

PINS & SITE ADDRESSES -	1754541029-000 608 N. FIRST AVE. KNIGHTDALE, NC 27545 1754542054-000 0 WILDER NURSERY TRAIL KNIGHTDALE, NC 27545
DEED BOOK -	BK 016838, PG 02117; BK 16838, PG 02117
OWNER / DEVELOPER -	VOYAGE CAPITAL VENTURES, LLC 101 FOREST DRIVE, SUITE D KNIGHTDALE, NC 27545
SITE AREA -	191,253-SQFT
LAND USE -	+/-1,541 ACRES PROPOSED - RESTAURANT
ZONING -	EXISTING - RMX PROPOSED - RMX
WATERSHED CLASS. -	NO WATER SUPPLY WATERSHED PRESENT
EXISTING USE -	SINGLE FAMILY RESIDENTIAL, VACANT
PROPOSED USE -	RESTAURANT 1ST FLOOR RESTAURANT - +/4,726 SF GFA 2ND FLOOR ADMIN. OFFICES - +/1,068 SF GFA TOTAL GFA - +/5,794 SF
BUILDING ELEMENTS -	ORIGINAL TWO-STORY BUILDING TO REMAIN LARGELY INTACT WITH LIMITED EXTERIOR CHANGES. EXISTING ONE-STORY ADDITION TO BE REMOVED & REPLACED WITH NEW ONE-STORY RESTAURANT BUILDING AND FACILITIES. +/1,016 SF OF NEW FLOOR SPACE TO BE CONSTRUCTED WITH THE ADDITION.
LOT WIDTH -	REQUIRED (MU) - 32' (MIN.) PROVIDED - +/114.73'
SETBACKS -	REQUIRED (COMMERCIAL) - FRONT - 0' - 10' (MIN.-MAX.) SIDE - 5' (MIN.) REAR - 0' PROPOSED (COMMERCIAL) - EXISTING BUILD W/ MINOR ADDITION AT REAR FRONT - +/39.51' SIDE - +/8.16' NORTH, +/12.0' SOUTH REAR - +/189.45'
HEIGHT -	REQUIRED (COMMERCIAL) - 4 STORIES (MAX.) PROPOSED (EX. BUILDING) - 2 STORIES
IMPERVIOUS SURFACE -	TOTAL PROPOSED +/-0.420 AC (+/-18,285 SF)(EX. TO REMAIN + NEW AREAS)
DISTURBED AREA -	34,996 SF (0.803 acres) - SITE IS EXEMPT FROM KNIGHTDALE SCM ORDINANCES DUE TO LIMITED AREA OF DISTURBANCE
DUMPSTER ENCLOSURE -	REQUIRED - MATERIALS CONSISTENT W/ PRINCIPAL STRUCTURE PROPOSED - USE EXISTING DUMPSTER ENCLOSURE, ON ADJOINING TOWN OWNED PARKING LOT. OWNER SHALL PROVIDE THEIR OWN DUMPSTERS & SERVICES, TOWNE OF KNIGHTDALE SHALL PROVIDE EASEMENTS / AGREEMENTS AS NECESSARY TO FACILITATE USAGE.
PARKING -	REQUIRED - 5,788 SF / 1,000 = 5.78 KSF X 11.25 SPACES / KSF = 65 SPACES PROVIDED - NEW CONSTRUCTION - ON-SITE EXISTING - IN PUBLIC R/W (N. 1ST AVE) 1 SPACE OLD TOWN PARKING FUND - \$19,000 / \$500 = 38 SPACES TOTAL PROVIDED - 65 SPACES HC SPACES REQUIRED - 2 SPACES HC SPACES PROVIDED - (ALL ARE VAN SPACES) 2 SPACES REQUIRED - 2 SPACES / 15-40 CAR PARKING LOT = 2 SPACES PROVIDED - 4 SPACES ON ROCK NEAR FRONT PORCH OF RESTAURANT
STORMWATER MGMT. -	PARKING LOT & SWALE TO SLOPE AT +/1.0%, TO EXISTING NORTHERN END OF 15' RCP UNDER POPLAR ST.; PERMANENT ROCK HORSESHOE FILTER DAM FOR STORMWATER VELOCITY REDUCTION PRIOR TO ENTERING TOK STORMWATER SYSTEM
WATER ALLOCATION POLICY -	PROPOSED DEVELOPMENT IS EXPECTED TO MERIT WATER ALLOCATION BASED ON PRELIMINARY CALCULATION OF GREATER THAN 50 POINTS: CHANGE OF USE - 50 BASE PTS. REDEVELOPMENT OF VACANT SPACE >20,000 SF - 6 BONUS PTS. REDEVELOPMENT W/IN OLD TOWN DISTRICT - 4 BONUS PTS. TOTAL WATER ALLOCATION POINTS - 60 POINTS
ENVIRONMENTAL SURVEY -	- PROVIDED BY WAKE COUNTY GIS AERIAL PLAN, SITE DEVELOPMENT WILL MAINTAIN THE INTEGRITY OF THE EXISTING HOMESTEAD AND PRESENTLY UNDEVELOPED LOT TO NO IMPACT ON SURROUNDING, OFF-SITE NATURAL ENVIRONMENTAL FEATURES, MOST VALUABLE, EXISTING SITE-NATIVE TREES WILL BE PROTECTED TO MINIMIZE CONSTRUCTION DAMAGE AND LONG TERM DETRIMENTAL EFFECTS.

Rezoning Conditions

October 12, 2020

- LANDDEVELOPMENT CAPITAL PARKING INFRASTRUCTURE PROJECT
 DTL NOTES.DWG - CIVIL COVER - 9/14/2021 7:11:53 PM - PAUL NEDER

1. TOPOGRAPHICAL AND EXISTING CONDITIONS SURVEY PERFORMED BY RIVERS AND ASSOCIATES, INC., 742 MCKNIGHT DR., SUITE 200, KNIGHTDALE, NC 27545. ADDITIONAL EXISTING CONDITIONS INFORMATION IS BASED ON FIELD INSPECTION BY THE CIVIL ENGINEER AND THE LANDSCAPE ARCHITECT. ADDITIONAL INFORMATION WAS ALSO OBTAINED FROM WAKE COUNTY GIS AND FROM FILES UTILIZED IN THE CONSTRUCTION OF THE ADJOINING KNIGHTDALE STATION PARK.
2. THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. THE OWNER SHALL PAY ALL COSTS IN CONNECTION WITH ALTERATION OF OR RELOCATION OF ANY EXISTING FACILITIES.
3. ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
4. ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD.
5. UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN AN APPROVED SOLID WASTE LANDFILL.
6. THERE IS EXISTING UNDERGROUND WATER, S.S., ELECTRICAL, OR FIBER OPTIC ON-SITE OR WITHIN CLOSE PROXIMITY. CONTRACTORS SHALL CALL 811 48 HOURS PRIOR TO DIGGING. CONTRACTORS SHALL DIG WITH EXTREME CAUTION.
7. CONCRETE SUB SHALL BE RESPONSIBLE FOR ALL SCORE JOINTS AND EXPANSION JOINTS. CONTRACTOR TO SUBMIT PROPOSED SCORE JOINT PLAN TO THE LANDSCAPE ARCHITECT & CIVIL ENGINEER, FOR REVIEW AND APPROVAL PRIOR TO FORMING & POURING FLATWORK.
8. CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC EXCEPT PARKING STALL LINES WHICH MAY BE PAINTED.
9. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 72 HOURS PRIOR TO DIGGING @ 811. RIVERS & ASSOCIATES, INC. HAS ONLY LOCATED THE UTILITIES THAT ARE ABOVE GROUND AT THE TIME OF FIELD SURVEY. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
10. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
11. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, NCDOT, AND LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
12. ALL CONSTRUCTION AND MATERIALS SHALL MEET (AHJ), AND NCDOT SPECIFICATIONS AND STANDARDS, LATEST EDITION. ALL WORK WITHIN NCDOT RIGHT-OF-WAY SHALL MEET THE SPECIFICATIONS AND STANDARDS OF NCDOT.
13. ALL CONCRETE PIPE IS TO BE ASTM C-76, CLASS III WITH RAM-NEK, UNLESS OTHERWISE NOTED.
14. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE.
15. WETLANDS AND PONDS, IF PRESENT, ARE DENOTED ON THE SURVEY. NO IMPACTS TO WETLANDS ARE ANTICIPATED.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR TOWN OF KNIGHTDALE (TOK) RIGHT-OF-WAY. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
17. PRIOR TO PLACING C&Bc STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE PROJECT CIVIL ENGINEER TO INSPECT AND PROOF ROLL THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
18. DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL SURVEY. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT RIVERS AND ASSOCIATES WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE DESIGN ENGINEER TO CALL IN A SOILS ENGINEER FOR CONSULTATION AND ADVICE, ETC. -STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA PRIVATE OR PUBLIC. THE DESIGN CONTRACTOR MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAMP BEHIND THE COMPLETED DESIGNED PROJECT.
19. ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. DO NOT SOD, SEED OR MULL DISTURBED AREAS UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
20. SITE LIGHTING IS TO BE DEVELOPED WITH COORDINATION BETWEEN CONTRACTOR, OWNER/DEVELOPER AND DUKE ENERGY.
21. REGULATORY SIGNS, STOP SIGNS AND ADA SIGNS SHALL BE MANUFACTURED FROM HIGH INTENSITY REFLECTIVE MATERIALS.
22. ALL EXCESS TOPSOIL AND UNCLASSIFIED EXCAVATION IS TO BE HAULED OFF-SITE, TO AN APPROVED DISPOSAL LOCATION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
23. ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE PROJECT CIVIL ENGINEER AT THE FOLLOWING STAGES:
 - A. COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
 - B. COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
 - C. FINAL INSPECTION WHEN ALL WORK IS COMPLETE.
24. THE SURVEYOR DID NOT VISIBLY SEE ANY CEMETERIES IN ANY OPEN AREAS UNLESS OTHERWISE NOTED.
25. THESE PLANS DO NOT DEPICT ENCUMBRANCES THAT ARE FOUND DURING A THOROUGH TITLE SEARCH.
26. ALL ON-SITE CURB AND GUTTER TO BE 24" STANDARD CURB AND GUTTER IN ACCORDANCE WITH DETAILS. ALL CURB AND GUTTER WITHIN NCDOT R/W SHALL BE 30" STANDARD CURB AND GUTTER. CURB AND GUTTER WITHIN THE TOK R/W SHALL BE 30" STANDARD OR TO MATCH EXISTING, AS DIRECTED BY TOK STAFF.
27. ALL CURB AND GUTTER AND SIDEWALK CONCRETE IS TO BE MINIMUM 3,000 PSI AT 28 DAYS, AIR ENTRAINED.
28. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS INDICATED OTHERWISE.
29. PROVIDE HANDICAP SIGNS, MARKING AND RAMPS AS SHOWN.
31. HANDICAP RAMPS ARE TO MEET "ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" AS DETAILED IN THE FEDERAL REGISTER, VOLUME 56, NUMBER 144 DATED JULY 26, 1991. RULES AND

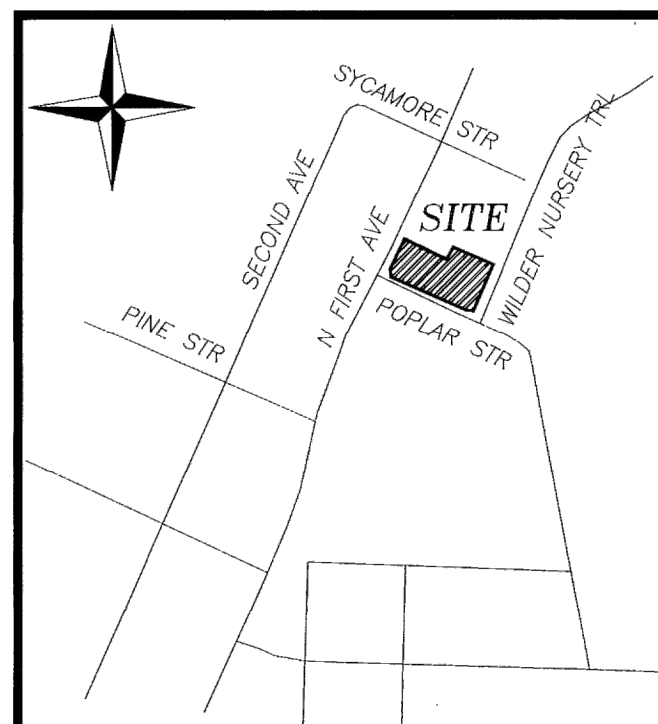
59. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

60. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

PHJ	AUTHORITY HAVING JURISDICTION	PT	POINT
CPP	CORRUGATED PLASTIC PIPE	PVC	POLYVINYL CHLORIDE
CSP	CORRUGATED STEEL PIPE	P.V.C.	POINT OF VERTICAL CURVATURE
CULV.	CULVERT	P.V.I.	POINT OF VERTICAL INTERSECTION
		PVMT	PAVEMENT
Ø / DIA.	DIAMETER	P.V.T.	POINT OF VERTICAL TANGENCY
		R	RADIUS
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
Dc	DEGREE OF CURVATURE	RD	ROAD
DET	DETAIL	RED.	REDUCER
DI	DROP INLET	REQ'D.	REQUIRED
DIP	DUCTILE IRON PIPE	RJ	RESTRAINED JOINT
DN	DOWN	RR	RAILROAD
D/W	DRIVEWAY		
DWG(S).	DRAWING(S)	R/W	RIGHT OF WAY
EL/ELEV	ELEVATION		
ELEC.	ELECTRICAL	SDMH	STORM DRAIN MANHOLE
EOP	EDGE OF PAVEMENT		
ESMT	EASEMENT	SDMH SECT.	SECTION
EX/EXIST	EXISTING		
F.D.	FLOOR DRAIN	SF	SQUARE FEET
FES	FLARED END SECTION		
FFE	FINISHED FLOOR ELEVATION	SP	SERVICE POLE
FH	FIRE HYDRANT	SPEC.	SPECIFICATION
FHA	FIRE HYDRANT ASSEMBLY	SQ.	SQUARE
	FLOW INDICATOR	SR	STATE ROAD
FLEX.	FLEXIBLE	SS	SANITARY SEWER
		SSCO	SANITARY SEWER CLEANOUT
FM	FORCE MAIN	SSMH	SANITARY SEWER MANHOLE
FO	FIBER OPTIC CABLE	STA.	STATION
FOP	FIBER OPTIC POST	STD.	STANDARD
FOSC	FIBER OPTIC SIGNAL CABLE	STL	STEEL
FC	FACE OF CURB	S/W	SIDEWALK
FT	FEET		
		TC	TOP OF CURB
GA	GAUGE	TEL.	TELEPHONE
GAL.	GALLON	TEMP.	TEMPORARY
GALV.	GALVANIZED		
GEN	GENERATOR	T/G	TOP OF GRATING
G/L	GUTTER LINE	TOG	TOWN OF GARNER
GV	GATE VALVE	TP	TELEPHONE PEDESTAL
GW	GUY WIRE/ANCHOR		
HD	HEAVY DUTY	TST	TEMPORARY SEDIMENT TRAP
HEX.	HEXAGONAL	T/W	TOP OF WALL
HORZ.	HORIZONTAL	TYP.	TYPICAL
HP	HIGH POINT		
HP	HIGH PERFORMANCE POLYPROPYLENE	U/G	UNDER GROUND
	DUAL WALL STORM DRAINAGE PIPE	UGE	UNDER GROUND ELECTRIC
HWL	HIGH WATER LEVEL		
HWY.	HIGHWAY		
ICV	IRRIGATION CONTROL VALVE	V	VALVE
ID	INSIDE DIAMETER	VC	VERTICAL CURVE
IN	INCH(ES)	VERT.	VERTICAL
INV.	INVERT		
JB	JUNCTION BOX		
	CURVE COEFFICIENT	w/	WITH
		WM	WATER METER
LF	LINEAR FEET	WSE	WATER SURFACE ELEVATION
		WW	WATER VALVE
LP	LIGHT POLE	WWF	WELDED WIRE FABRIC
LWL	LOW WATER LEVEL		

DATE:	
JULY 27, 2020	
DESIGNED BY:	PRM
DRAWN BY:	PRM,MS, BM
CHECKED BY:	JSJ
PROJECT No.	2020057
DRAWING No.	W-3894
SCALE:	AS NOTED

BKBM2021PG01221



VICINITY MAP (NTS)

SITE DATA
LOT 1
608 NORTH FIRST AVENUE
VOYAGE CAPITAL VENTURES, LLC
DB 18104 PG 141
BM 2019 PG 1181
PIN 1754541029
ZONING: NMX-CO

LOT 2
0 WILDER NURSERY TRAIL
VOYAGE CAPITAL VENTURES, LLC
DB 18104 PG 141
BM 2019 PG 1181
PIN 1754542084
ZONING: NMX-CO

SURVEY REFERENCES
DEED BOOK 18104 PAGE 141
BOOK OF MAPS 2019 PAGE 1181
OTHERS AS SHOWN

GENERAL NOTES:

- 1) THE PURPOSE OF THIS MAP IS TO RECOMBINE LOT 1 AND LOT 2 AS SHOWN HEREON.
- 2) PROPERTIES SHOWN HEREON ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD THAT WOULD BE REVEALED BY A THOROUGH TITLE SEARCH. THIS MAP SHOULD NOT BE RELIED UPON AS A COMPLETE RECORD OF ALL EASEMENTS THAT MAY EFFECT THESE PROPERTIES.
- 3) UNIT OF MEASUREMENT IS U.S. SURVEY FEET (FT) UNLESS SPECIFICALLY NOTED AS METERS (M).
- 4) ALL DISTANCES AND COORDINATES SHOWN HEREON ARE LOCALIZED, GROUND INFORMATION, UNLESS SPECIFICALLY NOTED AS "GRID".
- 5) AREA(S) CALCULATED BY THE COORDINATE METHOD
- 6) THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON:
FIRM PANEL(S): 37200175400J
EFFECTIVE DATE(S): MAY 02, 2006
- 7) PARCELS SHOWN ARE ZONED NMX-CO.

I, JOHN R. RITCHIELL-PUCKETT CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 18104, PAGE 141); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK OF MAPS BM 2019, PAGE 1181; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:20,000; THAT THE GLOBAL POSITIONING SYSTEM (GPS) SURVEY AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GNSS SURVEY:

CLASS OF SURVEY AA
POSITIONAL ACCURACY 0.03
TYPE OF GPS FIELD PROCEDURE: VRS RTK GPS (NCCORS)
DATES OF SURVEY: 06/20/2020
PUBLISHED/FIXED-CONTROL USE: NCCORS
GEOID MODEL: 128
COMBINED GRID FACTOR(S): 0.9992
UNITS: U.S. SURVEY FEET

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; THAT THIS PLAT MEETS THE REQUIREMENT OF G.S. 47-30 SECTION F-11-d (THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION).

WITNESS MY ORIGINAL SIGNATURE
AND SEAL THIS 27th DAY
OF APRIL, 2021.

JOHN R. RITCHIELL-PUCKETT

0 40' 80' 120'

1" = 40'

- LEGEND:**
- ▲ DATUM CONTROL POINT
 - PROPERTY CORNER FOUND
 - △ PROPERTY CORNER SET
 - △ COMPUTED POINT
 - ⊙ WATER METER
 - ⊙ WELL (POTABLE)
 - ☆ LIGHT POLE
 - ⊙ UTILITY POLE
 - ⊙ STREET ADDRESS(LYP)

ABBREVIATIONS:
N/F NOW OR FORMERLY
DB DEED BOOK
PB PLAT BOOK
PG PAGE
AG ABOVE GROUND
BG BELOW GROUND

CERTIFICATE OF APPROVAL FOR RECORDING.
I HEREBY CERTIFY THAT THE RECOMBINATION PLAT SHOWN IS EXEMPT FROM THE SUBDIVISION PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND IS THEREFORE EXEMPT FROM ITS PROVISIONS. THE PLAT HAS BEEN FOUND TO COMPLY WITH THE ZONING REGULATIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND HAS BEEN APPROVED BY THE TOWN OF KNIGHTDALE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

5/4/2021
DATE
ADMINISTRATOR, TOWN OF KNIGHTDALE

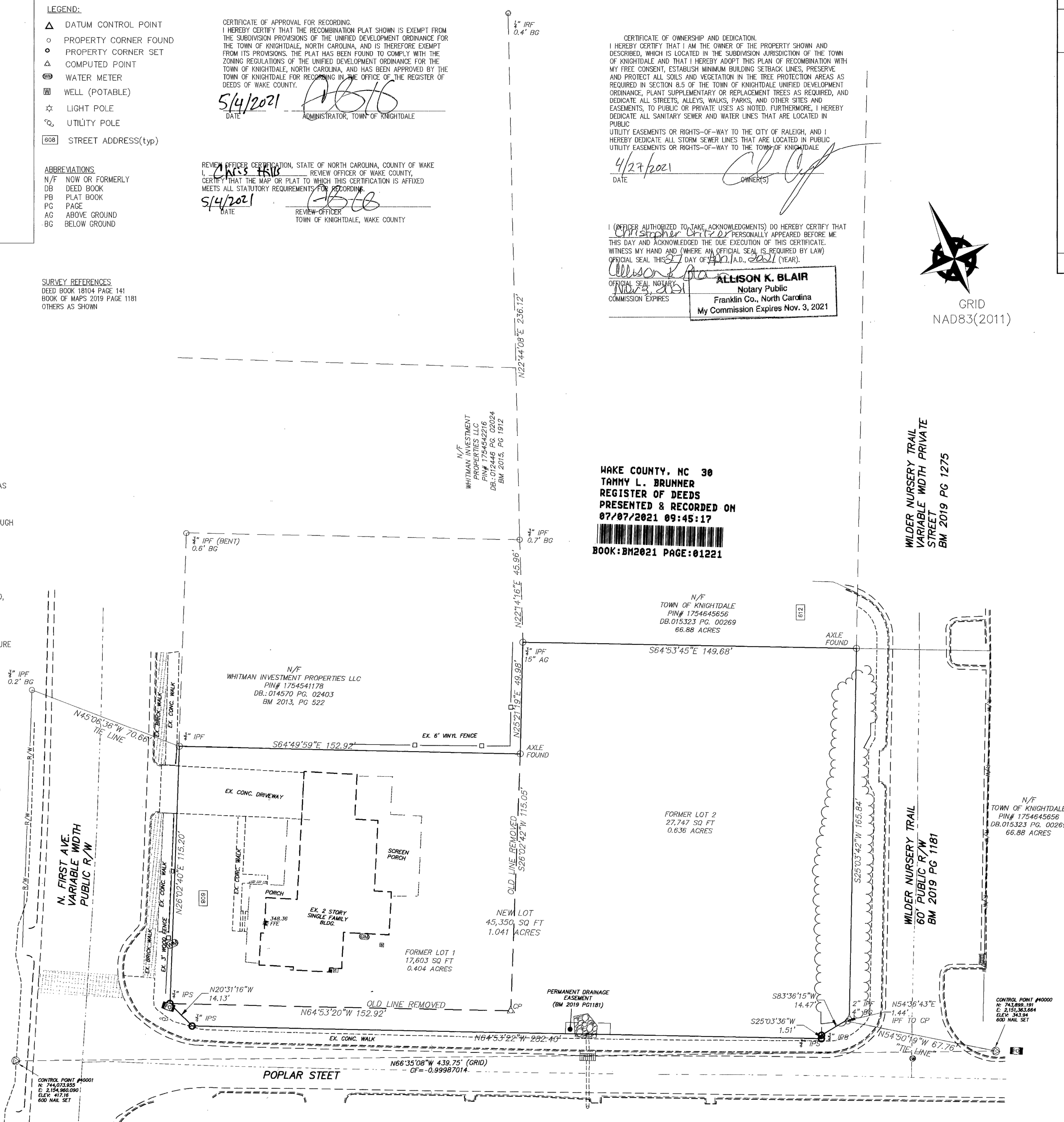
REVIEW OFFICER CERTIFICATION, STATE OF NORTH CAROLINA, COUNTY OF WAKE
I, **ALLISON K. BLAIR**, REVIEW OFFICER OF WAKE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
5/4/2021
DATE
REVIEW OFFICER
TOWN OF KNIGHTDALE, WAKE COUNTY

CERTIFICATE OF OWNERSHIP AND DEDICATION.
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF KNIGHTDALE AND THAT I HEREBY ADOPT THIS PLAN OF RECOMBINATION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, PRESERVE AND PROTECT ALL SOILS AND VEGETATION IN THE TREE PROTECTION AREAS AS REQUIRED IN SECTION 8.5 OF THE TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE, PLANT SUPPLEMENTARY OR REPLACEMENT TREES AS REQUIRED, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS, TO PUBLIC OR PRIVATE USES AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER AND WATER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE CITY OF RALEIGH, AND I HEREBY DEDICATE ALL STORM SEWER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE TOWN OF KNIGHTDALE.

4/27/2021
DATE
OWNER(S)

I (OFFICER AUTHORIZED TO TAKE ACKNOWLEDGMENTS) DO HEREBY CERTIFY THAT **ALLISON K. BLAIR** PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THIS CERTIFICATE. WITNESS MY HAND AND (WHERE AN OFFICIAL SEAL IS REQUIRED BY LAW) OFFICIAL SEAL THIS 27th DAY OF APRIL, A.D. 2021 (YEAR).
ALLISON K. BLAIR
Notary Public
Franklin Co., North Carolina
My Commission Expires Nov. 3, 2021

WAKE COUNTY, NC 30
TOMMY L. BRUNNER
REGISTER OF DEEDS
PRESENTED & RECORDED ON
07/07/2021 09:45:17
BOOK: BM2021 PAGE: 01221



Rivers
& ASSOCIATES, INC.
Since 1918
353 EAST SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27609
(919) 296-5463
Engineers
Planners
Surveyors
Landscape Architects

RECOMBINATION PLAT
PROPERTY OF VOYAGE CAPITAL VENTURES, LLC
(FORMERLY LOTS 1 & 2 ANTONIO RODRIGUEZ PROPERTY)
608 NORTH FIRST AVENUE / 0 WILDER NURSERY TRAIL
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
SURVEY PREPARED FOR:
VOYAGE CAPITAL VENTURES, LLC
2917 MAPLE POINT DRIVE
WENDELL NORTH CAROLINA 27591

TOK# R-5-21
DATE:
FEBRUARY 3, 2021
DESIGNED BY:
DRAWN BY: JRRP
CHECKED BY:
PROJECT No. 2020057
DRAWING No. Z-2667
SCALE:
SHEET No.

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: 10/26/21
Administrator

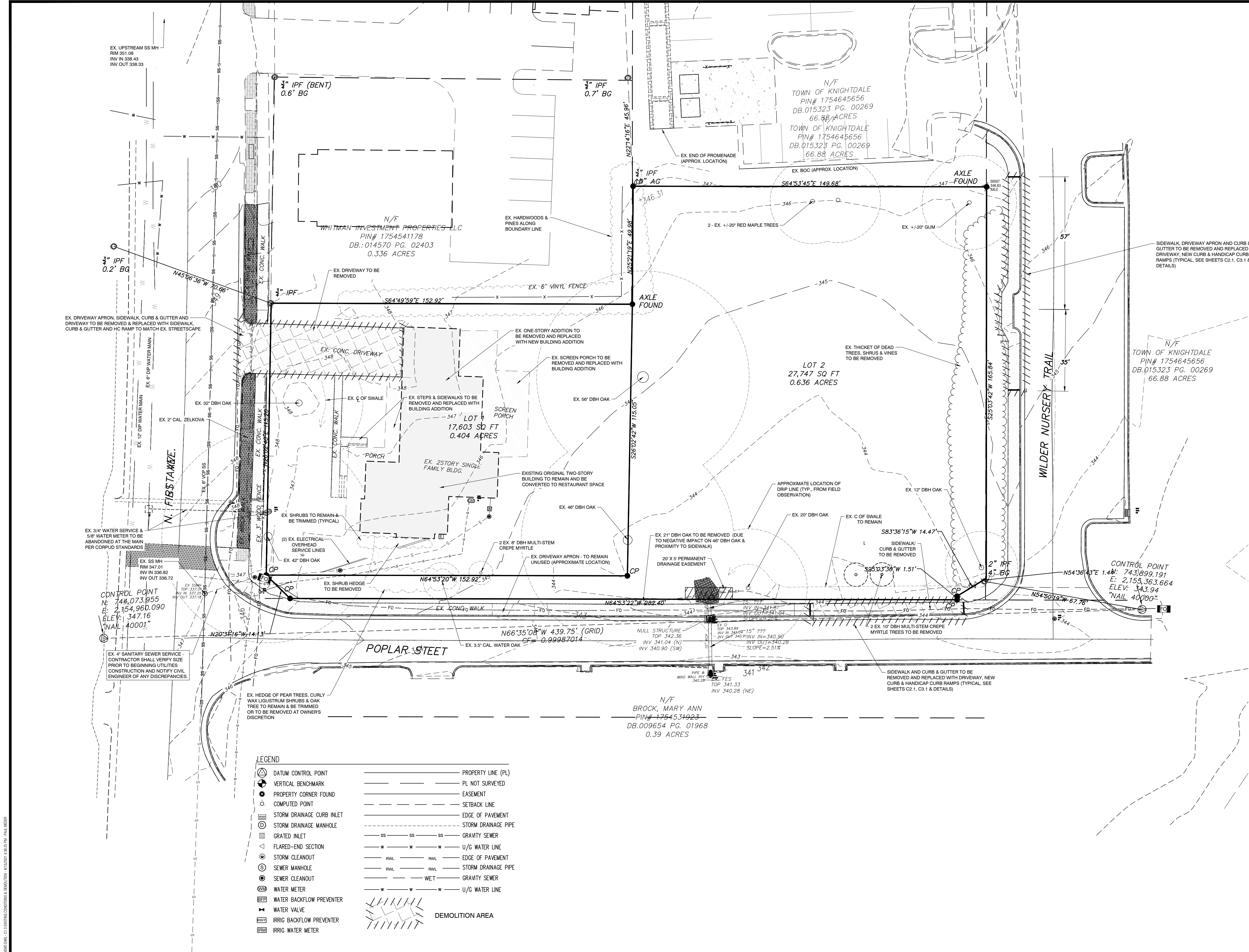
NC License F-0334
Rivers
& ASSOCIATES, INC.
Since 1918
353 East Six Forks Road
Raleigh, NC 27609
(919) 296-5463
Engineers
Planners
Surveyors
Landscape Architects

ISSUE/REVISIONS:			
NO.	REVISIONS	DATE	BY
1	CONSTRUCTION DRAWINGS #3	08/09/21	
2	CLIENT REVISIONS	05/26/21	
3	PRELIMINARY CLIENT REVISIONS	05/19/21	
4	CONSTRUCTION DRAWINGS #2	03/10/21	
5	CONSTRUCTION DRAWINGS #1	02/04/21	

VOYAGE CAPITAL VENTURES, LLC
608 NORTH 1ST AVE.
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
RECORD PLAT

DATE:
JULY 27, 2020
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
PROJECT No. 2020057
DRAWING No. W-3894
SCALE: AS NOTED
SHEET No.

C1.2



EXISTING CONDITIONS DATA

PINS & SITE ADDRESSES - 1754541029-000
808 N. FIRST AVE.
KNIGHTDALE, NC 27545
1754542064-000
0 WILDER NURSERY TRAIL
KNIGHTDALE, NC 27545
DEED BOOK - BK 016838, PG 02117, BK 16838, PG 02117

EXISTING NATURAL FEATURES - THERE ARE NO WETLANDS, FLOOD PLAINS, WATER SUPPLY WATERSHEDS, WATER SUPPLY WATERSHED BUFFERS OR RIPARIAN BUFFERS LOCATED ON THE SITE (AS PER WAKE COUNTY GIS).

ENVIRONMENTAL SURVEY - PROVIDED BY WAKE COUNTY GIS AERIAL PLAN; EXISTING CONDITIONS SURVEY; AND ON-SITE INSPECTIONS BY THE LANDSCAPE ARCHITECT AND THE CIVIL ENGINEER. SITE DEVELOPMENT WILL MAINTAIN INTEGRITY OF THE EXISTING HOMESTEAD AND PRESENT LITTLE TO NO IMPACT ON SURROUNDING, OFF-SITE NATURAL ENVIRONMENTAL FEATURES. MOST, VALUABLE, EXISTING ON-SITE TREES WILL BE PROTECTED TO MINIMIZE CONSTRUCTION DAMAGE AND LONG TERM DETRIMENTAL EFFECTS.

Rivers
RIVERS AND ASSOCIATES, INC.
353 East Six Forks Road
Suite 230
Raleigh, NC 27609
(919) 594-1626

NC License: F-0324
Engineers
Planners
Surveyors
Landscape Architects

ISSUE/REVISIONS:

NO.	DATE	BY	DESCRIPTION
09/19/21			CONSTRUCTION DRAWINGS #4
08/09/21			CONSTRUCTION DRAWINGS #3
05/26/21			CLIENT REVISIONS
05/19/21			PRELIMINARY CLIENT REVISIONS
03/10/21			CONSTRUCTION DRAWINGS #2
02/04/21			CONSTRUCTION DRAWINGS #1

VOYAGE CAPITAL VENTURES, LLC
608 NORTH 1ST AVE.
TOWN OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS & DEMOLITION PLAN

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans left on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
Raleigh Water Review Officer _____

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

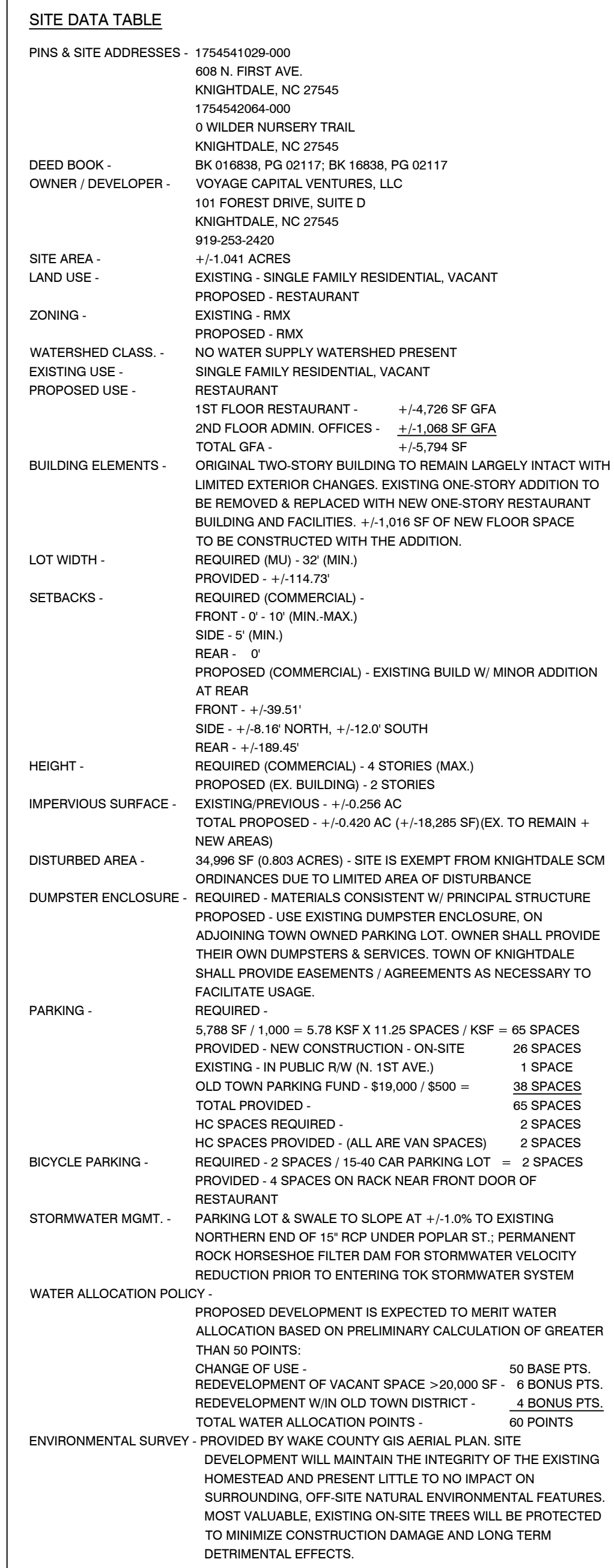
These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: 10/26/21
Administrator

811
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a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: 10/26/21
Administrator

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NC License: T-00334

**Engineers
 Planners
 Surveyors
 Landscape Architects**

353 East Six Forks Road
 Suite 230
 Raleigh, NC 27609
 (919) 594-1626



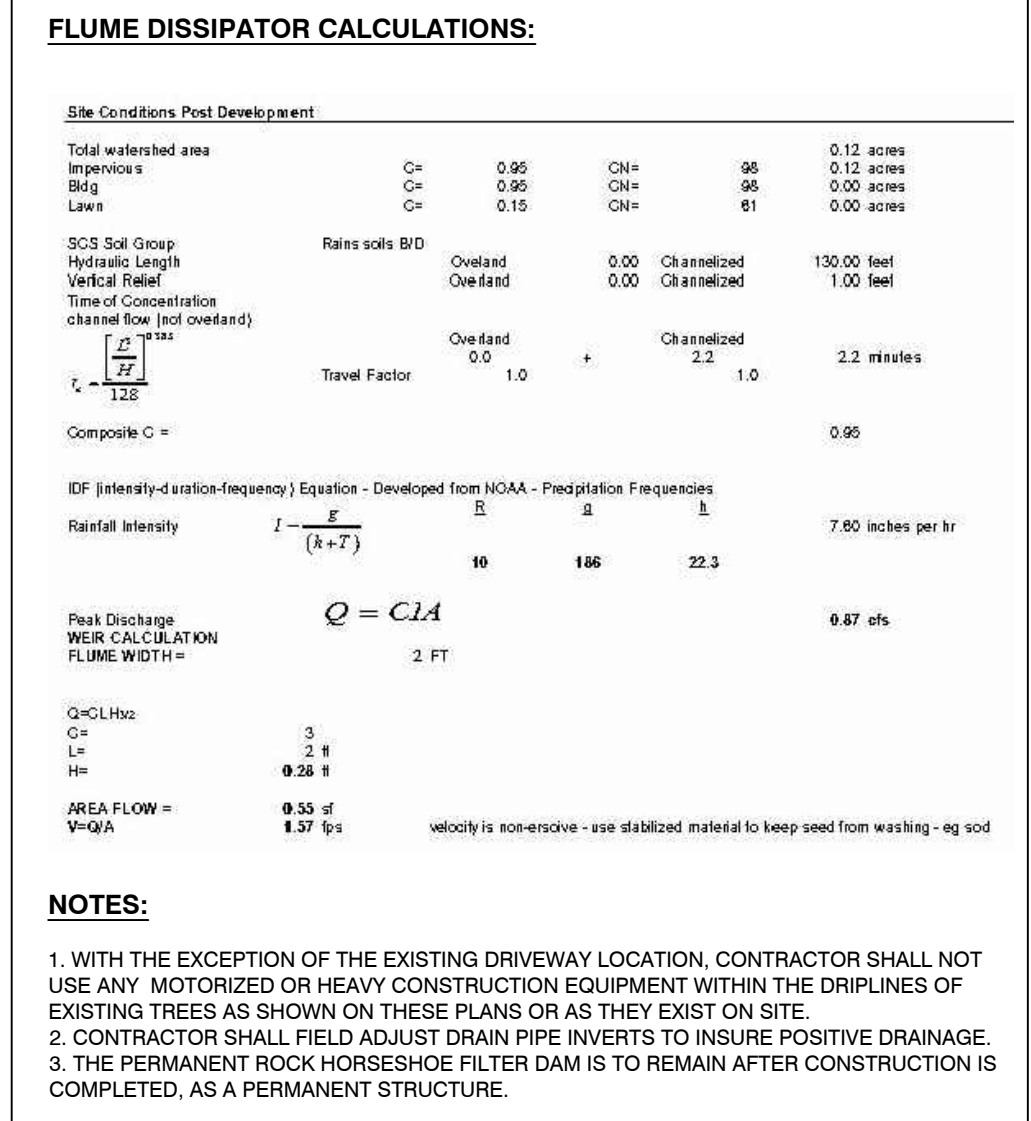
ISSUE/REVISIONS:			
		DATE	BY
3	CONSTRUCTION DRAWINGS #4	09/15/21	
4	CONSTRUCTION DRAWINGS #3	08/03/21	
5	CLIENT REVISIONS	05/26/21	
2	PRELIMINARY CLIENT REVISIONS	05/19/21	
1	CONSTRUCTION DRAWINGS #2	03/10/21	
	CONSTRUCTION DRAWINGS #1	02/04/21	
NO.	DESCRIPTION		

VOYAGE CAPITAL VENTURES, LLC
608 NORTH 1ST AVE.
 TOWN OF KNIGHTDALE ~ WAKE COUNTY ~ NORTH CAROLINA

SITE PLAN

DATE:	
JULY 27, 2020	
DESIGNED BY:	PRM, MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.	2020057
DRAWING No.	W-3894
SCALE:	1" = 20'
SHEET No.	

C2.1



NO.	DATE	REVISION
1	02/04/21	CONSTRUCTION DRAWINGS #1
2	03/10/21	CONSTRUCTION DRAWINGS #2
3	05/19/21	PRELIMINARY CLIENT REVISIONS
4	05/26/21	CLIENT REVISIONS
5	08/03/21	CONSTRUCTION DRAWINGS #3

VOYAGE CAPITAL VENTURES, LLC
608 NORTH 1ST AVE.
TOWN OF KNIGHTDALE ~ WAKE COUNTY ~ NORTH CAROLINA

DATE:	JULY 27, 2020
DESIGNED BY:	PRM, M
DRAWN BY:	M
CHECKED BY:	JS
PROJECT No.	2020057
DRAWING No.	W-3894
SCALE:	$1'' = 2'$
SHEET No.	

C3.1

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

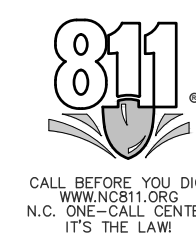
By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project. 10/26/21

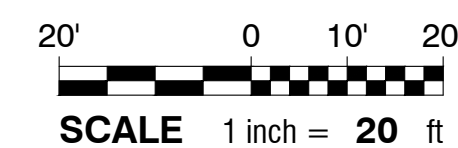
By: _____ Date: _____
Administrator

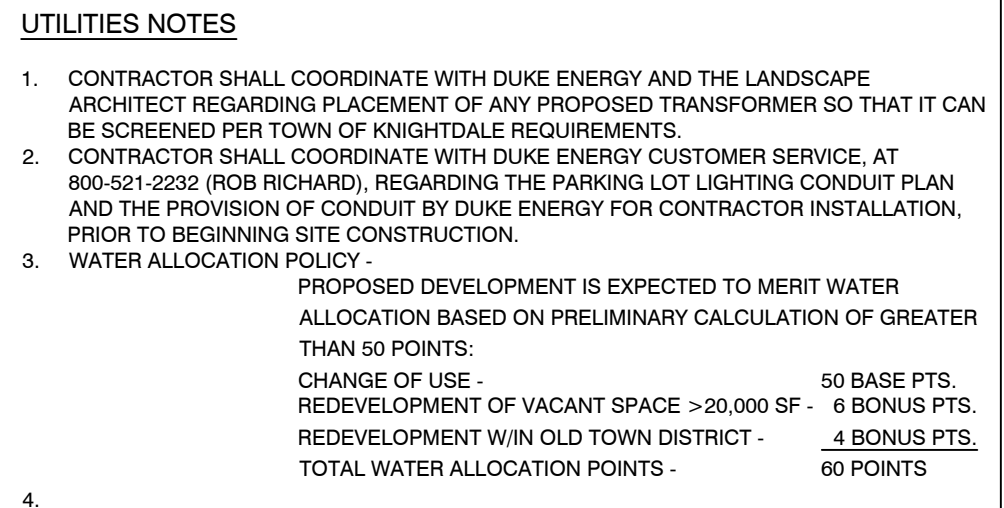


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NORTH (NAD 83/2011)





ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)

2. UTILITY SEPARATION REQUIREMENTS:

a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PIPELINE OR PUBLIC UTILITY OR SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.

b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO TERRAIN OBSTRUCTIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS

d) 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER

e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)

f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED

3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION

4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS MUST BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

5. 3.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE

7. INSTALL 1-/2" PVC WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE ENCASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO OBTAIN A WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE

8. INSTALL 4" PVC SEWER SERVICE @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM

9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE

10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDCG, USACE & OR EPA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION

11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION

12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 986-2334 OR TIMOTHY BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION

13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING

14. THESE PERMITS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL

CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT.

CONTACT JOANIE HARTLEY AT (919) 986-9823 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

ISSUE/REVISIONS:			
NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS #4	09/15/21	
2	CONSTRUCTION DRAWINGS #3	08/03/21	
3	CLIENT REVISIONS	05/26/21	
4	WATER TAP NOTE	04/14/21	
5	CONSTRUCTION DRAWINGS #2	03/10/21	
6	CONSTRUCTION DRAWINGS #1	02/04/21	

VOYAGE CAPITAL VENTURES, LLC
608 NORTH 1ST AVE.

UTILITIES PLAN

DATE: JULY 27, 2020	
DESIGNED BY:	PRM, MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.	2020057
DRAWING No.	W-3894
SCALE:	1" = 20'
SHEET No.	

C4.1



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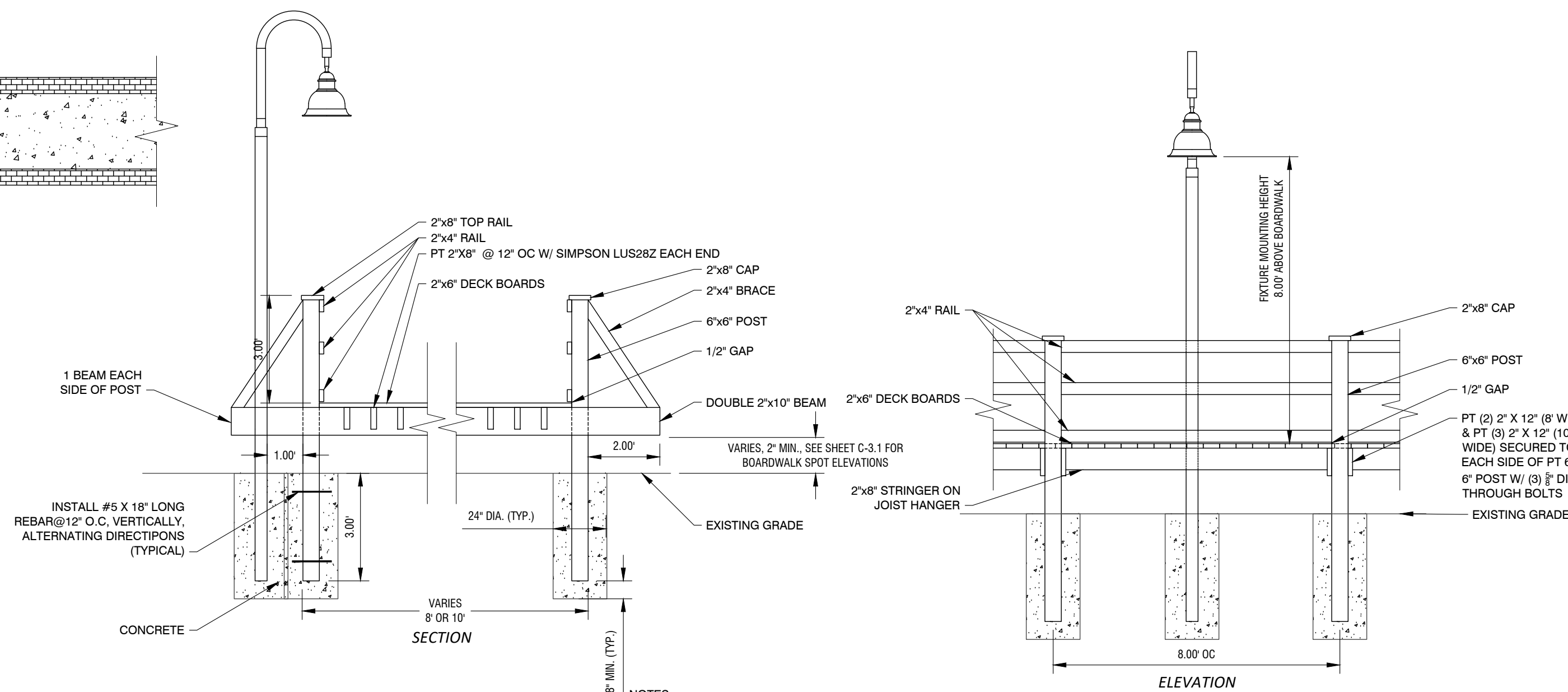


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IT'S THE LAW

NORTH (NAD 83/2011)



SCALE 1 inch = 20 ft



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: **10/26/21**
Administrator

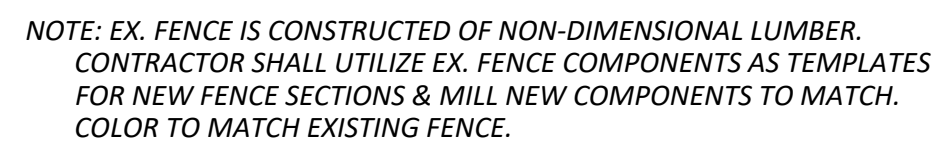
ISSUE/REVISIONS:		DATE	BY
3	CONSTRUCTION DRAWINGS #4	09/15/21	
4	CONSTRUCTION DRAWINGS #3	08/03/21	
3	CLIENT REVISIONS	05/26/21	
2	PRELIMINARY CLIENT REVISIONS	05/19/21	
1	CONSTRUCTION DRAWINGS #2	03/10/21	
	CONSTRUCTION DRAWINGS #1	02/04/21	
	DESCRIPTION		
NO			

VOYAGE CAPITAL VENTURES®, LLC
608 NORTH 1ST AVE.
TOWN OF KNIGHTDALE ~ WAKE COUNTY ~ NORTH CAROLINA

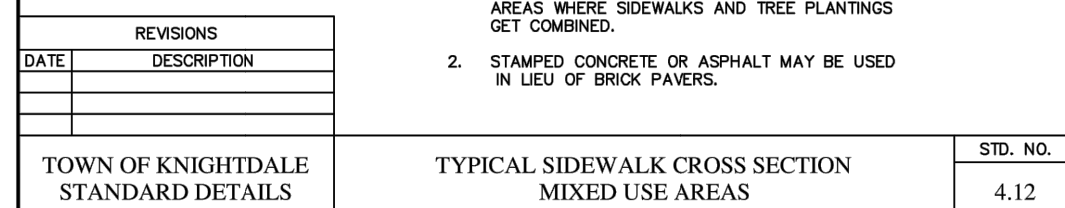
SITE DETAILS

DATE:		JULY 27, 2020	
DESIGNED BY:		PRM	
DRAWN BY:		PRM,MS, BM	
CHECKED BY:		JSJ	
PROJECT No.		2020057	
DRAWING No.		W-3894	
SCALE:		AS NOTED	
SHEET No.			

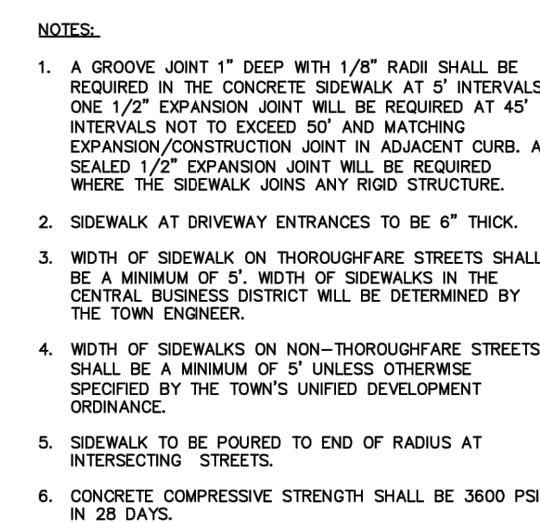
C7.1



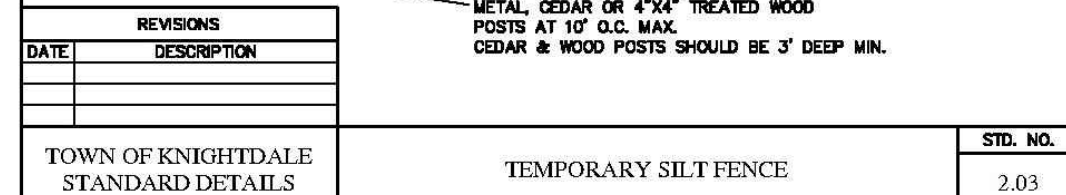
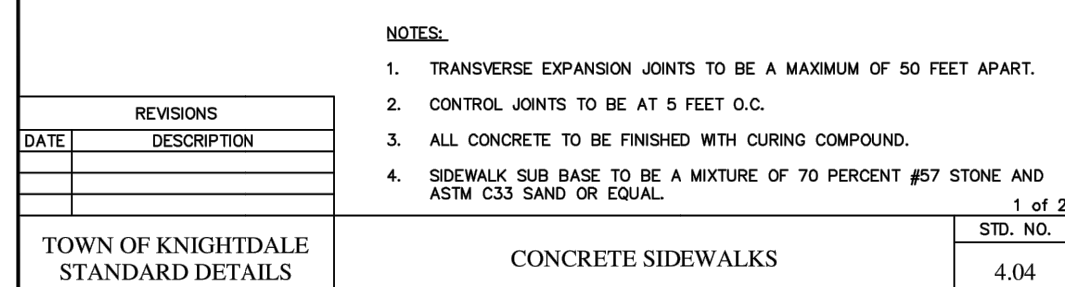
**NOTE: SEE GEOTECHNICAL REPORT AND ADDENDUM
FOR PAVEMENT SECTIONS AND VARIATIONS.**



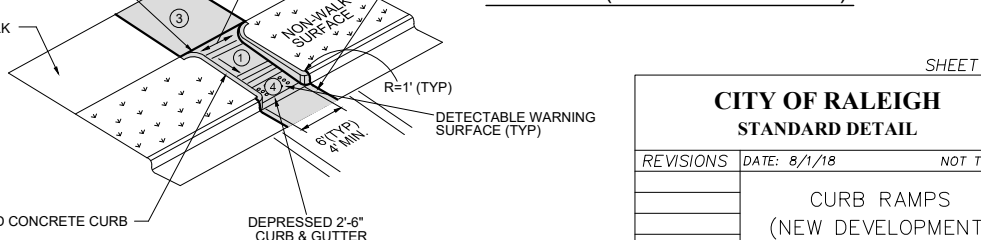
REVISIONS				
DATE	DESCRIPTION			
TOWN OF KNIGHTDALE STANDARD DETAILS		GUIDELINES FOR BRICK SIDEWALK	STD. NO.	
			4.05	



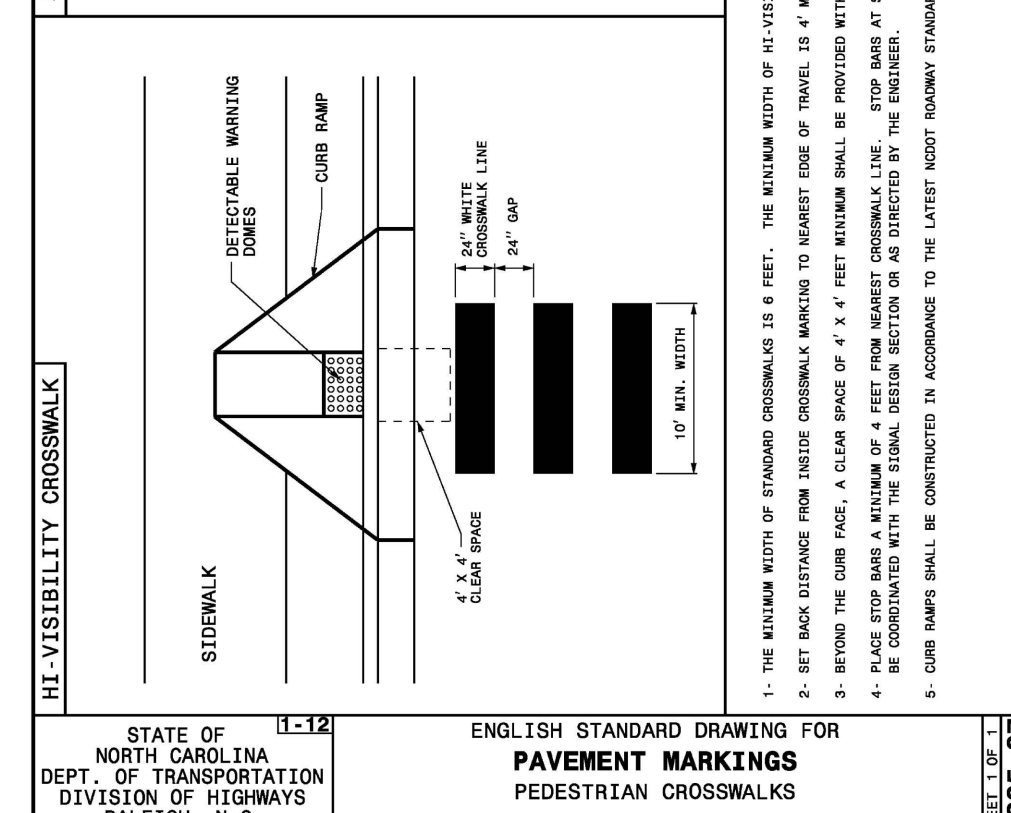
REVIEWS		6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.
DATE	DESCRIPTION	
TOWN OF KNIGHTDALE STANDARD DETAILS	CONCRETE SIDEWALKS	2 of
		4.04



<p align="center">CITY OF RALEIGH STANDARD DETAIL</p>		
REVISIONS	DATE: 8/1/18	NOT TO SCALE
	CURB RAMPS (NEW DEVELOPMENT)	
	T-20.01.4	



<div style="text-align: right;">SHEET 2 OF 3</div> <h2 style="text-align: center;">CITY OF RALEIGH</h2> <h3 style="text-align: center;">STANDARD DETAIL</h3>		
REVISIONS	DATE: 8/1/18	NOT TO SCALE
	CURB RAMPS (NEW DEVELOPMENT)	
	T-20.01.2	



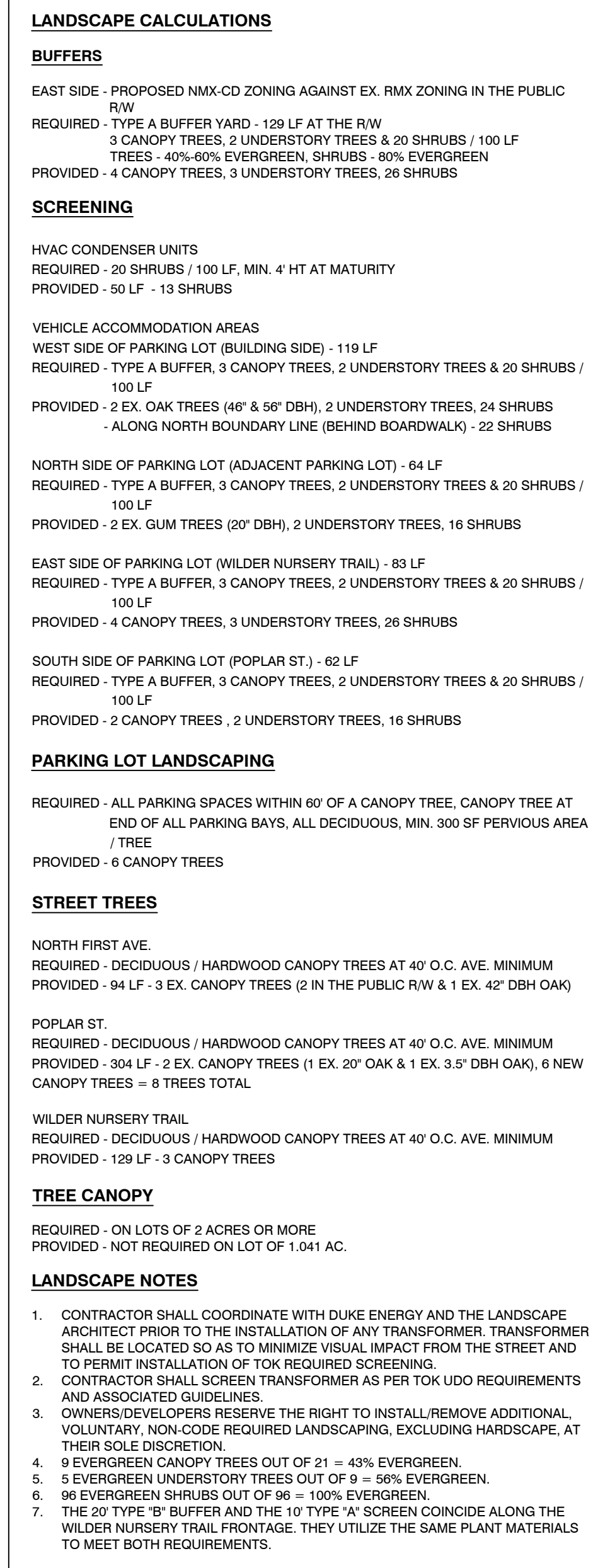
a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project. **10/26/21**

By: _____ Date: _____
Administrator

ISSUE/REVISIONS:		
④	CONSTRUCTION DRAWINGS # 4	09/15/21
④	CONSTRUCTION DRAWINGS # 3	08/03/21
③	CLIENT REVISIONS	05/26/21
②	PRELIMINARY CLIENT REVISIONS	05/19/21
①	CONSTRUCTION DRAWINGS # 2	03/10/21
	CONSTRUCTION DRAWINGS # 1	02/04/21
NO	DESCRIPTION	DATE
		BY



SYMBOL	KEY	QTY	BOTANICAL NAME (COMMON NAME)	HEIGHT	SPREAD	CALIPER	CONT.	REMARKS
--------	-----	-----	---------------------------------	--------	--------	---------	-------	---------

3 BUFFER/SCREEN , 2 STREET,
2 P. LOT/SCREEN

2 BUFFER

3 STREET

4 P. LOT

5 STREET

3 SCREEN

2 SCREEN

4 SCREEN


VOLUNTARY

44 SCREEN

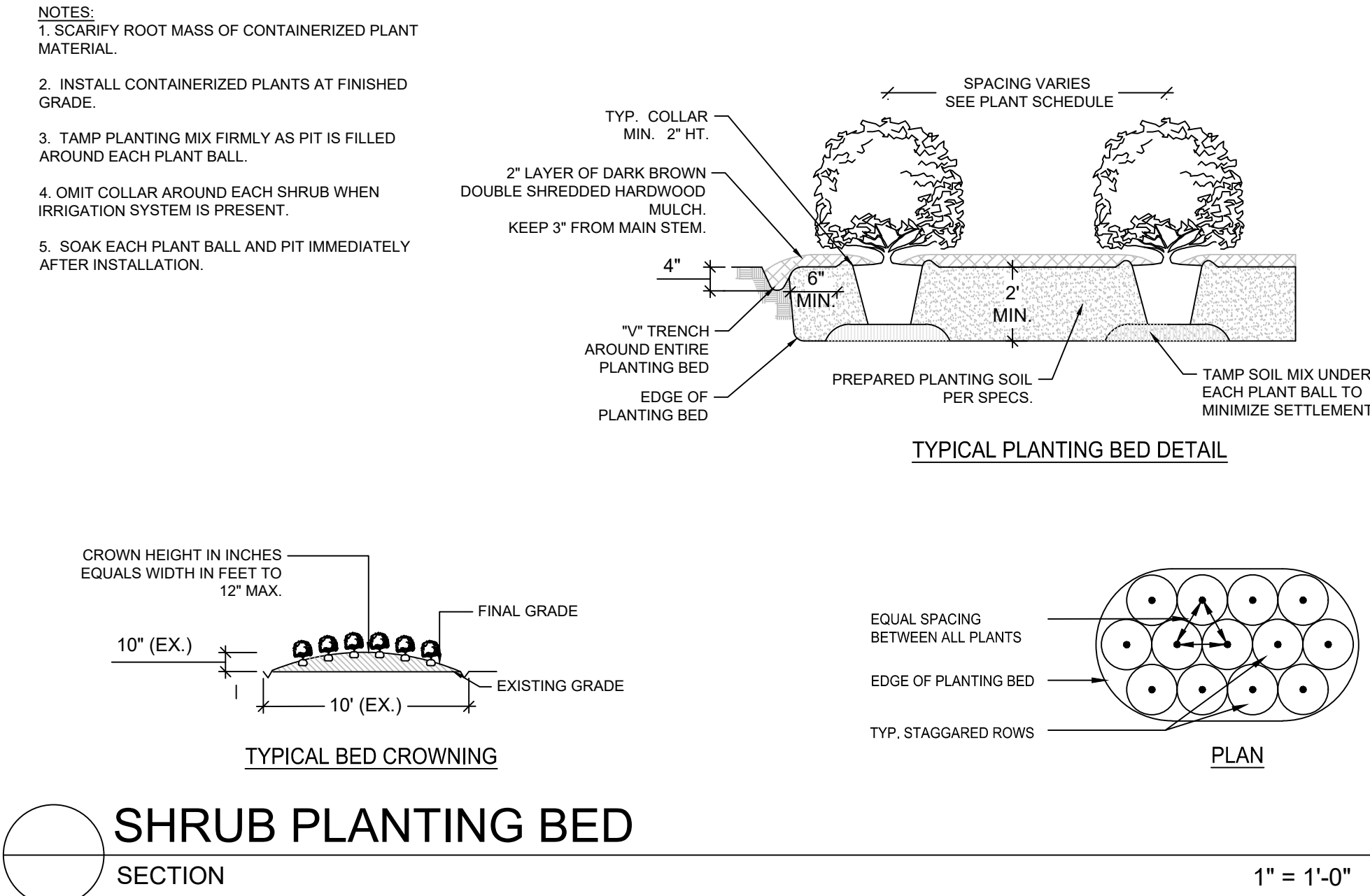
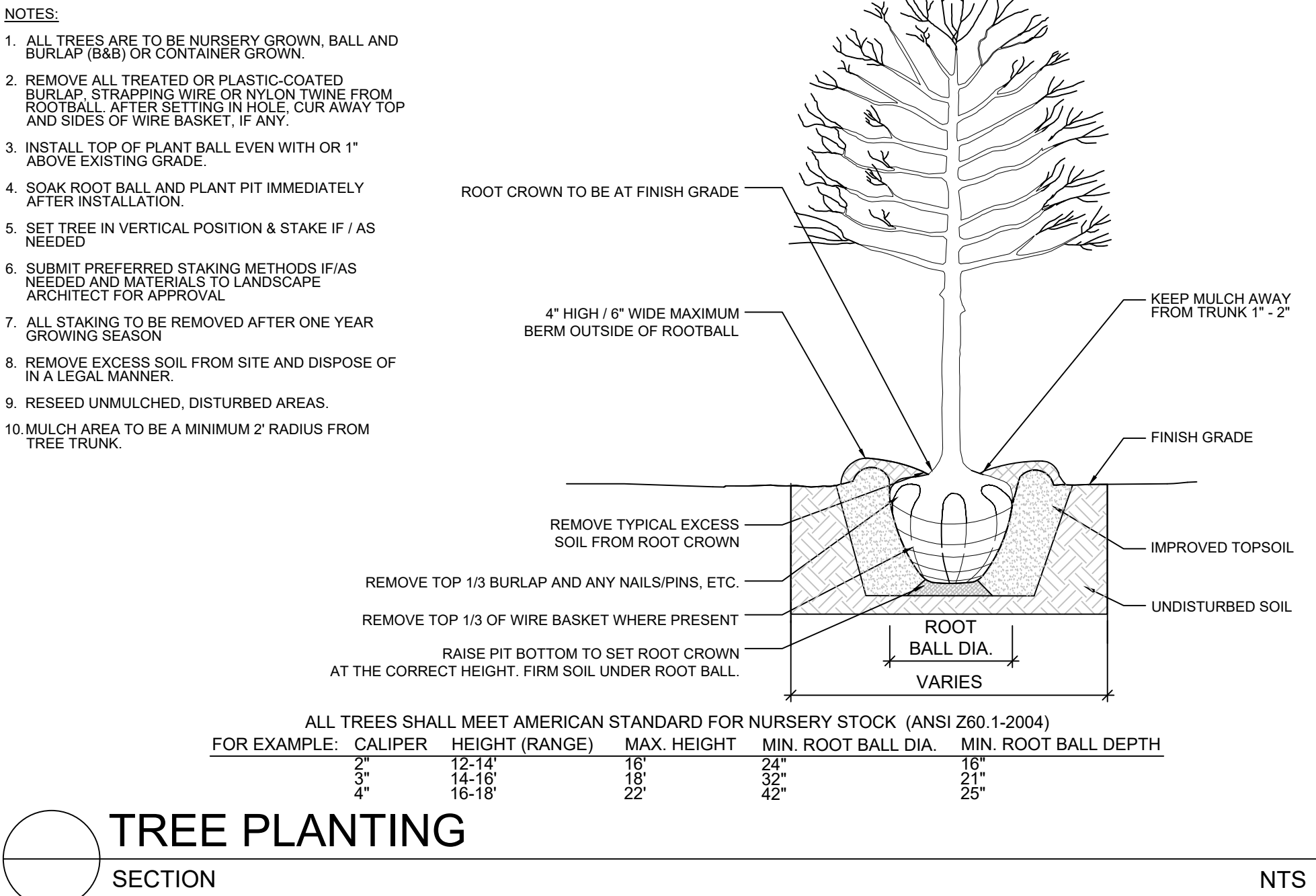
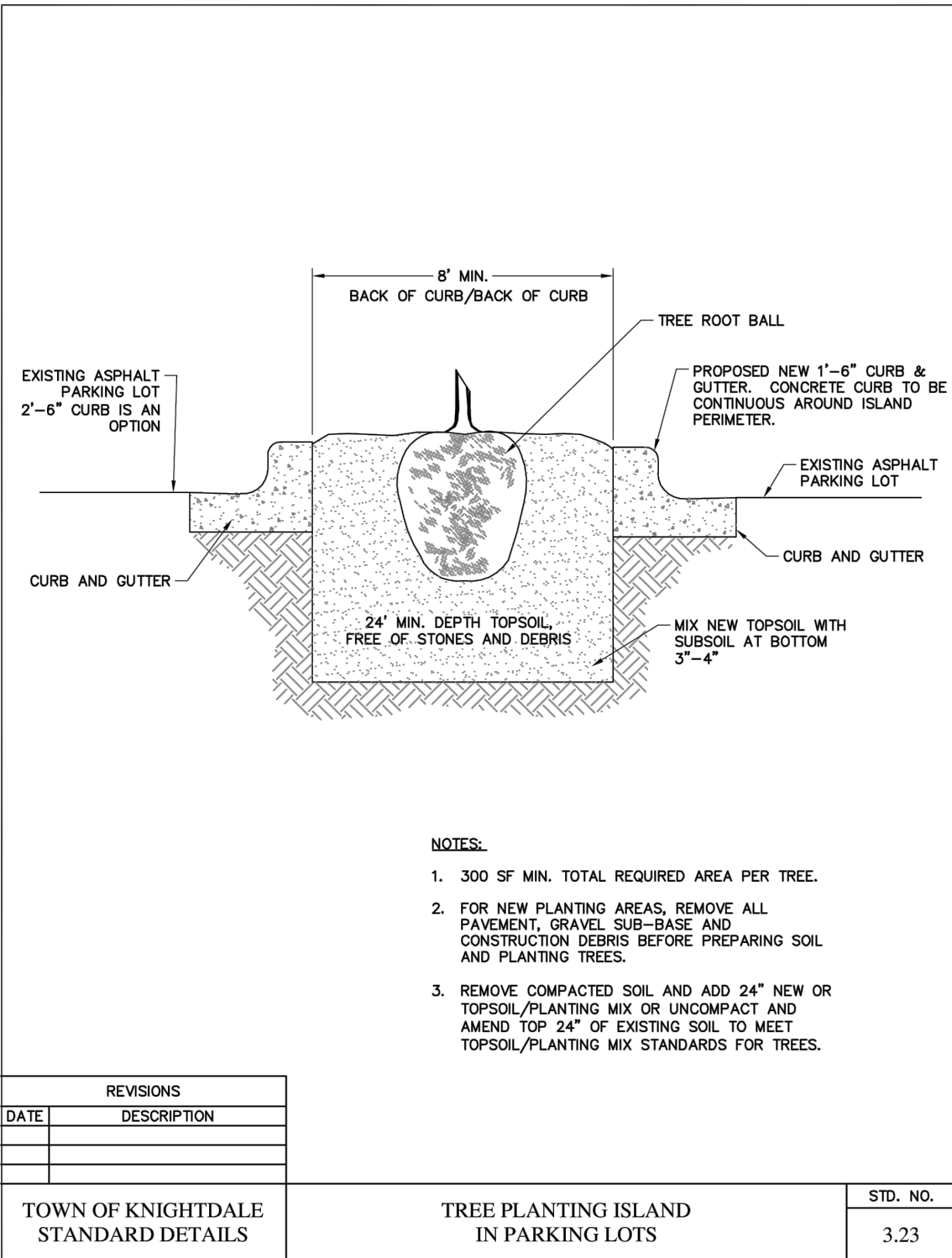
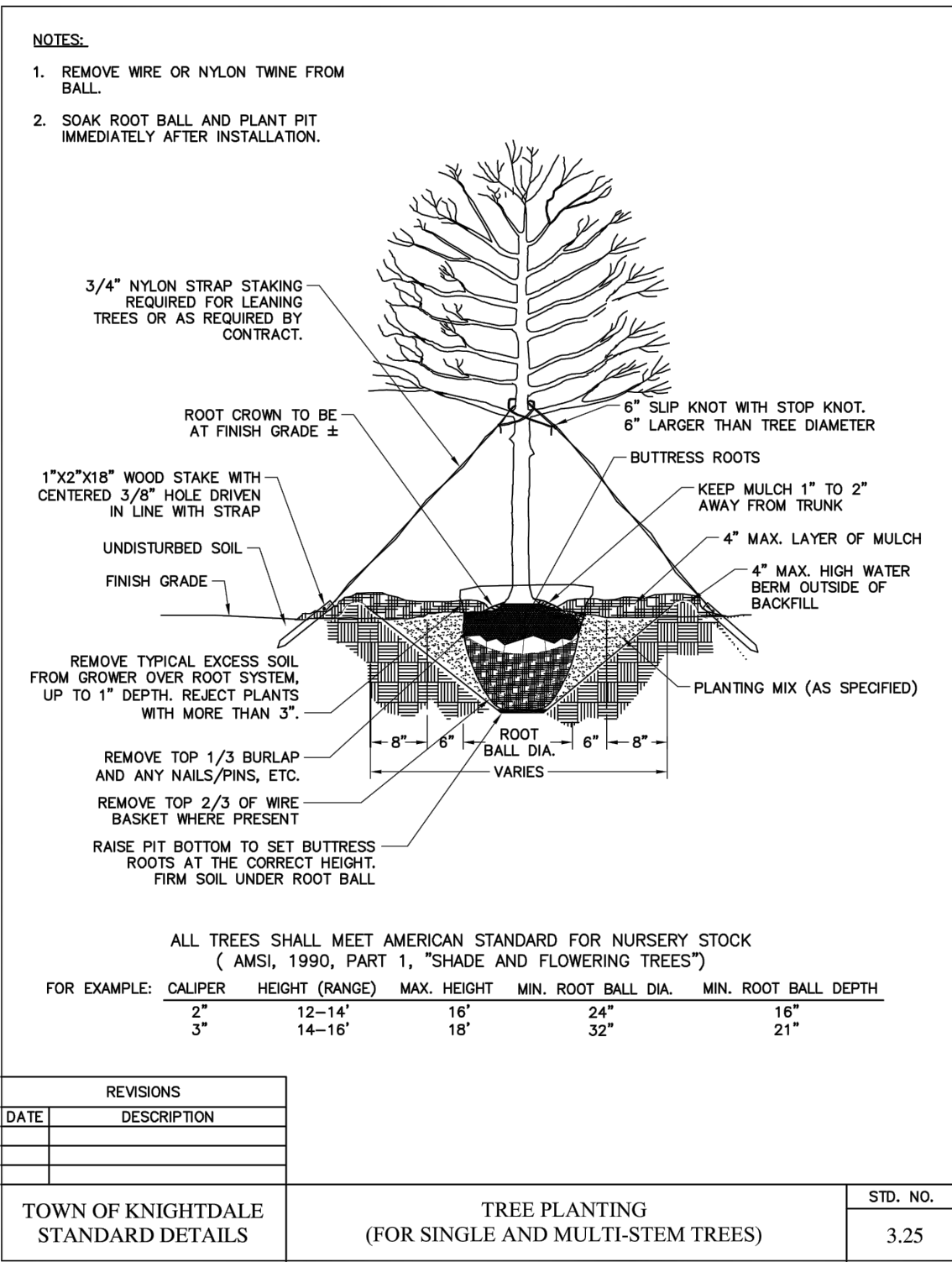
38 SCREEN

20 SCREEN

24 SCREEN

DATE:		JULY 27, 2020	
DESIGNED BY:		PRM	
DRAWN BY:		PRM	
CHECKED BY:		JSJ	
PROJECT No.		2020057	
DRAWING No.		W-3894	
SCALE:		1" = 20'	
SHEET No.  L1-1			

VOYAGE CAPITAL VENTURES, LLC. 608 NORTH 1ST AVE. WAKE COUNTY, NC 27701. L2.1 LANDSCAPE DETAILS. 10/26/2021. 10:26 AM. JEFF FIELD



- NOTES:**
1. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, AND TYPE OF EXISTING SITE PLANT MATERIALS AND VICINITY FEATURES AND UTILITIES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND BETWEEN THE EXISTING FIELD CONDITIONS AND THE SITE PLANS OR CONSTRUCTION DRAWINGS, WHENEVER THEY ARE FOUND, DURING ALL PHASES OF SITE WORK.
 2. THE PRUNING OF VEHICULAR ACCOMMODATION AREA SCREENING SHRUBS SHALL ALLOW FOR LATERAL GROWTH OF BRANCHES SO AS TO FORM A HEDGE.
 3. ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
 4. CONTRACTOR SHALL PLANT TREES AND SHRUBS 5 FEET FROM BACK OF CURB WHEN PLANTED PERPENDICULAR FROM PARKING SPACES
 5. WHEEL STOPS ARE REQUIRED IF LANDSCAPING CANNOT BE SET BACK 5 FEET FORM BOC.

NC License: F-0334

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Since 1918

353 East Six Forks Road
Suite 230
Raleigh, NC 27609
(919)594-1626

Engineers
Planners
Surveyors
Landscape Architects



ISSUE/REVISIONS:				DATE		BY
				08/09/21		
	CONSTRUCTION DRAWINGS #3	CLIENT REVISIONS	05/26/21			
	PRELIMINARY CLIENT REVISIONS	05/19/21				
	CONSTRUCTION DRAWINGS #2	03/10/21				
	CONSTRUCTION DRAWINGS #1	02/04/21				
		DESCRIPTION				

VOYAGE CAPITAL VENTURES, LLC

608 NORTH 1ST AVE.

TOWN OF KNIGHTDALE ~ WAKE COUNTY ~ NORTH CAROLINA

LANDSCAPE NOTES & DETAILS

DATE: JULY 27, 2020

DESIGNED BY: PRM

DRAWN BY: PRM,MS,BM

CHECKED BY: JSJ

PROJECT No. 2020057

DRAWING No. W-3894

SCALE: AS NOTED

SHEET No.

L2.1



Outdoor Lighting

Shoebox "S" Pedestrian LED



The energy-efficient Shoebox "S" Pedestrian LED combines a decorative, contemporary style with versatility and ample lighting effect that is perfect for streets, parking lots, commercial buildings and residential communities. The Shoebox "S" Pedestrian LED provides excellent color rendition along with a controlled light pattern that reduces glare and keeps the light directed only where you want it.

LED (Light Emitting Diode)	50 watts
Mounting heights	12', 13', 16'
Color	Black
Poles	Smooth round concrete Fluted concrete Fiberglass Decorative aluminum
Applications	Neighborhoods Parks Shopping centers

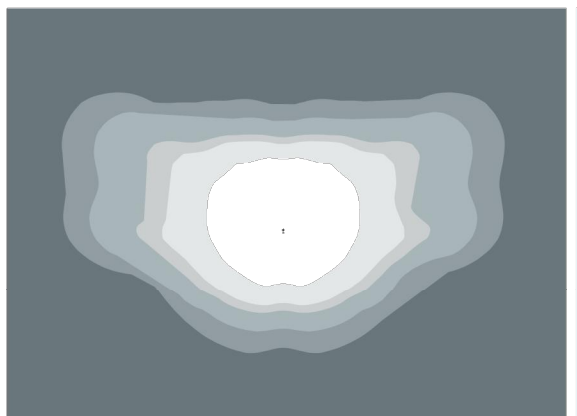
For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.



Outdoor Lighting

Shoebox "S" Pedestrian LED

Light source: LED (white)
Wattage: 50
Lumens: 3,730
Light pattern: IESNA Type III (oval)
IESNA Backlight – Uplight – Glare (BUG) Rating: B1-U0-G1
Color temperature: 4,000K



light distribution pattern

Poles available:

Name	Mounting height	Color
Fiberglass	16'	Black
Style V	12', 16'	Black
Style VI	12'	Black
Style VII	13'	Black

Features

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

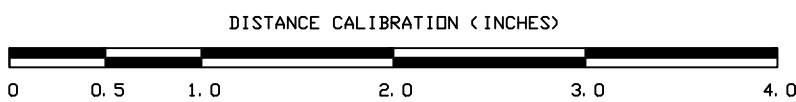
©2015 Duke Energy Corporation 151307 7/15

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval _____

Date _____



PROPRIETARY & CONFIDENTIAL

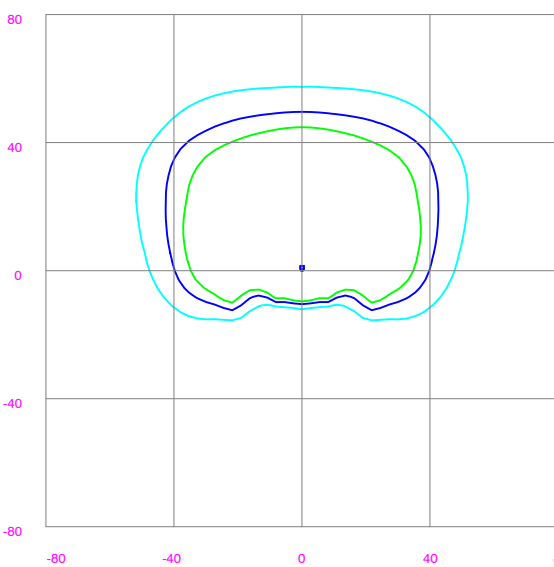
This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy Progress, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy Progress. Duke Energy Progress disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

ISOFOOTCANDLE CURVES

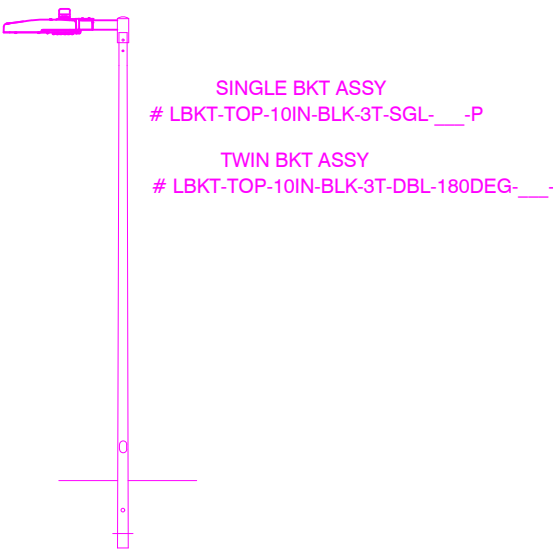
FIXTURE: PEDESTRIAN LED
MOUNTING HEIGHT: 16 FT
LIGHT SOURCE: 50W LEDS, 4000K (EANB)
PATTERN: TYPE IV, B1-U0-G1 (zero light at or above 90 degrees)

POLE ASSY # LPOLE-DB-FG-20FT-BLK____P
ASSY # LFX-SBK-LED-50-BLK-IV-MULTV____P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER TO INNER): 0.100, 0.250, 0.300



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Grid	+	0.1 fc	2.1 fc	0.0 fc	N/A	N/A
Parking	X	1.3 fc	2.1 fc	0.5 fc	4.2:1	2.6:1
Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
■	A	5	LED 50w Shoebox - Type IV - 4000K	4300	0.85

As Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

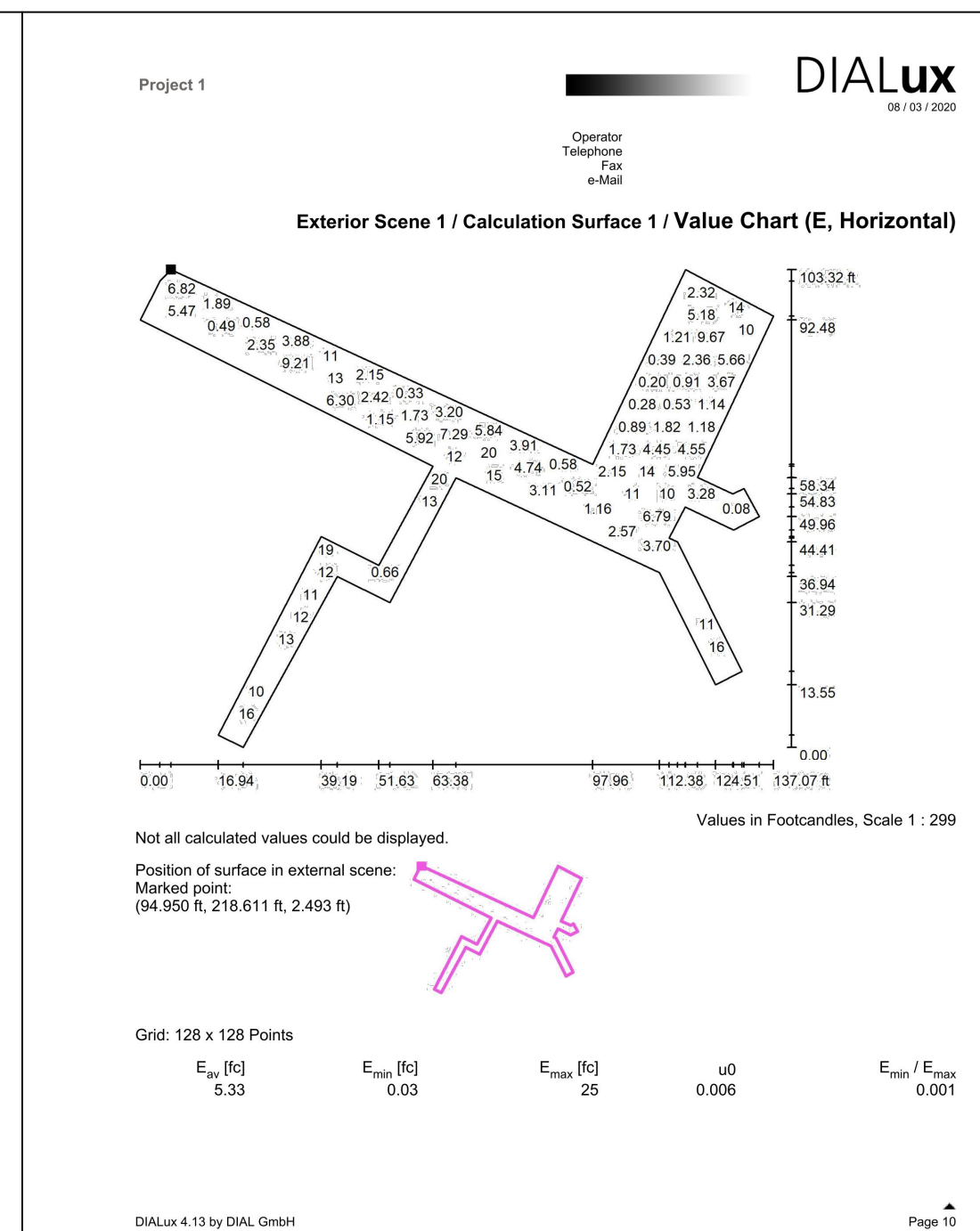
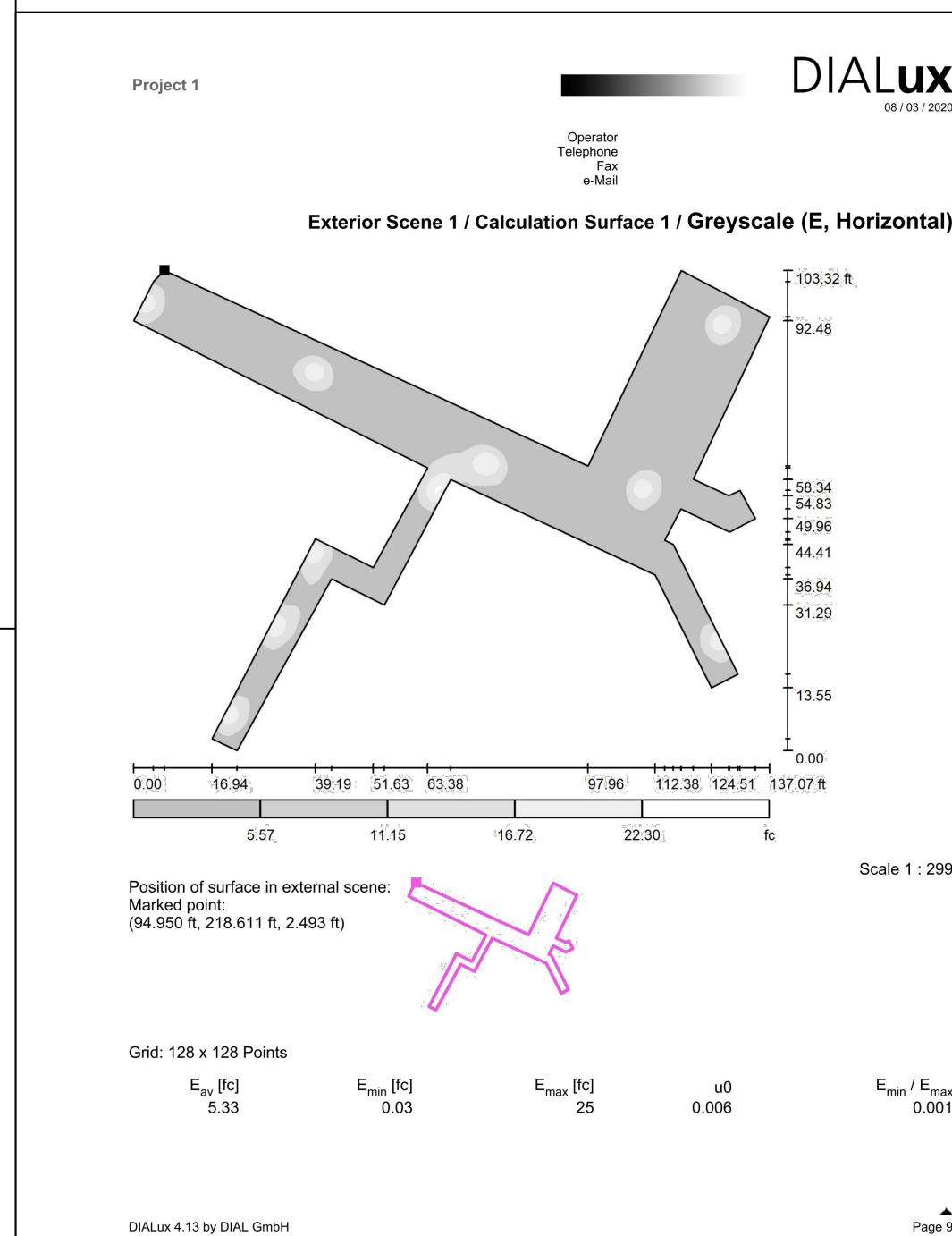
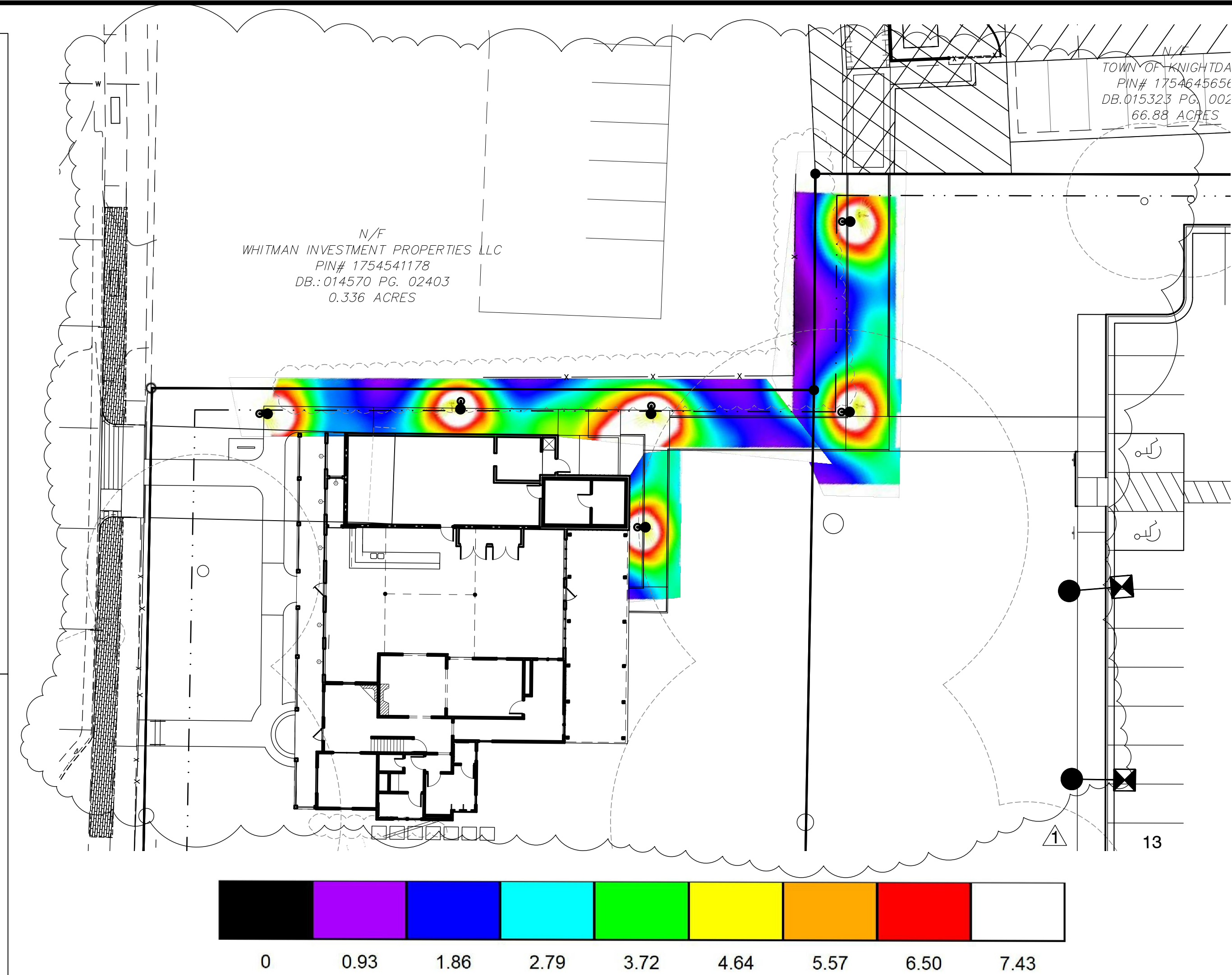
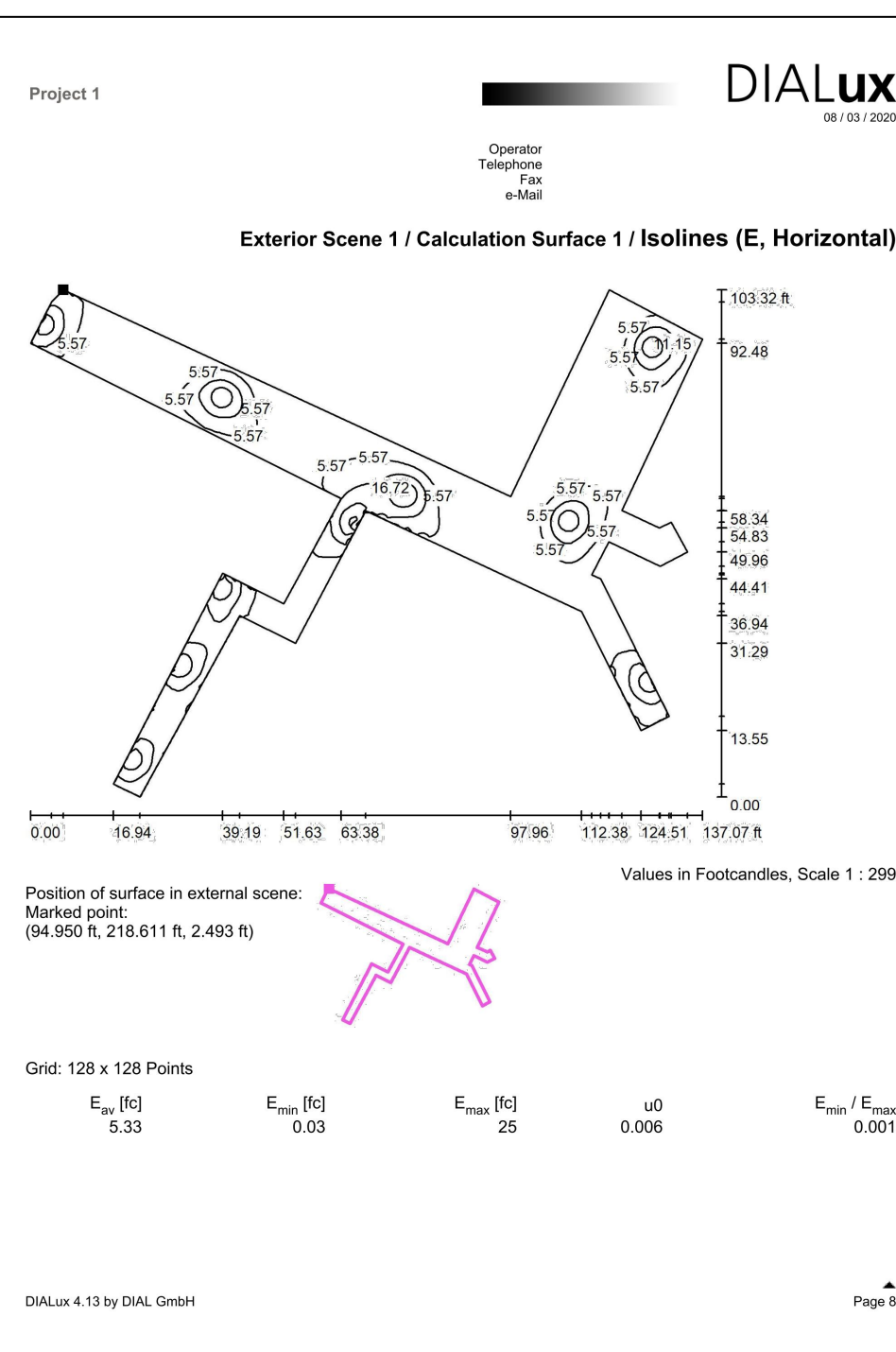
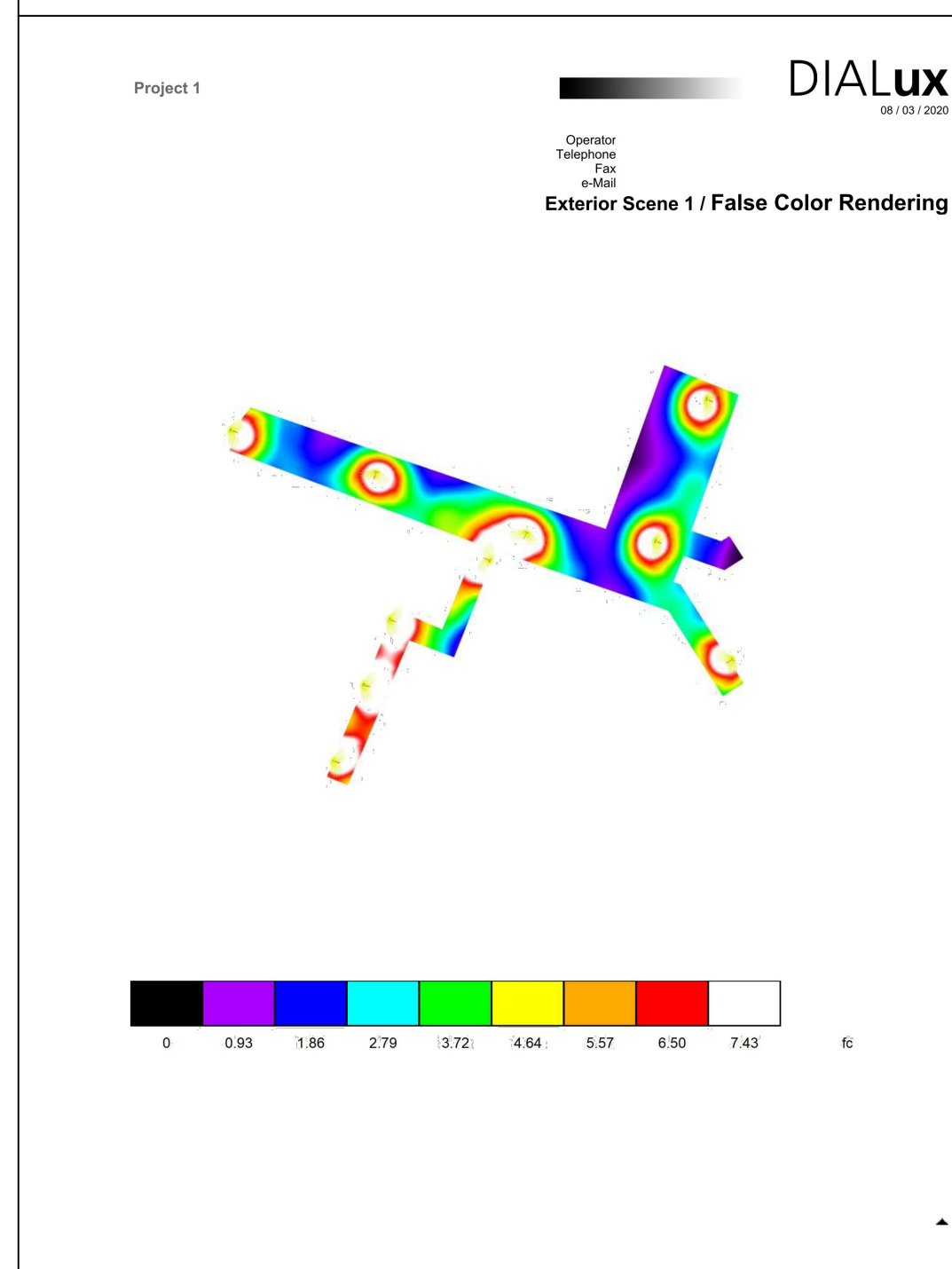
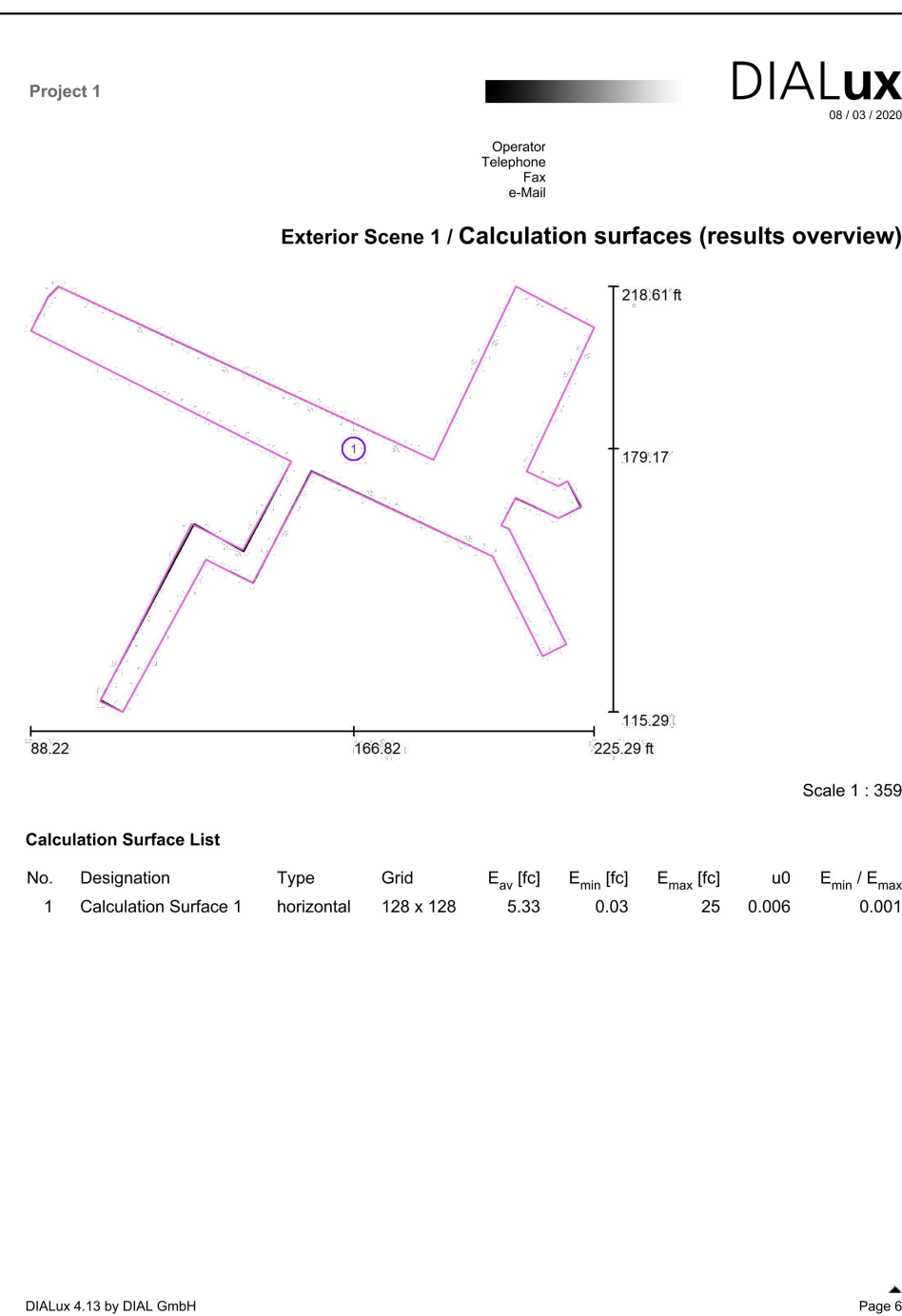
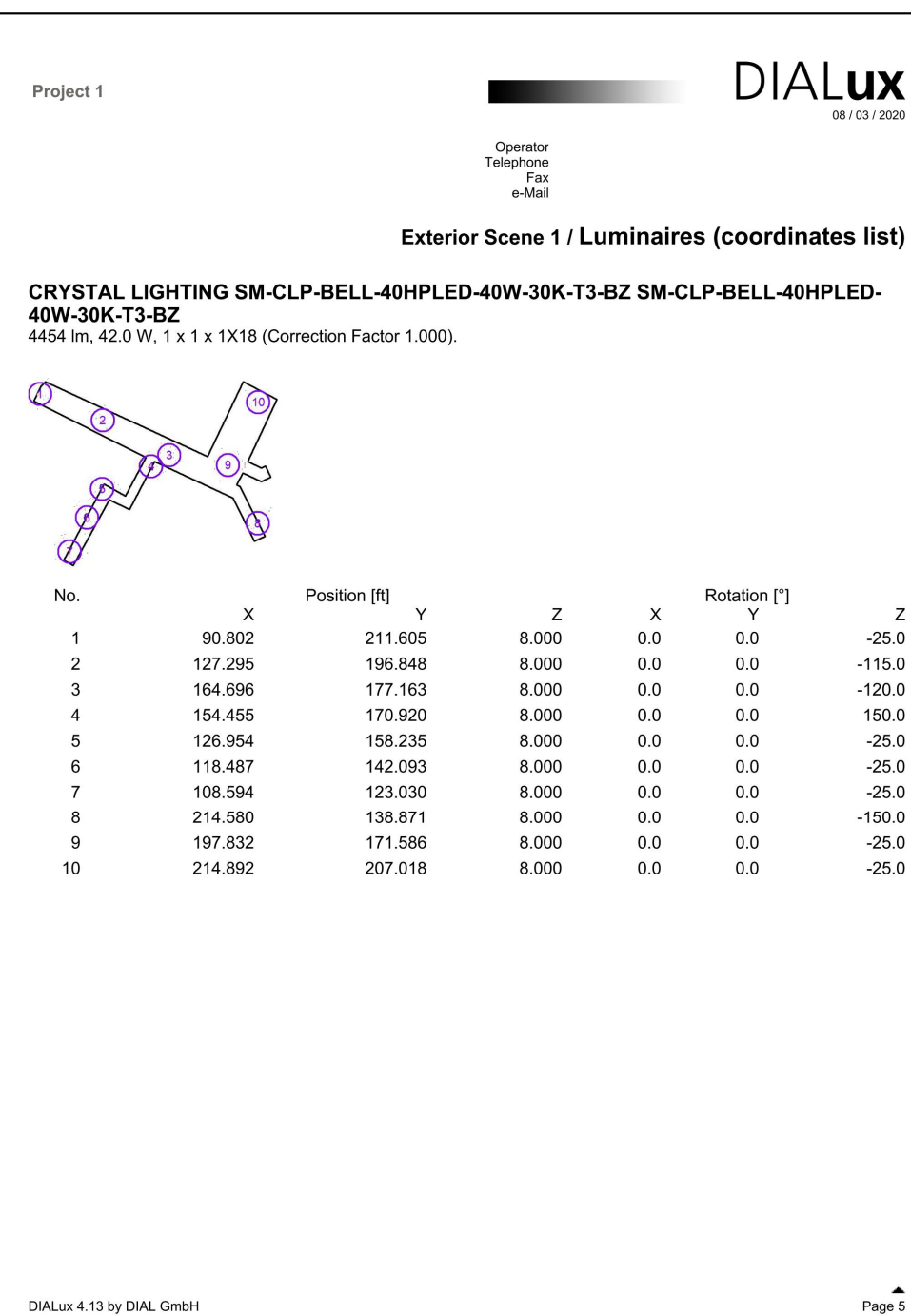
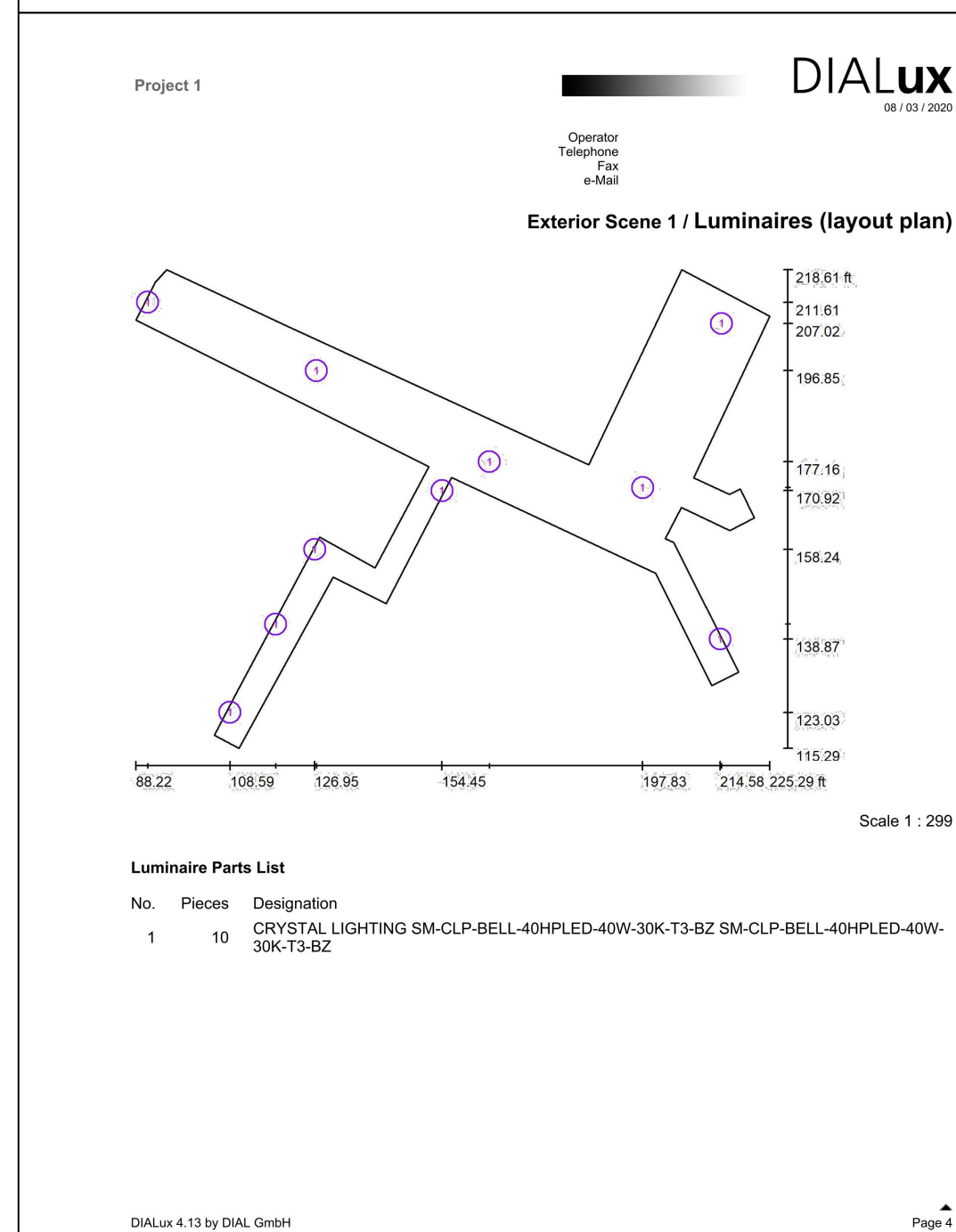
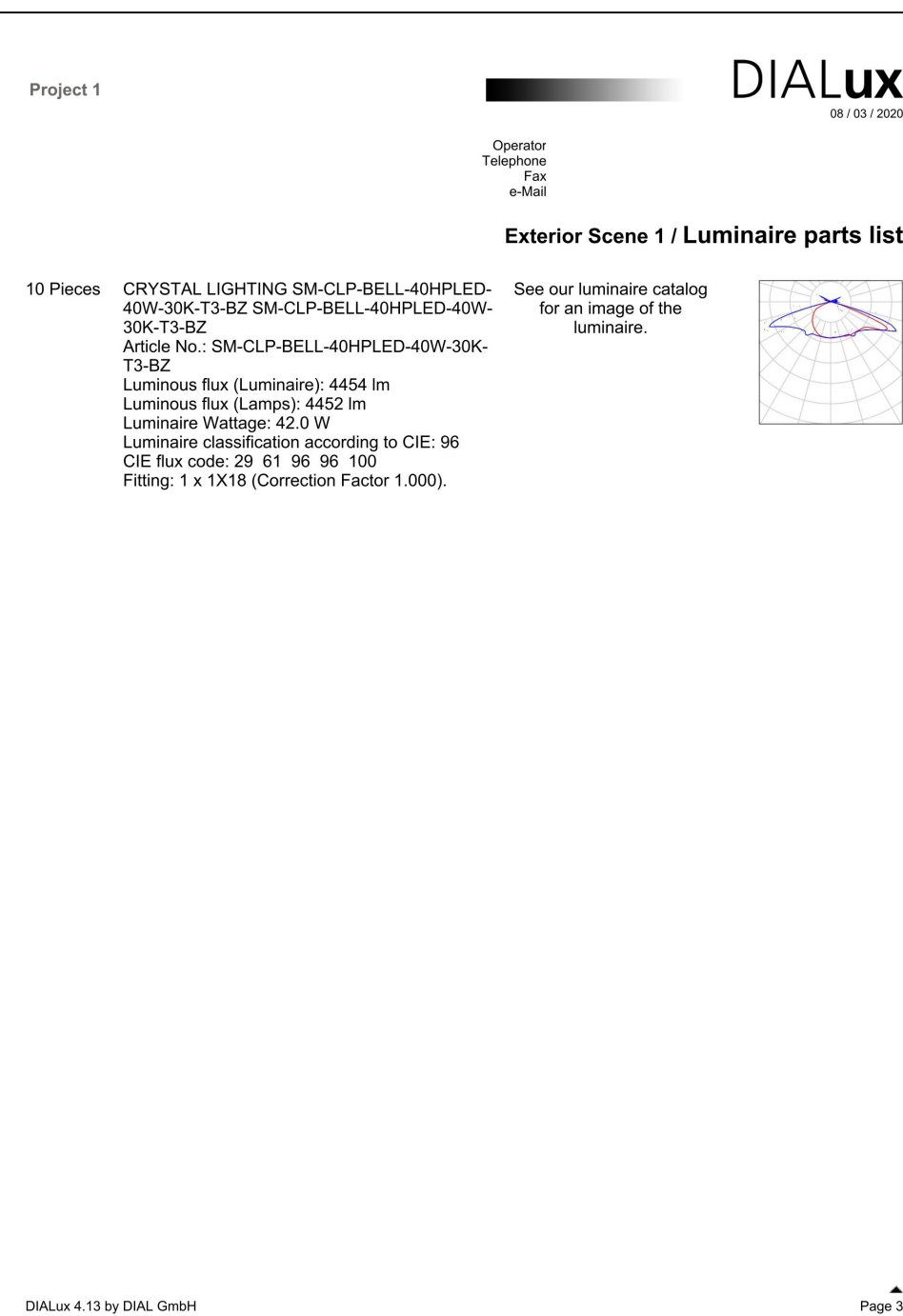
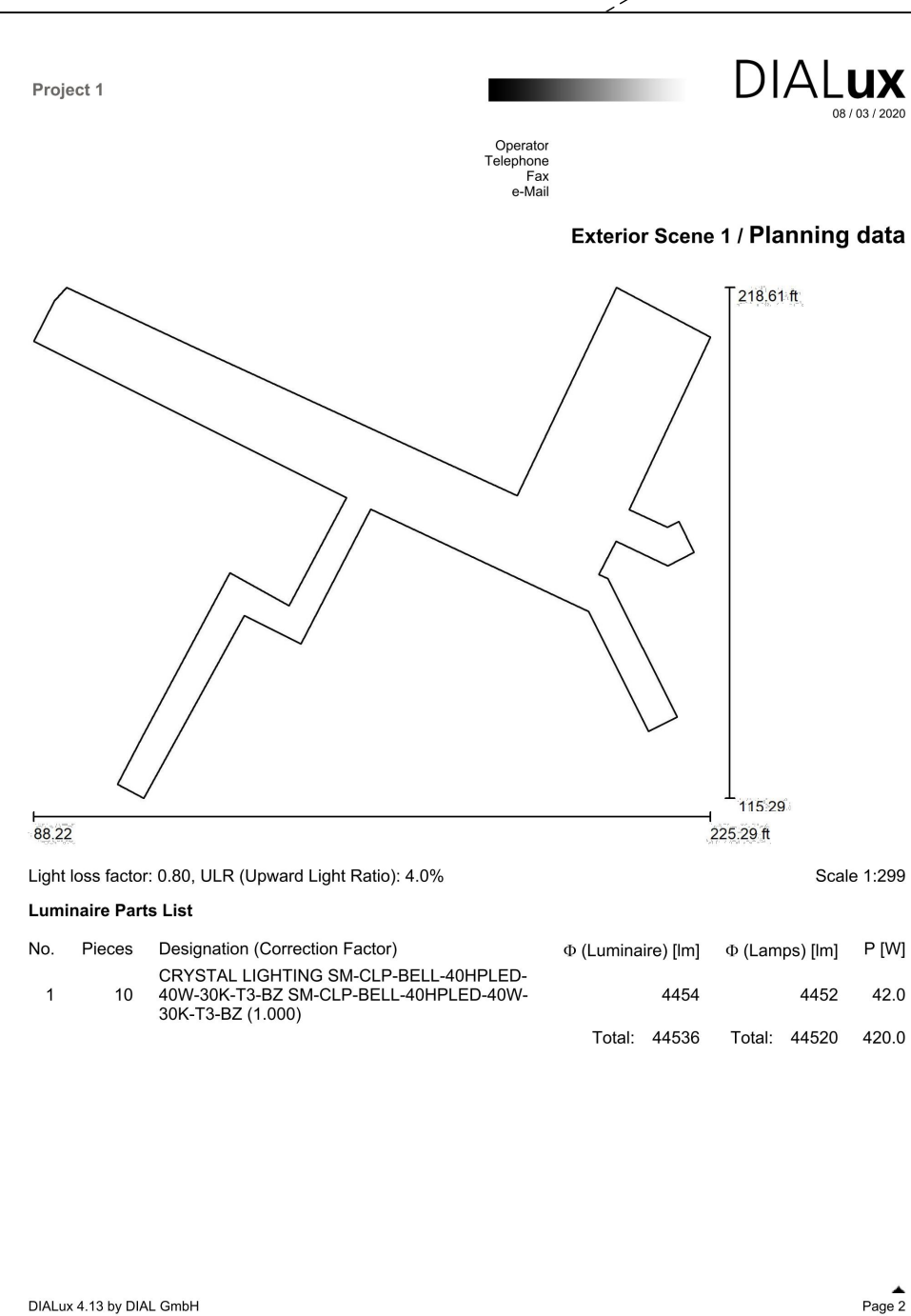
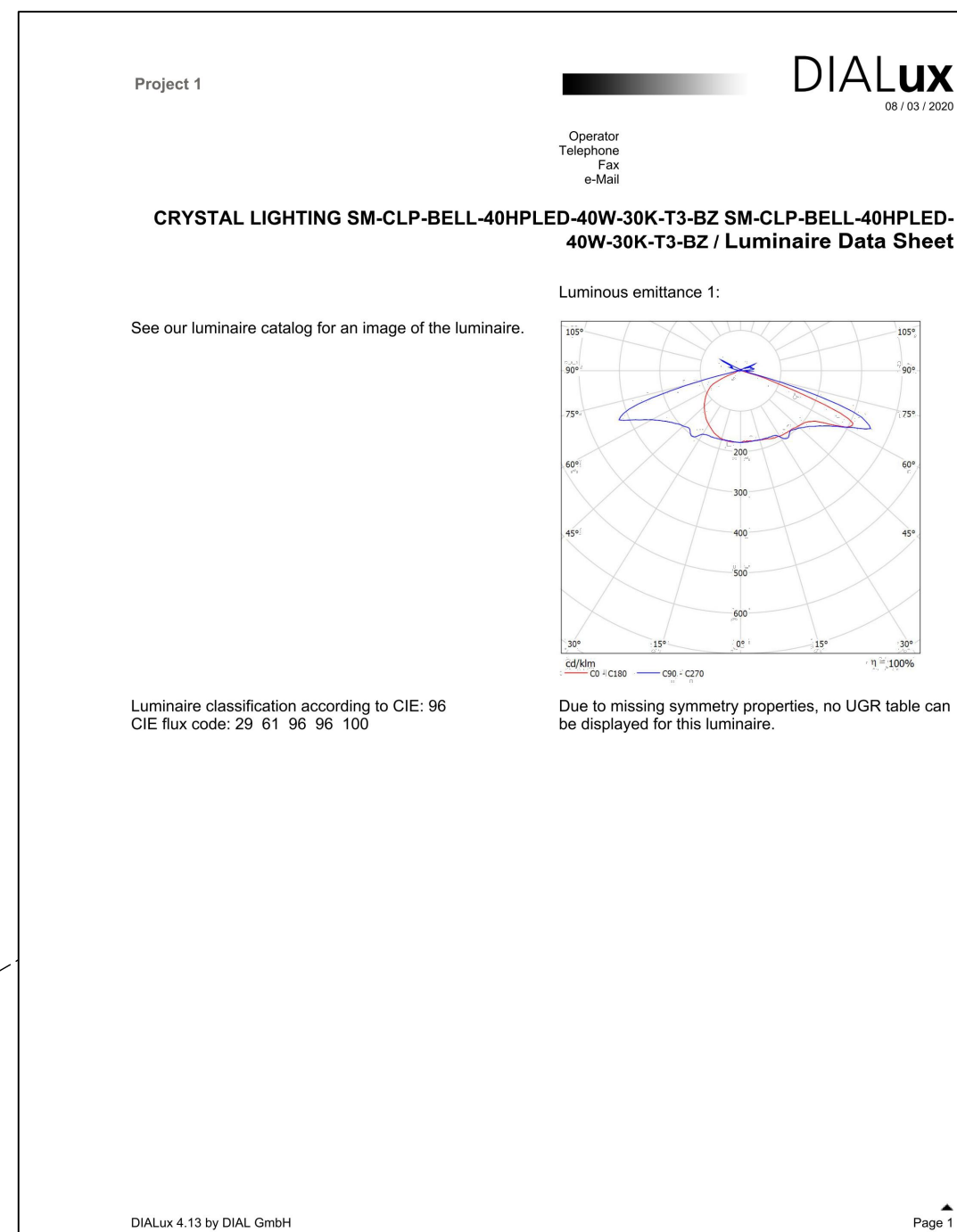
By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: 10/26/21
Administrator

SL1.1

608 NORTH 1ST STREET
Knightdale, NC
SITE LIGHTING PLAN
Designed by DEP LIGHTING SOLUTIONS
Reviewed by N. Johnson Scale 1" = 20'
Date 07/23/2020 Size Arch D
Description LED 50w Shoebox
Drawing No. 20-0264A Sht. 1 OF 1



BOARDWALK LIGHTING DATA

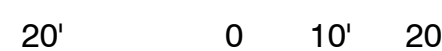
LIGHTING DATA SHOWN ON THIS SHEET WAS PROVIDED BY CRYSTAL LIGHTING CORPORATION, 13182 FLORES ST., SANTA FE SPRINGS, CA. 90670, 562-944-0223, VIA THEIR SALES REPRESENTATIVE IN NORTH CAROLINA, REP TEC, INC, 12420 GREY COMMERCIAL DR. MIDLAND, NC 28107, 704-888-1355, IN DIGITAL FORMAT ON AUGUST 5, 2020.

COLOR INTENSITY DIAGRAM WAS SCALED INTO THE SITE PLAN, FROM MANUFACTURER'S SHEET 7 OF THE DIAGRAMS, FOR CLARITY OF LOCATION ON THE SITE AND IN RELATIONSHIP TO ADJOINING PROPERTY.



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WWW.NC811.ORG
N.C. ONE-CALL CENTER
IT'S THE LAW

NORTH (NAD 83/2011)



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: 10/26/21
Administrator

VOYAGE CAPITAL VENTURES, LLC
608 NORTH 1ST AVE.

BOARDWALK LIGHTING PLAN

DATE:
JULY 27, 2020

DESIGNED BY: PRM

DRAWN BY: PRM

CHECKED BY: JSJ

PROJECT No.	2020057
-------------	---------

DRAWING No. W-3894

SCALE: 1" = 20'

SHEET No.

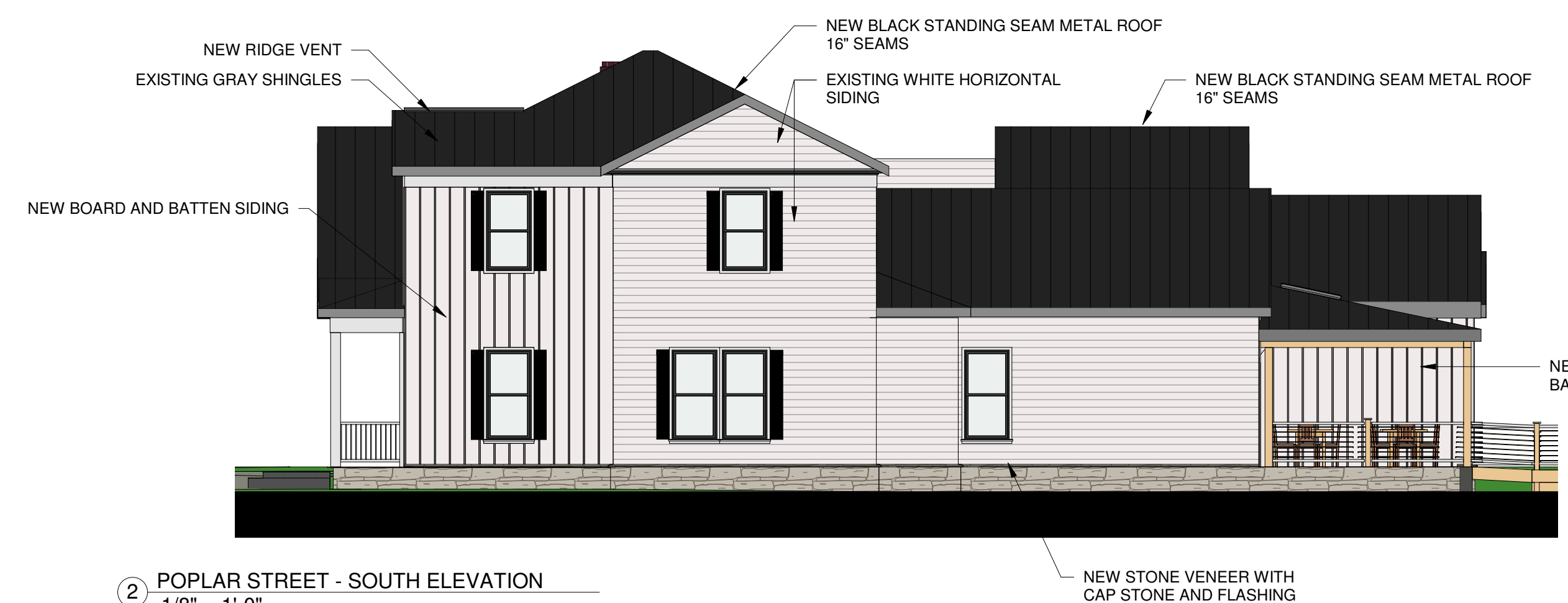
1 2 3

SL2.1

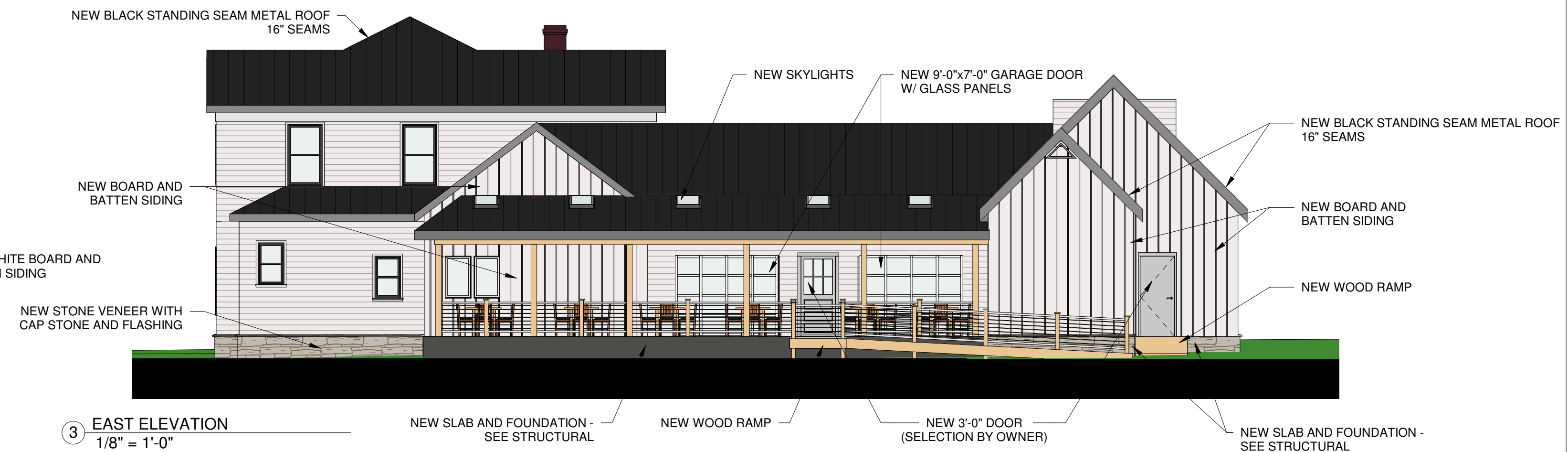
PLANNOVATION/CAPITAL PARKING IMPROVEMENTS-2020057CADD, DWG/SVC SITE DWS - S2.1 LIGHTING PLAN - 3/7/2021 10:09:48 AM - PAUL MEYER



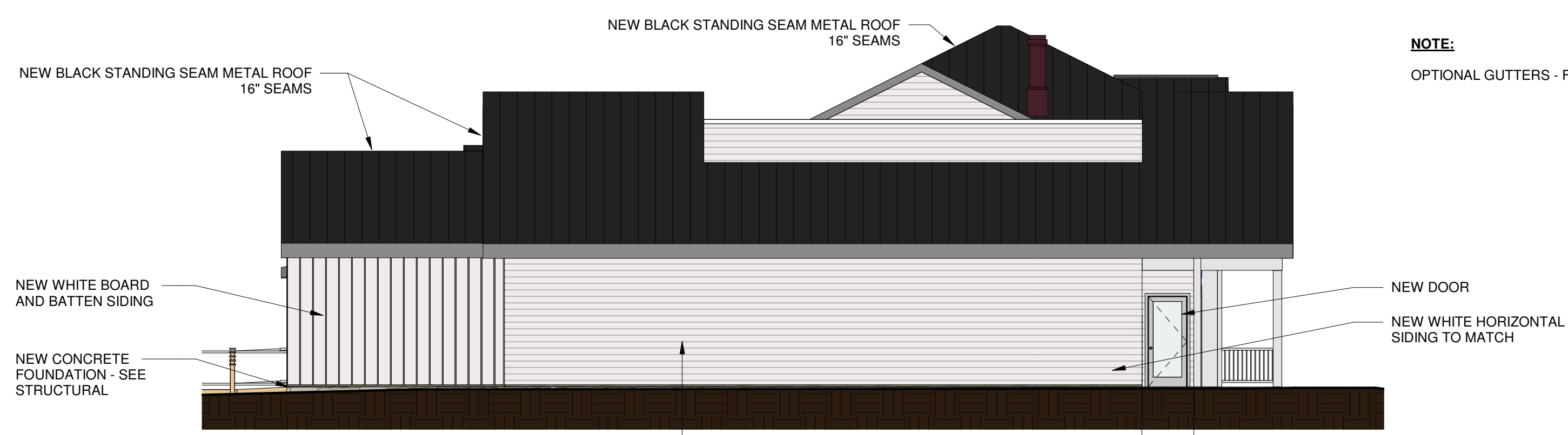
1 N. FIRST AVENUE - WEST ELEVATION
1/4" = 1'-0"



2 POPLAR STREET - SOUTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

NOTE-THE NORTH WALL IS 10'-1" FROM THE PROPERTY LINE- OPENINGS ON THIS WALL ARE LIMITED BY THE NC STATE BUILDING CODE TO BE LESS THAN 15% 7% OF THE MAXIMUM AREA ALLOWED. IN ADDITION, THE NORTH WALL CONTAINS THE KITCHEN AND OPENINGS ARE NOT PRACTICAL FOR THE FUNTIONALITY OF THE SPACE.

NOTE:
OPTIONAL GUTTERS - FIELD VERIFY LOCATION

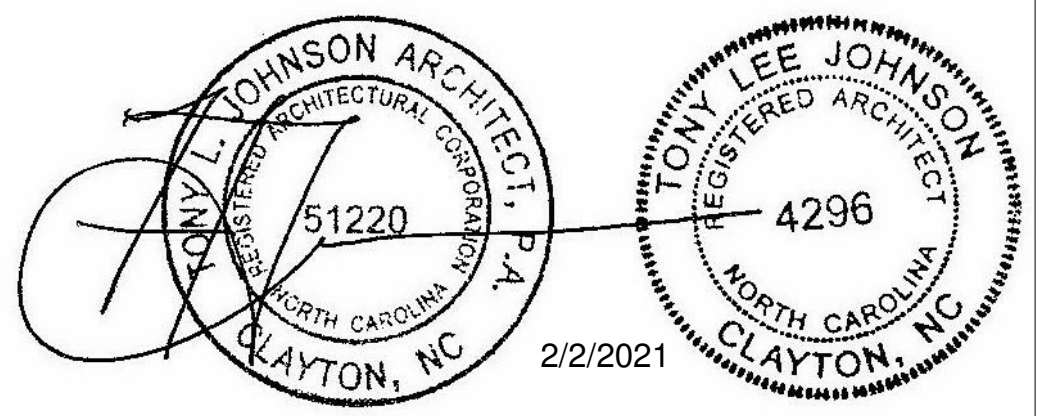
a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: 10/26/21
Administrator

NOTE: FIELD VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS AND NOTIFY ARCHITECT OF DISCREPANCIES.



REVISIONS	
NUMBER	DATE

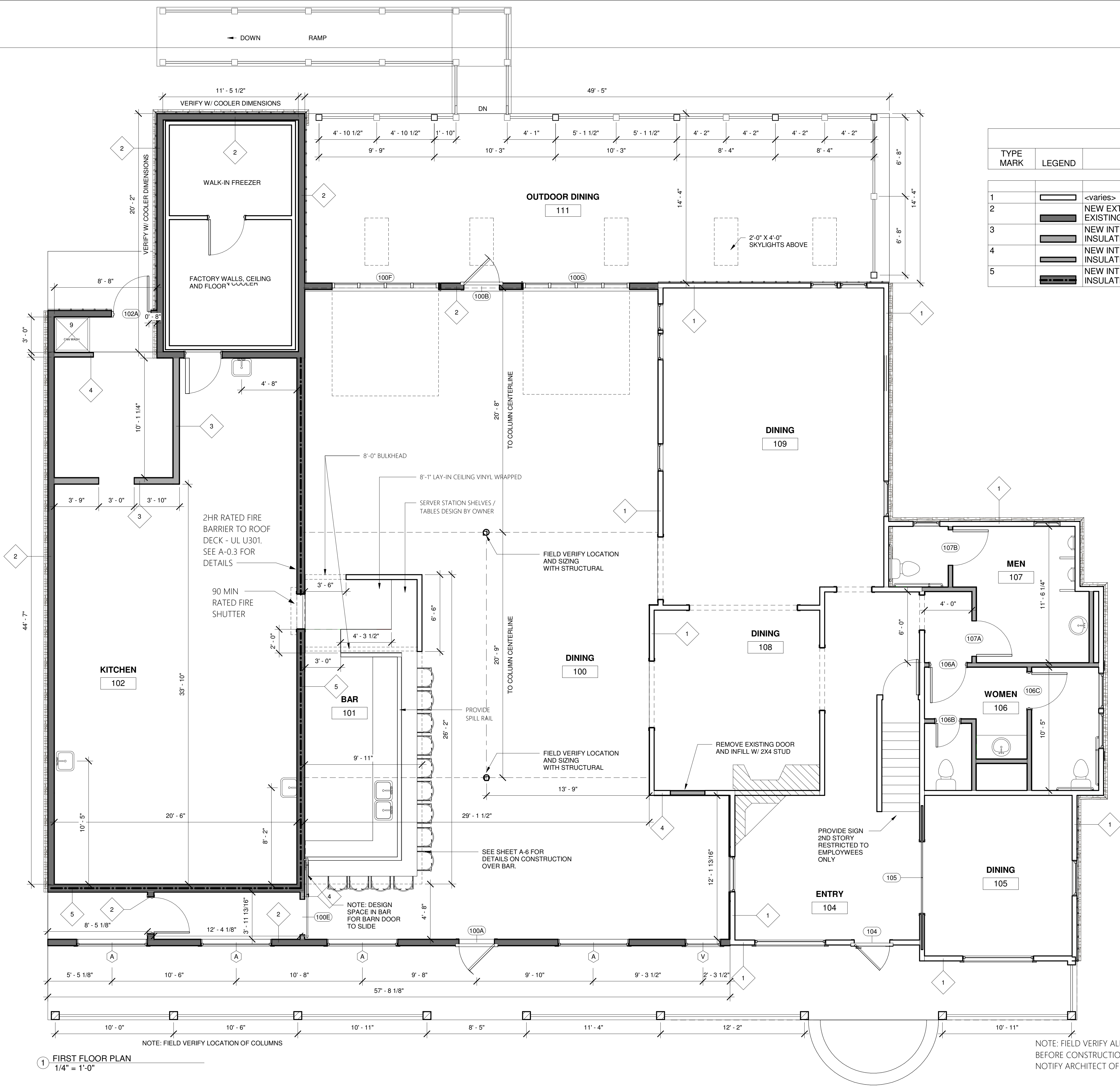
608 NORTH FIRST AVENUE
KNIGHTDALE, NORTH CAROLINA

919-559-7717
Tony@TonyJohnsonArchitect.com
104 North Lombard St
Clayton, NC 27520
TonyJohnsonArchitect.com



DATE	9/7/2021 9:45:56 AM
PROJECT #	2020-057
ELEVATIONS	
SHEET	

A-1



MAIN FLOOR: 4,726 SQ FT
2ND FLOOR: 1,068 SQ FT

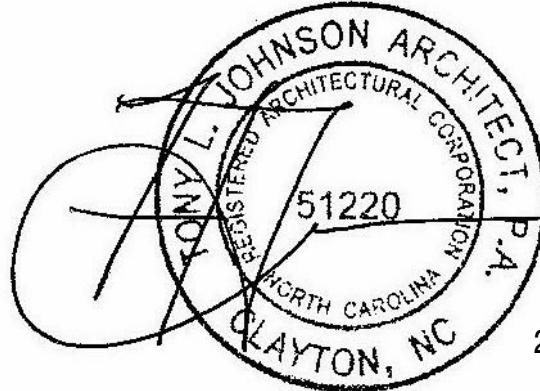
WALL SCHEDULE			
TYPE MARK	LEGEND	DESCRIPTION	FIRE RATING
1		<varies>	N/A
2		NEW EXTERIOR 2x6 STUDS @ 16" OC W/ 1/2 SHEATHING AND SIDING TO MATCH EXISTING EXTERIOR FACE. R-19 INSULATION, 5/8" GWB INTERIOR FACE.	0
3		NEW INTERIOR WALL TO CEILING HEIGHT - 2X6 STUDS @ 16" OC, SOUND BATT INSULATION, 5/8" GWB EACH FACE.	0
4		NEW INTERIOR WALL TO CEILING HEIGHT - 2X4 STUDS @ 16" OC, SOUND BATT INSULATION, 5/8" GWB EACH FACE.	0
5		NEW INTERIOR FIRE BARRIER TO ROOF - 2x6 STUDS @ 16" OC, SOUND BATT INSULATE W/ (2) LAYERS 5/8" GWB EACH FACE. UL-U419 - SEE SHEET A-0.4	2 HRS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: **10/26/21**
Administrator



REVISIONS	
NUMBER	DATE

608 NORTH FIRST AVENUE
KNIGHTDALE, NORTH CAROLINA

919-559-7717
Tony@TonyJohnsonArchitect.com
104 North Lombard St
Clayton, NC 27520
TonyJohnsonArchitect.com



DATE	9/7/2021 9:45:59 AM
PROJECT #	2020-057
FLOOR PLAN	
SHEET	A-2.1