

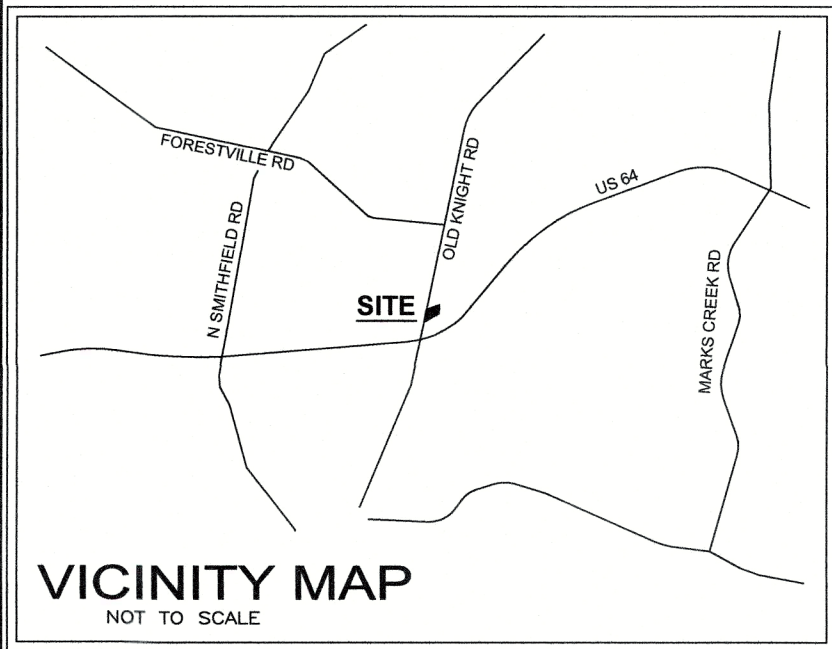
The map shows a street grid with the following features:

- N FIRST AVENUE**: A vertical street on the left side of the map.
- OLD KNIGHT ROAD**: A vertical street running north-south, intersecting N First Avenue.
- KNIGHTDALE BOULEVARD**: A diagonal street running from the bottom right towards the top right, intersecting both N First Avenue and Old Knight Road.
- SITE**: A shaded triangular area located on Old Knight Road, north of its intersection with N First Avenue.
- North Arrow**: Located in the bottom right corner, pointing upwards with the label "NORTH".

C-0.0	COVER SHEET
	BOUNDARY & TOPOGRAPHIC SURVEY
C-0.1	LEGENDS & NOTES SHEET
C-0.2	LEGENDS & NOTES SHEET
C-0.3	APPROVED VARIANCE DOCUMENT
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE LAYOUT PLAN
C-2.1	FIRE APPARATUS ACCESS PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & STORM DRAINAGE PLAN
D-1.0	SITE DETAIL SHEET
D-1.1	SITE DETAIL SHEET
D-2.0	UTILITY DETAIL SHEET
D-2.1	UTILITY DETAIL SHEET
D-2.2	UTILITY DETAIL SHEET
D-3.0	STORM DRAINAGE DETAIL SHEET
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAIL SHEET
LP-1.0	LIGHTING PLAN
1	ARCHITECTURAL PLAN

SITE DATA TABLE	
SITE ADDRESS:	700 OLD KNIGHT ROAD KNIGHTDALE, NORTH CAROLINA 27545
OWNER/APPLICANT:	JACKIE MOORE, MOORE'S REALTY, INC. 623 NOON FLYER WAY KNIGHTDALE, NORTH CAROLINA 27545
ENGINEER:	PABST DESIGN GROUP, PA 107 FAYETTEVILLE STREET, SUITE 200 RALEIGH, NC 27601 919.846.4399
DEED/PAGE:	DB 019200 PG 01486
PIN(S):	1754-56-9791
EXISTING ZONING DISTRICT:	HIGHWAY BUSINESS (HB)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	OFFICE, PROFESSIONAL SERVICES
PARCEL AREA:	TOTAL BEFORE R/W DEDICATION: 41,295 SF (0.948 AC) TOTAL AFTER R/W DEDICATION: 37,326 SF (0.857 AC)
RIVER/BASIN:	NEUSE
WATERSHED:	UPPER NEUSE RIVER
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (RATE MAP 3720175400J DATED MAY 2, 2006)
PRE-DEVELOPED IMPERVIOUS:	±0.09 ACRES (3,902 SF)
POST-DEVELOPED IMPERVIOUS:	ONSITE: ±0.49 ACRES (21,530 SF) OFFSITE: ±0.00 ACRES (63 SF) TOTAL: ±0.51 ACRES (21,593 SF)
PROPOSED LAND DISTURBANCE:	±0.74 ACRES (32,374 SF)
PROPOSED BUILDING TYPE:	OFFICE, PROFESSIONAL SERVICES
PRINCIPAL BUILDING SETBACKS:	REAR SETBACK: 0' (MIN) SIDE SETBACK: 6' (MIN) FRONT SETBACK: 10' - 30' (MIN - MAX) (PER VARIANCE B3019337PG01399)
PARKING SETBACKS:	FRONT YARD: N/A SIDE YARD: 0' (MIN) REAR YARD: 5' (MIN)
BUILDING FLOOR AREA:	EXISTING = 0 GFA PROPOSED = 7,000 GFA
BUILDING HEIGHT:	MAX. BUILDING HEIGHT: 70'-0" (5 STORIES) PROPOSED BUILDING HEIGHT: 28'-8" (1 STORY)
MINIMUM PARKING REQUIREMENTS:	PROFESSIONAL SERVICES: 1 SPACE PER 500 SF OF FLOOR AREA 7,000 SF OFFICE / 500 SF = 14 SPACES TOTAL REQUIRED: 14 SPACES TOTAL PROVIDED: 16 SPACES (INCLUDING 1 ADA, 1 BEING VAN)
PUBLIC GATHERING SPACE:	1 SF / 25 SF GFA (REQUIRED) (1/25) 7000 SF = 280 SF 1,217 SF (PROVIDED)

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.



LEGEND and NOMENCLATURE

SYMBOLS	LINETYPES

ABBREVIATIONS
DB Deed Book
PB or BM Plat Book / Book of Maps
N/F Now or formerly
Pg Page
SF Square feet
Ac Acres
R/W Right-of-way
NCSR North Carolina State Route
NCDOT North Carolina Dept. of Transportation
R/W Right-of-way
Ex Existing
RCP Reinforced concrete pipe
PVC Polyvinyl chloride pipe
(M) Measured
AG Above ground
BG Below ground

NOTES:

- All distances are horizontal ground distances in u.s. survey feet unless otherwise noted. Area(s) computed by coordinate geometry.
- This survey does not include nor depict any environmental evaluations. No investigation into the existence of wetlands or riparian buffers performed in the preparation of this survey. Wetlands shown hereon field located by this office as placed by Sage Ecological Services per a sketch map provided dated 7/11/22.
- Field survey performed February 1 thru 6, 2023 and November 20 thru November 22, 2023.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose.
- The locations of underground utilities as shown hereon (if any) are based on aboveground structures and aboveground visual evidence only. Locations of underground utilities/structures may vary from location shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.
- Subject property is NOT located within a special flood hazard zone per FEMA Flood Insurance Rate Map (FIRM) #3720175400K, effective date July 19, 2022.
- The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is $\pm 0.07'$.

HORIZONTAL DATUM = NAD 83/2011
VERTICAL DATUM = NAVD 88

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

I, Justin L. Luther, certify that this plat was drawn under my supervision from an actual survey made under my supervision from references as noted on said plat; that the boundaries not surveyed are clearly indicated as drawn from information as indicated under references; that the ratio of precision as calculated is greater than 1:10,000; that this plat was prepared in accordance with NCGS 47-30 as amended.

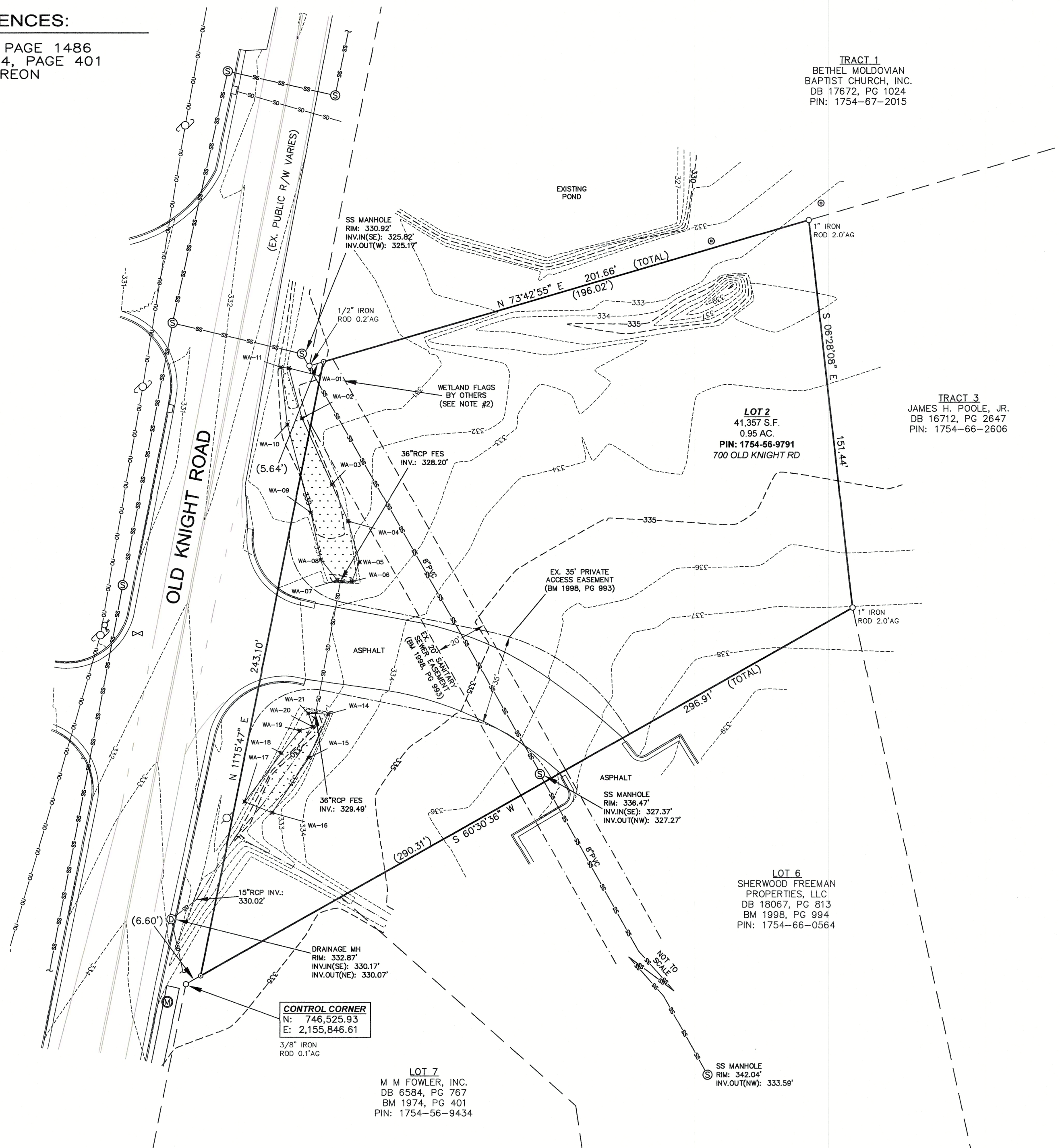
Witness my original signature, license number and seal this day of DECEMBER, 2023.

Professional Land Surveyor (L-5107)



REFERENCES:

DEED BOOK 19200, PAGE 1486
BOOK OF MAPS 1974, PAGE 401
*OTHERS SHOWN HEREON



TRACT 1
BETHEL MOLDOVIAN
BAPTIST CHURCH, INC.
DB 17672, PG 1024
PIN: 1754-67-2015

TRACT 3
JAMES H. POOLE, JR.
DB 16712, PG 2647
PIN: 1754-66-2606

LOT 2
41,357 S.F.
0.95 AC.
PIN: 1754-66-9791
700 OLD KNIGHT RD

LOT 6
SHERWOOD FREEMAN
PROPERTIES, LLC
DB 18067, PG 813
BM 1998, PG 994
PIN: 1754-66-0564

LOT 7
M.M. FOWLER, INC.
DB 6584, PG 767
BM 1974, PG 401
PIN: 1754-56-9434

BOUNDARY & TOPOGRAPHIC SURVEY

MOORE'S REALTY, INC.

ST. MATTHEW'S TOWNSHIP WAKE COUNTY NORTH CAROLINA



SCALE: 1"=30'

NC GRID NORTH
NAD 83/2011

JOB NO.: 229290
FILE NAME: B/T
PLOT DATE: 2/6/23; REVISED 11/30/23; REVISED 12/1/23

C:\Public\10-Projects\600-699\627--22_700 Old Knight Road Office (More's Realty, Inc.)\50-Drawings\44-Drawing\627--22 C-01.dwg Jun 12, 2024 - 2:39pm BTK:kanz

LEGEND

----	LOC	LIMITS OF CONSTRUCTION		EXISTING CONCRETE
----	LOO	LIMITS OF DISTURBANCE		EXISTING ASPHALT
----	LODLOC	LIMITS OF DISTURBANCE & CONSTRUCTION		EXISTING STRUCTURE TO BE REMOVED
----	UKN UTIL	EXISTING UNKNOWN UTILITY		EXISTING RIP RAP
----	TV	EXISTING TV		EXISTING VEGETATION
----	TEL	EXISTING TELEPHONE		EXISTING GRAVEL
----	COMM	EXISTING COMMUNICATIONS		EXISTING WETLANDS
----	CTV	EXISTING CATV		EXISTING RIPARIAN BUFFER
----	FO	EXISTING FIBER OPTIC		PROPOSED CONCRETE
----	W	EXISTING WATER PIPE		PROPOSED ASPHALT
----	FM	EXISTING WATER FORCE MAIN		PROPOSED LIGHT DUTY ASPHALT
----	WF	EXISTING WATER FIRE LINE		PROPOSED AMENITY SPACE
----	SS	EXISTING SANITARY SEWER PIPE		PROPOSED PAVEMENT REPAIR
----	FS	EXISTING SANITARY SEWER FORCE MAIN		PROPOSED RIP RAP
----	SD	EXISTING STORM PIPE		PROPOSED TREE PRESERVATION
----	G	EXISTING GAS PIPE		PROPOSED GRAVEL
----	OHE	EXISTING OVERHEAD ELECTRIC		PROPOSED CONSTRUCTION ENTRANCE
----	UE	EXISTING UNDERGROUND ELECTRIC		7-DAY STABILIZATION
X X X	TPF	EXISTING FENCE		14-DAY STABILIZATION
----	----	EXISTING TREE PROTECTION FENCE		PROPOSED SS MANHOLE
----	----	EXISTING SILT/TREE PROTECTION FENCE		PROPOSED SS CLEANOUT
O O	----	EXISTING GUARDRAIL		PROPOSED FIRE HYDRANT ASSEMBLY
////	----	EXISTING UTILITY TO BE REMOVED		PROPOSED BLOW OFF ASSEMBLY
W	----	PROPOSED WATER PIPE		PROPOSED VALVE
FM	----	PROPOSED WATER FORCE MAIN		PROPOSED METER VAULT
WF	----	PROPOSED WATER FIRE LINE		PROPOSED HOTBOX
SS	----	PROPOSED SANITARY SEWER PIPE		PROPOSED SW MANHOLE
FS	----	PROPOSED SANITARY SEWER FORCE MAIN		PROPOSED SW INLET
SD	----	PROPOSED STORM PIPE		PROPOSED SW FLARED END SECTION
G	----	PROPOSED GAS PIPE		BLOCK AND GRAVEL INLET PROTECTION
OHE	----	PROPOSED OVERHEAD ELECTRIC		SILT FENCE OUTLET
UE	----	PROPOSED UNDERGROUND ELECTRIC		CONCRETE WASHOUT
X X X	----	PROPOSED FENCE		FENCE
TPF	----	PROPOSED TREE PROTECTION FENCE		OVERHEAD UTILITY
SF-TF	----	PROPOSED SILT/TREE PROTECTION FENCE		WATERLINE (BLUE PAINT)
O O	----	PROPOSED GUARDRAIL		SANITARY SEWER
SF	----	PROPOSED TREE LINE		STORM DRAIN
SF	----	PROPOSED TEMPORARY SILT FENCE		UNDERGROUND ELECTRIC (RED PAINT)
> > >	----	PROPOSED TEMPORARY DIVERSION DITCH		GAS LINE (YELLOW PAINT)
FFE	----	FINISHED FLOOR ELEVATION		COMMUNICATIONS / FIBER (ORANGE PAINT)
FL	----	FLOW LINE		
TC	----	TOP OF CURB		
TOG	----	TOP OF GROUND		
EG	----	EDGE OF PAVEMENT		
TP	----	TOP OF PAVEMENT		
TW	----	TOP OF WALL		
BW	----	BOTTOM OF WALL		
HP	----	HIGH POINT		
LP	----	LOW POINT		
→	----	FLOW DIRECTION		

SURVEY LEGEND and NOMENCLATURE

SYMBOLS	LINETYPES	ABBREVIATIONS
	X X X	DB
	----	PB or BM
	----	PG.
	----	SF
	----	AC.
	----	R/W
	----	EX.
	----	D.I.
	----	C.I.
	----	AG
	----	BELOW-GROUND
	----	O/H
	----	OVERHANG

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTES:

- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED. AREA(S) COMPUTED BY COORDINATE GEOMETRY.
- THIS SURVEY DOES NOT INCLUDE NOR DEPICT ANY ENVIRONMENTAL EVALUATIONS. NO INVESTIGATION INTO THE EXISTENCE OF WETLANDS OR RIPARIAN BUFFERS PERFORMED IN THE PREPARATION OF THIS SURVEY.
- FIELD SURVEY PERFORMED FEBRUARY 1 THRU 6, 2023.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON (IF ANY) ARE BASED ON ABOVEGROUND STRUCTURES AND ABOVEGROUND VISUAL EVIDENCE ONLY. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATION SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) #3720175400K, EFFECTIVE DATE JULY 15, 2022.
- THE STATE PLANE COORDINATES FOR THIS PROJECT WERE PRODUCED WITH RTK GPS OBSERVATIONS AND PROCESSED USING THE NORTH CAROLINA VRS NETWORK. THE NETWORK POSITIONAL ACCURACY OF THE DERIVED POSITIONAL INFORMATION IS ± 0.07'.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
- EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
- ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
- SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
- ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
- ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
- ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH WAKE COUNTY HEALTH DEPARTMENT STANDARDS.

SITE LAYOUT NOTES:

- ALL CONSTRUCTION AND EXCAVATION SHALL BE CONFINED TO THE LIMITS OF CONSTRUCTION, AND SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, & NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADII DIMENSIONS TO BACK OF CURB.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
- ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- ALL RADII TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
- VERIFY ALL SETBACKS WITH LOCAL CODES.
- A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- 5'-0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3'-0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4'-0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" - 8" PVC" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- GENERAL CONTRACTOR TO REFER TO THE MOST CURRENT ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS AND EXIT RAMPS.
- THE CONTRACTOR SHALL REMOVE, PRESERVE, AND RESET ALL FENCES, POSTS, CULVERTS, SIGNS, STREET MARKERS, MAILBOXES, AND THE LIKE WITHIN THE LIMITS OF THE PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE CONTRACTOR'S BID PRICE.
- PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE DEVELOPMENT SERVICES DEPARTMENT.

GRADING NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF WAKE COUNTY, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS

FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.

- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS OTHERWISE NOTED.
- ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS OFF SITE. THIS RESPONSIBILITY SHALL INCLUDE ALL REQUIRED APPROVALS AND CONDITIONS DICTATED BY WAKE COUNTY.
- ALL OPEN STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY.
- CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS, PLLC DATED FEBRUARY 6TH, 2023.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- CONTRACTOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTION INDICATED ON PLANS.
- INITIATE CONSTRUCTION SEQUENCE BEFORE BEGINNING CLEARING AND GRADING ON-SITE OPERATIONS.
- STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED 2:1, UNLESS OTHERWISE NOTED.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL EXISTING VEGETATION. CONTRACTOR TO PROTECT VEGETATION LOCATED ABOVE GRADING LIMITS.
- COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY, OR PER GEOTECHNICAL RECOMMENDATIONS.
- PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
- ALL 2:1 SLOPES TO BE STABILIZED WITH TURF REINFORCEMENT MAT PER MANUFACTURER'S RECOMMENDATIONS. SLOPES TO BE SEEDED TO MIX SUMMER/SPRING OR FALL/WINTER BLEND DEPENDING ON SEASON. CONTACT ACF ENVIRONMENTAL FOR SPECIFICATIONS AT 1-800-448-3636.
- THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER, AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES, THE TOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS, AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.

GENERAL UTILITY NOTES:

- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. 811 AT "811 OR 1-800-632-4949". THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO RADISSON HOTEL.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- CONDUIT LOCATIONS TO SIGNS AND SITE LIGHT POLES TO BE COORDINATE WITH OWNER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- CONTRACTOR SHALL VERIFY ALL ILLUSTRATED UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.
- ALL CITY OF RALEIGH UTILITY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS IN EFFECT AT TIME OF UTILITY PERMITTING.
- GREASE INTERCEPTOR SIZING AND DETAILS ARE TO BE INCLUDED WITH BUILDING CONSTRUCTION PLUMBING PLANS. A PLUMBING PERMIT WILL BE REQUIRED FOR INSTALLATION OF THE GREASE INTERCEPTOR AND ANY ASSOCIATED PLUMBING SEWER LATERAL IF INSTALLED DURING THE SITE DEVELOPMENT PHASE OF CONSTRUCTION.
- APPROVAL AND PERMITTING OF THIS UTILITY PLAN COVERS PUBLIC INFRASTRUCTURE ONLY. WHILE PRIVATE UTILITY MAINS MAY BE SHOWN HEREON FOR REFERENCE, THEY ARE ALLOWED ONLY AFTER OBTAINING A SEPARATE PERMIT FOR PRIVATE UTILITIES.

CITY OF RALEIGH UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROUNED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- 5'-0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3'-0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4'-0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" - 8" PVC" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.

- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-9923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.

GENERAL PLANTING NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
- CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
- METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
- ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS LAWN WITH BERMUDA GRASS.
- ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDED HARDWOOD MULCH AT A THICKNESS OF 3".
- ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFOLON GRANULES).
- ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE TOWN OF KNIGHTDALE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.
- FOUNDATION PLANTINGS WILL BE PLANTED ALONG BUILDING FOUNDATIONS THAT FACE A STREET.
- ALL LANDSCAPING WILL BE MAINTAINED IN PERPETUITY.
- ALL HEDGEBACKS AND OTHER ON GROUND/FREE STANDING MECHANICAL EQUIPMENT SHALL BE SCREENED WITH DENSE EVERGREEN VEGETATION AT LEAST THE HEIGHT OF THE EQUIPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WITHIN THE SIGHT TRIANGLE NOTHING SHALL BE ERECTED, PLACED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER AS TO IMPEDE THE SIGHT VISION AT THE INTERSECTION AND THE MAXIMUM HEIGHT OF ANY MATERIAL SHALL NOT EXCEED 3 ½ FEET, IN ACCORDANCE WITH THE NCDOT'S STANDARDS AS APPLICABLE.

E&S CONSTRUCTION SEQUENCE - PHASE 1:

- SCHEDULE AN INITIAL PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF KNIGHTDALE.
- OBTAIN A LAND-DISTURBANCE PERMIT.
- OBTAIN AN APPROVED (STAMPED) E&S CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION TO AVOID CONFLICT DURING GRADING OPERATION. CONTRACTOR SHALL CALL 1-800-632-4949 N.C. "ONE CALL" PRIOR TO DIGGING TO LOCATE ALL EXISTING UNDERGROUND UTILITIES ON SITE.
- INSTALL ALL PERIMETER CONTROLS AS SHOWN ON THE APPROVED PLANS, CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. CLEARING SHOULD BE LIMITED TO A 35" "RIBBON" AROUND PERIMETER TO INSTALL CONTROLS. NO GRADING OR EXCAVATION SHOULD OCCUR.
- SCHEDULE AN ONSITE PRE-CONSTRUCTION MEETING WITH THE TOWN OF KNIGHTDALE TO INSPECT THE INSTALLED PERIMETER CONTROLS.
- IF APPROVED, PROCEED WITH INSTALLING OTHER MEASURE AS SHOWN ON THE APPROVED PLANS. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- CALL TOWN OF KNIGHTDALE EROSION CONTROL INSPECTOR TO SCHEDULE AN ONSITE INSPECTION AND OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING, MAINTAIN DEVICES AS NEEDED, ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH SUITABLE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN IN THE APPROVED PLANS. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- GRADING FOR PHASE 1 S&E WILL BE CONDUCTED AS NECESSARY TO ACHIEVE SITE GRADES SHOWN ON SHEETS C-4.0 AND C-5.1, INCLUDING RETAINING WALLS TO THE EXTENT POSSIBLE.
- CUT AND FILL SLOPES WILL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING. (SEE STABILIZATION CRITERIA ON SHEET D-4.1).
- INSTALL CURB AND GUTTER, CABG STONE, AND SIDEWALK IN ALL HARDSCAPE AREAS.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADES, INSTALLING UTILITIES AND RETAINING WALL AT THE SAME TIME AS NECESSARY. CONTACT TOWN OF KNIGHTDALE INSPECTOR FOR INSPECTION.
- IF IT IS DETERMINED DURING CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE, DESPITE PROPER IMPLEMENTATION AND MAINTENANCE, THE CONTRACTOR IS OBLIGATED TO TAKE ADDITIONAL CORRECTIVE ACTION.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN THE EROSION CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY.

E&S CONSTRUCTION SEQUENCE - PHASE 2:

- REFER TO SHEET C-5.0 IN THIS PLAN SET FOR PHASE 1 E&S OPERATIONS PRIOR TO BEGINNING THIS CONSTRUCTION SEQUENCE AND INSTALLATION OF MEASURES ON SHEET C-6.1.
- CONTINUE BRINGING THE SITE TO FINAL GRADES, INSTALLING UTILITIES AND RETAINING WALL AT THE SAME TIME AS NECESSARY. CONTACT TOWN OF KNIGHTDALE INSPECTOR FOR INSPECTION.
- AS PERMANENT STORMWATER PIPES AND STRUCTURES ARE INSTALLED, INSTALL INLET PROTECTION AND PLUG THE PIPES UNTIL THE MAJORITY OF THE SITE IS STABILIZED. PERIODICALLY OR AFTER LARGE RAIN EVENTS, PUMP OUT WATER AND SEDIMENT FROM ANY STORM STRUCTURES THAT RECEIVED WATER AND SEDIMENT PAST THE INLET PROTECTION) INTO SILT BAG AND DISPOSE OF APPROPRIATELY.
- CUT AND FILL SLOPES WILL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING. (SEE STABILIZATION CRITERIA ON SHEET D-4.1).
- FINISH INSTALL OF CURB AND GUTTER, CABG STONE, PAVEMENT AND SIDEWALK IN ALL HARDSCAPE AREAS, WHERE NECESSARY.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION AND PAVING. ESTABLISH GROUND COVER ON DENUDED AREAS WITHIN FOURTEEN DAYS (14) DAYS OF COMPLETION OF PROJECT.
- IF IT IS DETERMINED DURING CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE, DESPITE PROPER IMPLEMENTATION AND MAINTENANCE, THE CONTRACTOR IS OBLIGATED TO TAKE ADDITIONAL CORRECTIVE ACTION.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL EROSION CONTROL INSPECTOR FOR AN INSPECTION.
- IF SITE IS APPROVED, REMOVE TEMPORARY EROSION AND SEDIMENTATION MEASURES AND SEED OUT TO STABILIZE ANY RESULTING BARE AREAS.
- BEFORE REMOVAL OF PLUGS TO ALLOW FOR THE NEW STORM CONVEYANCE SYSTEM TO TIE INTO THE DOWNSTREAM SYSTEM, THE NEW SYSTEM SHOULD BE FLUSHED AND SEDIMENT PUMPED OUT AND PROPERLY DISPOSED OF.
- FINE GRADE THE FINAL PORTION OF THE SITE. SEED OR OTHERWISE STABILIZE ANY RESULTING BARE AREAS.
- MAINTAIN ALL REMAINING SOIL AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHEN VEGETATION HAS BECOME ESTABLISHED (90% GERMINATION), CALL FOR A FINAL INSPECTION BY THE EROSION CONTROL INSPECTOR. OBTAIN A CERTIFICATE OF COMPLETION

E&S PLAN MAINTENANCE NOTES:

1.

PROVIDE A PLAN DETAIL, CONSTRUCTION SPECIFICATIONS, AND SPECIFIC MAINTENANCE REQUIREMENTS FOR ALL PROPOSED SEDIMENT AND EROSION CONTROL STRUCTURES INCLUDED ON THE PLAN. RECOMMEND PLACING MAINTENANCE REQUIREMENTS WITH THE ASSOCIATED CONSTRUCTION DETAIL.
2.

MAINTENANCE AND/OR CLEAN OUT, IS NECESSARY ANYTIME THE DEVICE IS AT 50% CAPACITY. ALL SEDIMENT STORAGE MEASURES WILL REMAIN ON SITE AND FUNCTIONAL UNTIL ALL GRADING AND FINAL LANDSCAPING OF THE PROJECT IS COMPLETE.
3.

AS DESIGNATED BY NCDEQ NCG01 PERMITTING, SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF 1 INCH OR GREATER. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED.
4.

PROVIDE THE MINIMUM MAINTENANCE STANDARDS AS SPECIFIED BELOW:
- 4.1.

SURVEYOR FLAGS/TAPE/STAKES:

- REPLACE IDENTIFIERS IF DAMAGED OR KNOCKED DOWN DURING DEVELOPMENT.

- ENSURE KEY ENVIRONMENTAL AND/OR CULTURAL RESOURCES MAINTAIN IDENTIFIERS.

- COLORS SHOULD ADHERE TO THE APWA UNIFORM COLOR CODE. USE ACCEPTED SURVEY SYMBOLS AND ENSURE OPERATORS UNDERSTAND DESIGNATIONS. UTILITY LINE OWNERS/OPERATORS SHALL IDENTIFY THE DESIGNATING FIRM.
- 4.2.

PERMITS / NCG01 INSPECTIONS BOX:

- CONFIRM BOX IS SECURELY FASHIONS TO A POST OR WALL IN A VISIBLE LOCATION IN PROXIMITY TO THE CONSTRUCTION ENTRANCE.

- MAINTAIN RELEVANT IDENTIFICATION ON THE EXTERIOR OF THE BOX.

- ENSURE PAPER DOCUMENTS REMAIN DRY / LEGIBLE (LAMINATION, TICKET HOLDERS, BINDERS, ETC.)

- REPLACE ANY MISSING DOCUMENTS IMMEDIATELY. CONSIDER PLACING TIES OR FASTENERS IF NECESSARY.
- 4.3.

RAIN GAUGE:

- CHECK AND REMOVE ANY ITEMS FROM THE RAIN FUNNEL AND THE DEBRIS FILTER (DUST, BUGS, OTHER DEBRIS)

- OPEN THE RAIN GAUGE AND REMOVE ANY FOREIGN OBJECTS.

- PERFORM ROUTINE MAINTENANCE AS SPECIFIED BY THE MANUFACTURER.

- CHECK THAT THE GAUGE IS NOT BEING OBSTRUCTED FROM RAIN CAPTURE AND IS LEVEL BEFORE AND AFTER REASSEMBLY.
- 4.4.

TREE PROTECTION FENCE:

- PRUNE ANY DAMAGED TREES. (IF) DAMAGE TO PROTECTED TREES OCCURS, REPAIR ANY DAMAGE TO THE CROWN, TRUNK, OR ROOT SYSTEM IMMEDIATELY.

- REPAIR ROOTS BY CUTTING OFF THE DAMAGED AREAS AND PAINTING THEM WITH TREE PAINT. SPREAD PEAT MOSS OR MOIST TOPSOIL OVER EXPOSED ROOTS.

- REPAIR DAMAGE TO BARK BY TRIMMING AROUND THE DAMAGED AREA, TAPER THE CUT TO PROVIDE DRAINAGE AND PAINT WITH TREE PAINT.

- CUT OFF ALL THE DAMAGED TREE LIMBS ABOVE THE TREE COLLAR AT THE TRUNK OR MAIN BRANCH. USE THREE SEPARATE CUTS TO AVOID PEELING BARK FROM HEALTHY AREAS OF THE TREE.
- 4.5.

SILT FENCE:

- SHOULD THE FABRIC OF THE SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUTS.

- REMOVE ALL THE FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- 4.6.

SILT FENCE OUTLET:

- FRESHEN STONE WHEN SEDIMENT ACCUMULATION EXCEEDS 6 INCHES.

- KEEP MESH FREE OF DEBRIS TO PROVIDE ADEQUATE FLOW AND REPLACE STONE AS NEEDED TO FACILITATE DE-WATERING.
- 4.7.

CONSTRUCTION ENTRANCE:

- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2 INCH STONE.

- IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.
- 4.8.

INLET PROTECTION (PIPE / YARD / DROP / CURB):

- INSPECT INLET PROTECTIONS AND REMOVE SEDIMENT AFTER EACH RAIN EVENT.

- KEEP FREE OF DEBRIS TO PROVIDE ADEQUATE FLOW AND IF PRESENT REPLACE STONE AS NEEDED TO FACILITATE DE-WATERING.

TOWN OF KNIGHTDALE SCM PLANTING NOTES:

1.

THE DAM STRUCTURE, INCLUDING FRONT AND BACK EMBANKMENT SLOPES, OF THE POND SHALL BE VEGETATED WITH NON-CLUMPING TURF GRASS OR SOD. (CENTIPEDE/HYBRID-BERMUDA) 90% GERMINATION OF NON-CLUMPING TURF WILL BE REQUIRED PRIOR TO FINAL CERTIFICATION FROM THE TOWN.
2.

THE VEGETATED SHELF SHALL BE PLANTED WITH A MINIMUM OF THREE DIVERSE SPECIES OF HERBACEOUS, NATIVE VEGETATION AT A MINIMUM DENSITY OF 50 PLANTS PER 200 FEET OF SHELF AREA.
3.

CONTRACTOR TO WORK WITH SOILS SCIENTIST TO ENSURE SOILS ARE ADEQUATE TO SUPPORT PROPER ESTABLISHMENT AND GROWTH OF THE AQUATIC PLANTINGS. CONTRACTOR TO AMEND SOILS AND INSTALL SOILS IN PLANT, SHRUB, AND TREE AREAS PER DETAILS, SOIL SPECIFICATIONS, NCENR SPECIFICATION, AND SOIL SCIENTIST RECOMMENDATIONS.
4.

ALL AQUATIC PLANTINGS ARE TO BE INSTALLED DURING THE APPROPRIATE TIME OF YEAR TO ENSURE SURVIVABILITY. (LAST SPRING FROST AND THE FIRST FALL FROST)
5.

ALL DISTURBED AREAS AROUND THE OUTSIDE OF THE DEVICE SHALL BE SEEDED WITH A LAWN AREA SEED MIX (PER SEEDING SPECIFICATIONS) NATIVE GRASSES, LEGUMES, CLOVERS, AND WILDFLOWERS.
6.

IF THE DEVICE WAS USED DURING CONSTRUCTION AS A SEDIMENT BASIN OR TRAP, THE BASIN MUST BE CLEANED OUT, GRADED, APPROPRIATE AREAS COVERED WITH 4" OF TOPSOIL AS SPECIFIED IN NOTE #2 ABOVE, AND VEGETATED WITHIN 14 DAYS OF THE COMPLETION OF CONSTRUCTION.
7.

CONTRACTOR SHALL WATER ALL VEGETATION AND GRASS ON A WEEKLY BASIS AS NEEDED TO ENSURE GRASS AND PLANT SURVIVAL UNTIL AFTER THE SCM IS CERTIFIED AND ACCEPTED BY THE TOWN.

TOWN OF KNIGHTDALE SCM INSPECTION NOTES:

1.

WHEN SCHEDULING INSPECTIONS, PLEASE CALL THE PUBLIC WORKS ADMINISTRATIVE ASSISTANT AT (919) 217-2250.
2.

THE FOLLOWING PERSONNEL MUST BE PRESENT AT ALL INSPECTIONS:

1)

SITE SUPERVISOR

2)

GEOTECH

3)

AS-BUILT CERTIFYING ENGINEER OR SOMEONE UNDER THEIR SUPERVISION
3.

THE FOLLOWING ITEMS MUST BE INSPECTED BY TOK STAFF DURING THE INSTALLATION OF ANY SCM WITH DAM:

1)

KEY TRENCH EXCAVATION

2)

PRINCIPAL SPILLWAY PIPE AND ASSOCIATED COMPONENTS:

a.

CONCRETE CRADLE

b.

ANTI-SLEEP COLLAR

c.

SEEPAGE DIAPHRAGM

3)

OUTLET STRUCTURE

4)

ANTI-FLOATATION BALLAST

5)

ANY SITE-CONSTRUCTED REINFORCED CONCRETE STRUCTURES
4.

THE FOLLOWING ITEMS MUST BE INSPECTED BY TOK STAFF DURING THE INSTALLATION OF ANY SAND FILTERS OR BIORETENTION DEVICES:

a.

SUBGRADE OR CONSTRUCTED FOUNDATION

b.

OUTLET OR RISER IN COMBINATION WITH CONNECTING UNDERDRAINS

c.

FILTER MEDIA

d.

DAM ITEMS ON PREVIOUS LIST IF APPLICABLE
5.

GEOTECHNICAL TESTING AND CERTIFICATION - ALL REPORTS ARE TO BE SUBMITTED WITHIN 30-DAYS OF DAM COMPLETION. REQUIRED GEOTECHNICAL RECORDS INCLUDE:

1)

DAM EMBANKMENT MATERIAL COMPOSITION AND DENSITY TESTING

2)

MAP THAT LABELS ALL POINTS WHERE THE DAM AND DAM FOUNDATION AREAS WERE TESTED.

3)

DIGITAL PHOTOS SHOWING THE DAM FOUNDATION AREAS, THE RISER, THE PRINCIPAL SPILLWAY PIPE, THE CONCRETE CRADLE, THE SEEPAGE DIAPHRAGM, RELIEF DRAINS, ETC., BEING INSTALLED.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA

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107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601

Phone: 919 848 4399 | Fax: 919 948 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:	MODER'S REALTY, INC. 101 FOREST DRIVE, STE. B-205 KNIGHTDALE, NORTH CAROLINA 27545
DATE:	06/24/2022
PROJECT ENGINEER:	PJP
PROJECT CAD DESIGNER:	PJP
PROJECT SURVEYOR:	WAKE COUNTY, GS

700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

LEGENDS & NOTES

DRAFT

NO.	REVISION	DATE

DRAWING SHEET

C-0.2

PROJECT NUMBER

627-22

F:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\4-Design\627-22 C-01.dwg Jun 20, 2024 - 11:34am BY:lkranzt

BK019337PG01398

WAKE COUNTY, NC 49
TAMMY L. BRUNNER
REGISTER OF DEEDS
PRESENTED & RECORDED ON
05/18/2023 12:34:05

BOOK:019337 PAGE:01398 - 01402

Prepared by and Return to:
Town of Knightdale
950 Steeple Square Court
Knightdale, North Carolina 27545



NORTH CAROLINA
WAKE COUNTY

TOWN OF KNIGHTDALE

950 STEEPLE SQUARE COURT • KNIGHTDALE, NC 27545
OFFICE (919) 217-2242 • FAX (919) 217-2249

ORDER GRANTING A VARIANCE

THE TOWN OF KNIGHTDALE

On the date listed below, the Knightdale Board of Adjustment, held a public hearing to consider the following application:

APPLICANT: Morningstar Law Group
PROPERTY OWNERS: Jackie Moore, Moore's Realty, Inc.
(Formerly Owned by Greg and Angela Jones)
PROJECT NUMBER: VAR-5-22
PROJECT LOCATION: 700 Old Knight Road
WAKE COUNTY PIN: 1754-56-9791
BOARD OF ADJUSTMENT MEETING DATE: October 25, 2022

BK019337PG01401

NORTH CAROLINA
WAKE COUNTY

IN WITNESS WHEREOF, the Town of Knightdale has caused this order to be issued in its name, and the undersigned being all of the property owners of the properties above described, do hereby accept this Variance, together with all its conditions, as binding upon them and their successors in interest or ownership.

Jackie Moore
Jackie Moore, Moore's Realty, Inc.

ATTEST:

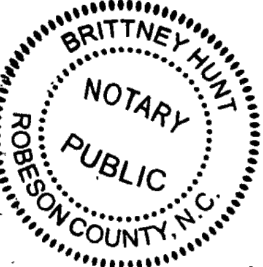
Heather M. Smith
Heather M. Smith, Town Clerk



I, Brittney Hunt, a Notary Public in and for said County and State, do hereby certify that Heather Smith, Town Clerk of Knightdale, personally came before me this day and being by me duly sworn says that she knows the corporate seal of the Town of Knightdale and that the seal affixed to the foregoing instrument is the corporate seal of the Town of Knightdale, that Heather Smith, Town Clerk for the Town of Knightdale subscribed her name thereto; that the corporate seal of the Town of Knightdale was affixed thereto, all by virtue of an order of the Board of Adjustment and that said instrument is the act and deed of the Town of Knightdale.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 18th day of May, 2023.

Brittney Hunt
Notary Public
My Commission Expires: 11/16/2027



BK019337PG01399

The Board of Adjustment, for the Town of Knightdale held a public hearing on Tuesday, October 25, 2022 to receive evidence presented by interested parties on a request for variance from the Knightdale Unified Development Ordinance.

The Board of Adjustment, having considered the verified application, the staff reports, and the testimony, exhibits, and arguments presented at the public hearing, makes the following FINDINGS OF FACT:

- Applicants seek a variance to Section 6.9 of the Town of Knightdale Unified Development Ordinance (UDO) to allow for the construction of a commercial building type at 700 Old Knight Road in Knightdale. The proposed commercial building will have a maximum front setback of 78 feet, where a minimum of 10 feet and maximum of 30 feet is required per the UDO.
- There is present in this matter an identified hardship based on the existing sewer easement, cross-access easement, and wetlands on the lot. These constraints restrict the buildable area along the lot frontage making the construction of the proposed building not possible within the existing front yard setbacks.
- There is present in this matter an identified hardship in the way of carrying out the strict application of the Ordinance regarding the front yard setback requirements prescribed by the UDO. The intent of the front yard setback maximum in UDO section 6.9 is to provide convenient automobile access from the fronting thoroughfare, while minimizing the negative impacts of parking lots on an active pedestrian realm. The proposed parking is shown in the rear and side yards of the property. The proposed development permits reasonable use of the property and maintains public interest in the existing sewer easement.
- Neither of the above hardships is a result of any action taken by the applicants. The sewer and cross access easement agreements were entered into by the owners prior to the adoption of Section 6.9 of the UDO requiring a maximum setback of 30 feet. Prior to the UDO update in 2021, the UDO had a maximum front setback of 90 feet for the Highway Business zoning district.

THEREFORE, based on the foregoing Findings of Fact, the Board of Adjustment makes the following CONCLUSIONS OF LAW:

- There are unnecessary hardships in complying with the strict application of the Ordinance.
- The identified hardships result from conditions peculiar to the property, including location, size and topography.
- The identified hardships did not result from actions taken by the applicant or property owners; and
- The variance is consistent with the spirit, purpose and intent of this Ordinance; such that public safety is secured and substantial justice is achieved.

Having heard all of the evidence and arguments presented at the hearing, the Board of Adjustment hereby grants the variance VAR-5-22. A variance is granted from the following sections of the Unified Development Ordinance:

BK019337PG01402



BOOK:019337 PAGE:01398 - 01402



Please retain yellow trailer page

It is part of the recorded document and must be submitted with the original for re-recording.

Tammy L. Brunner
Register of Deeds

Wake County Justice Center
300 South Salisbury Street, Suite 1700
Raleigh, NC 27601

- ☐ New Time Stamp ☐ \$25 Non-Standard Fee
☐ Additional Document Fee ☐ Additional Reference Fee

This Customer Group
of Excessive Entities
of Time Stamps Needed

This Document
5 # of Pages

BK019337PG01400

Section 6.9 Commercial Building Type Standards (Front Setbacks). The Unified Development ordinance requires a minimum front setback of 10 feet and maximum front setback of 30 feet. The applicant is specifically granted a front maximum setback of 78 feet.

This order of the Board of Adjustment in granting this Variance shall expire if a building permit has not been obtained within two (2) years from the date of its decision.

Ordered this 3rd day of November, 2022 and subsequently revised on this 17th day of May, 2023.

Joe Mecca
Acting Chairperson, Joe Mecca
Board of Adjustment

NOTE: If you are dissatisfied with the decision of this board, an appeal may be taken to the Superior Court of Wake County within thirty (30) days after the date this order is served on you. See Chapter 12, Development Process, of the Knightdale Unified Development Ordinance.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA
Engineering & Consulting



107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 848 4399 | Fax: 919 948 4392 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
MOORE'S REALTY, INC.
101 FOREST DRIVE, STE. B-205
KNIGHTDALE, NORTH CAROLINA 27545

DATE: 06/24/2022
PROJECT ENGINEER:
PJP

PROJECT CAD DESIGNER:
PJP

PROJECT SURVEYOR:
PJP

PROJECT SURVEYOR:
PJP

700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

APPROVED VARIANCE DOCUMENT

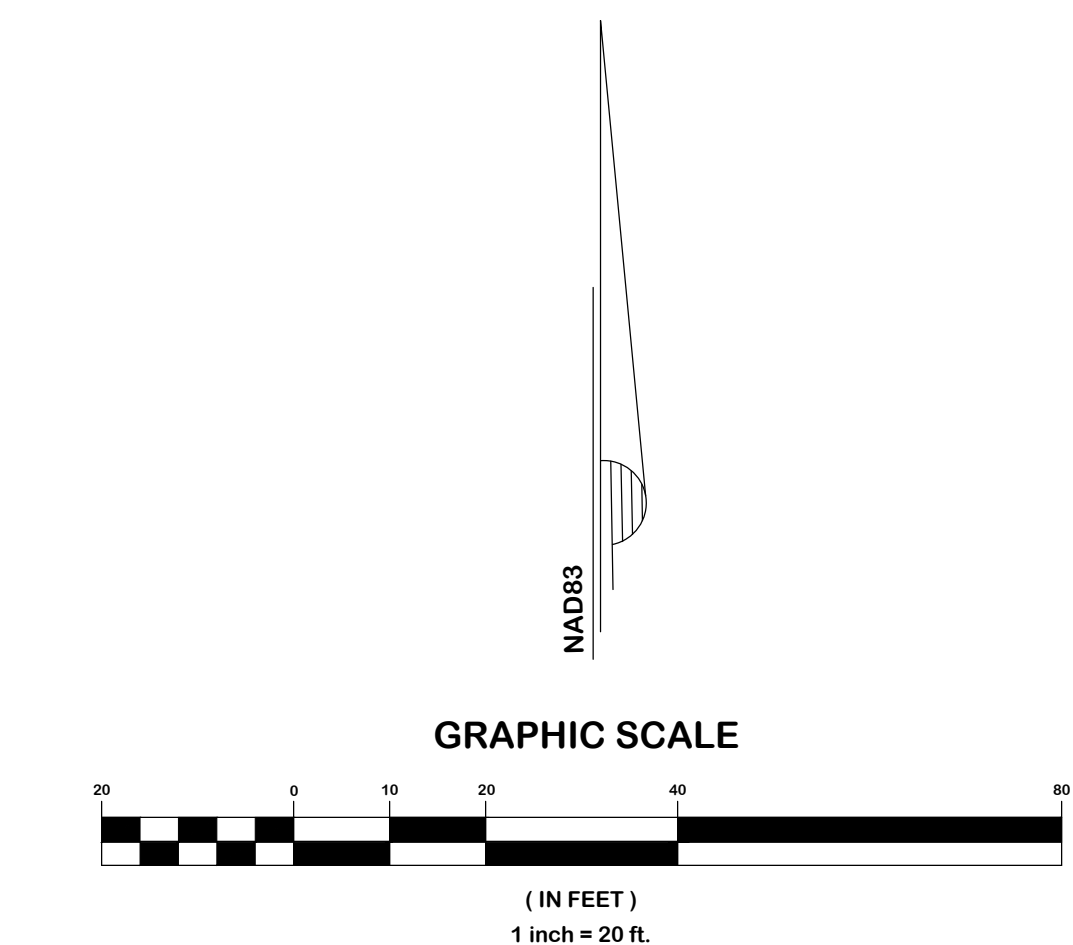
DRAFT

NO.	REVISION	DATE

DRAWING
SHEET

C-0.3

PROJECT NUMBER
627-22



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.



PABST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 618 4397 | Fax: 919 618 4395 | INC LICENSE NUMBER C-3311

PREPARED FOR : MOORE'S REALTY, INC. 101 FOREST DRIVE, STE. B-205 KNOTHDALE, NORTH CAROLINA 27545
DATE : 06.24.2022
PROJECT ENGINEER: PDP
PROJECT CADD DESIGNER: PDP
PROJECT SURVEYOR: WAKE COUNTY GIS

700 OLD KNIGHT ROAD OFFICE BUILDING
KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA
**MASTER PLAN
SITE LAYOUT**

DRAFT

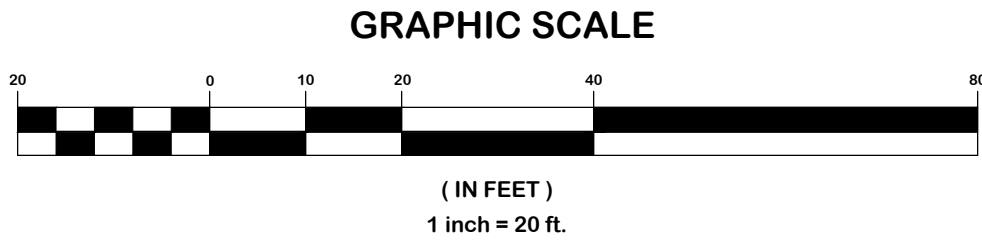
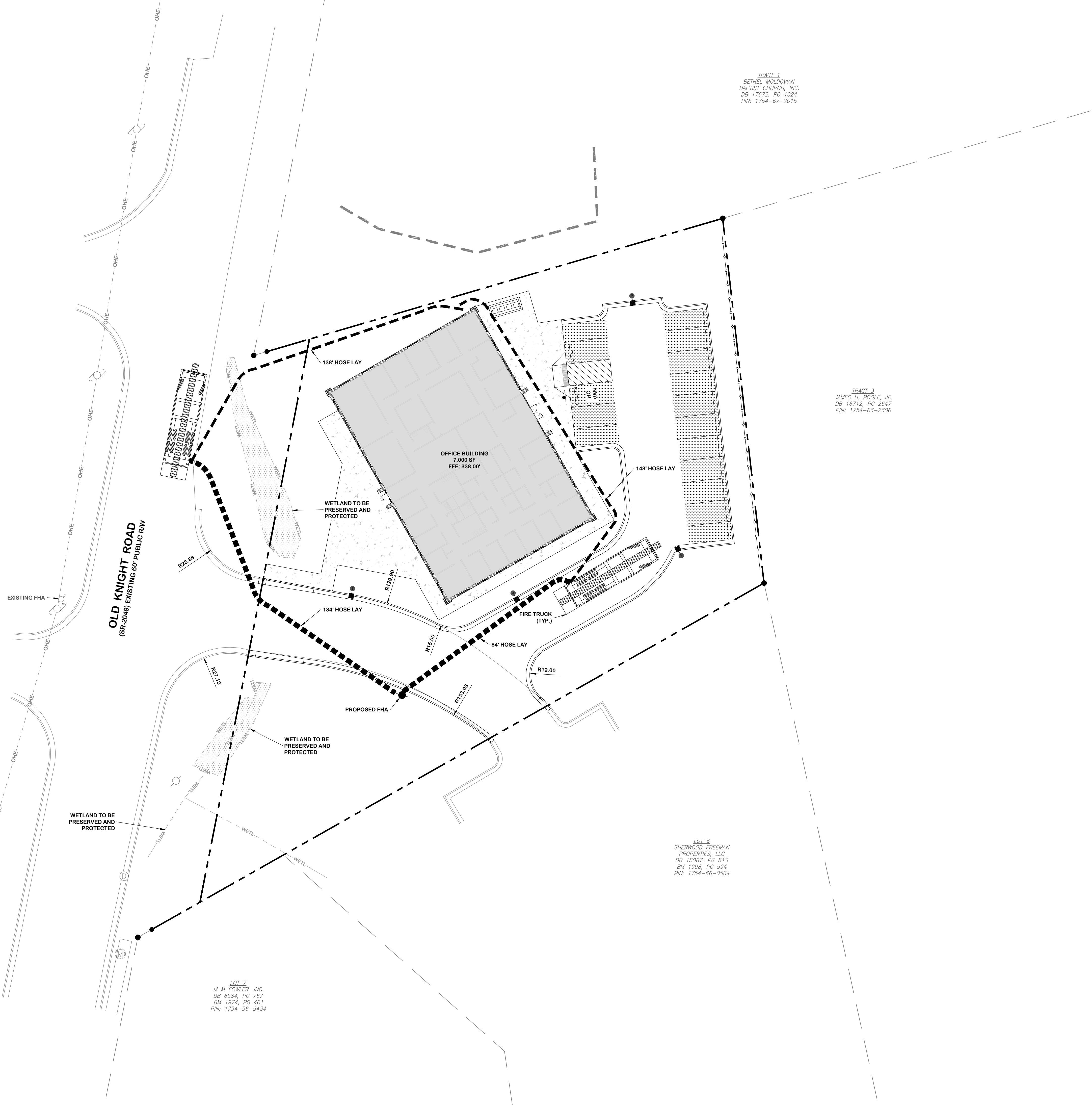
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DRAWING
SHEET
C-2.0

PROJECT NUMBER
627-22

F:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\54-Design\527-22 C-2.0.dwg Jun 20, 2024 - 2:20pm BY:lkrentz

F:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\54-Design\627-22 C-21.dwg Jun 20, 2024 - 11:36am BY:lkrantz



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PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 944 4399 | Fax: 919 948 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:	MOORE'S REALTY, INC. 101 FOREST DRIVE, STE. B-205 KNIGHTDALE, NORTH CAROLINA 27545
DATE :	06/24/2022
PROJECT ENGINEER:	PJP
PROJECT CAD DESIGNER:	PJP
PROJECT SURVEYOR:	WAKE COUNTY, GS

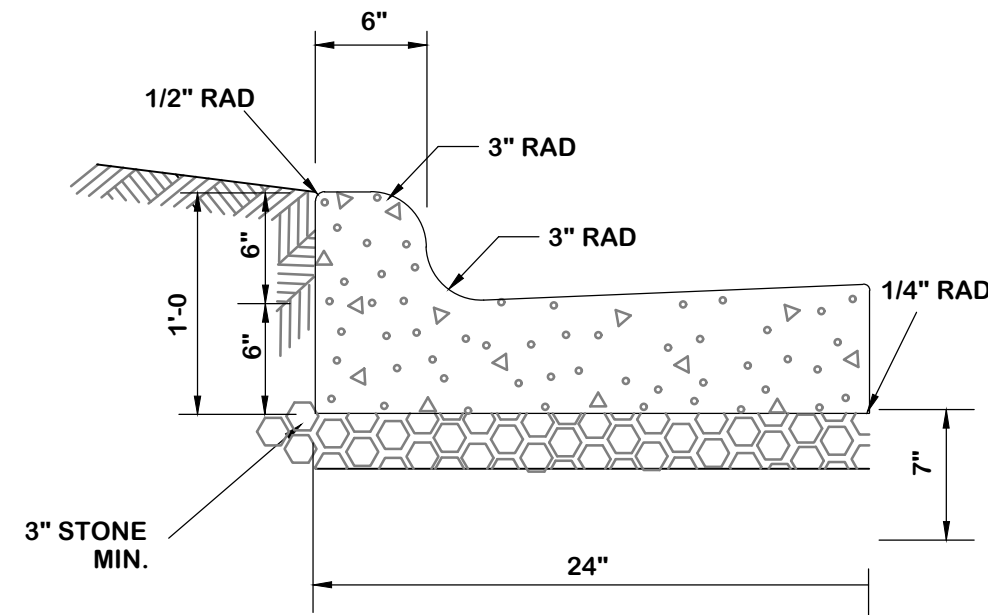
700 OLD KNIGHT ROAD OFFICE BUILDING
KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
FIRE APPARATUS ACCESS PLAN

DRAFT

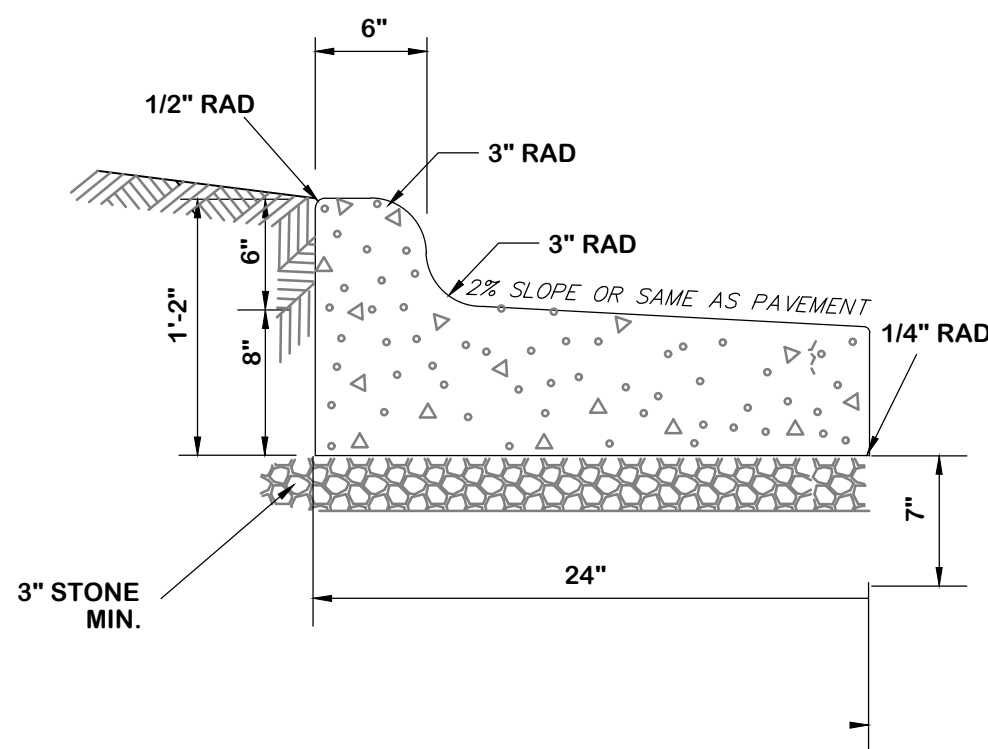
NO.	REVISION	DATE

DRAWING SHEET
C-2.1
PROJECT NUMBER
627-22

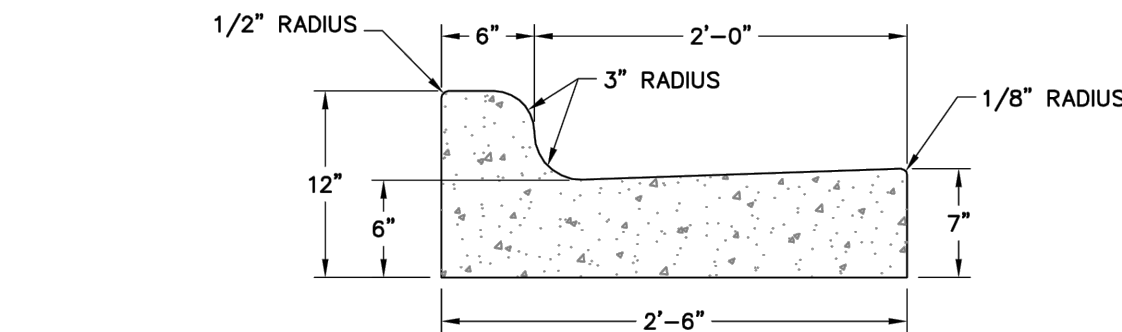
F:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\54-Design\627-22 D-1 Series.dwg Jun 20, 2024 -- 11:39am B:\krcantz



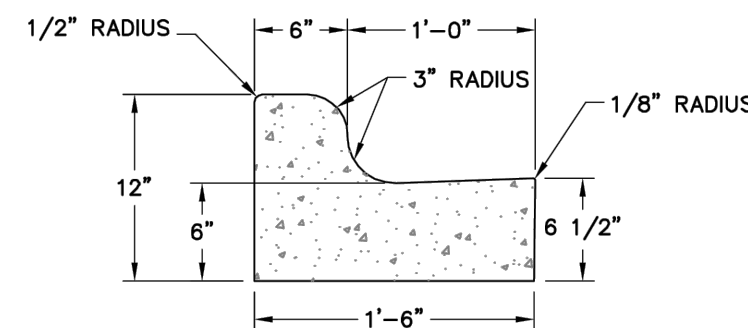
24" CONCRETE CURB & GUTTER
NTS



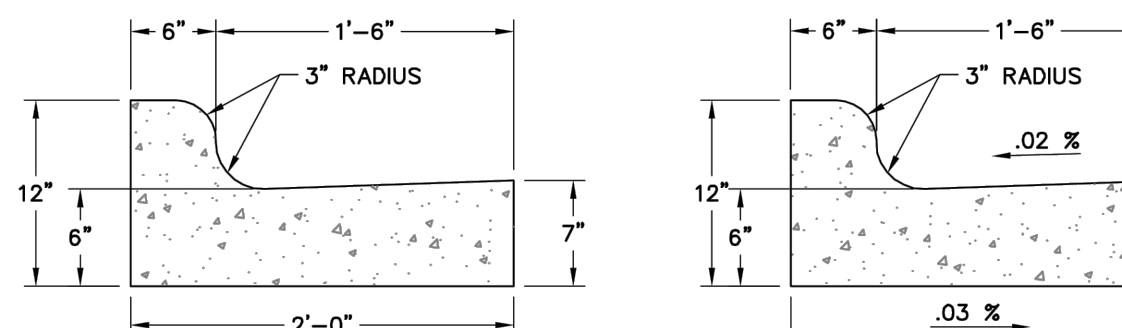
S1 24" CURB AND GUTTER



STANDARD 2'-6" CURB AND GUTTER



1'-6" STANDARD CURB AND GUTTER



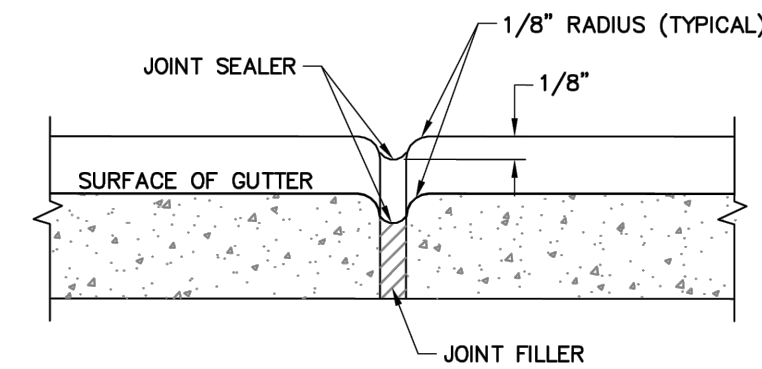
2'-0" STANDARD CURB & GUTTER

SLOPE FOR VARIABLE
SUPER ELEVATION RATES

REVISIONS		1 of 3
DATE	DESCRIPTION	
TOWN OF KNIGHTDALE STANDARD DETAILS		STD. NO. 4.01

CURB AND GUTTER

S2 30" CURB AND GUTTER



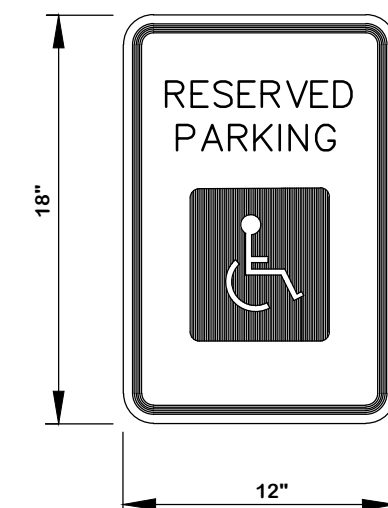
TRANSVERSE EXPANSION JOINT

NOTES:

- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.
- ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.
- CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
- TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

REVISIONS		3 of 3
DATE	DESCRIPTION	
TOWN OF KNIGHTDALE STANDARD DETAILS		STD. NO. 4.01

CURB AND GUTTER



SIGN R7-8
SIGN APPROVED FOR USE
UNDER GENERAL STATUTE 20-37.6

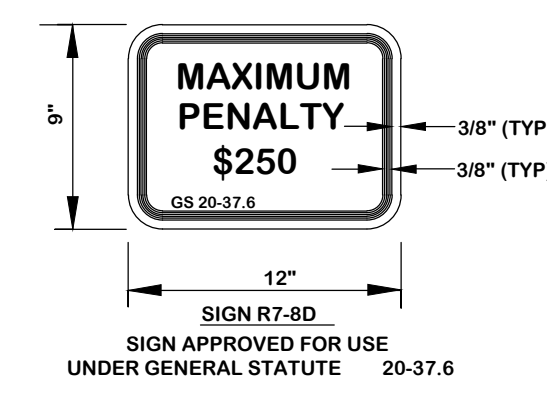
STANDARD COLORS (ALL SIGNS):
BACKGROUND - WHITE
LETTERING/BORDER - GREEN
ARROW - GREEN
FIGURE - WHITE ON BLUE FIELD
CORNER RADIUS - 1 1/2" (TYPICAL)



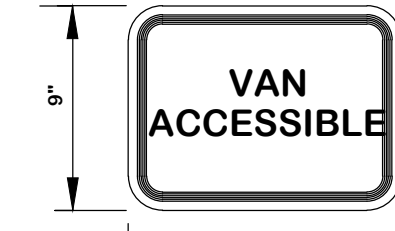
SIGN R7-8E
THIS SIGN MAY BE USED IN
PLACE OF SIGNS R7-8/R7-8D

GENERAL NOTES:

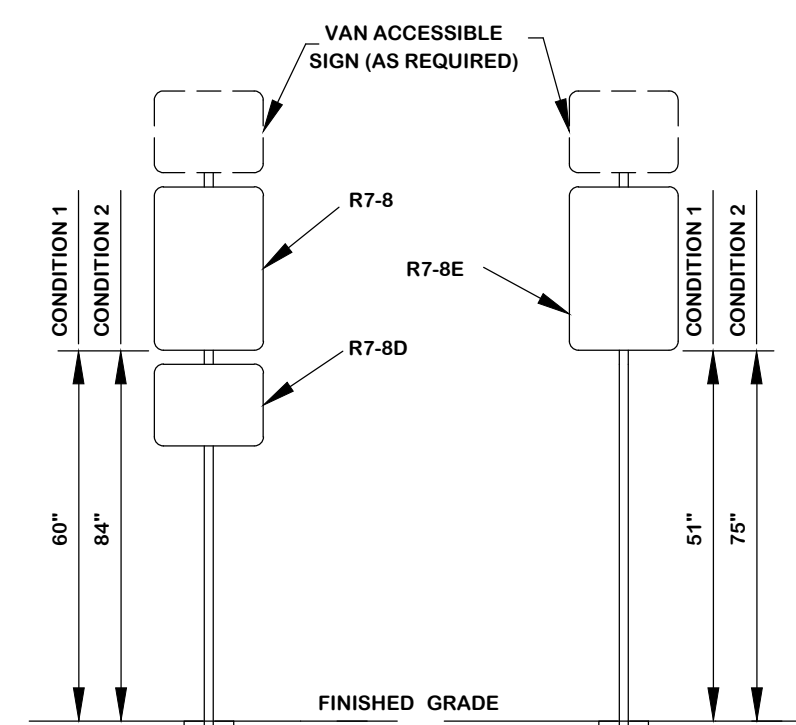
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY. (SEE N.C.G.S.)
- NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
- ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
- STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)



SIGN R7-8D
SIGN APPROVED FOR USE
UNDER GENERAL STATUTE 20-37.6



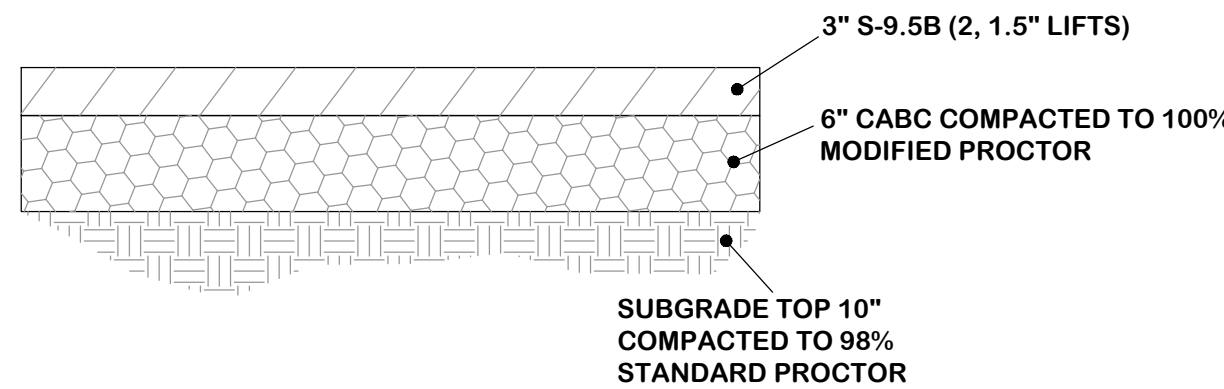
VAN ACCESSIBLE SIGN
SIGN APPROVED FOR USE
UNDER GENERAL STATUTE 20-37.6



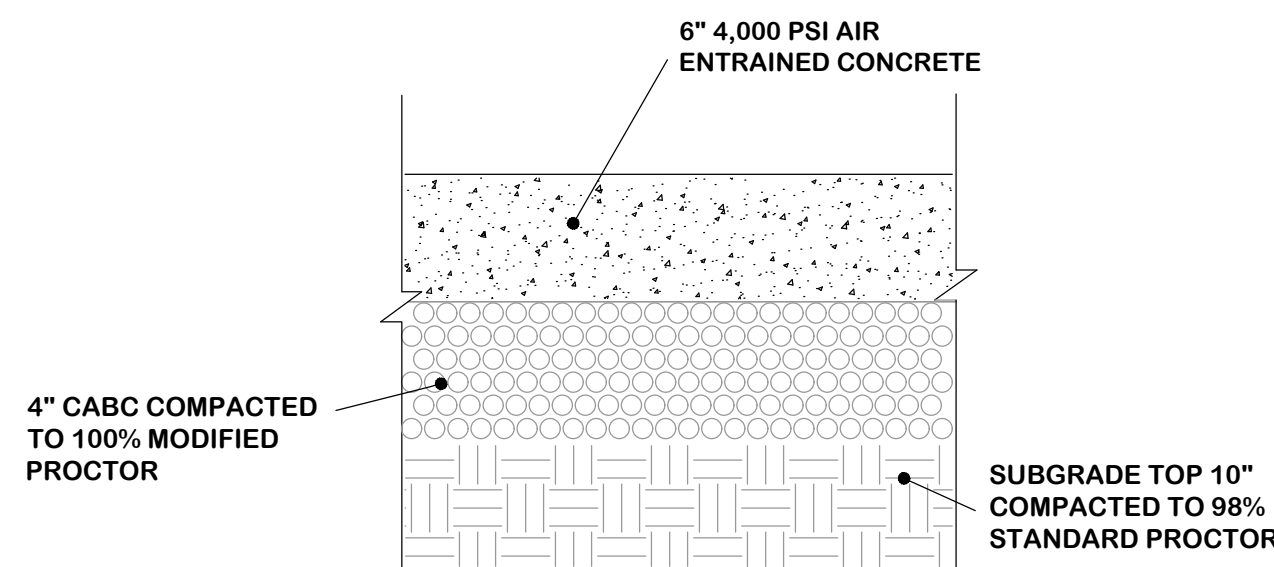
S3 ADA HANDICAP PARKING SIGN

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

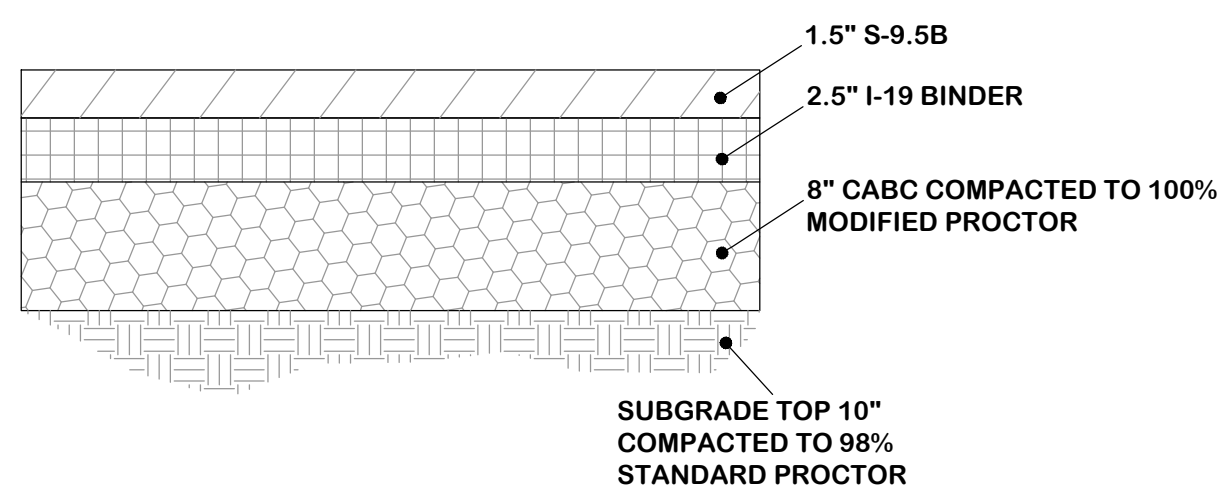
NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.



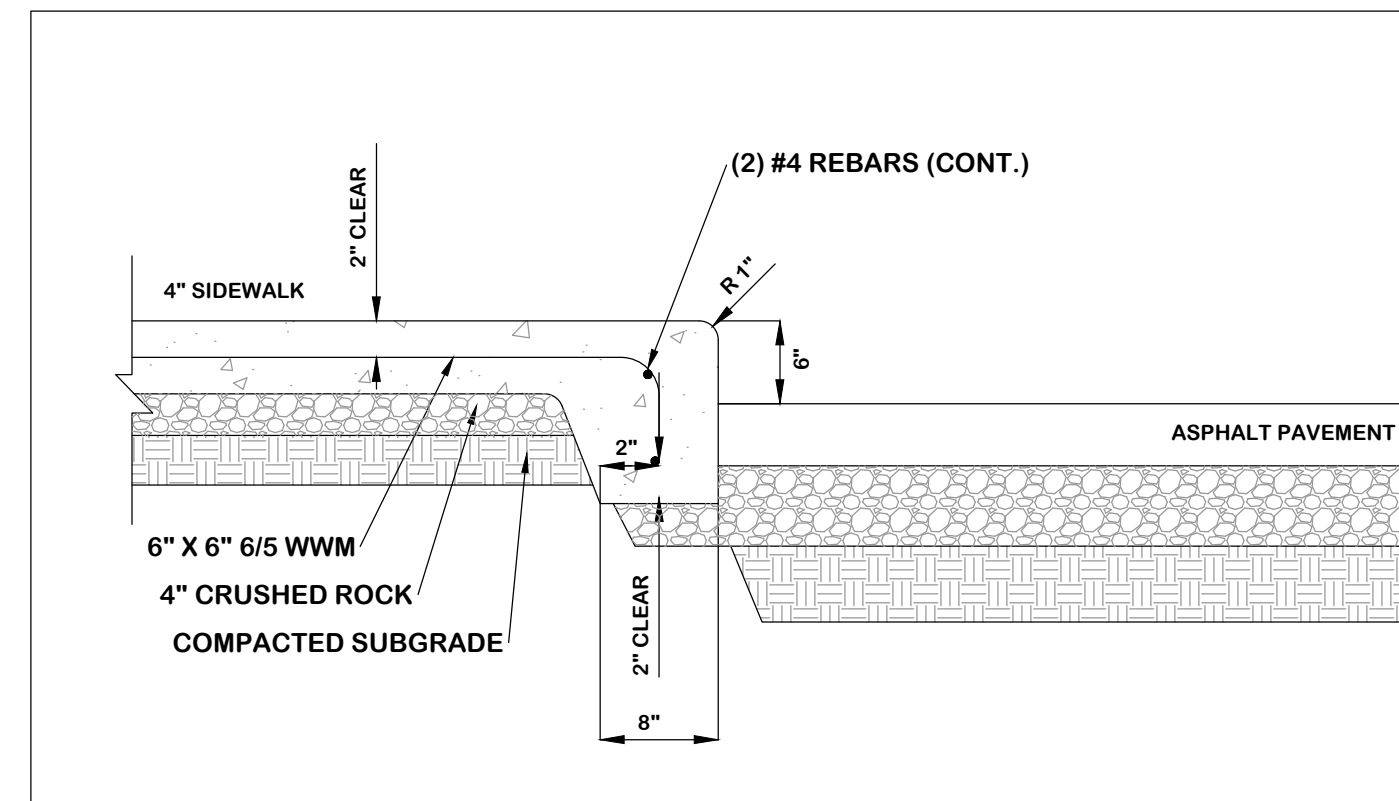
S5 STANDARD DUTY - ASPHALT PAVEMENT SECTION
PAVEMENT SECTION IS FOR REFERENCE ONLY. REFER TO GEOTECHNICAL
SUBSURFACE INVESTIGATION REPORT FOR PAVEMENT SECTION REQUIREMENTS



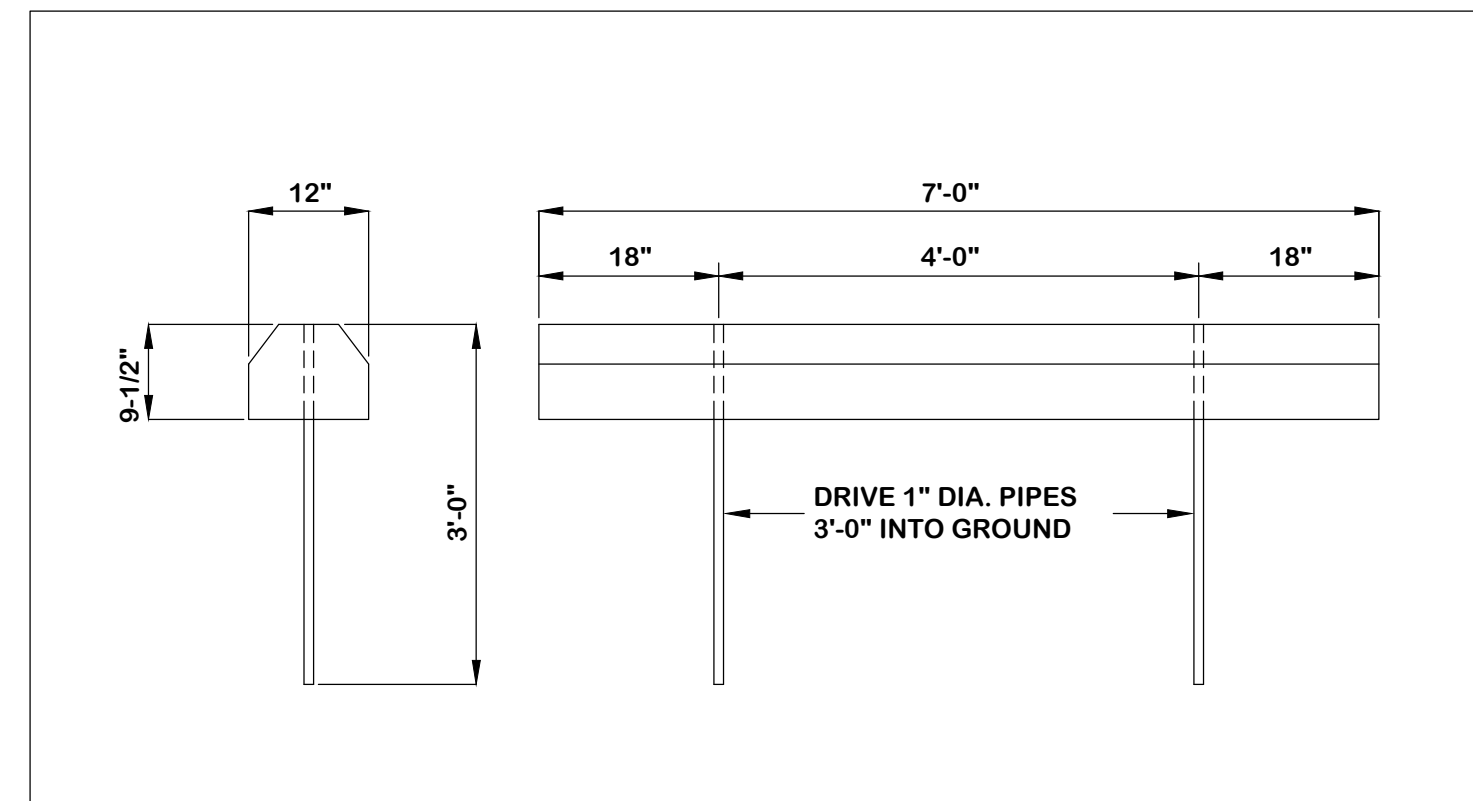
S4 CONCRETE PAVEMENT SECTION
PAVEMENT SECTION IS FOR REFERENCE ONLY. REFER TO GEOTECHNICAL
SUBSURFACE INVESTIGATION REPORT FOR PAVEMENT SECTION REQUIREMENTS



S6 HEAVY DUTY - ASPHALT PAVEMENT SECTION
PAVEMENT SECTION IS FOR REFERENCE ONLY. REFER TO GEOTECHNICAL
SUBSURFACE INVESTIGATION REPORT FOR PAVEMENT SECTION REQUIREMENTS



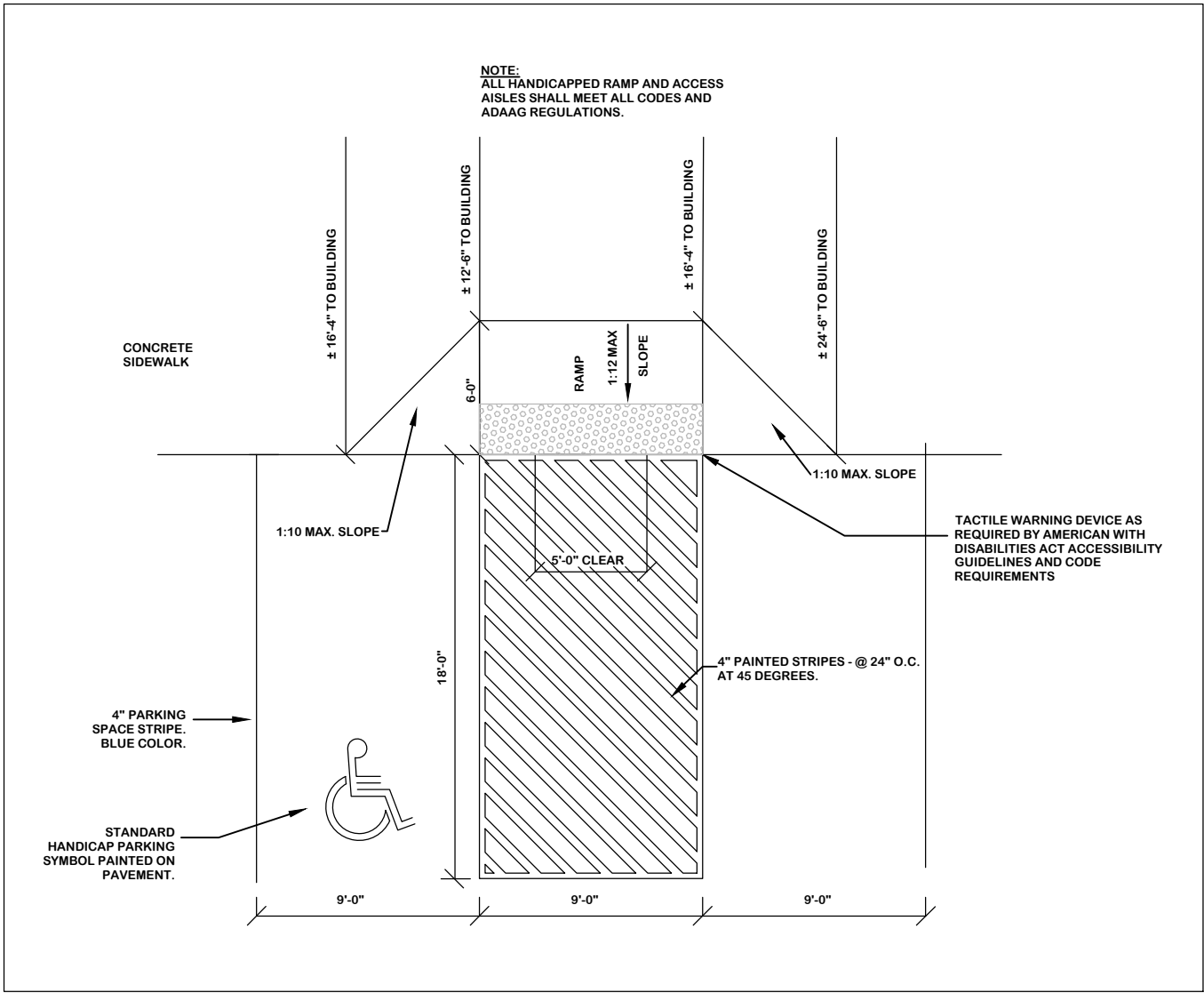
S7 SIDEWALK ADJACENT TO PARKING



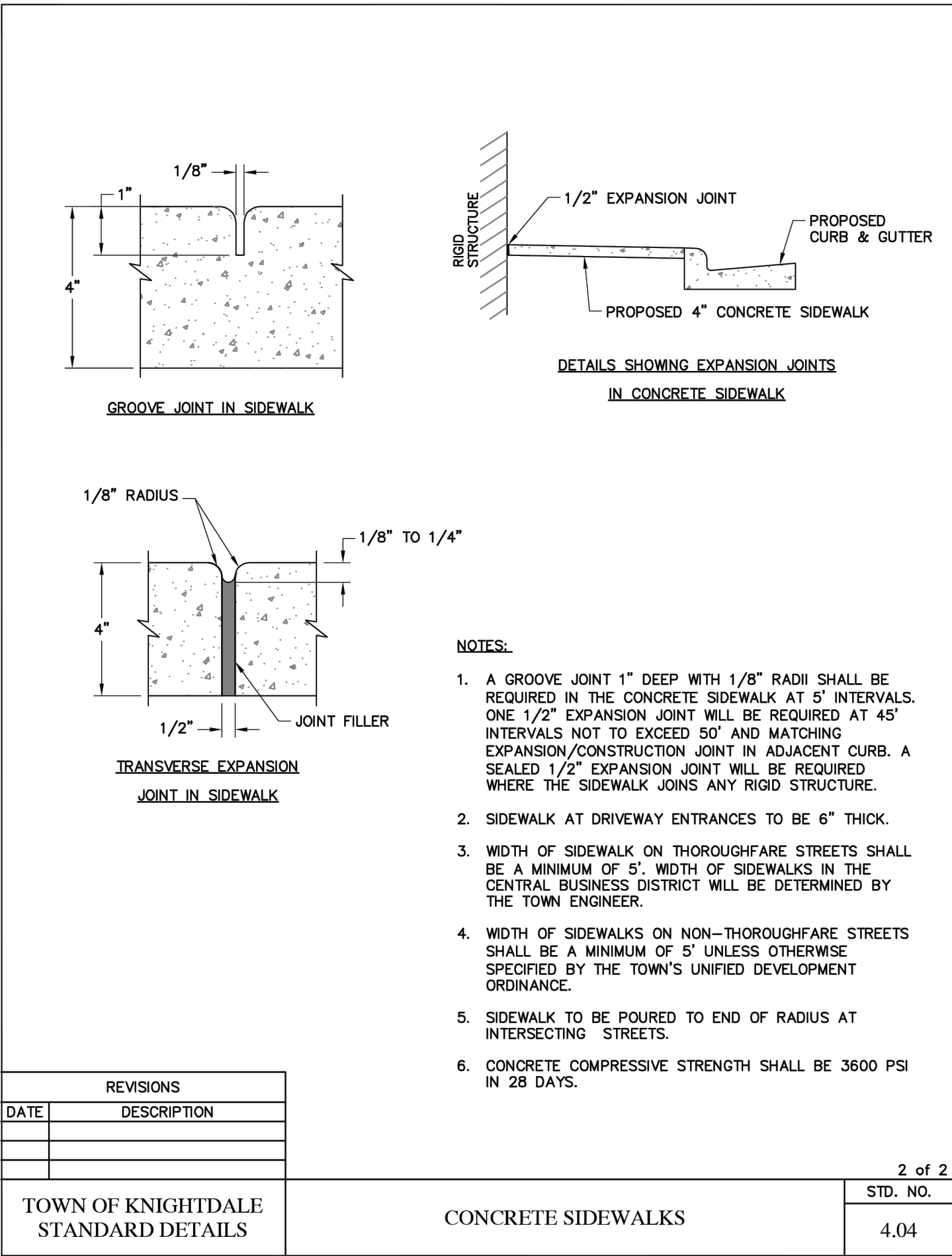
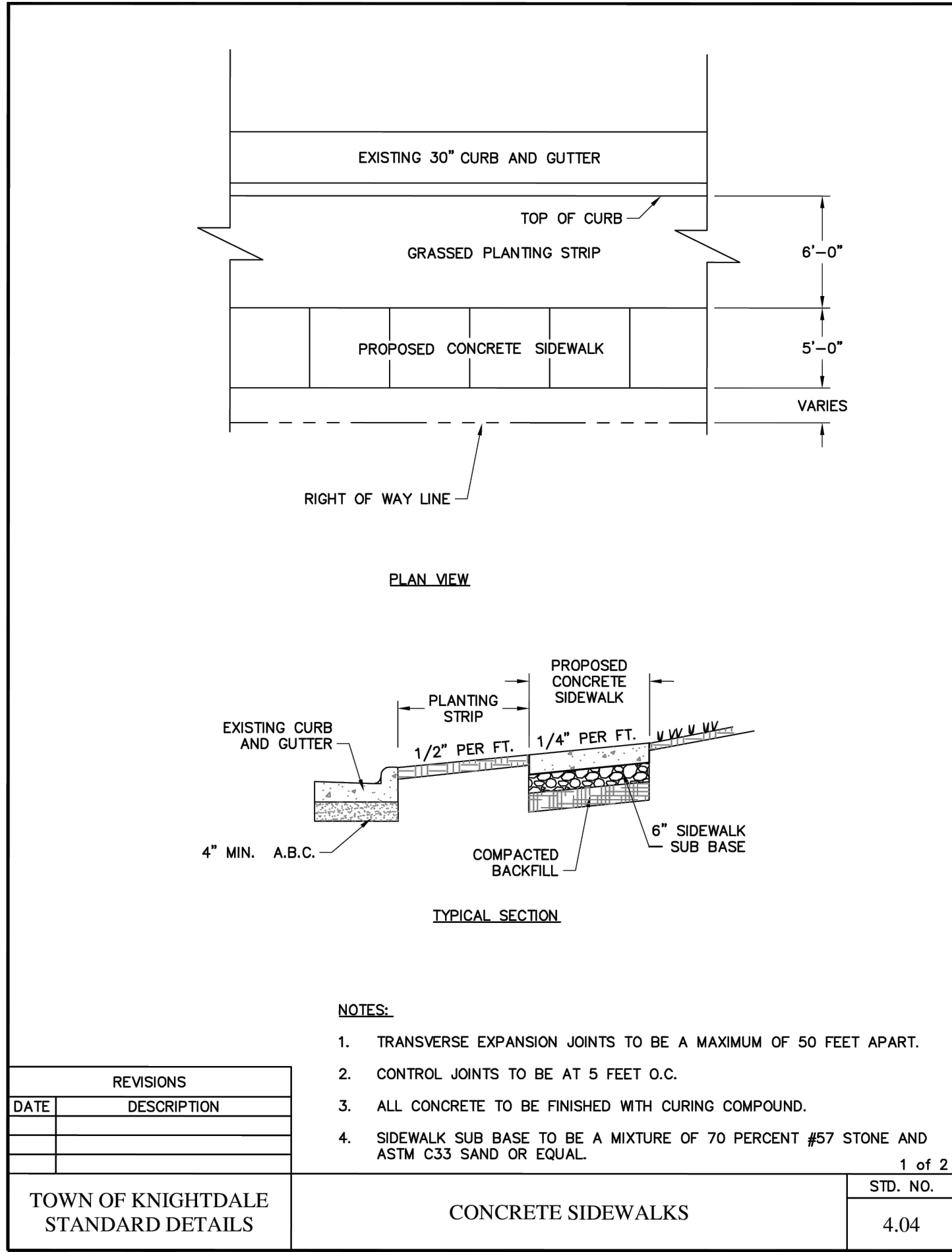
S8 CONCRETE WHEEL STOP

C:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\54-Details\627-22 D-1 Series.dwg Jun 20, 2024 -- 11:39am B:\kicantz

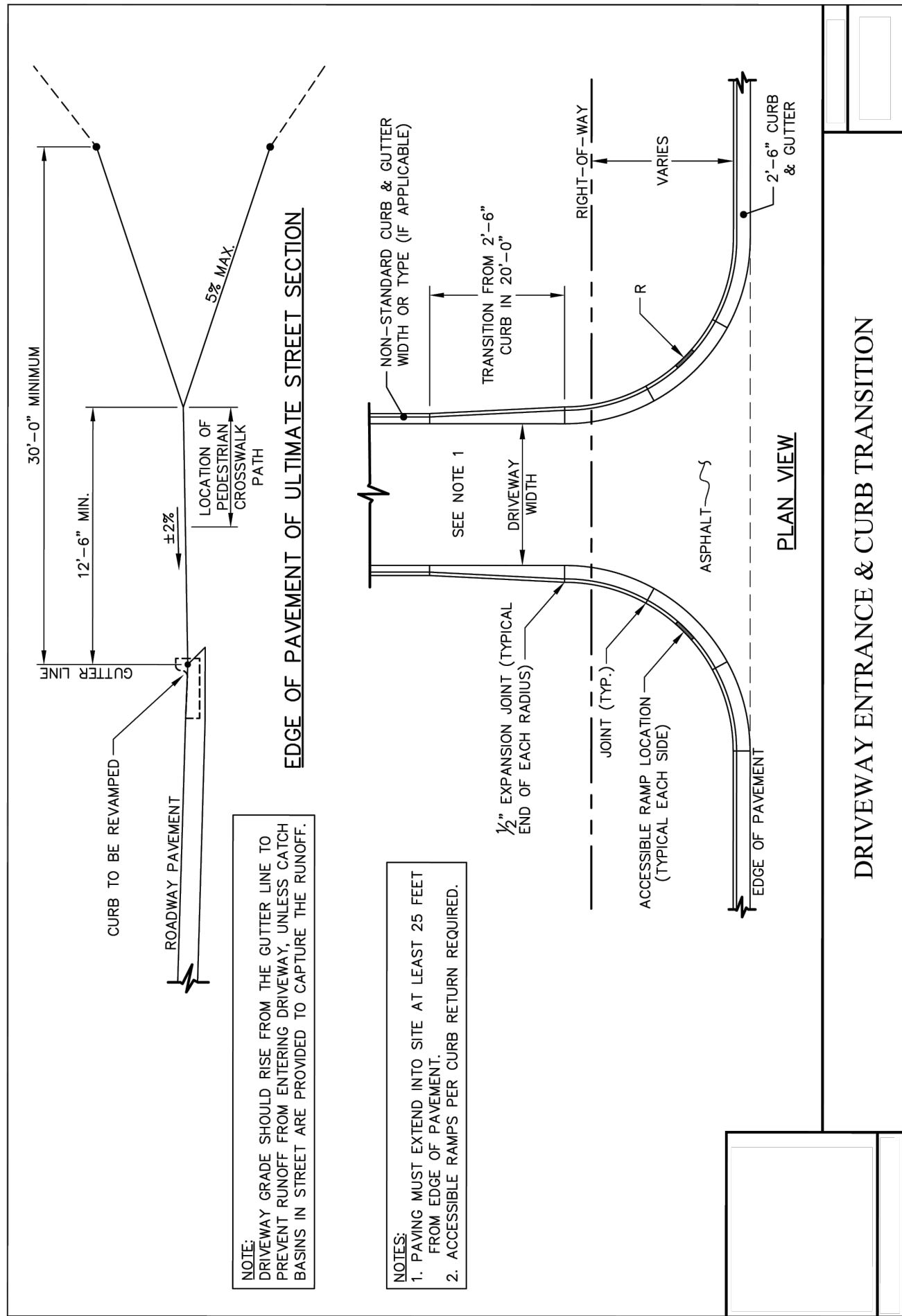
S9 ADA CURB RAMP (PARKING LOT TO SIDEWALK)



S10 CONCRETE SIDEWALK



S11 DRIVEWAY ENTRANCE & CURB TRANSITION



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

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700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
SITE DETAIL SHEET

DRAFT

NO.	REVISION	DATE

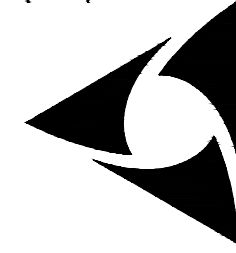
DRAWING
SHEET

D-1.1

PROJECT NUMBER

627-22

PREPARED FOR:
MOORE'S REALTY, INC.
101 FOREST DRIVE, STE. B-205
KNIGHTDALE, NORTH CAROLINA 27545
DATE: 06/24/2022
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
WAKE COUNTY, GS

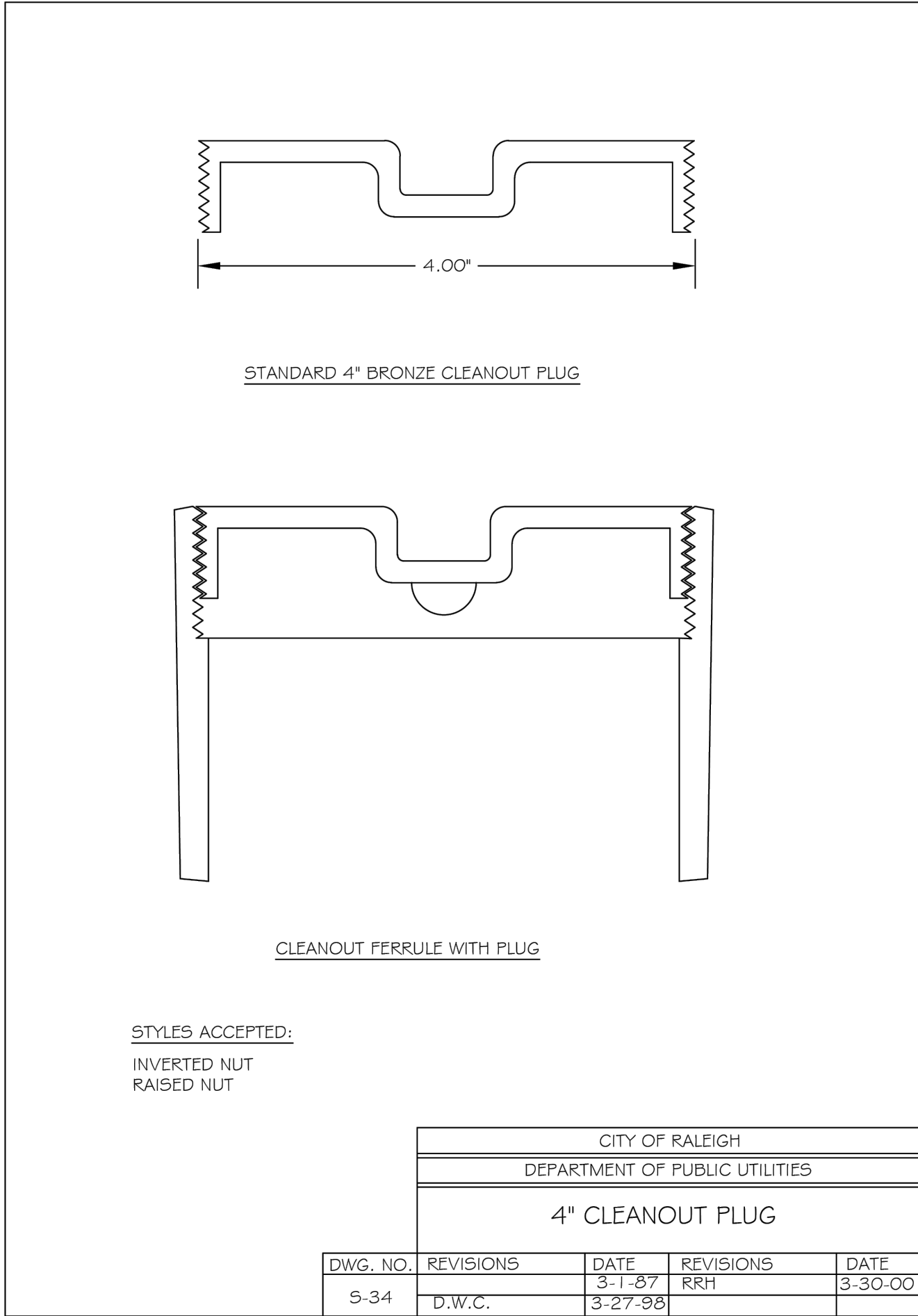


PAST DESIGN GROUP, PA
Engineering | Consulting

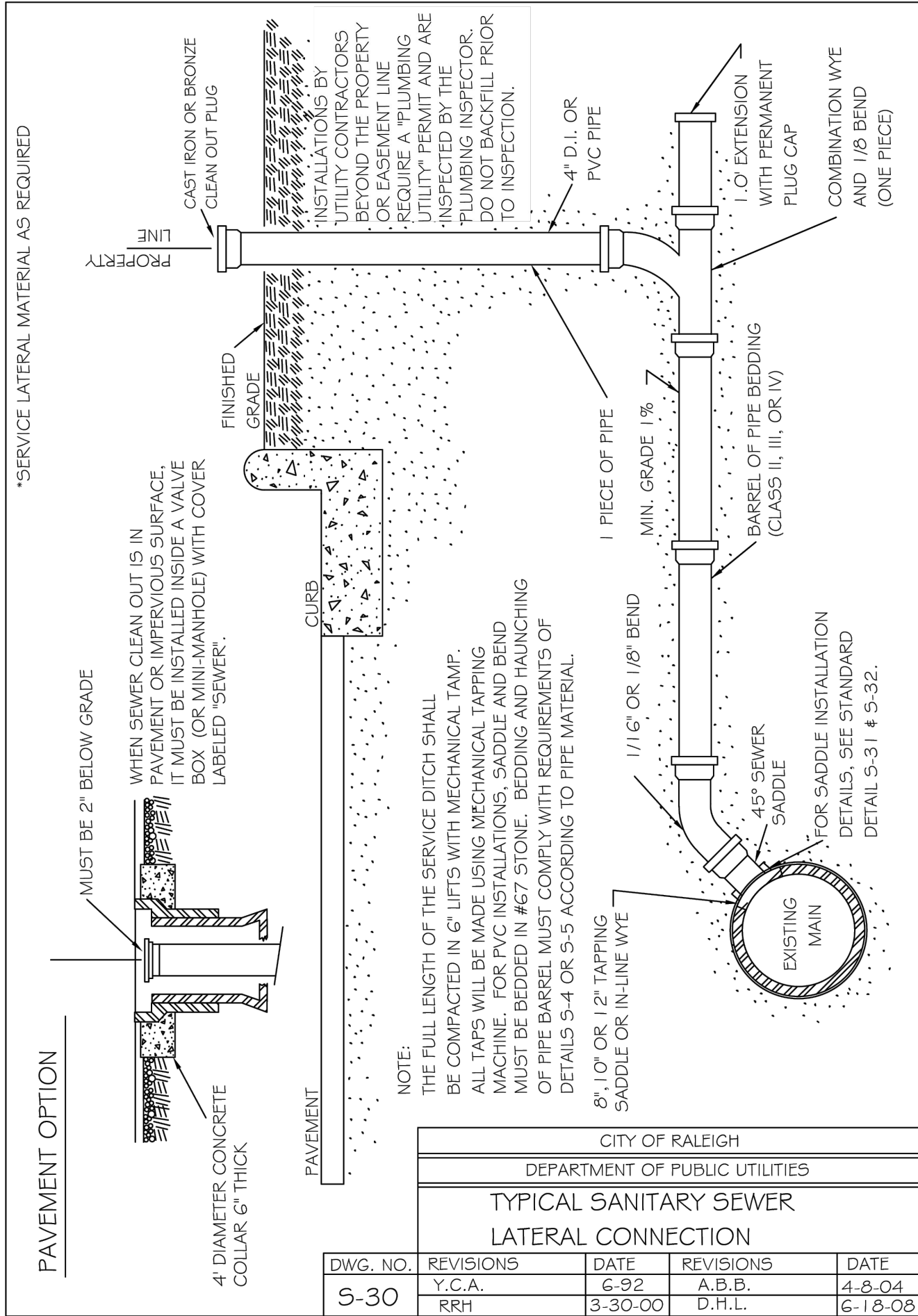
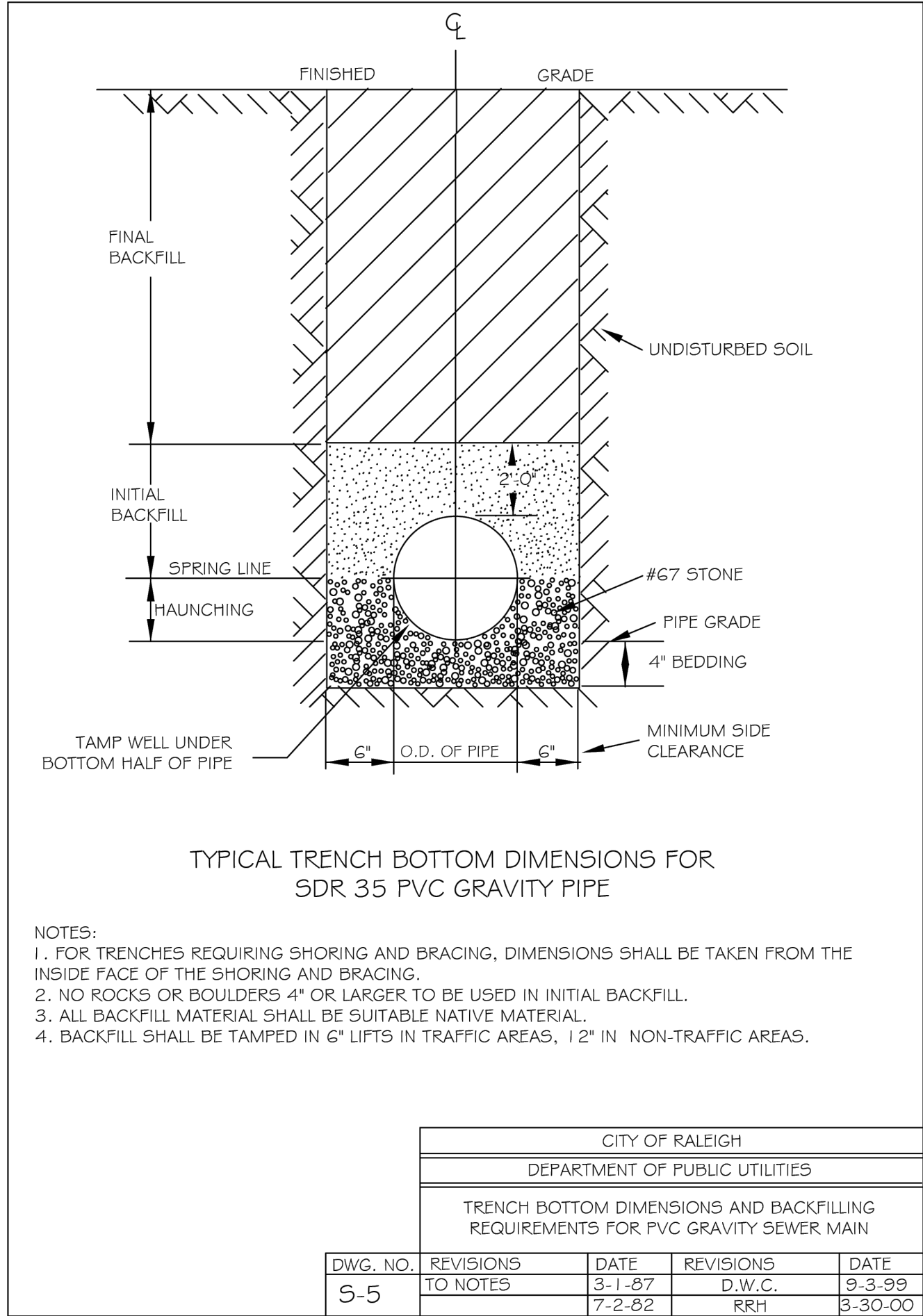
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601

Phone: 919 948 4399 | Fax: 919 948 4395 | NC LICENSE NUMBER: C-3311

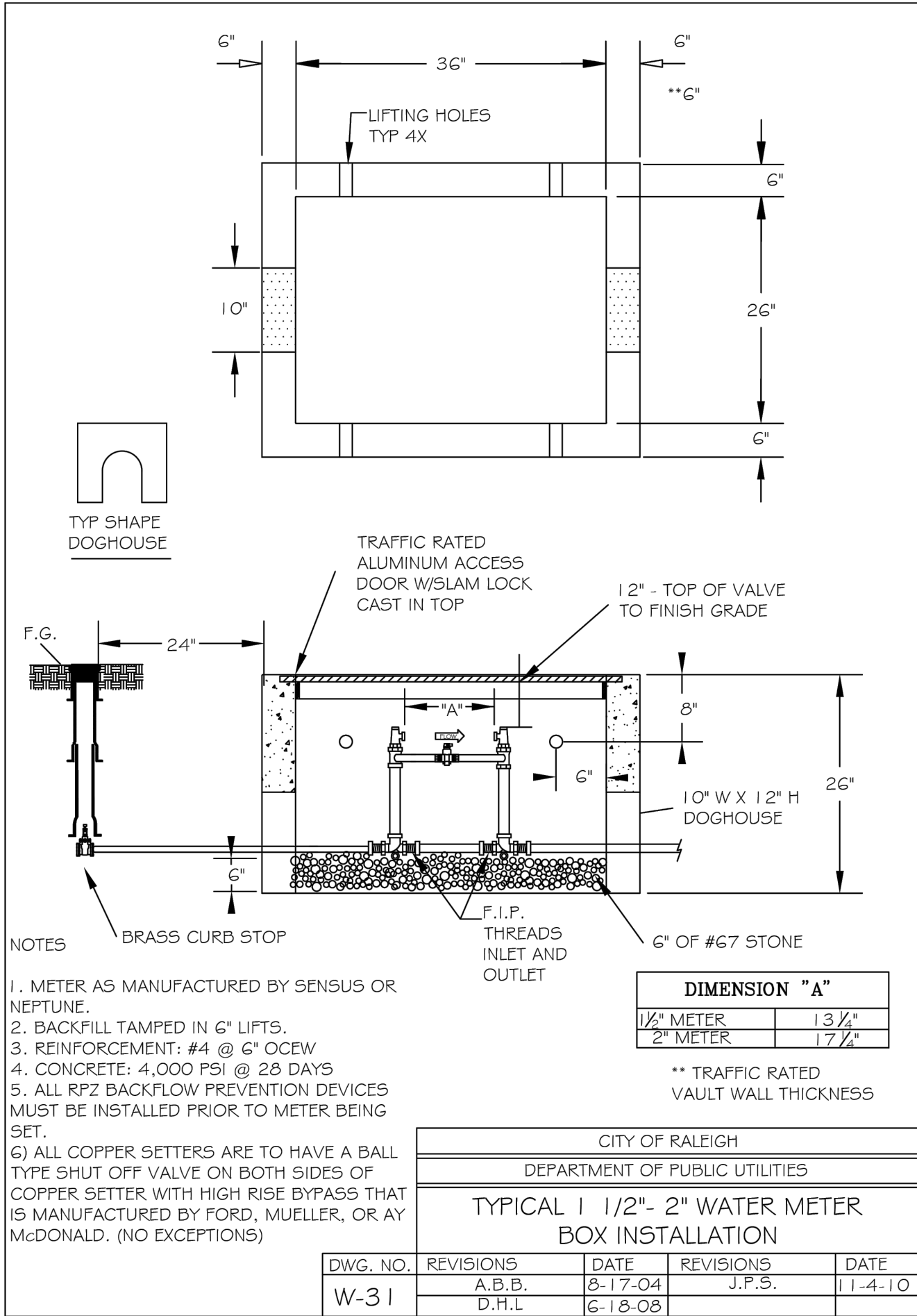
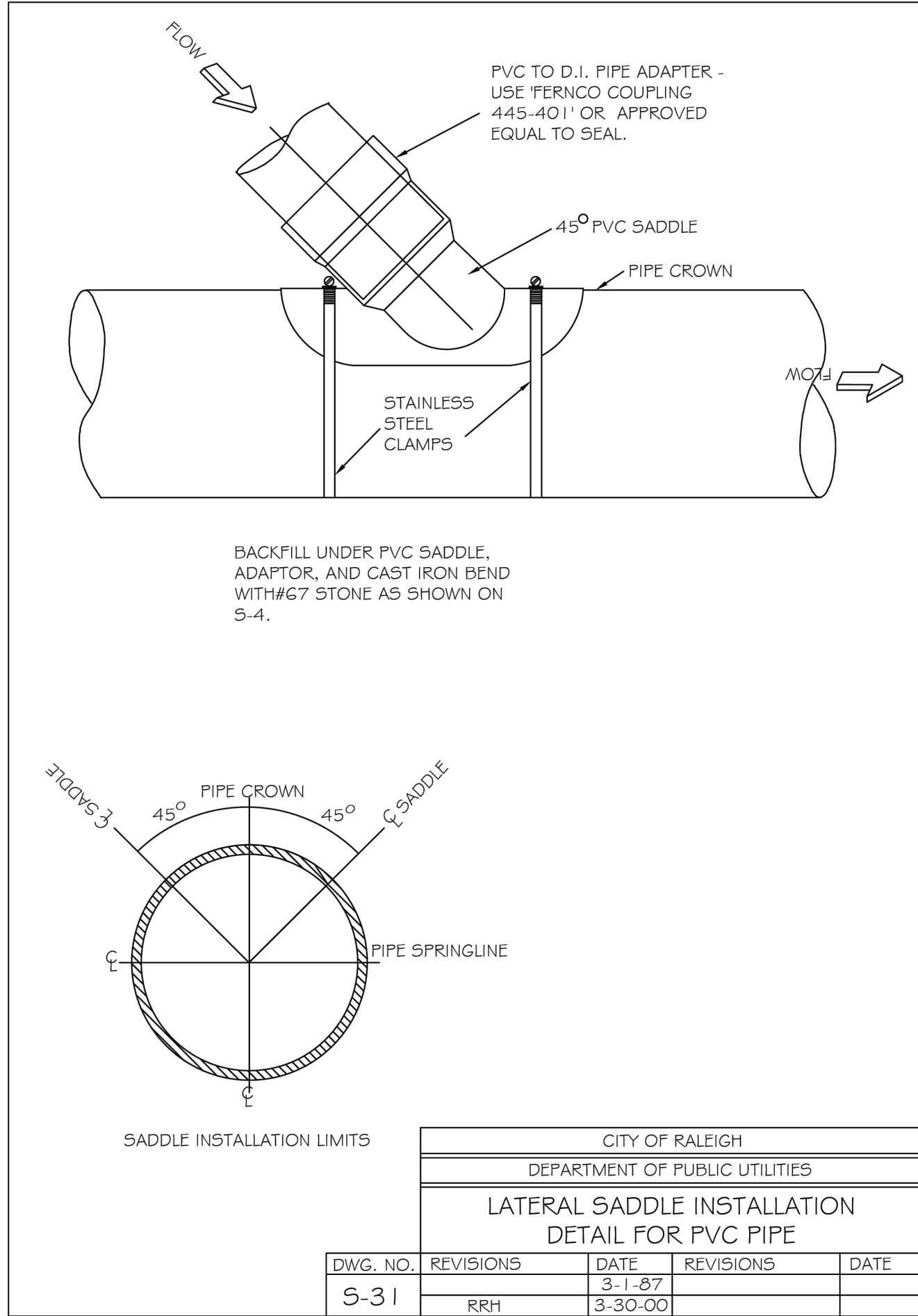
C:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\44-Design\627-22 D-2 Series.dwg Jun 20, 2024 -- 11:40am Btk/krantz



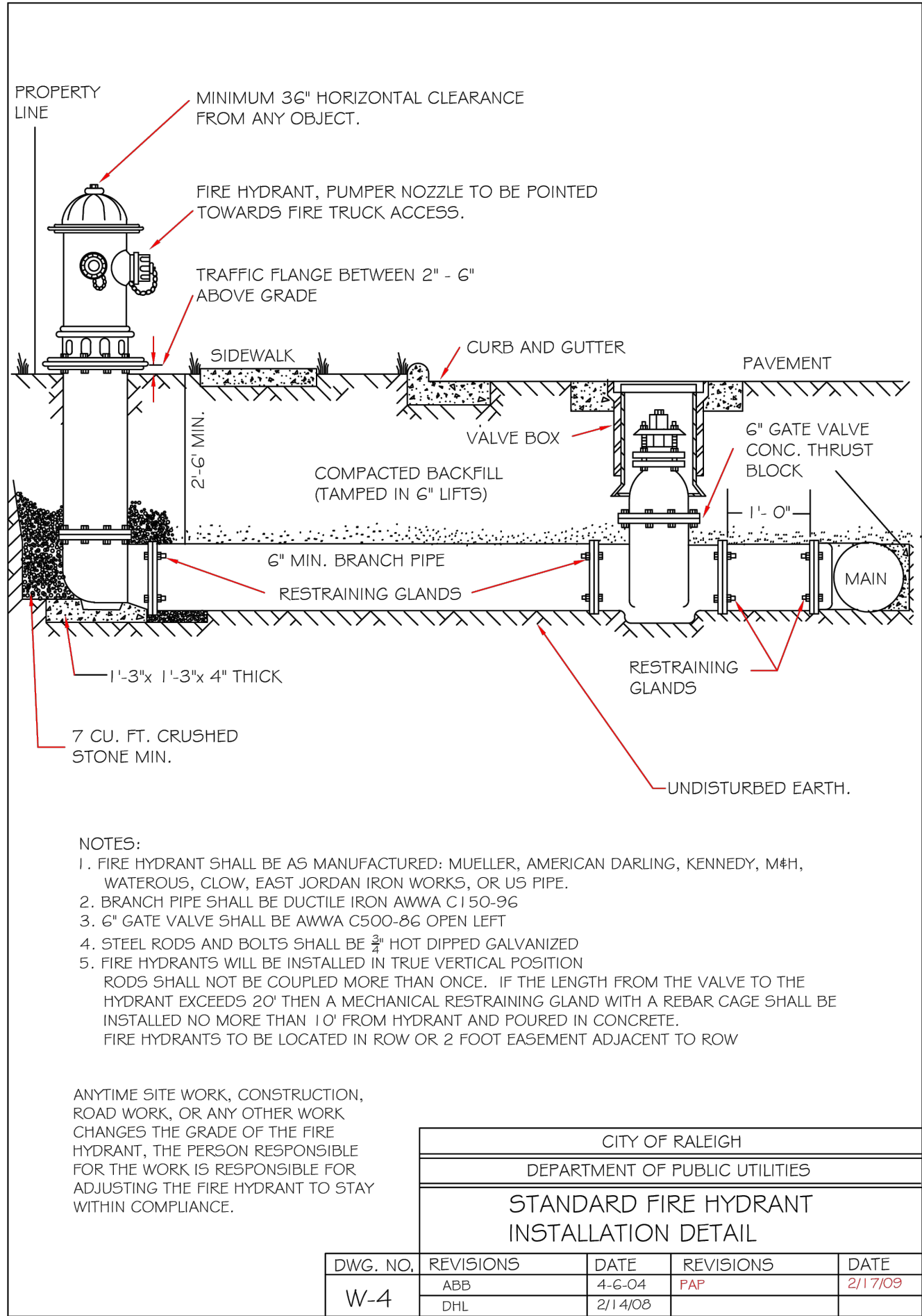
U1 SANITARY SEWER CLEANOUT



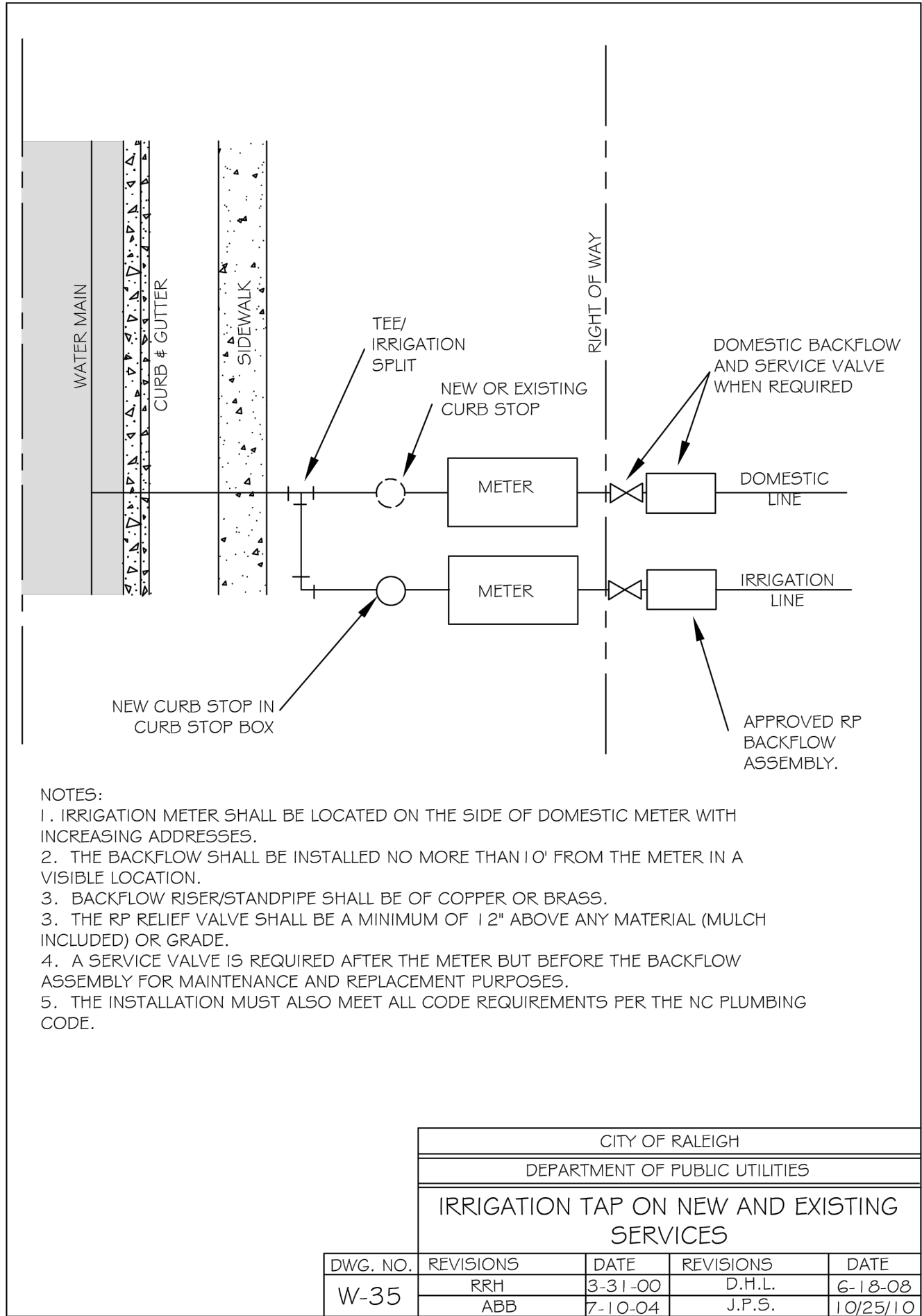
U2 12" TAPPING SADDLE CONNECTION



U3 TYPICAL 1 1/2" - 2" WATER METER BOX INSTALLATION



U4 STANDARD FIRE HYDRANT INSTALLATION



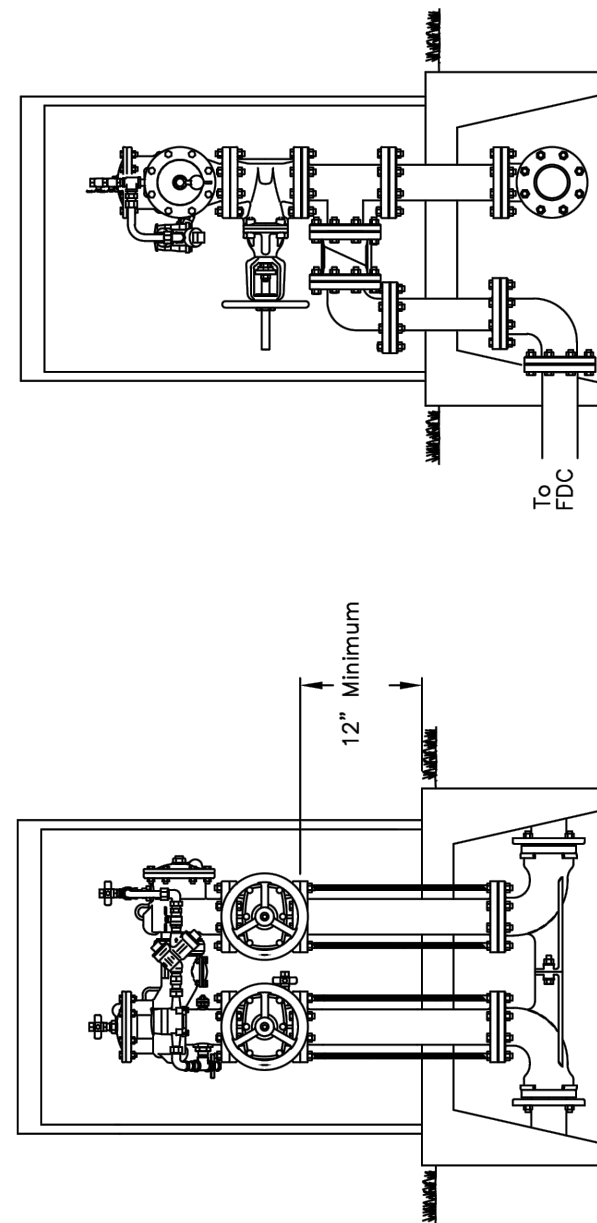
U5 IRRIGATION TAP ON NEW AND EXISTING SERVICES

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

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C:\Public\Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\4-Design\627-22 D-2 Series.dwg Jun 12, 2024 - 3:14pm BY:krm:z

- TYPICAL NOTES:
- 1)-ALL PIPING AND FITTINGS TO BE DUCTILE IRON, GALVANIZED, BRASS, STAINLESS STEEL, OR ALUMINUM
 - 2)-ALL PIPING AND FITTINGS TO BE DUCTILE IRON ON CITY SIDE OF BACK FLOW PREVENTION ASSEMBLY
 - 3)-40' MAX. FROM FDC TO APPARATUS ACCESS LOCATION
 - 4)-FDC TO FACE FIRE APPARATUS ACCESS LOCATION (DRIVEWAY)
 - 5)-DO NOT BLOCK APPARATUS ACCESS TO BUILDING WITH HOSE LAY FROM HYDRANT TO FDC
 - 6)-MINIMUM DISTANCE 3 FEET BEHIND CURB, PROTECT FROM VEHICLES
 - 7)-PROVIDE HEAT AND ALARM SUPERVISION TO HOT BOX (2 CONDUITS)
 - 8)-COMPLY WITH PUBLIC UTILITIES HANDBOOK REQUIREMENTS



U15 HOTBOX INSTALLATION

CITY OF RALEIGH FIRE DEPARTMENT
FIRE PROTECTION DIVISION
310 WEST MARTIN ST. RALEIGH, NC 27602

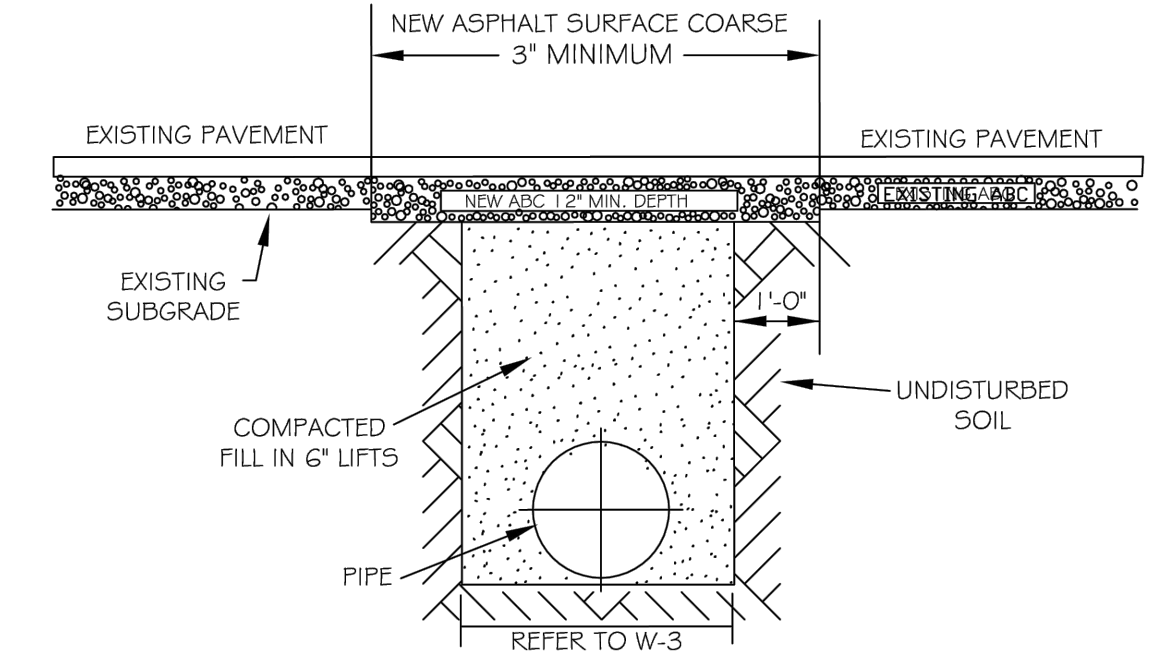
DESCRIPTION: HOTBOX DETAIL REQUIREMENTS

REVISIONS: 5-1-2017

DATE: 4-1-06

DRAWING NO: FP-27

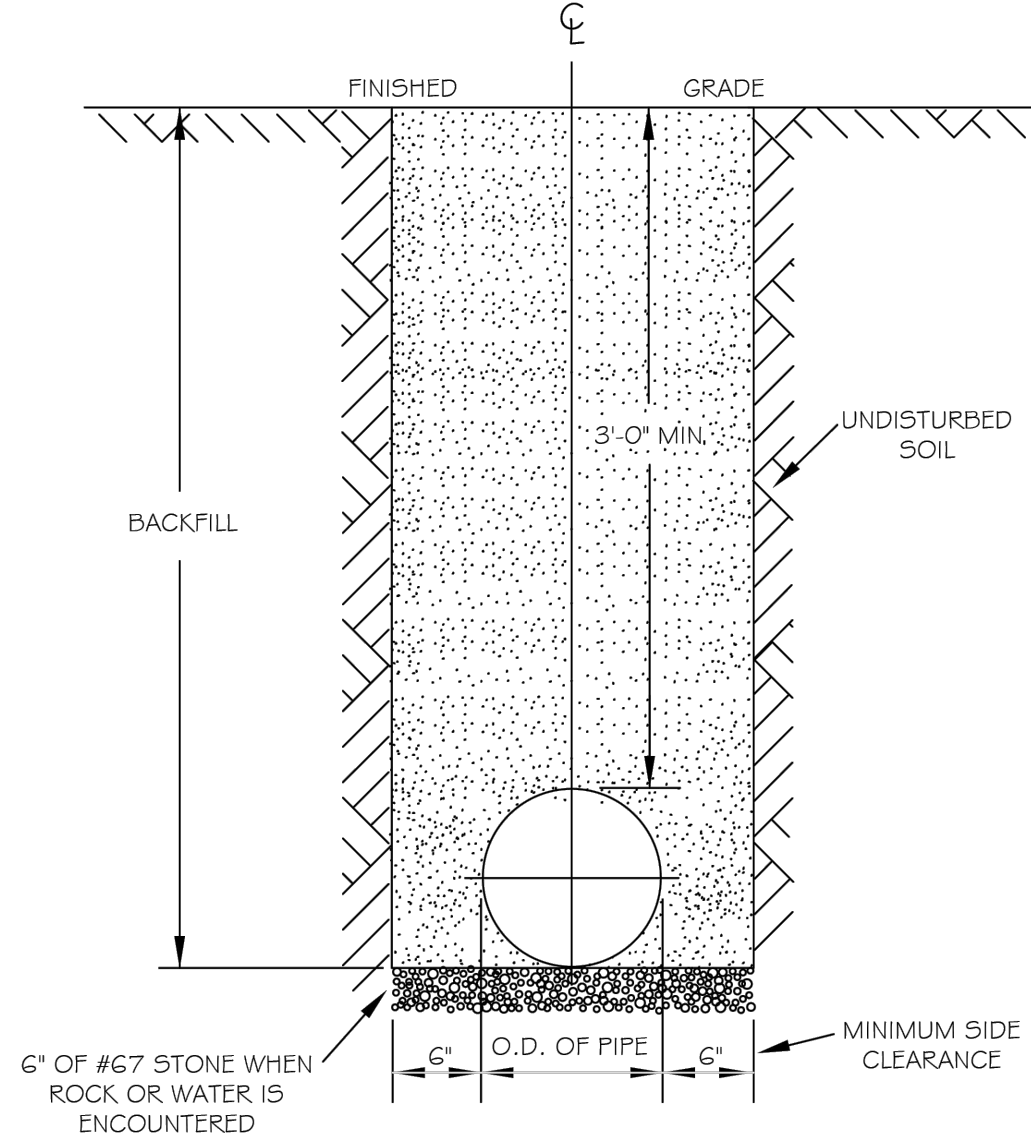
U12 ASPHALT PAVEMENT PATCH



- NOTES:
1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
 2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.
 4. THE ENTIRE THICKNESS/ VERTICAL EDGE OF CUT SHALL BE TACKED.
 5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
 6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
 7. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
 8. NO HAND PATCHING ALLOWED.
 9. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD ASPHALT PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-2	RRH	3-31-00	A.B.B.	4-16-04	
	D.W.C.	11-1-99	J.P.S.	10-29-10	

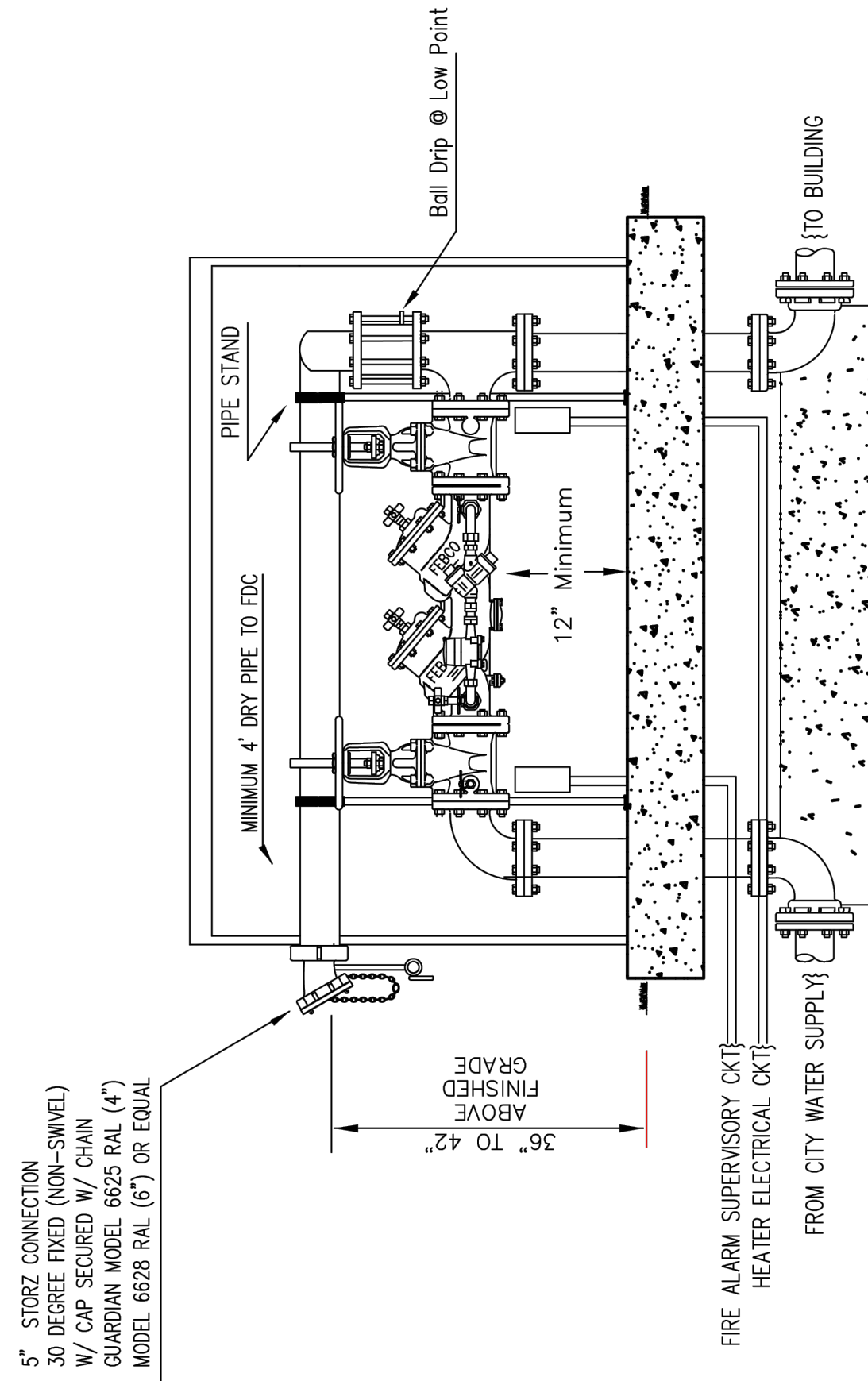
U13 TRENCH DIMENSIONS & BACKFILLING REQUIREMENTS



- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
 5. ACHIEVE 95% COMPACTION IN BACKFILL.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-3	D.W.C.	9-3-99	ABB	2-15-05	
	RRH	3-31-00	J.P.S.	10-29-10	

U14 FIRE LINE BACKFLOW



CITY OF RALEIGH FIRE DEPARTMENT
FIRE PROTECTION DIVISION
310 WEST MARTIN ST. RALEIGH, NC 27602

DESCRIPTION: HOTBOX INLINE BACKFLOW

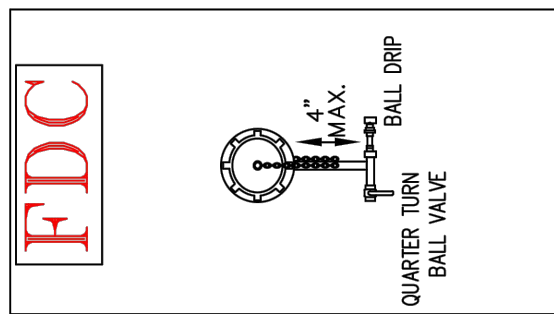
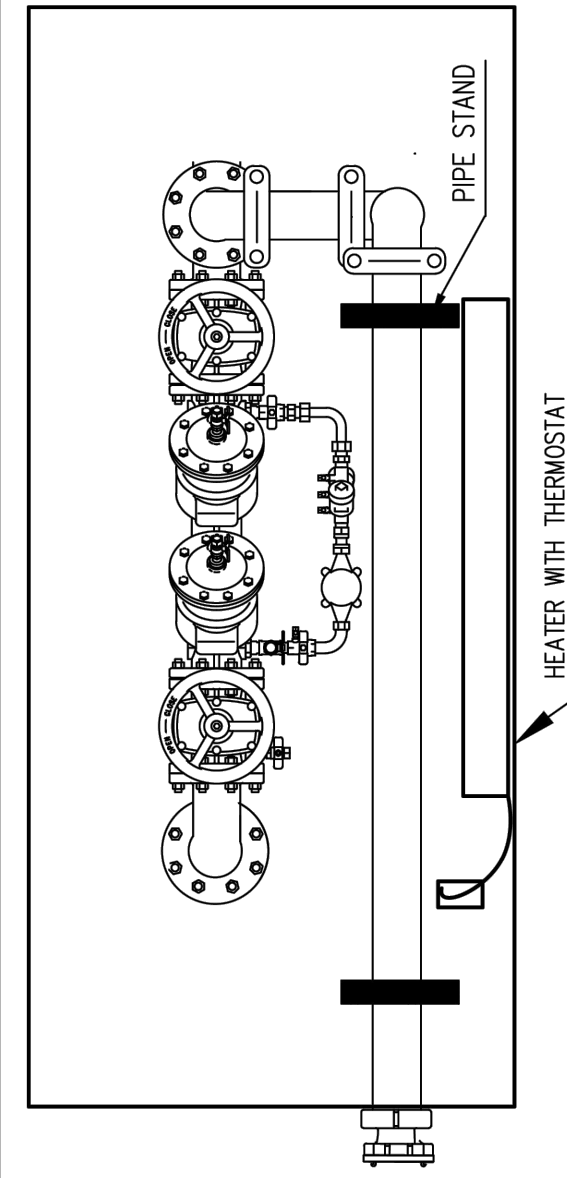
REVISIONS: 5-1-2017

DATE: 4-1-06

DRAWING NO: FP-17A

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.



- TYPICAL NOTES:
- 1)-ALL PIPING AND FITTINGS TO BE DUCTILE IRON, GALVANIZED, BRASS, STAINLESS STEEL, OR ALUMINUM
 - 2)-40' MAX. FROM FDC TO APPARATUS ACCESS LOCATION
 - 3)-FDC TO FACE FIRE APPARATUS ACCESS LOCATION (DRIVEWAY)
 - 4)-DO NOT BLOCK APPARATUS ACCESS TO BUILDING WITH HOSE LAY FROM HYDRANT TO FDC
 - 5)-MINIMUM DISTANCE 3 FEET BEHIND CURB, PROTECT FROM VEHICLES
 - 6)-PROVIDE HEAT AND ALARM SUPERVISION TO HOT BOX (2 CONDUITS)
 - 7)-COMPLY WITH PUBLIC UTILITIES HANDBOOK REQUIREMENTS

CITY OF RALEIGH FIRE DEPARTMENT
FIRE PROTECTION DIVISION
310 WEST MARTIN ST. RALEIGH, NC 27602

DESCRIPTION: HOTBOX INLINE BACKFLOW

REVISIONS: 5-1-2017

DATE: 4-1-06

DRAWING NO: FP-17B

DRAFT

NO.	REVISION	DATE

DRAWING
SHEET

D-2.2

PROJECT NUMBER

627-22

700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

UTILITY DETAIL SHEET

PREPARED FOR:

MOORE'S REALTY, INC.

107 FOREST DRIVE, STE. B-205

KNIGHTDALE, NORTH CAROLINA 27545

DATE: 06/24/2022

PROJECT ENGINEER:

PJP

PROJECT CAD DESIGNER:

PJP

PROJECT SURVEYOR:

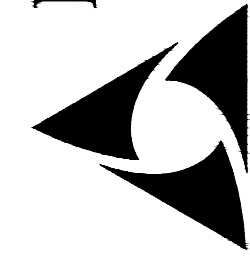
WAKE COUNTY GIS

PAST DESIGN GROUP, PA

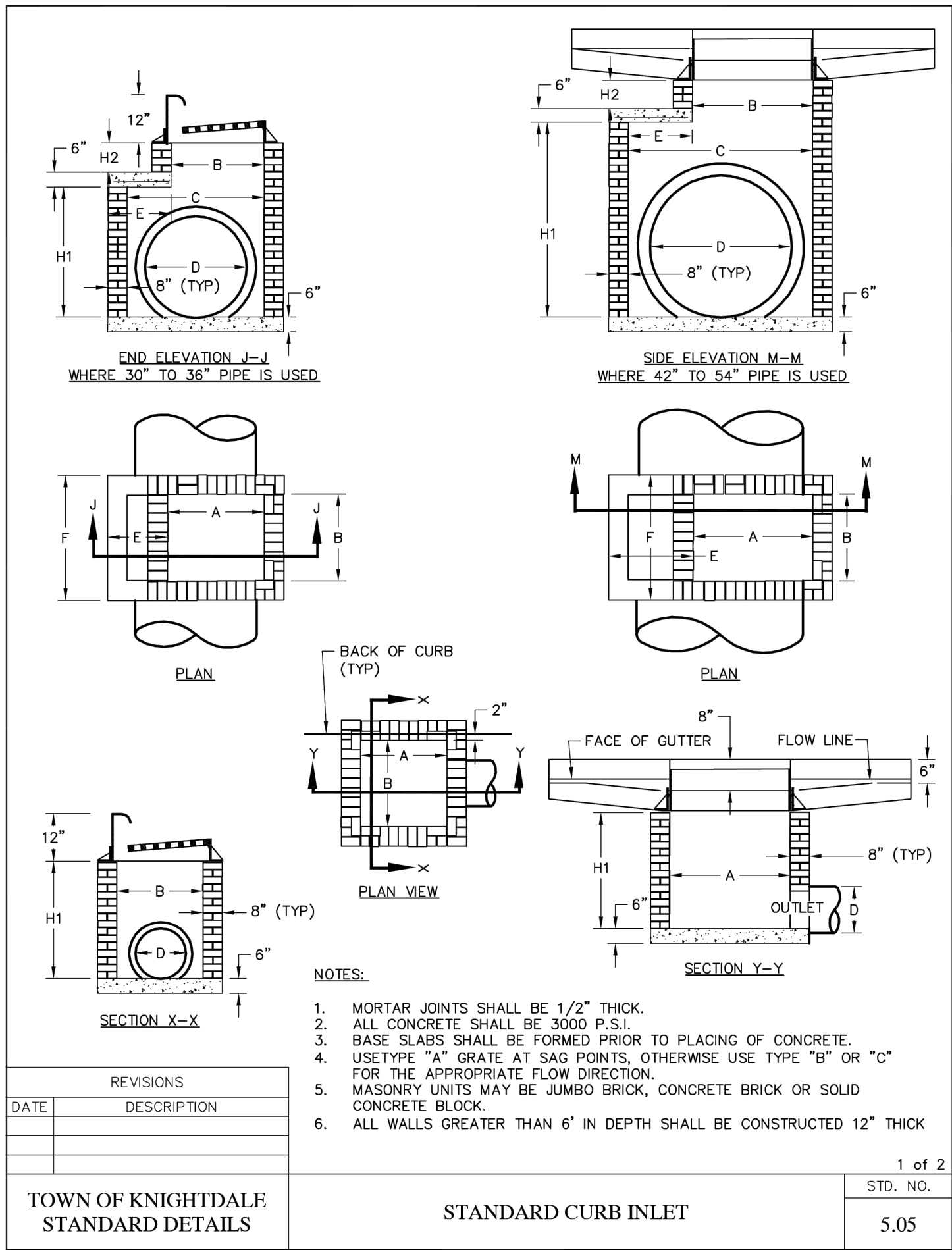
Engineering | Consulting

107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601

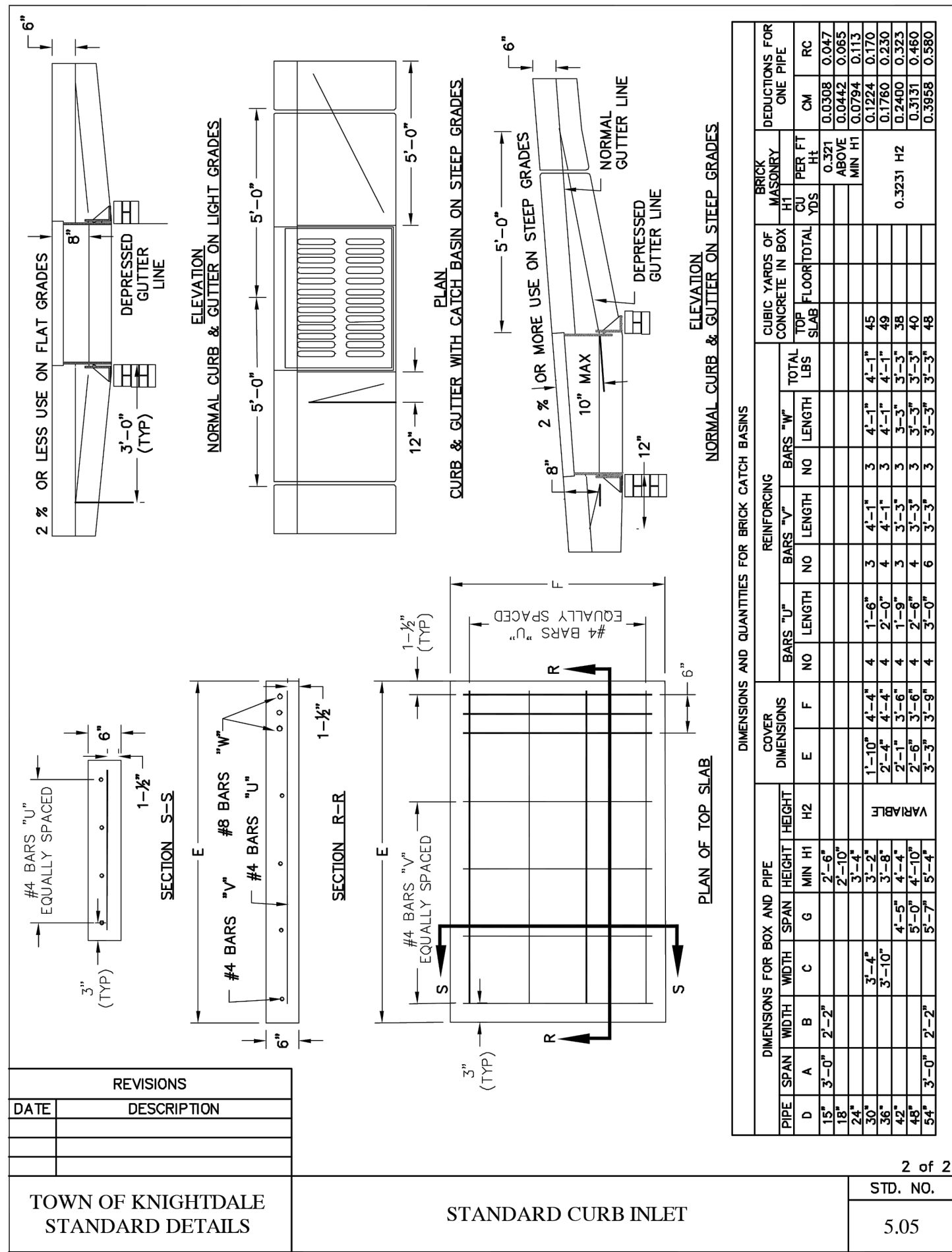
Phone: 919 948 4399 | Fax: 919 948 4392 | NC LICENSE NUMBER: C-3311



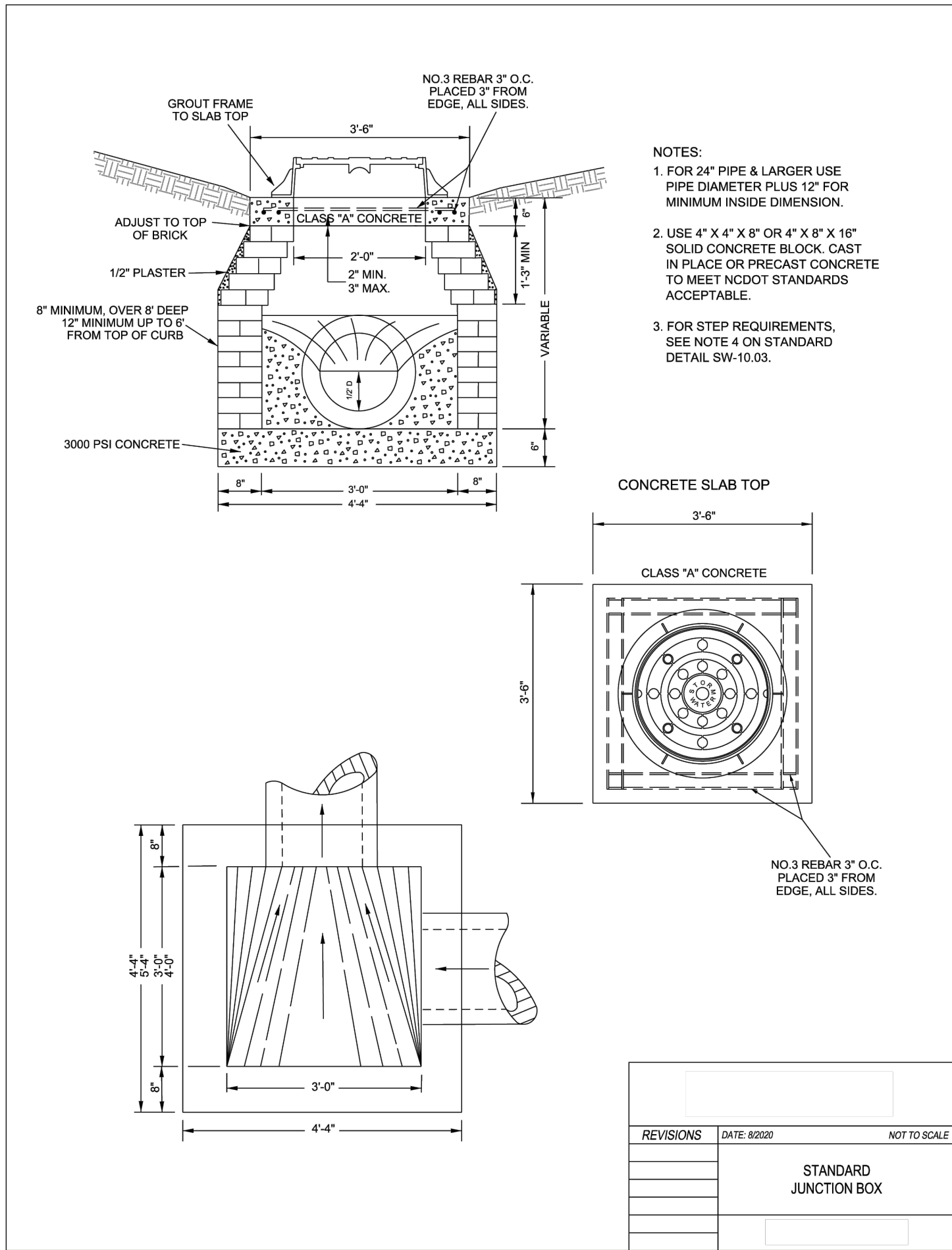
F:\Public\10-Proiects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\54-Details\627-22 D-3.0.dwg Jun 18, 2024 -- 2:24pm B:\krantz



D1 STANDARD CURB INLET



D2 STANDARD JUNCTION BOX



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NC DOT STANDARDS AND SPECIFICATIONS.

700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

STORM DRAINAGE DETAIL SHEET

DRAFT

PREPARED FOR:
MOORE'S REALTY, INC.
101 FOREST DRIVE, STE. B-205
KNIGHTDALE, NORTH CAROLINA 27545

DATE: 06/24/2022

PROJECT ENGINEER:
PJP

PROJECT CAD DESIGNER:
PJP

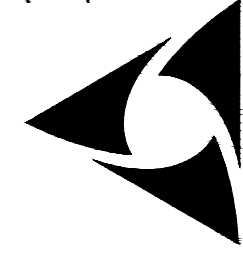
PROJECT SURVEYOR:
WAKE COUNTY, GS

PAST DESIGN GROUP, PA

Engineering | Consulting

107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601

Phone: 919 948 4399 | Fax: 919 948 4392 | NC LICENSE NUMBER: C-3311

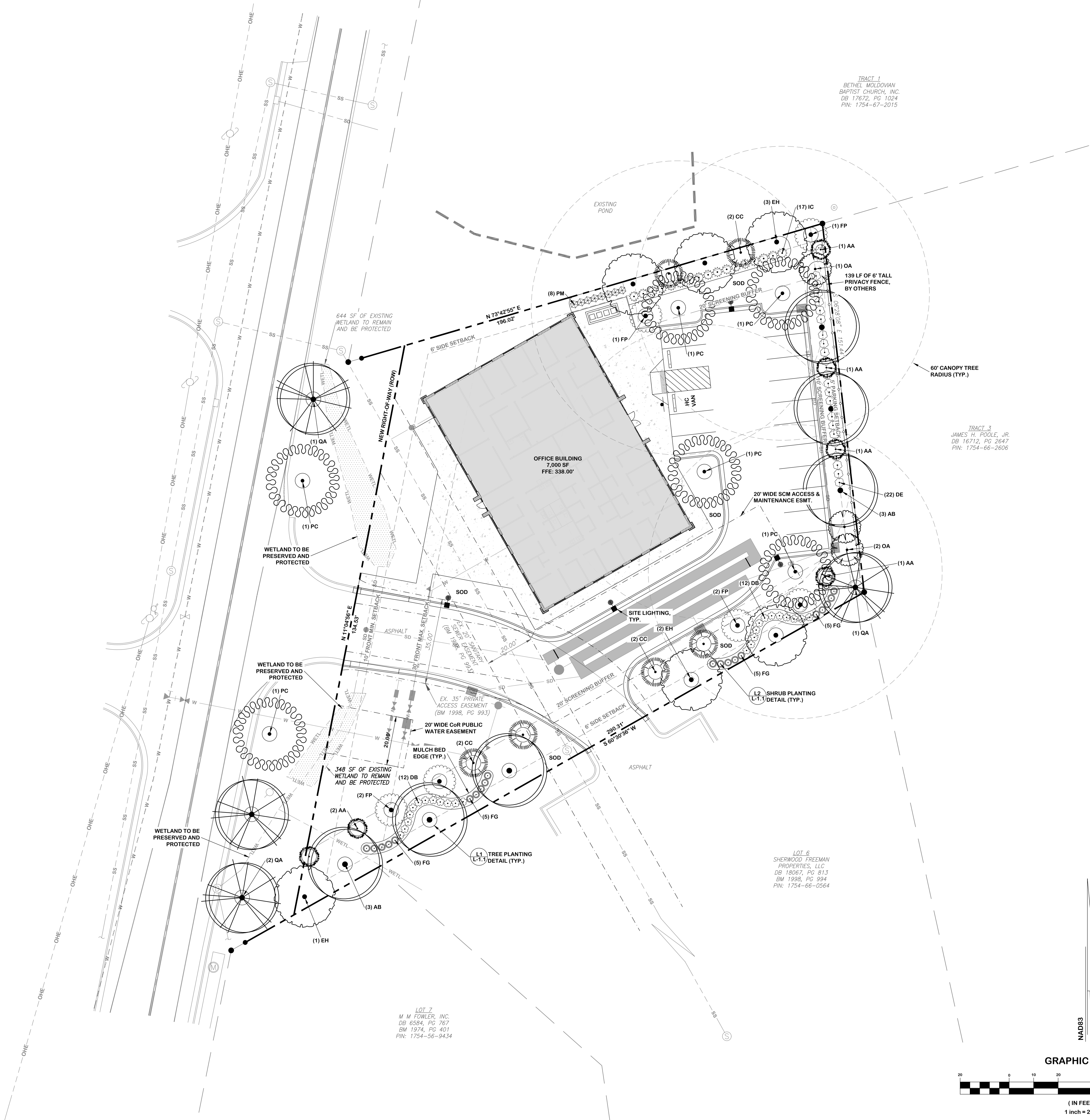


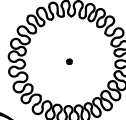
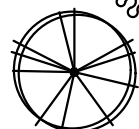

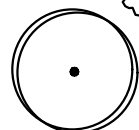









DRAWING
SHEET

D-3.0

PROJECT NUMBER

627-22



PLANT_SCHEDULE_SHEET_L-1.0							
CANOPY TREES	CODE	QTY	%	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	PC	6	27.3	Pistacia chinensis Chinese Pistache	2" MIN.	8' MIN.	B&B
	QA	4	18.2	Quercus acutissima Sawtooth Oak	2" MIN.	8' MIN.	B&B
	EH	6	27.3	Carpinus betulus 'fastigiata' European Hornbeam	2" MIN.	8' MIN.	B&B
	AB	6	27.3	Acer rubrum 'Brandywine' Brandywine Maple Tree	2" MIN.	8' MIN.	B&B
<u>UNDERSTORY TREES</u>							
	FP	6	28.6	Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Redbud	1.5" MIN.	6' MIN.	B&B
	CC	6	28.6	Cotinus coggygia Smoketree	1.5" MIN.	6' MIN.	B&B
	AA	6	28.6	Amelanchier arborea Downy Serviceberry	1.5" MIN.	6' MIN.	B&B
	OA	3	14.3	Oxydendron arboreum Sourwood	1.5" MIN.	6' MIN.	B&B
<u>SHRUBS</u>							
	PM	8	8.8	Podocarpus macrophyllus 'Maki' Maki Shrubby Yew Podocarpus	36" MIN.	8-10'	3-4'
	DB	24	26.4	Distylium 'Blue Cascade' Blue Cascade Distylium	18" MIN.	3-4'	3-4'
	IC	17	18.7	Ilex vomitoria 'Condeaux' Bordeaux Yaupon Holly	18" MIN.	3-4'	3-4'
	FG	20	22.0	Gardenia jasminoides 'Frostproof' Frostproof Gardenia	18" MIN.	5'	4'
	DE	22	24.2	Distylium x 'PIDIST-1' Emerald Heights Distylium	18" MIN.	5'	5'

LANDSCAPE CALCULATIONS:

INTERIOR PARKING LOT LANDSCAPING (UDO SEC. 7.4.J.)
NO PARKING SPACE SHALL BE MORE THAN 60 FT FROM THE BASE OF A DECIDUOUS CANOPY TREE. DECIDUOUS CANOPY TREE SHALL BE PROVIDED AT THE END OF EACH PARKING ROW.
DECIDUOUS CANOPY TREES REQUIRED: 4
DECIDUOUS CANOPY TREES PROVIDED: 4

VEHICLE ACCOMMODATION SCREENING (UDO SEC. 7.5.B.):
VEHICLE ACCOMMODATION AREAS SHALL BE SCREENED FROM OFF-SITE VIEWS WITH A TYPE B BUFFER YARD: PER EVERY 100 LINEAR FEET (LF), 3 CANOPY TREES, 5 UNDERSTORY TREES, AND 20 SHRUBS REQUIRED.

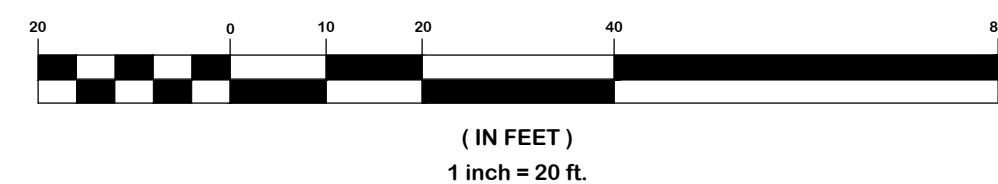
NORTHERN TYPE B BUFFER SCREENING: 85 LF
CANOPY TREES REQUIRED: $3 \times 0.85 = 2.55 = 3$
CANOPY TREES PROVIDED: 3
UNDERSTORY TREES REQUIRED: $5 \times 0.85 = 4.25 = 4$
UNDERSTORY TREES PROVIDED: 4
SHRUBS REQUIRED: $20 \times 0.85 = 17$
SHRUBS PROVIDED: 49

EASTERN TYPE B BUFFER SCREENING: 112 LF
CANOPY TREES REQUIRED: $3 \times 1.12 = 3.36 = 3$
CANOPY TREES PROVIDED: 3
UNDERSTORY TREES REQUIRED: $5 \times 1.12 = 5.6 = 6$
UNDERSTORY TREES PROVIDED: 6
SHRUBS REQUIRED: $20 \times 1.12 = 22.4 = 22$
SHRUBS PROVIDED: 22

SOUTHERN TYPE B BUFFER SCREENING: 112 LF
CANOPY TREES REQUIRED: $3 \times 2.19 = 6.57 = 7$
CANOPY TREES PROVIDED: 3
UNDERSTORY TREES REQUIRED: $5 \times 2.19 = 10.95 = 11$
UNDERSTORY TREES PROVIDED: 4
SHRUBS REQUIRED: $20 \times 2.19 = 43.8 = 44$
SHRUBS PROVIDED: 44

TRASH RECEPTACLE SCREENING (UDO SEC. 7.5.E. & 7.1.3.):
20 SHRUBS PER 100 LINEAR FEET = 20% = 0.5
OFF-SITE VIEW SCREEN: $13.3 \text{ LF} \times 0.5 = 6.65 = 7$
SHRUBS REQUIRED: 3
SHRUBS PROVIDED: 8

STREET TREES (UDO SEC. 7.4.L.):
STREET TREES SPACED 40' AVG.
186 LF R/W - 50 SITE ACCESS = 186 LF
STREET TREES REQUIRED: $186 / 40 = 4.65 = 5$
STREET TREES PROVIDED: 5



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F:\Public\10-Projects\600-699\627-22 700 Old Knight Road Office (Moore's Realty, Inc.)\50-Drawings\54-Details\627-22 L-1.dwg Jun 12, 2024 -- 3:16pm BY:lkranz

NOTES:

1. REMOVE WIRE OR NYLON TWINE FROM BALL.

2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.

3/4" NYLON STRAP STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT.

1"X2"X18" WOOD STAKE WITH CENTERED 3/8" HOLE DRIVEN IN LINE WITH STRAP

UNDISTURBED SOIL

FINISH GRADE

REMOVE TYPICAL EXCESS SOIL FROM GROWER OVER ROOT SYSTEM, UP TO 1" DEPTH. REJECT PLANTS WITH MORE THAN 3".

REMOVE TOP 1/3 BURLAP AND ANY NAILS/PINS, ETC.

REMOVE TOP 2/3 OF WIRE BASKET WHERE PRESENT

RAISE PIT BOTTOM TO SET BUTTRESS ROOTS AT THE CORRECT HEIGHT. FIRM SOIL UNDER ROOT BALL

ROOT CROWN TO BE AT FINISH GRADE ±

6" SLIP KNOT WITH STOP KNOT. 6" LARGER THAN TREE DIAMETER

BUTTRESS ROOTS

KEEP MULCH 1" TO 2" AWAY FROM TRUNK

4" MAX. LAYER OF MULCH

4" MAX. HIGH WATER BERM OUTSIDE OF BACKFILL

PLANTING MIX (AS SPECIFIED)

ROOT BALL DIA. VARIES

ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMSI, 1990, PART 1, "SHADE AND FLOWERING TREES")

FOR EXAMPLE:

CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	16'	24"	16"
3"	14-16'	18'	32"	21"

REVISIONS

DATE	DESCRIPTION

TOWN OF KNIGHTDALE
STANDARD DETAILS

TREE PLANTING
(FOR SINGLE AND MULTI-STEM TREES)

STD. NO.
3.25

L1 TREE PLANTING DETAIL

SHRUB PLANTING DETAIL

3" MULCH LAYER

BACKFILL WITH SOIL AS PER SPECIFICATIONS

3" HIGH EARTH SAUCER

ROOT BALL

FINISH GRADE

UNDISTURBED EARTH

NOTES

1. REMOVE THE BURLAP, BURLAP TIES AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS AND SYNTHETIC BURLAP - TYPE OF MATERIALS FROM THE ENTIRE ROOTBALL.

2. SCARIFY ROOTBALL AND BOTTOM/SIDES OF PLANT PIT.

3. EXCAVATE PLANTING PIT TWO TO THREE TIMES AS WIDE AS THE ROOTBALL. INSTALL ROOTBALL 1/4 TO 1/3 ABOVE EXISTING/PROPOSED GRADE. LOCATE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.

4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.

5. THE SIZE OF THE ROOTBALL SHALL CONFORM TO THE AAN STANDARDS.

6. FERTILIZED ALL PLANTS WITH AGRIFORM FERTILIZER TABLETS OR EQUAL, TO BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATION.

7. ALL ROOTBALLS AFTER REMOVING FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANTING HOLE.

8. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND AT LEAST ONCE A WEEK FOR THE FIRST TWO GROWING SEASONS.

L2 SHRUB PLANTING DETAIL

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PAST DESIGN GROUP, PA

Engineering | Consulting

107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601

Phone: 919 944 4399 | Fax: 919 944 4395 | NC LICENSE NUMBER: C-3211

700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

SITE PLAN

LANDSCAPE DETAIL SHEET

DRAFT

NO.	REVISION	DATE

DRAWING SHEET

L-1.1

PROJECT NUMBER

627-22

PREPARED FOR:

MOORE'S REALTY, INC.

101 FOREST DRIVE, STE. B-205

KNIGHTDALE, NORTH CAROLINA 27545

DATE : 06/24/2022

PROJECT ENGINEER:

PJP

PROJECT CAD DESIGNER:

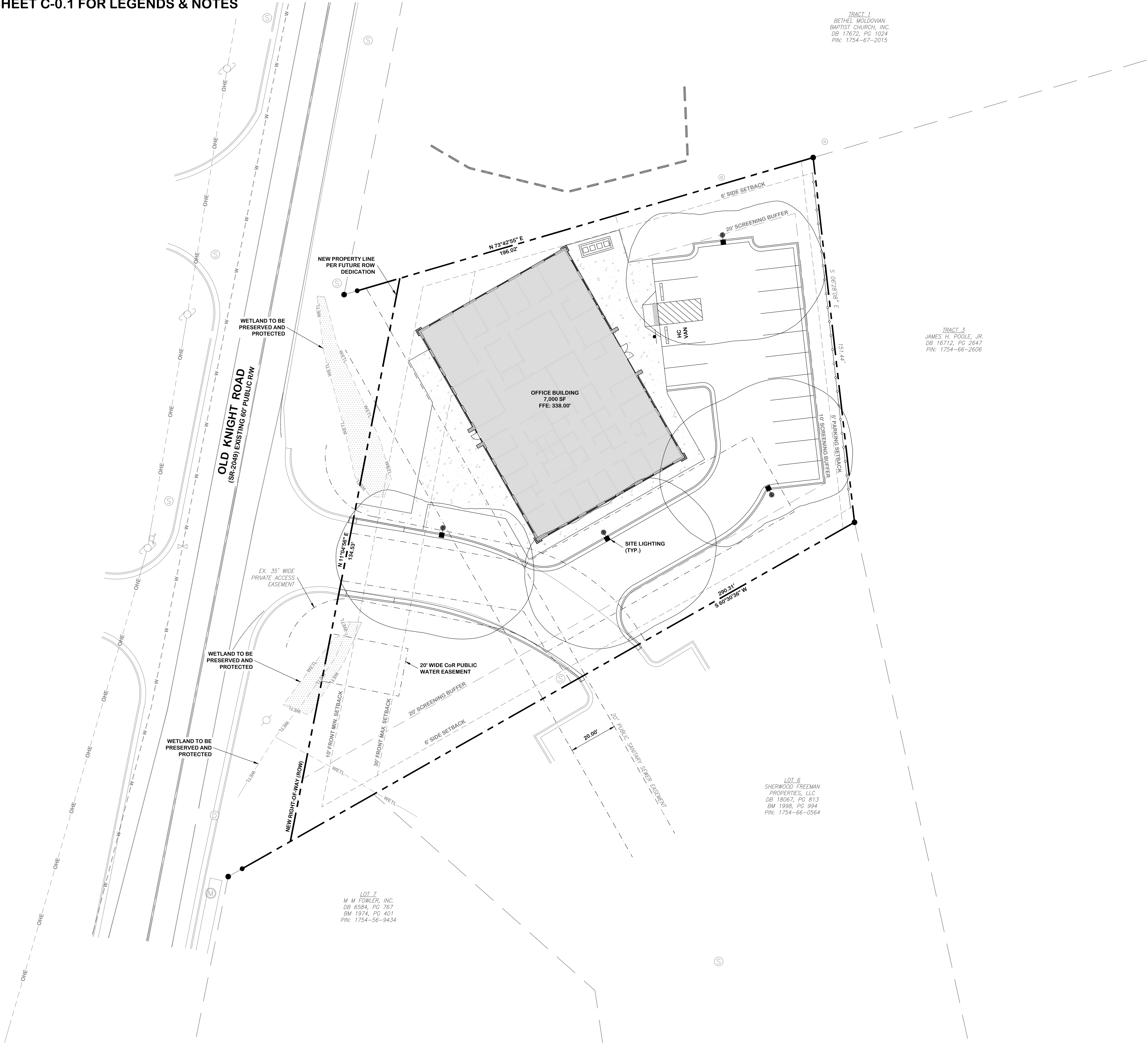
PJP

PROJECT SURVEYOR:

WAKE COUNTY, GS

LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF
254A		GE LIGHTING LED205_4_1/POLE (1) "2054" LED205_4_1/POLE	(1) 4000K	13620	25' MT HT SiteLighter II	0.85
						1

SEE SHEET C-0.1 FOR LEGENDS & NOTES

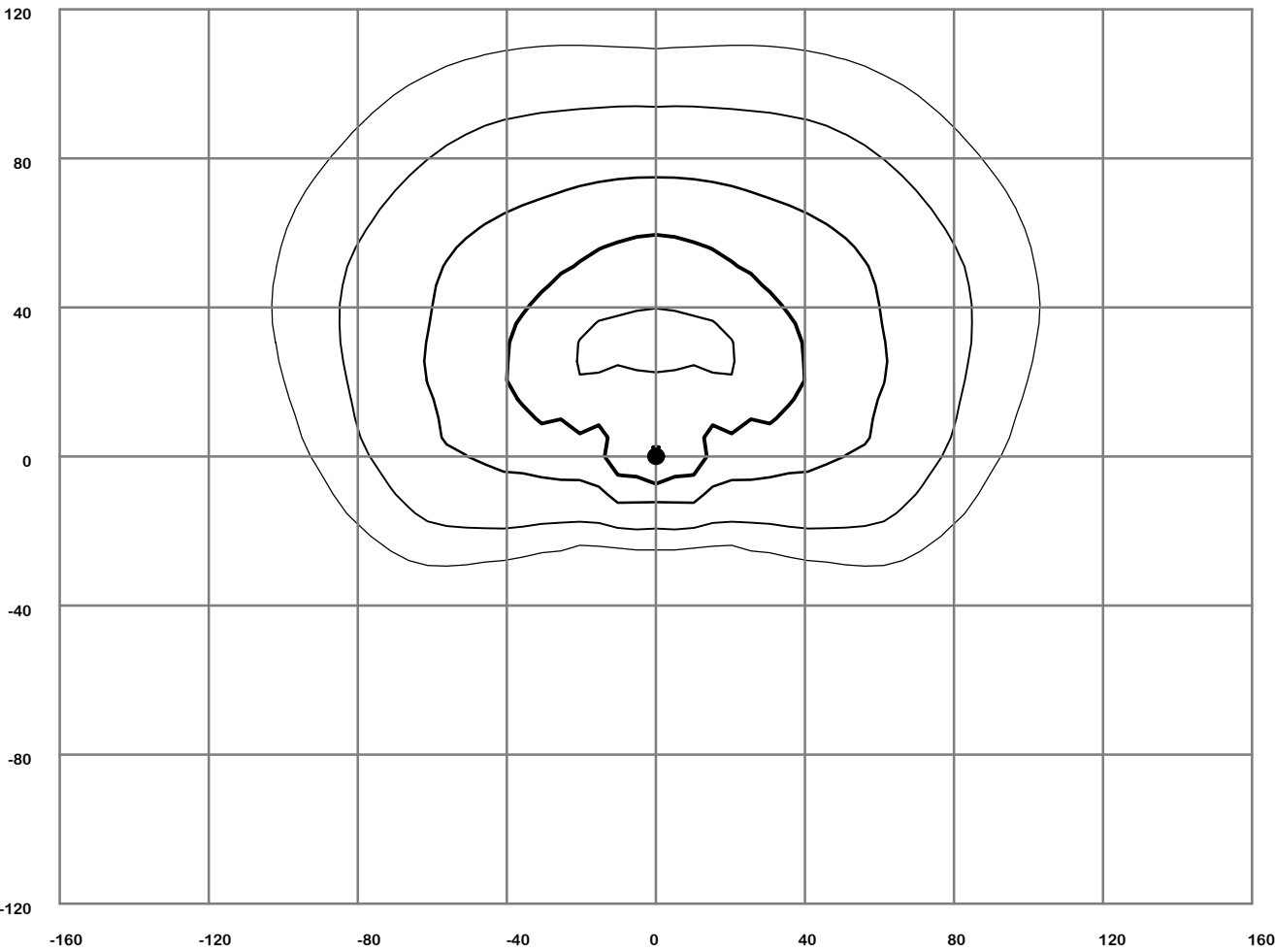


ISOFOOTCANDLE CURVES

FIGURE: LED205, EAMM
MOUNTING HEIGHT: 25 FT
LIGHT SOURCE: 180 LED'S, 4000K
PATTERN: TYPE IV, B2-U3-G3(zero light at or above 90 degrees)

ASSY# L12KLED205LRMC
POLE ASSY# PLFG30BLC (BLACK)

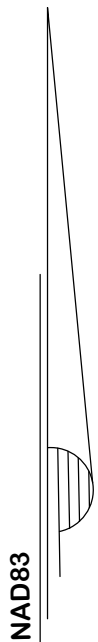
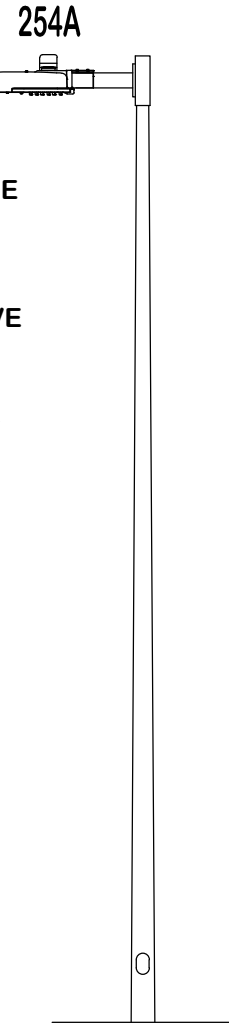
NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



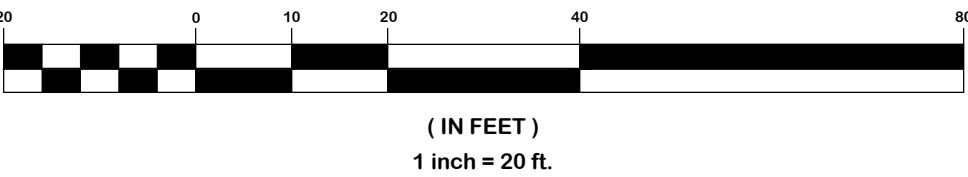
LEGEND (OUTER to INNER): 0.100 , 0.200 , 0.450 , 0.750 , 1.10

LIGHTING DESIGN TOLERANCE

THE CALCULATED FOOTCANDLE LIGHT LEVELS IN THIS LIGHTING DESIGN ARE PREDICTED VALUES AND ARE BASED ON SPECIFIC INFORMATION THAT HAS BEEN SUPPLIED TO PROGRESS ENERGY. ANY INACCURACIES IN THE SUPPLIED INFORMATION, DIFFERENCES IN LUMINAIRE INSTALLATION, LIGHTED AREA GEOMETRY INCLUDING ELEVATION DIFFERENCES, REFLECTIVE PROPERTIES OF SURROUNDING SURFACES, OBSTRUCTIONS (FOLIAGE OR OTHERWISE) IN THE LIGHTED AREA, OR LIGHTING FROM SOURCES OTHER THAN LISTED IN THIS DESIGN MAY PRODUCE DIFFERENT RESULTS FROM THE PREDICTED VALUES. NORMAL TOLERANCES OF VOLTAGE, LAMP OUTPUT, AND BALLAST AND LUMINAIRE MANUFACTURE WILL ALSO AFFECT RESULTS.



GRAPHIC SCALE



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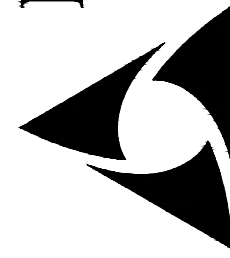
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PREPARED FOR:

MOORE'S REALTY, INC.

101 FOREST DRIVE, STE. B-205

KNIGHTDALE, NORTH CAROLINA 27545

DATE: 06/24/2022

PROJECT ENGINEER:

PJP

PROJECT CAD DESIGNER:

PJP

PROJECT SURVEYOR:

WAKE COUNTY, GS

700 OLD KNIGHT ROAD OFFICE BUILDING

KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

LIGHTING PLAN

DRAFT

NO. REVISION DATE

DRAWING SHEET

LP-1.0

PROJECT NUMBER

627-22

101 FOREST DRIVE
SUITE B - 205
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MOORE'S REALTY &
COWORKING

DATE _____

SHEET NAME

SHEET NUMBER

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SUITE B - 205
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MOORE'S REALTY &
COWORKING

DATE _____

PLAN NORTH

TRUE NORTH

SHEET NAME

SHEET NUMBER



MOORE'S REALTY & COWORKING

700 OLD KNIGHT RD
KNIGHTDALE, NC 27545
DATE: 04/26/2024



Furini Architects, PLLC

N.C. Office: 919.646.5811
N.Y.C. Office: 646.685.8866
www.FuriniArchitects.com



MOORE'S REALTY & COWORKING

700 OLD KNIGHT RD
KNIGHTDALE, NC 27545

DATE: 04/26/2024



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MOORE'S REALTY & COWORKING

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