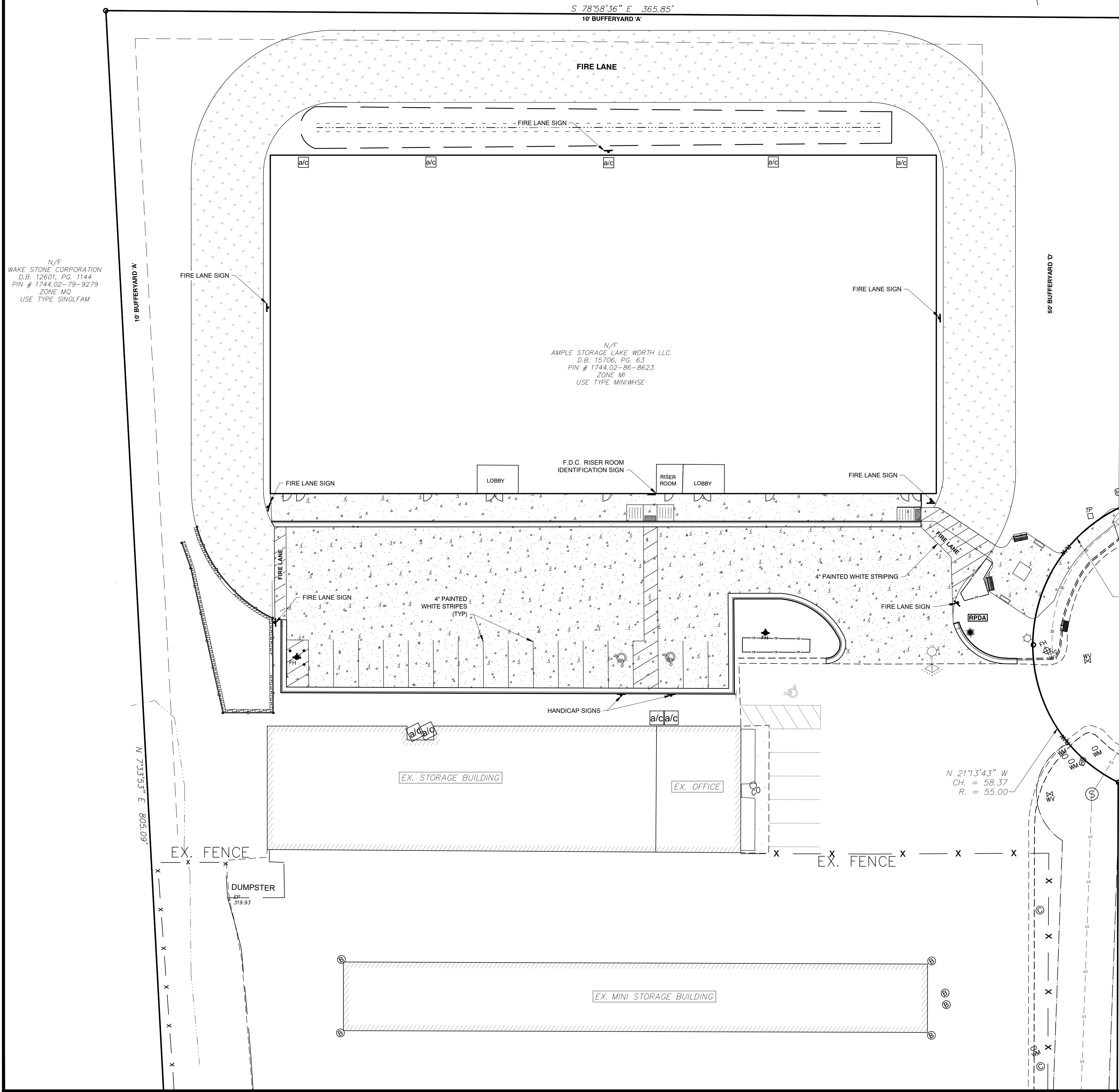
LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**SEDIMENTATION & EROSION CONTROL DETAILS**

|              |                 |
|--------------|-----------------|
| DATE:        | AUGUST 11, 2023 |
| DESIGNED BY: | MJP             |
| DRAWN BY:    | EDN             |
| CHECKED BY:  | JSJ             |
| PROJECT No.  | 2023008         |
| DRAWING No.  | W-4073-SK       |
| SCALE:       | 1" = 20'        |
| SHEET No.    |                 |

**C5.22**

P:\LANDDEV\AMPE-AMPLE\_SIG-819\DALE-202308\CADD\_DRAWINGS\GEN-4073-SIGNS-MARKINGS-DWG-LAYOUT - 15/2024 3:00:54 PM - MATI PRODUX

N/F  
WAKE STONE CORPORATION  
D.B. 12601, PG. 1144  
PIN # 1744.02-79-9279  
ZONE M0  
USE TYPE SINGLFAM



NC License # 4334  
**Rivers**  
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Planners  
107 East Second Street  
Greenville, NC 27658  
(252) 752-4135  
Surveyors  
Landscape Architects

REVISIONS:

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**PAVEMENT MARKING & SIGNAGE PLAN**

DATE: AUGUST 11, 2023  
DESIGNED BY: MJP  
DRAWN BY: EDN  
CHECKED BY: JSJ  
PROJECT No. 2023008  
DRAWING No. W-4073-SK  
SCALE: 1" = 20'  
SHEET No.

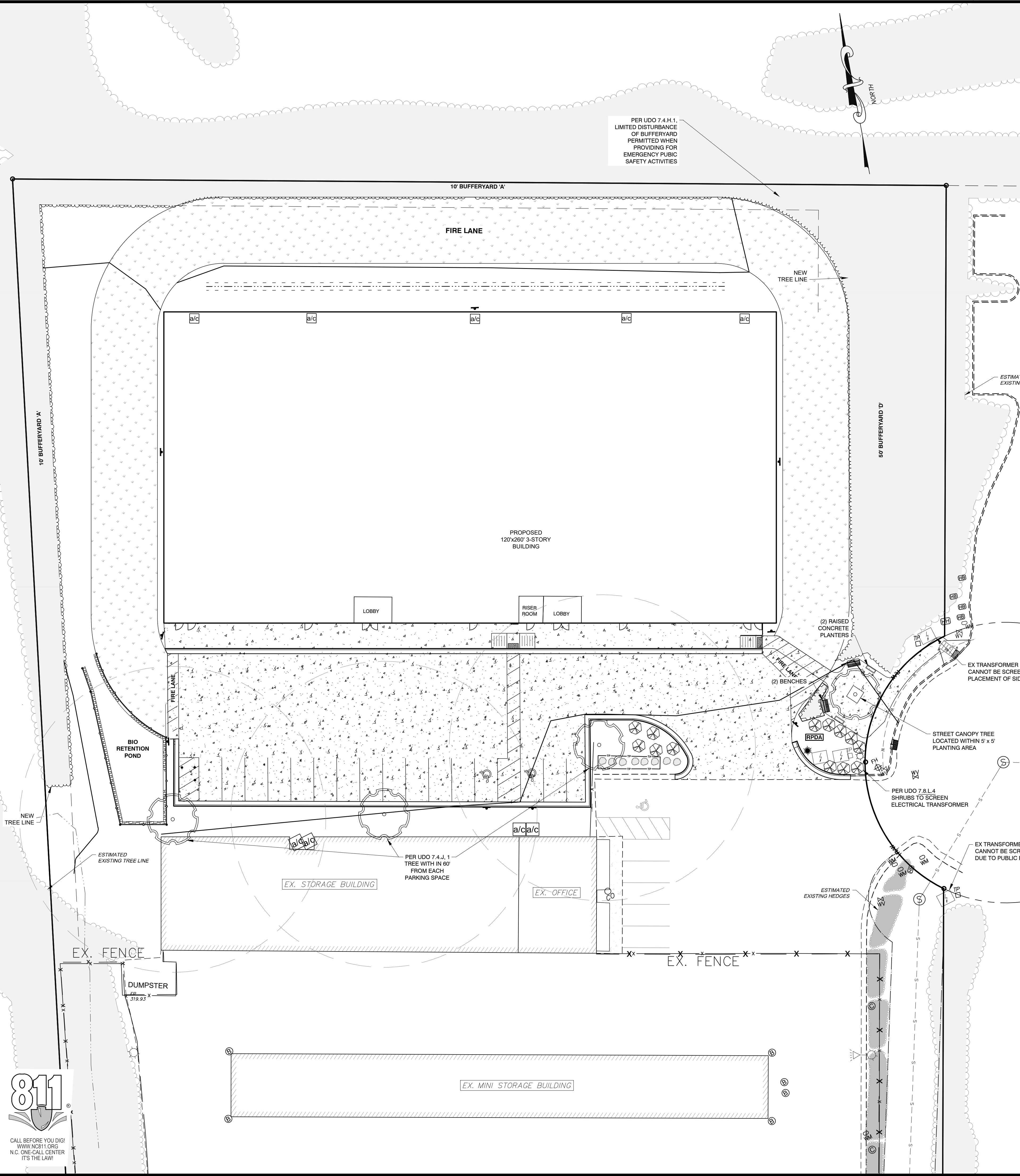
**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator



P:\LANDDEV\LAMPE\AMPE\_473-KNIGHTDALE\202308\DWG - LANDSCAPE\DWG - LANDSCAPE.DWG - LAYOUT - 1/5/2024 3:02:57 PM - MATT PROTOP



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N.C. ONE-CALL CENTER  
IT'S THE LAW!



**LANDSCAPING REQUIREMENTS**

- 7.4.M.2. - TREE COVER AREA**  
<10% REQ.  
ESTIMATED UNDISTURBED, TREE CANOPY 31,139 SF  
31,139 SF / 303,818 SF = .1024 OR 10.2%
- 7.4.J. - PARKING LOT LANDSCAPING**  
1 PER END OF PARKING ROW = 2  
60' FROM PARKING = 1  
3 REQ  
3 PROVIDED
- 7.8.L. - STREET TREE PLANTING**  
10' FROM LIGHT POLES  
12' FROM ELECTRICAL TRANSFORMERS  
1 REQ  
1 PROVIDED

**SITE PLANTING INFO**

- ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARD SPECIFICATIONS & DETAIL MANUAL.
- ANY EXISTING VEGETATION THAT IS TO BE USED FOR THE VEGETATION REQUIREMENTS SHOWN MUST BE APPROVED BY THE TOWN OF KNIGHTDALE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN PLANT LIST AND ON THE PLAN SHELL BE THE RESPONSIBILITY OF CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- DECIDUOUS CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND A MINIMUM OF 8' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
- DECIDUOUS UNDERSTORY TREES SHALL BE A MINIMUM 1 1/4" CALIPER AND HAVE A MINIMUM HEIGHT OF 6' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
- SHRUBS SHALL BE AT LEAST THREE 3 GALLONS IN CONTAINER SIZE, HAVE A MINIMUM HEIGHT OF 18" AND HAVE A MINIMUM SPREAD OF TWELVE TO FIFTEEN 15".
- GROUND COVER SHALL BE A MINIMUM OF 1 1/2" TO 2 1/2" POTS WITH A MINIMUM SPREAD OF FOUR 4" GROUND COVER.
- GROUND COVER MUST BE PLANTED WITH ON-CENTER SPACING EQUIVALENT TO THE AVERAGE MATURE SPREAD FOR EACH PARTICULAR SPECIES.
- AMERICAN STANDARD FOR NURSERY STOCK. ALL NEW PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE FROM DISEASE, INSTALLED IN A SOUND MANNER, MULCHED (3-4 INCH LAYER), AND MEET THE STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE SELECTION OF PLANTS, PLANTING METHODS, MINIMUM HEIGHT, ROOT BALL AND CONTAINER SIZE, NUMBER OF BRANCHES, AND WIDTH, SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE ANLA FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
- GUYING AND STAKING. ALL NEW TREES SHALL BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.
- MULCH AND DRAINAGE. ADEQUATE DRAINAGE AND MULCHING SHALL BE PROVIDED IN ALL CASES, PARTICULARLY FOR MEDIANS AND ISLANDS.
- GROUND COVER LOCATED WITHIN 3 FT OF BUILDINGS SHALL COMPLY WITH NC FIRE CODE.
- NO VEGETATION SHALL BE PLANTED WITHIN OVERHEAD POWER LINE EASEMENT NOR WITHIN 3 FT OF ANY FIRE APPARATUS.
- GRASS IS THE ONLY VEGETATION TO BE PLANTED WITHIN FIRE LANE.
- ALL PARKING SPACE SHALL WITHIN 60' FROM THE BASE OF CANOPY TREE.
- CANOPY THE EACH END OF PARKING ROW.
- MULCH SHALL BE 3" DEEP UNLESS OTHERWISE NOTED.
- MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
- CONTRACTOR TO SCREEN ECLECTIC TRANSFORMERS.

**NEW PLANT SCHEDULE**

|  |   |             |
|--|---|-------------|
|  | LG<br>Large Tree<br>Thornless Honeylocust | 4 EA.       |
|  | SH<br>Shrubs<br>Dwarf Yaupon              | 13 EA.      |
|  | SEEDED FIRE LANE                          | 15,434 S.F. |
|  | EX. UNDISTURBED PLANTED AREA              |             |

**Rivers**  
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS  
107 East Second Street  
Greenville, NC 27658  
(252) 752-4135

**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

**LANDSCAPING PLAN**

DATE: AUGUST 11, 2023  
DESIGNED BY: MJJ  
DRAWN BY: EDN  
CHECKED BY: JSJ  
PROJECT No. 2023008  
DRAWING No. W-4073-SK  
SCALE: 1" = 20'

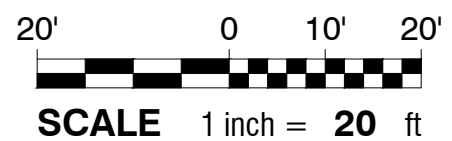
SHEET No. **L1.01**

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

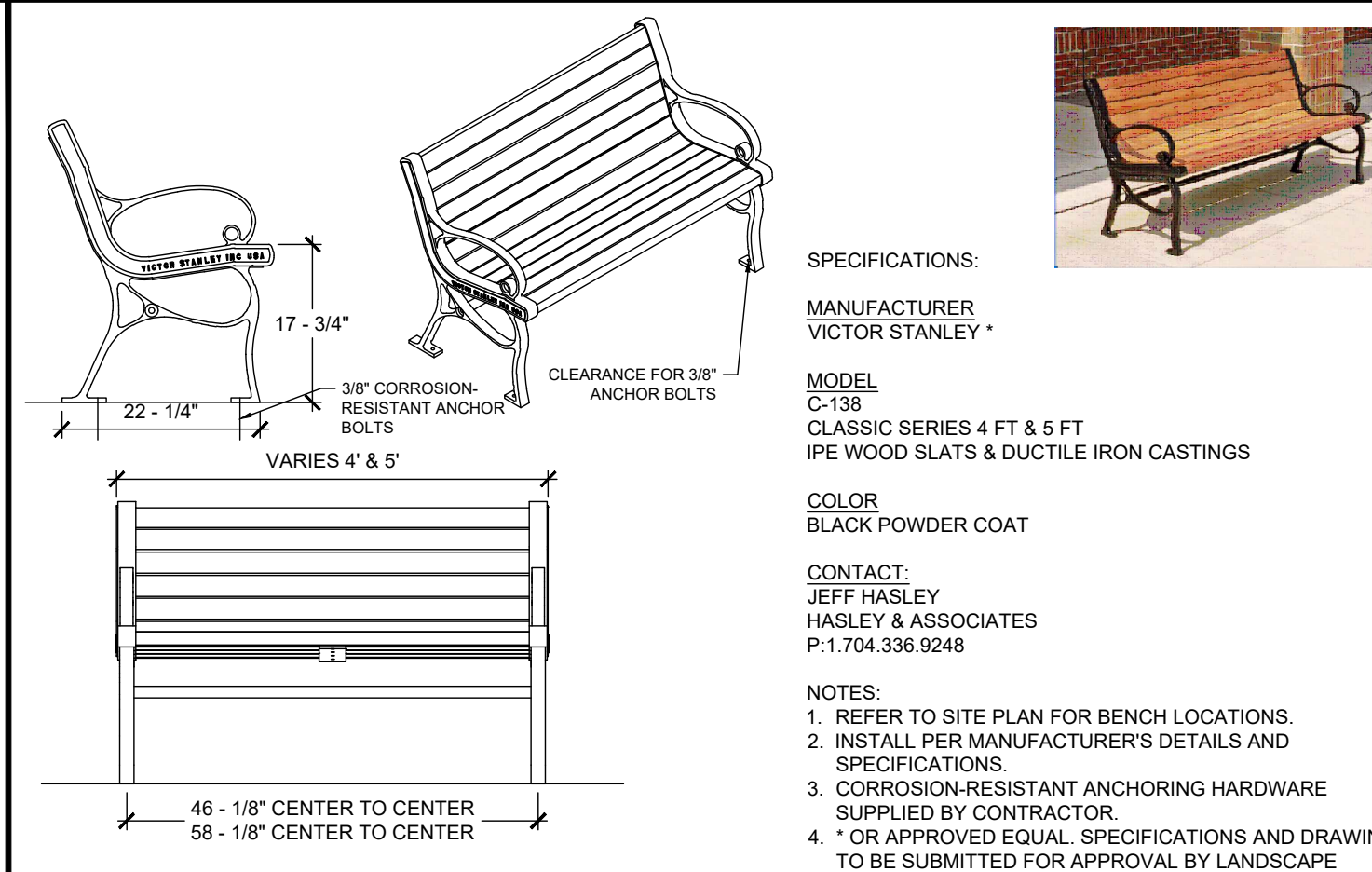
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

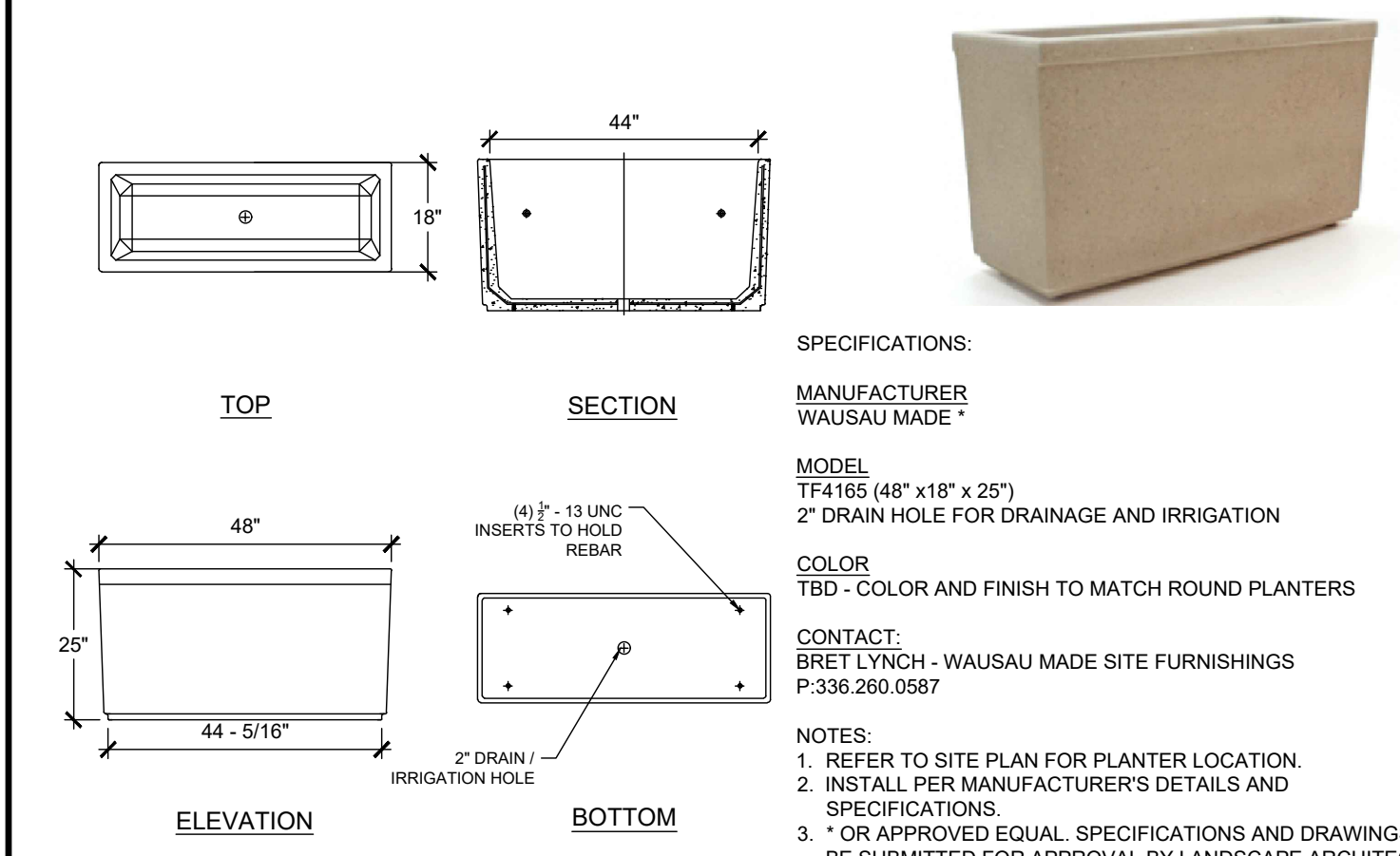
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Administrator



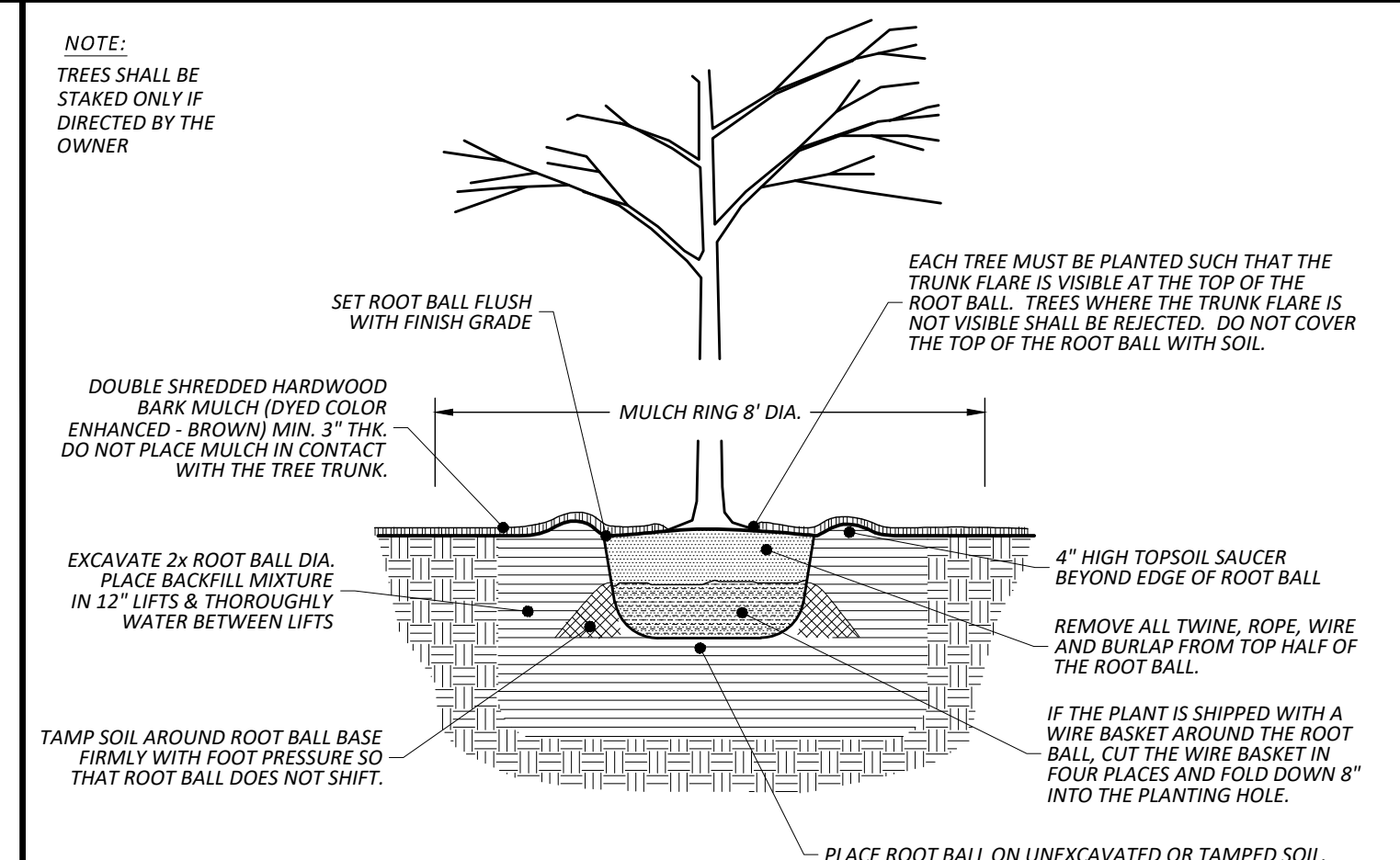
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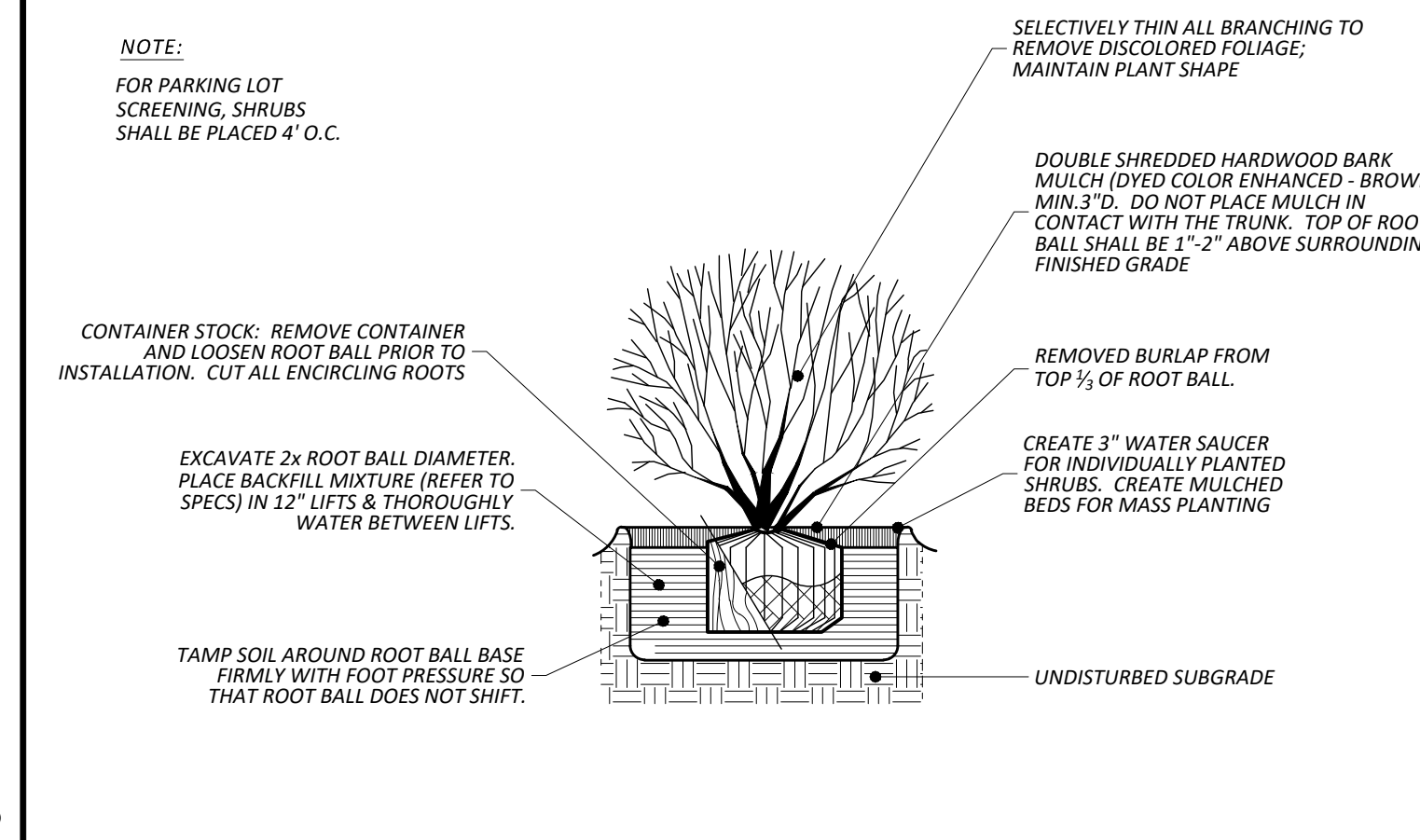
**BENCH**  
 ELEVATION, PERSPECTIVE DIAGRAM, IMAGE N.T.S.



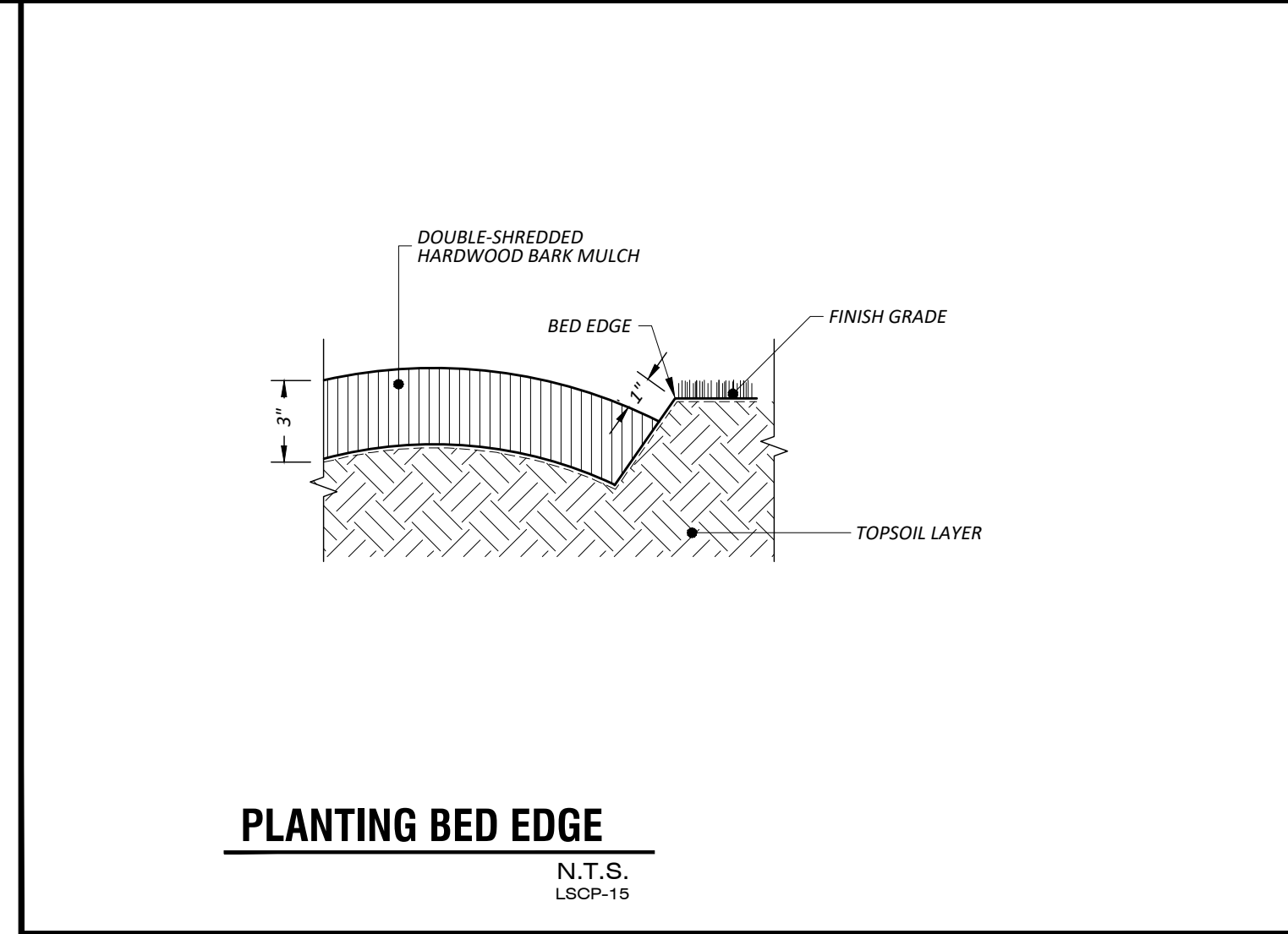
**CONCRETE PLANTER (RECTANGULAR)**  
 PLAN, ELEVATION, SECTION, IMAGE N.T.S.



**TREE PLANTING - LARGE & SMALL**  
 N.T.S.  
 LSCP-14



**SHRUB PLANTING**  
 N.T.S.  
 LSCP-02A



**PLANTING BED EDGE**  
 N.T.S.  
 LSCP-15

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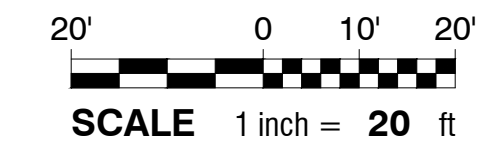
**REVISIONS:**

| NO. | DESCRIPTION                              | DATE      | BY  |
|-----|--|-----------|-----|
| 1   | INCORPORATED TOWN OF KNIGHTDALE COMMENTS | 12-5-2023 | EDN |

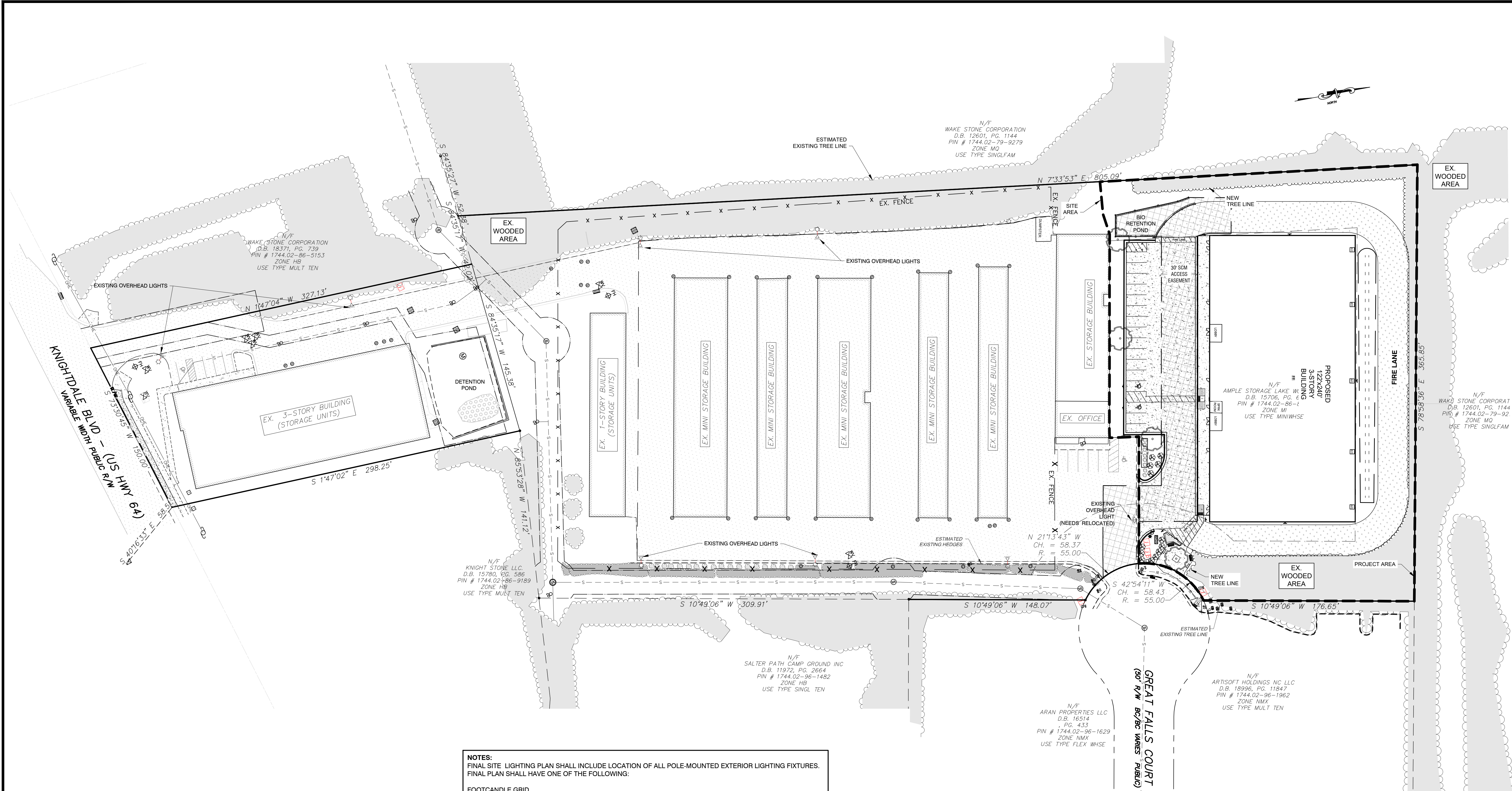
LAMPE MANAGEMENT COMPANY  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA  
**LANDSCAPING DETAILS**

DATE: AUGUST 11, 2023  
 DESIGNED BY: MJM  
 DRAWN BY: EDN  
 CHECKED BY: JSJ  
 PROJECT No. 2023008  
 DRAWING No. W-4073-SK  
 SCALE: 1" = 20'  
 SHEET No.  
**L2.01**

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Administrator

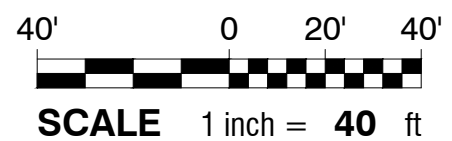


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**NOTES:**  
 FINAL SITE LIGHTING PLAN SHALL INCLUDE LOCATION OF ALL POLE-MOUNTED EXTERIOR LIGHTING FIXTURES. FINAL PLAN SHALL HAVE ONE OF THE FOLLOWING:  
 FOOTCANDLE GRID  
 A NUMERICAL POINT-BY-POINT FC GRID (PHOTOMETRIC REPORT) MAX 10' X 10' SHOWING THE MINIMUM, MAXIMUM AND AVERAGE FC LEVELS WITHIN THE LIGHTED AREA OF THE SITE AND THE AVERAGE TO MINIMUM RATIO FOR THE DETERMINATION OF UNIFORMITY.  
 ISOLUX DIAGRAM  
 ALSO PERMITTED PROVIDED THAT IT INDICATES FC MEASUREMENTS AT GRADE VIA CONTOUR DIAGRAM OR GRID POINTS THAT COVER SITE. MUST ALSO INDICATE THE MINIMUM, MAXIMUM AND AVERAGE FC LEVELS AND MINIMUM UNIFORMITY RATIO  
 ALL LIGHTING DETAILS SHALL ALSO INCLUDE APPROPRIATE SPECIFICATIONS

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Administrator



**Rivers**  
 RIVERS AND ASSOCIATES, INC.  
 ENGINEERS, PLANNERS, ARCHITECTS  
 107 East Second Street  
 Greenville, NC 27658  
 (252) 752-4135



| REVISIONS: |  |
|------------|--|
| NO.        | DESCRIPTION                              |
| 1          | INCORPORATED TOWN OF KNIGHTDALE COMMENTS |

**LAMPE MANAGEMENT COMPANY**  
**AMPLE STORAGE - EXPANSION**  
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA  
**SITE LIGHTING PLAN - OVERALL**

DATE: AUGUST 11, 2023  
 DESIGNED BY: MJP  
 DRAWN BY: EDN  
 CHECKED BY: JSJ  
 PROJECT No. 2023008  
 DRAWING No. W-4073-SK  
 SCALE: 1" = 40'  
 SHEET No. **SL1.01**