

Overall Site Data - 01.29.2021 (updated xx.xx.20	021)	F	Project: The	Lot	fts at Knighto	ale Station
Site Address	021)	- 1	Tojoot. The		7630 Kn	ightdale Blvd
Tax Parcel Number (PIN)						754-65-5899
Deed Book					DB 00813	9. PG 00672
Alluvial soil						Cn
FEMA Map Panel #						1754
Watershed					Lower	Neuse River
Zoning (Reference: ZMA-1-20)						NMX-PUD
Tract area			322,179	SF	7.4	AC
Less Right of way dedication (Proposed Public St	reet)		-68,141		-1.6	AC
Gross Site Acreage	,		254,038	SF	5.8	AC
Phase	,		<u> </u>		1	Phase
Public Infrastructure Summary						
Current land use					Vacant/	Undeveloped
Proposed land use		_	Mixed Use (Apa	artment, Office	, and Retail)
Apartment	Studio		1 BR		2 BR	DU
Building #1	14		52		61	127
Building #2	0		20		48	68
Total	14		72		109	195
Commercial						
Office					6,388	SF
Retail					6,388	SF
Total					12,776	SF
Gross Square Footage						
Building #1					251,806	SF
Building #2					141,464	SF
Office/Retail Building					12,776	SF
Total					406,046	SF
Proposed FAR	406,046	1	254,038	=	159.8	%
Buildiong Lot Coverage						
Existing building lot coverage	0	1	254,038.00	=	0.0	%
Proposed building lot coverage	73,248	1	254,038.00	=	28.8	%
Proposed Density	195	1	5.83	=	33.4	DU/AC
Building height						
Maximum height allowed					4	Story
Proposed height						
Building #1					4	Story
Building #2						Story
Office/Retail Building					2	Story

Building Setbacks			Open Space Calculation			
Side	Minimum	5 FT	Open Space Required (PUD)			
Rear	Minimum	10 FT	Total Open Space Required (SF)			34,444 SF
Front			Total Open Space Required (AC)			0.79 AC
Building #1	Maximum	105 FT	Min. Active Open Space Required (SF)	34,444 x	0.5 =	17,222 SF
Building #2	Maximum	10 FT	Min. Active Open Space Required (AC)			0.40 A0
Office/Retail Building	Maximum	105 FT	Open Space Provided			
Parking Setbacks			Active Open Space			
HWY 64/Knightdale Blvd	Minimum	20 FT	OS 2 - Pool Courtyard			15,807 SF
Adjacent to Non Residential Along Eeastern Prop. Line	Minimum	10 FT	OS 4 - Fitness Center			2,040 SF
Adjacent to Residential along Eastern Prop. Line			OS 5 - Garden			4,590 SF
Parking	Minimum	15 FT	OS 6 - Dog Park			<u>5,870</u> SF
Drive Aisle	Minimum	10 FT	Total Active Open Space Provided (SF)			28,307 SF
Landscape Buffer			Total Active Open Space Provided (AC)			0.65 AC
Adjacent to UR-12 Along Eastern Prop. Line	Type A with	10 FT	Passive Open Space			
	6' Masonry Wall		OS 1 - US 64 Frontage			5,006 SF
Parking Screening Buffer			OS 3 - Sky Lounge			736 SF
Knightdale Station Run	Type A	10 FT	OS 7 - Park Plaza			2,768 SF
Proposed Public Mixed Use Street	Evergreen Shubs	3 FT	Total Passive Open Space Provided (SF)			8,510 SF
HWY 68/Knightdale Blvd	Type B	20 FT	Total Passive Open Space Provided (AC)			0.20 AC
Parking Sceening will be consistent with Proposed Fi			Total Open Space Provided (SF)			36,817 SF
Motorized Vehicle Parking			Total Open Space Provided (AC)			0.85 AC
Required parking		316 SP	Tree Cover			
Parking provided		510 SF	Tree Cover Required			
Surface space on site		239 SP	Tree Cover Required (AC)			0.38 A0
Surface space on street *		62 SP	Tree Cover Required (%)			6.52 %
Garage		14 SF	Tree Cover Provided			
Total spaces provided		<u>14</u> SF 315 SP	Landscape Buffers			0.31 AC
*Public space parking spaces loss due to Duke Ease	ment	313 <u>3P</u>				0.07 AC
HC parking space provided		15 SP	Tree Cover Provided (AC)			0.38 AC
· · · · · ·		10 5P	Tree Cover Provided (%)			6.52 %
Required bicycle parking	ME / 00.0	45.0.00				
	315 / 20.0 =	15.8 SP				
Total bike parking provided		16 SP				
mpervious Area						I
Existing impervious area		0 SF	1			
Existing impervious area lot coverage		0.00 %				
Proposed Impervious area		247,254 SF				
Proposed impervious area lot coverage		76.74 %				
Public Infrastructure Summary						
Proposed road in LF		1,004 LF				
Proposed sidewalk in LF		1,872 LF]			
Proposed curb in LF		2,286 LF]			
Proposed water in LF		839 LF	1			
Proposed sewer in LF		837 LF	1			
Proposed storm drainage in LF		1,010 LF	1			

Notes

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS.
- 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 3. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 4. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 5. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 6. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, CONTACT THE TOWN OF KNIGHTDALE.
- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY BOHLER ENGINEERING NC, PLLC IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER 2019, AND OCTORBER, 2020. SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN OCTOBER 2019.
- WITHIN THE SIGHT TRIANGLES, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR 18. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER CURRENT ADA STANDARDS. PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- 9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.

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COVER	L1.1	SITE DETAILS	LS3.5	UTILITY DETAILS	C-502
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Project Team

OWNER Brown Investment Properties 440 West Market Street Greensboro, NC 27401 336.379.8771 336.274.9305 (fax) chetbrown@bipinc.com

DEVELOPER Brown Investment Properties 440 West Market Street Greensboro, NC 27401 336.379.8771 336.274.9305 (fax) chetbrown@bipinc.com

10. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.

- EQUIPMENT PLACED ON ROOF DOES NOT NEED TO BE SCREENED BY LANDSCAPING.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- 17. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- 19. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- 20. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT PROWAG STANDARDS AND ADAAG SPECIFICATIONS

LANDSC JDavis A 510 S. Wilm Raleigh, No 919.835.150 919.835.15 kent@jd

Reference: ZMA-1-20

for Site Development Approval

1st Submittal: 01.29.2021

The Lofts at Knightdale Station

Knightdale, North Carolina 27545

WATER ALLOCATION POLICY					
BASE	POINTS				
MIXED USE DEVELOPMENT (GREENFIELD)	50				
BONUS	POINTS				
SECTION 2B - PARKING LOTS AND STORMWATER BMP'S: PROVISIONS OF ON-STREET PUBLIC PARKING (1 POINT PER STALL UP TO 4 MAX)	4				
SECTION 4B - POOL: RESORT STYLE POOL	2				
SECTION 4C - OUTDOOR DECK/PATIO: DECK/PATIO - MORE THAN 2000 SF	2				
SECTION 4E - CLUBHOUSE: MEETING SPACE WITHOUT KITCHEN MORE THAN 3500 SQUARE FEET	8				
TOTAL POINTS:	66				

21. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS. PROJECT NOTES:

11. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.

10. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL. HVAC AND OTHER

15. ALL HVAC EQUIPMENTS OF THIS PROJECT TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS.

16. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT

- 1. FINAL SITE/LANDSCAPE DESIGN WITHIN/AROUND DUKE ENERGY EASEMENT TO BE APPROVED BY DUKE ENERGY. 2. FINAL STREET TREE PLANTINGS ALONG U.S. HIGHWAY/KNIGHTDALE BOULEVARD TO BE APPROVED BY NCDOT.
- 3. ALL STAIRWELLS ARE INTERNAL.

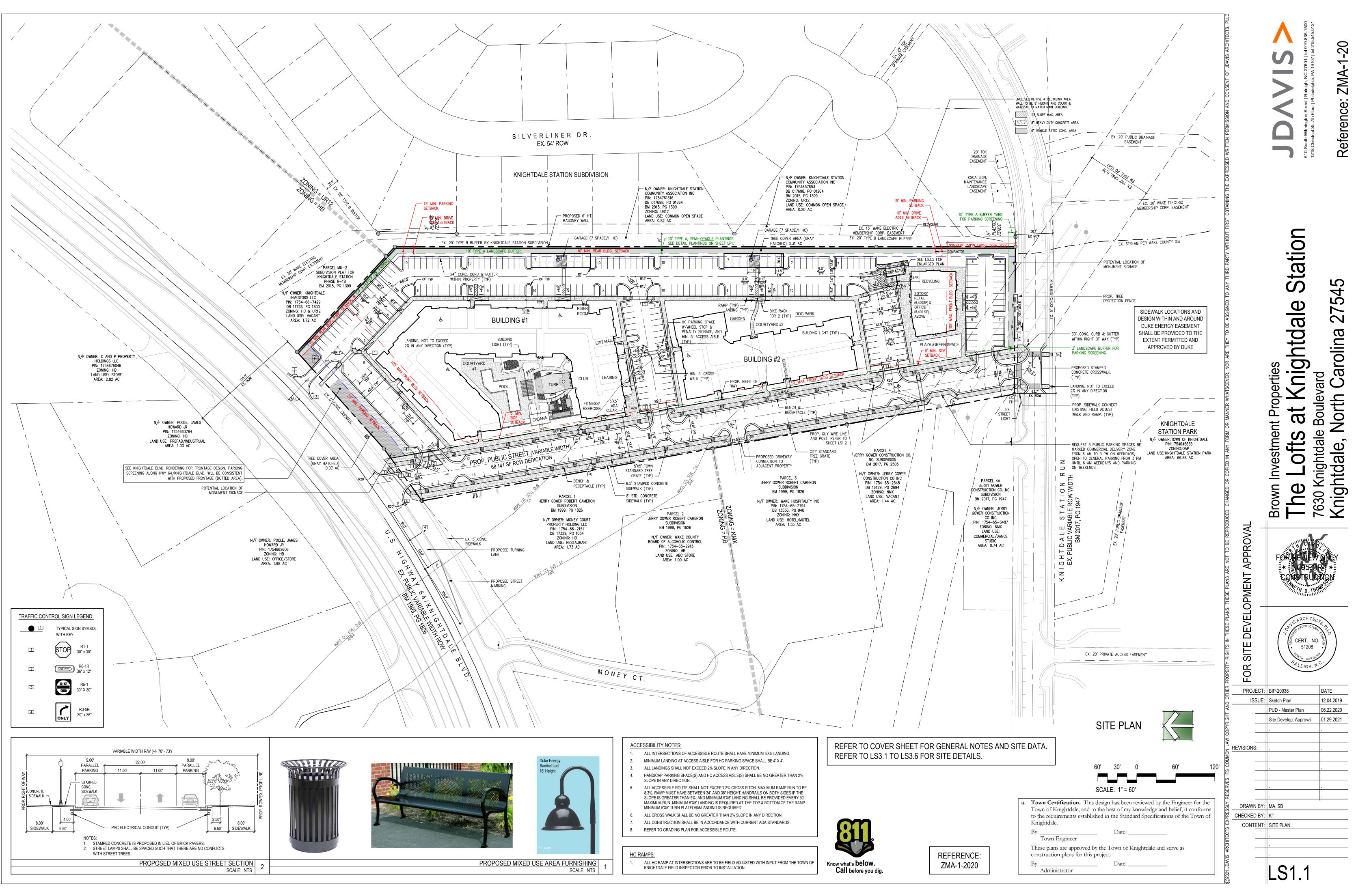
ADDITIONAL USE STANDARDS FOR MULTIFAMILY DWELLINGS (UDO § 3.3.U) THE DEVELOPMENT SHALL MEET THE FOLLOWING STANDARDS.

U. DWELLING- MULTIFAMILY - 4 UNIT/BLDG. OR LESS & DWELLING - MULTIFAMILY MORE THAN 4 UNITS/BLDG. (UR*, RMX*, TC*, MHD*, TND*, & PUD*) MUST BE LOCATED IN A GROWTH ACTIVITY CENTER OR PRIORITY INVESTMENT AREA AROUND ACTIVITY CENTERS AS D `DESIGNATED IN THE KNIGHTDALENEXT 2035 COMPREHENSIVE PLAN.

2. MUST CONTAIN A MIXTURE OF USES, INCLUDING BUT NOT LIMITED TO OFFICE, RETAIL, OR SERVICES WITH RETAIL AND SERVICES ON THE GROUND LEVEL AND OFFICES AND RESIDENCES ABOVE.

Architects, PLLCJDavis Architects, PLLCBOHLER Engineering NC, PLLCImington Street510 S. Wilmington Street4130 Parklake Ave- Suite 130Iorth Carolina 27601Raleigh, North Carolina 27601Raleigh, NC 27612500919.835.1500919.578.9000510 (fax)919.835.1510 (fax)N/A (fax)			
	CAPE ARCHITECT Architects, PLLC ilmington Street North Carolina 27601 1500 1510 (fax) i davisarchitects.com	JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax)	BOHLER Engineering NC, PLLC 4130 Parklake Ave- Suite 130 Raleigh, NC 27612 919.578.9000 N/A (fax)

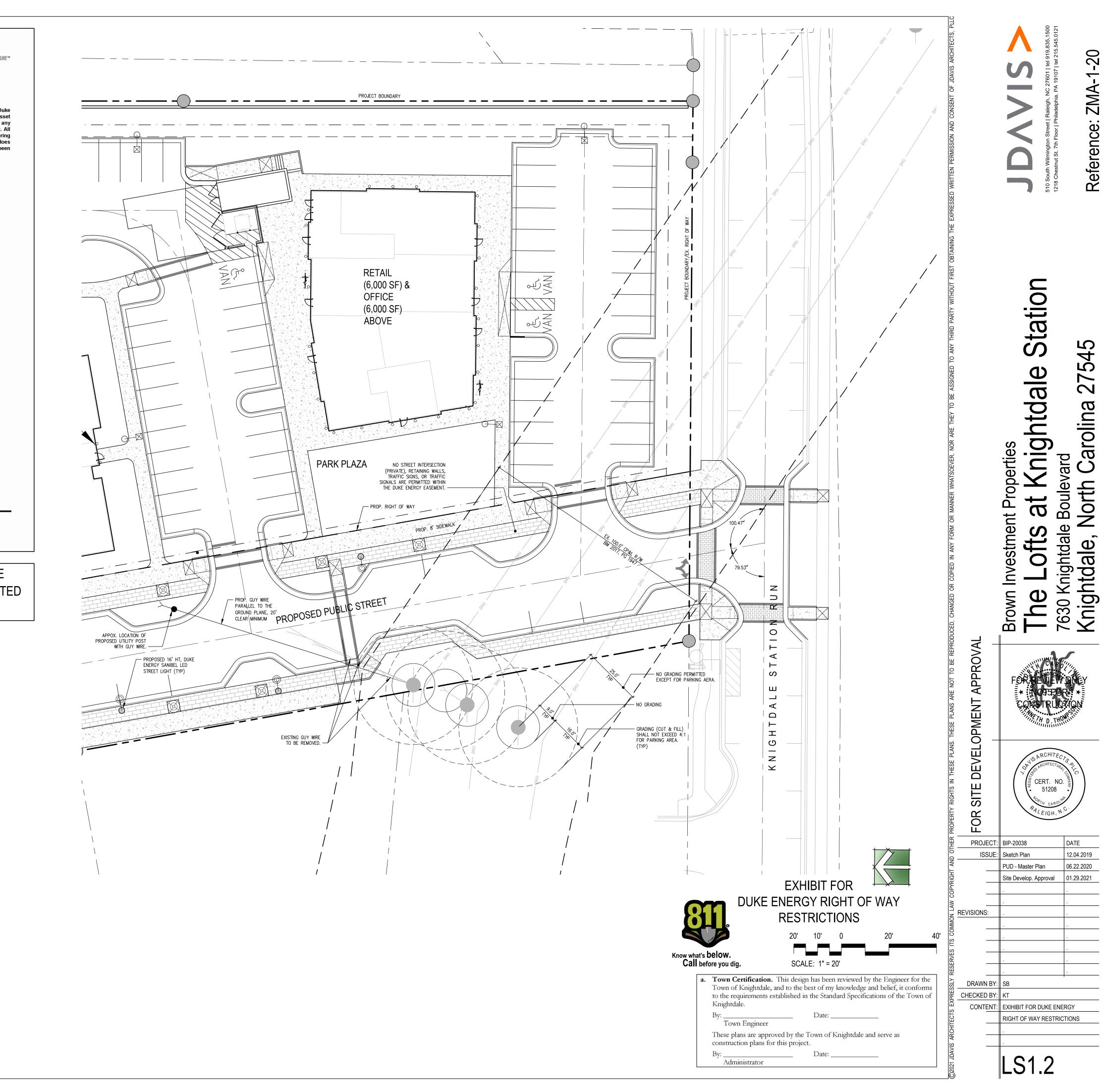
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 1. Town Approved Standards Shall Control. In the event of a conflict or inconsistency between these construction drawings and the Town of Knightale's Approved Standards shall control. Town of Knightale's Approved Standards shall mean all development documents necessary for approval for the Property including, but not limited to, any special use permit, subdivision plan, site plan, subdivision plat(s), plasing schedule, Development Agreement, Values and Kanadards and Specification and Details Manual and applicable provisions of the North Carolina State Building Code. 10. Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale. IPE, certify that the Standard Specifications of the applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightale and said exceptions are shown on Shref(s) of these drawings. Seal By: PE. 	Brown Investment Properties The Lofts at Knightdale Station 7630 Knightdale, North Carolina 27545
 THE ROOF OR ROOF STRUCTURES ARE FLAT, OR HAVE A COMBINATION OF ROOF TYPES WHICH GIVE A PREDOMINANTLY FLAT APPEARANCE. FIRE DEPARTMENT NOTES THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF HE BUILDING (NCFC 503.1.1). FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1). ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3. 	The second dependence of the second dependence
BUILDING ELEVATIONS A3.04 BUILDING ELEVATIONS A3.05	PROJECT: BIP-20038 DATE ISSUE: Sketch Plan 12.04.2019 PUD - Master Plan 06.22.2020 Site Develop. Approval 01.29.2021
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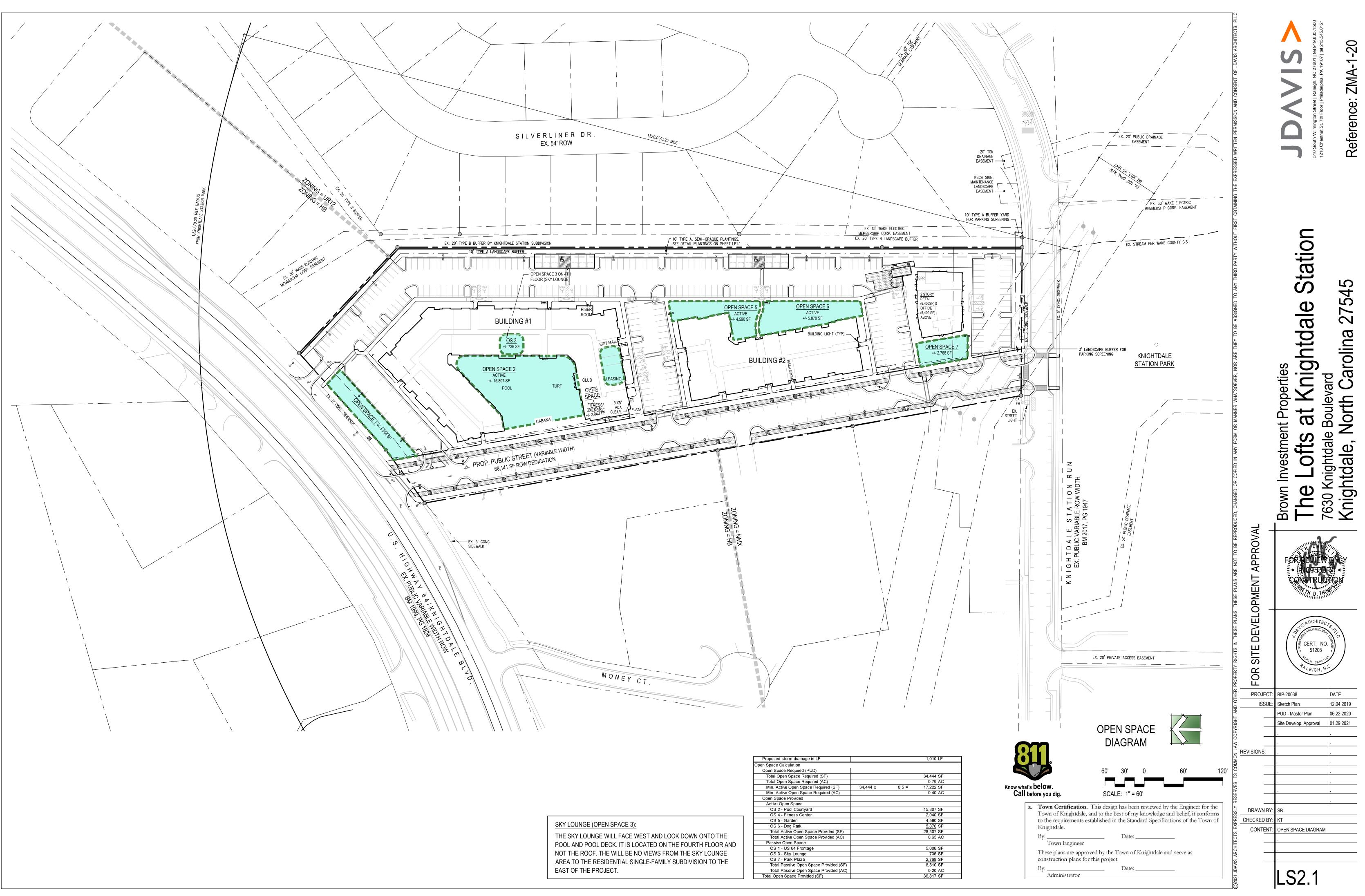


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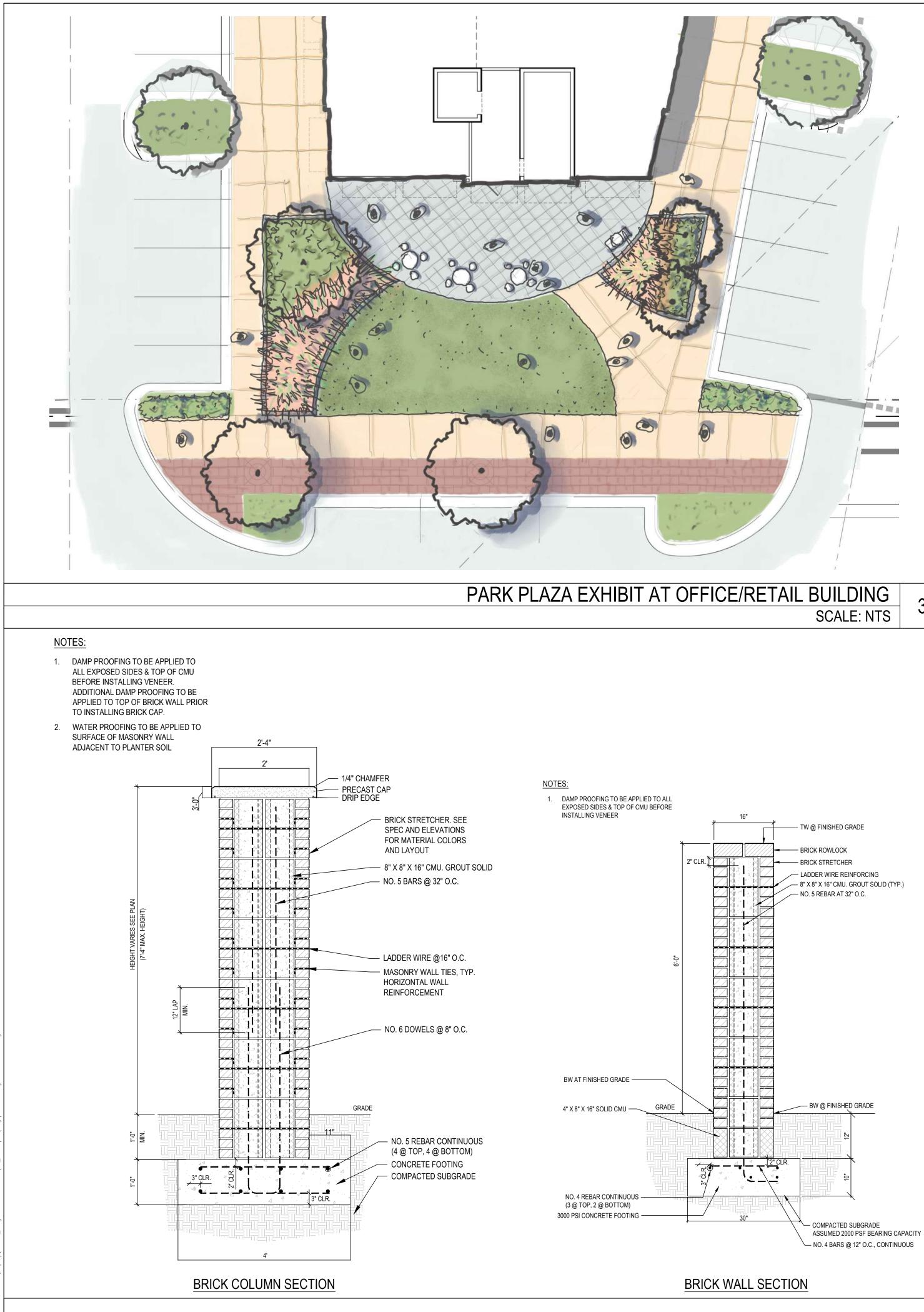
<section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header>	 This list of right-of-water Energy's electric transport of the second second	VALID FOR NORTH CAROLINA (Revised 11/2) restrictions has been developed to answer the mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way. This list does not cover all mission rights of way shall be reviewed by an Asset Protection Compliance with the Duke Energy Right-of-Way Gurements of any local, county, state or federal governation of a provide the difference of below ground), debris of any type, flammab objects (whether above or below ground) which in right of way are not allowed within the right-of-way (upment) and fire hydrants are not allowed. Mannuds are not permitted. Attachments to Duke Energy (ates shall not exceed 10 feet in height and shors. Fences shall not parallel the centerline within tool less than 30 degrees with the centerline. If a full be installed by the property owner, per Duke E energy lock on the gate to ensure access. Duke Er agraph 7) and the slope shall not exceed 4:1. quipment access or create ground-to-conductor c dirt or any other material is prohibited. Sedimental s, driveways, sewer/water lines, other utility lines in the right of way but may cross, from one side of portion of such facility or corresponding easement cul-de-sacs and intersections (such as roads, drive feature that allows water to pond, causes erosion, the Energy facilities is prohibited. Energy prior to the construction of lakes, ponds, revise a grading, concrete barriers shall be installed at construction, grading shall be no closer than 10 fermitted within the right of way, provided that:	AND SOUTH CAROLINA 0/2014) best frequently asked questions about property owner use of estrictions or all possible situations. You should contact the <i>A</i> erights of way. This list of restrictions is subject to change a the right-of-way agreement applicable to the subject propert ight-of-way specialist to obtain prior written approval. Engine delines/Restrictions or approval of any plans by Duke Energy nent or other applicable agency with governing authority have systems, swimming pools (any associated equipment er stands, retaining walls, septic systems or tanks e material, building material, wrecked or disabled vehicles Duke Energy's opinion interfere with the electric y limits. Transformers, telephone/cable pedestals (and les, water valves, water meters, backflow preventers and structures are prohibited. Il be installed greater than 25 feet from poles, towers the rights of way but may cross from one side to the other nec crosses the right of way, a gate (16 feet wide at each ergy will supply a lock. oles, towers, guys and anchors (except for parking Grading or filling near Duke Energy facilities which will earance violations will not be permitted. Storage or on control, including re-vegetation, is required per state or any underground facilities shall not parallel the o the other, at any angle not less than 30 degrees with the shall be located within 25 feet of Duke Energy's facilities. ways and alleyways) are not permitted. directs stormwater toward the right of way or limits access to ention or detention facilities, etc. a minimum of 9 feet from the Duke Energy facilities. to any Duke Energy facility.
 Energy's electric transmission rights of way. This list does not cover all restrictions or all possible structures. You should contact the protection right-of-way specialist if you have additional concernes about the rights of way. This list of restrictions is subject to change trime and without notice. Duke Energy reserves all rights conveyed to it by the right-of-way agreement applicable to the subject properties the requirements of any local, county, state or federal government or other applicable agency with governing authority have satisfied. 1. Structures, buildings, manufactured/mobile homes, satellite systems, swimming pools (any associated equipment and decking), graves, billboards, dumpsters, signs, wells, deer stands, retaining walls, septic systems or tanks (whether above or below ground), debris of any type, flammable material, building material, wrecked or disabled vehicles and all other objects (whether above or below ground) which in Duke Energy's opinion interfere with the electric transmission right of way are not allowed within the right-of-way limits. Transformers, telephone/cable pedestals (and associated equipment) and fire hydrexis are not allowed. Manholes, water values, water maters, backfow preventers and irrigation heads are not permitted. Attachments to Duke Energy's specifications. The property owner is required to installed by the property owner, per Duke Energy is specifications. The property owner is required to installed by the property owner, per Duke Energy is specifications. 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Storage or on control, including re-vegetation, is required per state or any underground facilities shall not parallel the o the other, at any angle not less than 30 degrees with the shall be located within 25 feet of Duke Energy's facilities. ways and alleyways) are not permitted. directs stormwater toward the right of way or limits access to ention or detention facilities, etc. a minimum of 9 feet from the Duke Energy facilities. t to any Duke Energy facility.
 and decking), gravés, billboards, dumpsters, signs, wells, deer stands, retaining valls, septic systems or tanks (whether above or below ground) which in Duke Energy's opinion interfere with the electric transmission right of way are not allowed within the right-of-way limits. Transformers, telephone/cable pedestals (and associated equipment) and fire hydrants are not allowed. Manholes, water valves, water meters, backflow preventers and irrigation heads are not permitted. Attachments to Duke Energy structures are prohibited. 2. Fences and gales shall not exceed 10 feet in height and shall be installed greater than 25 feet from poles, towers and guy anchors. Fences shall not parallel the centerline within the right of way a gate (16 feet wide at each crossing) shall be installed by the property owner, per Duke Energy's specifications. The property owner is required to install a Duke Energy lock on the slope shall not exceed 4.1. Grading or filling near Duke Energy as gate (16 feet wide at each crossing) shall be installed by the property owner, per Duke Energy's specifications. The property owner is required to install a Duke Energy as gate (16 feet form poles, towers, guys and anchors (except for parking areas; see paragraph 7) and the slope shall not exceed 4.1. Grading or filling near Duke Energy facilities which will prevent free equipment access or create ground-to-conductor clearance violations will not be permitted. Storage or stockpiling of dirt or any other material is prohibited. Seconductor clearance violations will not be parallel the centerline. Within the right of way are not specific or such as oads, driveways and alleways are not permitted. Streets, roads, driveways, sewer/water lines, otcue as croads, driveways and alleways are not permitted. Streets, roads, driveways, sewer/water lines, otcue as croads, driveways and alleways are not permitted. 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Fences shall not parallel the centerline within not less than 30 degrees with the centerline. If a fa I be installed by the property owner, per Duke E Energy lock on the gate to ensure access. Duke Er s or fill) shall be no closer than 25 feet from ragraph 7) and the slope shall not exceed 4:1. quipment access or create ground-to-conductor c dirt or any other material is prohibited. 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The property owner is required to ergy will supply a lock. oles, towers, guys and anchors (except for parking Grading or filling near Duke Energy facilities which will earance violations will not be permitted. Storage or on control, including re-vegetation, is required per state or any underground facilities shall not parallel the o the other, at any angle not less than 30 degrees with the shall be located within 25 feet of Duke Energy's facilities. ways and alleyways) are not permitted. directs stormwater toward the right of way or limits access to ention or detention facilities, etc. a minimum of 9 feet from the Duke Energy facilities. t to any Duke Energy facility.</th>	 and decking) (whether abo and all other transmission associated e irrigation hea 2. Fences and and guy anch at any angle crossing) sha install a Duk 3. Grading (cut areas; see pa prevent free of stockpiling of regulations. 4. Streets, road centerline wit centerline. Not Roundabouts 5. Any drainage or around Dut 6. Contact Duke 7. Parking may a. Prior During b. After vehict c. Any a less t entrar d. Lighti design height 8. Duke Energy a. They of 	graves, billboards, dumpsters, signs, wells, d re or below ground), debris of any type, flammab objects (whether above or below ground) which in right of way are not allowed within the right-of-way uppment) and fire hydrants are not allowed. Manh- ds are not permitted. Attachments to Duke Energy gates shall not exceed 10 feet in height and sh ors. Fences shall not parallel the centerline within not less than 30 degrees with the centerline. If a fa I be installed by the property owner, per Duke E Energy lock on the gate to ensure access. Duke Er s or fill) shall be no closer than 25 feet from ragraph 7) and the slope shall not exceed 4:1. quipment access or create ground-to-conductor c dirt or any other material is prohibited. Sedimentat s, driveways, sewer/water lines, other utility lines nin the right of way but may cross, from one side t portion of such facility or corresponding easement cul-de-sacs and intersections (such as roads, driv/ feature that allows water to pond, causes erosion, the Energy prior to the construction of lakes, ponds, re- te permitted within the right of way, provided that: o grading, concrete barriers shall be installed at construction, grading shall be no closer than 10 fer	er stands, retaining walls, septic systems or tanks e material, building material, wrecked or disabled vehicles Duke Energy's opinion interfere with the electric y limits. Transformers, telephone/cable pedestals (and les, water valves, water meters, backflow preventers and structures are prohibited. If be installed greater than 25 feet from poles, towers the rights of way but may cross from one side to the other nce crosses the right of way, a gate (16 feet wide at each ergy's specifications. The property owner is required to ergy will supply a lock. oles, towers, guys and anchors (except for parking Grading or filling near Duke Energy facilities which will earance violations will not be permitted. Storage or on control, including re-vegetation, is required per state or any underground facilities shall not parallel the o the other, at any angle not less than 30 degrees with the shall be located within 25 feet of Duke Energy's facilities. ways and alleyways) are not permitted. directs stormwater toward the right of way or limits access to ention or detention facilities, etc. a minimum of 9 feet from the Duke Energy facilities. t to any Duke Energy facility.
 at any angle not less than 30 degrees with the centerline. If a fence crosses the right of way, a gate (16 feet wide at each crossing) shall be installed by the property owner, per Duke Energy Vill supply a lock. 3. Grading (cuts or fill) shall be no closer than 26 feet from poles, towers, guys and anchors (except for parking areas; see paragraph 7) and the slope shall not exceed 41. Grading or filling near Duke Energy facilities which will prevent free equipment access or create ground-to-conductor clearance violations will not be permitted. Storage or stockpiling of dirt or any other material is prohibited. Sedimentation control, including re-vegetation, is required per state regulations. 4. Streets, roads, driveways, sewer/water lines, other utility lines or any underground facilities shall not parallel the centerline within the right of way but may cross, from one side to the other, at any angle not less than 30 degrees with the centerline. No portion of such facility or corresponding easement shall be located within 25 feet of Duke Energy's facilities. Roundabouts, cul-de-sacs and intersections (such as roads, driveways and alleyways) are not permitted. 5. Any drainage feature that allows water to pond, causes erosion, directs stormwater toward the right of way or limits access or around Duke Energy facilities is prohibited. 6. Contact Duke Energy prior to the construction of lakes, ponds, retention or detention facilities, etc. 7. Parking may be permitted within the right of way, provided that: a. Prior to grading, concrete barriers shall be installed at a minimum of 9 feet from the Duke Energy facilities. During construction, grading shall be no closer than 10 kegrees yfacility. b. After grading/paving activity is complete, a Duke Energy facility. c. Any access areas, entrances or exits shall cross (from no eside to the other) the right of way at any angle not less than 30 degrees with the centerline with access fore	at any angle crossing) sha install a Duk 3. Grading (cut areas; see pa prevent free stockpiling o regulations. 4. Streets, road centerline. Ne Roundabouts 5. Any drainage or around Du 6. Contact Duke 7. Parking may a. Prior During b. After vehice c. Any a less t entrar d. Lighti design heighti your A 8. Duke Energy a. They o	the value of the second state of the second st	nce crosses the right of way, a gate (16 feet wide at each ergy's specifications. The property owner is required to ergy will supply a lock. oles, towers, guys and anchors (except for parking Grading or filling near Duke Energy facilities which will earance violations will not be permitted. Storage or on control, including re-vegetation, is required per state or any underground facilities shall not parallel the o the other, at any angle not less than 30 degrees with the shall be located within 25 feet of Duke Energy's facilities. ways and alleyways) are not permitted. directs stormwater toward the right of way or limits access t ention or detention facilities, etc. a minimum of 9 feet from the Duke Energy facilities. t to any Duke Energy facility.
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e. Vegetation that is not in compliance is subject to removal without notice. f. Duke Energy may exercise the right to cut "danger trees" outside the right-of-way limits as required to properly maintain and operate the transmission line. We hope this is useful information. If you have additional questions or plan any activity not mentioned above, please contact the Asse	allowe not e> Protec c. For cc	will not object to certain vegetation plantings as lon o not interfere with the access to or the safe, reliable energy does not object to low-growing shrubs an d within the "Wire Zone." Trees that are approved ceed, at maturity, 15 feet in Area A and 12 feet in tion right-of-way specialist for "Wire Zone"/"Border npliant mature height species, refer to <u>plants.ces.n</u>	as: operation and maintenance of Duke Energy facilities. grasses within the "Wire Zone." Tree species <u>are not</u> n the "Border Zone" may Area B. See map on back of page for areas. Contact the Asse Zone" definitions. <u>su.edu/</u> for reference.
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			n any activity not mentioned above, please contact the Asse

SIDEWALK LOCATIONS AND DESIGN WITHIN AND AROUND DUKE ENERGY EASEMENT SHALL BE PROVIDED TO THE EXTENT PERMITTED AND APPROVED BY DUKE

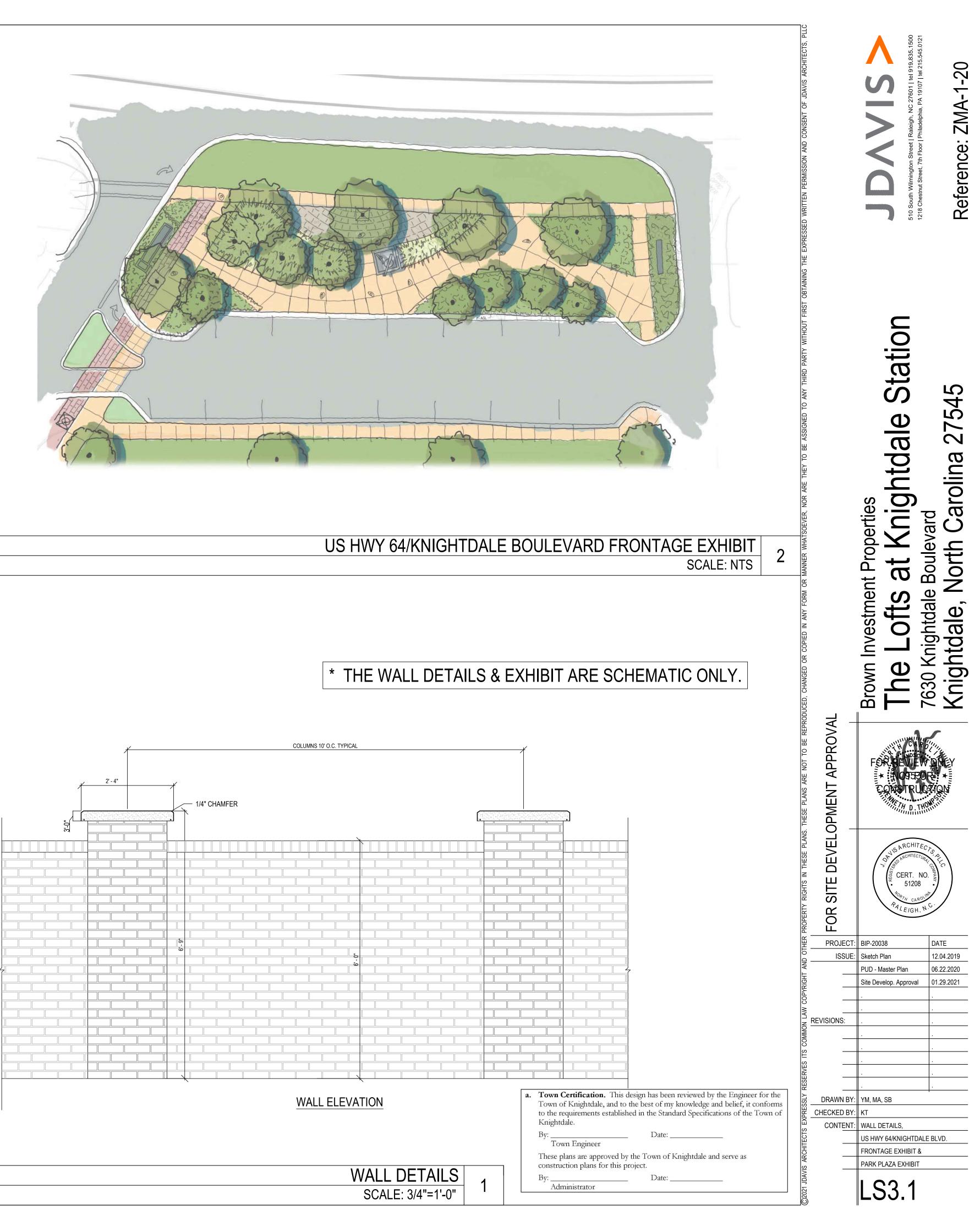


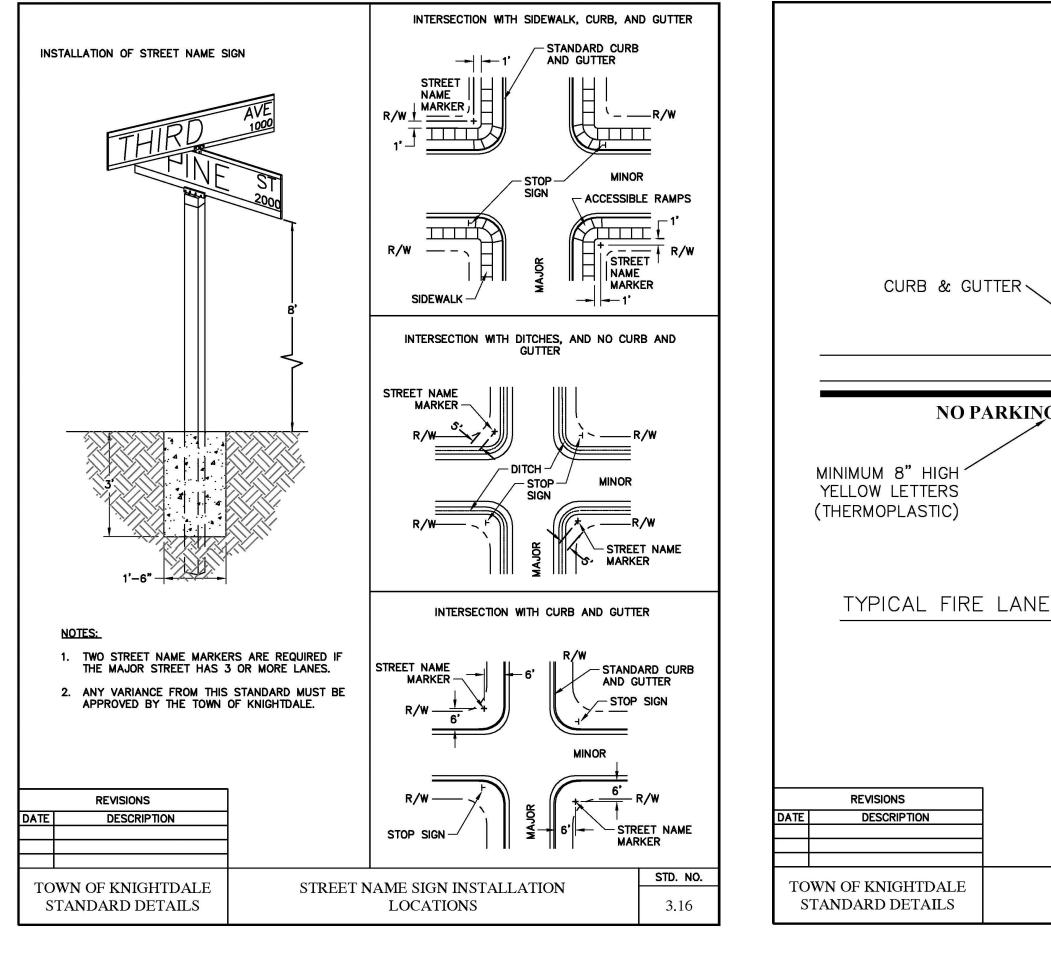


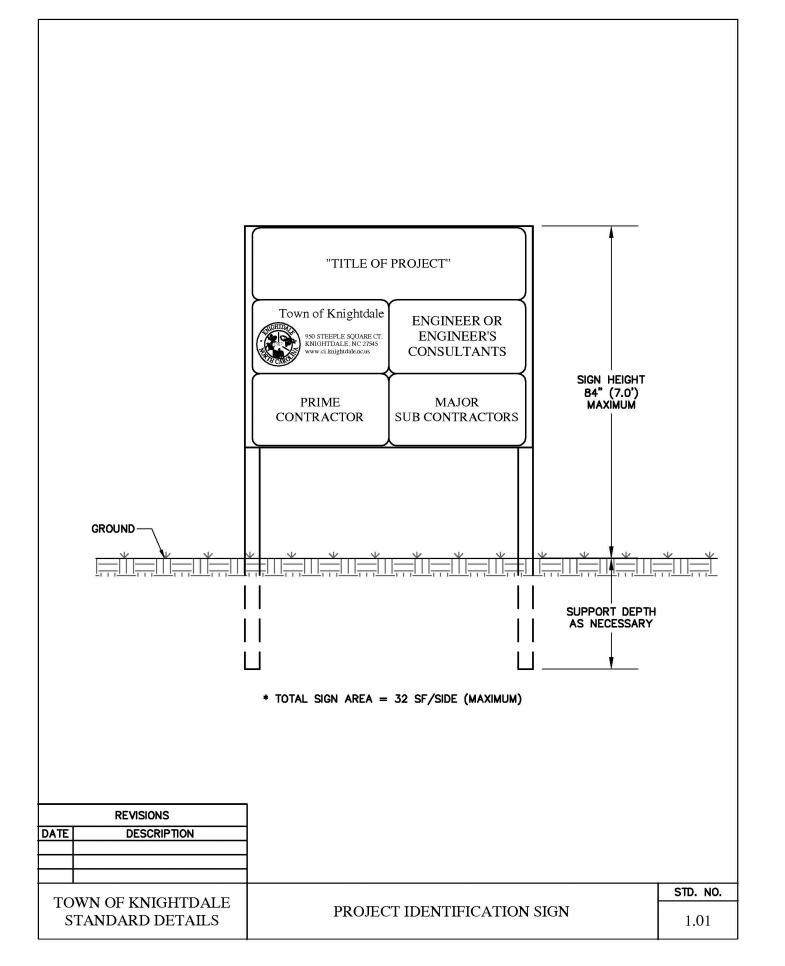
Proposed storm drainage in LF			1,010 LF
Open Space Calculation			
Open Space Required (PUD)			
Total Open Space Required (SF)			34,444 SF
Total Open Space Required (AC)			0.79 AC
Min. Active Open Space Required (SF)	34,444 x	0.5 =	17,222 SF
Min. Active Open Space Required (AC)			0.40 AC
Open Space Provided			
Active Open Space			
OS 2 - Pool Courtyard			15,807 SF
OS 4 - Fitness Center			2,040 SF
OS 5 - Garden			4,590 SF
OS 6 - Dog Park			<u>5,870</u> SF
Total Active Open Space Provided (SF)			28,307 SF
Total Active Open Space Provided (AC)			0.65 AC
Passive Open Space			
OS 1 - US 64 Frontage			5,006 SF
OS 3 - Sky Lounge			736 SF
OS 7 - Park Plaza			<u>2,768</u> SF
Total Passive Open Space Provided (SF)			8,510 SF
Total Passive Open Space Provided (AC)			0.20 AC
Total Open Space Provided (SF)			36,817 SF

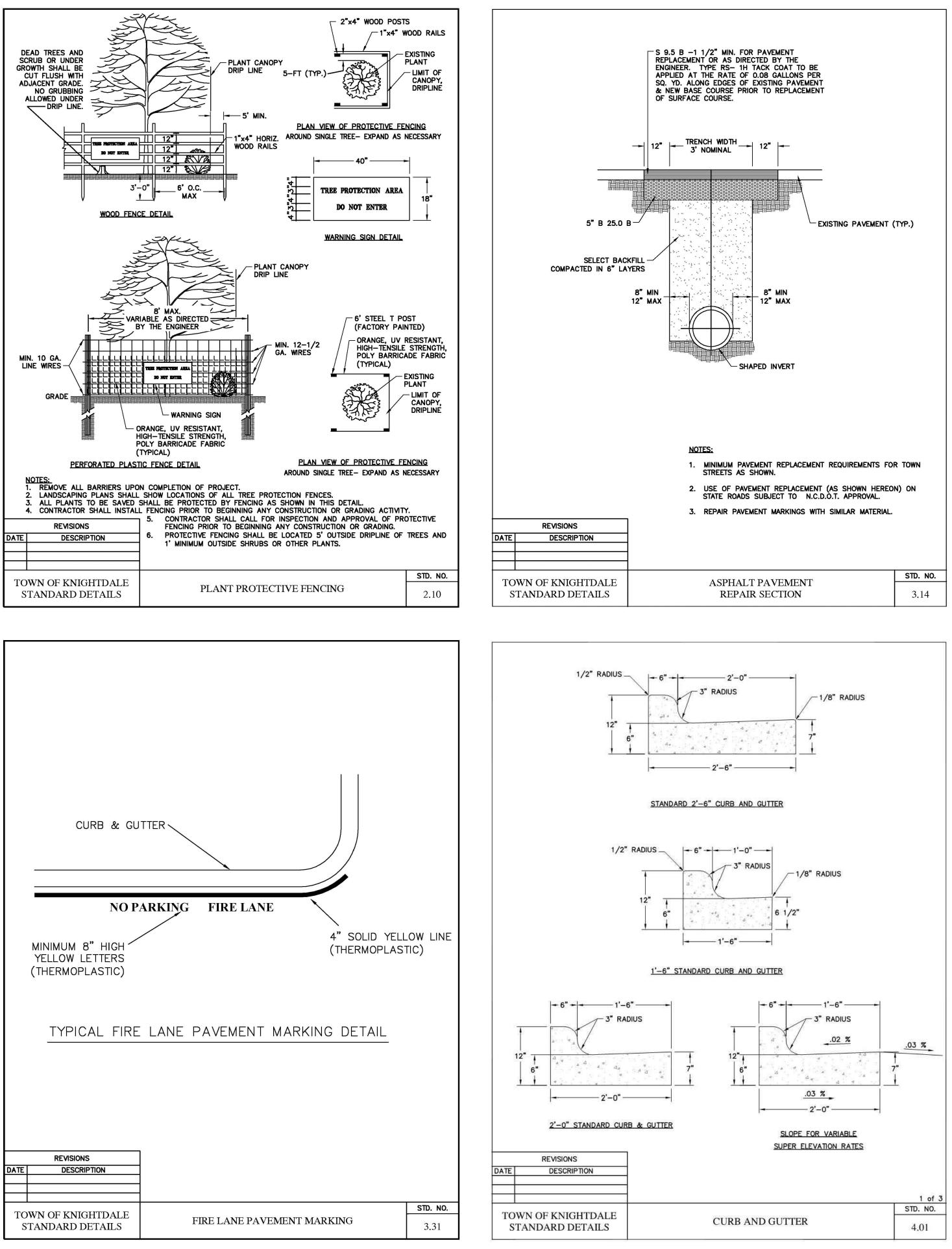


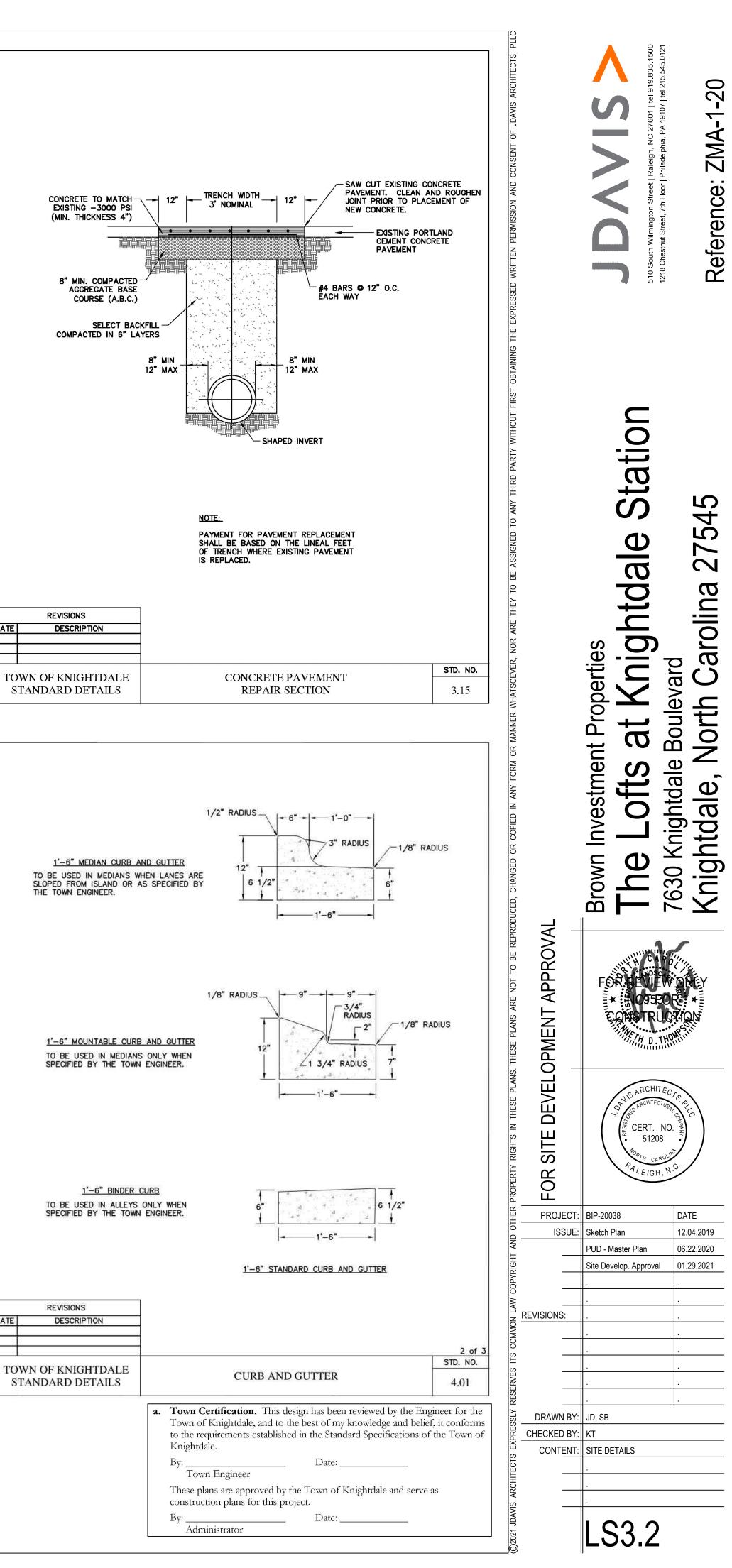
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SCALE: NTS 3	

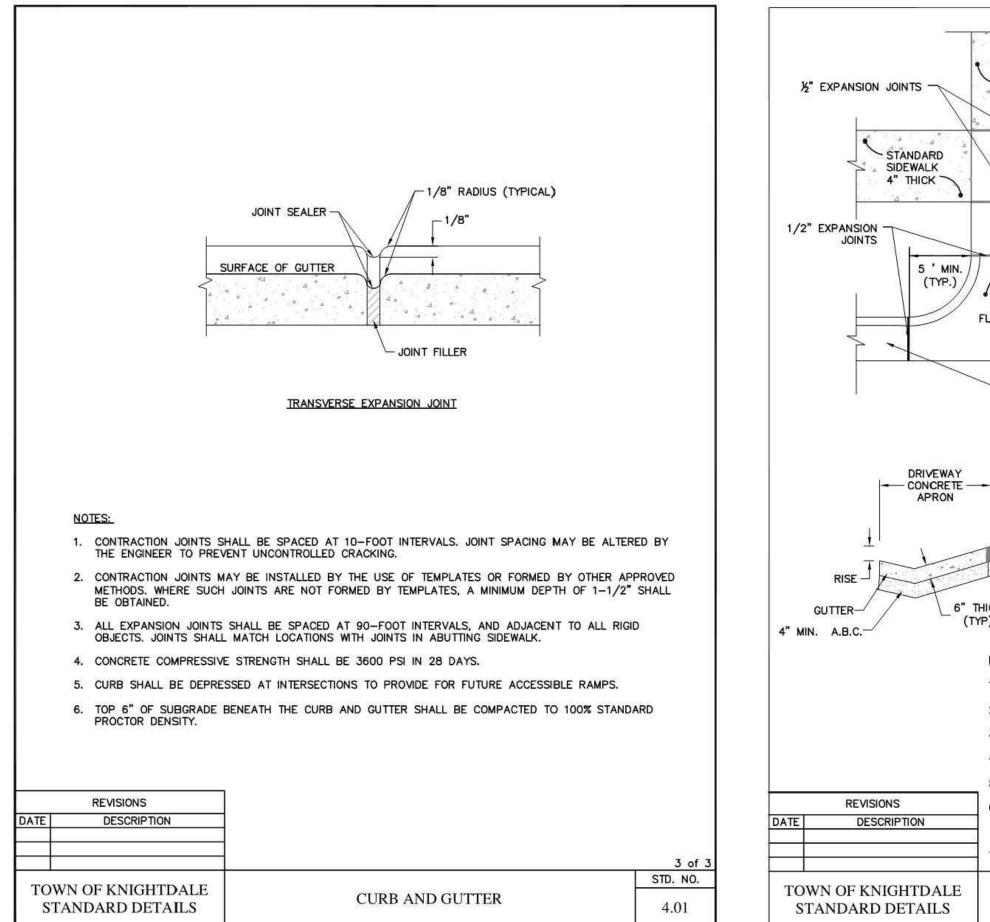


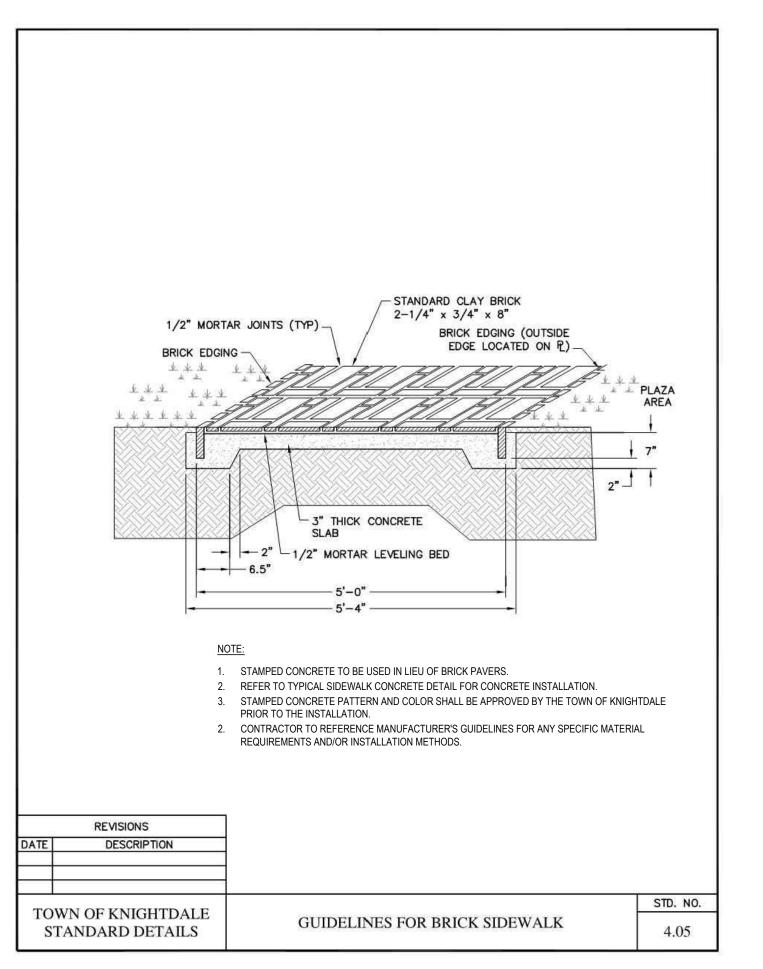


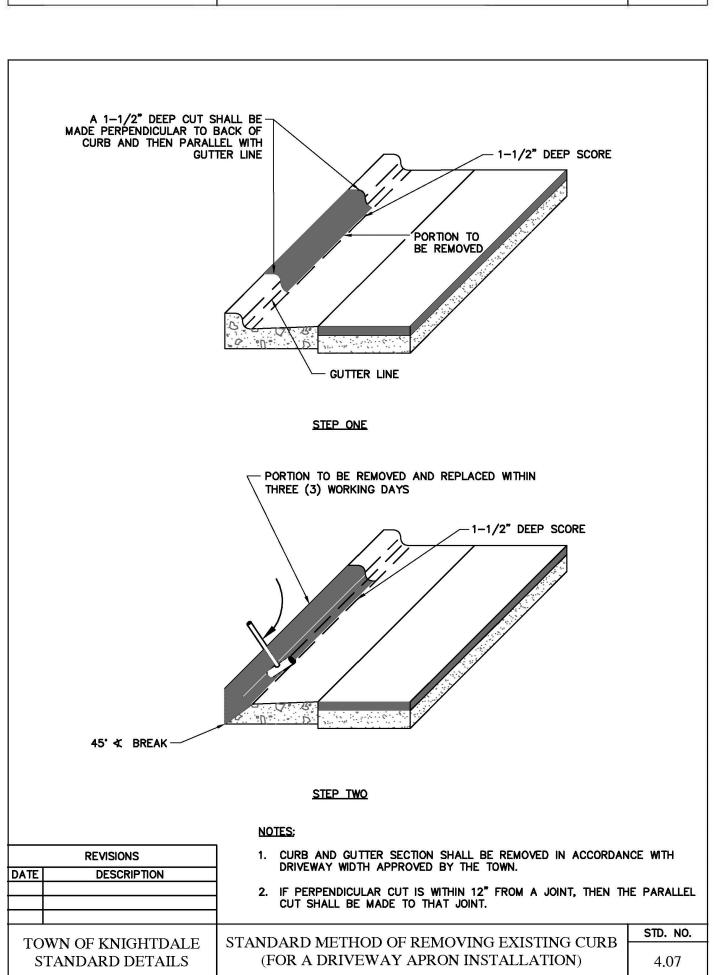








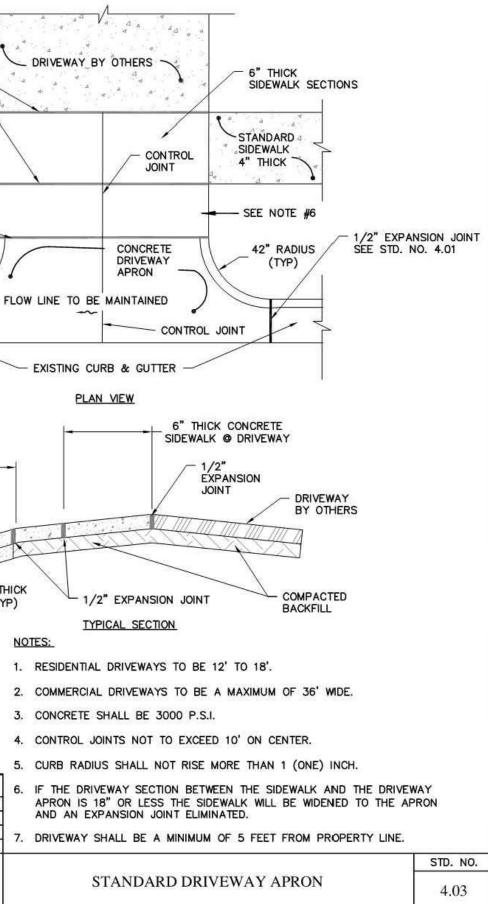




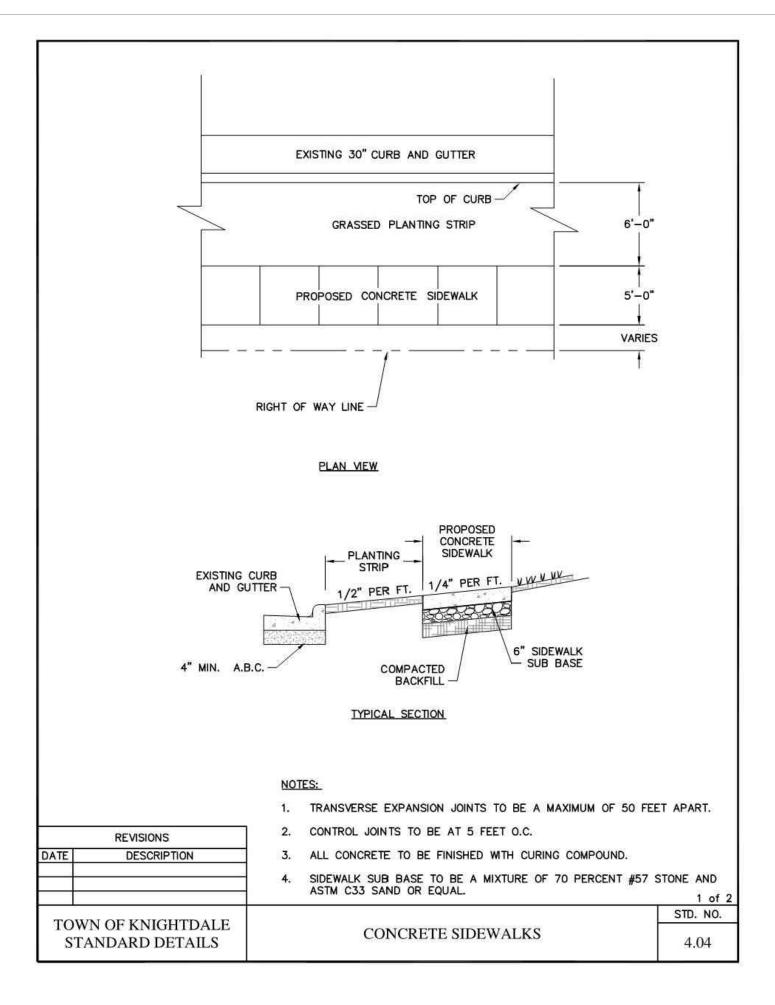
6" THICK

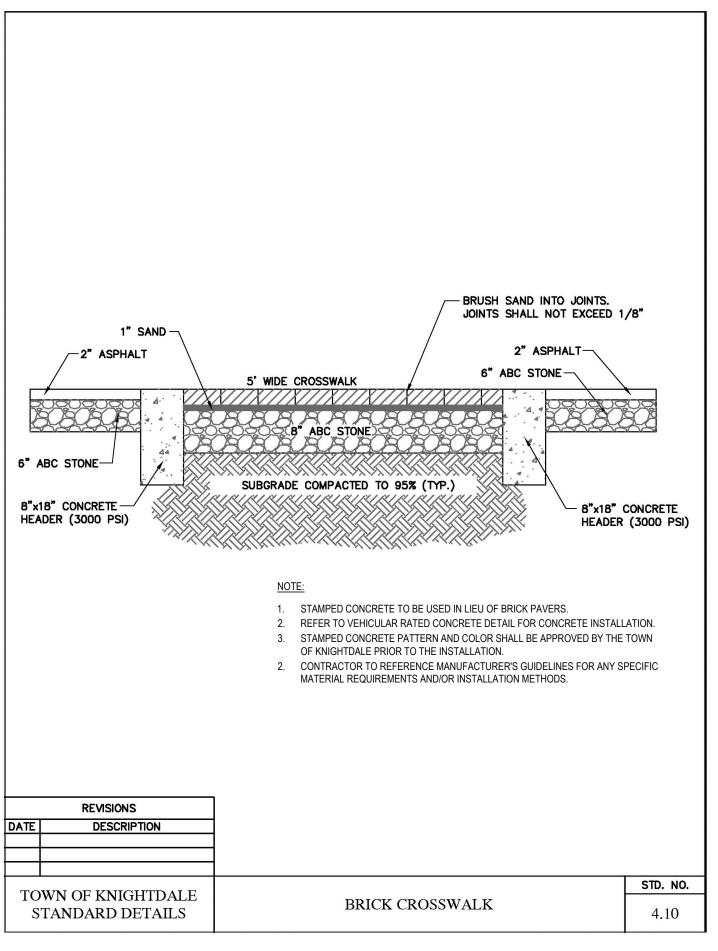
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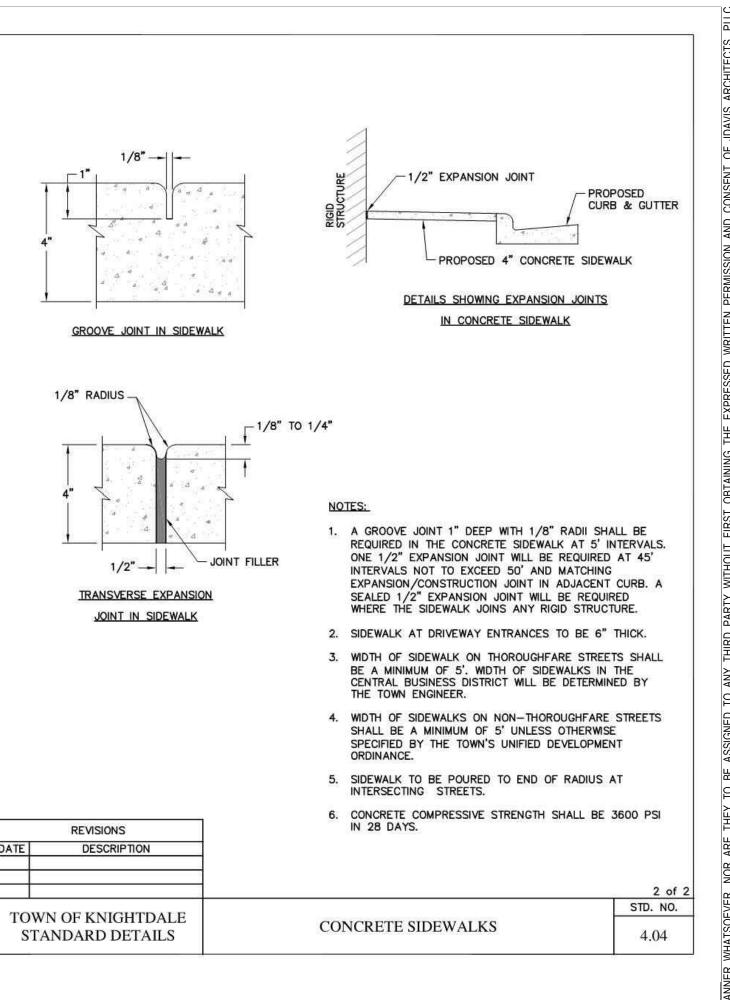
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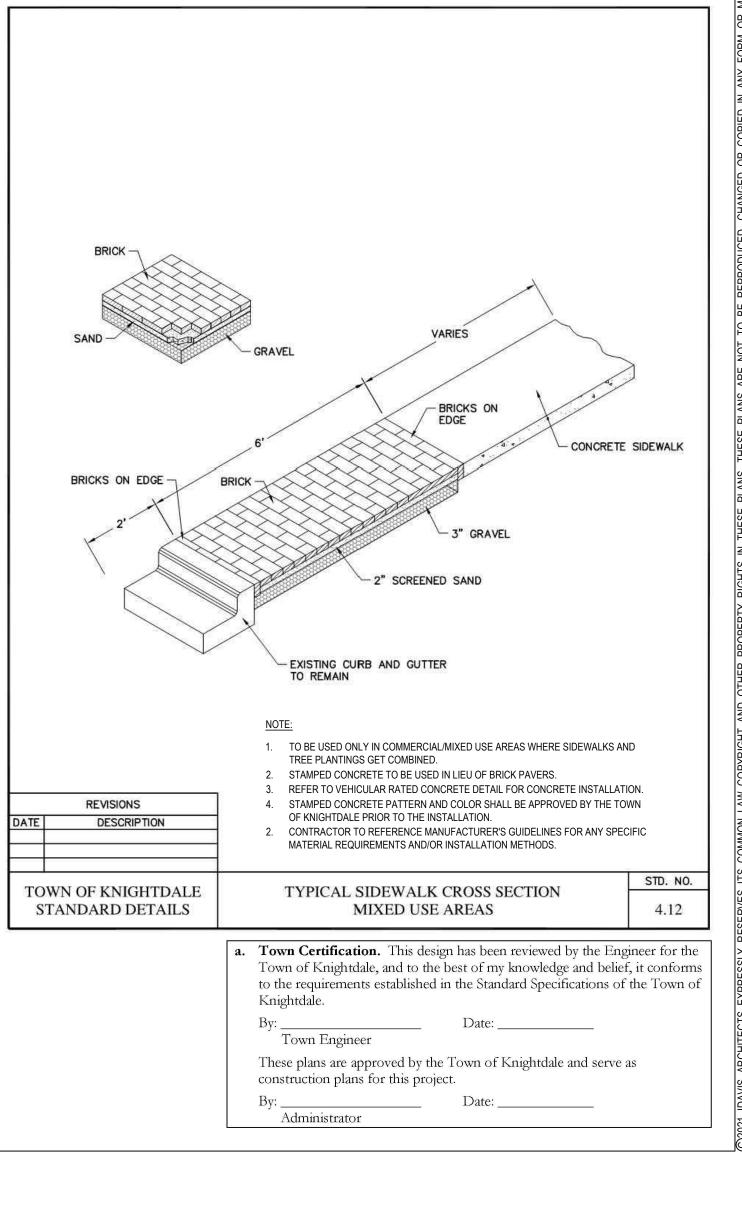


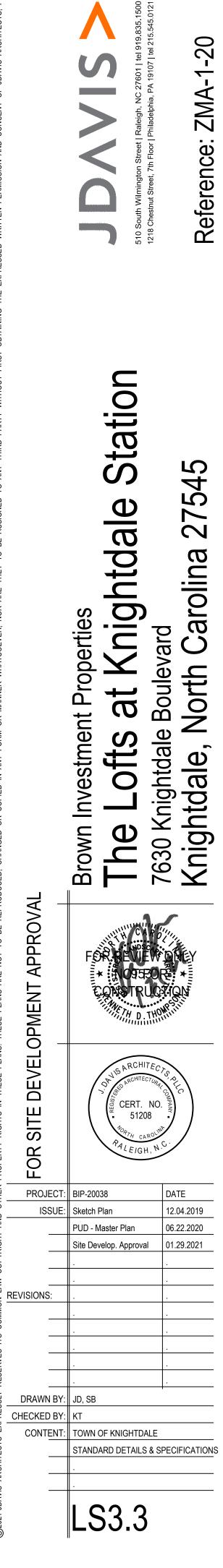
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ETHOD OF REMOVING EXISTING CURB RIVEWAY APRON INSTALLATION)	1.07

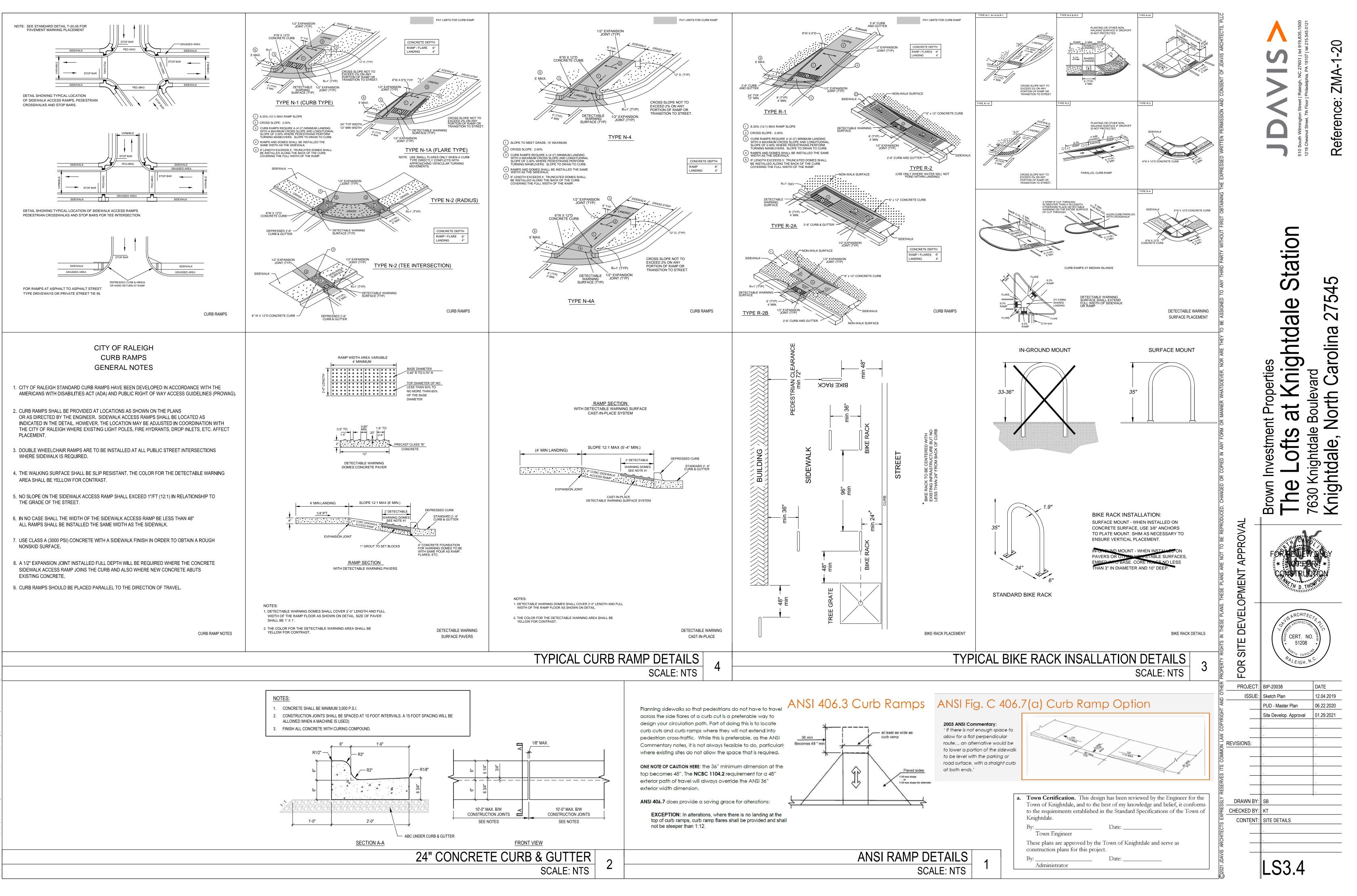


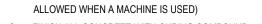


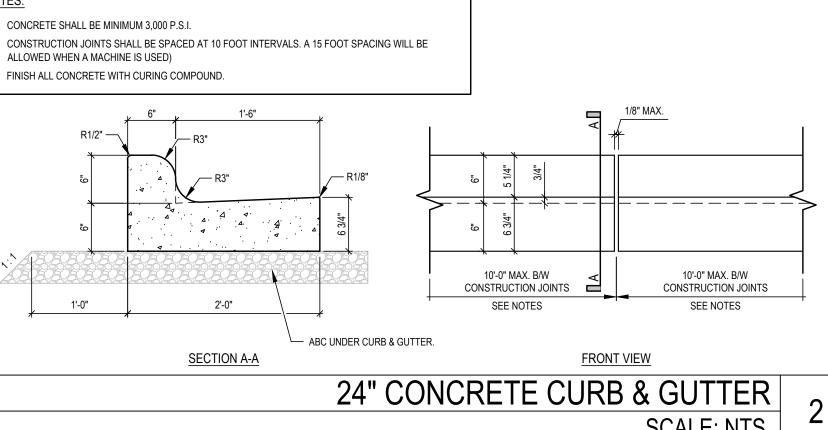


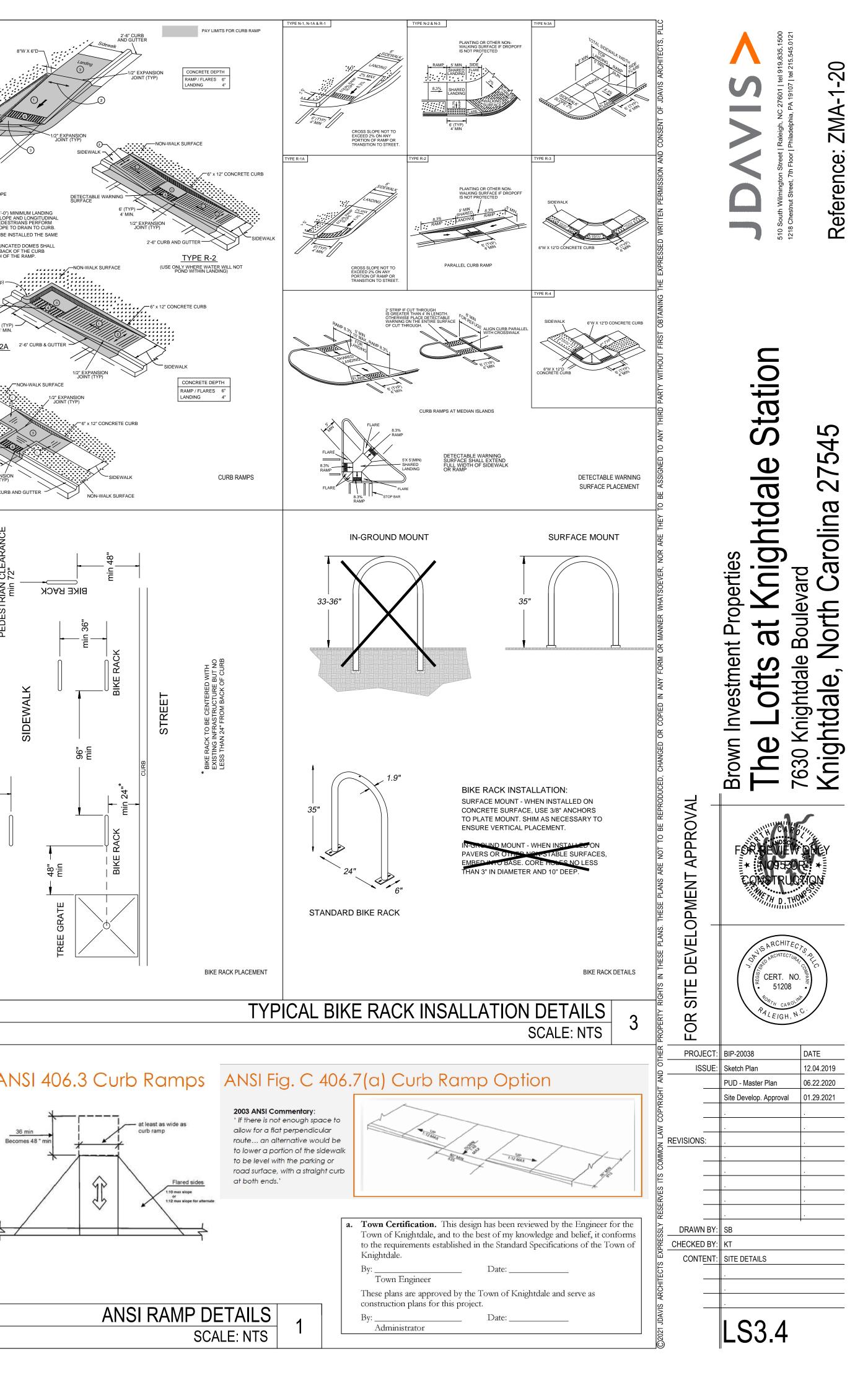


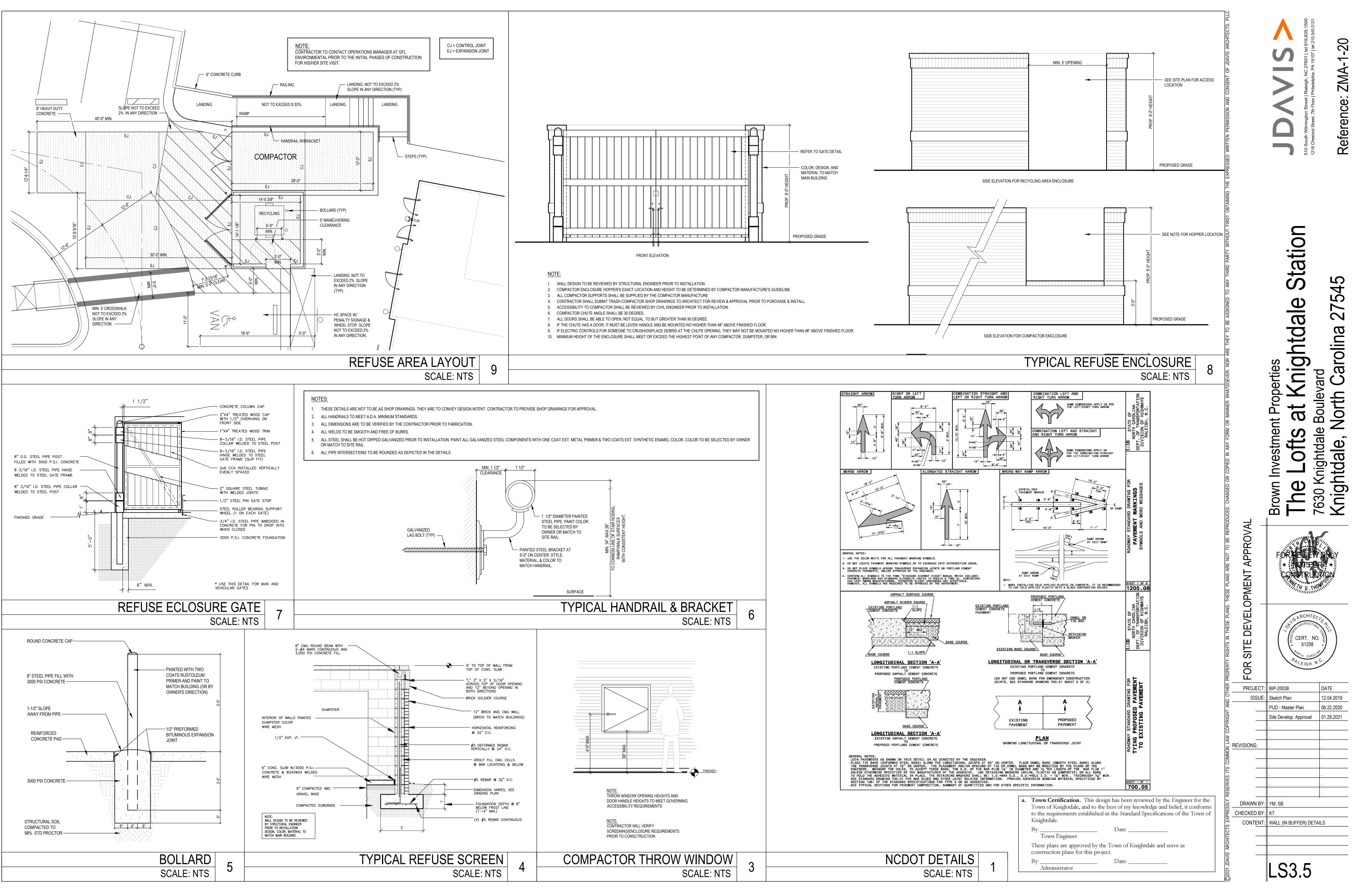


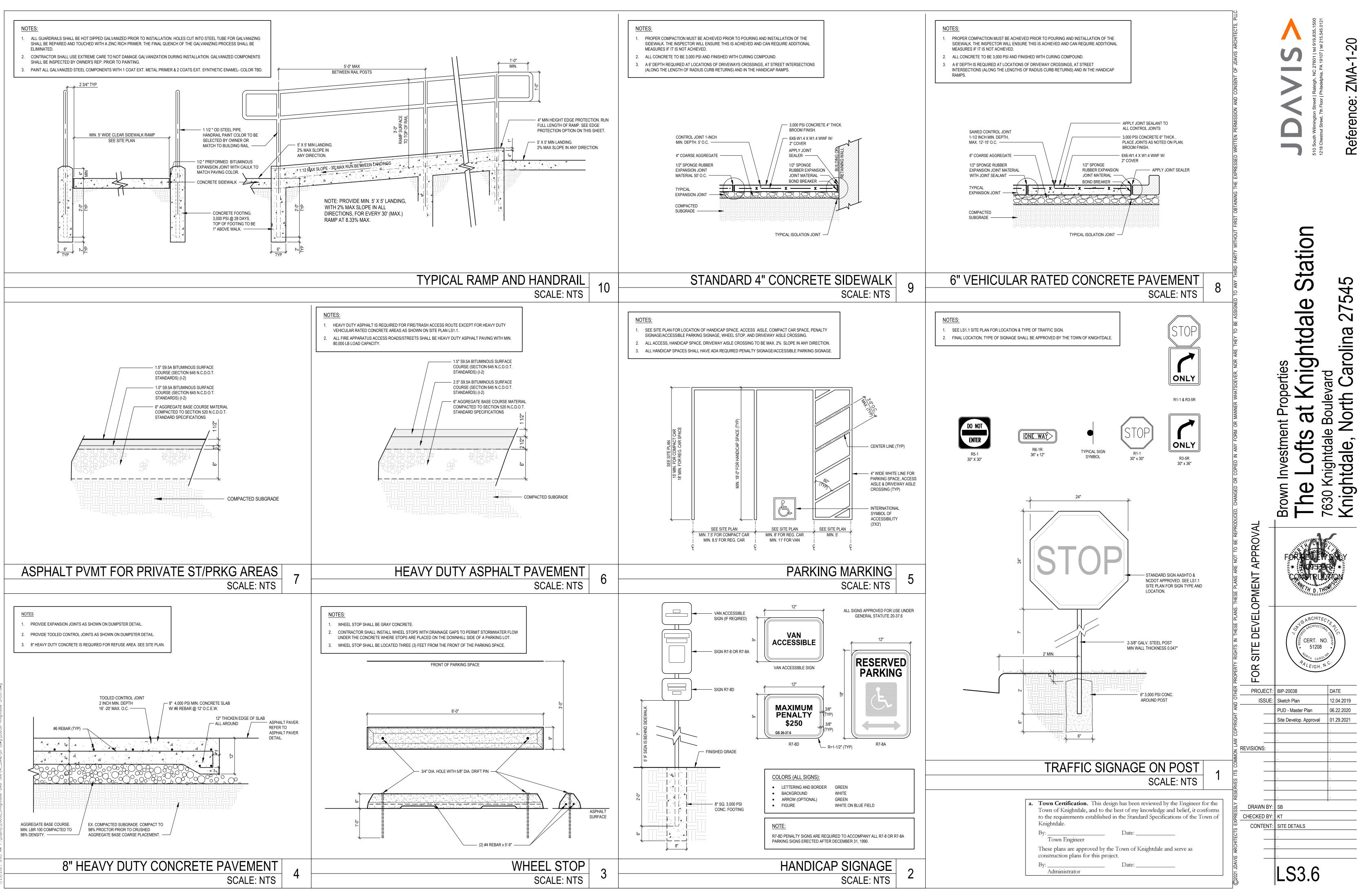












SITE PLAN DOCUMENTS

PROPOSED THE LOFTS AT KNIGHTDALE STATION



THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

<u>GENERAL NOTE:</u> T IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT ORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO HE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN (RITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE TANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS ANI

– FOR –



LOCATION OF SITE 7630 KNIGHTDALE BLVD **KNIGHTDALE, NC 27545** WAKE COUNTY PIN NUMBER: 1754-65-5899 DEED PAGE 008139, PAGE NUMBER 00672

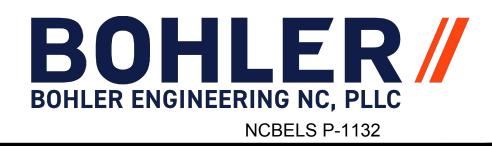


LOCATION MAP SCALE: 1" = 1000'

OWNER BROWN INVESTMENT PROPERTIES, INC. W440 W MARKET ST GREENSBORO, NC 27401 ATTN: CHESTER BROWN, III



PREPARED BY



CONTACT: CHARLIE YOWELL, P.E. PHONE: (919) 578-9000 EMAIL: CYOWELL@BOHLERENG.COM C-C-C-C-C-

WATER ALLOCATION BASE POINT MIXED USE DEVELOPMENT (GREENFIELD) **BONUS POIN** SECTION 2B - PARKING LOTS AND STORMWATER BMP'S: PROVISIONS OF ON-STREET PUBLIC PARKING (1 POINT PER STALL UP TO 4 MAX) SECTION 4B - POOL: RESORT STYLE POOL SECTION 4C - OUTDOOR DECK/PATIO: DECK/PATIO - MORE THAN 2000 SF SECTION 4E - CLUBHOUSE: MEETING SPACE WITHOUT KITCHEN MORE THAN 3500 SQUARE FEET

TOTAL POINTS:

			BOHLER ENGINEERING NC, PLLC	SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES TRANSPORTATION SERVICES TRANSPORTATION SERVICES
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			REV DATE	COMMENT DRAWN BY CHECKED BY
			C Alv	what's below. Fall before you dig. WAYS CALL 811 It's free. It's the law.
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	VER SHEET ERAL NOTES		CHECKED BY: DATE: CAD I.D.:	WES 01/15/2021 SDP-0
C-201 EXISTING CONDIT C-401 GRADING C-501 UT	LAND TITLE SURVEY IONS & DEMOLITION PLAN & DRAINAGE PLAN ILITY PLAN ITY DETAILS		_	TE PLAN CUMENTS
CATION POLICY			сомме 7630 KI KNIGH	NIGHTDALE BLVD TDALE, NC 27545 AKE COUNTY
50 50 S POINTS	INCONSISTENCY BETWEEN THESE CO	ALL CONTROL. IN THE EVENT OF A CONFLICT OR NSTRUCTION DRAWINGS AND THE TOWN OF	PO	
4	SHALL CONTROL. TOWN OF KNIGHTDA DEVELOPMENT DOCUMENTS NECESS.	IS FOR THIS PROJECT, THE APPROVED STANDARDS ALE APPROVED STANDARDS SHALL MEAN ALL ARY FOR APPROVAL FOR THE PROPERTY INCLUDING, SE PERMIT, SUBDIVISION PLAN, SITE PLAN,	BOHLER ENG	HLER// DINEERING NC, PLLC NCBELS P-1132
2 2	ALLOCATION AGREEMENT, ANNEXATION	DULE, DEVELOPMENT AGREEMENT, UTILITY ON AGREEMENT, THE TOWN OF KNIGHTDALE ILS MANUAL AND APPLICABLE PROVISIONS OF THE DDF	RALE	KE AVENUE, SUITE 130 EIGH, NC 27612 (919) 578-9000
0 8	b. PROFESSIONAL DESIGN ENGINEER	CERTIFICATION. THESE IMPROVEMENTS SHALL BE	NC@I	BohlerEng.com
66	I,, PE, C TOWN OF KNIGHTDIZE HAVE BEEN TH APPLICABLE TO THIS PROJECT. ALL E	CERTIFY THAT THE STANDARD SPECIFICATIONS OF THE IROUGHLY CHECKED AND FOUND TO BE XCEPTIONS TO THE APPLICABLE TOWN STANDARDS	N. W.	CAROLINA EESSION
	EXCEPTIONS ARE SHOWN ON SHEET(BY THE TOWN OF KNIGHTDALE AND SAID S)OF THESE DRAWINGS. BYBYBYBY, PE	V	SFAL
	CARO/	DAYE: <u>1/28/21</u> - 7		NGINEE
	in the second	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		S E 1/28/21
	F S S S S S S S S S S S S S S S S S S S		SHEET TITLE:	
	TOWN OF KNIGHTDALE, AND TO THE	GN HAS BEEN REVIEWED BY THE ENGINEER FOR THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS ED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF		R SHEET
	TOWN ENGINEER	ATE:	SHEET NUMBER:	-101
	CONSTRUCTION PLANS FOR THIS PR	IE TOWN OF KNIGHTDALE AND SERVE AS ROJECT. ATE:		
	ADMINISTRATOR		ORG.	DATE - 01/15/2021

GENERAL NOTES

- THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING. NC. PLLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH ENGINEER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS, ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING
- AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT. AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND
- ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS
- CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE
- COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD. IN WRITING, IF ANY CONFLICTS. DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES, ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS. 10. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH, AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL
- CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK IF A GEOTECHNICAL REPORT WAS NOT CREATED. THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT
- ENGINEER OF RECORD IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS HAZARDOUS SUBSTANCES OR POLI UTANTS ON ABOUT OR UNDER THE PROPERTY . THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL
- OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE. 14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES. UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. 16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL
- ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF
- 18. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT
- MAY OR COULD AFFECT THE PUBLIC SAFETY HEALTH OR GENERAL WELFARE, OR PROJECT COST, IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING BUT NOT LIMITED TO ANY THIRD PARTY AND FIRST PARTY CLAIMS 0 THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE
- CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES. RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE. THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY. INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME 21 ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY
- WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER . AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND
- AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
- 22. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS. AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 3. NEITHER THE PROFESSIONAL ACTIVITIES OF: BOHLER , NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE
- OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM ITS OBLIGATIONS. DUTIES AND RESPONSIBILITIES INCLUDING. BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER AND ITS EMPLOYEES, PERSONNEL, AGENTS. SUBCONTRACTORS AND SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER FOR AND FROM ANY LIABILITY TO BOHLER RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S
- POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA. SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME, BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS
- AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED 5. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND/OR BOHLER FOR ALL DEVIATIONS WITHIN
- ENGINEER'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.

- 26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY
- FAILURE TO PRESERVE.
- MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME 29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.
- WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1)
- **RESPONSIBLE FOR FAILING TO DO SO**

SITE LAYOUT NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

- GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.
- RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT 5. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

GRADING NOTES

- WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT
- ENGINEER OF RECORD IN WRITING
- (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
- STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). 8. THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE

ACCESSIBILITY DESIGN GUIDELINES

- 1 ALL ACCESSIBLE (A K A ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM, THE BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
- CONSISTENCY WITH INDUSTRY GUIDELINES.
- TO THE FOLLOWING:
- VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
- NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
- BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
- FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
- CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE

27. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN: AND, FURTHER, THE ENGINEER OF RECORD AND/OR BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND/OR BOHLER INCUR AS A RESULT OF SAID FAILURE OR

28. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY

OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO 30. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND/OR BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE

ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY 32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER OF

RECORD. THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION. REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE. EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

(Rev. 1/2020)

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION THE CONTRACTOR MUST INSTALL SOIL FROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES O PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS.

THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE

DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT

(Rev.1/2020)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF

ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE, MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER. OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION

THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE

IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN

PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

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MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND

THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES PUBLIC TRANSPORTATION PEDESTRIAN ACCESS AND INTER-BUILDING ACCESS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED

A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 48-INCHES MINIMUM WIDTH. OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED ALONG THE ACCESSIBLE PATH OF TRAVEL OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO

ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES. AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST

E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED

F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER

G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS

DEMOLITION NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY

WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY

CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN. A THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE. FEDERAL. LOCAL. AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC

THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE

ENGINEER OF RECORD AND/OR BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME

7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION ARFA

8. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR OUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND/OR BOHLER , IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND/OR BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

9. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES LAWS ORDINANCES AND CODES

10. PRIOR TO COMMENCING ANY DEMOLITION. THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK

B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.

C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION. E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC,

SANITARY AND STORM SEWER TELEPHONE CABLE FIBER OPTIC CABLE FTC WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES. F. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED

DURING ANY DEMOLITION ACTIVITIES. G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON. OF AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.

IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME

11. THE CONTRACTOR MUST ENSURE THAT ANY EXISTING ASBESTOS-CONTAINING MATERIALS ENCOUNTERED ARE PROPERLY REMOVED FROM THE SUBJECT PREMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PRIOR TO THE COMMENCEMENT OF DEMOLITION ON SITE AND MUST PERFORM ALL AGENCY NOTIFICATIONS AS REQUIRED, AT THE CONTRACTOR'S SOLE EXPENSE

12. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS FOOTINGS OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE. UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE

WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. 13. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION

14. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER

15. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC

VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 16. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL

ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST. 17. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. AND EXCEPT FOR EDGE OF BUTT JOINTS. MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED,

INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY. 18. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON

COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 19. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS. IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE

LIGHTING NOTES

CONTRACTOR'S SOLE COST.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS. 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY

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DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS. 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC

PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND

OWNER'S ACCEPTANCE OF THE WORK. THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM. CONDUITS. WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.

THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

8. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

3. 4. 5. 6. 7. 8. 9.	 CONTROL UNLESS OTHERWISE NOTE INSTALLATION OF EROSION CONTROL CONTROL CONSTRUCTION NOTES. THE DISTURBED LAND AREA OF THIS THE FOLLOWING EROSION CONTROL A. STABILIZED CONSTRUCTION ENTI- AT THE DESIGNATED LOCATION S RETAINED ON-SITE. B. SEDIMENT FENCE - INSTALL SILT TEMPORARY FILL AND SOIL STOC C. INSTALL FILTER FABRIC DROP INL INSTALLED TO REDUCE THE QUAI DISTURBANCE, WHICH MAY BE BE INSTALLATION OF EROSION CONTROL RECOMMENDATIONS. THE CONTRACTOR MUST INSPECT ER GREATER THAN 6" COLLECTED ON TIF FROM DROP INLET PROTECTION. THE CONTRACTOR MUST APPLY TEMF FINISHED GRADE AND VEGETATED WI CONTRACTOR MUST STABILIZE SAME MANAGEMENT PRACTICES. THE CONTRACTOR MUST INSTALL ADI INCLUDING THE INCIDENTAL, DISCHAFT THE CONTRACTOR MUST INSTALL ADI INCLUDING THE INCIDENTAL, DISCHAFT THE CONTRACTOR MUST BE RESPON UNTIL PERMANENT PAVING AND TURF CONTROL MEASURES MUST BE INCLU ALL SUCH COSTS. 	LET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE NTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM EYOND THE LIMITS OF DISTURBED AREA. L DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S COSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS HE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT PORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO ITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST DITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, RGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. SIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE F/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION IDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR	BOHLER ENGINEERING NC, PLL	SITE CIVIL AND CONSULTING ENGINEER LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY AUTHOR AND SHALL DE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSERVATION FROM BOHLER.
	AND THE ESTABLISHMENT OF VEGETATHE CONTRACTOR MUST REMOVE ER	TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION ATION. ROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT ALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.	RI REV DATE	COMMENT -	DRAWN BY
12.	THIS PLAN REPRESENTS THE MINIMUL FACILITIES, MEASURES AND STRUCTU	M LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL JRES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE PPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL			CHECKED BY
	AND/OR DEMOLITION PLAN(S) FOR TR	FROM EXITING THE SITE. LL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE EE PROTECTION, FENCE LOCATIONS AND DETAILS. GRADING PLANS FOR ADDITIONAL INFORMATION.			
15.	THE CONTRACTOR MUST CLEAN EXIS OFF-SITE AS THE JURISDICTIONAL AG SOIL EROSION CONTROL MEASURES	TING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR ENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE			
17.	THE CONTRACTOR MUST IDENTIFY, O	N THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. IN THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE DCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.			
D	RAINAGE AND UT	ILITY NOTES (Rev.1/2020)			
1.	DOCUMENTS. THE GENERAL NOTES A COMPLY WITH THESE NOTES, IN THEIR	IDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT RE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY R ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY		-	
2.	LOCATIONS OF ALL EXISTING AND PROVERIFY AND CONFIRM THOSE LOCATI	ND ALL OF THE PLANS' SPECIFIC NOTES. OPOSED SERVICES ARE <u>APPROXIMATE</u> , AND THE CONTRACTOR MUST INDEPENDENTLY ONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY E CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION		811.	
3.	POINTS AND ALL OTHER UTILITY SERV CONTRACTOR MUST REPORT ALL DIS THE CONTRACTOR MUST VERTICALLY	/ICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE ENGINEER OF RECORD. (AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED	Know	what's below. All before you dig.	
	DISTURBANCE OR WORK SPACE, WHI REQUIREMENTS OF THE APPLICABLE CONTRACTOR IS RESPONSIBLE FOR F	Y AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF CHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING	ALW	/AYS CALL 811 t's free. It's the law.	
4.	BEAR ALL COSTS ASSOCIATED WITH I THE CONTRACTOR MUST FIELD VERIF	OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. TY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND ONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.	NOT AP	PROVED FC)R
	VERIFYING LOCATIONS OF SAME BAS THE CONTRACTOR IS RESPONSIBLE F	NS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ED UPON FINAL ARCHITECTURAL PLANS. FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT TIONS, GREASE TRAP REQUIREMENTS AND DETAILS, DOOR ACCESS, AND EXTERIOR	CONS	STRUCTION	
	GRADING. THE ARCHITECT WILL DETE OF UTILITY SERVICES WITH THE INDIV ACHIEVED. THE CONTRACTOR IS RES	RMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION VIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE PONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH	REVIEW AND APPROVAL.	NDED FOR MUNICIPAL AND/OR AG IT IS NOT INTENDED AS A CONST NLESS INDICATED OTHERWISE.	
	REQUIREMENTS, RULES, STATUTES, L UTILITY TIE-INS/CONNECTIONS PRIOR	APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE AWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS HE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION	DRAWN BY: CHECKED BY: DATE:		TGH WES
7.	CONSTRUCTION, MUST RESOLVE SAM ALL FILL, COMPACTION, AND BACKFIL	UST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO IE. L MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE IE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE	CAD I.D.: PROJECT:		SDP-0
8.	FILL AND COMPACTION MUST, AT A MI CONSULTANT HAS NO LIABILITY OR R	IFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, INIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND ESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. ARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A			
	CONTEMPORANEOUS AND THOROUG UNDERGROUND INFRASTRUCTURE. T RESPECT, FROM THE INFORMATION C	H RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL HE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE IT PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.			
9.	THE CONTRACTOR MUST ENSURE TH WATER AND STORM SYSTEMS, ARE R DETAILS AS APPLICABLE. THE CONTRA	AT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, EPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT ACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE		<u></u>	
	RESPECTIVE UTILITY COMPANY, REGA WATER SERVICE MATERIALS, BURIAL	LITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE ARDLESS OF WHAT THIS PLAN DEPICTS. DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY.	COMME	PROPERTIES	
	THE CONTRACTOR MUST CONTACT TI TO COMMENCING CONSTRUCTION.	HE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR			
			KNIGH ⁻	NIGHTDALE BLVD TDALE, NC 27545 AKE COUNTY	
			BO		/
			4130 PARKLA	NCBELS P-1132 KE AVENUE, SUITE	130
			Phone:	,	
				H CARO	
				SEAL	
				NGINEE SE. 11/1/1/1/1/1/1/1/28	: /21
			SHEET TITLE:		
		a. TOWN CERTIFICATION. THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF		NERAL OTES	
		KNIGHTDALE. BY: DATE:	SHEET NUMBER:		—
		TOWN ENGINEER THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.	C	-102	
		BY: DATE: ADMINISTRATOR	ORG.	DATE - 01/15/2021	

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES (Rev. 1/2020)

1 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

NOTES: , THE FIRM HAS RELIED UPON TITLE COMMITMENT BY METRO TITLE COMPANY DATED JANUARY 4TH, 2021 AT 8:00AM, COMMITMENT NO.: MET2019-01768, WHILE AND IN PREPARING THIS SURVEY. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY TITLE EXCEPTIONS NOT DISCLOSED BY THE REFERENCED TITLE COMMITMENT. AREAS COMPUTED BY COORDINATE METHOD. PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED, RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD. NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS, PRE THE NCVRS NETWORK BASIS OF BEARING SHOWN HEREON IS NC GRID (NAD 83 NSRS 2011). VERTICAL DATUM SHOWN HEREON IS NAVD88. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720175400J, PANEL 1754 EFFECTIVE DATE MARCH 2, 2006. 10) NO OBSERVED ENCROACHMENTS WERE FOUND AT THE TIME OF SURVEY. 11) THE PROPERTY SHOWN HEREON IS LOCATED OUTSIDE OF TOWN OF KNIGHTDALE LIMITS, PER WAKE COUNTY GIS. 12) THE ADJACENT PROPERTIES ARE LOCATED INSIDE OF TOWN OF KNIGHTDALE LIMITS, PER WAKE COUNTY GIS. 13) ENVIRONMENTAL SURVEY PRODUCED BY NOVA ENGINEERING AND ENVIRONMENTAL, INC., DATED NOVEMBER 13, 2019, 14) NO WETLANDS, BUFFERS, OR WATERSHED PROTECTION DISTRICTS WERE OBSERVED AT THE TIME OF THE SURVEY. ACCESS TO THE SUBJECT PROPERTY IS AVAILABLE FROM PUBLIC RIGHT OF WAY OF US TOP OF GRATE=341.67 15) HIGHWAY 64 AND KNIGHTDALE STATION RUN

SUBJECT PROPERTY IS ZONED AS 'HB' HIGHWAY BUSINESS PER TOWN OF KNIGHTDALE

TITLE COMMITMENT METRO TITLE COMPANY

16)

COMMITMENT NUMBER: MET2019-01768 COMMITMENT DATE: JANUARY 4, 2021 AT 8:00AM SCHEDULE B - SECTION II - EXCEPTIONS

UDO (UNIFORM DEVELOPMENT ORDINANCE).

- 1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. NOT A SURVEY MATTER.
- 2 TAXES AND ASSESSMENTS FOR THE YEAR 2021 AND SUBSEQUENT YEARS, NOT " YET DUE AND PAYABLE. NOT A SURVEY MATTER.
- 3. EASEMENTS, SETBACK LINES AND ANY OTHER MATTERS SHOWN ON PLAT RECORDED IN PLAT BOOK 1974, PAGE 401, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN ON THE SURVEY.
- 4. ELECTRIC POWER LINE RIGHT OF WAY EASEMENT TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 2312, PAGE 103, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN ON THE SURVEY.
- 5. CONSENT JUDGMENT FILED BY CAROLINA POWER & LIGHT COMPANY RECORDED IN BOOK 2278, PAGE 621, WAKE COUNTY REGISTRY. AFFECTS SUBJECT PROPERTY. NOT A PLOTTABLE MATTER.
- 6. EASEMENT(S) IN FAVOR OF CAROLINA POWER & LIGHT COMPANY AS RECORDED IN BOOK 2336, PAGE 472, WAKE COUNTY REGISTRY AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN ON THE SURVEY.
- 7. CONSENT JUDGMENT FILED BY CAROLINA POWER & LIGHT COMPANY RECORDED IN BOOK 2383, PAGE 29, WAKE COUNTY REGISTRY, AFFECTS SUBJECT PROPERTY NOT A PLOTTABLE MATTER.
- 8. CONSENT JUDGMENT FILED BY CAROLINA POWER & LIGHT COMPANY RECORDED IN BOOK 2299, PAGE 674, WAKE COUNTY REGISTRY AFFECTS SUBJECT PROPERTY NOT A PLOTTABLE MATTER.
- 9. NO COVERAGE IS PROVIDED AS TO THE AMOUNT OF ACREAGE OR SQUARE FOOTAGE OF THE LAND.
- BOUNDARY, SQUARE FOOTAGE, AND ACREAGE ARE SHOWN ON THE SURVEY 10. THE FOLLOWING MATTERS AS SHOWN ON THE ALTA/NSPS LAND TITLE SURVEY DATED JANUARY 8, 2021, BY THOMAS E, TEABO, PLS, BEARING FILE NO, NSR192091 ("THE SURVEY"). (A) OVERHEAD ELECTRIC LINES, FIBER OPTIC MARKER, TELEPHONE PEDESTAL, CABLE MARKER, UTILITY VAULTS, UTILITY POLES, GUY WIRE. THE ABOVE INFORMATION IS PLOTTED AND SHOWN ON THE SURVEY, AS PLOTTABLE AND APPLICABLE.
- 11 THIS POLICY SPECIFICALLY EXCLUDES ANY CLOSING PROTECTION SERVICES (COVERAGE OR INSURANCE) AS THEY APPLY TO THIS TRANSACTION. NOT A SURVEY MATTER.

LEGEND

\bowtie ----- OH --0 IPS IPF IRF ECM (S)1

EXISTING CONTOUR LINE SURVEYED LINE NOT SURVEYED WATER VALVE OVERHEAD WIRES GRATE TOP INLET UTILITY POLE **IRON PIPE SET IRON PIPE FOUND IRON REBAR FOUND** EXISTING CONCRETE MONUMENT SIGN FENCE AREA LIGHT GUY WIRE SANITARY MANHOLE PAINTED ARROWS



POINT OF BEGINNING-

CATCH BASIN-

INV IN=337.30

INV OUT=336.93

SANITARY SEWER MANHOLE-TOP ELEVATION=344.96

8" PVC

INV IN=335.56

INV IN=335.51

SANITARY SEWER MANHOLE-

TOP ELEVATION=346.93

8" PVC

INV IN=339.47

CATCH BASIN-

INV IN=342.15

INV OUT=342.02

18" RCP

8" FLARED END

INV OUT=341.46

SECTION

INV OUT=339.39

TOP OF GRATE=346.96

INV OUT=335.49

30" RCP

IRON PIPE SET

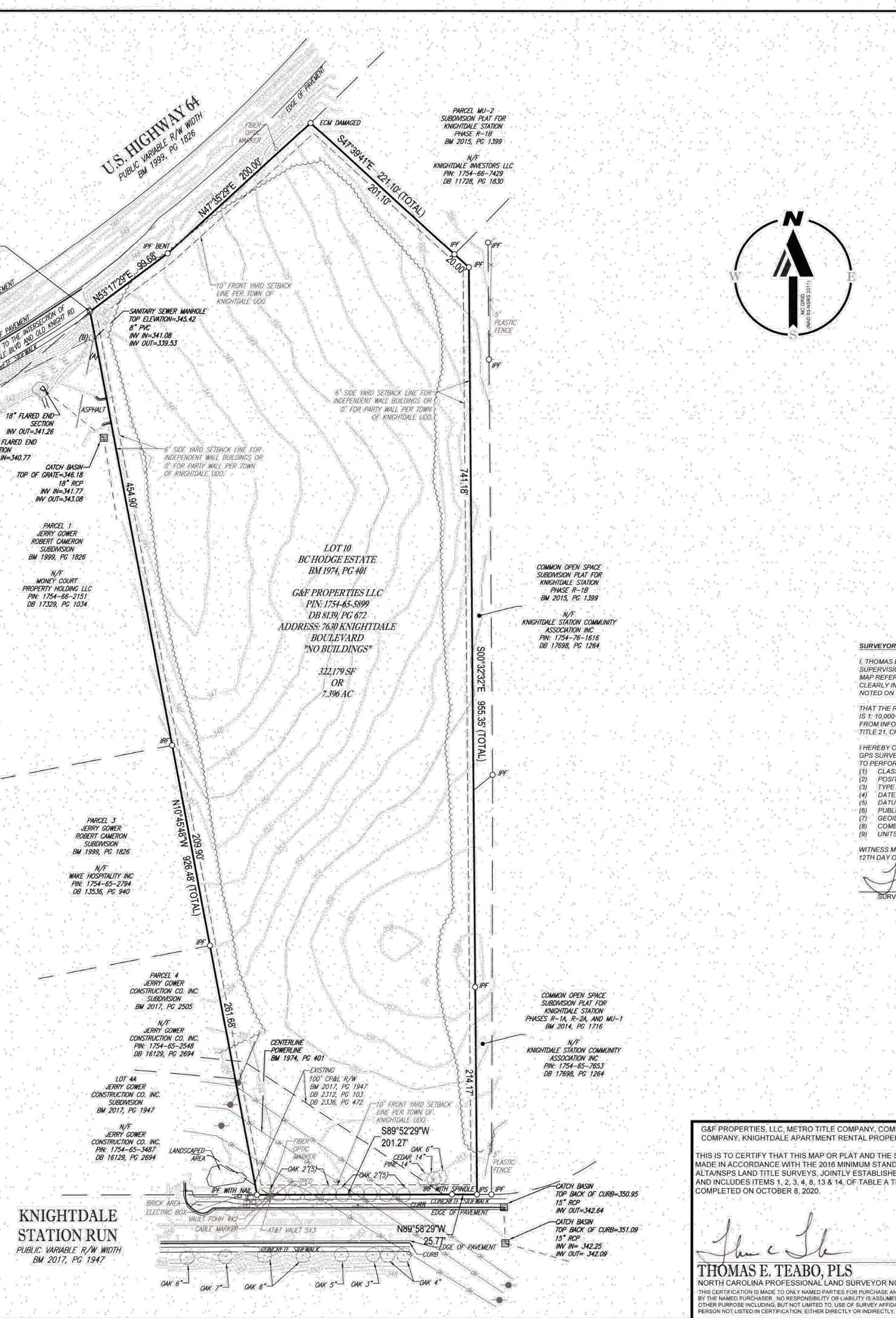
E=2,156,347.05

N=746,326.43

-30" FLARED END

INV IN=340.77

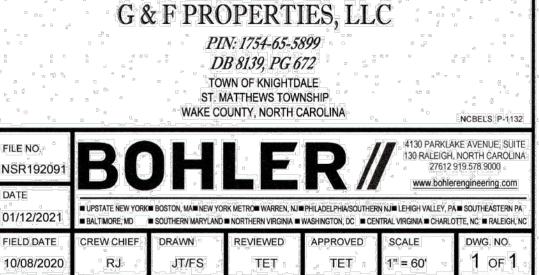
SECTION

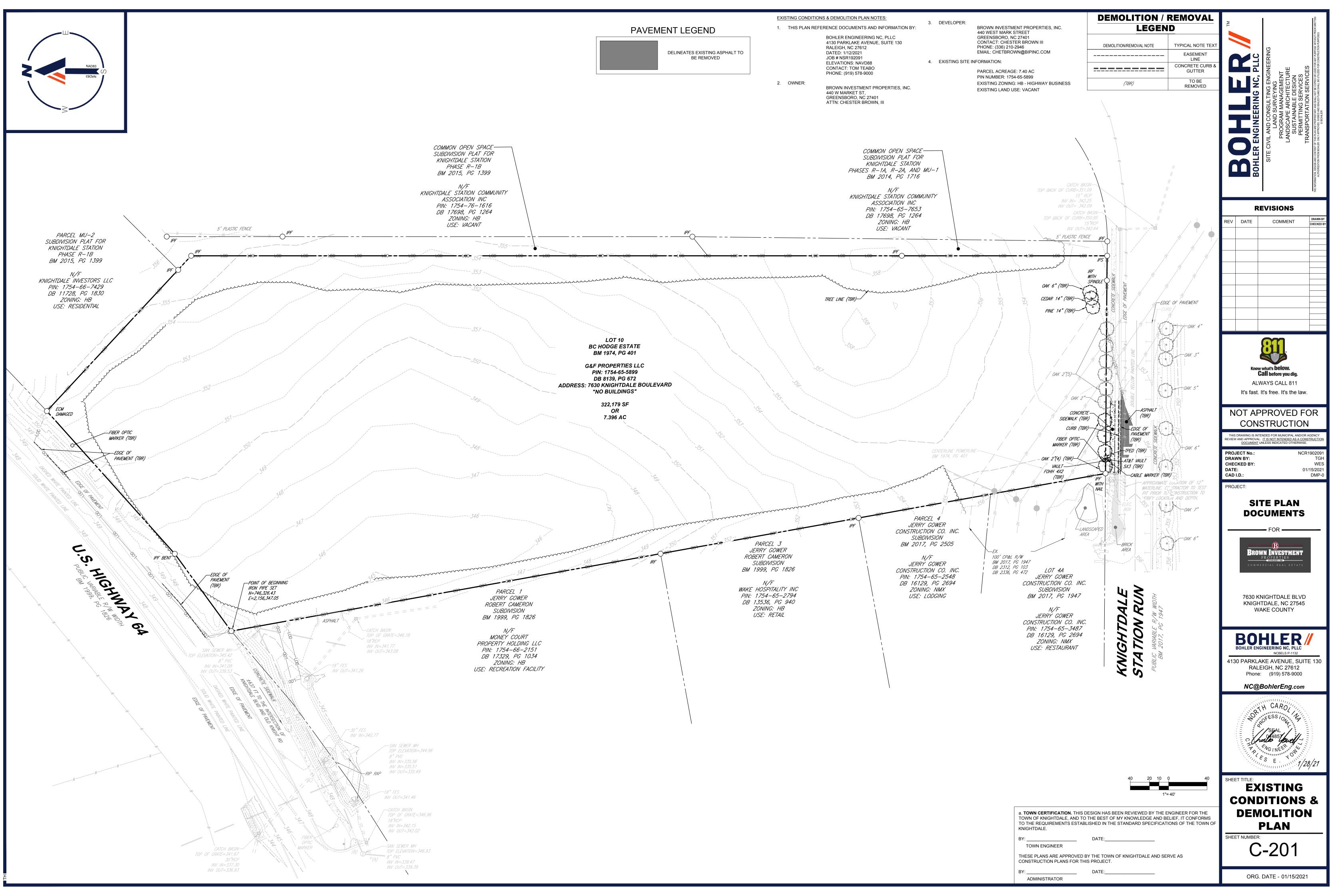


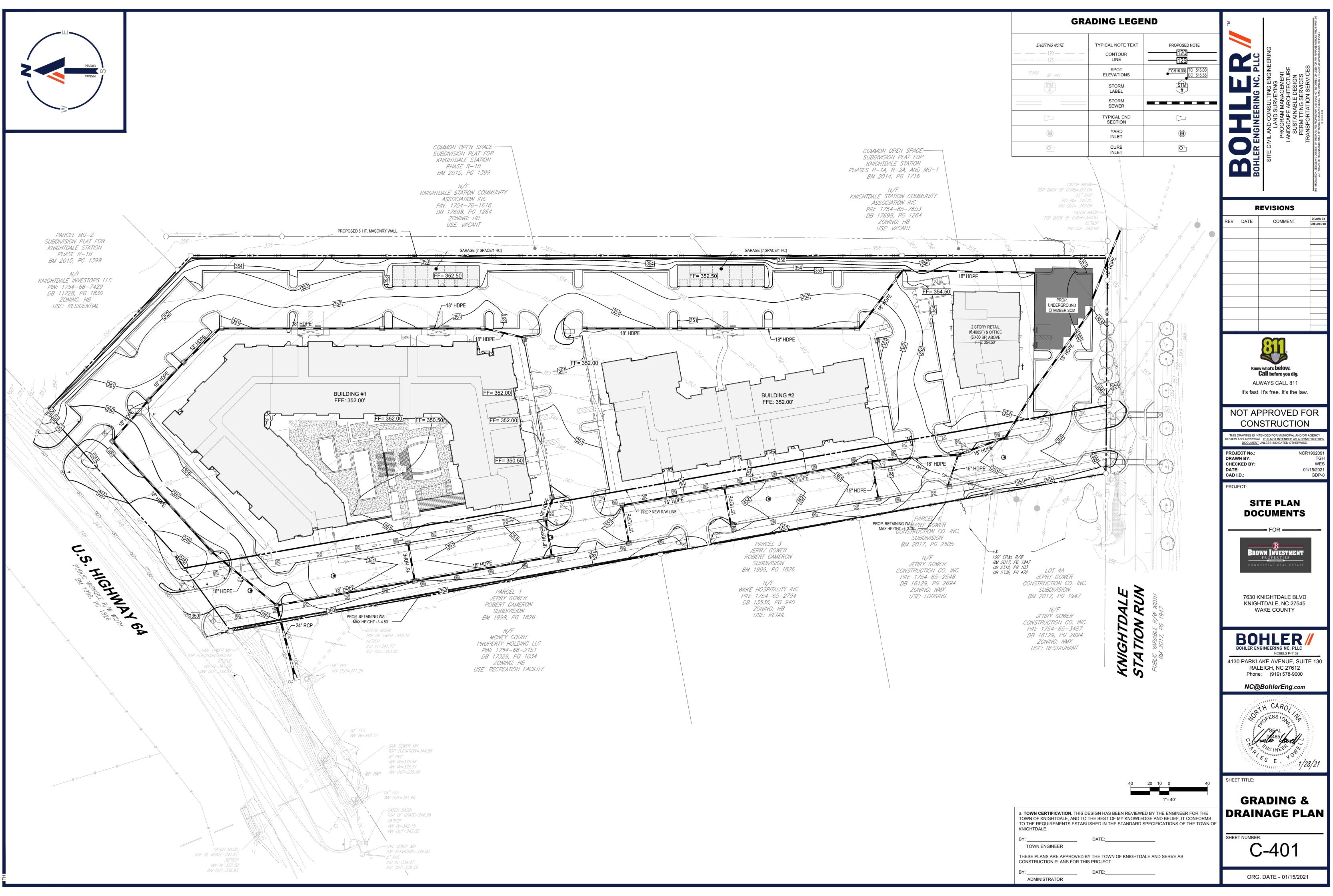
4 90 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	BM 1974, PG 401 BM 1999, PG 1826 BM 2014, PG 1716
	BM 2017, PG 1947 BM 2017, PG 2505 DB 8139, PG 672 DB 2336, PG 103 DB 17329, PG 1034 DB 13536, PG 940
	DB 16129 PG 2694
SURVEYOR CERTIFICATION I, THOMAS E. TEABO, PLS, HEREBY CERTIFY THAT THIS PLAT WAS SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPER MAP REFERENCES AS NOTED ON SAID MAP, THAT THE BOUNDAR CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED NOTED ON SAID MAP	RVISION, FROM DEED AND IES NOT SURVEYED ARE
THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF TH IS 1: 10,000+, THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN FROM INFORMATION OF RECORD; THAT THIS MAP WAS PREPARED TITLE 21, CHAPTER 56, INCAC, AS AMENDED. I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPER GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWIN TO PERFORM THE SURVEY.	NAS BROKEN LINES PLOTTED
 (1) CLASS OF SURVEY, "CLASS A" (2) POSITIONAL ACCURACY: 0.04 (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NE (4) DATES OF SURVEY: 10/07/2020-10/08/2020 (5) DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00 (6) PUBLISHED/FIXED-CONTROL USE: NCVRS (7) GEOID MODEL: 2012 (CONUS) (8) COMBINED GRID FACTOR(S): 0.999906081 	
(9) UNITS: US SURVEY FEET WITNESS MY ORIGINAL SIGNATURE: LICENSE NUMBER AND SEAL 12TH DAY OF JANUARY A.D., 2021	
CIMETRO TITLE COMPANY COMMONWEALTH LAND TITLE INSURANCE	
HAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE E WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR E SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS 1, 2, 3, 4, 8, 13 & 14, OF TABLE A THEREOF. THE FIELD WORK WAS DBER 8, 2020.	PROPERTY OF G & F PROPERTIES, LLC PIN: 1754-65-5899 DB 8139, PG 672
	TOWN OF KNIGHTDALE ST MATTHEWS TOWNSHIP WAKE COUNTY, NORTH CAROLINA

THÓMAS E. TEABO, PLS

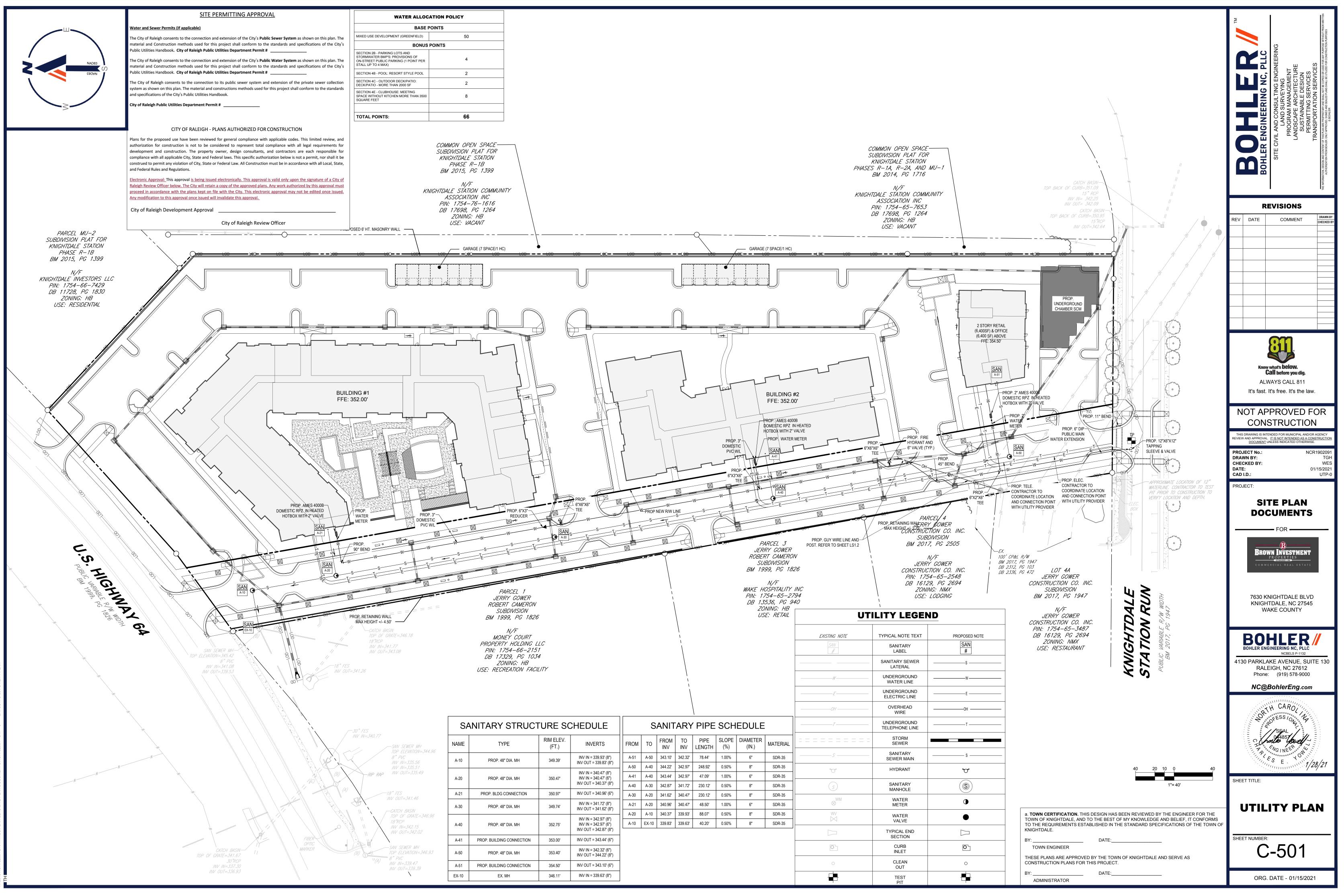
NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. L-3920 THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPER BY THE NAMED PURCHASER INO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER



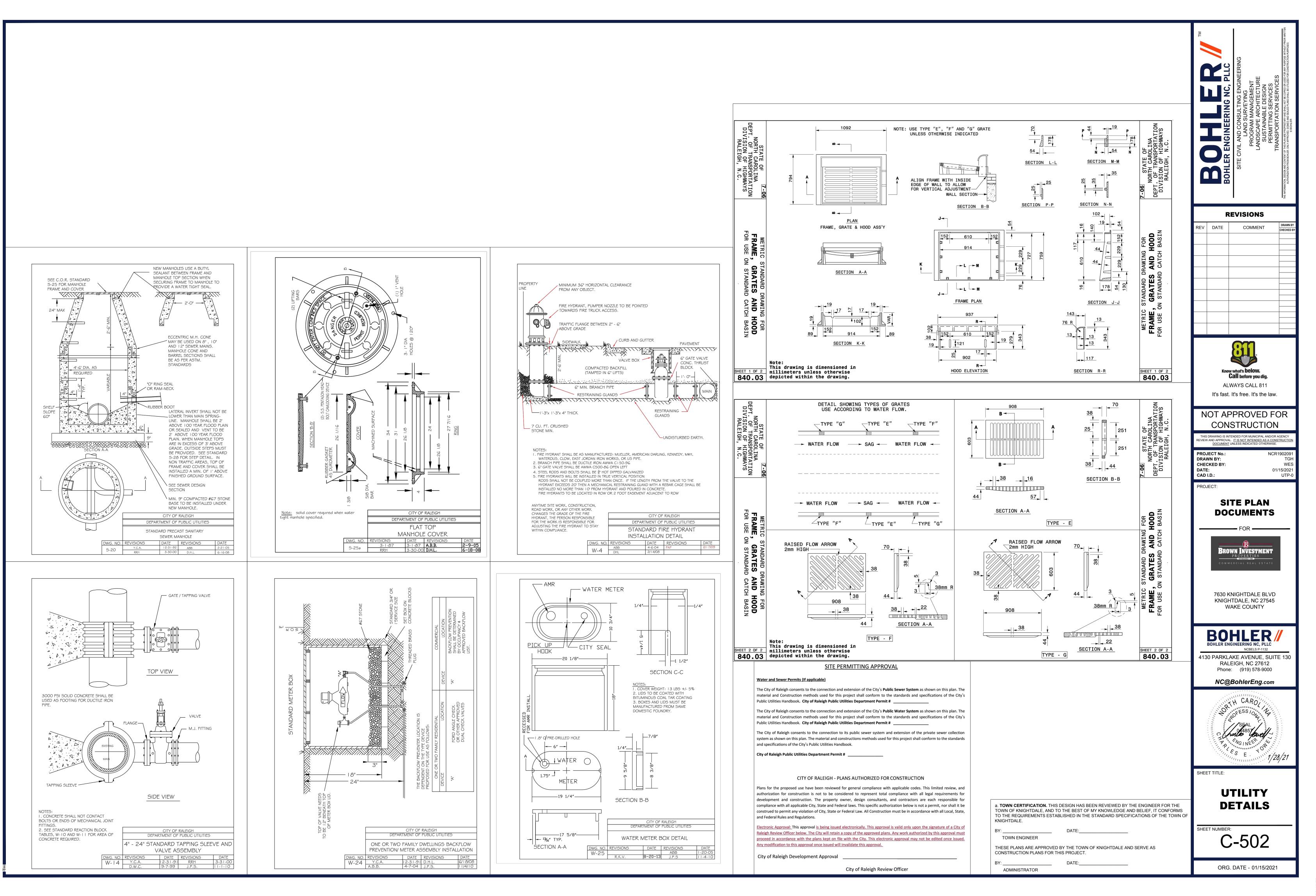




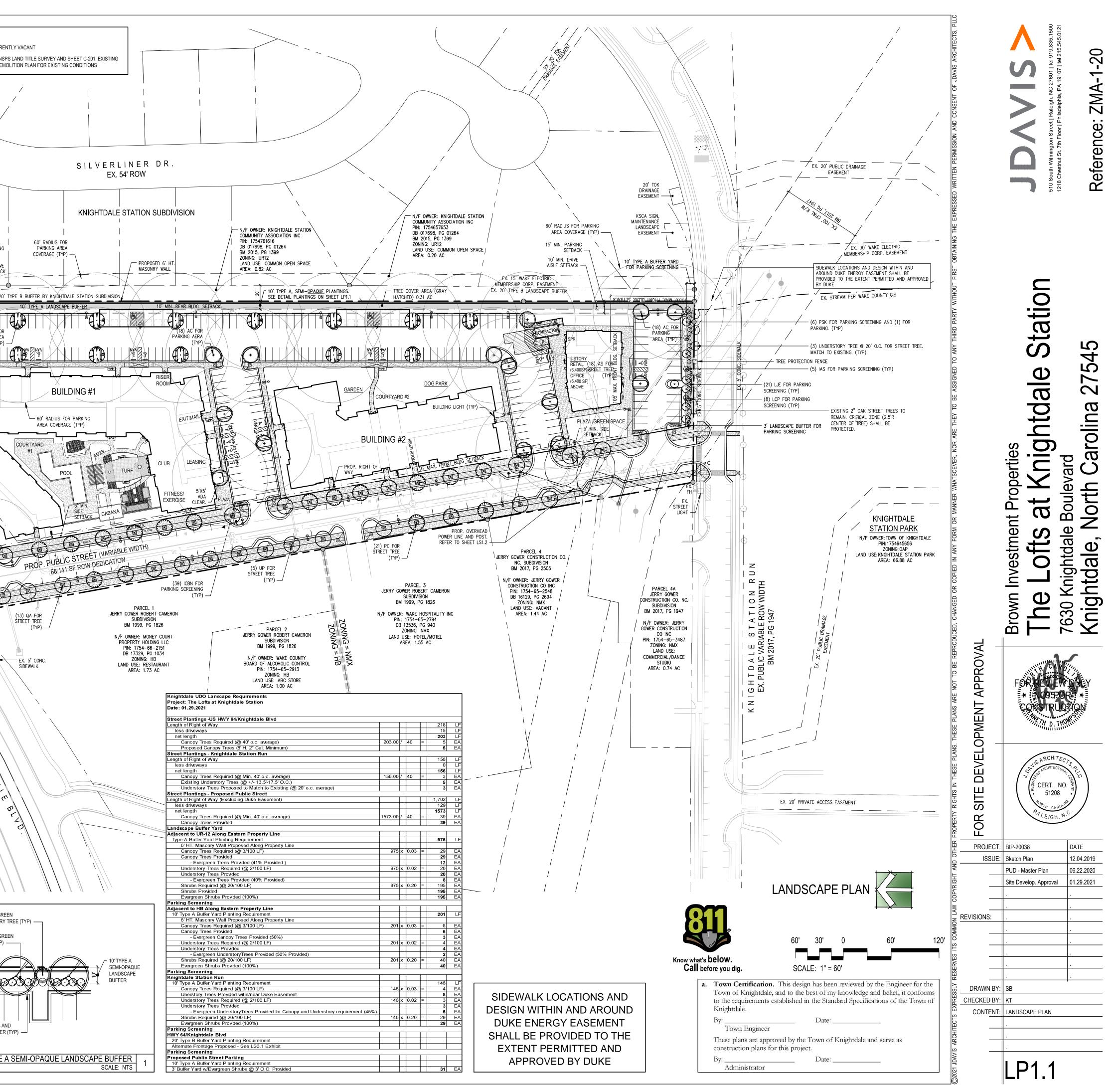
Jan 28, 2021 H::2019\NCR192091\DRAWINGS\PLAN SETS\SITE PLAN DOCUMENTS\NCR192091 - GDP - 0---->LAYOUT: C-401 GRADING & DRAINAGE PLAN

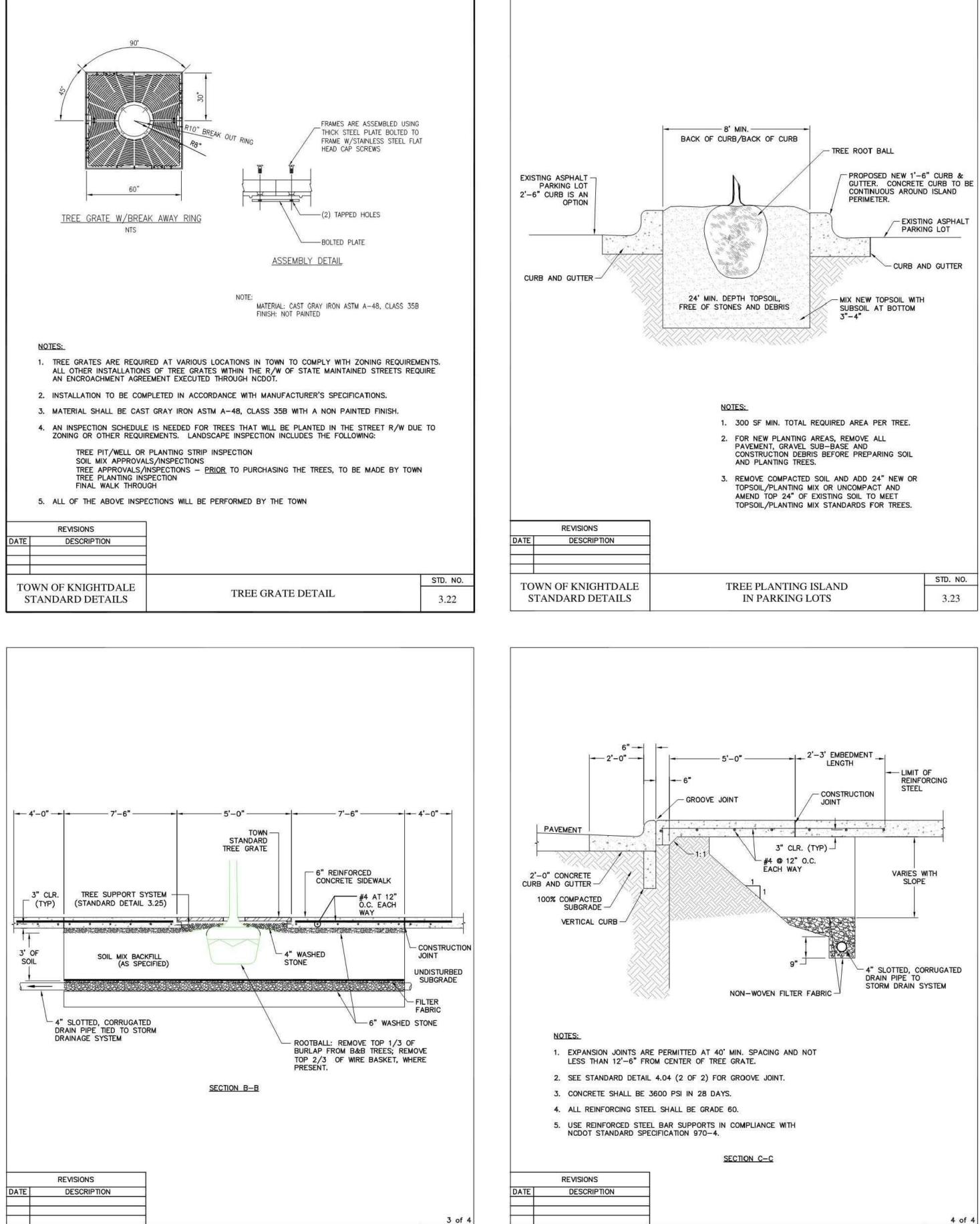


Jan 28, 2021 Hy2019\NCR192091\DRAWINGS\PLAN SETS\SITE PLAN DOCUMENTS\NCR192091 - UTP - 0----->LAYOUT: G-501 UTILITY PL



	QTY	ANT SYM	LIST - THIS SHEET ON L BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	WDTH	REMARKS	<u>NOTES:</u> 1. THE SITE IS CURREI
	CAN 18			Legacy Sugar Maple	2" MIN	8' MIN		Parking	2. REFER TO ALTA NS
	20 21		Alnus hirsuta	Manchurian Alder				Park. Screening/Buffer	
	17	QL	Quercus lyrata	Overcup Oak	2" MIN	8' MIN		Parking Area	
	INE	RST	ORYTREES						
	5	IAS	llex × attenuata 'Savannah'	Savannah Holly	2" MIN	6' MIN		Evergreen; Parking Screening	
	7		Prunus serrulata 'Kwanzan'	Kwanzan Cherry	1.5" MIN	6' MIN		Parking Area/Screening	
Bit International of the functional of the part of the	6 H R		· · · · · · · · · · · · · · · · · · ·	-	· · · ·		15" MIN		
Image: contract of the contra	88	LCP	Loropetalum chinense 'Purple Diamond'	Purple Diamond Loropetalum	3 Gal.	24" MIN	15" MIN	Evergreen; Park. Screening/Buffer	
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CCF - Cardio canadensis Forest Pansy (FOREST PANSY REDBUD) FOR PARKING SCREENINGBUFFER YARD C A - Ibax + attenuate Someona't (Swannah Holly) - EVERGREEN FOR PARKING SCREENING C - Company that Fortunal (Wild Olive) - EVERGREEN FOR PARKING SCREENING C - Company that Fortunal (Wild Olive) - EVERGREEN FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - Company that Kwanzari (WIANZAN CHERRY) FOR PARKING SCREENING C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN FOR PARKING SCREENING C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum chinenise Pupple Diamond' (LOROPETALUM) - EVERGREEN C - LCP - Longetatum c	معمد سر								
COF - Cercis canademis 570est Parsy (FOREST PANSY REDBUD) FOR PARKING SCREENINGBUFFER YARD C - Comanitius Fontuni (Wid Oling) - EVERGREEN FOR PARKING SCREENING C - Comanitius Fontuni (Wid Oling) - EVERGREEN FOR PARKING SCREENING C - Comanitius Fontuni (Wid Oling) - EVERGREEN FOR PARKING SCREENING C - Comanitius Fontuni (Wid Oling) - EVERGREEN C - FOR PARKING SCREENING C - Comanitius Fontuni (Wid Oling) - EVERGREEN C - FOR PARKING SCREENING C - Comanitius Fontuni (Wid Oling) - EVERGREEN C - C - C - C - C - C - C - C - C - C -	۲ + نمہہ								BC 0
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COF- Carcis canadensis Forest Paney (FOREST PANSY REDBUD) FOR PARKING SCREENINGBUFFER YARD Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN FOR PARKING SCREENING Cof- Comaniting Fortune (Wild Olive) - EVERGREEN FOR PARKING SCREENING Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN FOR PARKING SCREENING Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN FOR PARKING SCREENING Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN FOR PARKING SCREENING Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN FOR PARKING SCREENING Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN Cof- Cof- Comaniting Sourceast (Savannah Holly) - EVERGREEN Cof- Cof- Cof- Cof- Cof- Cof- Cof- Cof-	J.	FOR	PARKING AREA			/ /			I ROLF.
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 FOR PARKING SCREENING OF- Osmanthus Fortunei (Wild Olive) - EVERGREEN FOR PARKING SCREENINGBUFFER YARD PSK - Prinus semulate Kwanzan (KWANZAN CHERRY) FOR PARKING SCREENINGB PSK - Prinus semulate Kwanzan (KWANZAN CHERRY) FOR PARKING SCREENING Existing Street TREE FOR KNIGHT STATION RUN, STREET TREE MATCH TO EXISTING TREE FOR KNIGHT STATION RUN, STREET TREE MATCH TO EXISTING TREE FOR KNIGHT STATION RUN, STREET TREE ICBN - Ilex comuta Burdordii Nand' (DWARF BURFORD HOLLY) - EVERGREEN FOR PARKING SCREENING ICP - Loropetalum chinense "Purple Diamond' (LOROPETALUM) - EVERGREEN FOR PARKING SCREENING ULP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER ICP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER ICP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER ICP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER ICP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER ICP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER ICP - Loropetalum chinense Table Diamond' (LOROPETALUM) - EVERGREEN GUTTER 	Z			· · · · · · · · · · · · · · · · · · ·					
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FOR PARKING SCREENING/BUIFFER VARD PSK - Prunus semulata Ywanzan' (KWANZAN CHERRY) FOR PARKING SCREENING O PSK - Prunus semulata Ywanzan' (KWANZAN CHERRY) FOR PARKING SCREENING O EXISTING STREET TREE FOR KNIGHT STATION RUN, STREET TREE MATCH TO EXISTING TREE FOR KNIGHT STATION RUN, STREET TREE O LOP - Loropetalum chinense Purple Diamond' (LOROPETALUM) - EVERGREEN FOR PARKING SCREENING O LOP - Loropetalum chinense Purple Diamond' (LOROPETALUM) - EVERGREEN FOR PARKING SCREENING		CCF FOR	PARKING SCREENING/BUFFER YARD						
FOR PARKING SCREENING/BUFFER VARD PSK - Prunus semulata 'Kwanzan' (KWANZAN CHERRY) FOR PARKING SCREENING PSK - Prunus semulata 'Kwanzan' (KWANZAN CHERRY) FOR PARKING SCREENING (CCP) UNDERSTORY (CCP) UNDERSTORY (URD EXISTING SCREENING (AH) CANOPY TREE (TYP) (LCP) EVERGREEN (LCP		CCF FOR I	PARKING SCREENING/BUFFER YARD Ilex × attenuata 'Savannah' (Savannah Holly) - EVERGREEN						
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 ICBN - Ilex cornuta 'Burfordii Nana' (DWARF BURFORD HOLLY) - EVERGREEN FOR PARKING SCREENING LCP - Loropetalum chinense 'Purple Diamond' (LOROPETALUM) - EVERGREEN FOR PARKING SCREENING/BUFFER YARD LIE - Ligustrum isopolicum 'East Bay' (EAST BAY LIGUISTPI IM) - EVERGREEN GUTTER 	$\overline{\mathbf{x}}$	CCF FOR IAS - FOR OF - (FOR FOR EXIST	PARKING SCREENING/BUFFER YARD Ilex × attenuata 'Savannah' (Savannah Holly) - EVERGREEN PARKING SCREENING Osmanthus Fortunei (Wild Olive) - EVERGREEN PARKING SCREENING/BUFFER YARD - Prunus serrulata 'Kwanzan' (KWANZAN CHERRY) PARKING AREA/PARKING SCREENING TING STREET TREE	(AH) CAI	M 6' HEIGHT RY WALL		JACENT PROPE	(CCF) UNDERSTORY TREE (TYP)	(OF) EVERGRE UNDERSTORY (LJE) EVERGR SHRUB. (TYP) (LCP) EVERGREEN
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GUTTER		CCF FOR IAS - FOR FOR FOR FOR FOR I CBN	PARKING SCREENING/BUFFER YARD Ilex × attenuata 'Savannah' (Savannah Holly) - EVERGREEN PARKING SCREENING Osmanthus Fortunei (Wild Olive) - EVERGREEN PARKING SCREENING/BUFFER YARD - Prunus serrulata 'Kwanzan' (KWANZAN CHERRY) PARKING AREA/PARKING SCREENING ING STREET TREE KNIGHT STATION RUN, STREET TREE CH TO EXISTING TREE KNIGHTDALE STATION RUN, STREET TREE - Ilex cornuta 'Burfordii Nana' (DWARF BURFORD HOLLY) - E'	(AH) CAI MINIMU MASON	M 6' HEIGHT RY WALL			(CCF) UNDERSTORY TREE (TYP) EVERGREEN NOPY TREE (TYP)	(OF) EVERGRE UNDERSTORY (LJE) EVERGR SHRUB. (TYP) SHRUB. (TYP)
		CCF FOR FOR FOR FOR FOR FOR FOR FOR FOR FO	PARKING SCREENING/BUFFER YARD Ilex × attenuata 'Savannah' (Savannah Holly) - EVERGREEN PARKING SCREENING Osmanthus Fortunei (Wild Olive) - EVERGREEN PARKING SCREENING/BUFFER YARD - Prunus serrulata 'Kwanzan' (KWANZAN CHERRY) PARKING AREA/PARKING SCREENING TING STREET TREE KNIGHT STATION RUN, STREET TREE CH TO EXISTING TREE KNIGHTDALE STATION RUN, STREET TREE - Ilex cornuta 'Burfordii Nana' (DWARF BURFORD HOLLY) - E' PARKING SCREENING	(AH) CAI MINIMU MASON	M 6' HEIGHT RY WALL			(CCF) UNDERSTORY TREE (TYP) EVERGREEN NOPY TREE (TYP)	(OF) EVERGRE UNDERSTORY (LJE) EVERGRE SHRUB. (TYP) SHRUB. (TYP) + + PARKING (TYP)
C + 2 LIE - Ligustrum japonicum 'East Bay' (EAST BAY LIGUSTRUM) - EVERGREEN FOR PARKING SCREENING/BUFFER YARD		CCF FOR IAS - FOR FOR FOR FOR ICBN FOR LCP -	PARKING SCREENING/BUFFER YARD Ilex × attenuata 'Savannah' (Savannah Holly) - EVERGREEN PARKING SCREENING Osmanthus Fortunei (Wild Olive) - EVERGREEN PARKING SCREENING/BUFFER YARD - Prunus serrulata 'Kwanzan' (KWANZAN CHERRY) PARKING AREA/PARKING SCREENING TING STREET TREE KNIGHT STATION RUN, STREET TREE CH TO EXISTING TREE KNIGHTDALE STATION RUN, STREET TREE - Ilex cornuta 'Burfordii Nana' (DWARF BURFORD HOLLY) - E' PARKING SCREENING - Loropetalum chinense 'Purple Diamond' (LOROPETALUM) - E	(AH) CAI MINIMU MASON	M 6' HEIGHT RY WALL			(CCF) UNDERSTORY TREE (TYP) EVERGREEN NOPY TREE (TYP)	SHRUB. (TYP)





STD. NO.

3.24

TREE PIT WITH GRATE IN SIDEWALK

TOWN OF KNIGHTDALE

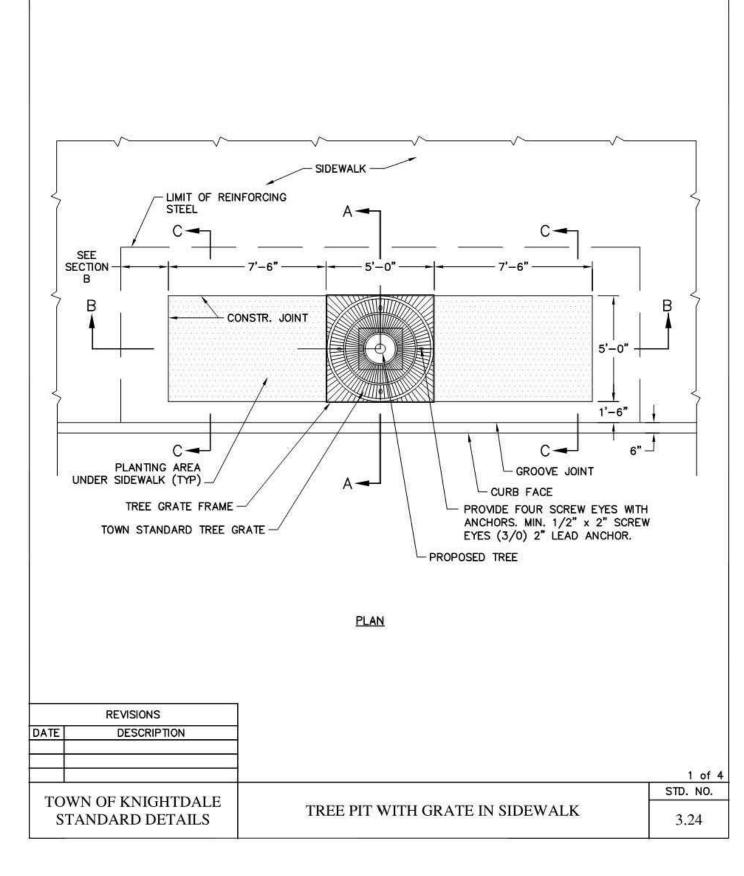
STANDARD DETAILS

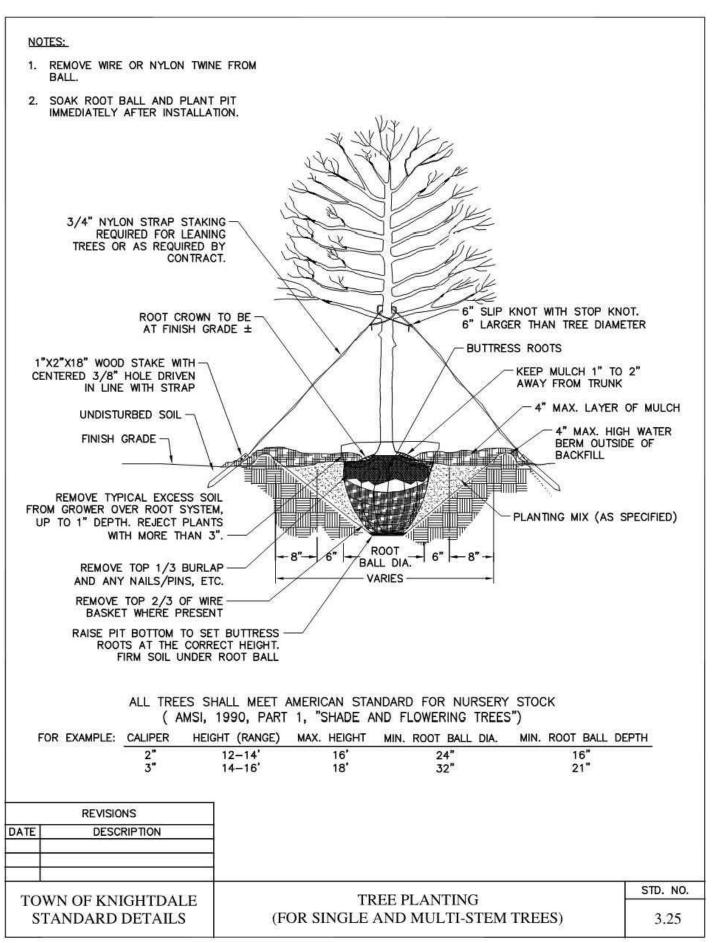
TOWN OF KNIGHTDALE

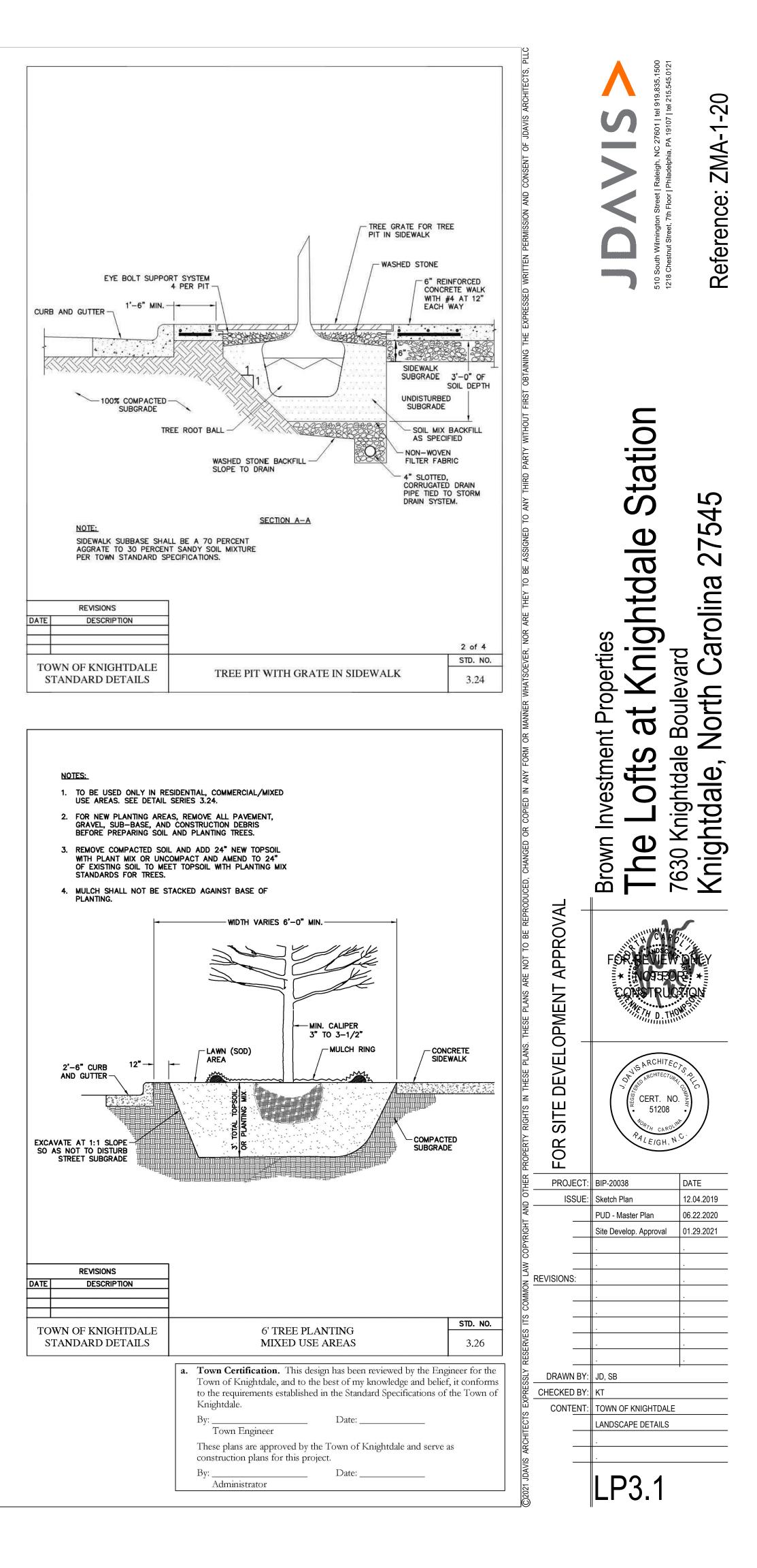
STANDARD DETAILS

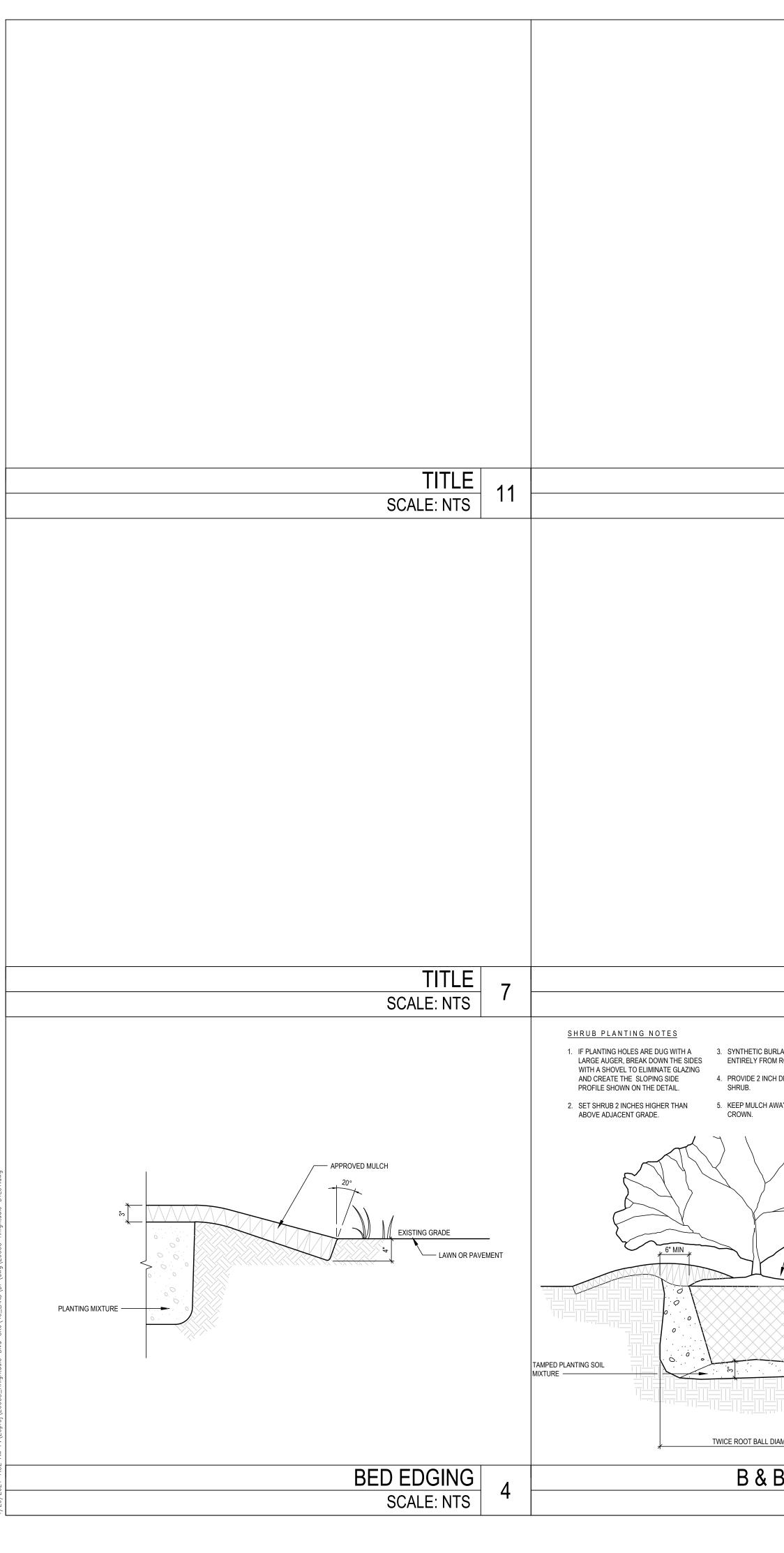
	STD. NO.
TREE PLANTING ISLAND IN PARKING LOTS	3.23











TITLE SCALE: NTS	10	TITLE 9	
TITLE SCALE: NTS	6	LANDSCAPE NOTES SCALE: NTS 5	1.THE PL2.ALL LA SPECIF2.FINAL S FROM3.ALL CO4.CONTF5.ALL PL6.ALL PL6.ALL PL6.ALL PL7.VERIFI RESPO BIDDIN8.THE DF CONTF9.ALL PL OF ALL 48 HOU10.ALL TR AND M11.IF TREIS SHALL
RLAP SHALL BE REMOVED M ROOT BALL. 1 DEEP SAUCER AROUND WAY FROM ROOT WAY FROM ROOT AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD. WAY FROM ROOT WAY FROM R	g Sheet. Lap from top Ball	ASS PLANTING NOTES PRUNE COMMED, BROKEN OF STRAY BRANCHES CUT FLUSH LEAVING CAMBRIAM EDGE GLEAN COURT VARIES AND COMBRIAM EDGE GLEAN COURT VARIES COURT	 ALL HV ALL COPERMIDEVEL MIN. 20 TREES TREES TREES TREES CONTFINIPAR A TREE FIELD A THE SI THE CO
H DEEP SAUCER AROUND MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD. WAY FROM ROOT KEEP MULCH AWAY FROM ROOT CROWN 3" MULCH LAYER SEE BED EDGIN DETAIL ON THIS SEE BED EDGIN DETAIL ON THIS BREAK UP SUBSOIL WITH F BREAK UP SUBSOIL WITH F	SHEET.	 PRUNE CROWDED, BROKEN, OR STRAY BRANCHES. CUT FLUSH, LEAVING CAMBIUM EDGE CLEAN. CROWN PLANTING SED AMN. OF 3 NOHES ABOVE STRUCTORS WHERE BEDS SHALL BE SLOPED TO NEAREST DRAIN BASIN. KEEP MULCH AWAY FROM ROOT CROWN. KEEP MULCH AWAY FROM ROOT CROWN. KEEP MULCH AWAY FROM ROOT CROWN. SEE BLO EDGING DI NUCLEARE AND THE STRUCTURE OF THE SUBGRADE CONTTAINEED IN UFTS SEE SPECS FOR COMPOSITION 	19. MIN 20. TRE 21. TRE 22. TRE 23. COI IN F 24. A T 25. FIE 26. THE 27. THE

<u>L</u> <u>A</u> 1.	TITLE SCALE: NTS 8	THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPR	itdale Station ina 27545
2.	ALL LANDSCAPING AND CONSTRUCTION WITHIN AND AROUND DUKE POWER EASEMENT WILL CONFORM TO THE STANDARDS AND	ARE	^s <u>d</u>
2.	FINAL STREET TREE PLANTINGS ALONG U.S. HIGHWAY/KNIGHTDALE BOULEVARD TO BE APPROVED BY NCDOT AND REQUIRED TO OBTAIN PERMIT FROM NCDOT. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.	NNER WHATSOEVER, NOR	ertie ard Ca
4.	CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION.	WHATSO	
5. 6.	OF THE SPECIES. PROVIDE SIZES OF PLANTS AS SHOWN OR SCHEDULED CONFORMING TO ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY	OR MANNER	I Pro Boul
7.	VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.	FORM	nen IS B, N
8.	CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL.	ANA	estm Off htda ale,
	48 HOURS NOTICE FOR REVIEW.		Inve Anigh htd:
	ALL TREE SAUCERS SHALL BE CONSTRUCTED TO THE SIZES SHOWN ON THE LANDSCAPE PLAN. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION. IF TREE GUYING TO BE PERFORMED, IT SHALL BE PERFORMED WITHIN FORTY EIGHT (48) HOURS OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE GUYING WIRES, RUBBER HOSES, AND STAKES AFTER THE FIRST FULL GROWING SEASON OR	CHANGED	own 30 H Digl
12.		VAL	Б П К И К
13.	PLANTING BEDS AND SAUCERS SHALL BE EDGED TO PROVIDE A THREE INCH (3") DEEP "V" CUT ALONG ITS BORDER WITH SODDED OR SEEDED AREAS	i O I	WHIT CAR O'
14.	ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED	PPR(FOR BEVIEW DIE
15.	WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN,	AR -	Ĩ★ NO9550RE ★ €QNSTRUCKIQN
16.	ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.	PM	TH D. THOM
	ALL HVAC EQUIPMENTS OF THIS PROJECT TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS. ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING		RCHITECT
19		\vdash \cap \mid	AND ARCHITECTURAL
20.	TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.		Signature CERT. NO. MAR ■ 51208 •
21. 22.		± 0)	RALEIGH, N.C.
23.	CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.	FOR	CEIGH, (
24.			BIP-20038 DATE
25. 26.		ISSUE:	Sketch Plan 12.04.2019 PUD - Master Plan 06.22.2020
27.		COPYRIGHT	PUD - Master Plan 06.22.2020 Site Develop. Approval 01.29.2021 . .
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		KESERV	· · · · · · · · · · · · · · · · · · ·
	a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms	DRAWN BY:	SB
	to the requirements established in the Standard Specifications of the Town of Knightdale.	CHECKED BY:	KT LANDSCAPE DETAILS AND
	By: Date: Town Engineer		NOTES
	These plans are approved by the Town of Knightdale and serve as construction plans for this project.		<u>.</u>
	By: Date:	CITECTS EXPRESSIV RESERVES IIS DRAWN BY: CHECKED BY: CHECKED BY: CONTENT: CONTENT:	
		C)202	LP3.2

510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500 1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

S

Reference: ZMA-1-20

