

THE OVERLOOK AT OLD CREWS

MASTER PLAN TOWN OF KNIGHTDALE WAKE COUNTY, NC DATE: FEBRUARY 9, 2026

PROJECT DATA:

PROPERTY NAME:	THE OVERLOOK AT OLD CREWS
PROPERTY OWNER:	WT CARY LLC WG PARTNERS PO BOX 31346 RALEIGH NC, 27622-1346
PARCEL NUMBERS:	1755179244
TOTAL SITE AREA:	29.87 ACRES
CURRENT ZONING:	RT (KNIGHTDALE)
WATERSHED/CLASSIFICATION:	BEAVER DAM CREEK/C;NSW
FIRM PANEL #(s):	3720175500K EFFECTIVE 07/19/2022
EXISTING LAND USE:	WOODED/VACANT
PROPOSED LAND USE:	GR-8 PUD
TOTAL LOT AREA:	10.91 ACRES (131 UNITS)
DISTURBED AREA:	20.50 ACRES
NUMBER OF SINGLE FAMILY UNITS:	56
TOWNHOME UNIT COUNT:	75
TOTAL UNIT COUNT:	131
DEPICTED DENSITY (UNITS/ACRE):	4.38 DU/AC
CONNECTIVITY INDEX:	1.20
OPEN SPACE REQUIRED:	4.58 AC. (2.29 AC OF ACTIVE & PASSIVE)
ACTIVE OPEN SPACE PROVIDED:	3.00 AC.
PASSIVE OPEN SPACE PROVIDED:	11.18 AC.
FRONT LOAD TOWNHOME LOTS:	
FRONT SETBACK:	10'
SIDE YARD SETBACK:	0'
REAR SETBACK:	15'
CORNER SETBACK:	8'
DRIVEWAY LENGTH FROM RIGHT OF WAY:	20'
BUILDING SEPARATION:	10'
MAX BUILDING HEIGHT:	3 STORIES
REAR LOAD TOWNHOME LOTS:	
FRONT SETBACK:	5'
REAR SETBACK:	15'
BUILDING SEPARATION:	10'
DRIVEWAY LENGTH FROM EDGE OF PAVEMENT:	20'
SIDE YARD SETBACK:	0'
MAX BUILDING HEIGHT:	3 STORIES
REAR LOAD SINGLE FAMILY LOTS:	
FRONT SETBACK:	10'
SIDE YARD SETBACK:	3'
REAR SETBACK:	15'
CORNER SETBACK:	8'
DRIVEWAY LENGTH FROM EDGE OF PAVEMENT:	20'
MINIMUM LOT AREA:	3,000 SF
MINIMUM LOT WIDTH:	30'
TOTAL LENGTH OF PUBLIC ROADS:	3,605 LF
TOTAL LENGTH OF PRIVATE ALLEYS:	1,285 LF
ON-STREET PARKING COUNT:	34

PRODUCT TABLE

MAXIMUM DENSITY: 140 LOTS

ALLOWABLE PRODUCT TYPES:

- TOWNHOMES ALLEY LOAD MIN. 20' WIDE
- TOWNHOMES FRONT LOAD MIN. 22' WIDE
- SINGLE FAMILY DETACHED ALLEY LOAD MIN. 30' WIDE LOTS

PRODUCT MIX:

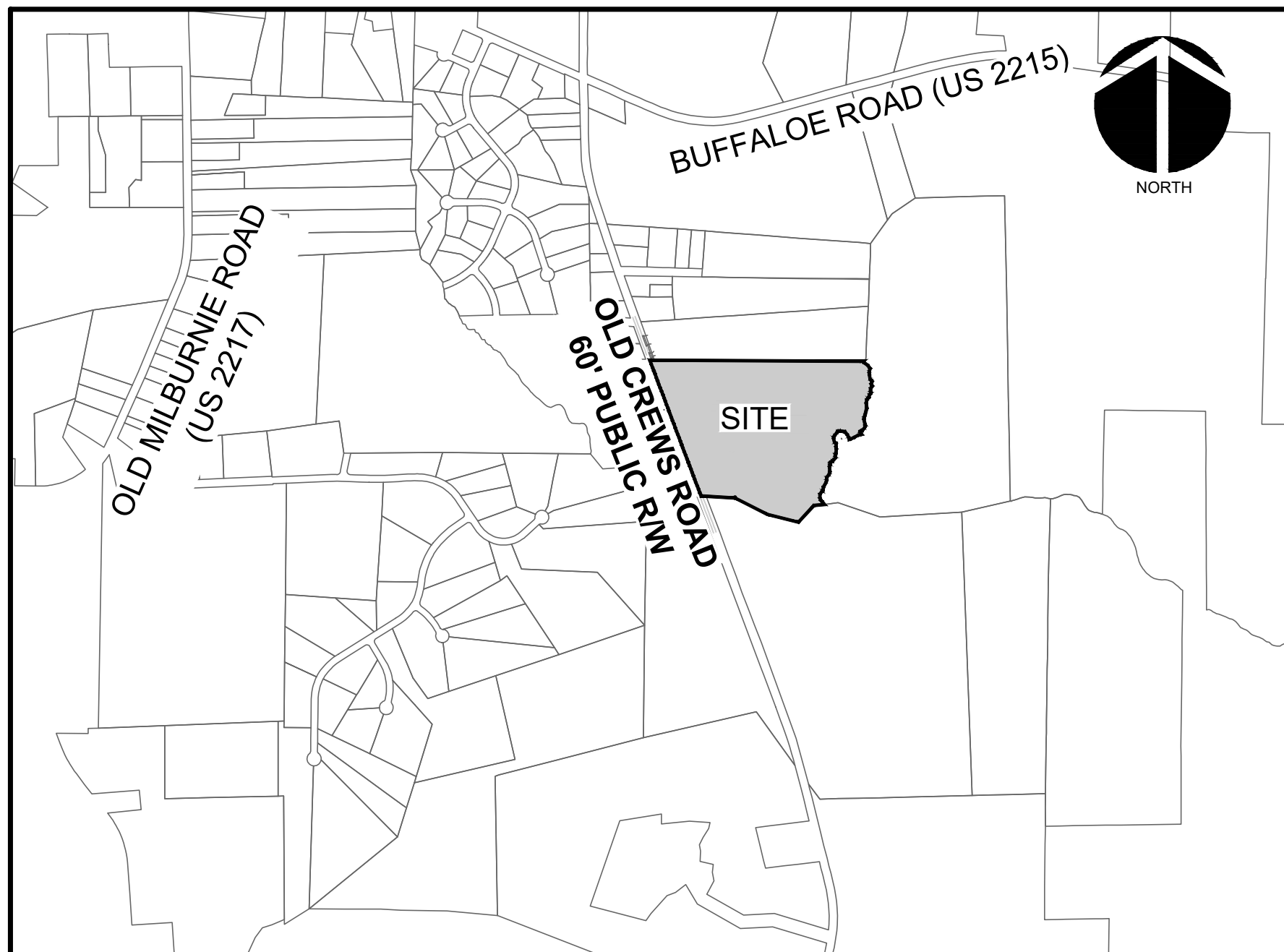
- NO FEWER THAN 2 PRODUCTS TYPES TO BE BUILT
- NO LESS THAN 40% OF UNITS BUILT SHALL BE SINGLE FAMILY DETACHED
- NO FRONT LOADED GARAGES ALLOWED ON STREET A

OWNER & ENGINEER CONTACT INFORMATION

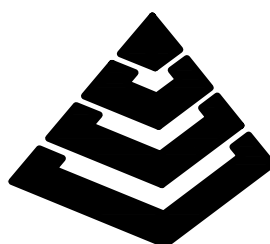
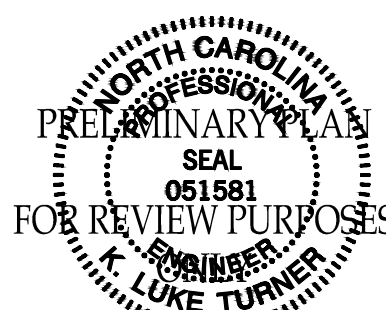
OWNER:
JMRS One LLC
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Contact: John Myers
Email: John@jpmisouth.com
Phone: (919) 306-3330

ENGINEER:
McKim & Creed
4300 Edwards Mill Road, Suite 200
Raleigh, NC 27612
Contact: Luke Turner
Email: KL.Turner@mckimcreed.com
Phone: (919) 233-8091

WATER ALLOCATION STATEMENT: PROJECT IS COMMITTED TO MEETING THE TOWN OF KNIGHTDALE WATER ALLOCATION POLICY USING A VARIETY OF IMPROVEMENT TYPES DETAILED IN THE TOWN OF KNIGHTDALE WATER ALLOCATION ORDINANCE.



VICINITY MAP
SCALE: 1" = 1000'



MCKIM & CREED

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www.mckimcreed.com

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Sheet Number	Sheet Title
C1.0	COVER SHEET
--	ALTA SURVEY (BY OTHERS)
C2.0	EXISTING CONDITIONS PLAN
C3.0	SITE PLAN
C3.1	SIGNAGE/PAVEMENT MARKING PLAN
C6.0	LIGHTING PLAN
C7.0	GRADING PLAN
C8.0	UTILITY PLAN
C10.0	LANDSCAPING PLAN
C10.1	LANDSCAPING DETAILS
C11.0	SITE DETAILS

WATER ALLOCATION COMPLIANCE	PTS
BASE POINTS - MAJOR SUBDIVISION	15
CONSERVATION OF NATURAL HABITAT	5
FOUNTAIN IN POND	4
EXCLUSIVE USE OF NATIVE PLANTS	5
USE OF XERISCAPING TECHNIQUES AND DROUGHT TOLERANT SPECIES	3
OUTDOOR PUBLIC DISPLAY OF ART (2)	8
ENHANCED ROADSIDE LANDSCAPING AND HARDSCAPING	2
ENHANCEMENT OF AFFORDABLE KNIGHTDALE PLAN	5
IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4
TOTAL	51

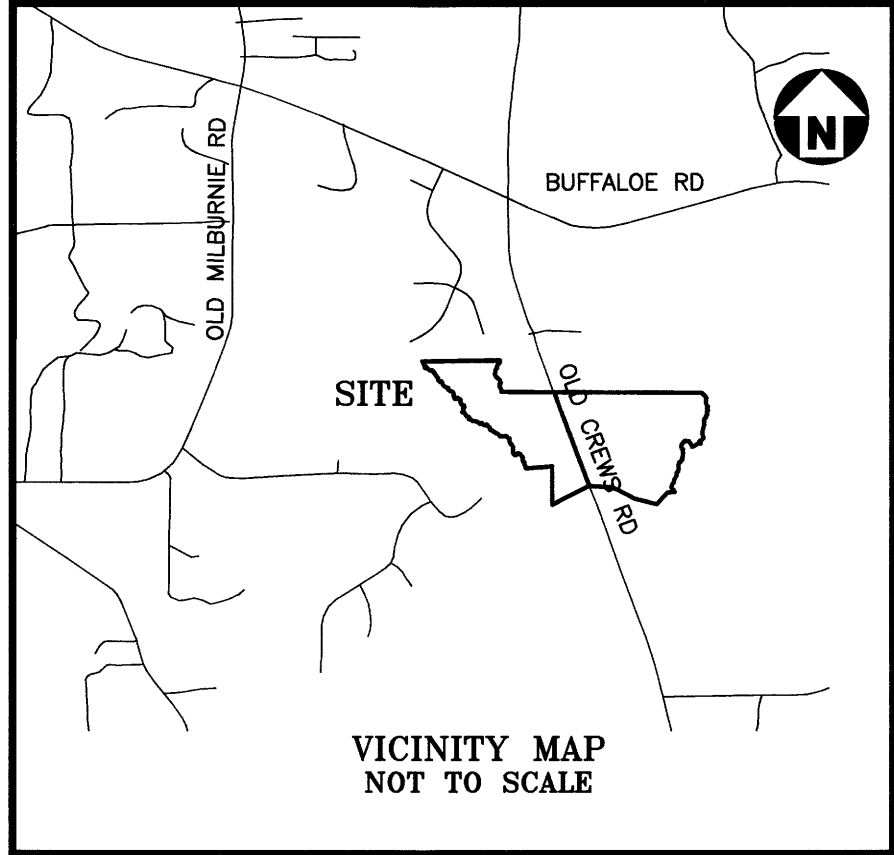
UTILITY QUANTITIES AND USAGE	
LF 8" SEWER MAIN:	3,217 LF
LF 8" DIP WATER:	3,310 LF
# MANHOLES:	15
# FIRE HYDRANTS:	10
# WATER SERVICE STUBS:	131
# SEWER SERVICE STUBS:	131
SEWER USAGE: 393 BEDROOMS X 75 GPD =	29,475 GPD
WATER USAGE: 131 UNITS X 250 GPD/UNIT =	30,130 GPD



Know what's below.
Call before you dig.

PRELIMINARY DRAWINGS
NOT RELEASED FOR CONSTRUCTION

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- GENERAL NOTES**
1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A BOUNDARY SURVEY.
 2. BEARINGS FOR THIS SURVEY ARE BASED ON NAD 83.
 3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 4. ZONING: RT PER WAKE COUNTY GIS
 5. AREA BY COORDINATE GEOMETRY.
 6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720174500J DATED MAY 2ND, 2006.
 7. **UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 08°24'55" W	7.36	L165	S 59°04'23" E	4.04
L2	N 14°08'03" E	20.66	L166	S 16°25'38" E	12.26
L3	N 33°25'23" E	12.86	L167	S 00°44'51" W	16.34
L4	N 70°48'14" E	4.19	L168	S 66°27'50" E	15.03
L5	N 35°42'56" E	11.98	L169	S 29°12'49" E	18.58
L6	N 14°52'26" E	21.37	L170	S 62°19'06" E	13.68
L7	N 69°24'02" E	14.19	L171	N 45°21'32" E	11.51
L8	N 02°03'07" E	20.34	L172	S 37°56'03" E	3.59
L9	N 34°35'05" E	11.35	L173	S 86°12'40" E	3.85
L10	N 39°19'02" E	10.73	L174	S 65°28'16" E	25.06
L11	N 10°24'24" E	7.37	L175	S 2°50'18" E	14.22
L12	N 08°15'42" E	11.59	L176	S 63°58'58" E	4.74
L13	N 10°16'39" E	16.36	L177	N 65°03'16" E	15.13
L14	N 03°40'22" E	6.43	L178	N 26°41'06" E	5.43
L15	N 37°49'09" W	4.93	L179	S 72°22'03" E	7.75
L16	N 32°34'52" W	33.02	L180	S 44°56'42" E	19.06
L17	N 58°03'30" W	16.97	L181	S 58°30'55" E	23.01
L18	N 43°12'54" E	18.25	L182	S 78°43'17" E	32.97
L19	N 23°06'05" W	28.97	L183	S 80°05'30" E	37.52
L20	N 01°23'07" W	2.49	L184	S 41°50'48" E	13.90
L21	N 21°54'46" E	3.44	L185	S 80°43'02" E	18.97
L22	N 36°58'06" E	6.80	L186	S 54°47'22" E	6.72
L23	N 33°07'05" E	11.74	L187	S 09°25'32" W	5.83
L24	N 10°10'51" E	14.86	L188	S 07°11'24" W	12.30
L25	N 25°34'52" W	23.13	L189	S 39°18'31" E	4.69
L26	N 28°16'53" W	19.96	L190	S 72°44'40" E	17.21
L27	N 12°06'35" W	6.67	L191	N 66°12'26" E	1.86
L28	N 41°08'56" E	3.89	L192	N 81°03'06" E	4.64
L29	N 10°59'20" W	2.75	L193	S 23°00'22" E	10.03
L30	N 34°38'20" W	12.42	L194	S 32°26'07" E	12.47
L31	N 40°11'14" E	1.05	L195	S 23°20'18" E	17.04
L32	N 23°50'33" W	8.03	L196	S 73°35'45" E	15.44
L33	N 52°52'02" W	33.53	L197	S 62°32'57" E	10.91
L34	N 36°35'40" W	29.63	L198	S 41°55'44" E	2.47
L35	N 16°16'15" E	20.79	L199	S 41°00'40" W	9.87
L36	N 06°24'53" E	9.89	L200	S 32°41'52" W	9.58
L37	N 04°28'24" W	16.82	L201	S 04°54'25" E	22.76
L38	N 10°15'04" W	27.08	L202	S 34°06'01" W	4.62
L39	N 17°37'01" W	4.42	L203	S 58°50'37" W	12.18
L40	N 47°59'14" W	14.03	L204	S 14°02'19" W	7.60
L41	N 37°32'28" W	6.84	L205	S 23°16'20" E	20.28
L42	N 28°51'29" E	5.74	L206	S 80°01'44" E	10.05
L43	N 19°57'02" E	12.61	L207	S 67°46'35" E	12.28
L44	N 24°08'51" W	17.66	L208	S 26°57'00" E	26.68
L45	N 26°36'34" E	6.35	L209	S 09°48'41" E	21.48
L46	N 33°34'21" E	15.34	L210	S 05°37'05" W	10.55
L47	N 04°03'07" E	20.34	L211	S 29°09'41" E	4.86
L48	N 29°31'27" W	9.56	L212	S 71°57'52" E	14.94
L49	N 17°38'18" E	8.21	L213	S 44°04'56" E	10.54
L50	N 51°27'08" E	12.31	L214	S 42°29'58" E	5.03
L51	N 10°16'08" E	17.82	L215	N 68°24'00" E	4.05
L52	N 20°26'13" E	5.14	L216	N 33°46'52" E	11.05
L53	N 53°02'43" E	10.74	L217	N 86°34'09" E	22.19
L54	N 41°17'23" E	6.73	L218	S 27°26'25" E	10.97
L55	N 07°30'10" E	25.73	L219	N 10°04'24" W	14.37
L56	N 05°49'39" W	35.55	L220	S 40°05'58" E	4.82
L57	N 13°53'29" E	51.85	L221	S 70°20'54" E	3.66
L58	N 23°15'18" E	18.87	L222	S 89°04'19" E	8.21
L59	N 02°28'14" E	13.87	L223	S 44°45'06" E	3.23
L60	N 12°21'35" W	37.13	L224	S 00°05'02" W	5.00
L61	N 11°49'59" W	11.37	L225	S 32°16'11" W	2.67
L62	N 10°54'46" E	6.84	L226	S 16°30'04" W	9.04
L63	N 31°04'28" E	9.99	L227	S 02°24'04" W	2.67
L64	N 40°37'53" E	22.57	L228	S 12°51'06" E	14.52
L65	N 7°55'10" E	26.68	L229	S 75°44'21" E	5.58
L66	N 60°08'28" E	9.20	L230	S 50°44'28" E	19.47
L67	N 02°26'11" E	4.06	L231	N 85°09'08" E	4.64
L68	N 38°26'33" W	14.20	L232	N 84°27'22" E	10.54
L69	N 29°50'46" W	7.33	L233	S 33°28'46" E	16.38
L70	N 72°22'24" E	5.94	L234	S 51°50'23" E	2.85
L71	S 79°05'45" E	8.01	L235	S 86°51'37" E	7.36
L72	N 65°26'31" E	16.79	L236	S 52°13'16" E	8.01
L73	N 59°53'58" E	29.84	L237	S 22°54'35" W	11.03
L74	N 64°50'01" E	29.10	L238	S 17°53'32" E	7.70
L75	N 75°02'58" E	9.86	L239	S 85°53'14" E	14.26
L76	S 12°34'44" E	13.37	L240	S 24°54'15" E	33.98
L77	S 24°55'39" E	4.41	L241	S 43°14'50" E	25.33
L78	S 27°32'42" E	19.97	L242	S 20°16'23" E	27.98
L79	S 38°15'20" E	25.00	L243	S 24°54'15" E	7.08
L80	S 51°46'44" E	3.40	L244	S 62°00'46" E	4.49
L81	S 81°44'04" E	32.27	L245	S 89°43'29" E	5.66
L82	S 86°45'11" E	12.11	L246	N 16°51'27" E	7.16
L83	N 64°51'24" E	3.49	L247	S 86°38'13" E	6.19
L84	N 59°46'06" E	4.59	L248	S 42°24'05" E	5.38
L85	N 29°59'59" E	14.90	L249	S 39°42'08" E	26.38
L86	N 37°57'27" E	17.98	L250	S 05°20'23" E	9.37
L87	N 44°34'42" E	17.11	L251	S 12°56'09" W	7.98
L88	N 03°28'25" E	10.53	L252	S 47°00'04" E	9.08
L89	N 13°04'34" W	30.24	L253	S 38°38'23" E	21.60
L90	N 68°22'33" W	12.19	L254	S 22°01'34" E	12.45
L91	N 36°18'03" W	3.34	L255	S 31°34'16" E	13.63
L92	N 07°33'37" E	21.96	L256	S 27°32'56" E	8.51
L93	N 13°17'47" W	16.28	L257	S 85°44'43" E	4.91
L94	N 08°08'24" E	31.42	L258	S 37°25'22" E	6.39
L95	N 38°04'09" E	9.42	L259	S 19°31'49" E	2.31
L96	N 01°34'02" W	14.25	L260	S 27°56'50" E	17.51
L97	N 13°27'18" W	9.39	L261	S 23°08'51" E	4.19
L98	N 26°37'49" E	3.21	L262	S 88°51'50" E	4.07
L99	N 42°57'02" E	17.77	L263	N 74°29'27" E	5.47
L100	N 32°47'35" E	13.44	L264	N 69°43'41" E	9.77
L101	N 71°17°54" E	7.43	L265	S 78°06'01" E	9.51
L102	N 70°31'49" E	6.31	L266	S 47°50'39" E	28.62
L103	N 47°41'54" E	4.00	L267	S 51°56'55" E	10.70
L104	N 25°08'51" E	2.89	L268	N 88°49'26" E	20.48
L105	N 01°52'54" W	12.70	L269	S 37°18'43" E	3.26
L106	N 06°04'46" E	5.97	L270	S 38°20'47" E	5.42
L107	N 19°49'58" E	11.44	L271	S 07°02'32" E	4.38
L108	N 05°20'01" W	33.85	L272	S 74°30'57" E	33.44
L109	N 07°03'47" E	12.13	L273	S 36°18'09" W	5.83
L110	N 21°52'06" E	13.28	L274	S 00°12'38" W	3.54
L111	N 43°13'05" E	25.02	L275	S 39°29'07" E	3.33
L112	N 01°42'24" E	15.82	L276	S 40°24'43" E	15.73
L113	N 06°34'58" W	4.41	L277	S 17°18'49" E	8.65
L114	N 15°04'38" E	17.77	L278	S 10°12'58" E	15.22
L115	N 30°15'33" E	38.25	L279	S 55°12'54" E	9.31
L116	N 07°27'15" E	22.93	L280	S 45°14'57" E	3.42
L117	N 39°01'14" E	6.19	L281	N 20°59'22" W	3.48
L118	N 32°35'34" E	4.91	L282	N 19°50'02" W	26.78
L119	N 37°55'34" E	24.77	L283	N 21°38'39" W	26.91
L120	N 01°20'23" E	26.58	L284	N 19°25'20" W	25.56
L121	N 16°17'41" W	15.06	L285	N 21°58'46" W	24.28
L122	N 48°49'05" W	19.60	L286	N 19°53'59" W	26.56
L123	N 38°24'54" W	25.02	L287	N 20°04'06" W	25.16
L124	N 85°19'37" E	76.57	L288	N 20°00'02" W	28.40
L125	S 31°25'55" E	2.24	L289	N 21°37'18" W	27.13
L126	S 16°14'18" E	24.71	L290	N 19°56'14" W	26.76
L127	S 17°22'10" E	24.42	L291	N 20°59'19" W	27.07
L128	S 12°00'10" W	10.16	L292	N 21°12'01" W	24.90
L129	S 20°29'13" E	6.71	L293	N 20°37'05" W	23.28
L130	S 74°41'03" E	9.19	L294	N 20°02'00" W	26.08
L131	S 74°20'31" E	7.38	L295	N 21°26'49" W	25.34
L132	S 10°16'04" E	31.65	L296	N 19°49'53" W	23.13
L133	S 22°27'08" W	8.19	L297	N 20°48'42" W	49.35
L134	S 17°43'12" E	9.45	L298	N 20°06'54" W	25.35
L135	S 42°33'50" E	33.54	L299	N 21°13'40" W	24.83
L136	S 65°16'26" E	24.92	L300	N 20°19'01" W	31.20
L137	N 58°28'42" E	21.38	L301	N 19°49'59" W	23.61
L138	N 19°17'16" E	8.88	L302	N 20°36'30" W	26.68
L139	N 83°57'40" E	8.10	L303	N 21°11'28" W	27.72
L140	S 66°55'20" E	5.33	L304	N 20°22'49" W	25.21
L141	S 36°58'02" E	24.88	L305	N 20°46'42" W	27.22
L142	S 34°40'57" E	5.15	L306	N 21°05'48" W	26.24
L143	S 00°47'04" W	30.33	L307	N 21°08'25" W	28.27
L144	S 04°59'04" E	33.20	L308	N 20°04'40" W	26.51
L145	S 27°09'24" E	23.86	L309	N 20°48'47" W	29.35
L146	S 61°39'03" E	15.30	L310	N 20°33'32" W	25.67
L147	S 24°51'17" E	14.94	L311	N 20°51'32" W	26.70
L148	S 10°22'31" E	21.51	L312	N 21°08'13" W	25.86
L149	S 03°37'23" W	21.98	L313	N 20°10'52" W	27.12
L150	S 71°03'58" E	16.63	L314	N 20°09'36" W	24.90
L151	S 48°38'07" E	15.02	L315	N 20°56'42" W	25.92
L152	S 21°28'48" E	10.30	L316	N 20°33'49" W	24.50
L153	S 84°44'14" E	17.69	L317	N 21°10'23" W	25.11
L154	N 65°30'20" E	10.79	L318	N 21°22'23" W	27.77
L155	N 64°44'48" E	10.35	L319	N 20°38'46" W	24.90
L156	S 48°28'30" E	5.49	L320	N 22°08'53" W	24.83
L157	S 35°02'25" E	9.53	L321	N 19°48'46" W	1.26
L158	S 44°45'07" E	32.39			
L159	S 79°11'30" E	15.63			
L160	S 42°10'46" E	10.60			
L161	S 63°25'25" E	10.16			
L162	S 38°21'54" E	12.89			
L163	S 65°33'49" E	10.74			
L164	S 73°47'21" E	19.02			

REVIEW OFFICER CERTIFICATE

WAKE COUNTY, NORTH CAROLINA

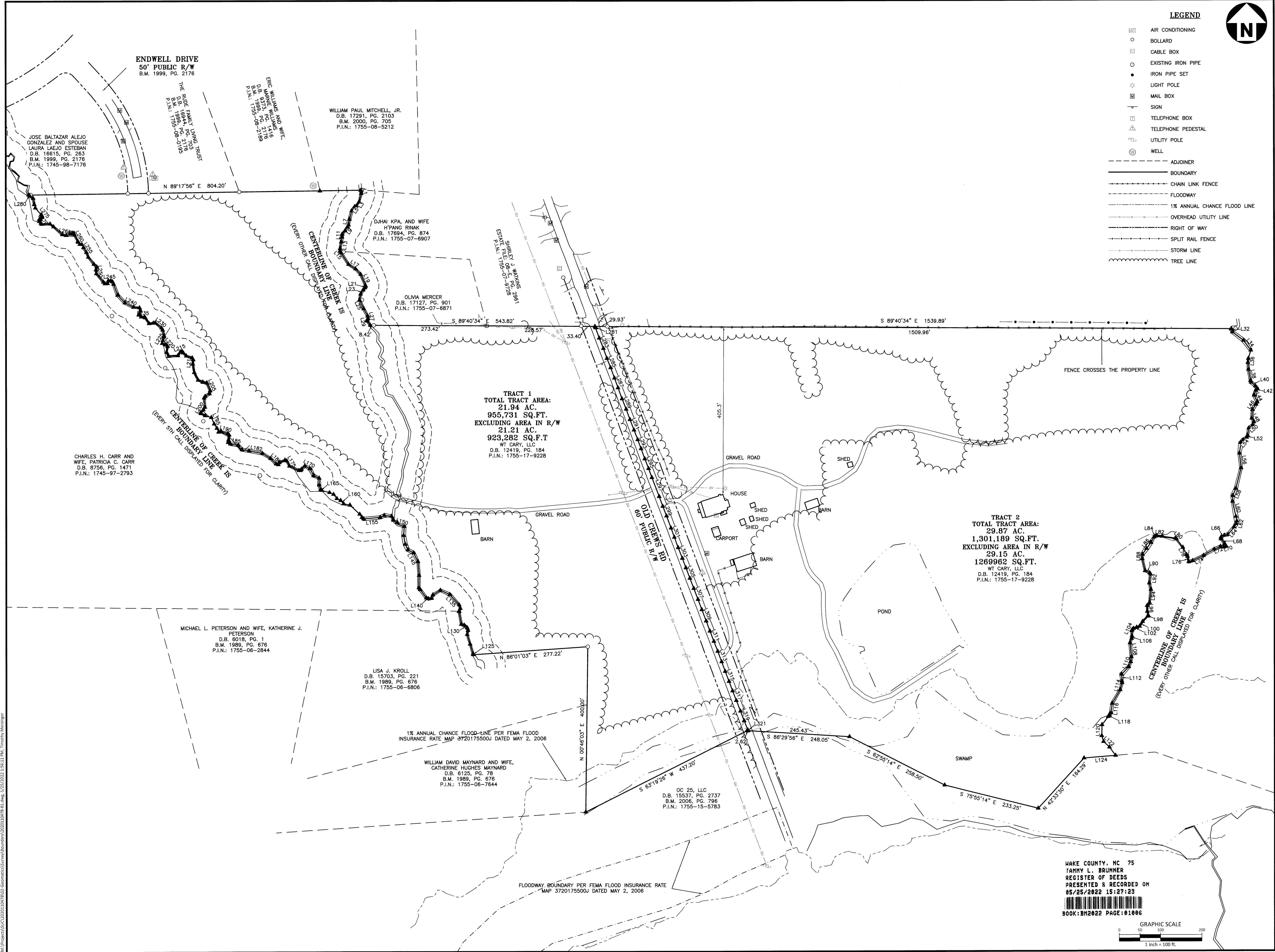
I, _____ REVIEW OFFICER FOR THE ABOVE COUNTY AND STATE, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

WAKE COUNTY, NC 74

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1712 OLD CREWS ROAD
ST. MATTHEW'S TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

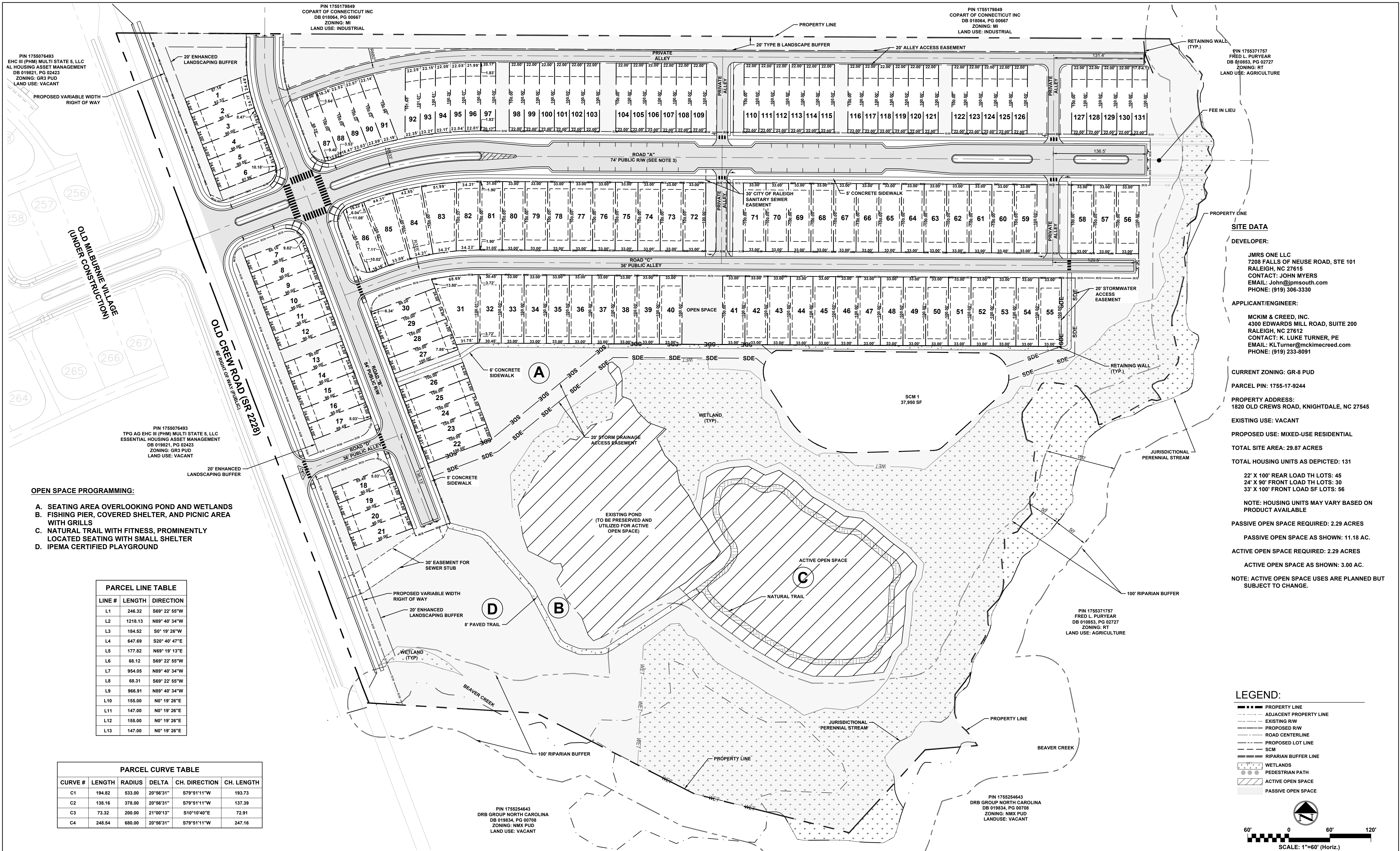


REVISIONS	
NO.	DATE

PLAN INFORMATION	
PROJECT NO.	2020110478
FILENAME	2020110478-B1
CHECKED BY	RTF
DRAWN BY	TAM
SCALE	1"=100'
DATE	05-24-2022

SHEET
SHEET TITLE

2-2



PARCEL LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	246.32	S69° 22' 55"W
L2	1218.13	N89° 40' 34"W
L3	184.52	S0° 19' 26"W
L4	647.69	S20° 40' 47"E
L5	177.82	N69° 19' 13"E
L6	68.12	S67° 22' 55"W
L7	954.05	N89° 40' 34"W
L8	68.31	S69° 22' 55"W
L9	966.91	N89° 40' 34"W
L10	155.00	N0° 19' 26"E
L11	147.00	N0° 19' 26"E
L12	155.00	N0° 19' 26"E
L13	147.00	N0° 19' 26"E

PARCEL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH. DIRECTION	CH. LENGTH
C1	194.82	533.00	20°56'31"	S79°51'11"W	193.73
C2	138.16	378.00	20°56'31"	S79°51'11"W	137.39
C3	73.32	200.00	21°00'13"	S10°10'40"E	72.91
C4	248.54	680.00	20°56'31"	S79°51'11"W	247.16

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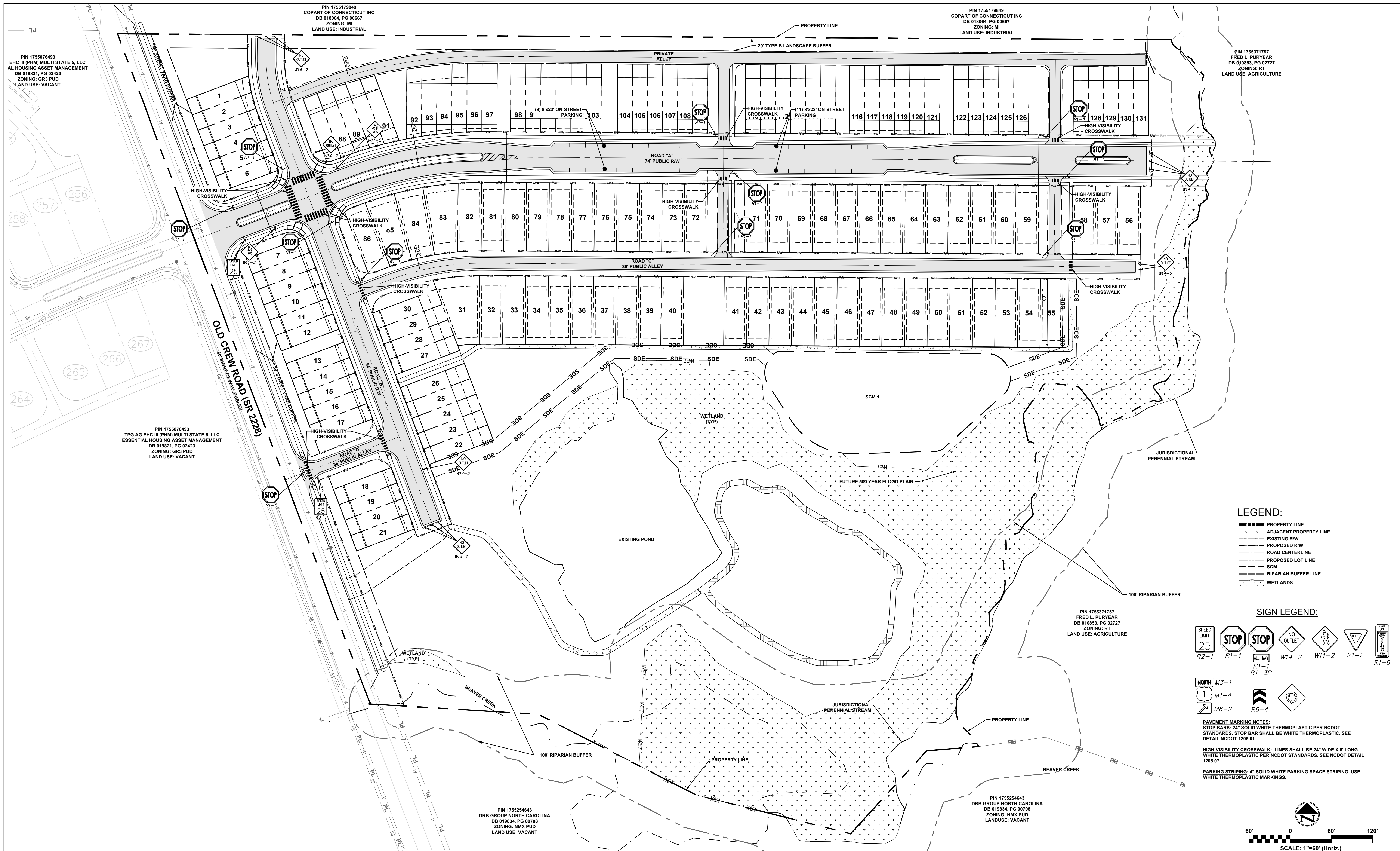
**THE OVERLOOK AT OLD CREWS
TOWN OF KNIGHTDALE
WAKE COUNTY, NC**

SITE PLAN

DATE:	FEBRUARY 9, 2026
MCE PROJ. #	10355-0002
DRAWN	JFS
DESIGNED	KLT
CHECKED	KLT
PROJ. MGR.	KLT

STATUS:

**REVIEW DRAWINGS ONLY
NOT FOR CONSTRUCTION**



0	INITIAL SUBMITTAL	02/09/2026
REV-NO.	DESCRIPTIONS	DATE
	REVISIONS	

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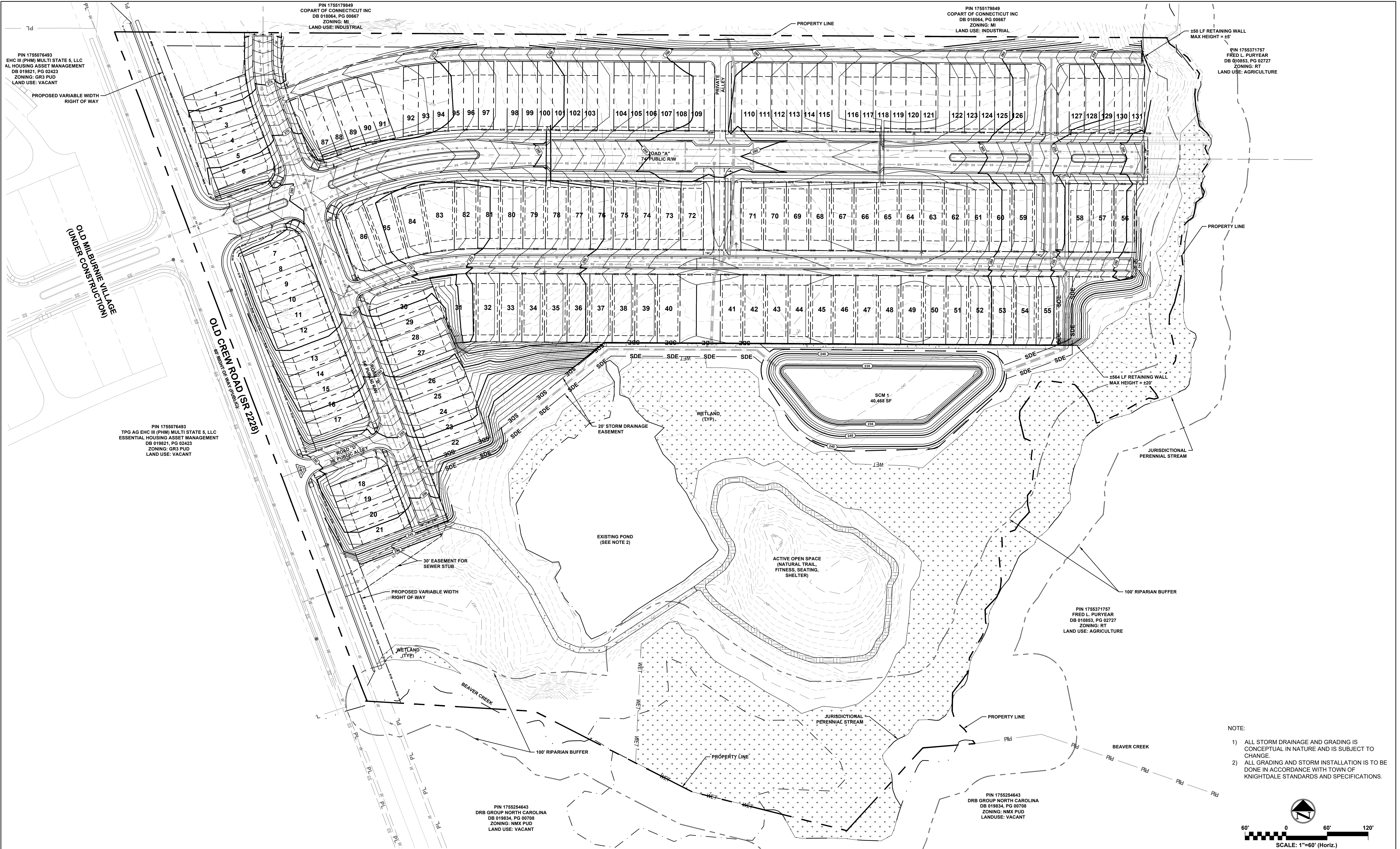


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**THE OVERLOOK AT OLD CREWS
TOWN OF KNIGHTDALE
WAKE COUNTY, NC**

SIGNAGE/PAVEMENT MARKING PLAN

DATE: FEBRUARY 9, 2026		SCALE	
MCE PROJ. # 10355-0002		HORIZONTAL: 1" = 60' VERTICAL: N/A	C3.1 DRAWING NUMBER REVISION
DRAWN JFS			
DESIGNED KLT			
CHECKED KLT			
PROJ. MGR. KLT			
STATUS:		REVIEW DRAWINGS ONLY NOT FOR CONSTRUCTION	



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THE OVERLOOK AT OLD CREWS
TOWN OF KNIGHTDALE
WAKE COUNTY, NC

GRADING PLAN

DATE: FEBRUARY 9, 2026
MCE PROJ. # 10355-0002
DRAWN: JFS
DESIGNED: KLT
CHECKED: KLT
PROJ. MGR. KLT

STATUS: REVIEW DRAWINGS ONLY
NOT FOR CONSTRUCTION

SCALE
HORIZONTAL: 1" = 60'
VERTICAL: N/A

C7.0
DRAWING NUMBER



1. TOTAL PUBLIC STREET LIGHTS: 13 LIGHTS

2. ALL STREET LIGHTS INSTALLED SHALL BE LED STREET LIGHTS (9500 LUMEN LED 75W ROADWAY LIGHTS)

3. THE TOWN WILL BE RESPONSIBLE FOR PAYMENT OF THE MONTHLY COSTS FOR PUBLIC STREET LIGHTING AND THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHT INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION.

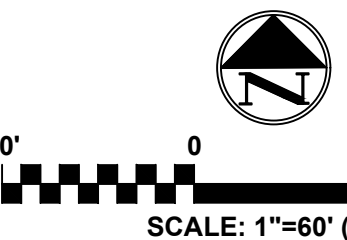
4. PER SECTION 1.7, THE FOLLOWING STANDARDS SHALL BE MET:

- ALL POLES MUST BE FIBERGLASS.
- POLES CANNOT EXCEED 37'.
- COLOR RENDERING INDEX OF 90 OR BETTER.
- "WHITE LIGHT" CORRELATED COLOR TEMP. SHALL NOT EXCEED 4,000 K.
- 250' AVERAGE MAXIMUM SPACING INTERNAL TO THE SITE. 150' ALONG OLD CROW'S ROAD.
- 4,800 MINIMUM INTERNAL LUMENS FOR LOCAL STREET LIGHTS; 12,500 FOR CREWIS; 18,500 FOR ARTERIAL.
- LOCAL: B1, U1, G2 COLLECTOR: B2, U2, G3; ARTERIAL: B3, U3, G4.

5. STREET LIGHTS SHALL BE PLACED ON ALTERNATE SIDES OF THE COLLECTOR.

6. CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR FINAL LIGHTING LOCATION.

LOT LINE
 RIGHT-OF-WAY LINE
 CENTER LINE
 PROPERTY LINE
 SETBACK LINE
 EASEMENT LINE
 CONCRETE SIDEWALK
 PROPOSED LIGHTING



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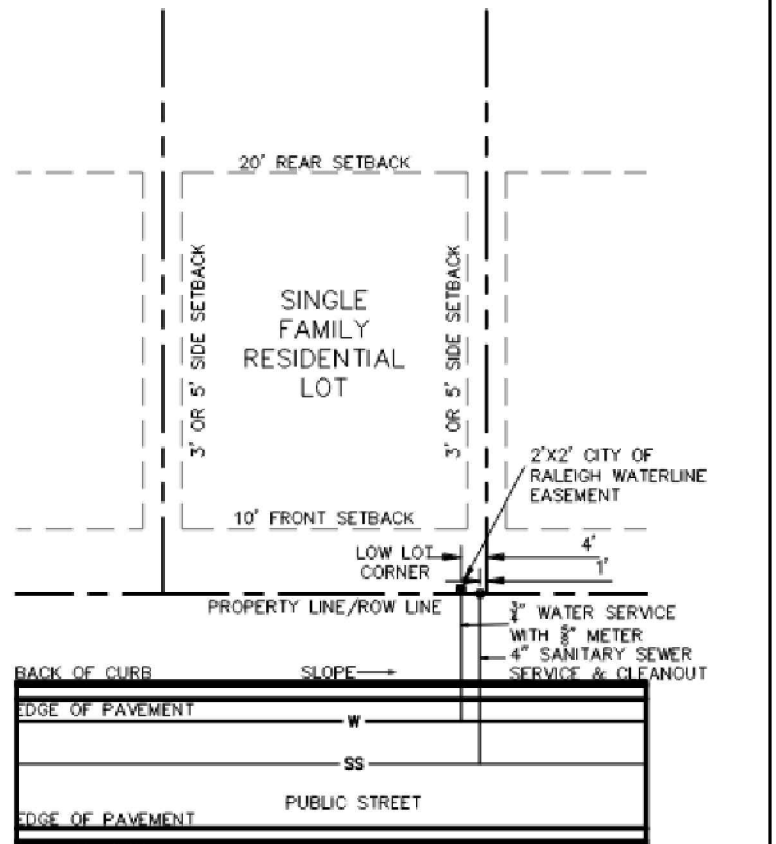
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**THE OVERLOOK AT OLD CREWS
TOWN OF KNIGHTDALE
WAKE COUNTY, NC**

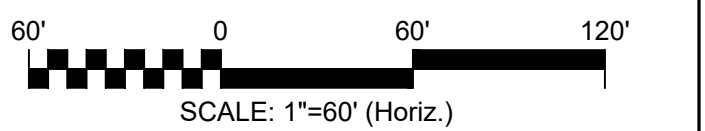
DATE: <u>FEBRUARY 9, 2026</u>	SCALE	C6.0
PROJECT # <u>10355-0002</u>	HORIZONTAL: 1" = 60'	DRAWING NUMBER
DRAWN <u>JFS</u>	VERTICAL:	REVISION
DESIGNED <u>KLT</u>	N/A	
CHECKED <u>KLT</u>		
PROJECT MGR. <u>KLT</u>		



 EXISTING WATERLINE
 PROPOSED WATER LINE
 PROPOSED SANITARY SEWER
 SEWER MANHOLE
 EXISTING SEWER MANHOLE
 SEWER LATERAL
 WATER METER
 FIRE HYDRANT ASSEMBLY (FHA)
 WATER VALVE
 BLOW OFF ASSEMBLY

Legend:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING R/W
- PROPOSED R/W
- PROPOSED LOT LINE
- GAS EASEMENT
- PERIMETER BUFFER
- STORM DRAINAGE EASEMENT
- SCM
- PHASE LINE
- RETAINING WALL
- RIPARIAN BUFFER LINE
- WETLANDS
- COMMON OPEN SPACE
- ACTIVE OPEN SPACE



Now what's **below**.
Call before you dig.

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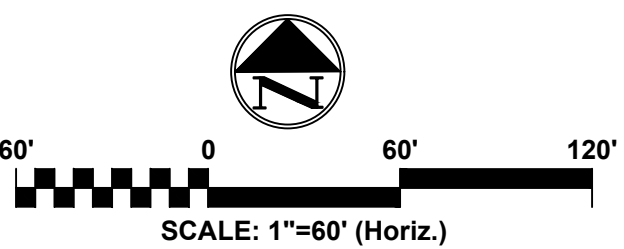
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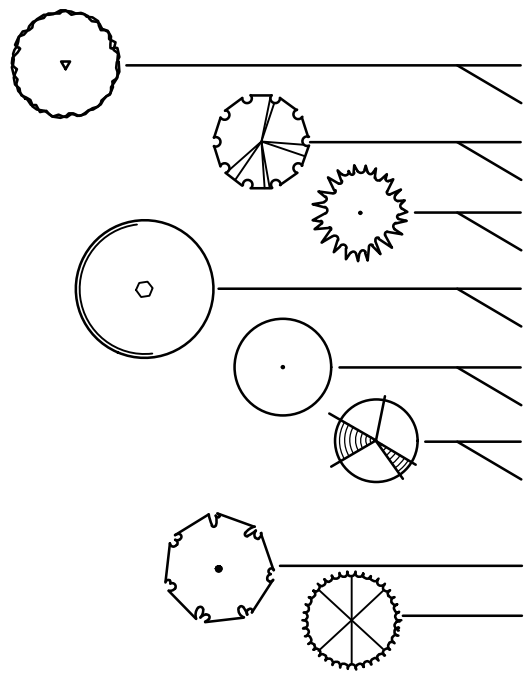
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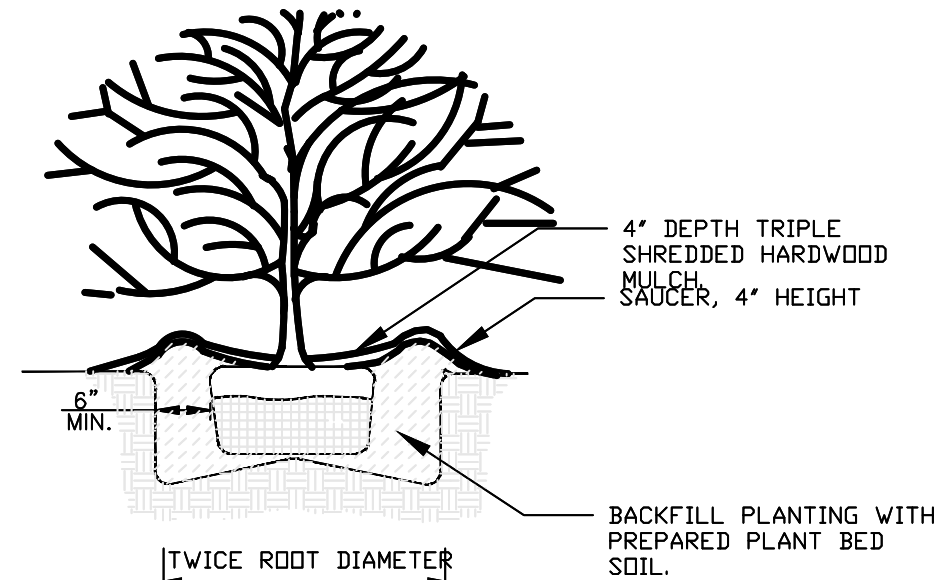


DATE: FEBRUARY 9, 2026 MCE PROJ. # 10355-0002 DRAWN JFS DESIGNED KLT CHECKED KLT PROJ. MGR. KLT	SCALE HORIZONTAL: 1" = 60' VERTICAL: N/A	C10.0 DRAWING NUMBER REVISION
STATUS: REVIEW DRAWINGS ONLY NOT FOR CONSTRUCTION		



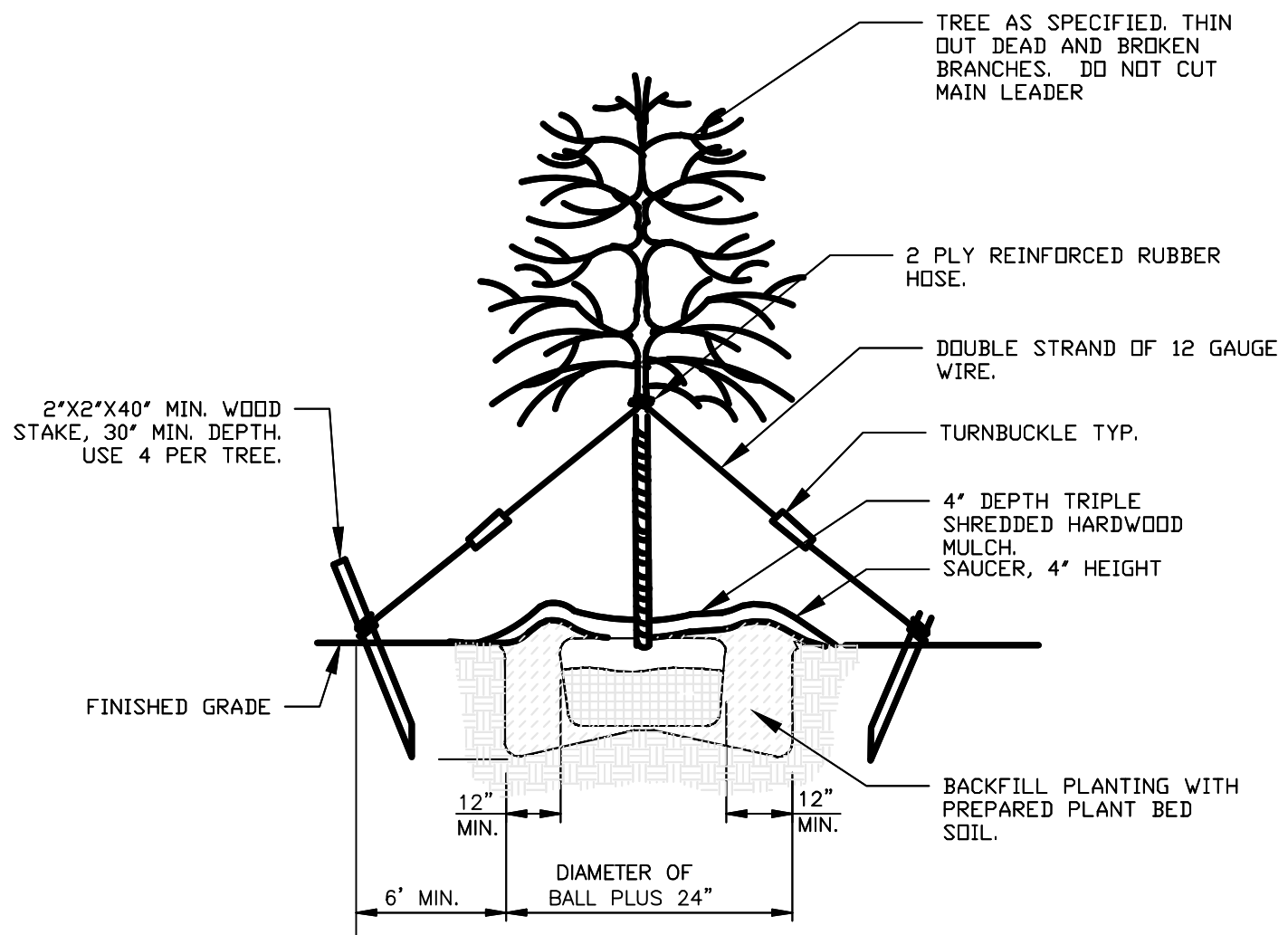
Botanical Name	Common Name	Qty.	Caliper	Height	Spread	Comments
Canopy Trees						
Ulmus parvifolia	Lacebark Elm	0	2.5"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Ulmus parvifolia	Lacebark Elm	0	3.0"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Acer saccharum	Sugar Maple	27	2.5"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Acer saccharum	Sugar Maple	0	3.0"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Quercus acutissima	Sawtooth Oak	24	2.5"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Quercus acutissima	Sawtooth Oak	0	3.0"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Pistacia chinensis	Chinese Pistachio	0	2.5"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Pistacia chinensis	Chinese Pistachio	0	3.0"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Zelkova serrata	Japanese Zelkova	26	2.5"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Zelkova serrata	Japanese Zelkova	0	3.0"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Zelkova schneideriana	Schneider Zelkova	28	2.5"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Zelkova schneideriana	Schneider Zelkova	0	3.0"	10'-12'	---	BB, Evenly Branched, Matched, Limbed Up
Understory Trees						
Acer buergeranum	Trident Maple	0	*	8'-10'	---	BB, Evenly Branched, Matched, Limbed Up
Prunus serrulate	Kwanzan Cherry	0	*	7'-8'	---	BB, Evenly Branched, Matched, Limbed Up
Shrubs						
Ilex comuta 'Rotundifolia'	Chinese Holly	0	---	18"-24"	---	3 gal. container, 3' o.c.

NOTE: QUANTITIES SUBJECT TO CHANGE DURING CONSTRUCTION DRAWINGS
*AS NEEDED FOR NOTED MINIMUM PLANTING HEIGHT



SHRUB PLANTING DETAIL

NOT TO SCALE



TREE PLANTING DETAIL-LARGE TREE

NOT TO SCALE

GENERAL NOTES - APPLY TO ALL LANDSCAPE SHEETS

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- ALL MATERIALS CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE TOWN OF WENDELL UNIFIED DEVELOPMENT ORDINANCE (UDO) STANDARDS.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ALL WORK WITHIN THE NCDOT ROW SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NEEDED PERMITS, AGREEMENTS AND SUPPLY NOTIFICATIONS OF CLOSURES FROM THE NCDOT.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL (CADD) FILE PROVIDED THROUGH THE CLIENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES FOR ELECTRIC, DRAINAGE, AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER LOCAL CODES.
- UTILITIES ARE SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL UTILITY INFORMATION.

SITE PLANNING NOTES

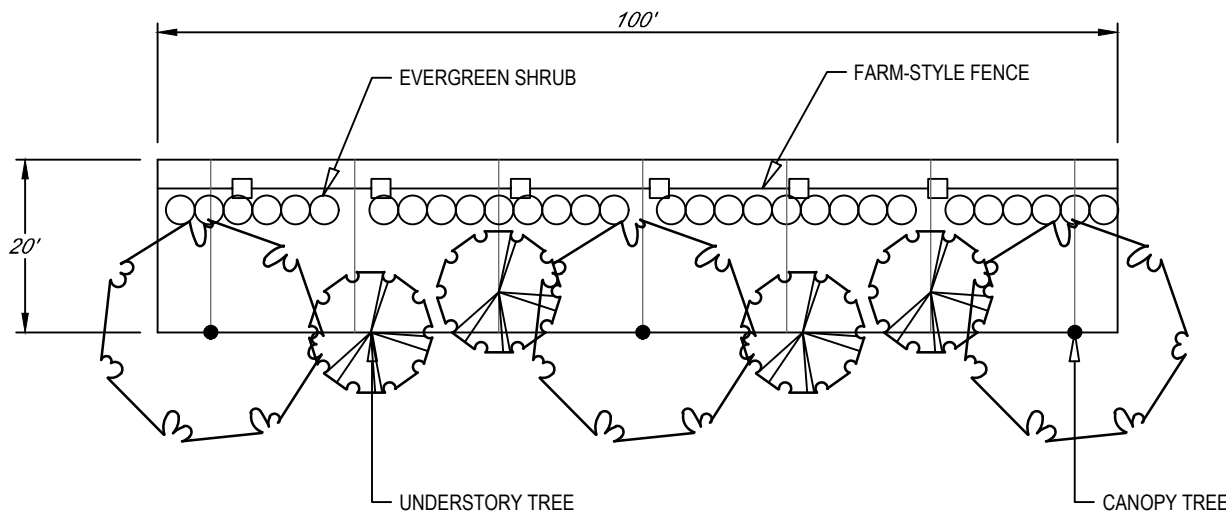
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AS AMENDED, AND ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- UNLESS NOTED ON THE DRAWINGS ALL BUFFERS, WETLANDS, STREAM CHANNELS, SETBACKS AND TREE PROTECTION AREAS SHALL BE PROTECTED WITH NO CONSTRUCTION ACCESS, STORAGE OR USE OF ANY KIND. THE CONTRACTOR SHALL KEEP CONSTRUCTION ACTIVITIES OUTSIDE OF THE BUFFERS INDICATED ON THE PLANS.
- ALL DIMENSIONS INDICATING "VERIFY" SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SMOOTH LAYOUT ALIGNMENTS BETWEEN EXISTING CONDITIONS AND PROPOSED SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING THE WORK SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.
- ITEMS LABELED AS "BY OTHERS" OR "NIC" ARE FOR COORDINATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ANY SUCH ITEMS WITH THE OWNER'S REPRESENTATIVE.
- REFER TO THE TOWN OF WENDELL UDO CHAPTER 8 TREE PROTECTION AND LANDSCAPING SECTION 8.6 BUFFERS AND SCREENING AND SECTION 8.8 STREET TREE PLANTINGS FOR PLANNING REQUIREMENTS FOR PLANTINGS.

PLANTING NOTES

- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT, RIP RAP, AND TEMPORARY STONE STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- TEMPORARY EROSION CONTROL SEED MUST BE FULLY REMOVED PRIOR TO PREPARATION OF PERMANENT SEED, SOD OR LANDSCAPE BEDS.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT. ALL GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. B&B MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- FURNISHED PLANT MATERIAL SHALL MEET THE MINIMUM HEIGHT OR MINIMUM SPREAD DIMENSIONS SHOWN IN THE PLANT LIST HEADINGS. THE CONTRACTOR SHALL UTILIZE THE MOST STRINGENT DIMENSION SHOWN ON THE PLANT LIST.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- PLANT THE OUTER EDGES OF EACH PLANTING GROUP FOLLOWING THE BED OUTLINE ACCORDING TO THE PLAN. ONCE A SATISFACTORY MATCHED OUTLINE SHAPE IS OBTAINED, FILL THE CENTER OF EACH AREA WITH PLANTS ACCORDING TO THE PLAN AND SPACING NOTES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS INCLUDING CONSTRUCTION ACCESS OUTSIDE PROJECT LIMITS.
- SPACING OF TREES SHOULD ALLOW FOR A CLEAR VIEW OF BUILDINGS AND LAND USE.

PLANTING NOTES

- STREET TREES SHALL BE PLANTED AS CANOPY TREES INSTALLED AT AN AVERAGE DISTANCE OF 40' O.C.; YET IN SOME LOCATIONS, FACTORS SUCH AS EASEMENTS, UTILITIES, UTILITY COORDINATION, DRIVEWAYS, BLOCK LENGTHS ETC. MAY RESULT IN A +/- DEVIATION. ANY TREE LOCATIONS CONFLICTING WITH PROPOSED UTILITIES SHALL BE RESOLVED IN THE FIELD.
- NO MORE THAN 40% OF ONE TREE SPECIES SHALL BE USED THROUGHOUT THE PROJECT.
- STREET TREES SHALL BE PLACED AT LEAST 8' FROM LIGHT POLES AND 10' FROM ELECTRICAL TRANSFORMERS FOR SERVICE; CONTRACTOR TO FIELD VERIFY ALL LIGHT AND UTILITY LOCATIONS PRIOR TO INSTALLATION.
- STREET TREES SHALL BE PLANTED INSIDE OF THE RIGHT-OF-WAY, BETWEEN THE CURB AND THE SIDEWALK, AND ARE TO BE LOCATED WITHIN THE PROVIDED PLANTING EASEMENT.
- WHERE PLANTINGS ARE NOT REQUIRED BY THE TOWN OF WENDELL UDO, BUT ARE SHOWN ON THE PLAN FOR REFERENCE ONLY WITH THE NOTATION NIC (NOT IN CONTRACT), DESIGN IS SUBJECT TO CHANGE WITHOUT NOTIFICATION.
- ALL MEDIANS SHALL BE SEEDED AND STABILIZED USING A COMMON BERMUDA TURF.



ENHANCED ROADSIDE LANDSCAPING WITH FARM-STYLE FENCING SECTION

0	INITIAL SUBMITTAL	02/09/2026
REV. NO.	DESCRIPTIONS	DATE
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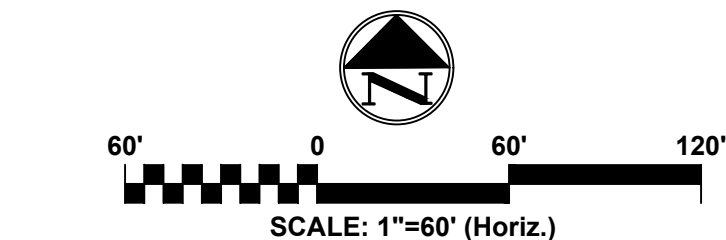


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THE OVERLOOK AT OLD CREWS
TOWN OF KNIGHTDALE
WAKE COUNTY, NC

LANDSCAPING DETAILS



DATE: FEBRUARY 9, 2026
MCE PROJ. # 10355-0002
DRAWN JFS
DESIGNED KLT
CHECKED KLT
PROJ. MGR. KLT

SCALE
HORIZONTAL: N/A
VERTICAL: N/A

C10.1

DRAWING NUMBER

REVISION

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