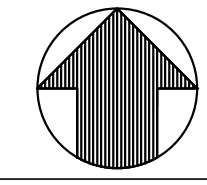


FLOOD INSURANCE RATE MAP (N.T.S.)



Panera

BREAD

**6800 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
WAKE COUNTY
ZONED: HB (HIGHWAY BUSINESS)**

TOK PROJECT # ZMA-3-19

OWNER

WIDEWATERS KNIGHTDALE COMPANY, LLC
CONTACT: CHRIS KUTLICK
1520 N. COMMUNITY HOUSE RD., SUITE 175
CHARLOTTE, NC 28227
CKUTLICK@WIDEWATERS.COM
TEL: (704) 280-1249

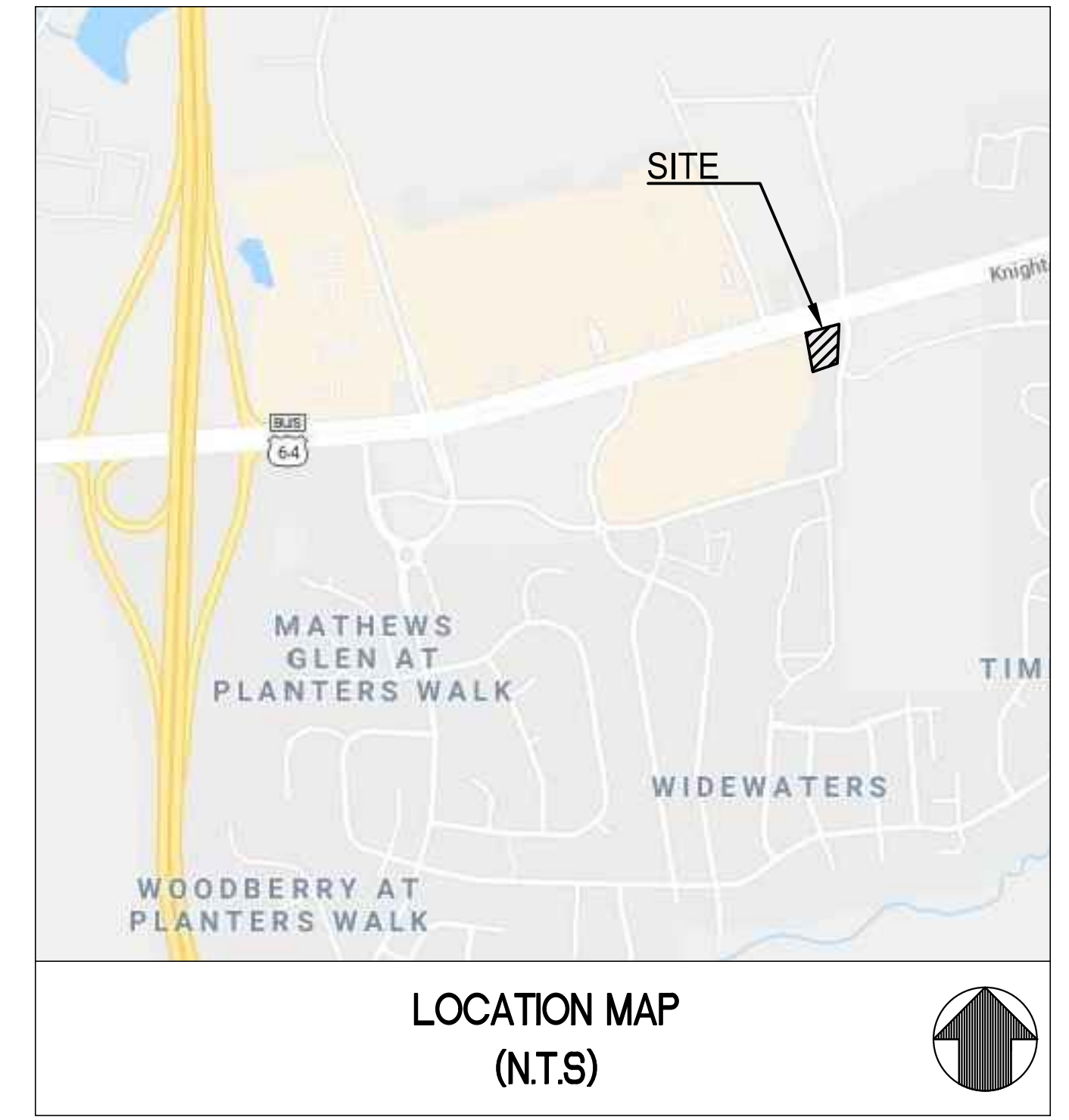
DEVELOPER

PANERA BREAD LLC
CONTACT: LEVI OTTWELL
3630 SOUTH GEYER ROAD, SUITE 100
SUNSET HILLS MO, 63127
LEVI.OTTWELL@PANERABREAD.COM
TEL: (314) 984-3061

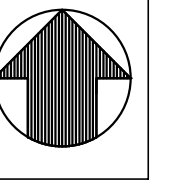
ENGINEER



CONTACT: HAMILTON WILLIAMS
1430 WEST PEACHTREE STREET NW, STE. 200
ATLANTA, GA 30309
HWILLIAMS@GREENBERGFARROW.COM
TEL: (404) 601-4000



LOCATION MAP (N.T.S.)



SHEET INDEX

- C-0.0 COVER SHEET
- C-3.0 SITE PLAN
- C-3.1 SIGNAGE PLAN
- C-4.0 GRADING PLAN
- C-5.0 UTILITY PLAN
- L-1.0 LANDSCAPE PLAN
- EL1 PHOTOMETRIC PLAN
- S-1 SURVEY
- O106 ELEVATIONS
- O107 EXTERIOR PERSPECTIVES
- O108 SITE DETAILS

CONDITIONAL REZONING CONDITIONS:

BOULEVARD BUFFER REDUCTIONS:

PANERA BREAD IS REQUESTING A 10' BUFFER REDUCTION ALONG KNIGHTDALE BOULEVARD IN ORDER TO BETTER PLACE SITE FEATURES WHILE REDUCING THE POTENTIAL IMPACT TO THE NEUSE RIVER BUFFER AND EXISTING WOODLANDS. ALTERNATIVE MEANS OF COMPLIANCE WILL BE THROUGH ENHANCEMENTS OF THE BUFFER PROVIDED WITH INCREASED LANDSCAPING AND THE ADDITION OF A LOW, DECORATIVE MASONRY SCREEN WALL. SEATING AMENITIES ARE PROPOSED AROUND THE SIDEWALK CONNECTIONS TO IMPROVE THE EXPERIENCE OR PEDESTRIAN EXPERIENCE.

ALTERNATE MEANS OF BUILDING COMPLIANCE:

PANERA BREAD IS REQUESTING AN ALTERNATIVE MEANS OF COMPLIANCE TO THE MULTI-STORY BUILDING REQUIREMENT. THE SCALE AND SCOPE OF A MULTI-STORY BUILDING WOULD NOT BE COMPATIBLE WITH SURROUNDING SINGLE STORY DEVELOPMENT, CREATING A DISSIMILAR AND DISTRACTING APPEARANCE. THE MASSING AND DETAILING OF THE PROPOSED STRUCTURE PROVIDES THE APPEARANCE OF MULTI-STORY BUILDINGS WITHOUT DISTURBING THE CONTEXT OF THE.

DUMPSTER ENCLOSURE:

THE PROPOSED DUMPSTER ENCLOSURE LOCATION WAS SELECTED TO AVOID THE DUMPSTER ENCLOSURE BEING VIEWED BY PANERA'S CUSTOMER'S WHEN FIRST ENTERING THE SITE AND AVOIDING OFFENSIVE ODORS FROM AFFECTING THE PATIO SEATING AREA. PANERA BREAD IS PROPOSING TO REDUCE THE DUMPSTER ENCLOSURE'S VISIBILITY FROM KNIGHTDALE BOULEVARD BY PROVIDING AN EARTHEN BERM AND LOW MASONRY SCREENING WALL WHILE INCREASING LANDSCAPING BETWEEN THE STREET AND DUMPSTER ENCLOSURE.

ADDITIONAL USE STANDARDS (UDO CH. 3.3.T):

NO DRIVE-THRU FACILITY, DEFINED AS THE FOOTPRINT OF ASSOCIATED VEHICLE ACCOMMODATION LANES AND CANOPIES, SHALL BE LOCATED WITHIN A 200-FOOT RADIUS OF THE PROPERTY LINE OF ANY RESIDENTIAL USE (SECTION 2.3C(1)).

DRIVE-THRU SERVICE WINDOWS, DOORS AND SIMILAR BUILDING OPENINGS MAY BE LOCATED AND ACCESSED ONLY IN THE SIDE OR REAR YARDS.

IN THE HB AND MI DISTRICTS, DRIVE-THRU SERVICE WINDOWS, DOORS AND SIMILAR BUILDING OPENINGS LOCATED AND ACCESSED IN THE SIDE YARD MAY BE MULTI-LANE, BUT SHALL BE SCREENED FROM OFF-SITE VIEW FROM A PUBLIC RIGHT-OF-WAY BY A TYPE-B BUFFER (SECTION 8.6B(2)).

IN ADDITION TO MEETING THE REQUIREMENTS OF CHAPTER 10, VEHICLE ACCOMMODATION LANES FOR DRIVE-THRU USES SHALL BE LOCATED OUTSIDE OF AND PHYSICALLY SEPARATED FROM THE RIGHT-OF-WAY OF ANY STREET. THESE LANES SHALL NOT INTERFERE WITH THE EFFICIENT INTERNAL CIRCULATION OF THE SITE, ADJACENT PROPERTY, OR ADJACENT STREET RIGHT-OF-WAY.

IN THE HB & NMZ ZONING DISTRICT DRIVE-THRU RETAIL/RESTAURANTS & DRIVE-THRU SERVICES SHALL BE LOCATED IN STRUCTURES THAT MEET THE BUILDING TYPE: MIXED USE AS DEFINED IN CHAPTER 5.10.

24-HOUR CONTACT

JOE PLESCIA (314) 984-2638

WATER ALLOCATION COMPLIANCE	
POINTS REQUIRED	50
PROPOSED POINTS	
BASE POINTS	41
PATIO	1
XERISCAPING	3
PUBLIC ART	4
ENHANCED ROADSIDE LANDSCAPE	2
TOTAL PROPOSED POINTS	51

SURVEYOR

BECHTLER GREENFIELD SURVEYING, LLC.
1430 W. PEACHTREE ST. NW, SUITE 225
ATLANTA, GA 30309
(770) 422-8181
SURVEYOR'S PROJECT NO. 19-124-0

CONTACTS

TOWN APPROVED STANDARDS SHALL CONTROL. IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLAT(S), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

PLANNING AND ZONING
TOWN OF KNIGHTDALE
DEVELOPMENT SERVICES
950 STEEPLE SQUARE CT.
KNIGHTDALE, NC 27545
CONTACT: MICHAEL CLARK
PHONE: (919) 217-2243
EMAIL: MICHAEL.CLARK@KNIGHTDALENC.GOV

STORMWATER
WAKE COUNTY
ENVIRONMENTAL SERVICES DEPT.
337 SOUTH SALISBURY ST.
RALEIGH, NC 27601
CONTACT: KARYN PAGEAU
PHONE: (919) 796-88769
EMAIL: KARYN.PAGEAU@WAKEGOV.COM

WATER AND SEWER
CITY OF RALEIGH
DEVELOPMENT REVIEW
PUBLIC UTILITIES DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 620
RALEIGH, NC 27601
CONTACT: LOREA SAMPLE
PHONE: (919) 996-3484
EMAIL: LOREA.SAMPLE@RALEIGHNC.GOV

BUILDING
TOWN OF KNIGHTDALE
INSPECTION SERVICES
950 STEEPLE SQUARE CT.
KNIGHTDALE, NC 27545
CONTACT: AQUILA BLACKWELL
PHONE: (919) 217-2244
EMAIL: AQUILA.BLACKWELL@KNIGHTDALENC.GOV

FIRE PREVENTION
TOWN OF KNIGHTDALE
FIRE DEPARTMENT
967 STEEPLE SQUARE CT.
KNIGHTDALE, NC 27545
CONTACT: TIM GUFFEY
PHONE: (919) 217-2273
EMAIL: FIREINSPECTIONS@KNIGHTDALENC.GOV

ELECTRIC
DUKE ENERGY
160 RUSH ST.
RALEIGH, NC 27603
CONTACT: BUSINESS SERVICES
PHONE: (800) 452-2777

HEALTH DEPARTMENT
WAKE COUNTY
ENVIRONMENTAL SERVICES - FOOD
CONTACT: ROB RICHARDSON
1300 WEST 10 SUNNYBROOK RD.
RALEIGH, NC 27610
PHONE: (919) 868-9253
EMAIL: RICHARDSON@WAKEGOV.COM

GAS
PSNC
CONTACT: MATT KOEHL
3516 SPRING FOREST RD.
RALEIGH, NC 27616
PHONE: (919) 819-0485
EMAIL: MKOEHL@SCANA.COM

TELEPHONE
AT&T
PHONE: (800) 620-6900

CITY OF RALEIGH

All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION SERVICES _____

PUBLIC UTILITIES _____

STORMWATER _____

PLANNING _____

FIRE _____

URBAN FORESTRY _____

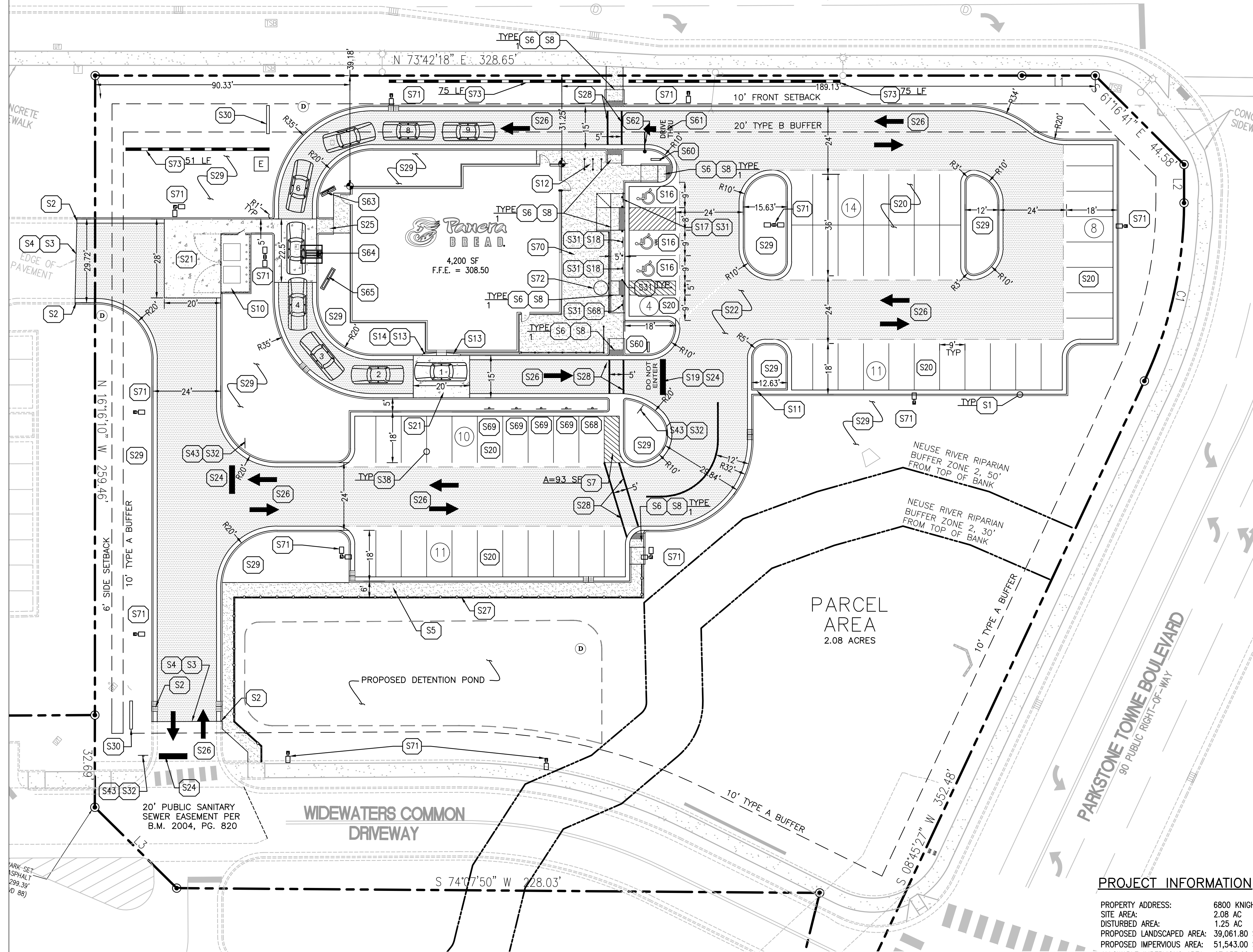
PROFESSIONAL DESIGN ENGINEER CERTIFICATION. THESE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND WITH THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

I, **JOHN NOURZAD, PE**, CERTIFY THAT THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE HAVE BEEN THOROUGHLY CHECKED AND FOUND TO BE APPLICABLE TO THIS PROJECT. ALL EXCEPTIONS TO THE APPLICABLE TOWN STANDARDS HAVE BEEN PREVIOUSLY APPROVED BY THE TOWN OF KNIGHTDALE AND SAID EXCEPTIONS ARE SHOWN ON SHEETS(S) OF THESE DRAWINGS.

SEAL:
BY: **JOHN NOURZAD, PE**

DATE: _____

KNIGHTDALE BOULEVARD
A.K.A. U.S. HIGHWAY 64 BUSINESS
VARIABLE PUBLIC RIGHT-OF-WAY
PER B.M. 2017, PG. 1996



PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS)
- PROPOSED PARKING SPACES
- CONCRETE SIDEWALK
4" THICK CONCRETE
(COMPACTED OVER SUB-BASE)
- HEAVY DUTY ASPHALT PAVING
1" I-2 ASPHALT
2" H ASPHALT BINDER
8" GRAVEL AGGREGATE BASE (OVER SUB-BASE)
- HEAVY DUTY CONCRETE PAVING
6" THICK W/ 6"x6"-W2.9xW2.9 WELDED WIRE MESH
8" GRAVEL AGGREGATE BASE (OVER SUB-BASE)

SITE NOTES:

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
- NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
- ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.]
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY (EDIT), DATED (EDIT).
- ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED ON THE PLANS.
- CONTRACTOR SHALL REFER TO APPROVED ARCHITECTURAL SITE SIGNAGE PLANS FOR DETAILS AND LOCATIONS.
- CONTRACTOR SHALL REFER TO APPROVED PHOTOMETRIC PLANS FOR LOCATIONS OF LIGHT POLES.

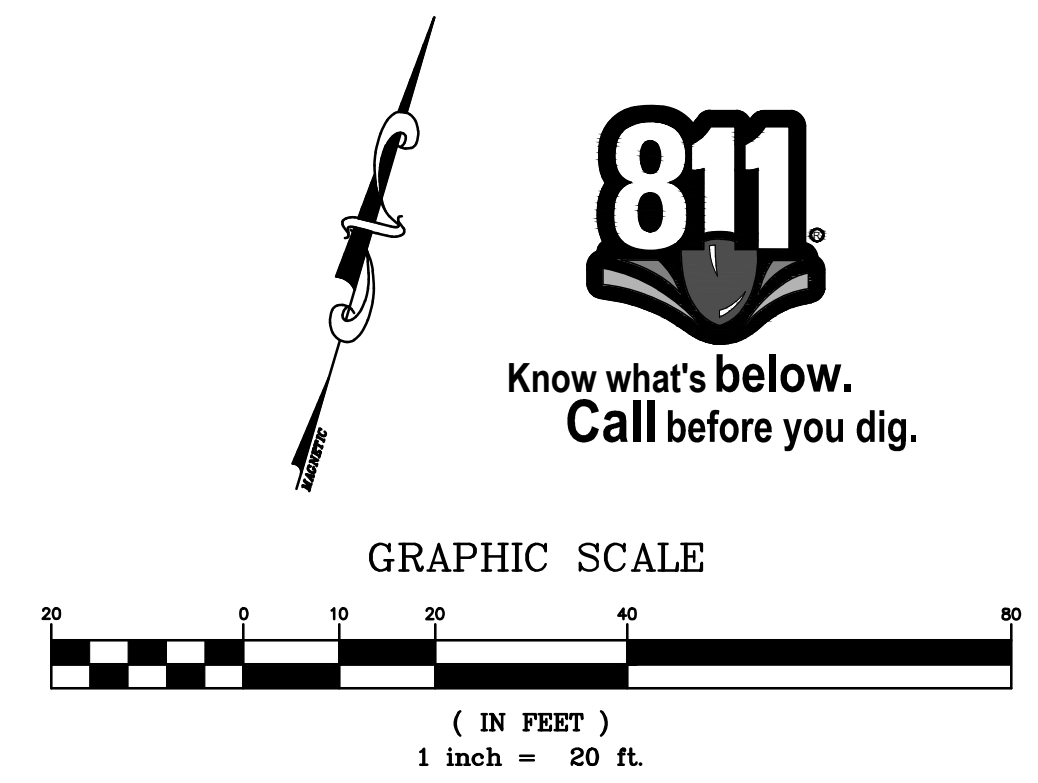
SITE KEY NOTES

- S1 24" CONCRETE CURB AND GUTTER (SEE DETAILS)
- S2 TAPER TO MATCH EXISTING CURB AND GUTTER
- S3 MATCH EXISTING PAVEMENT ELEVATION
- S4 LIMIT OF NEW PAVEMENT
- S5 CONCRETE SIDEWALK (SEE DETAILS)
- S6 CURB RAMP @ 8.33% MAX. (SEE DETAILS)
- S7 4" WIDE PAINTED STRIPES, 2" O.C. @ 45°
- S8 DETECTABLE WARNING DOMES (SEE DETAILS)
- S10 DUMPSTER ENCLOSURE (PER ARCH PLANS)
- S11 18" CONCRETE FLUME
- S12 BIKE RACK
- S13 PROPOSED 10" WIDE CONCRETE CURB AT DRIVE-THRU WINDOW WITH A 10' TAPER TO 6" WIDE CONCRETE CURB (SEE ARCH. PLAN FOR DETAILS)
- S14 PROPOSED BOLLARD (SEE ARCHITECTURAL PLAN FOR DETAILS)
- S16 HANDICAP PARKING STRIPING AND SYMBOL (SEE DETAILS)
- S17 PROPOSED HANDICAP PARKING SIGNS (SEE DETAILS)
- S18 VAN ACCESSIBLE HANDICAP SIGNS (SEE DETAILS)
- S19 PAVEMENT SIGN
- S20 LIGHT DUTY ASPHALT PAVEMENT
- S21 HEAVY DUTY CONCRETE PAVEMENT
- S22 HEAVY DUTY ASPHALT PAVEMENT
- S24 24" STOP BAR (WHITE) (SEE DETAILS)
- S25 SERVICE RAMP
- S26 DIRECTIONAL TRAFFIC ARROWS (SEE DETAILS)
- S27 HANDRAILS
- S28 6" PEDESTRIAN/HANDICAP CROSSWALK STRIPING (WHITE)
- S29 LANDSCAPE AREA (PER LANDSCAPE PLAN)
- S30 MONUMENT SIGN
- S31 BOLLARDS (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S32 STOP SIGN (SEE DETAILS)
- S34 SEAL COAT AND RESTRIPE ALL ASPHALT AREAS NOT PAVED
- S38 PARKING STALL STRIPING
- S43 SIGN BASE (SEE DETAILS)
- S60 DIRECTIONAL SIGN WITH ARROW (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S61 DIRECTIONAL DRIVE THRU PAVEMENT MARKING
- S62 DRIVE THRU CLEARANCE BAR
- S63 DRIVE THRU PREVIEW BOARD (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S64 DRIVE THRU CANOPY AND SPEAKER (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S65 DRIVE MENU BOARD (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S66 THANK YOU SIGN (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S68 DRIVE THRU "PULL AHEAD" PARKING SIGN (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S69 RAPID PICK UP SIGN (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S70 OUTDOOR PATIO AREA WITH RAILS (SEE ARCHITECTURAL PLAN FOR DETAIL)
- S71 SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE, AND MOUNTING DETAILS.
- S72 PUBLIC ART
- S73 MASONRY SCREEN WALL

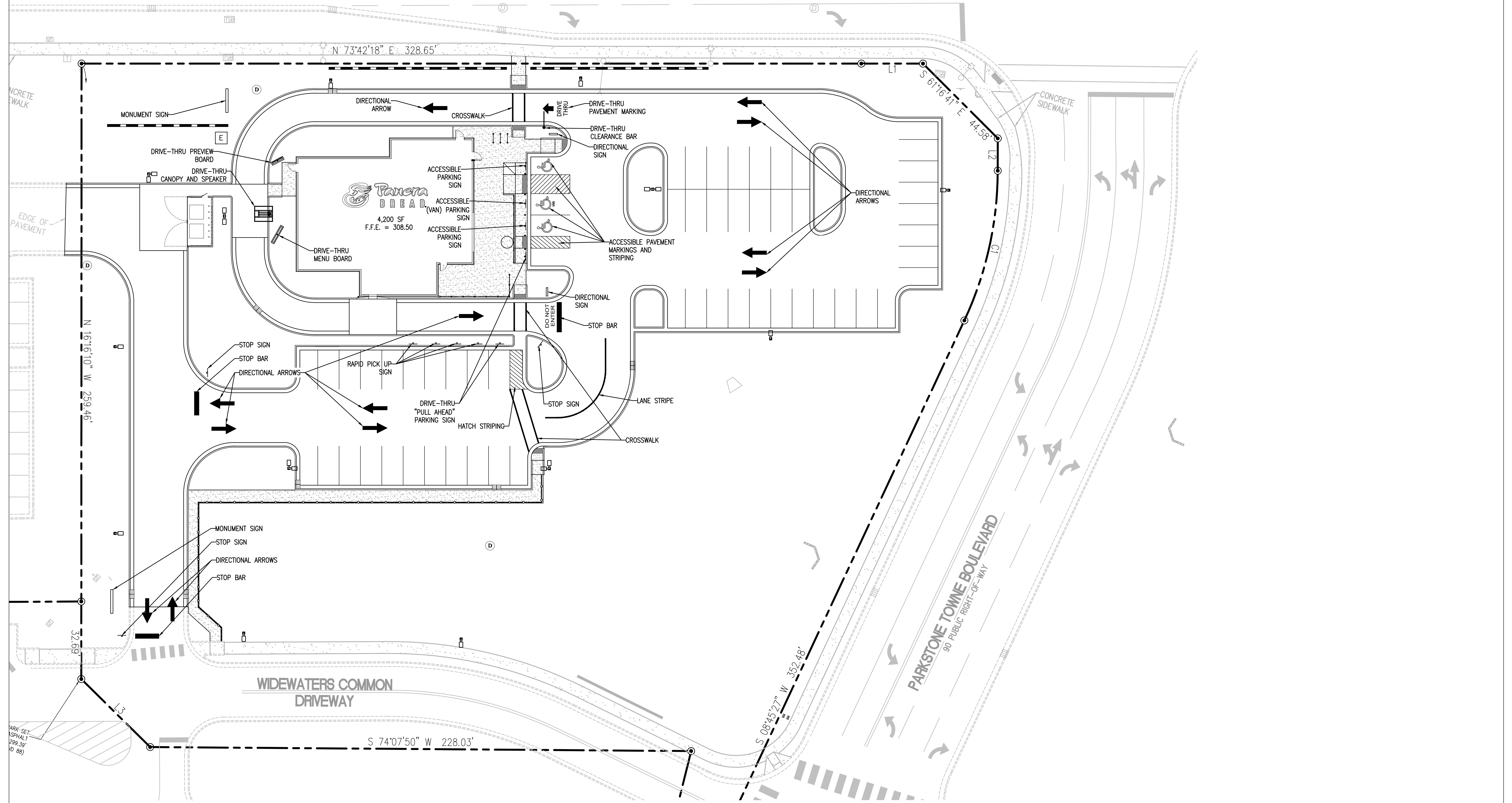
PROJECT INFORMATION

PROPERTY ADDRESS: 6800 KNIGHTDALE BLVD.
SITE AREA: 2.08 AC
DISTURBED AREA: 1.25 AC
PROPOSED LANDSCAPED AREA: 39,061.80 SF (43.1%)
PROPOSED IMPERVIOUS AREA: 51,543.00 SF (56.9%)
ALLOWABLE IMPERVIOUS AREA: 67,953.60 SF (75.0%)
EXISTING ZONING: HB (HIGHWAY BUSINESS)
PROPOSED ZONING: HB-GD (HIGHWAY BUSINESS & CONDITIONAL DISTRICT)
PROPOSED BUILDING AREA: 4,200 SF
EXISTING USE: VACANT
PROPOSED USE: DRIVE-THRU RETAIL/RESTAURANTS (2.3.C.4.C)
PARKING REQUIRED: MINIMUM: MAX/2 = 9/2 = 32 SPACES
MAXIMUM: 15 PER 1000 SF = 15 * 1400 = 63 SPACES
HANDICAP PARKING REQUIRED: 51 TO 75 = 2 SPACES + 1 VAN = 3 SPACES
BIKE PARKING REQUIRED: 1 BIKE SP PER 10 CAR SP = 10 * 58 = 6 SPACES
PARKING PROVIDED: CAR: 58 SPACES (INCLUDING HANDICAP SPACES)
HANDICAP: 3 SPACES (INCLUDING 1 VAN SPACE)
BIKE: 6 SPACES
BUILDING SETBACK: FRONT: 10 FEET
SIDE: 6 FEET
REAR: 10 FEET
LANDSCAPE BUFFER: FRONT: 20 FEET
SIDE: 10 FEET
REAR: 10 FEET
WATER SHED: NEUSE RIVER

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.
BY: TOWN ENGINEER DATE: _____
THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.
BY: ADMINISTRATOR DATE: _____



KNIGHTDALE BOULEVARD
A.K.A. U.S. HIGHWAY 64 BUSINESS
VARIABLE PUBLIC RIGHT-OF-WAY
PER B.M. 2017, PG. 1996



PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROJECT MANAGER
HAMILTON WILLIAMS
QUALITY CONTROL
CHARLES J. BEADLES, PE
DRAWN BY
JEROME CARTER

PROJECT
PANERA BREAD

ADDRESS
KNIGHTDALE NORTH CAROLINA
6800 KNIGHTDALE BLVD.

CLIENT



PROJECT NUMBER
20190392

SHEET TITLE
SIGNAGE PLAN

SHEET NUMBER
C-0.0

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: _____ DATE: _____
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT:

BY: _____ DATE: _____
ADMINISTRATOR

811
Know what's below.
Call before you dig.

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

GENERAL GRADING/DRAINAGE NOTES:

- ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE THE LINES AND GRADES SHOWN ON THE PLANS.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
- STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
- PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
- THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
- CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III, UNLESS OTHERWISE SPECIFIED ON PLANS.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AN ALL SLOPES GREATER THAN 3H:1V.
- DRAINAGE STRUCTURES SHALL BE MAINTAINED BY PROPERTY OWNERS.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

GRADING KEY NOTES

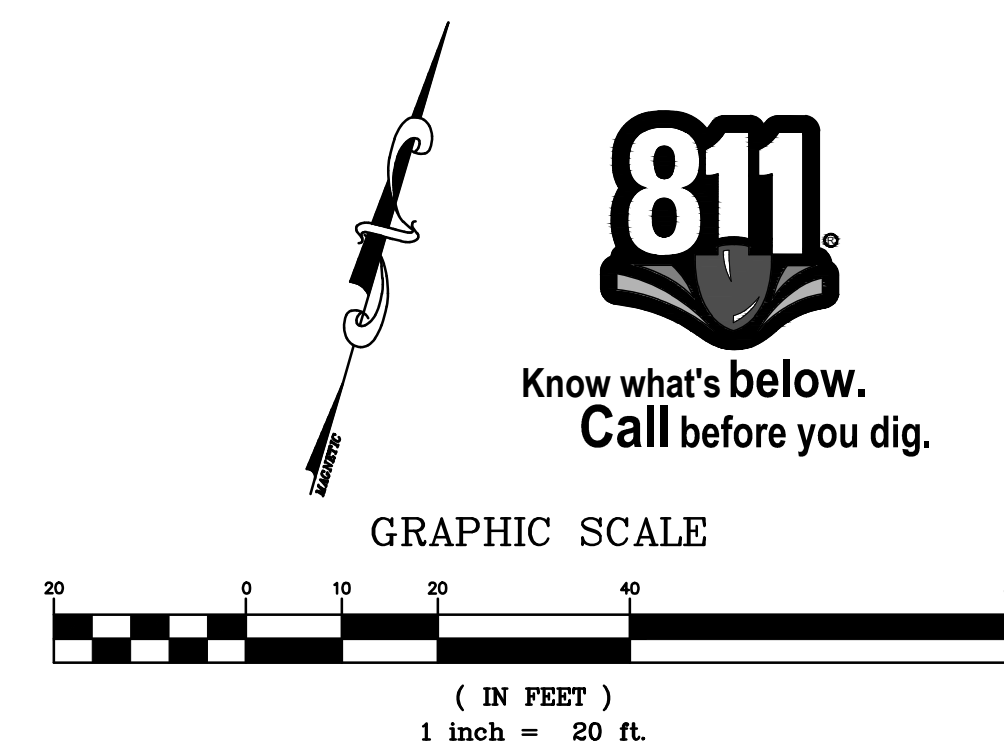
- G1 MATCH EXISTING PAVEMENT ELEVATION
- G2 LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- G3 MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 2% CROSS SLOPE
- G4 MAXIMUM SLOPE OF 2% ALL DIRECTIONS

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: _____ DATE: _____
 TOWN ENGINEER

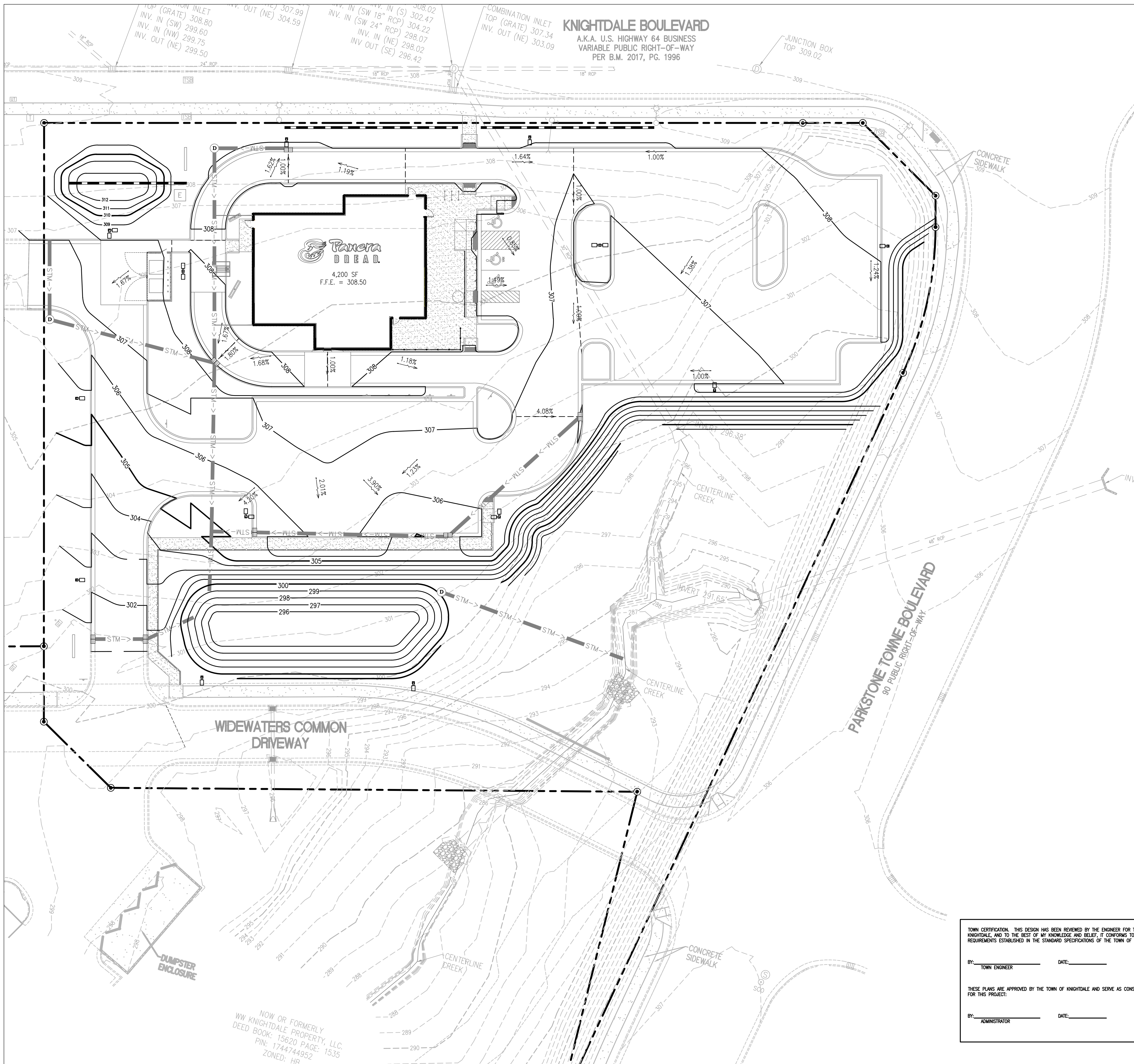
THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT:

BY: _____ DATE: _____
 ADMINISTRATOR

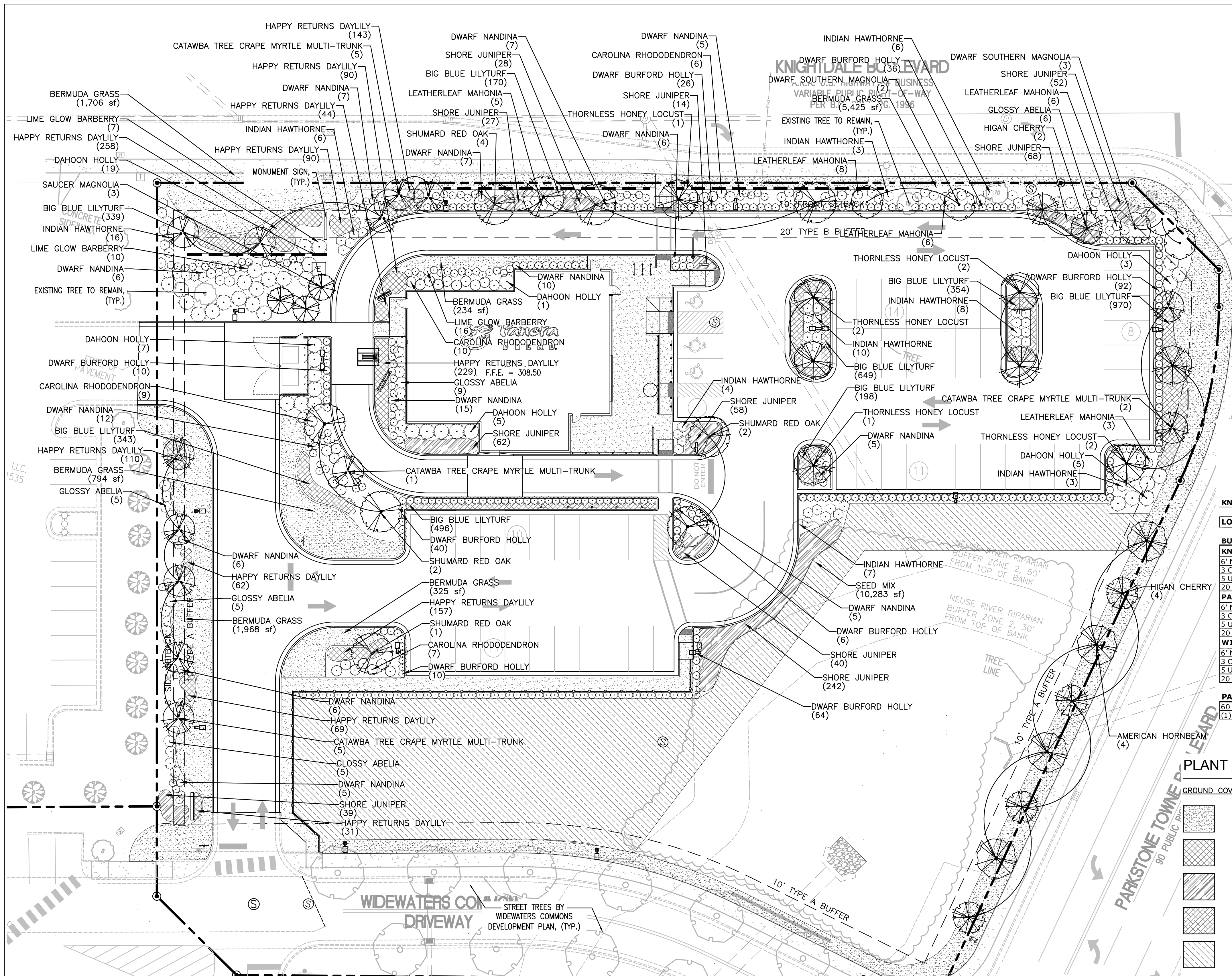


811
 Know what's below.
 Call before you dig.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.



NOW OR FORMERLY
 WW KNIGHTDALE PROPERTY, LLC.
 DEED BOOK: 15620 PAGE: 1535
 PIN: 1744744952
 ZONED: HR



LANDSCAPE NOTES:

1. AT TIME OF INSTALLATION, CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND 8' IN HEIGHT; UNDERSTORY TREES SHALL BE A MINIMUM OF 1 1/4" CALIPER AND 6' IN HEIGHT; SHRUBS SHALL BE AT LEAST 18" IN HEIGHT AND AT LEAST A 5 GALLON CONTAINER SIZE.
2. ALL ABOVE GROUND UTILITIES MUST BE SCREENED IN ACCORDANCE WITH UDO CH. 8.7.
3. PLEASE NOTE THAT 40-60% OF THE CANOPY AND UNDERSTORY TREES AND 80% OF THE SHRUBS MUST BE EVERGREEN PER UDO CH. 8.6 SPECIES MUST BE FROM THE APPROVED TREE LIST.

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: _____ DATE: _____
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: _____ DATE: _____
ADMINISTRATOR

KNIGHTDALE PANERA- LANDSCAPE CALCULATIONS

LOT AREA:	ACRES	SF.
	2.08	90,605

BUFFERYARD LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
KNIGHTDALE BLVD. (TYPE 'B' BUFFER EXEMPTION- 10') 350 LF		
6' MIN. SEMI-OPAQUE SCREEN	YES	YES
3 CANOPY TREES PER 100 LF = 350/100 X 3 = 11 TREES	11	11
5 UNDERSTORY TREES PER 100 LF = 350/100 X 5 = 18 TREES	18	18
20 SHRUBS PER 100 LF = 350/100 X 20 = 70 SHRUBS	70	70
PARKSTONE TOWNE BLVD. (TYPE 'A' BUFFER- 10') 277 LF		
6' MIN. SEMI-OPAQUE SCREEN	YES	YES
3 CANOPY TREES PER 100 LF = 277/100 X 3 = 8 TREES	8	8
5 UNDERSTORY TREES PER 100 LF = 277/100 X 5 = 14 TREES	14	14
20 SHRUBS PER 100 LF = 277/100 X 20 = 55 SHRUBS	55	55
WIDEWATERS COMMON DRIVEWAY (TYPE 'A' BUFFER- 10') 226'		
6' MIN. SEMI-OPAQUE SCREEN	YES	YES
3 CANOPY TREES PER 100 LF = 226/100 X 3 = 7 TREES	7	MET WITH EXISTING
5 UNDERSTORY TREES PER 100 LF = 226/100 X 5 = 11 TREES	11	MET WITH EXISTING
20 SHRUBS PER 100 LF = 226/100 X 20 = 45 SHRUBS	45	MET WITH EXISTING
PARKING LOT LANDSCAPING REQUIREMENTS	REQUIRED	PROVIDED
60 MAX' FROM PARKING SPACE TO BASE OF DECIDUOUS CANOPY TREE	YES	YES
(1) CANOPY TREE PER LANDSCAPE ISLAND	YES	YES

PLANT SCHEDULE

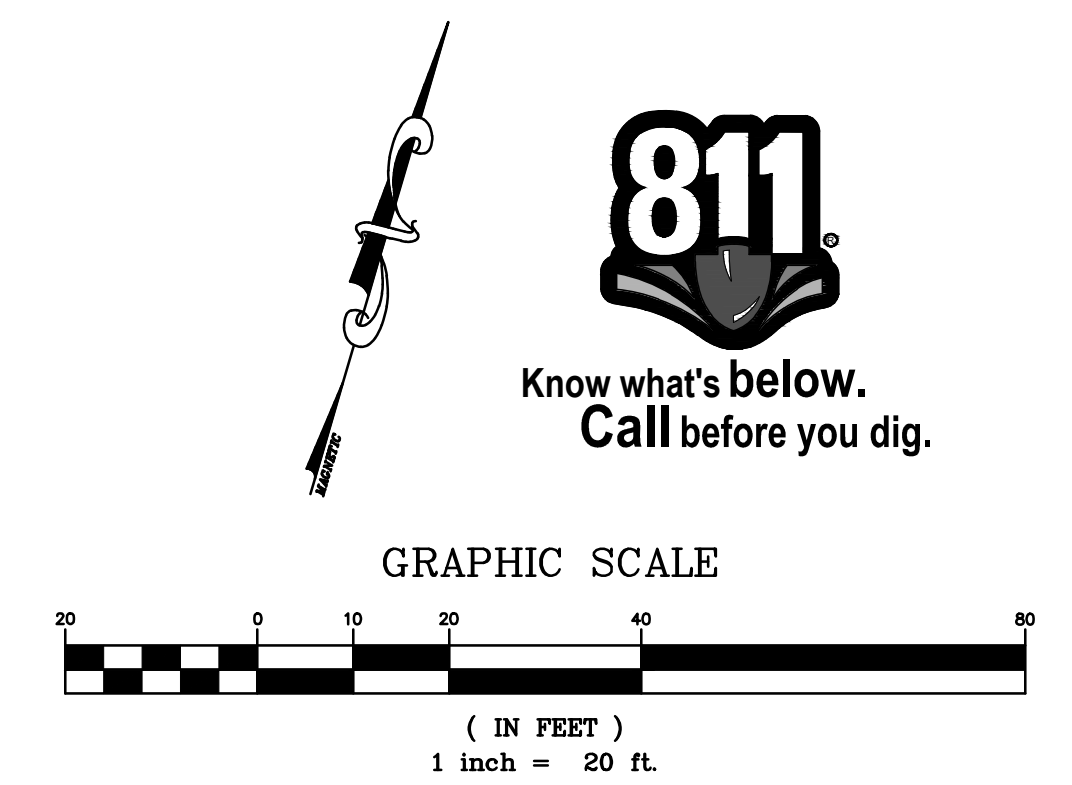
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
	10,451 SF	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD	CERTIFIED PURE, WEED FREE
	1,283	HEMEROCALLIS X 'HAPPY RETURNS' / HAPPY RETURNS DAYLILY	4" POT	
	630	JUNIPERUS CONFERTA / SHORE JUNIPER	1 GAL	
	3,519	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	4" POT	
	10,283 SF	SEED MIX / SEED MIX	SEED	

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	4	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	B & B	3" CAL	12'-15' HT	
	8	GLEDITSIA TRIACANTHOS / THORNLESS HONEY LOCUST	B & B	3" CAL	12'-15' HT	
	13	LAGERSTROEMIA INDICA 'CATAWBA' / CATAWBA TREE CRAPE MYRTLE MULTI-TRUNK	B & B	2.5" CAL	10'-12' HT	
	5	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA	B & B	2.5" CAL	10'-12' HT	
	3	MAGNOLIA X SOULANGIANA / SAUCER MAGNOLIA	B & B	2.5" CAL	10'-12' HT	
	6	PRUNUS SUBHIRTELLA / HIGAN CHERRY	B & B	2.5" CAL	10'-12' HT	
	9	QUERCUS SHUMARDII / SHUMARD RED OAK	B & B	3" CAL		

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	REMARKS
	30	ABELIA X GRANDIFLORA / GLOSSY ABELIA	7 GAL	4' HT	WELL ROOTED, FULL TO GROUND
	33	BERBERIS THUNBERGII 'LIME GLOW' / LIME GLOW BARBERRY	3 GAL	3'-4'	WELL ROOTED, FULL TO GROUND
	40	ILEX CASSINE / DAHOON HOLLY	7 GAL	6' MIN.	
	284	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	3 GAL	3'	WELL ROOTED, FULL TO GROUND
	28	MAHONIA BEALEI / LEATHERLEAF MAHONIA	3 GAL	4'-5'	WELL ROOTED, FULL TO GROUND
	102	NANDINA DOMESTICA 'ATROPURPUREA NANA' / DWARF NANDINA	3 GAL		
	63	RHAPHIOLEPIS INDICA 'BALLERINA PINK DANCER' / INDIAN HAWTHORNE	3 GAL	3'-4'	WELL ROOTED, FULL TO GROUND
	32	RHODODENDRON CAROLINIANUM / CAROLINA RHODODENDRON	7 GAL	4'-5'	



PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
FRED A. MADDOX
PROJECT MANAGER
HAMILTON WILLIAMS
QUALITY CONTROL
CHARLES J. BEADLES, PE
DRAWN BY
THOMAS HARGRETT

PROJECT
PANERA BREAD
ADDRESS
KNIGHTDALE NORTH CAROLINA
6800 KNIGHTDALE BLVD.

CLIENT



PROJECT NUMBER
20190392

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L-0.0

ISSUE/REVISION RECORD

DATE	DESCRIPTION

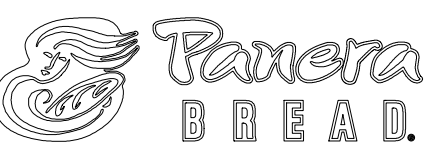
PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROJECT MANAGER
HAMILTON WILLIAMS
QUALITY CONTROL
CHARLES J. BEADLES, PE
DRAWN BY
YAO AGBEVE

PROJECT
PANERA BREAD

ADDRESS
KNIGHTDALE NORTH CAROLINA
6800 KNIGHTDALE BLVD.

CLIENT



PROJECT NUMBER

20190392

SHEET TITLE

PHOTOMETRIC PLAN

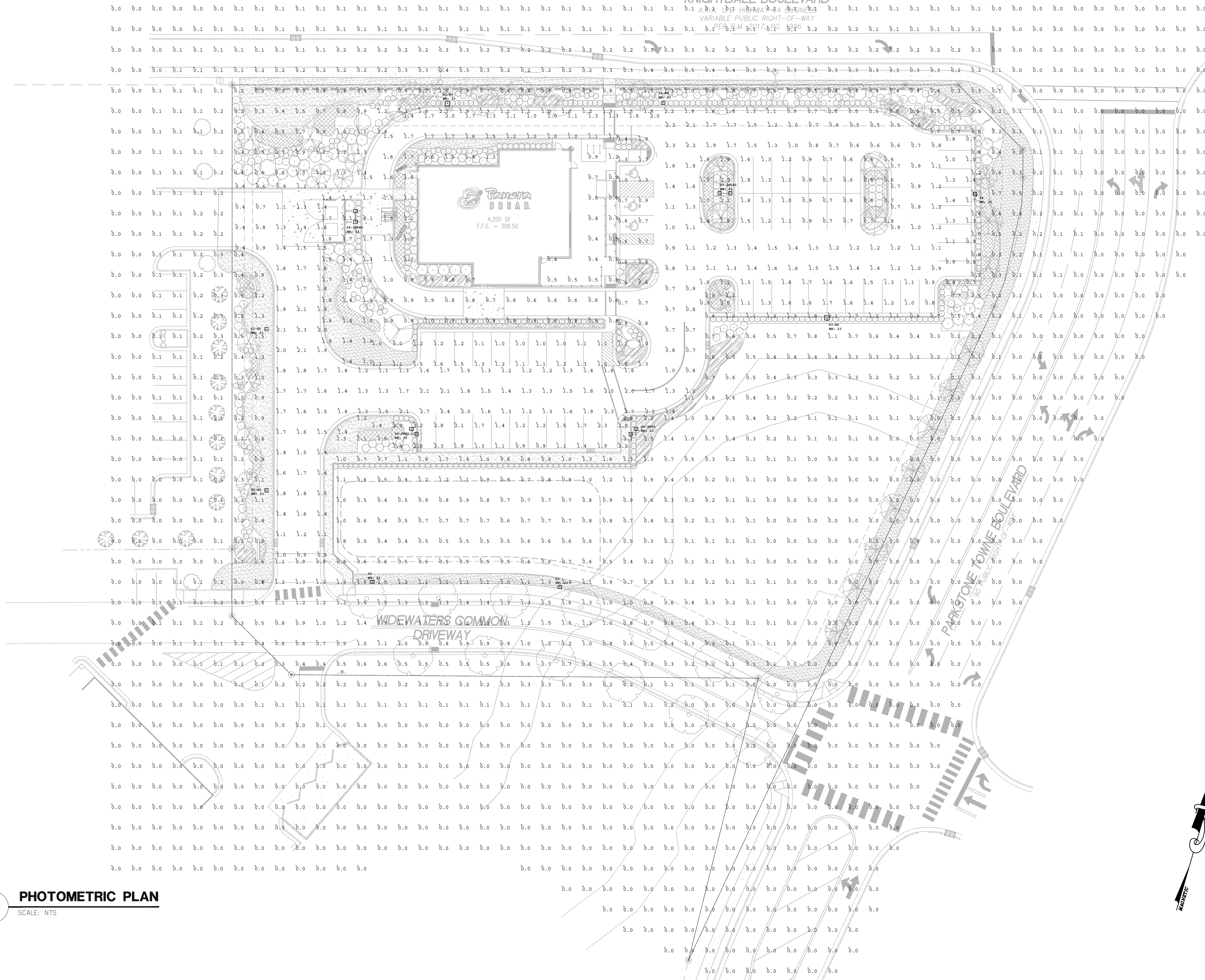
SHEET NUMBER



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE THRU & STORE PERIMETER	Illuminance	Fc	1.15	2.1	0.4	2.88	5.25
DRIVEWAY AREAS	Illuminance	Fc	1.35	2.7	0.4	3.38	6.75
LANDSCAPE & PROPERTY LINE	Illuminance	Fc	0.25	3.1	0.0	N.A.	N.A.
PARKING AREAS	Illuminance	Fc	1.24	3.2	0.6	2.07	5.33

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	[MANUFAC]	BUG Rating
☐	3	S2-HS	SINGLE	1.000	DSX1 LED P1 30K T2M MVOLT HS	54	Lithonia Lighting	B1-U0-G1
☐	2	S3-HS	SINGLE	1.000	DSX1 LED P1 30K T3M MVOLT HS	54	Lithonia Lighting	B1-U0-G1
☐	1	S4	SINGLE	1.000	DSX1 LED P1 30K T4M MVOLT	54	Lithonia Lighting	B1-U0-G2
☐-☐	2	S5-2@180	BACK-BACK	1.000	DSX1 LED P1 30K T5W MVOLT	54	Lithonia Lighting	B3-U0-G2
☐	2	S4-2@90	2 @ 90 DEGREES	1.000	DSX1 LED P1 30K T4M MVOLT	54	Lithonia Lighting	B1-U0-G2
☐	2	S2	SINGLE	0.900	DSX1 LED P1 30K T2M MVOLT	54	Lithonia Lighting	B2-U0-G2

KNIGHTDALE BOULEVARD
VARIABLE PUBLIC RIGHT-OF-WAY
PER R.M. 2017, PG. 1896



1 PHOTOMETRIC PLAN
SCALE: NTS

NO ADDITIONS, DELETIONS, CHANGES OR MODIFICATIONS WERE MADE TO THIS PLAN OTHER THAN THOSE REQUESTED BY THE CITY OF ROCKY MOUNT DEVELOPMENT REVIEW COMMITTEE.

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

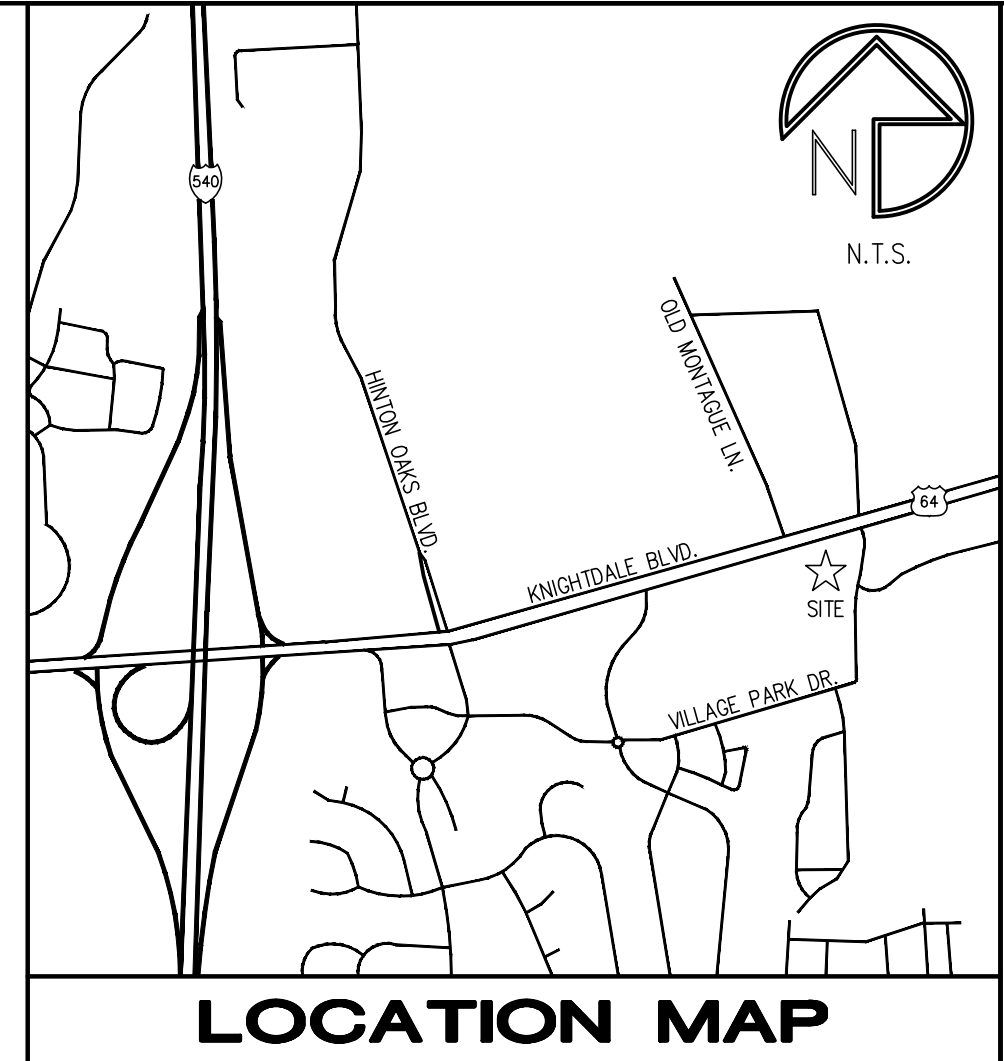
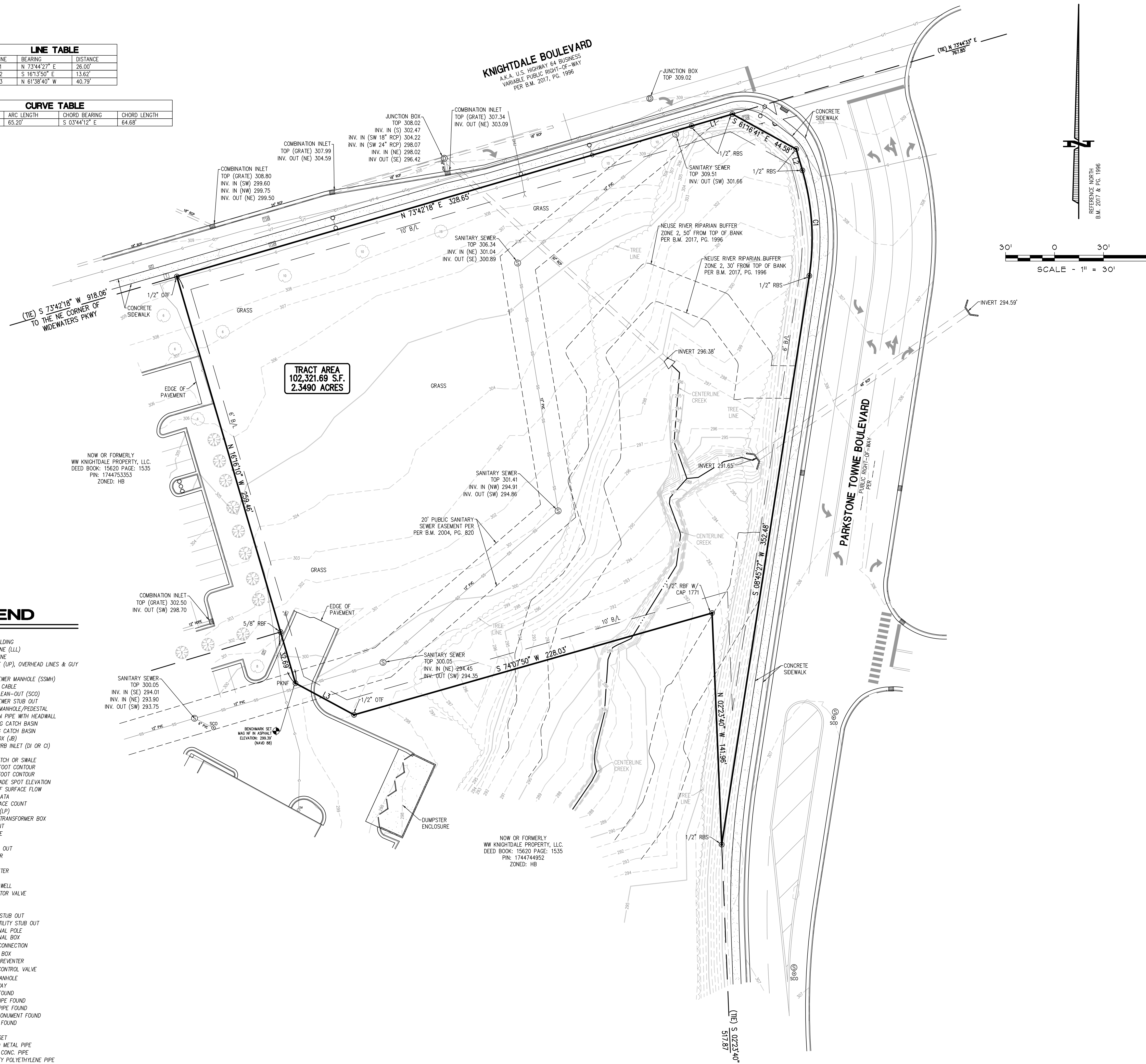
BY: _____ DATE: _____
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT:

BY: _____ DATE: _____
ADMINISTRATOR

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 73°42'21" E	28.00'
L2	S 16°13'50" E	13.62'
L3	N 61°38'40" W	40.79'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	149.50'	65.20'	S 03°44'12" E	64.68'



GENERAL NOTES

- SURVEY PROCEDURES: THIS SURVEY IS BASED ON MEASUREMENTS OBTAINED USING AN INSTRUMENT CAPABLE OF READING ANGULAR MEASUREMENTS DIRECTLY TO A MINIMUM OF 5 SECONDS OF ARC AND LINEAR DIMENSIONS DIRECTLY TO 0.01 FEET.
- THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 329,486.10 FEET.
- TITLE TO THE SURVEYED PROPERTY IS CURRENTLY VESTED IN WIDWATERS KNIGHTDALE II COMPANY, LLC, BY VIRTUE OF A NORTH CAROLINA SPECIAL WARRANTY DEED RECORDED IN D.B. 10924, PG. 1312, WAKE COUNTY, NORTH CAROLINA RECORDS.
- I HAVE EXAMINED FEMA FLOOD INSURANCE RATE MAP NO. 3720174400J DATED MAY 05, 2006 AND HAVE DETERMINED BASED SOLELY BY GRAPHICALLY SCALING THE LOCATION ON THE MAP THAT THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA.
- THE BASIS OF BEARINGS USED FOR THIS SURVEY IS FROM A RECOMBINATION PLAT OF PARKSTONE AT WIDWATERS, BY RWK, PA ENGINEERING - SURVEYING, DATED JULY 17, 2017 AND RECORDED IN BOOK OF MAPS 2017, PAGE 1996, WAKE COUNTY, NORTH CAROLINA RECORDS. ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATION (NAVD 88).
- THE SURVEYED PROPERTY IS ZONED HB (HIGHWAY BUSINESS) ACCORDING TO THE TOWN OF KNIGHTDALE PLANNING & ZONING DEPARTMENT AND IS SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS OF THIS ZONING CLASSIFICATION. THE SETBACK REQUIREMENTS FOR THIS ZONING CLASSIFICATION ARE:

FRONT	10 FT.
SIDE	6 FT.
REAR	10 FT.
- THE TAX PARCEL ID FOR THE SUBJECT PROPERTY IS 1744756480.
- UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF FIELD SURVEY. NO CERTIFICATION, GUARANTEE, OR WARRANTY OF ANY KIND IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UTILITIES SHOWN OR NOT SHOWN ON THIS SURVEY.
- ALL REBARS AND NAILS SHOWN AS SET BEAR A CAP OR WASHER READING "ROD ABNEY L-4510".
- THE CONTOURS SHOWN ON THIS SURVEY ARE AT 1.0 FOOT INTERVALS.
- AREA COMPUTED BY COORDINATES.
- ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.
- AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- AT THE TIME OF THIS SURVEY, THERE WERE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
- AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THAT THIS SURVEY IS OF AN EXISTING PROPERTY AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN D.B. 10924, PG. 1312 AND B.M. 2017, PG. 1996 WAKE COUNTY, NORTH CAROLINA RECORDS); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DASHED LINES AND ARE DRAWN FROM INFORMATION IN OTHER REFERENCE SOURCES (B.M. 2004, PG. 820 WAKE COUNTY, NORTH CAROLINA RECORDS); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:19,318.40; AND THAT THIS MAP MEETS THE REQUIREMENTS OF A CLASS A SURVEY PER THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).

AND I CERTIFY FURTHER THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE VERTICAL ACCURACY MEETS AND EXCEEDS THE VERTICAL ACCURACY REQUIREMENTS OF THE NATIONAL MAP ACCURACY STANDARDS AND THAT THE ORIGINAL DATA WAS OBTAINED ON APRIL 22, 2019; THAT THE SURVEY WAS COMPLETED ON APRIL 29, 2019; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NC GRID NAD 83 (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

THIS 29TH DAY OF APRIL, 2019

SIGNED: _____
RODNEY E. ABNEY, JR.
NORTH CAROLINA REG. NO. L-4510

Bechtler Greenfield Surveying, LLC.
1430 West Peachtree St. NW, Suite 225
Atlanta, Georgia 30309
Phone: (770) 222-8181
Fax: (770) 222-8181
Email: info@gsurveying.com

NO.	DATE	REVISIONS	DESCRIPTION
1			
2			
3			
4			

2,3490 ACRES
KNIGHTDALE BOULEVARD
KNIGHTDALE, NORTH CAROLINA 27545
ST. MATTHEWS TOWNSHIP - TOWN OF KNIGHTDALE
WAKE COUNTY - NORTH CAROLINA

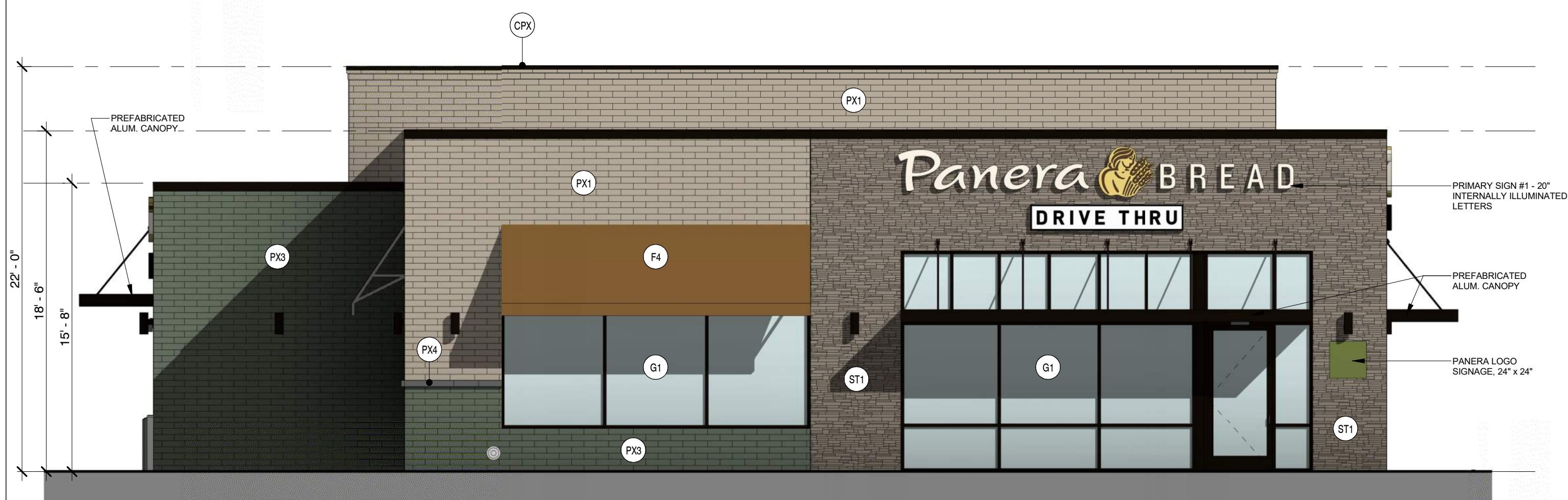
BOUNDARY & TOPOGRAPHIC SURVEY FOR
PANERA, LLC AND CHICAGO TITLE INSURANCE COMPANY

PROJECT NO.
19-124-0
DRAWING FILE:
19-124-0 Survey.dwg
SHEET NO.
S-1
1 OF 1

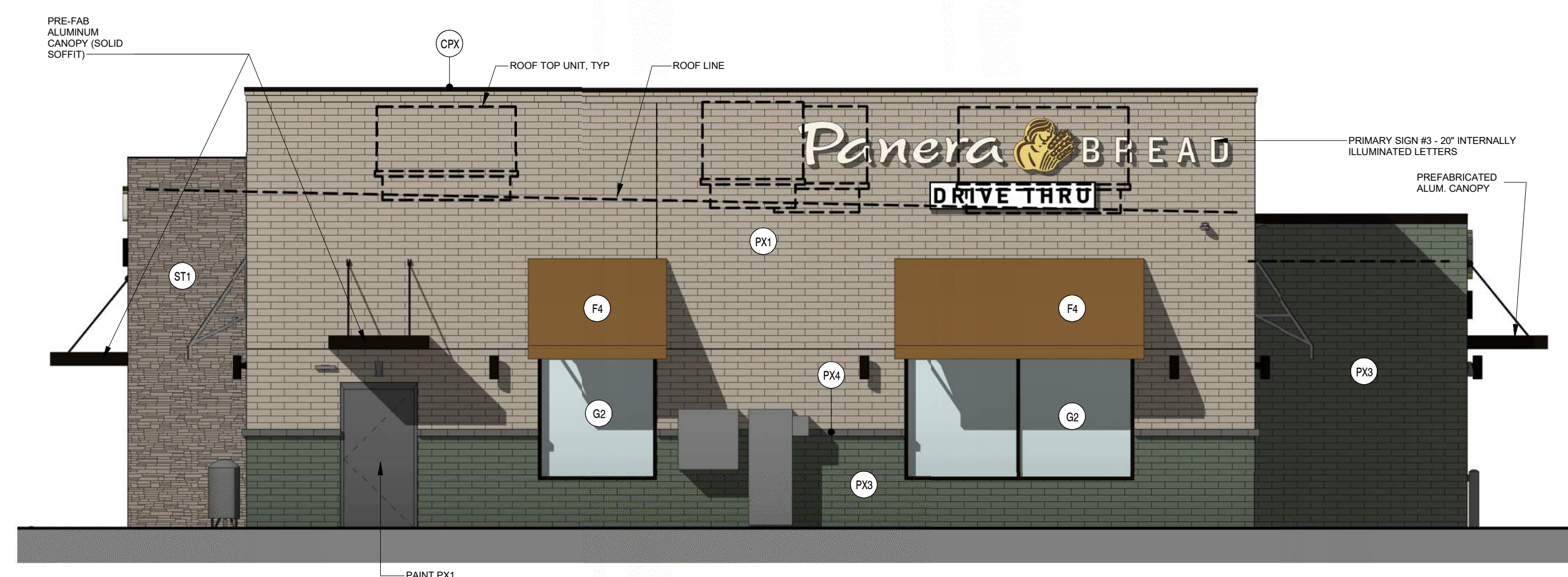
LEGEND

- EXISTING BUILDING
- LAND LOT LINE (LLL)
- PROPERTY LINE
- UTILITY POLE (UP), OVERHEAD LINES & GUY
- TREE LINE
- SANITARY SEWER MANHOLE (SSMH)
- FIBER OPTIC CABLE
- SANITARY CLEAN-OUT (SCO)
- SANITARY SEWER STUB OUT
- TELEPHONE MANHOLE/PEDestal
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WING CATCH BASIN
- SINGLE-WING CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SWALE
- EXISTING 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- WATER STUB OUT
- WATER METER
- GAS METER
- ELECTRIC METER
- WELL
- MONITORING WELL
- POST INDICATOR VALVE
- MAILBOX
- STREET SIGN
- ELECTRICAL STUB OUT
- UNKNOWN UTILITY STUB OUT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- FIRE DEPT. CONNECTION
- FIBER OPTIC BOX
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- DRAINAGE MANHOLE
- RIGHT-OF-WAY
- REBAR PIN FOUND
- OPEN TOP PIPE FOUND
- CRIMP TOP PIPE FOUND
- CONCRETE MONUMENT FOUND
- BRASS DISK FOUND
- AXLE FOUND
- REBAR PIN SET
- CORRUGATED METAL PIPE
- REINFORCED CONC. PIPE
- HIGH-DENSITY POLYETHYLENE PIPE
- DUCTILE IRON PIPE

NOTE: BUILDING SIGNAGE IS FOR ILLUSTRATIVE PURPOSES ONLY AND SIZES ARE NOT FINALIZED



1 E. ELEVATION
3/16" = 1'-0"



2 W. ELEVATION
3/16" = 1'-0"



3 N. ELEVATION
3/16" = 1'-0"



4 S. ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIALS:

- (PX1) QUIK BRICK, RUNNING BOND - PAINTED, COLOR: BENJAMIN MOORE #CC-70 'ROCKY ROAD' [P175]
- (PX2) EIFS, DRYVIT 'LYMESTONE' TEXTURE, PAINTED, COLOR: BENJAMIN MOORE #1545 'IRONGATE' [P168]
- (PX3) QUIK BRICK, RUNNING BOND - PAINTED, COLOR: #HC-125 'CUSHING GREEN, P163
- (PX4) QUIK BRICK, CANTED BRICK - PAINTED, COLOR: #HC-168 'KENDALL CHARCOAL, P165
- (PX5) QUIK BRICK, CANTED BRICK 4X4X16 - PAINTED, COLOR: #HC-115 'CRUSHING GREEN, P163
- (PX6) QUIK BRICK, RUNNING BOND 4X4X16 - PAINTED, COLOR: #HC-115 'CRUSHING GREEN, P163
- (PX7) QUIK BRICK, STACKED COURSE 4X4X16 - PAINTED, COLOR: #HC-115 'CRUSHING GREEN, P163
- (G1) ALUM. STOREFRONT, COLOR: DARK BRONZE, CLEAR GLAZING
- (G2) ALUM. STOREFRONT, COLOR: DARK BRONZE, SPANDREL GLAZING
- (F4) FABRIC AWNING, COLOR: 'TAN' FABRIC
- (CPX) COPING, PRE-FINISHED, COLOR: DARK BRONZE
- (ST1) ELDERADO STONE: STACKED STONE, COLOR: ALDERWOOD

Bakery-Cafe:

#6153

SYSTEM: G4 (ARIA / AVROKO)

Project Team:



Professional Seal:

Project Title:

Bakery Cafe #6153
6800 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545



Consultant Copyright Placeholder

No.	Description	Date

ELEVATIONS

Project Number: Sheet Number:

180958

Drawn By:

MH

Issue Date:

19-0416

DPM:

LEVI O.

DM:

DAN C.

CPM:

KEVIN C.

0106

6/5/2019 3:30:13 PM

PG 2015.01

6/5/2019 2:46:08 PM



1 EXTERIOR PERSPECTIVE 1



2 EXTERIOR PERSPECTIVE 2



3 EXTERIOR PERSPECTIVE 3



4 EXTERIOR PERSPECTIVE 4



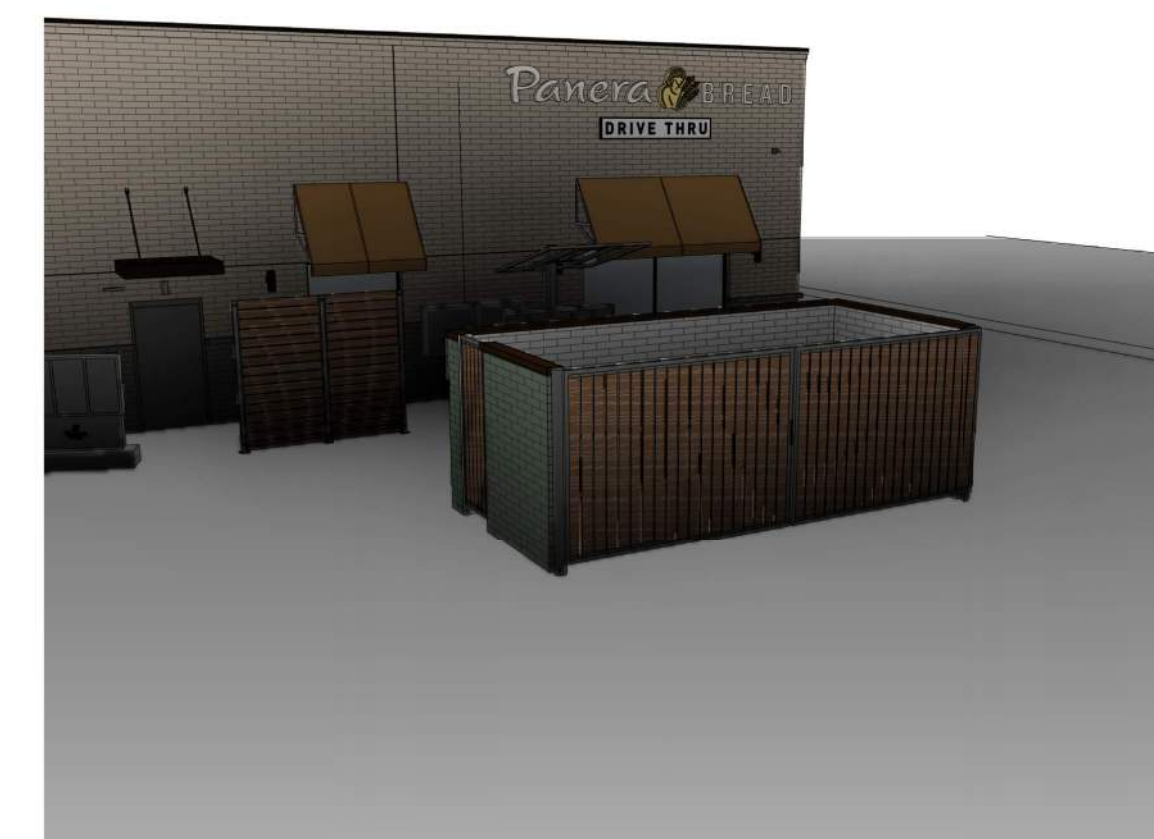
5 3D View 5



6 3D View 6



7 3D View 7



8 3D View 8

PG 2015.01

Bakery-Cafe:

#6153

SYSTEM: G4 (ARIA / AVROKO)

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Professional Seal:

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Bakery Cafe #6153
6800 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545



Consultant Copyright Placeholder

No.	Description	Date

EXTERIOR PERSPECTIVES

Project Number: Sheet Number:

180958

Drawn By:

Author:

Issue Date:

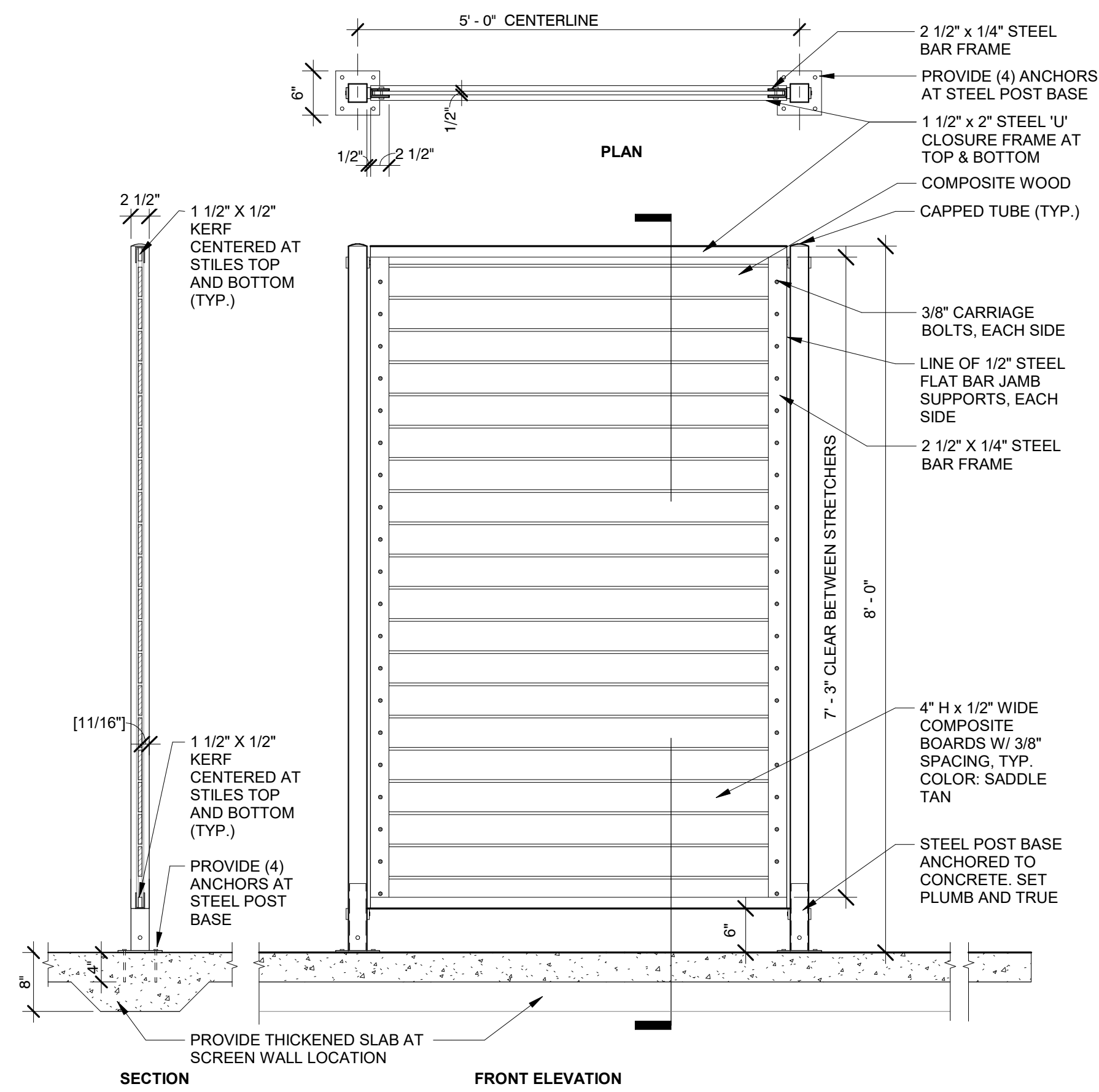
19-0416

DPM: DM: CPM:

LEVI O. DAN C. KEVIN C.

0107

6/5/2019 2:46:12 PM



6 TREX SCREEN DETAIL
3/4" = 1'-0"

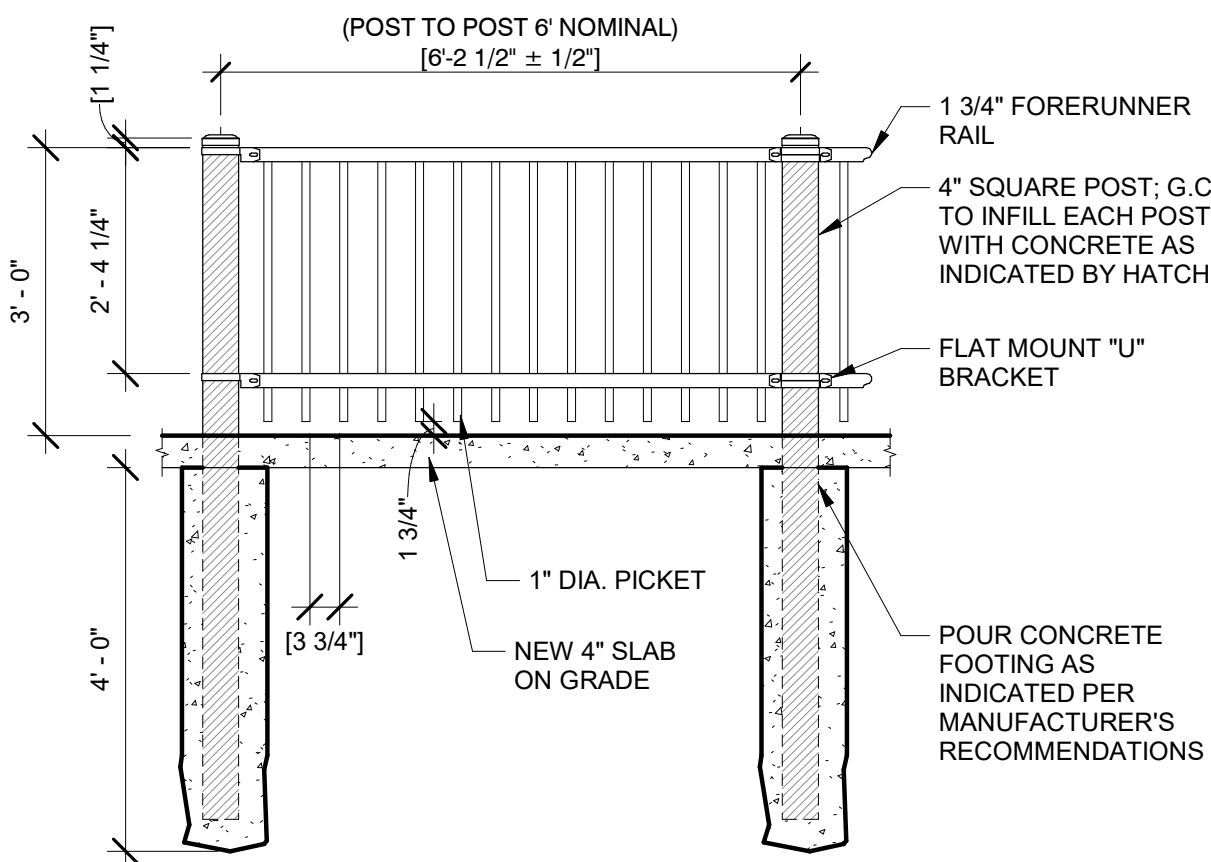
SPECIFICATIONS:
AMERISTAR FENCING
ECHOLON II PANEL MAJESTIC 2R EXT 4" GAP 3H 6W
1-888-333-3422

****NOTE:** WHEN USING SWIVEL BRACKETS ON EITHER OR BOTH ENDS OF A PANEL INSTALLATION, CARE MUST BE TAKEN TO ENSURE THE SPACING BETWEEN POST AND ADJOINING PICKETS MEETS APPLICABLE CODES. THIS MAY REQUIRE TRIMMING ONE OR BOTH ENDS OF THE PANEL AS NEEDED.

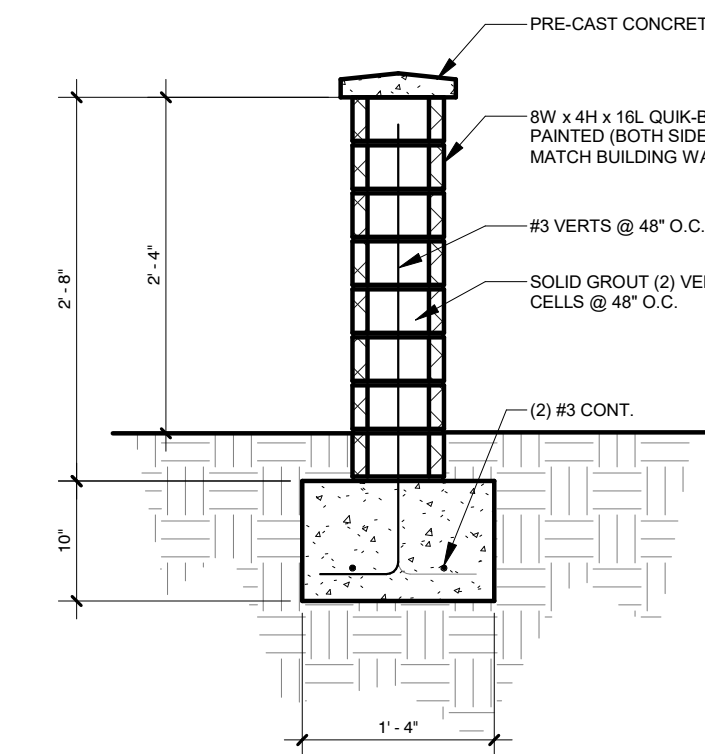
POST NOTE: IN LOCATIONS SUBJECT TO FREEZING, WHERE POSTS ARE GROUNDED INTO CORE-DRILLED HOLES, A 1/4" DIAMETER HOLE SHOULD BE DRILLED IN THE POST APPROXIMATELY 1/2" ABOVE ELEVATION TO ALLOW FOR DRAINAGE OF BUILT-UP GROUND WATER. THE DRILLED HOLE MUST BE WIPED CLEAN AND DRY AND SPRAYED WITH AMERISTAR ZINC RICH PRIMER AND AMERISTAR COLOR MATCH FINISH.

FROST LINE: FOOTER DEPTH SHOWN IS MINIMUM RECOMMENDATION. IN SOME CASES LOCAL RESTRICTIONS OF FREEZING WEATHER CONDITIONS MAY REQUIRE A GREATER DEPTH.

***PANEL RAKING:** DRAWING SHOWS FENCE PANEL AT LEVEL GROUND ELEVATION. FOR INSTALLATIONS THAT MUST BE RAKED TO FOLLOW SLOPING GRADES, THE POST SPACING DIMENSION SHOWN MUST BE MEASURED ALONG THE GRADE.



7 INTEGRATED BOLLARD RAILING
1/2" = 1'-0"



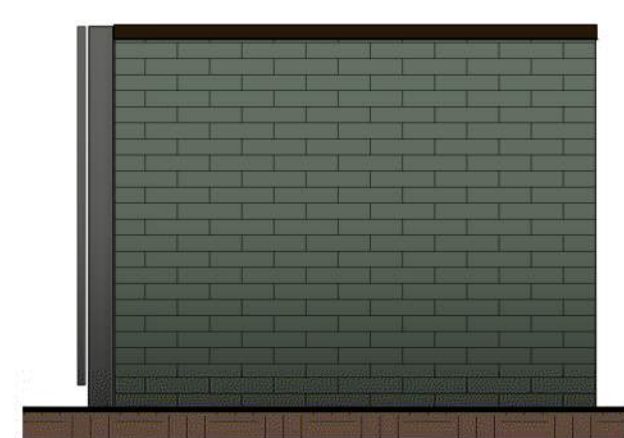
8 Screen Wall - Site
3/4" = 1'-0"



1 ENCLOSURE - FRONT
1/4" = 1'-0"



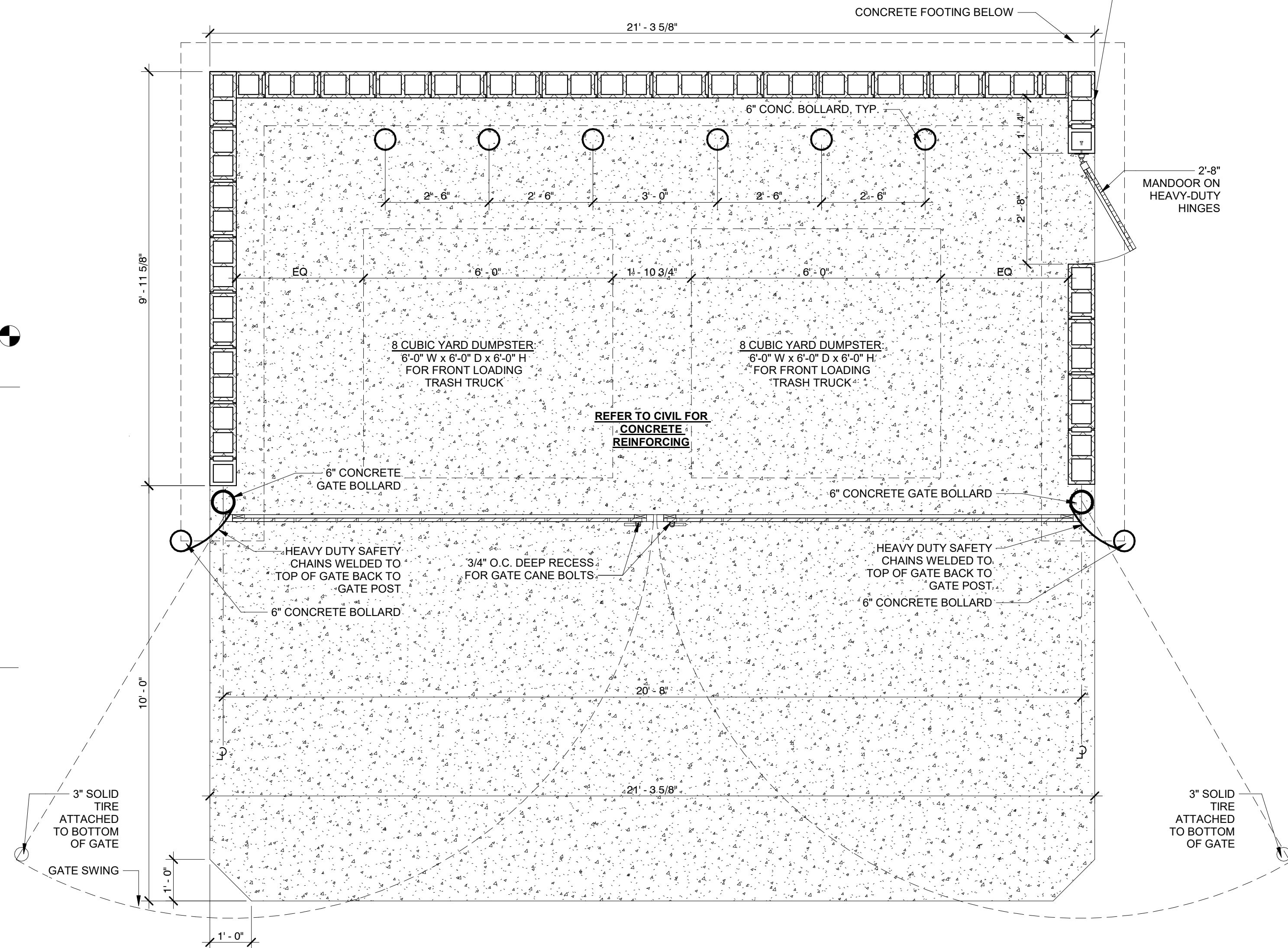
2 ENCLOSURE - MAN DOOR SIDE
1/4" = 1'-0"



3 ENCLOSURE - SIDE
1/4" = 1'-0"



4 ENCLOSURE - REAR
1/4" = 1'-0"



5 TRASH ENCLOSURE - PLAN VIEW
1/2" = 1'-0"

Bakery-Cafe:

#6153

SYSTEM: G4 (ARIA / AVROKO)

Project Team:



Professional Seal:

Project Title:

Bakery Cafe #6153
6800 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545



Consultant Copyright Placeholder

No.	Description	Date

SITE DETAILS

Project Number: Sheet Number:

180958

Drawn By:

Author:

Issue Date:

19-0416

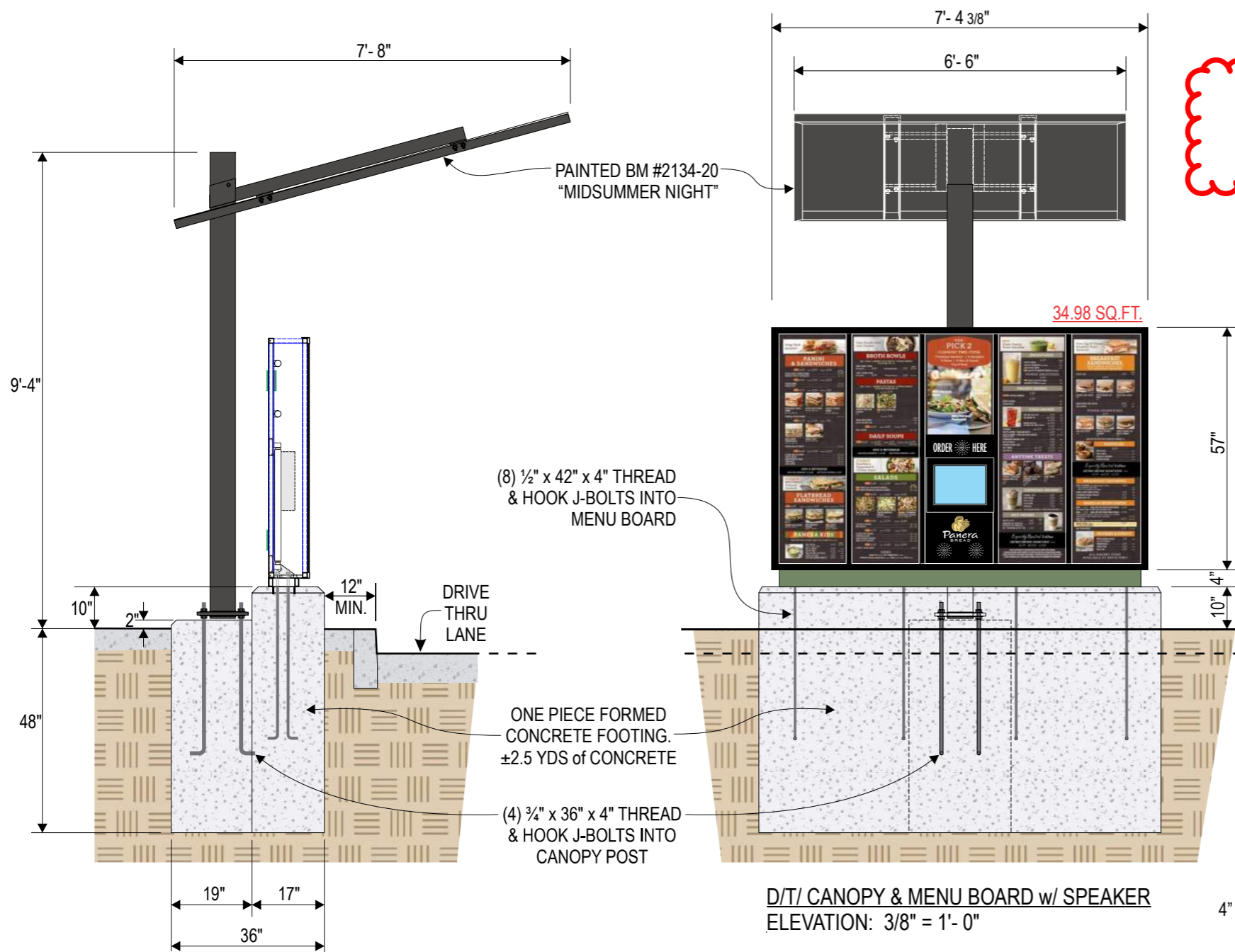
DPM: DM: CPM:

LEVI O. DAN C. KEVIN C.

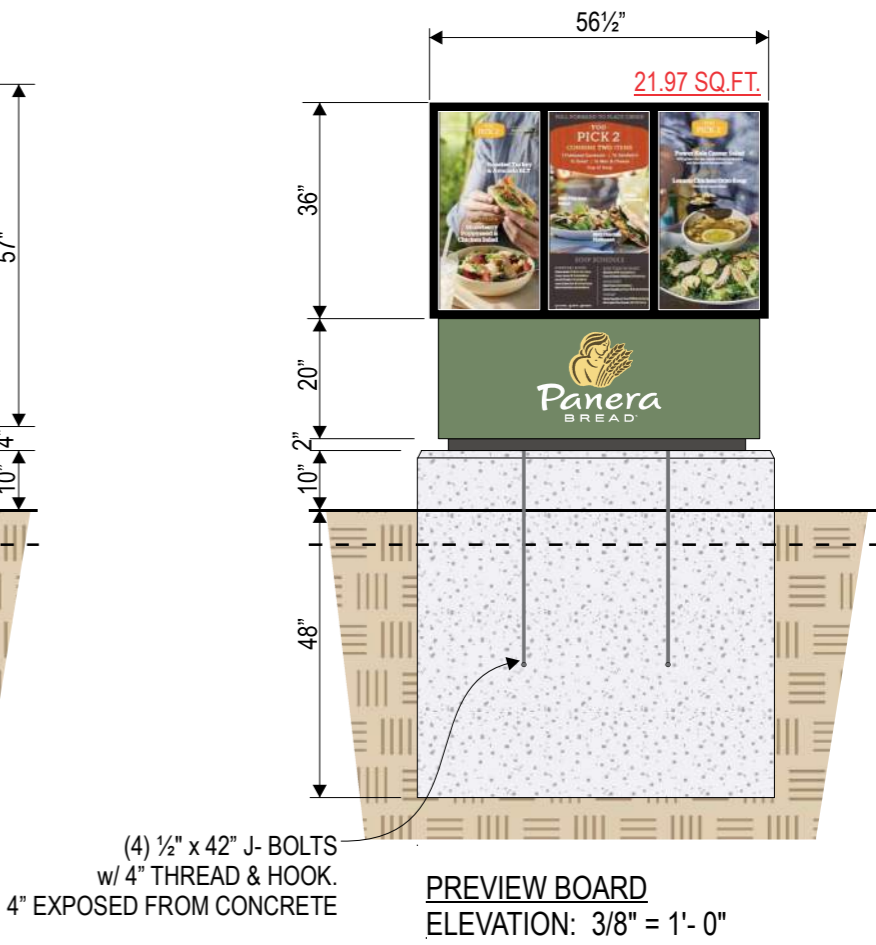
0108

PG 2015.01

PLEASE NOTE THAT THE SIGNAGE ILLUSTRATED ON THIS SHEET AND FOLLOWING SHEETS ARE FOR ILLUSTRATIVE PURPOSES AND SIZES ARE NOT FINALIZED.

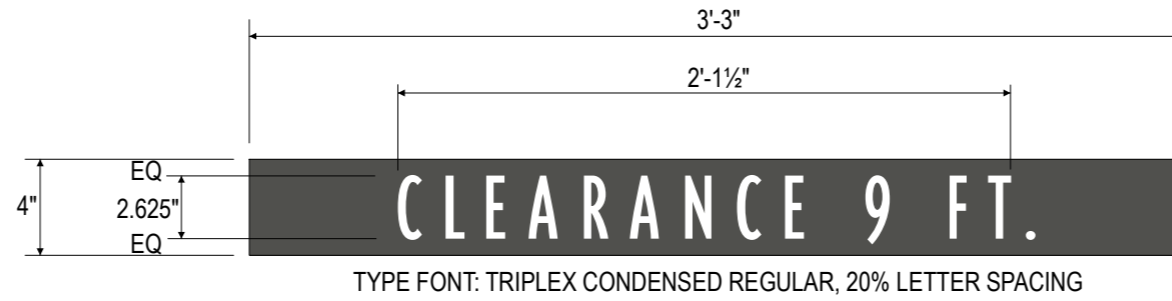


DRIVE-THRU CANOPY & MENU BOARD W/ SPEAKER BOX
SECTION VIEW: 3/8" = 1'- 0"

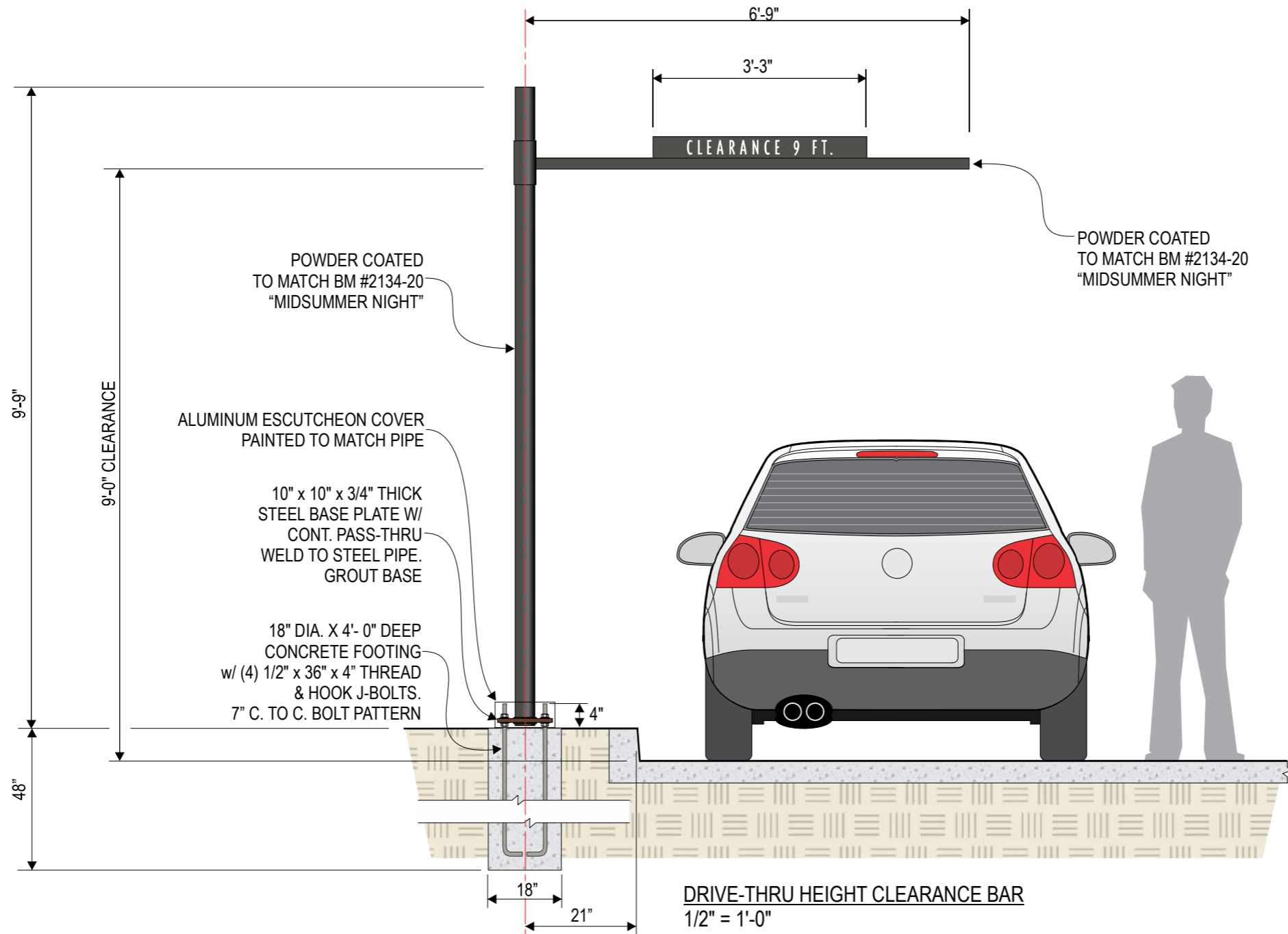


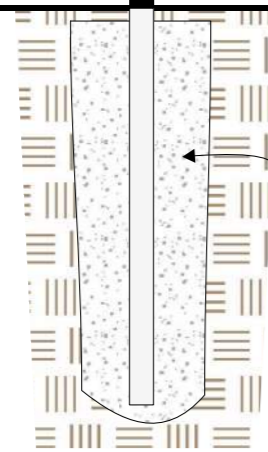
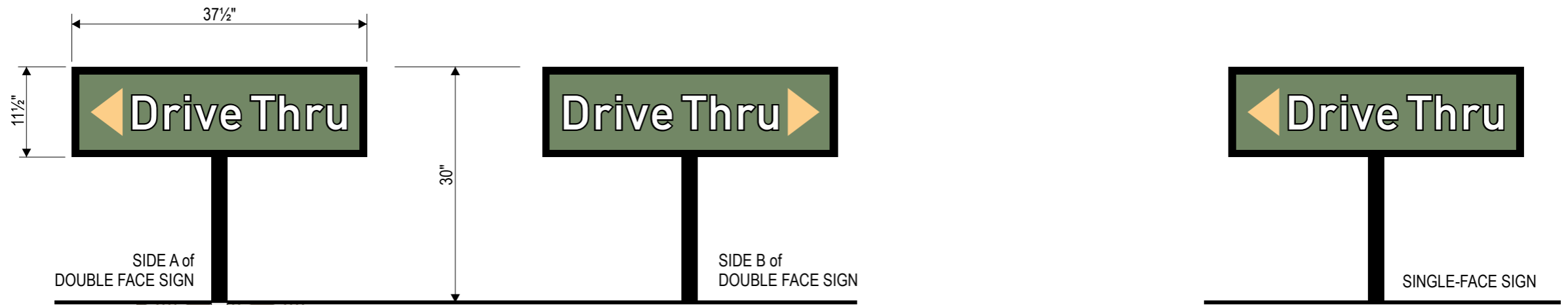
D/T/ CANOPY & MENU BOARD w/ SPEAKER
ELEVATION: 3/8" = 1'- 0"

PREVIEW BOARD
ELEVATION: 3/8" = 1'- 0"



CLEARANCE BAR SIGN
 1½" = 1'-0"





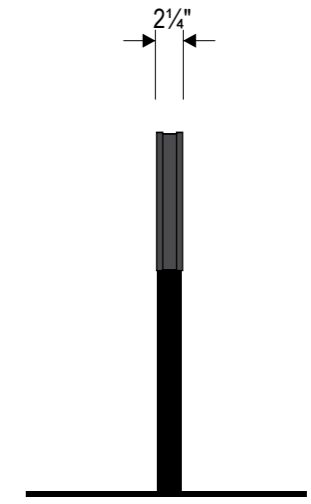
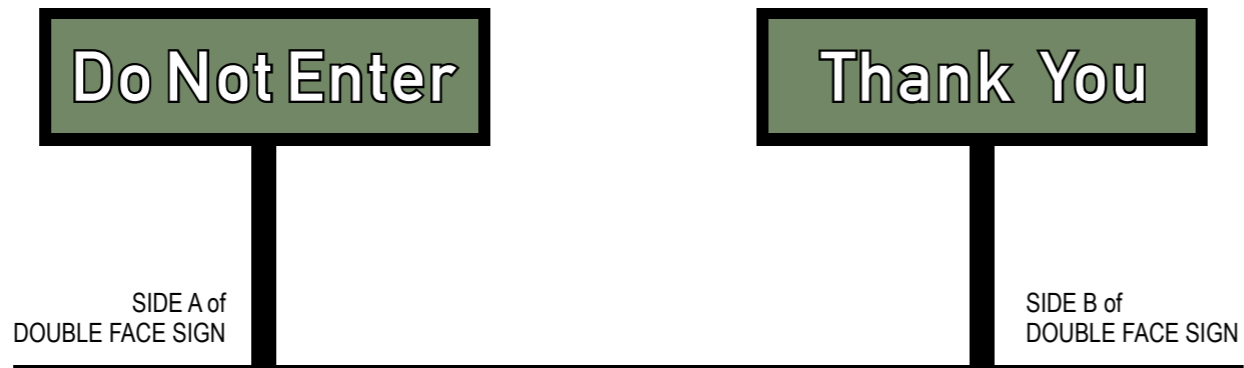
DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING

DIRECTIONAL SIGNS
3/4" = 1'- 0"

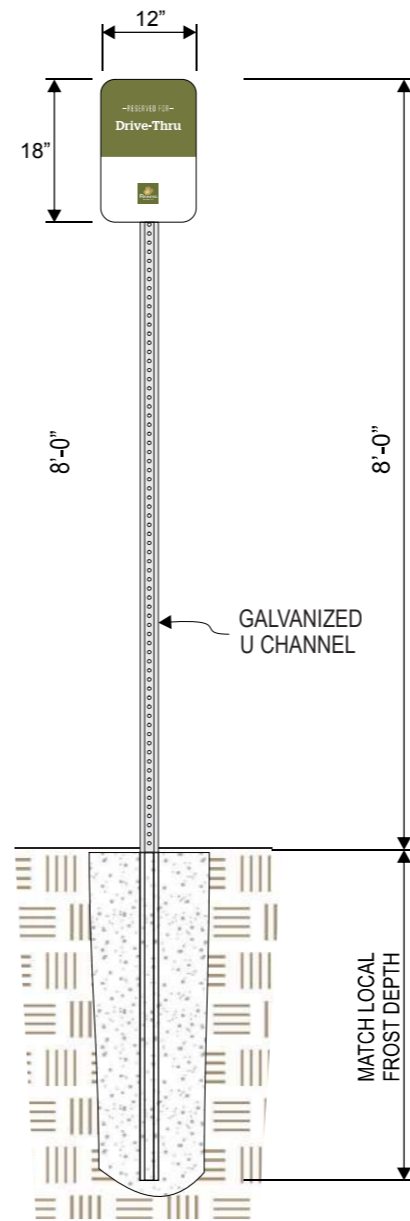
Sign Area = 2.99 sq.ft. each

NON ILLUMINATED DIRECTIONAL SIGNS:

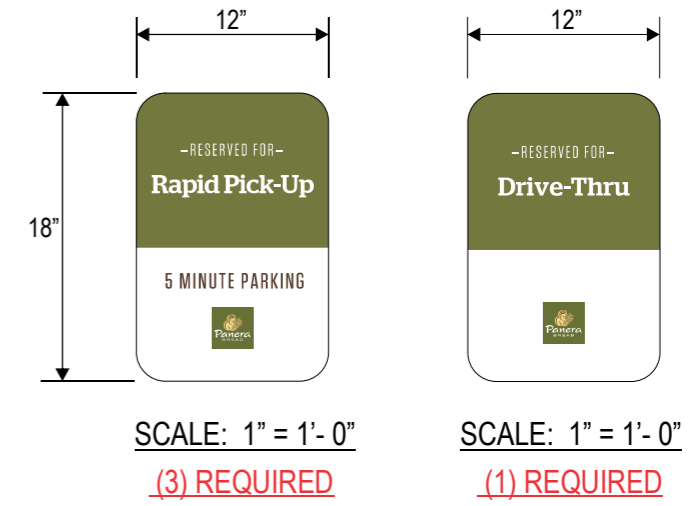
- 2" DEEP ALUM. PANEL CONSTRUCTION PAINTED BLACK
- .090 ALUMINUM FACES
- PMS 5753C OPAQUE GREEN FIELD/BACKGROUND
- DIGITALLY PRINTED GRAPHICS ON REFLECTIVE PSV (VINYL)
- COLORS AS SHOWN: BLACK, WHITE & PMS 1355U PEACH IF REQUIRED.
- BACKS OF SINGLE FACED SIGNS PAINTED BLACK
- BLACK 2" x 2" x 1/4" WALL ALUM. SQ. TUBE POSTS
- DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING



END VIEW



SCALE: 1/2"=1'-0"
 (1) S/E SIGN REQUIRED



SCALE: 1" = 1'-0"

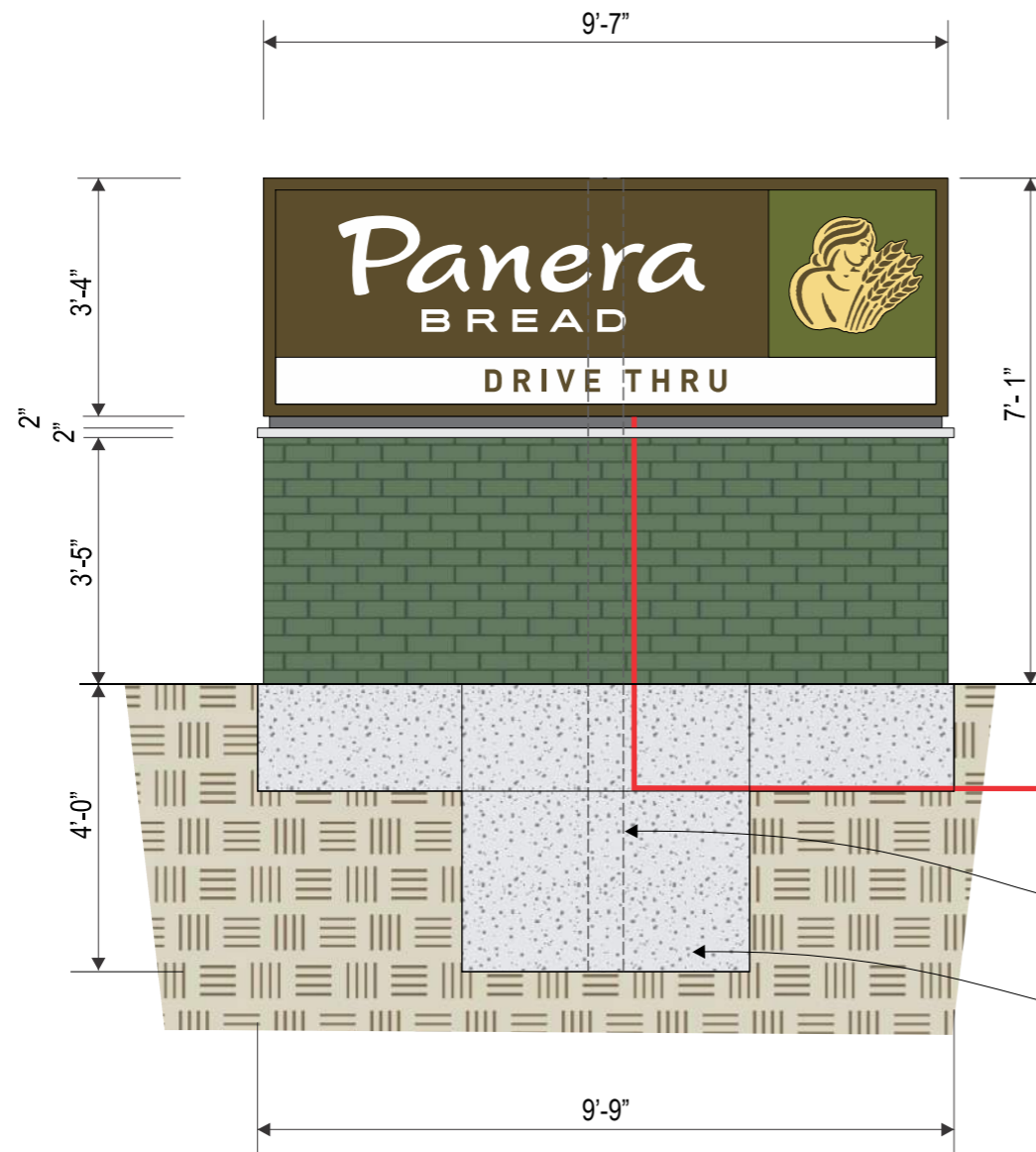
(3) REQUIRED

SCALE: 1" = 1'-0"

(1) REQUIRED

SINGLE-SIDED TRAFFIC CONTROL SIGNS:

- WHITE .080 ALUMINUM PANELS (DO NOT PRE-DRILL HOLES)
- REFLECTIVE, DIGITALLY PRINTED VINYL GRAPHICS WITH CLEAR OVERLAMINATE
- 10' HEAVY DUTY U-IRON SUPPORT POSTS
- FREE FORMED CONCRETE FOOTINGS



SCALE: 3/8"=1'-0"

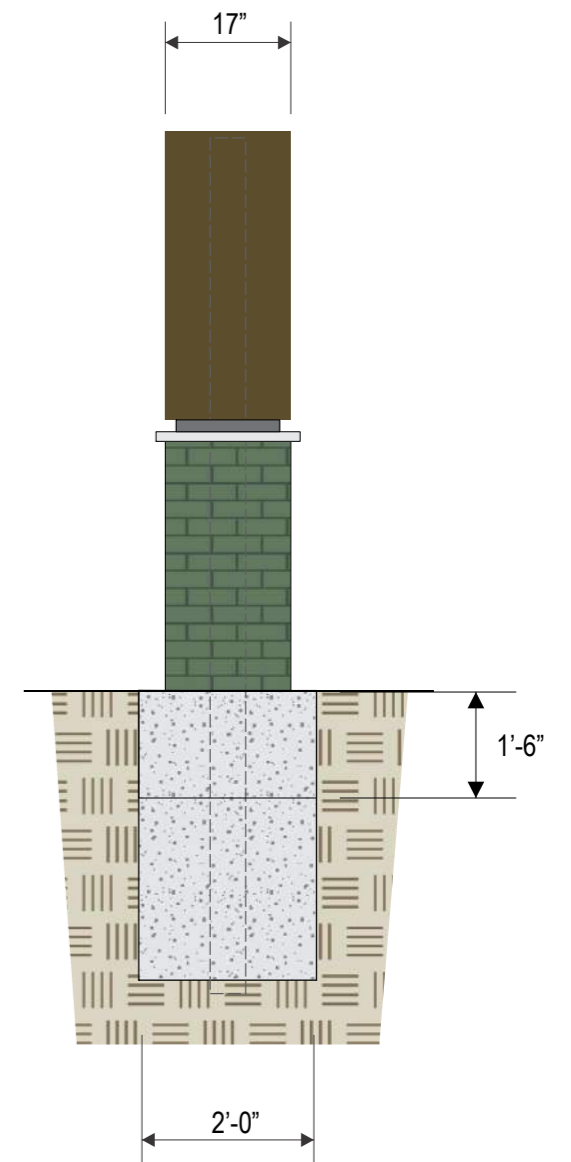
NEW D/F ILLUMINATED MONUMENT SIGN:

- (BLACK) PAINTED ALUMINUM FABRICATED SIGN CABINET & RETAINERS PAINTED PANTONE 476 CP
- CLEAR POLYCARBONATE FACES
- DIGITALLY PRINTED GRAPHICS: COLORS AS SHOWN
- WHITE L.E.D. ILLUMINATION
- BRICK BASE BY G.C. TO MATCH BUILDING
- CONCRETE FOOTING & STEEL PIPE BY SIGN INSTALLER

120 VOLT ELECTRICAL SWEEP

5" x .258 WALL STEEL PIPE

CONCRETE FOOTING



PANTONE 5757 CP
CMYK: 34 / 12 / 91 / 54
RGB: 110 / 116 / 47
HEX: 6E742F



PANTONE 7403 CP
CMYK: 1 / 11 / 53 / 2
RGB: 237 / 210 / 124
HEX: EDD27C



PANTONE 476 CP
CMYK: 30 / 71 / 75 / 81
RGB: 84 / 60 / 46
HEX: 543C2E