

SYMBOLS AND ABBREVIATIONS

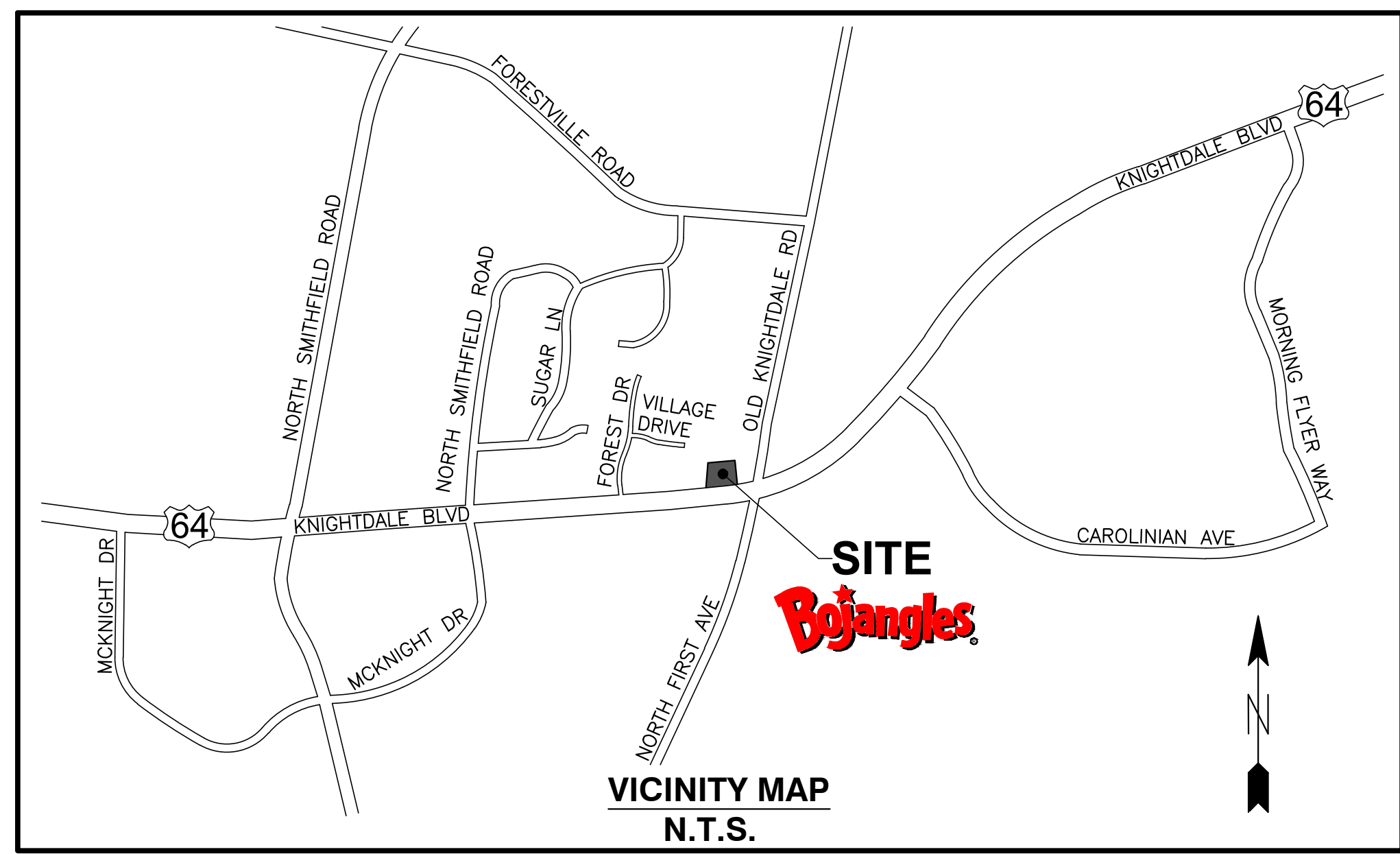
Table listing symbols and abbreviations for various construction elements such as ABC AGGREGATE BASE COURSE, B-B BACK TO BACK, BOA BLOW-OFF ASSEMBLY, etc.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE STANDARDS & SPECIFICATIONS

BOJANGLES RESTAURANT - REMODEL 7525 KNIGHTDALE BLVD, KNIGHTDALE, NC 27545

CONDITIONAL DISTRICT REZONING / MASTER PLAN CONSTRUCTION PLANS FOR NEW HIGHWAY 64 ROAD IMPROVEMENTS, VESTIBULE RENOVATION, BUILDING FACADE UPGRADES & H/C PARKING RESTRIPIING

TOWN OF KNIGHTDALE PROJECT#'s 501031 & ZMA-2-20



CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE MUNICIPALITY STANDARDS, SPECIFICATIONS, AND DETAILS. WORK IN THIS PROJECT SHALL ALSO CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, THE FINAL GEOTECHNICAL REPORT, AND GENERAL DESIGN STANDARDS. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.

- LABORATORY AND THE CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REPRESENTING THE LABORATORY.
2. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES/SUPERELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.

FEMA & WETLANDS NOTE:

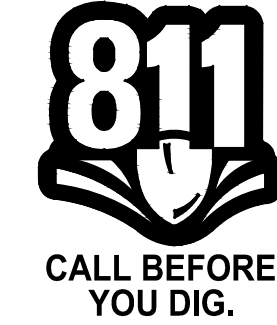
THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAN PER FEMA MAP #3720175400J EFFECTIVE DATE MAY 05, 2006.

TOWN OF KNIGHTDALE NOTES:

- 1. DUE TO THE LIMITED SIZE OF THE SITE, WAKE COUNTY WILL NOT REVIEW AN S&EC PLAN. HOWEVER, TOWN OF KNIGHTDALE WILL REQUIRE S&EC MEASURES.
2. ANY CHANGES TO EXISTING GROUND SIGN IS SUBJECT TO A SEPARATE PERMIT AND APPROVAL.
3. ALL IMPROVEMENTS AND WORK WITHIN ROW WILL REQUIRE ENCROACHMENT PERMIT FROM NCDOT.

SURVEY INFORMATION

BOUNDARY TOPOGRAPHY PROVIDED BY:
NEWCOMB LAND SURVEYORS, PLLC
7008 HARPS MILL RD., STE. 105
RALEIGH, NC 27615
OFFICE: 919-847-1800, NC LICENSE # P-0203



NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICES OF THE TOWN OF KNIGHTDALE AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.

SITE DATA

Table with site data including PROJECT NAME: BOJANGLE'S RESTAURANT BUILDING RENOVATION, TOWN OF KNIGHTDALE PROJECT #'S: 501031 & ZMA-2-20, PIN: 1754-56-4381, OWNER: KNIGHTDALE RA LLC, 800 S MINT STREET, CHARLOTTE, NC 28202, etc.

SETBACKS:

STREET: 77' (BM 1989, PG 72)

BUILDING INFORMATION:

Table with building information: EXISTING BUILDING AREA: 3,442 G.S.F., NUMBER OF STORIES: 1 STORY, BUILDING HEIGHT - MAXIMUM TO PARAPET: 19'-8", SEATING CAPACITY: 100 SEATS

VEHICLE PARKING SPACE REQUIREMENTS & CALCULATIONS:

Table with parking requirements: EXISTING PARKING SPACES: 42 SPACES (INCL. 2 H/C SPACES), UDO CHAPTER 10 SEC. 10.3.D.4.C - 15 MOTORIZED VEHICLE SPACES PER ksf GFA, TOTAL MAXIMUM PARKING SPACES REQUIRED: 3,442 / 1000 x 15 = 51.163, etc.

HANDICAP PARKING SPACE REQUIREMENTS:

Table with handicap parking requirements: REQUIRED MIN. HANDICAP ACCESSIBLE PARKING SPACES: 2 - ONE STANDARD HC PARKING SPACE & ONE VAN ACCESSIBLE PARKING SPACE

BICYCLE PARKING SPACE REQUIREMENTS & CALCULATIONS:

Table with bicycle parking requirements: UDO CHAPTER 10 SEC. 10.3.C.3 - 1 BICYCLE SPACE PER 10 MOTORIZED VEHICLE SPACES, TOTAL REQUIRED BIKE SPACES: 39 / 10 = 3.9, etc.

IMPERVIOUS AREAS:

Table with impervious areas: PRE-IMPERVIOUS AREA: 0.62 AC. - 27,045 S.F. (68%), POST-IMPERVIOUS AREA: 0.63 AC. - 27,466 S.F. (69%)

LIMITS OF DISTURBANCE: 0.40 AC. (17,500 S.F.)

SHEET INDEX

Table with sheet index: COVER, C1.0 EXISTING CONDITIONS, C1.1 PROPOSED SITE PLAN, C1.2 PROPOSED SIGNS & MARKINGS PLAN, C3.1 PROPOSED GRADING & DRAINAGE AND EC PLAN, C5.1 SITE DETAILS, C5.2 STORM DRAINAGE DETAILS, L1.1 LANDSCAPE PLAN, LIGHTING PLAN, A2.1 BUILDING ELEVATIONS, A3.1 BUILDING SECTIONS

DEVELOPER / RESTAURANT OWNER:

TRI-ARC FOOD SYSTEMS
4905 WATERS EDGE DRIVE
RALEIGH, NC 27606

CONTACT: TOMMY HADDOCK, PRES.
PHONE: (919) 859-1131
EMAIL: Thaddock@Bojanglesrdu.com

ARCHITECT:

DESIGN DEVELOPMENT ARCHITECTS
800 SALEM WOODS DRIVE, SUITE 102
RALEIGH, NC 27615

CONTACT: T.J. (TOM) MULDER, PM
PHONE: (919) 848-4474
EMAIL: Tomm@Designdevelopment.com

ENGINEER / LANDSCAPE ARCHITECT:



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607

TELEPHONE: (919) 851-4422
FAX: (919) 851-8968

CERTIFICATION NUMBERS:
NCBELS (C-0110) & NCBOLA (C-0267)

CONTACT: DAVID H. BLEVINS, P.E.
EMAIL: David.Blevins@BNKinc.com

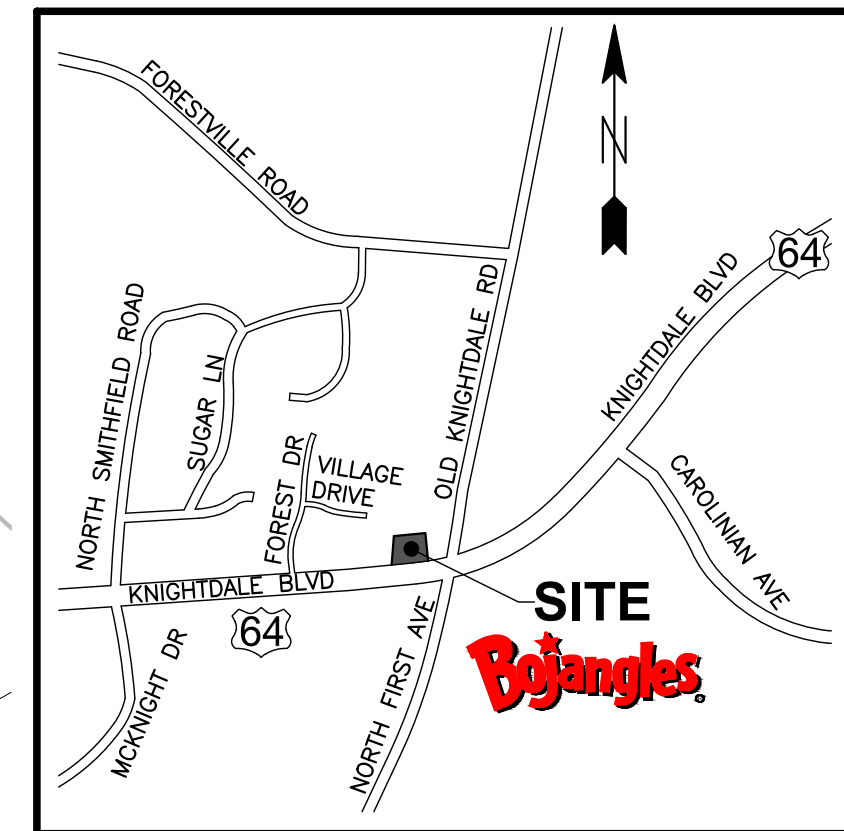
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to the approval once issued will invalidate this approval.

City of Raleigh Development Approval
City of Raleigh Review Officer

Table with revision history: NO., DATE, DESCRIPTION, BY. Includes entries for TOK SIGNATURES, 2ND TOK CONST. COMMENTS, 1ST TOK CONST. COMMENTS, 1ST TOK REVIEW COMMENTS.



VICINITY MAP  
N.T.S.

**SITE DATA**

PROJECT NAME: BOJANGLES' RESTAURANT BUILDING RENOVATION  
 PIN: 1754-56-4381  
 OWNER: KNIGHTDALE RA LLC  
 800 S MINT STREET, CHARLOTTE, NC 28202  
 PARCEL ID #: 0173890  
 DEED BOOK: 15647 PAGE 439  
 BOOK OF MAPS: 1989 PAGE 72  
 ADDRESS: 7525 KNIGHTDALE BLVD  
 KNIGHTDALE, NC 27545  
 EXISTING ZONING: HB (HIGHWAY BUSINESS)  
 SITE LOCATED IN TOWN LIMITS: YES  
 EXISTING ACREAGE: 0.92 ACRES  
 RIVER BASIN: NEUSE  
 WATERSHED: N/A  
 LAND USE: COM/FAST FOOD  
 EXISTING USE: FAST FOOD RESTAURANT

**SURVEY INFORMATION**

BOUNDARY TOPOGRAPHY PROVIDED BY:  
 NEWCOMB LAND SURVEYORS, PLLC  
 7008 HARRIS MILL RD., STE. 105  
 RALEIGH, NC 27615  
 OFFICE: 919-847-1800, NC LICENSE # P-0203

**FEMA & WETLANDS NOTE:**

THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN PER FEMA MAP #3720175400J EFFECTIVE DATE MAY 05, 2006.

**LEGEND & NOMENCLATURE:**

SYMBOLS	LINE TYPES
○ EX. IRON PIPE/ROD OR NAIL	—X— FENCE
■ EX. CONCRETE MONUMENT	—OU— OVERHEAD UTILITY
○ NEW IRON PIPE	—W— WATER
○ CALCULATED POINT	—SS— SANITARY SEWER
□ CABLE PEDESTAL	—SD— STORM DRAIN
□ TELEPHONE PEDESTAL	
□ ELECTRIC PEDESTAL	
□ FIBER-OPTIC MARKER	
□ TRAFFIC SIGNAL BOX	
□ WATER METER	
□ FIRE HYDRANT	
□ VALVE (WATER OR GAS)	
□ SANITARY SEWER MANHOLE	
□ SANITARY SEWER CLEANOUT	
□ STORM CURB INLET	
□ DRAINAGE INLET (W/ GRATE)	
□ STORM DRAIN MANHOLE	
□ UTILITY POLE	
□ LAMP POST	
□ SIGNAL POLE	
□ GUY WIRE	
□ SIGN POST	
	—DB— DEED BOOK
	—PB or BM— PLAT BOOK/BOOK OF MAPS
	—N/F— NOW OR FORMERLY
	—Pg.— PAGE
	—SF— SQUARE FEET
	—Ac.— ACRES
	—R/W— RIGHT-OF-WAY
	—NCSR— NC STATE ROUTE
	—NCDOT— NC DEPT. OF TRANSPORTATION
	—R/W— RIGHT-OF-WAY
	—EX.— EXISTING
	—RCP— REINFORCED CONCRETE PIPE
	—PVC— POLYVINYL CHLORIDE PIPE
	—(M)— MEASURED



**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
 TELEPHONE: (919)515-4422 OR (800)354-1879 FAX: (919)515-8667  
 CERTIFICATION NUMBERS: NOBELS (C-0110); NCBOLA (C-0267)

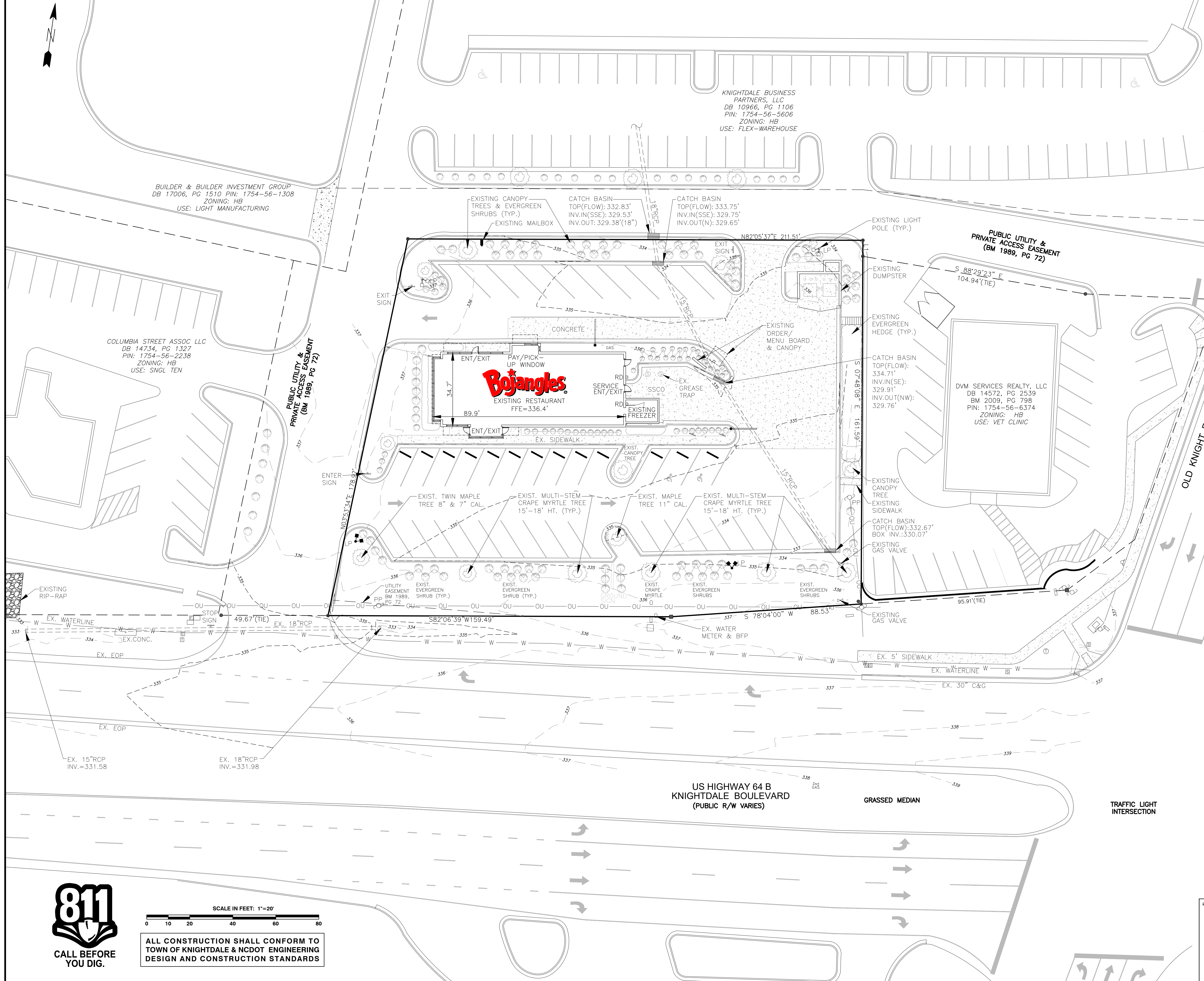
DATE	DESCRIPTION	BY
05-19-2019	1ST TOK REVIEW COMMENTS	BT
09-16-19	2ND TOK CONST. COMMENTS	BT
10-15-21	1ST TOK REVIEW COMMENTS	BT
09-10-21	1ST TOK REVIEW COMMENTS	BT
06-04-21	1ST TOK REVIEW COMMENTS	BT
	DATE	DESCRIPTION
	NO.	BY

05-19-2019  
 DATE  
 DRAWN BY  
 EXISTING CONDITIONS PLAN  
 SCALE: 1" = 20'

**BOJANGLES' RESTAURANT**  
 7525 KNIGHTDALE BLVD.  
 TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

SHEET  
**C1.0**

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



BUILDER & BUILDER INVESTMENT GROUP  
 DB 17006, PG 1510 PIN: 1754-56-1308  
 ZONING: HB  
 USE: LIGHT MANUFACTURING

COLUMBIA STREET ASSOC LLC  
 DB 14734, PG 1327  
 PIN: 1754-56-2238  
 ZONING: HB  
 USE: SNGL TEN

KNIGHTDALE BUSINESS PARTNERS, LLC  
 DB 10966, PG 1106  
 PIN: 1754-56-5606  
 ZONING: HB  
 USE: FLEX-WAREHOUSE

PUBLIC UTILITY & PRIVATE ACCESS EASEMENT  
 (BM 1989, PG 72)

PUBLIC UTILITY & PRIVATE ACCESS EASEMENT  
 (BM 1989, PG 72)

DVM SERVICES REALTY, LLC  
 DB 14572, PG 2539  
 BM 2009, PG 798  
 PIN: 1754-56-6374  
 ZONING: HB  
 USE: VET CLINIC

US HIGHWAY 64  
 KNIGHTDALE BOULEVARD  
 (PUBLIC R/W VARIES)

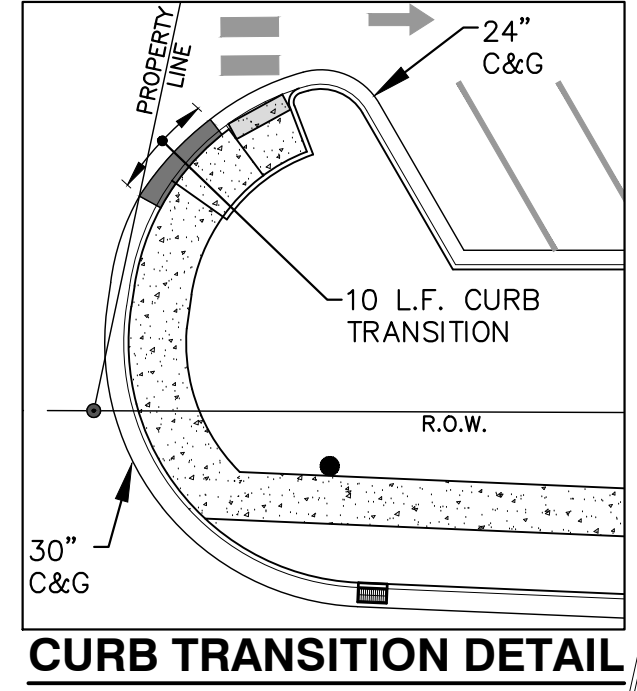
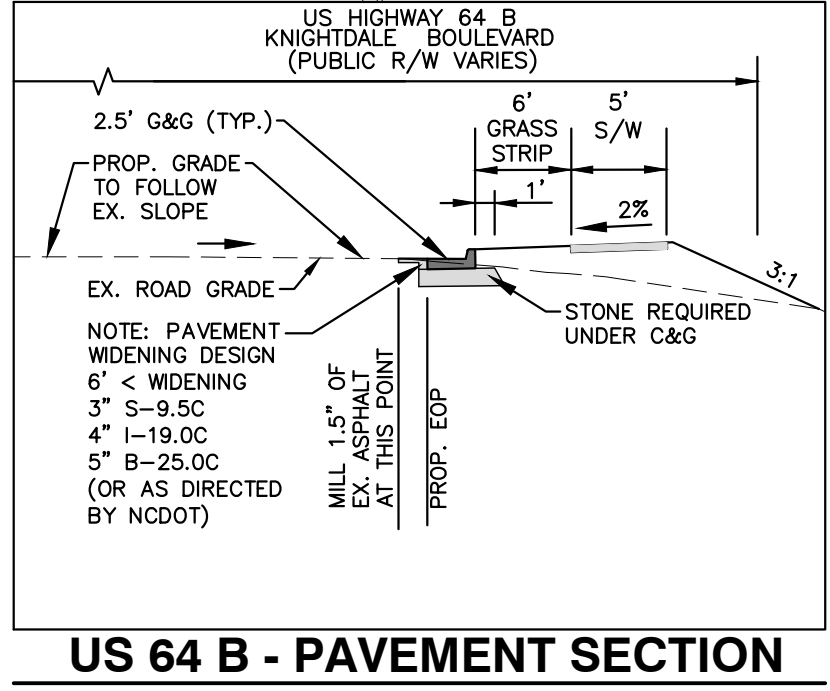
TRAFFIC LIGHT INTERSECTION



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: 12/07/2021  
 Administrator

SCALE IN FEET: 1"=20'  
 0 10 20 40 60 80  
**ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE & NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS**





**GENERAL NOTES:**

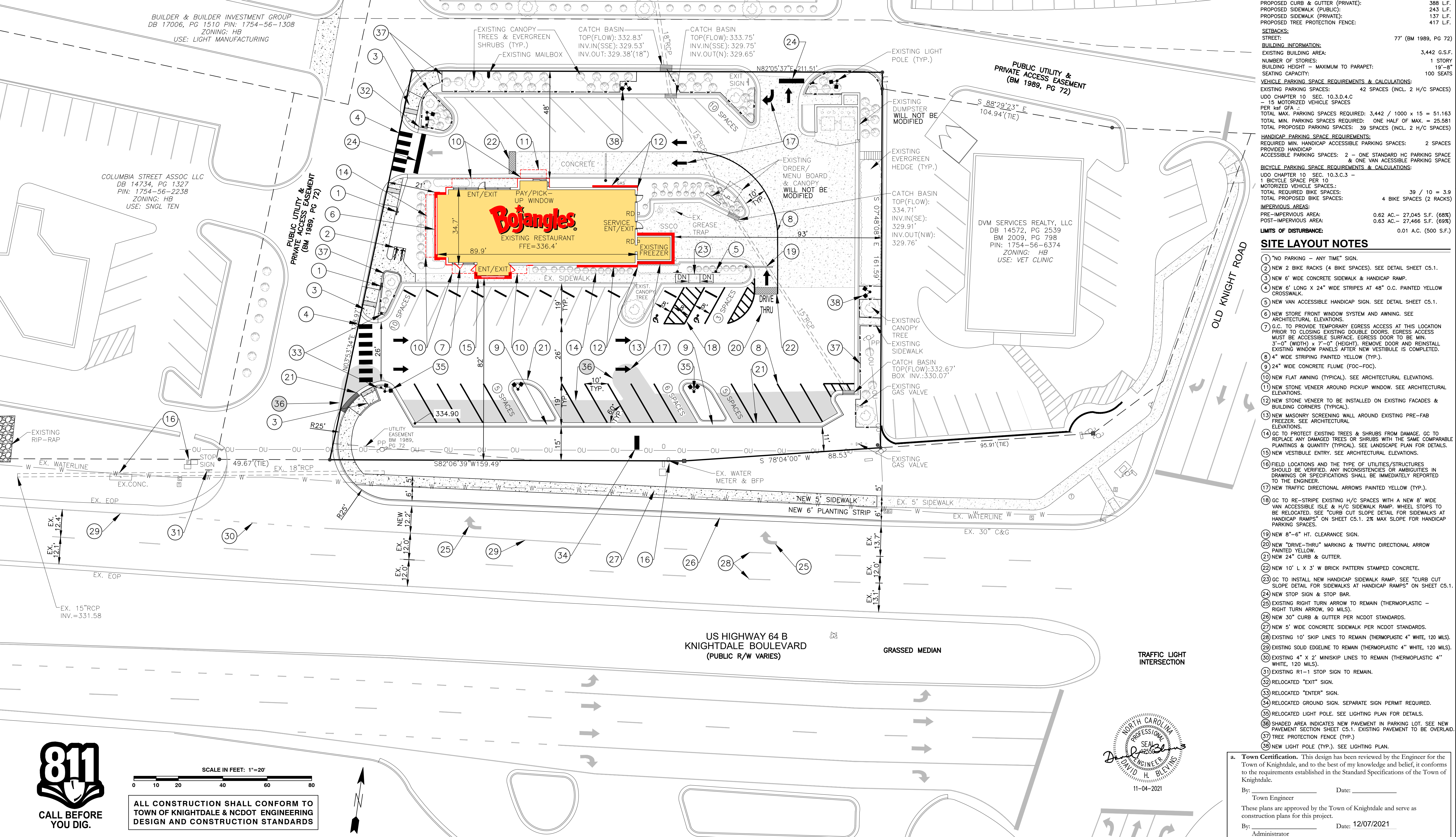
- EXISTING EXTERIOR METAL WALL CAP TO BE REPLACED WITH NEW E.F.S. CORNICE AND METAL CAP FLASHING. SEE ARCHITECTURAL BUILDING ELEVATIONS FOR DETAILS.
- ALL PARKING SPACES ARE WITHIN 60' OF A SHADE TREE.
- ANY CHANGES TO EXISTING GROUND SIGN IS SUBJECT TO A SEPARATE REVIEW AND APPROVAL.
- LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN ON THIS DRAWING. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS DRAWING TO LOCATE BURIED UTILITIES/STRUCTURES. CALL 811 BEFORE ANY EXCAVATIONS BEGIN.
- ALL PAVEMENT MARKINGS (OTHER THAN PARKING STALLS) SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. (KNIGHTDALE STANDARDS & SPECIFICATIONS SECTION 3.05A)

**SITE DATA**

PROJECT NAME: BOJANGLES' RESTAURANT BUILDING RENOVATION  
 FIN: 1754-56-4381  
 OWNER: KNIGHTDALE RA LLC  
 800 S MINT STREET, CHARLOTTE, NC 28202  
 PARCEL ID #: 0173890  
 DEED BOOK: 15647 PAGE 439  
 BOOK OF MAPS: 1989 PAGE 72  
 ADDRESS: 7525 KNIGHTDALE BLVD KNIGHTDALE, NC 27545  
 EXISTING ZONING: HB (HIGHWAY BUSINESS)  
 PROPOSED ZONING: HB-CD (HIGHWAY BUSINESS-CONDITIONAL DISTRICT)  
 SITE LOCATED IN TOWN LIMITS: YES  
 EXISTING ACREAGE: 0.92 ACRES  
 RIVER BASIN: NEUSE  
 WATERSHED: N/A  
 LAND USE: COM/FAST FOOD  
 EXISTING USE: FAST FOOD RESTAURANT  
 PROPOSED USE: FAST FOOD RESTAURANT  
 PROPOSED CURB & GUTTER (PUBLIC): 252 L.F.  
 PROPOSED CURB & GUTTER (PRIVATE): 388 L.F.  
 PROPOSED SIDEWALK (PUBLIC): 243 L.F.  
 PROPOSED SIDEWALK (PRIVATE): 137 L.F.  
 PROPOSED TREE PROTECTION FENCE: 417 L.F.  
 SETBACKS:  
 STREET: 77' (BM 1989, PG 72)  
 BUILDING INFORMATION:  
 EXISTING BUILDING AREA: 3,442 G.S.F.  
 NUMBER OF STORIES: 1 STORY  
 BUILDING HEIGHT - MAXIMUM TO PARAPET: 19'-8"  
 SEATING CAPACITY: 100 SEATS  
 VESTIBULE PARKING SPACE REQUIREMENTS & CALCULATIONS:  
 EXISTING PARKING SPACES: 42 SPACES (INCL. 2 H/C SPACES)  
 UDO CHAPTER 10 SEC. 10.3.D.4.C  
 - 15 MOTORIZED VEHICLE SPACES  
 PER 464 GFA:  
 TOTAL MAX. PARKING SPACES REQUIRED: 3,442 / 1000 x 15 = 51.163  
 TOTAL MIN. PARKING SPACES REQUIRED: ONE HALF OF MAX. = 25.581  
 TOTAL PROPOSED PARKING SPACES: 39 SPACES (INCL. 2 H/C SPACES)  
 HANDICAP PARKING SPACE REQUIREMENTS:  
 REQUIRED MIN. HANDICAP ACCESSIBLE PARKING SPACES: 2 SPACES  
 PROVIDED HANDICAP ACCESSIBLE PARKING SPACES: 2 - ONE STANDARD HC PARKING SPACE & ONE VAN ACCESSIBLE PARKING SPACE  
 BICYCLE PARKING SPACE REQUIREMENTS & CALCULATIONS:  
 UDO CHAPTER 10 SEC. 10.3.C.3 - 1 BICYCLE SPACE PER 10 MOTORIZED VEHICLE SPACES.  
 TOTAL REQUIRED BIKE SPACES: 39 / 10 = 3.9  
 TOTAL PROPOSED BIKE SPACES: 4 BIKE SPACES (2 RACKS)  
 IMPERVIOUS AREAS:  
 PRE-IMPERVIOUS AREA: 0.62 AC. - 27,045 S.F. (69%)  
 POST-IMPERVIOUS AREA: 0.63 AC. - 27,466 S.F. (69%)  
 LIMITS OF DISTURBANCE: 0.01 A.C. (500 S.F.)

**US 64 B - PAVEMENT SECTION**  
N.T.S.

**CURB TRANSITION DETAIL**  
1" = 20'



**SITE SURVEY NOTES**

- "NO PARKING - ANY TIME" SIGN.
- NEW 2 BIKE RACKS (4 BIKE SPACES). SEE DETAIL SHEET C5.1.
- NEW 6" WIDE CONCRETE SIDEWALK & HANDICAP RAMP.
- NEW 6" LONG X 24" WIDE STRIPES AT 48" O.C. PAINTED YELLOW CROSSWALK.
- NEW VAN ACCESSIBLE HANDICAP SIGN. SEE DETAIL SHEET C5.1.
- NEW STORE FRONT WINDOW SYSTEM AND AWNING. SEE ARCHITECTURAL ELEVATIONS.
- S.C. TO PROVIDE TEMPORARY EGRESS ACCESS AT THIS LOCATION PRIOR TO CLOSING EXISTING DOUBLE DOORS. EGRESS ACCESS MUST BE ACCESSIBLE SURFACE. EGRESS DOOR TO BE MIN. 3'-0" (WIDTH) X 7'-0" (HEIGHT). REMOVE DOOR AND REINSTALL EXISTING WINDOW PANELS AFTER NEW VESTIBULE IS COMPLETED.
- 4" WIDE STRIPING PAINTED YELLOW (TYP.).
- 24" WIDE CONCRETE FLUME (FOC-FOC).
- NEW FLAT AWNING (TYPICAL). SEE ARCHITECTURAL ELEVATIONS.
- NEW STONE VENER AROUND PICKUP WINDOW. SEE ARCHITECTURAL ELEVATIONS.
- NEW STONE VENER TO BE INSTALLED ON EXISTING FACADES & BUILDING CORNERS (TYPICAL).
- NEW MASONRY SCREENING WALL AROUND EXISTING PRE-FAB FREEZER. SEE ARCHITECTURAL ELEVATIONS.
- GC TO PROTECT EXISTING TREES & SHRUBS FROM DAMAGE. GC TO REPLACE ANY DAMAGED TREES OR SHRUBS WITH THE SAME COMPARABLE PLANTINGS & QUANTITY (TYPICAL). SEE LANDSCAPE PLAN FOR DETAILS.
- NEW VESTIBULE ENTRY. SEE ARCHITECTURAL ELEVATIONS.
- FIELD LOCATIONS AND THE TYPE OF UTILITIES/STRUCTURES SHOULD BE VERIFIED. ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- NEW TRAFFIC DIRECTIONAL ARROWS PAINTED YELLOW (TYP.).
- GC TO RE-STRIP EXISTING H/C SPACES WITH A NEW 8" WIDE VAN ACCESSIBLE ISLE & H/C SIDEWALK RAMP. WHEEL STOPS TO BE RELOCATED. SEE "CURB CUT SLOPE DETAIL FOR SIDEWALKS AT HANDICAP RAMP" ON SHEET C5.1. 2% MAX SLOPE FOR HANDICAP PARKING SPACES.
- NEW 8"-6" HT. CLEARANCE SIGN.
- NEW "DRIVE-THRU" MARKING & TRAFFIC DIRECTIONAL ARROW PAINTED YELLOW.
- NEW 24" CURB & GUTTER.
- NEW 10' L X 3' W BRICK PATTERN STAMPED CONCRETE.
- GC TO INSTALL NEW HANDICAP SIDEWALK RAMP. SEE "CURB CUT SLOPE DETAIL FOR SIDEWALKS AT HANDICAP RAMP" ON SHEET C5.1.
- NEW STOP SIGN & STOP BAR.
- EXISTING RIGHT TURN ARROW TO REMAIN (THERMOPLASTIC - RIGHT TURN ARROW, 90 MILS).
- NEW 30" CURB & GUTTER PER NCDOT STANDARDS.
- NEW 5' WIDE CONCRETE SIDEWALK PER NCDOT STANDARDS.
- EXISTING 10' SKIP LINES TO REMAIN (THERMOPLASTIC 4" WHITE, 120 MILS).
- EXISTING SOLID EDGE LINE TO REMAIN (THERMOPLASTIC 4" WHITE, 120 MILS).
- EXISTING 4" X 2" MINISKIP LINES TO REMAIN (THERMOPLASTIC 4" WHITE, 120 MILS).
- EXISTING R1-1 STOP SIGN TO REMAIN.
- RELOCATED "EXIT" SIGN.
- RELOCATED "ENTER" SIGN.
- RELOCATED GROUND SIGN. SEPARATE SIGN PERMIT REQUIRED.
- RELOCATED LIGHT POLE. SEE LIGHTING PLAN FOR DETAILS.
- SHADED AREA INDICATES NEW PAVEMENT IN PARKING LOT. SEE NEW PAVEMENT SECTION SHEET C5.1. EXISTING PAVEMENT TO BE OVERLAD.
- TREE PROTECTION FENCE (TYP.).
- NEW LIGHT POLE (TYP.). SEE LIGHTING PLAN.



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: 12/07/2021  
 Administrator

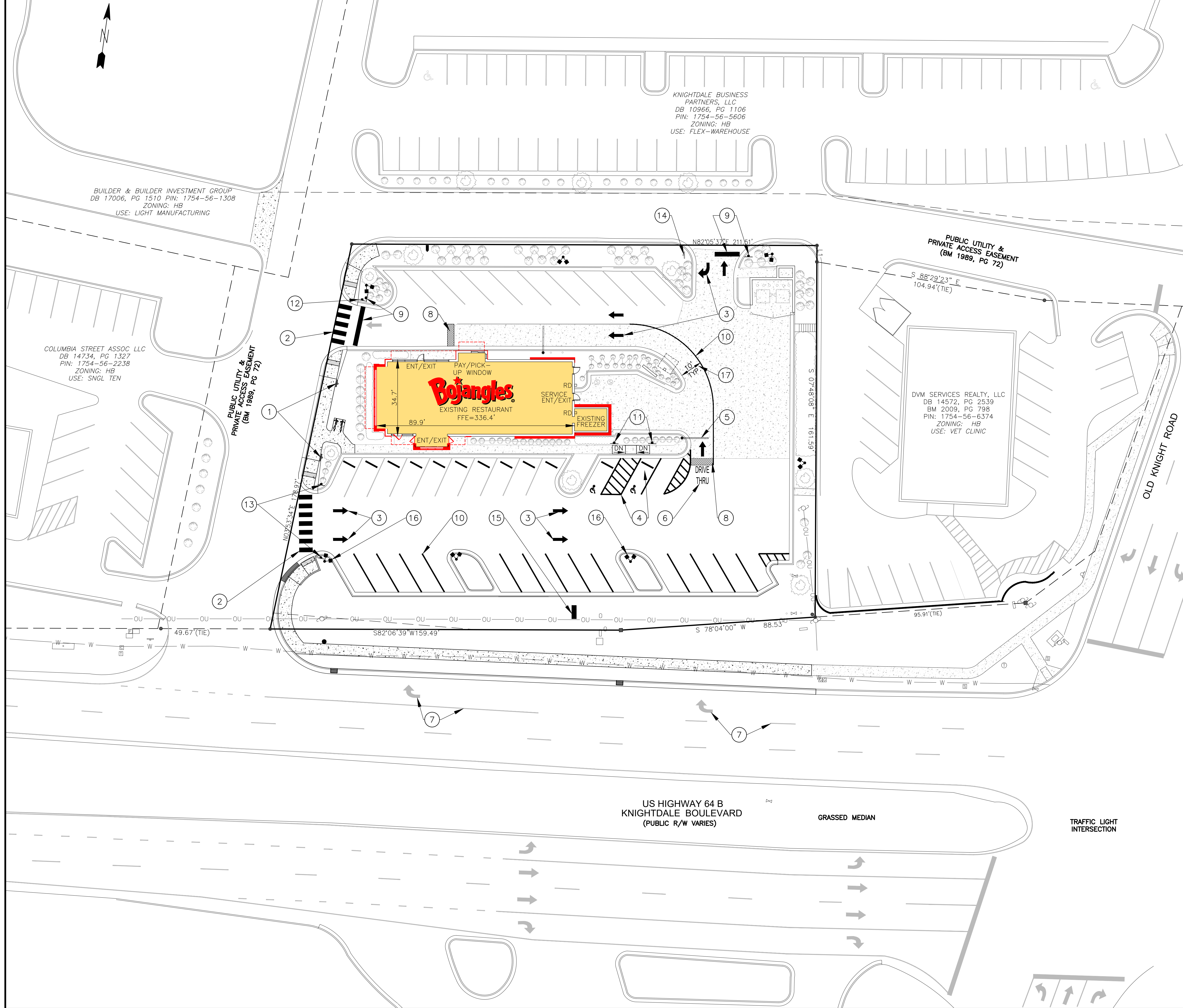
SCALE IN FEET: 1"=20'  
 0 10 20 40 60 80  
**ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE & NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS**



**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
 TELEPHONE: (919)951-4422 OR (800)954-1879 FAX: (919)951-8968  
 CERTIFICATION NUMBERS: NOBELS (C-010); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	08-04-21	1ST TOK REVIEW COMMENTS	BTO
2	09-10-21	1ST TOK CONST. COMMENTS	BTO
3	09-10-21	2ND TOK CONST. COMMENTS	BTO
4	11-04-21	TOK CD SIGNATURES	BTO

**BOJANGLES' RESTAURANT**  
 7525 KNIGHTDALE BLVD.  
 TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
 SHEET C1.1  
 SCALE: 1" = 20'  
 CHK BY: DHB



**SIGN & MARKING NOTES**

- 1 NO PARKING - ANY TIME SIGN.
- 2 NEW 6' LONG X 24' WIDE STRIPES AT 48" O.C. PAINTED YELLOW CROSSWALK.
- 3 NEW TRAFFIC DIRECTIONAL ARROWS PAINTED YELLOW (TYP.).
- 4 CC TO RE-STRIPE EXISTING H/C SPACES WITH A NEW 8' WIDE VAN ACCESSIBLE ISLE & H/C SIDEWALK RAMP. SEE "CURB CUT SLOPE DETAIL FOR SIDEWALKS AT HANDICAP RAMPS" ON SHEET C5.1.
- 5 NEW 8'-6" HT. CLEARANCE SIGN.
- 6 NEW "DRIVE-THRU" MARKING & TRAFFIC DIRECTIONAL ARROW PAINTED YELLOW.
- 7 EXISTING RIGHT TURN ARROWS AND STRIPING TO REMAIN (TYP.).
- 8 NEW 10' L x 3' W BRICK PATTERN STAMPED CONCRETE.
- 9 NEW STOP SIGN & STOP BAR.
- 10 4" WIDE STRIPING PAINTED YELLOW (TYP.).
- 11 NEW ACCESSIBLE PARKING SIGN.
- 12 RELOCATED "EXIT" SIGN.
- 13 RELOCATED "ENTER" SIGN.
- 14 EXISTING "EXIT" SIGN.
- 15 RELOCATED GROUND SIGN. SEPARATE SIGN PERMIT REQUIRED.
- 16 RELOCATED LIGHT POLE.
- 17 10' MIN. WIDE DRIVE THRU LANE.

**GENERAL NOTES:**

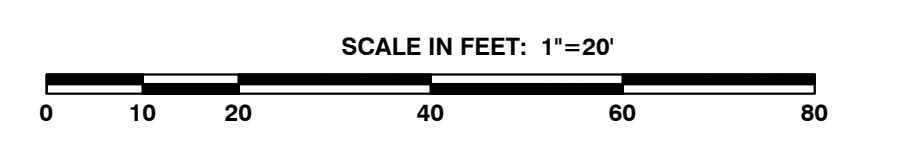
1. EXISTING EXTERIOR METAL WALL CAP TO BE REPLACED WITH NEW E.I.F.S. CORNICE AND METAL CAP FLASHING. SEE ARCHITECTURAL BUILDING ELEVATIONS FOR DETAILS.
2. ALL PARKING SPACES ARE WITHIN 60' OF A SHADE TREE.
3. ALL PAVEMENT MARKINGS (OTHER THAN PARKING STALLS) SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. (KNIGHTDALE STANDARDS & SPECIFICATIONS SECTION 3.05A)



CALL BEFORE YOU DIG.



ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE & NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: 12/07/2021  
 Administrator



**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
 TELEPHONE: (919)851-4222 OR (800)354-1879 FAX: (919)851-8668  
 CERTIFICATION NUMBERS: NOBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	06-04-21	1ST TOK REVIEW COMMENTS	BTO
2	09-10-21	1ST TOK CONST. COMMENTS	BTO
3	10-15-21	2ND TOK CONST. COMMENTS	BTO
4	11-04-21	TOK CD SIGNATURES	BTO

JOB NO.	DATE	DRAWN BY	CHK BY
05-19093	09-16-19	BTO	CHK BY: DHB

**BOJANGLES' RESTAURANT**  
**7525 KNIGHTDALE BLVD.**  
 TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**SHEET C1.2**

**EROSION & SEDIMENT CONTROL NOTES**

IT IS ANTICIPATED 17,500 S.F. OF EARTH WILL BE EXPOSED DURING CONSTRUCTION. IT IS FOR INSTALLATION OF THE NEW PARKING PAVEMENT, SIDEWALKS AND CURB & GUTTER.

**NPDES GROUND STABILIZATION REQUIREMENTS**

1. SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF THE SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE.
  - 1.a. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICAL BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
    - 1.b. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICAL BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
  2. CONDITIONS - IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY.
    - 2.a. EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.
    - 2.b. ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY THE GROUND COVER WITHIN 7 DAYSEXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1, THE 7 DAY REQUIREMENT APPLIES.
    - 2.c. ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT. OBTAIN EROSION CONTROL PLAN PERMIT AND OTHER APPLICABLE PERMITS. COPY OF APPROVED PLAN WITH APPROVAL LETTER, A COPY OF THE NPDES PERMIT AND SELF-INSPECTION RECORDS ARE TO BE KEPT ON SITE AT ALL TIMES UNTIL PROJECT CLOSE OUT.
    - 2.d. SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT.
    - 2.e. ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION MAY BE ALLOWED ON A CASE-BY-CASE BASIS.
    - 2.f. FOR PORTIONS OF PROJECT WITHIN SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (15A NCAC 04A.0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT.
    - 2.g. PORTIONS OF A SITE THAT ARE LOWER IN ELEVATION THAN ADJACENT DISCHARGE LOCATIONS AND ARE NOT EXPECTED TO DISCHARGE DURING CONSTRUCTION MAY BE EXEMPT FROM THE TEMPORARY GROUND COVER REQUIREMENTS IF IDENTIFIED ON THE APPROVED SAEC PLAN OR ADDED BY THE PERMITTING AUTHORITY.

**NPDES GROUND STABILIZATION NOTES**

GROUND STABILIZATION*	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
• SITE AREA DESCRIPTION		
• PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
• HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
• SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH & ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
• SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
• ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
• ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

\* EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE. (SECTION II.B(2)(b))

**NPDES STANDARD NOTES**

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
2. THIS PAGE CAN BE APPROVED BY THE CITY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PER NCG010000.
4. THE CITY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT PART OF THE APPROVED PLANS FOR PURPOSES OF ENFORCEMENT ACTION UNDER THE CITY CODE.

**NPDES GROUND STABILIZATION LEGEND**

SLOPES STEEPER THAN 3:1, DITCHES, AND DAMS.

\* OTHER SLOPES WITHIN THE LIMITS OF DISTURBANCE ARE 3:1 OR FLATTER.

**LEGEND**

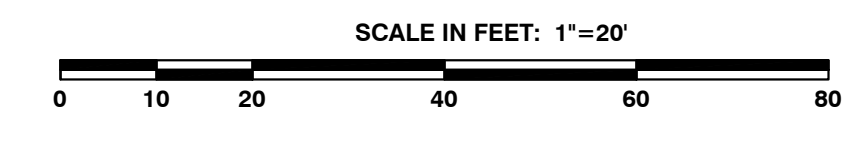
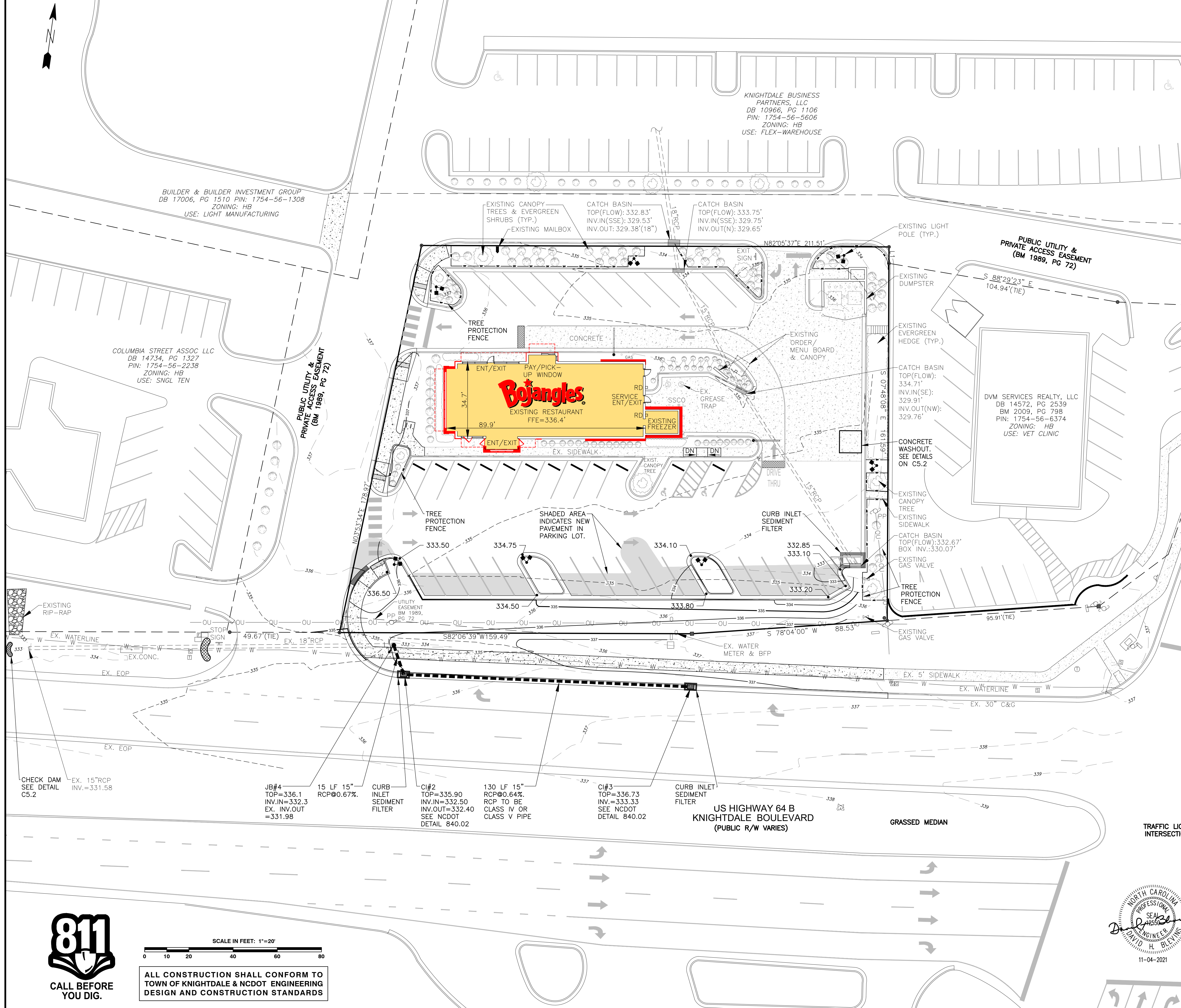
- TEMP SILT SOCK
- TEMP INLET PROTECTION
- TEMP SILT FENCE
- TEMP TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: 12/07/2021  
Administrator



ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE & NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



**BASS, NIXON & KENNEDY, INC.**  
CONSULTING ENGINEERS  
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
TELEPHONE: (919)951-4422 OR (800)954-1879 FAX: (919)951-8668  
CERTIFICATION NUMBERS: NOBELS (C-010); NCBOLA (C-0267)

DATE	DESCRIPTION	BY
09-16-19 <td>1ST TOK CONSTRUCTION COMMENTS <td>BTB</td> </td>	1ST TOK CONSTRUCTION COMMENTS <td>BTB</td>	BTB
10-15-21 <td>2ND TOK CONSTRUCTION COMMENTS <td>BTB</td> </td>	2ND TOK CONSTRUCTION COMMENTS <td>BTB</td>	BTB
09-10-21 <td>1ST TOK REVIEW COMMENTS <td>BTB</td> </td>	1ST TOK REVIEW COMMENTS <td>BTB</td>	BTB
06-04-21 <td>1ST TOK REVIEW COMMENTS <td>BTB</td> </td>	1ST TOK REVIEW COMMENTS <td>BTB</td>	BTB
	DATE <td>DESCRIPTION </td>	DESCRIPTION
	NO.	BY

BOJANGLES' RESTAURANT  
GRADING & DRAINAGE AND EROSION CONTROL PLAN  
SCALE: 1" = 20'  
CHK BY: DHB

**BOJANGLES' RESTAURANT**  
7525 KNIGHTDALE BLVD.  
TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

SHEET C3.1



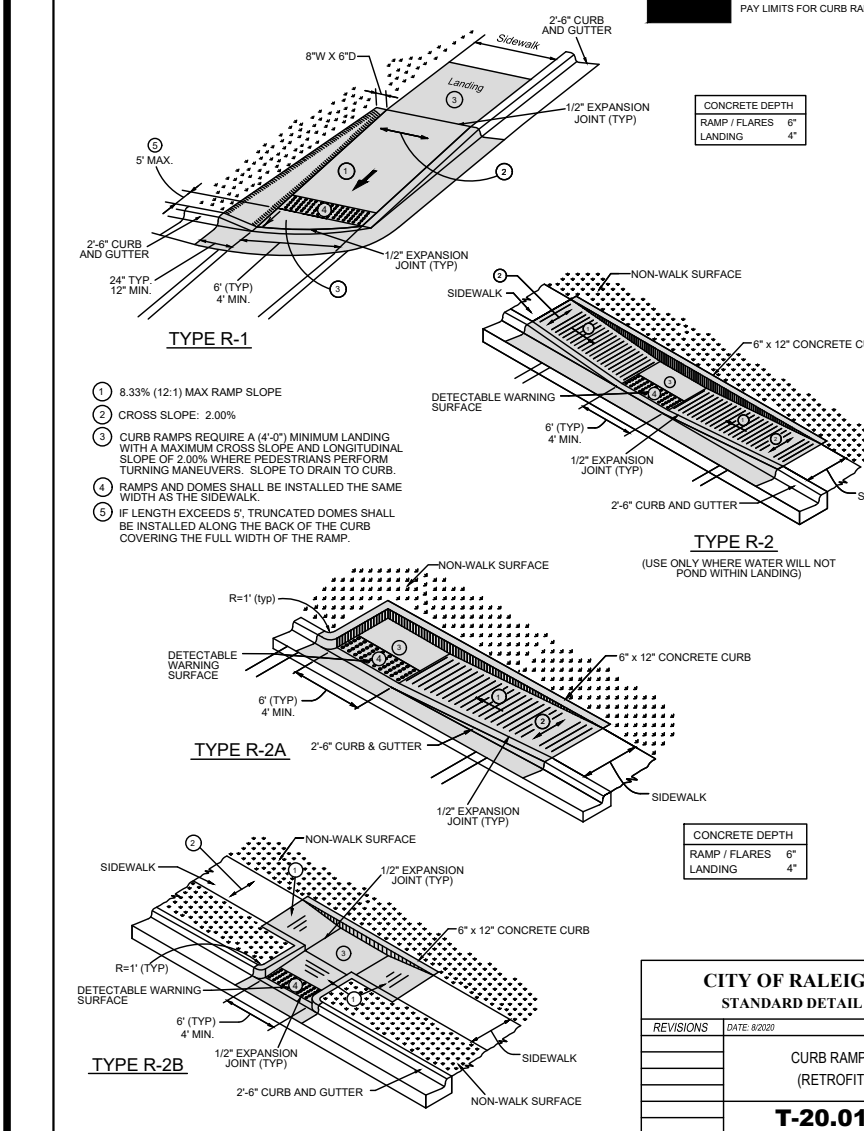
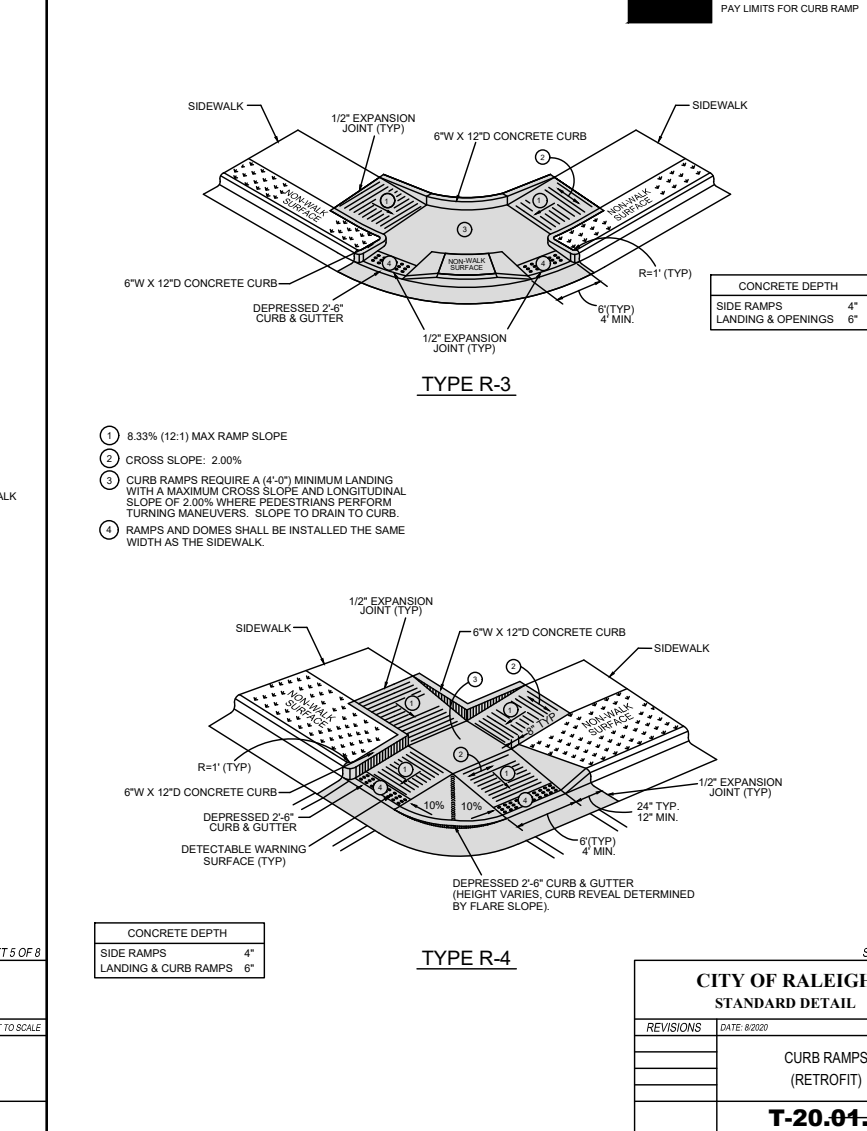
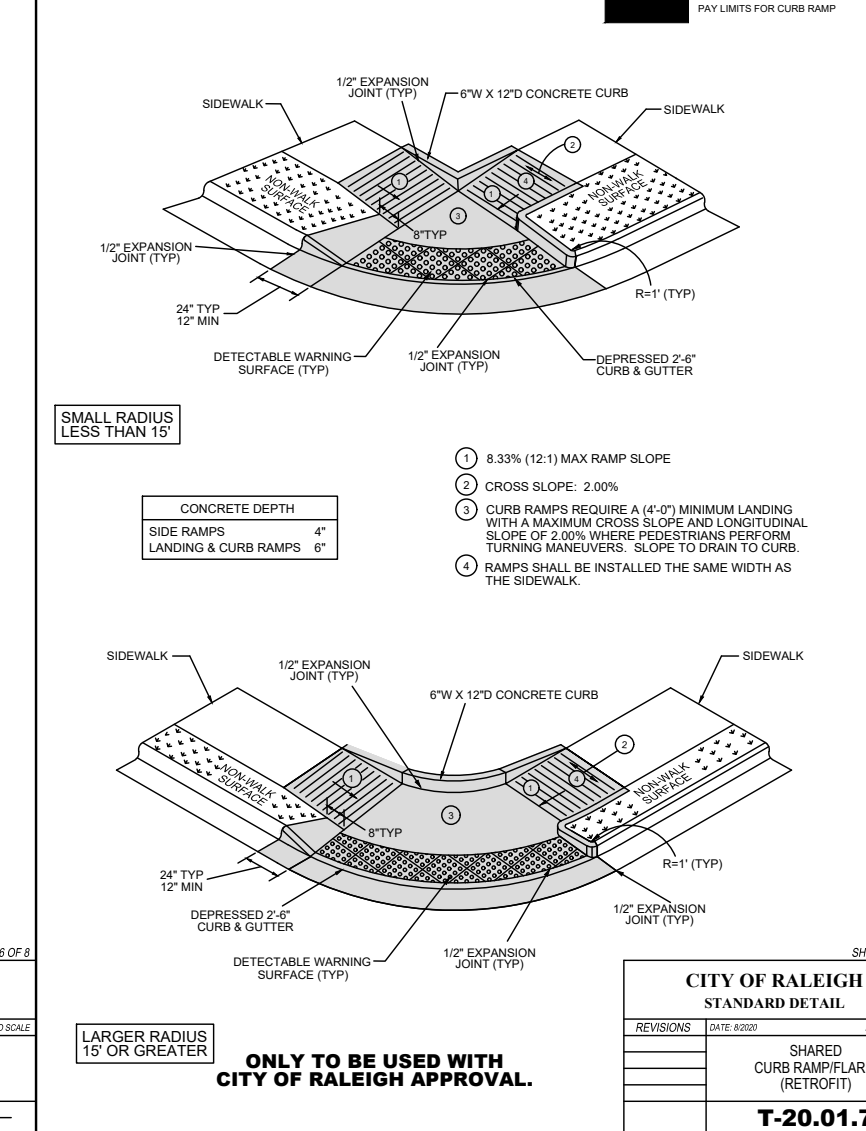
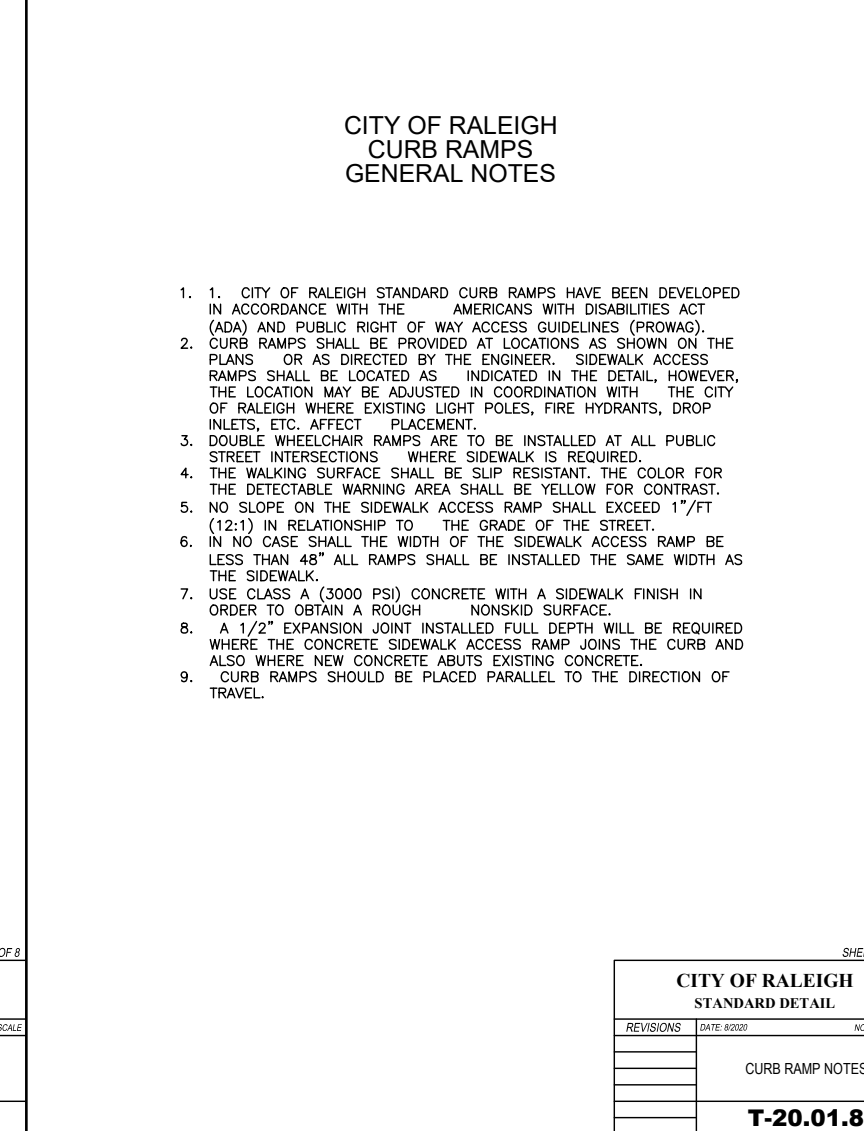
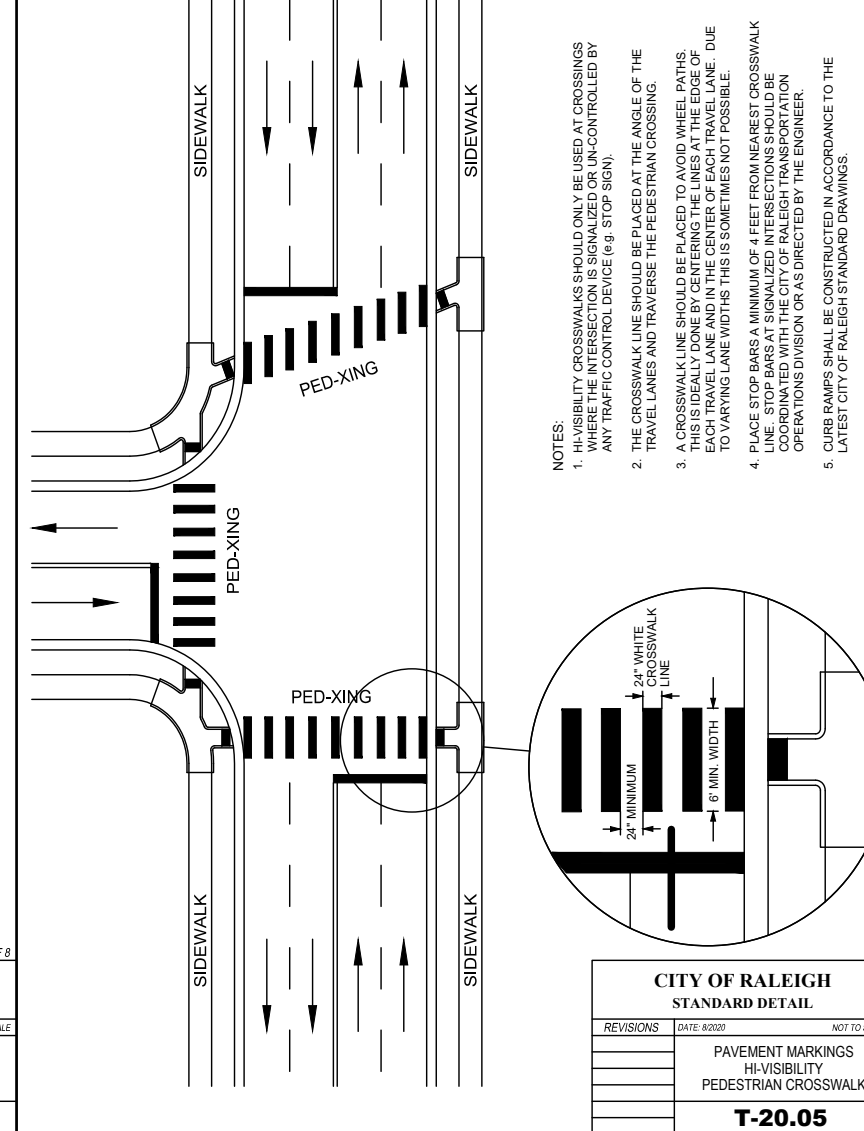
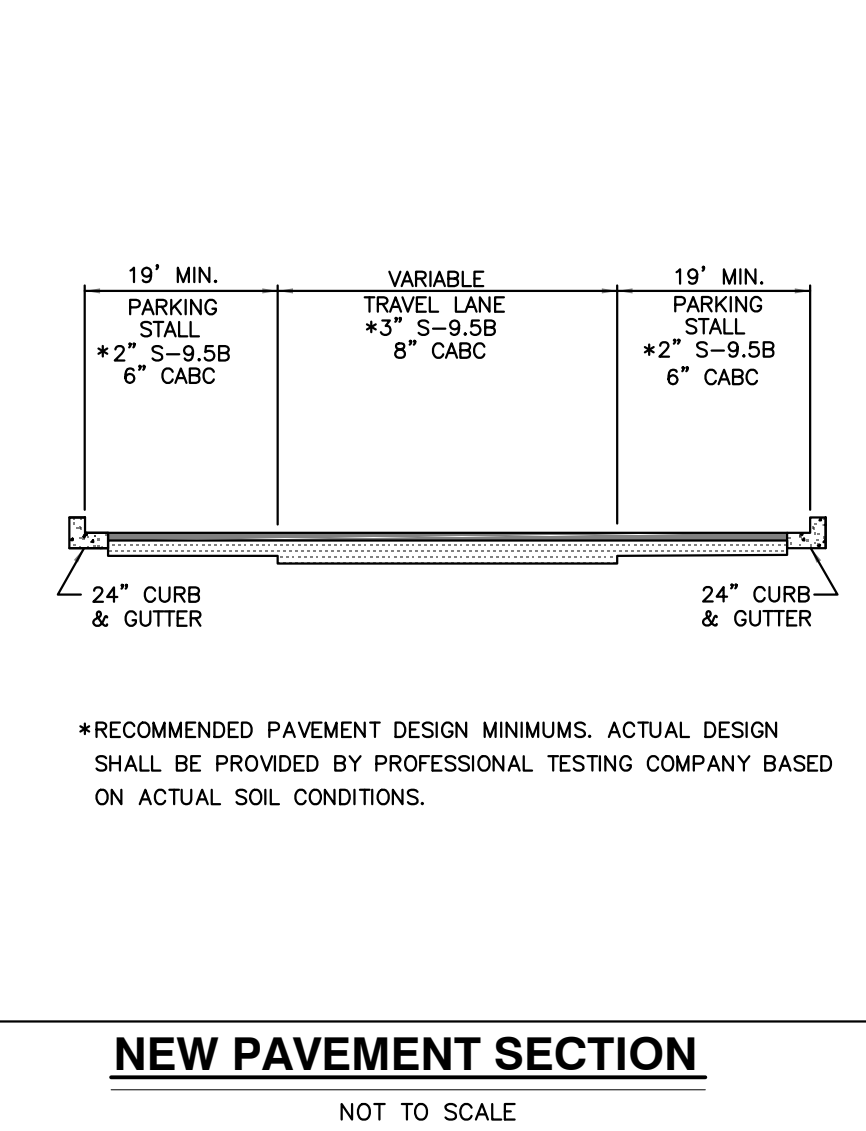
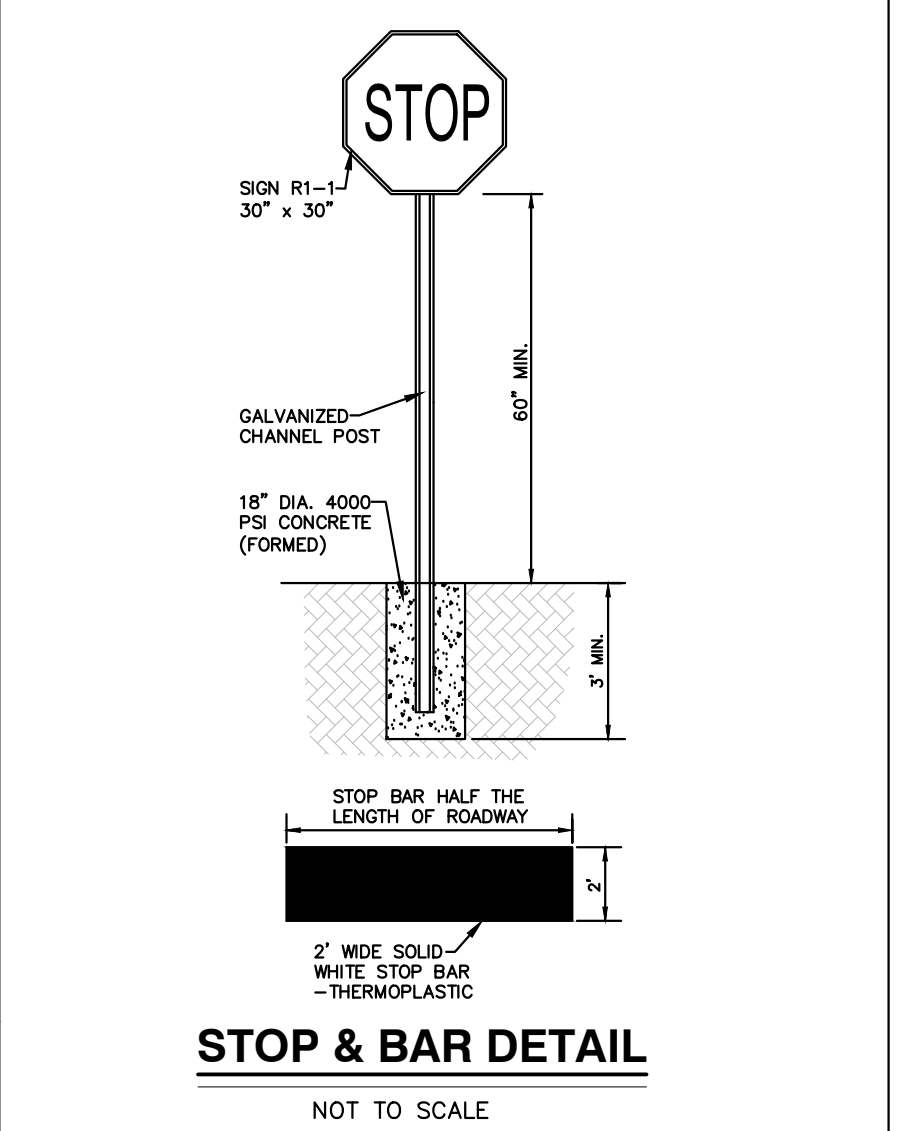
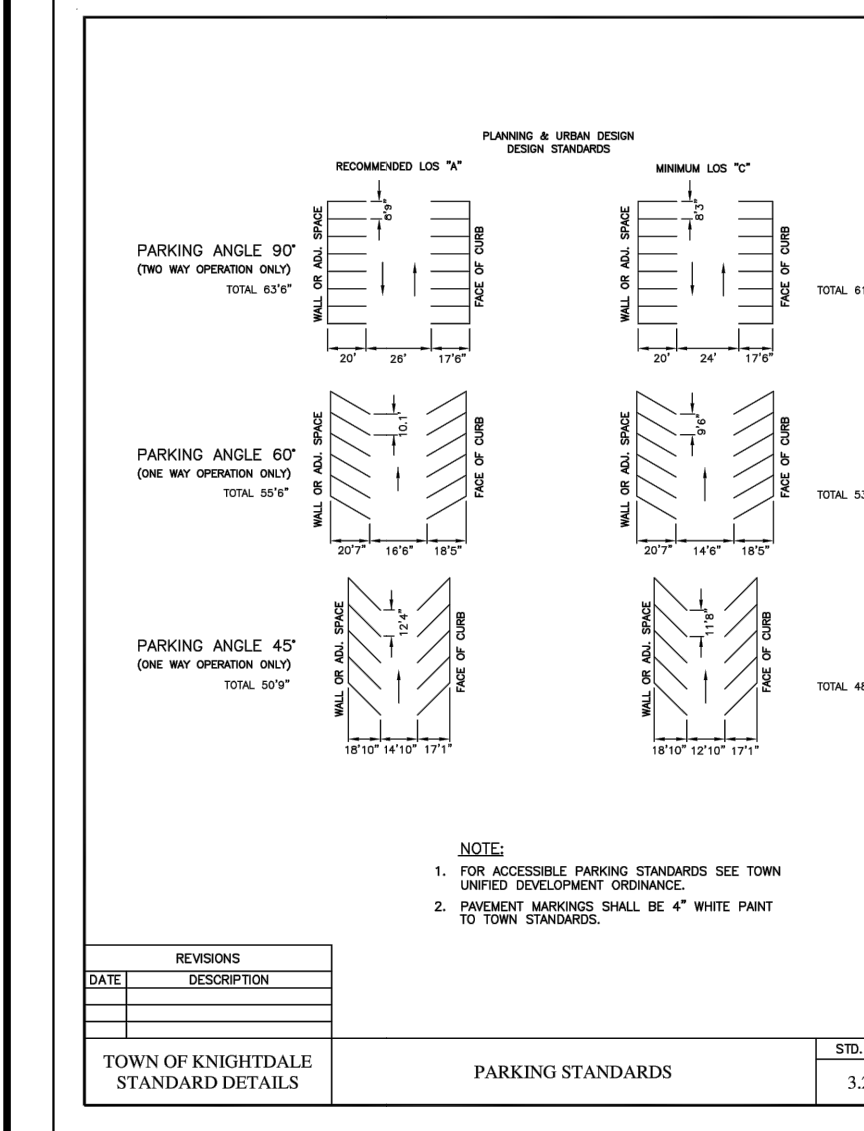
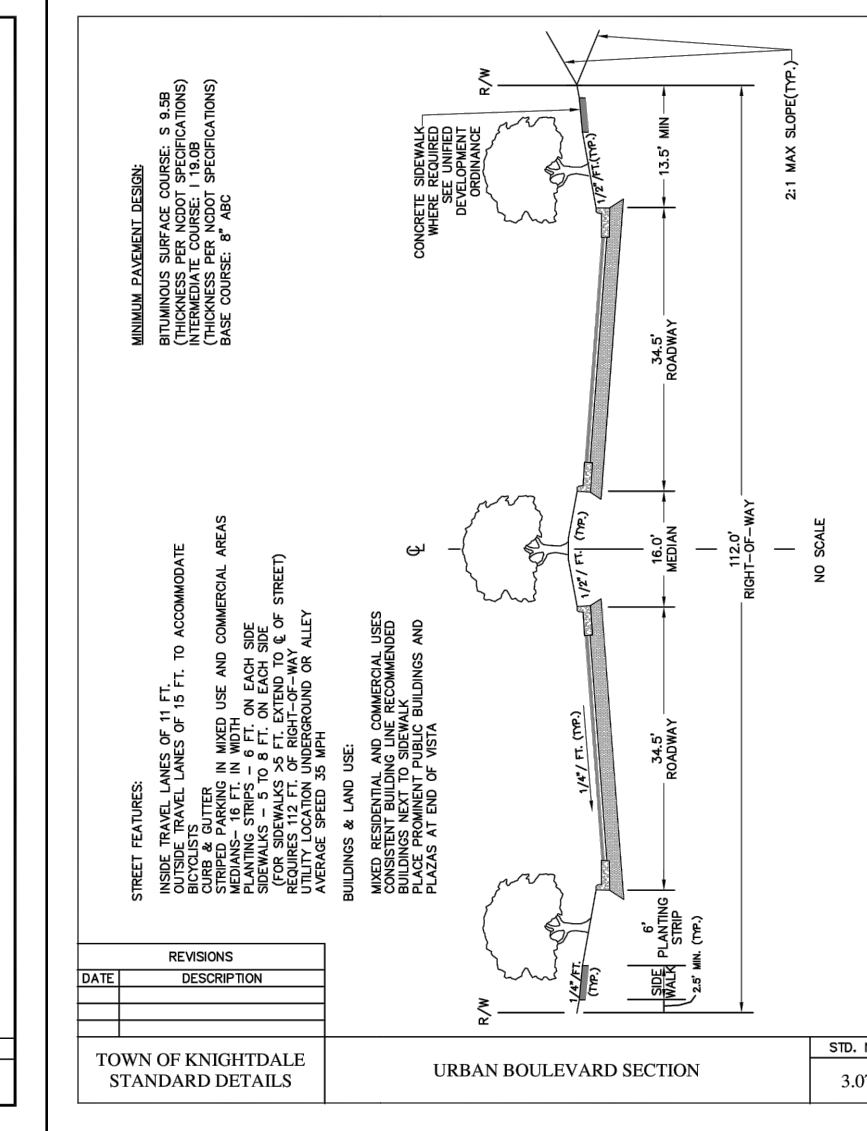
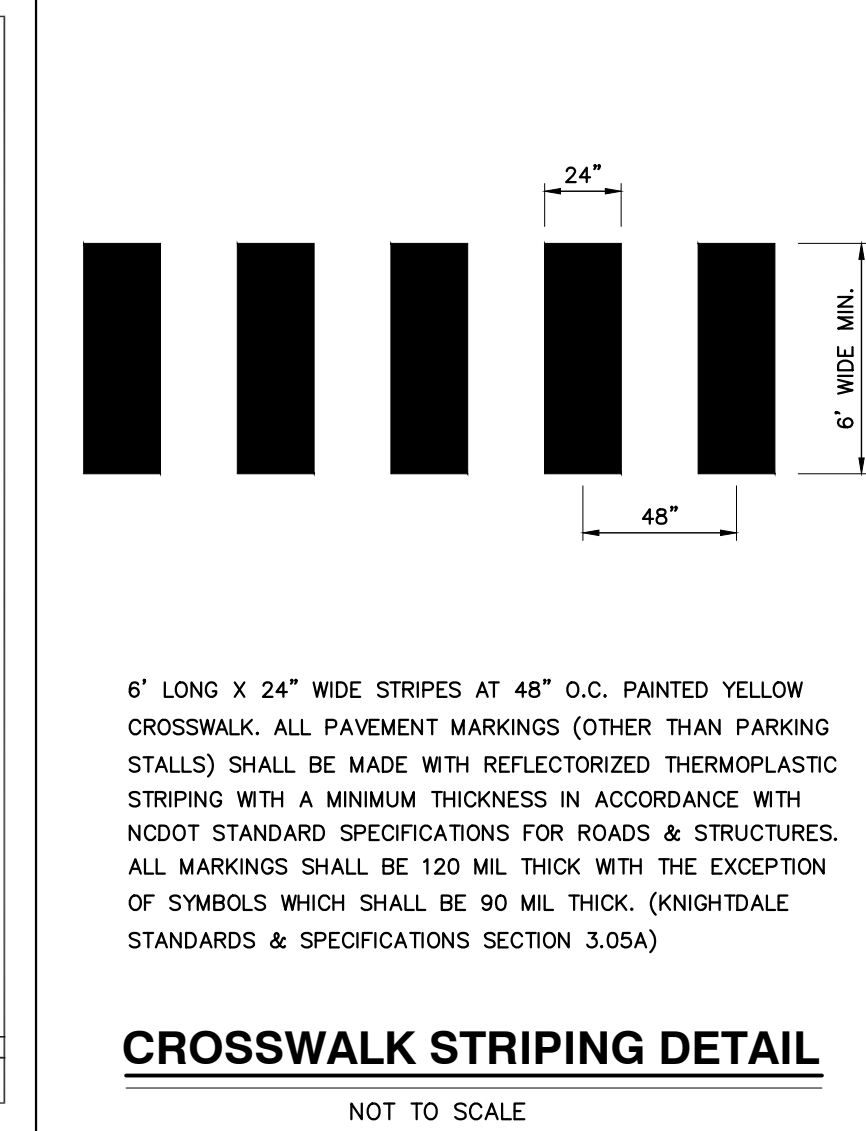
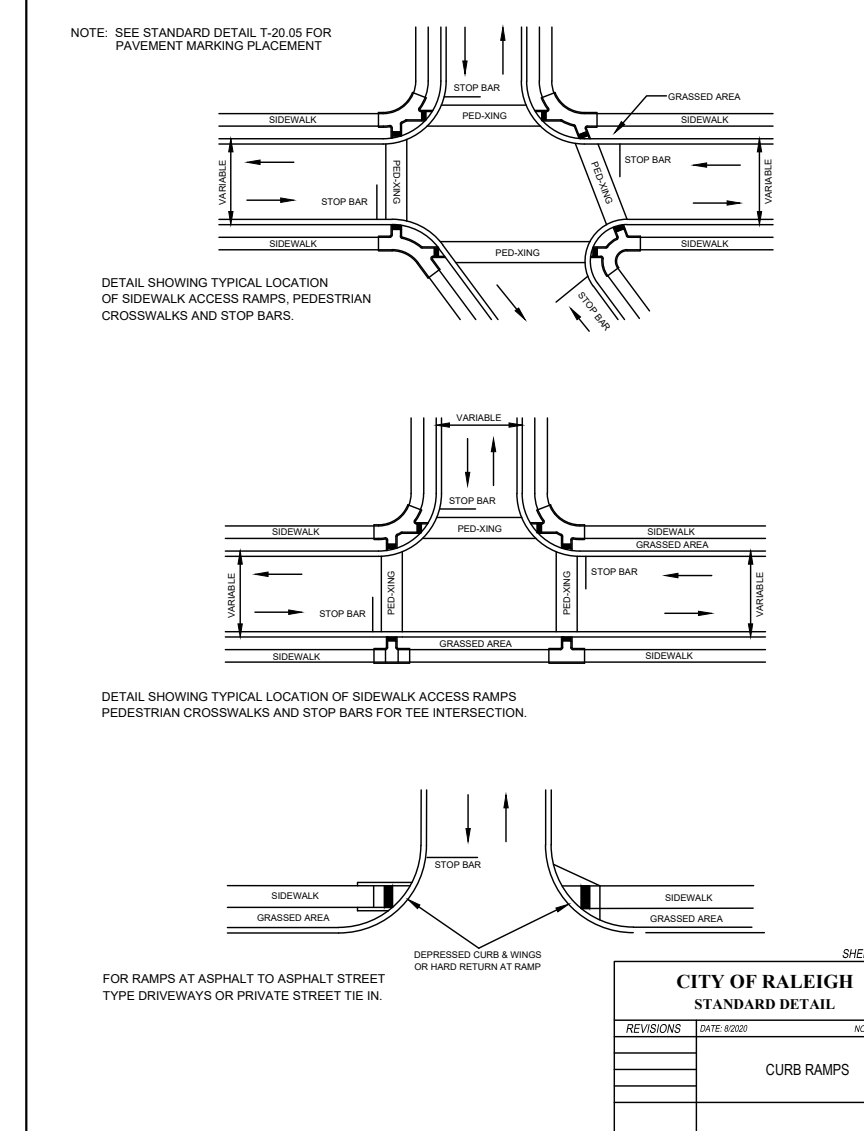
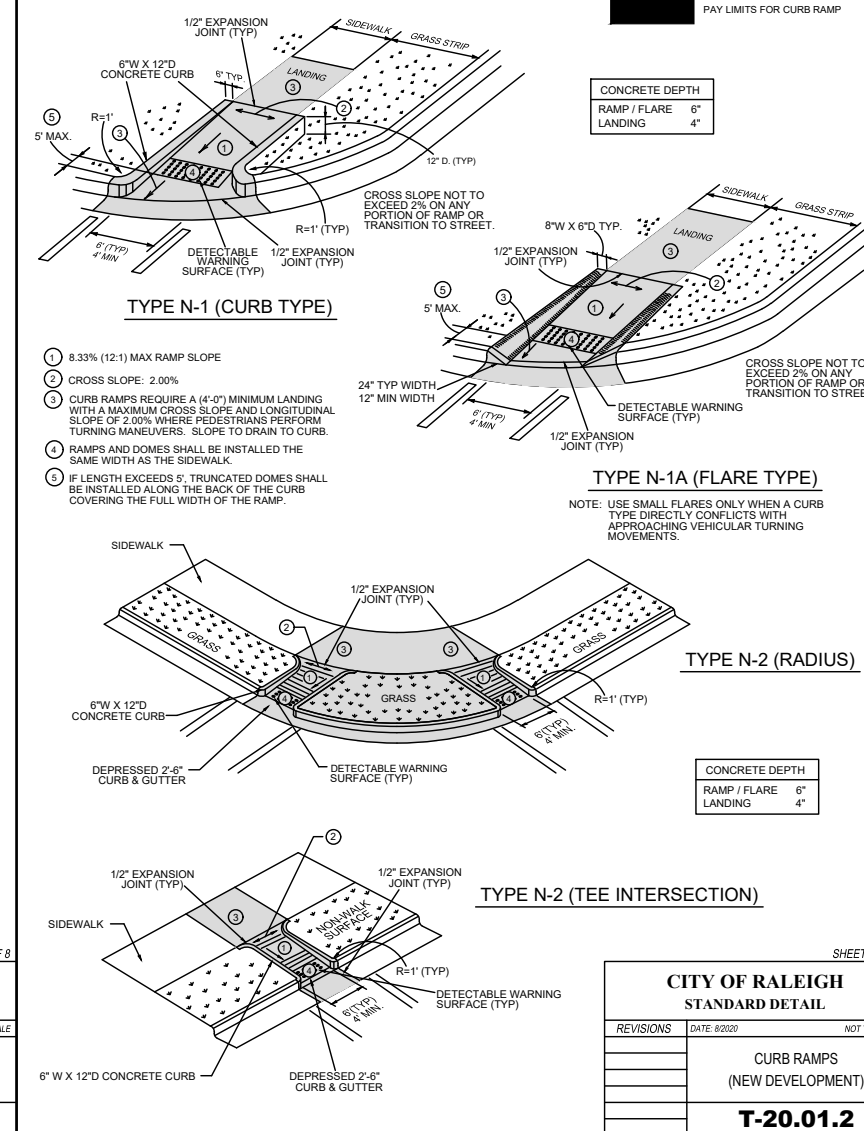
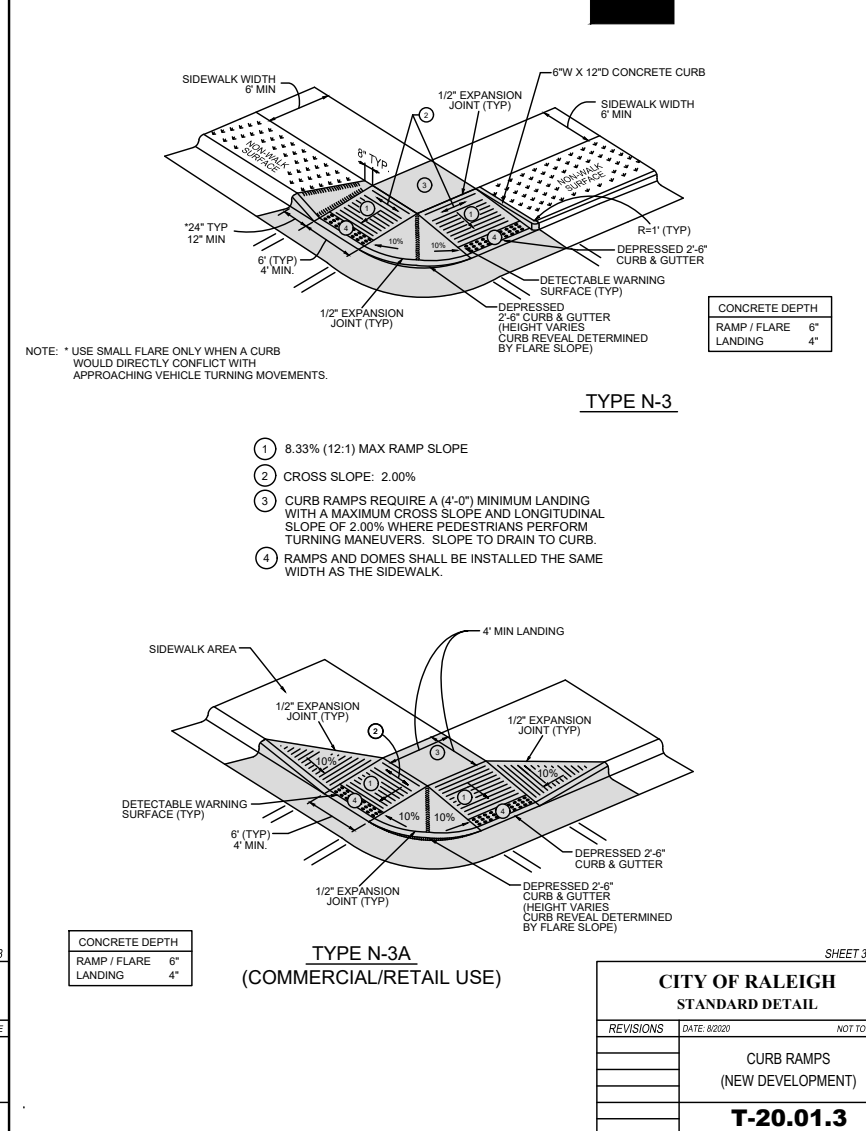
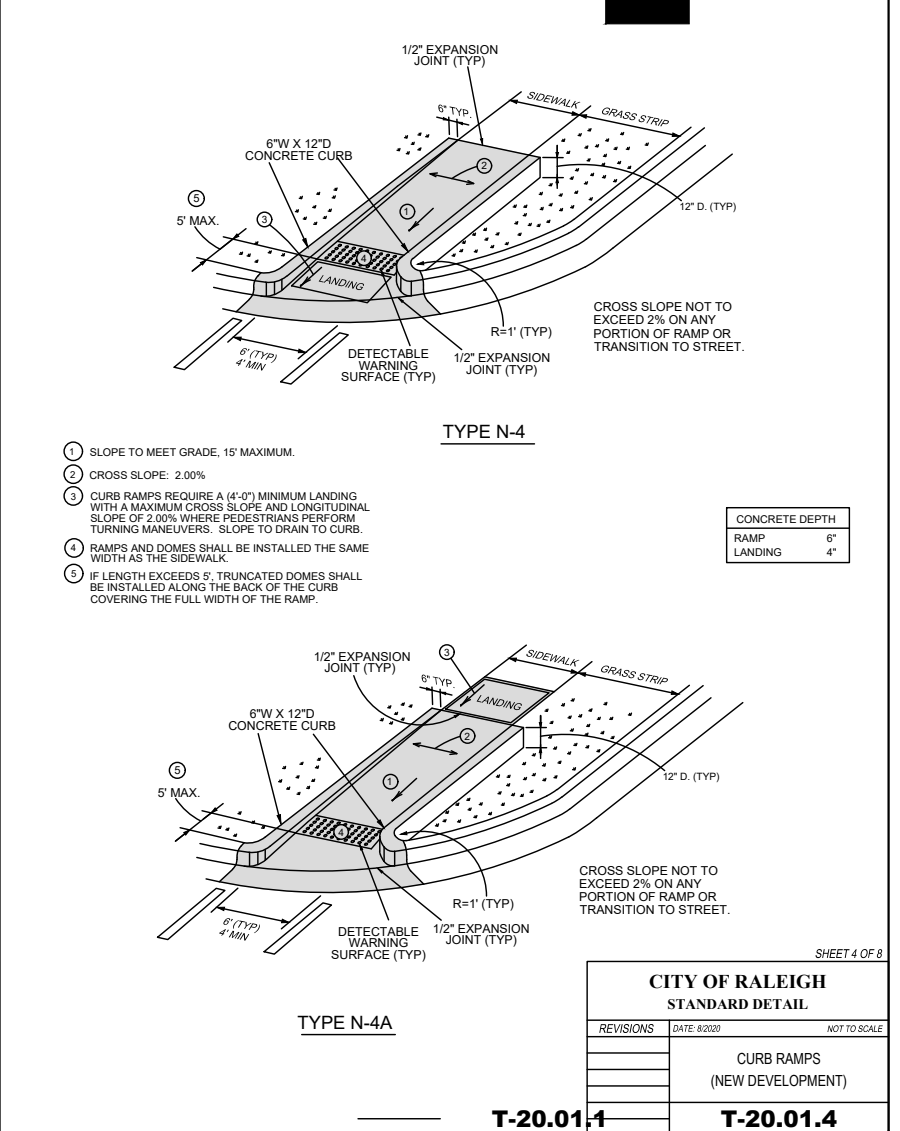
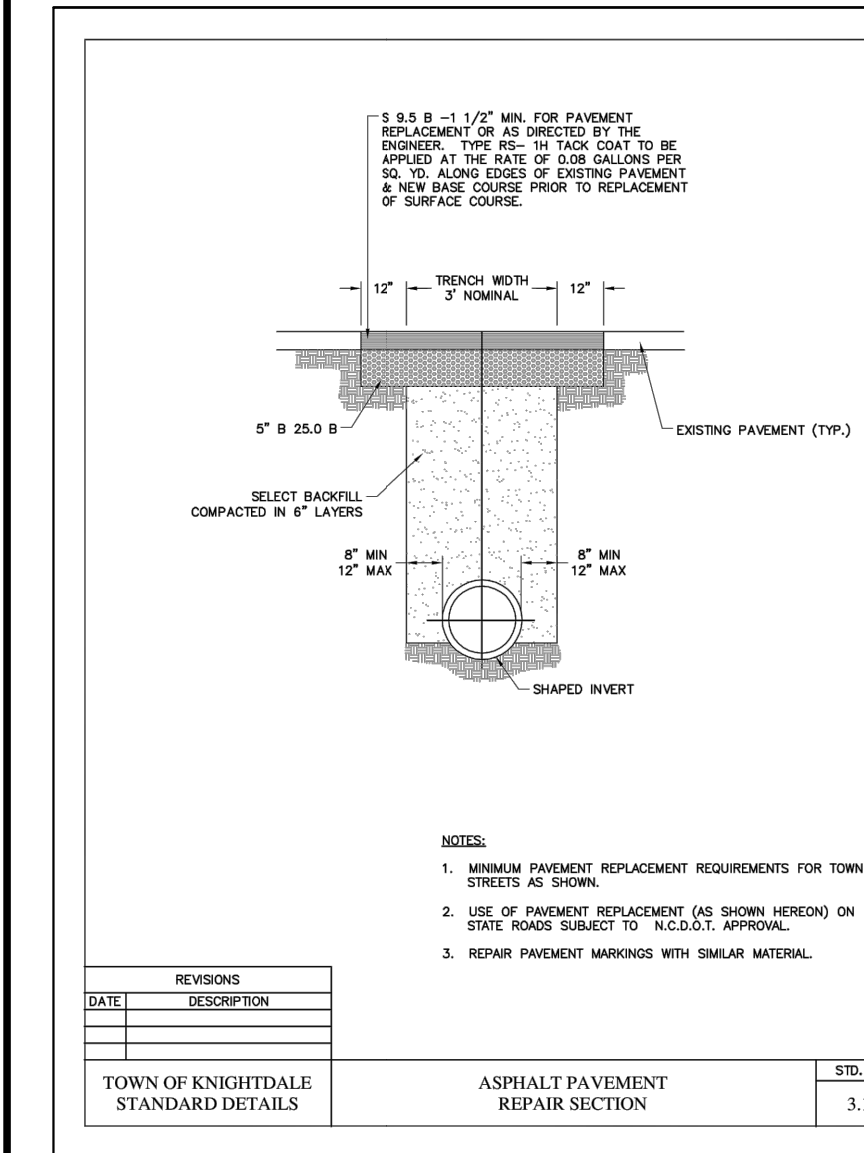
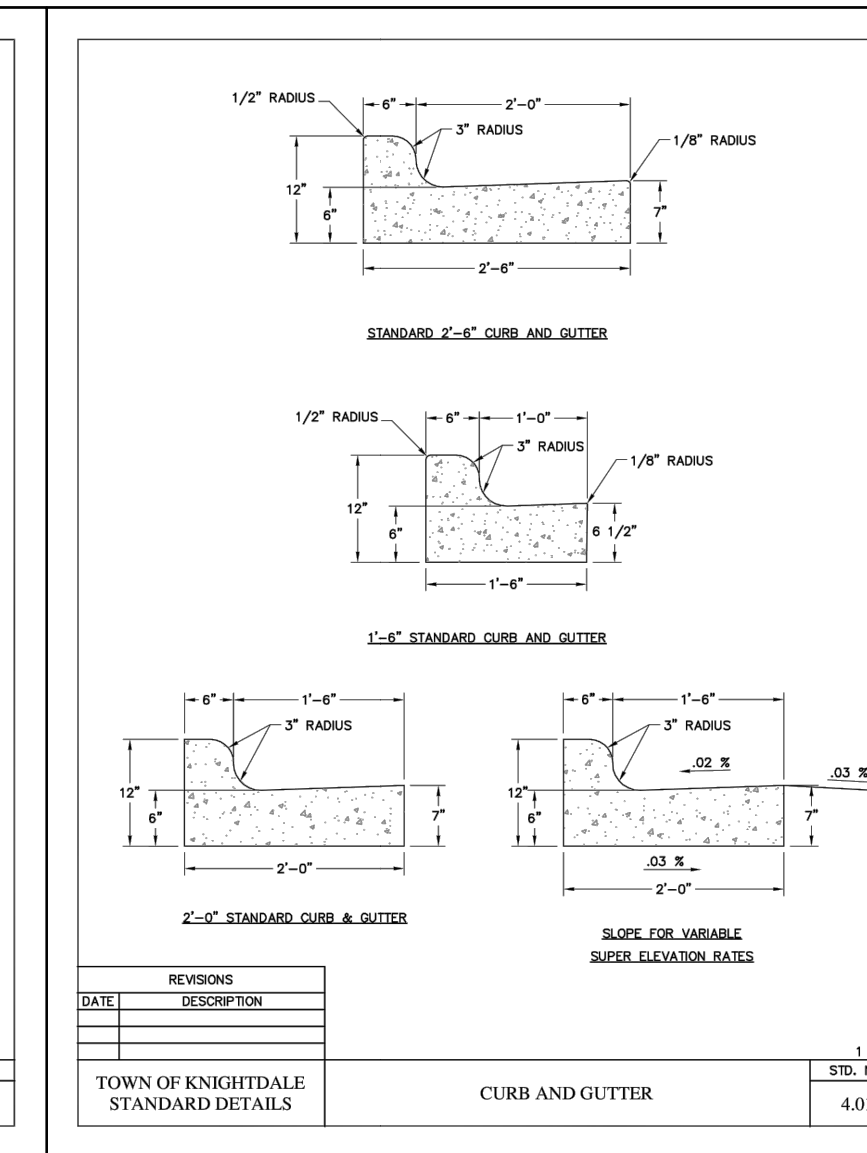
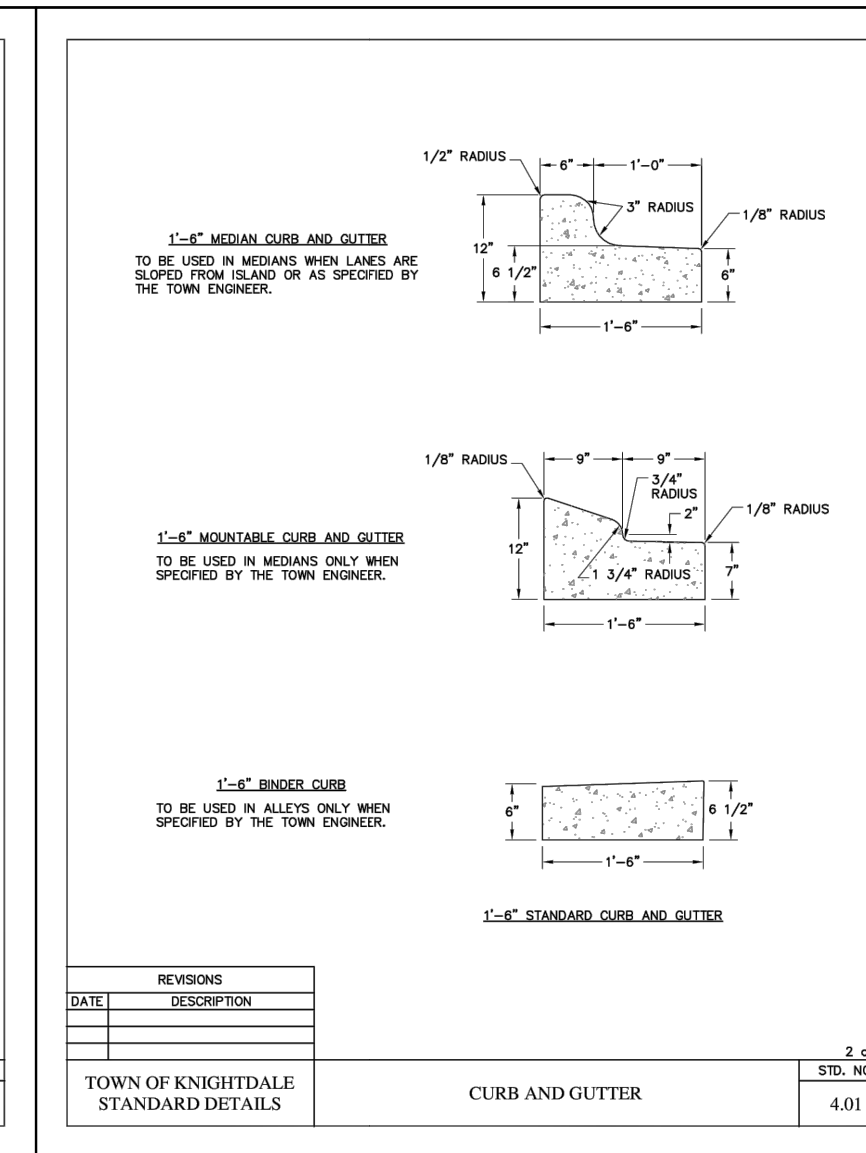
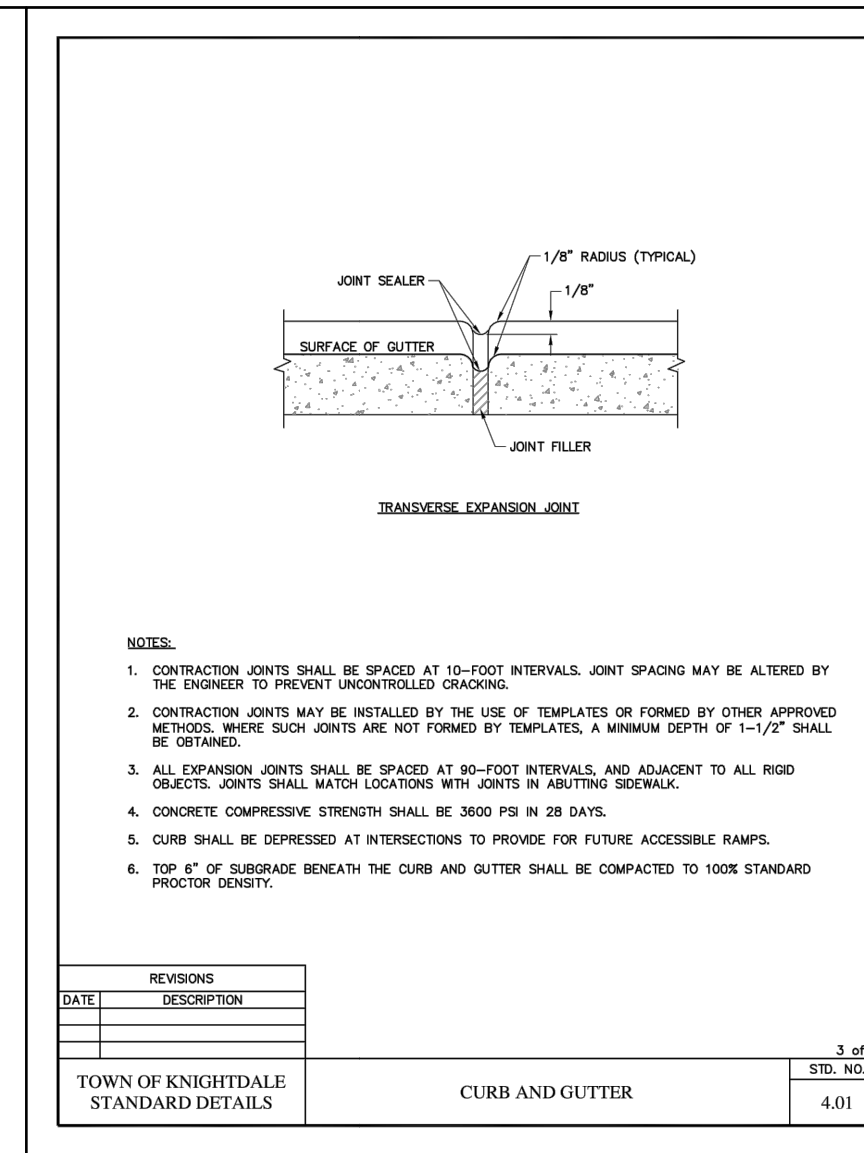
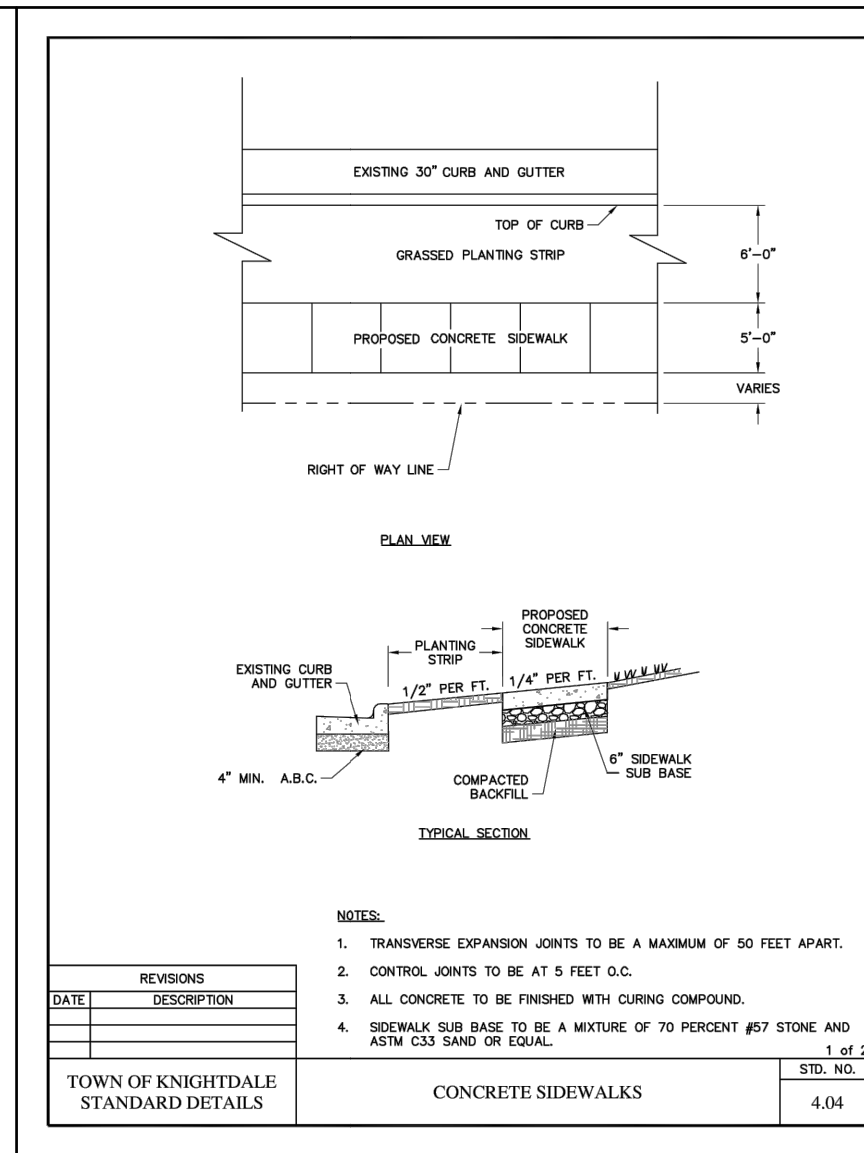
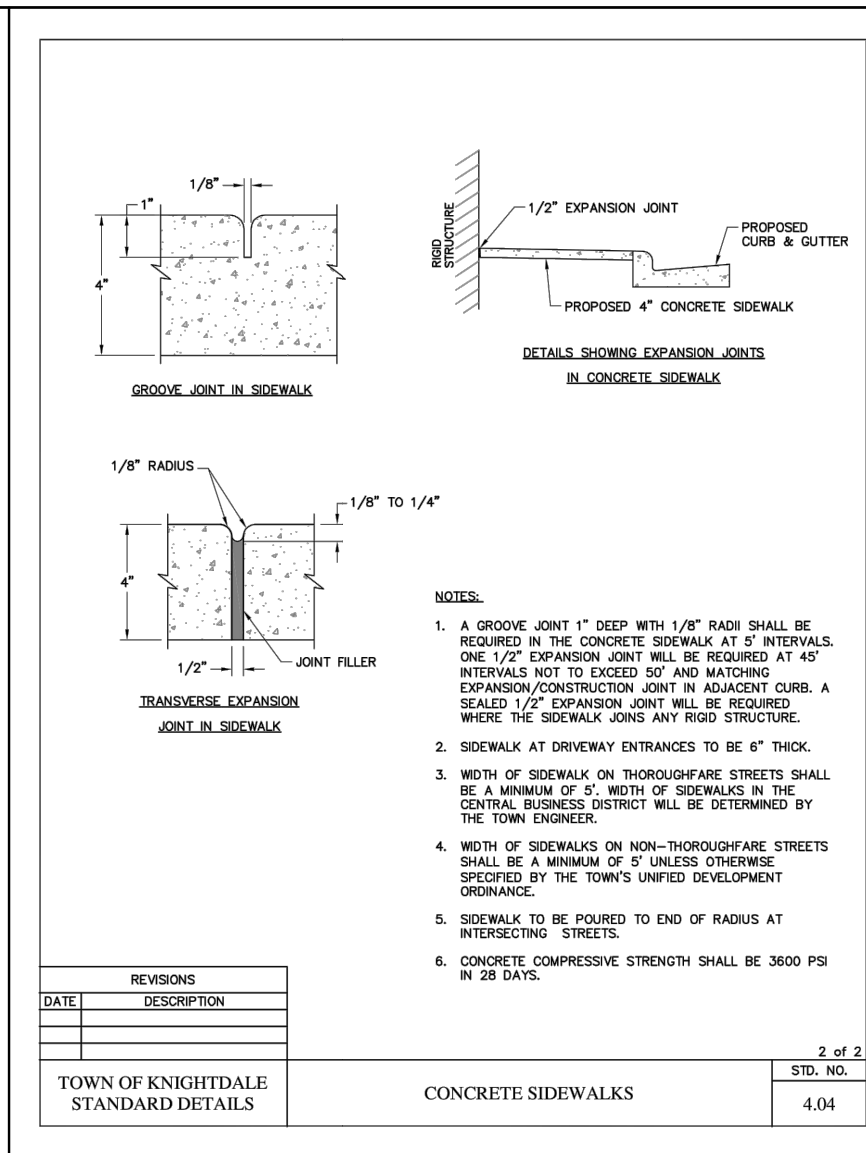
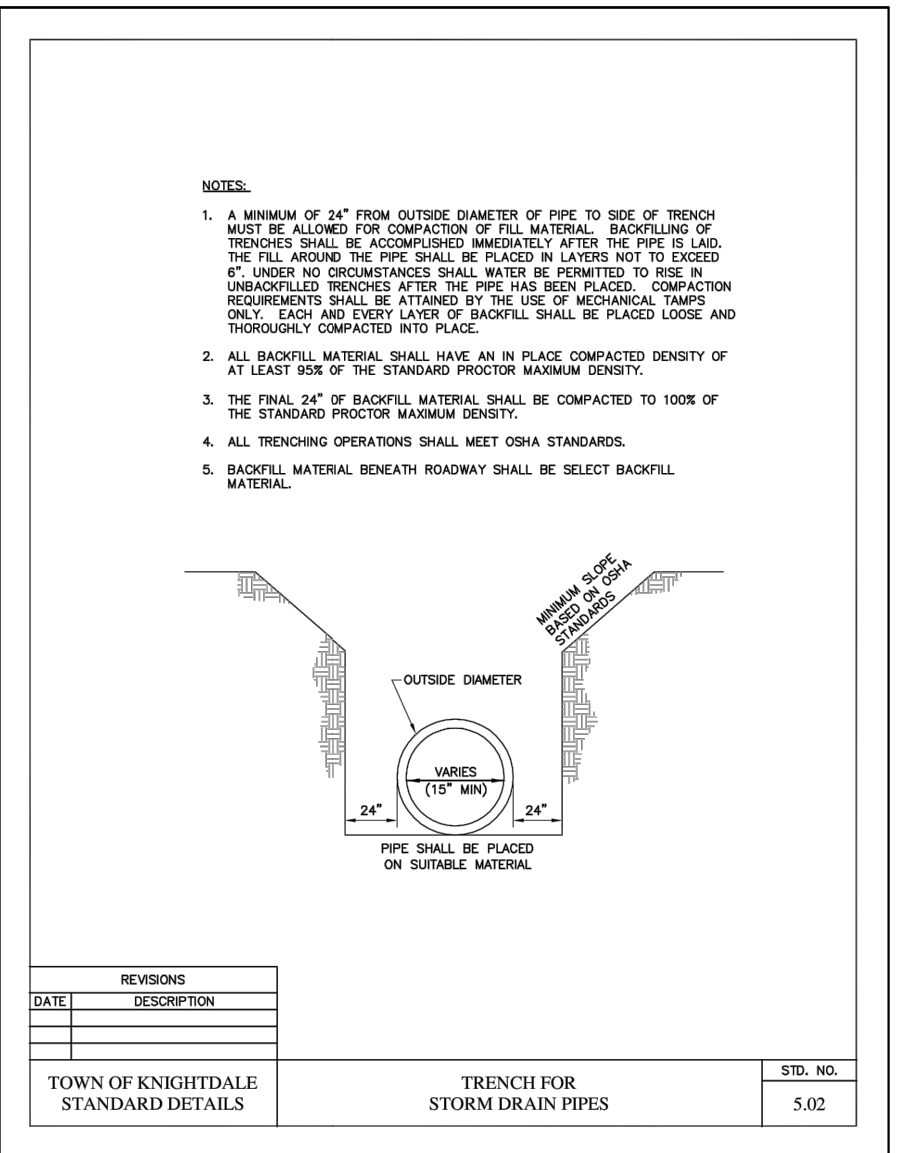
**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
 TELEPHONE: (919) 951-4222 OR (800) 354-1879 FAX: (919) 951-8668  
 CERTIFICATION NUMBERS: NOBELS (C-1010); NCBOLA (C-0267)

DATE	DESCRIPTION	BY
08-15-19	1ST TOK CD SIGNATURES	BTO
09-10-21	2ND TOK CONST. COMMENTS	BTO
09-10-21	1ST TOK CONST. COMMENTS	BTO
06-04-21	1ST TOK REVIEW COMMENTS	BTO
	DATE	DESCRIPTION
	NO.	REVISIONS

JOB NO.	DATE	DRAWN BY
11-04-21		TOK CD SIGNATURES
10-15-21		2ND TOK CONST. COMMENTS
09-10-21		1ST TOK CONST. COMMENTS
06-04-21		1ST TOK REVIEW COMMENTS
		DATE
		NO.
		DESCRIPTION
		REVISIONS

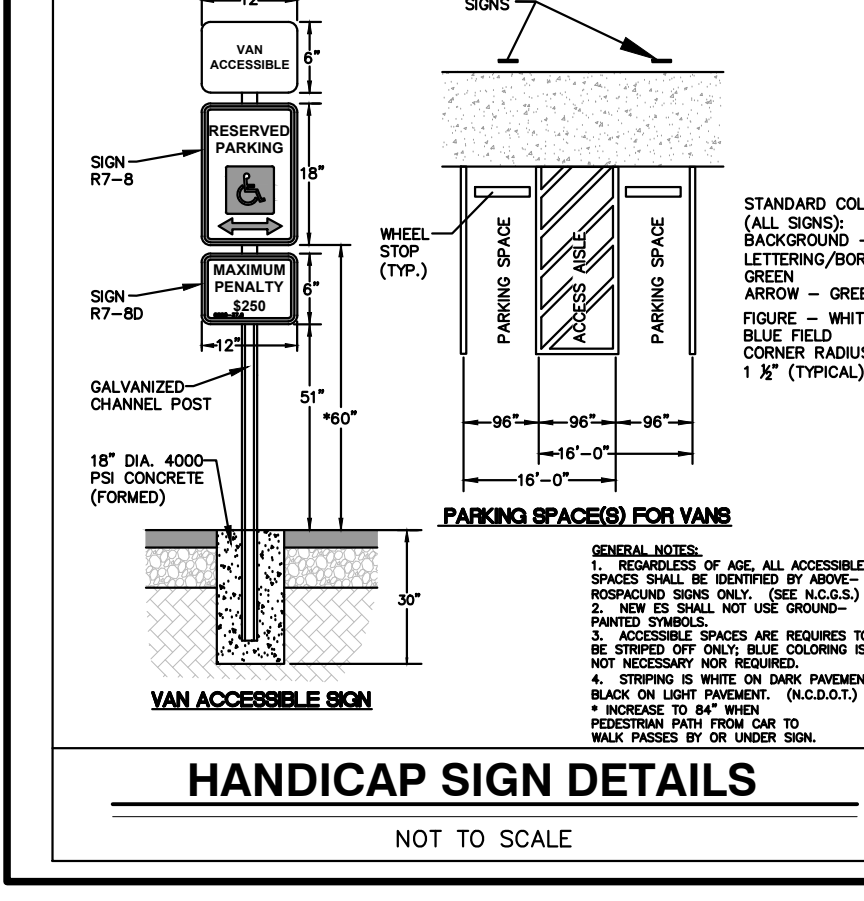
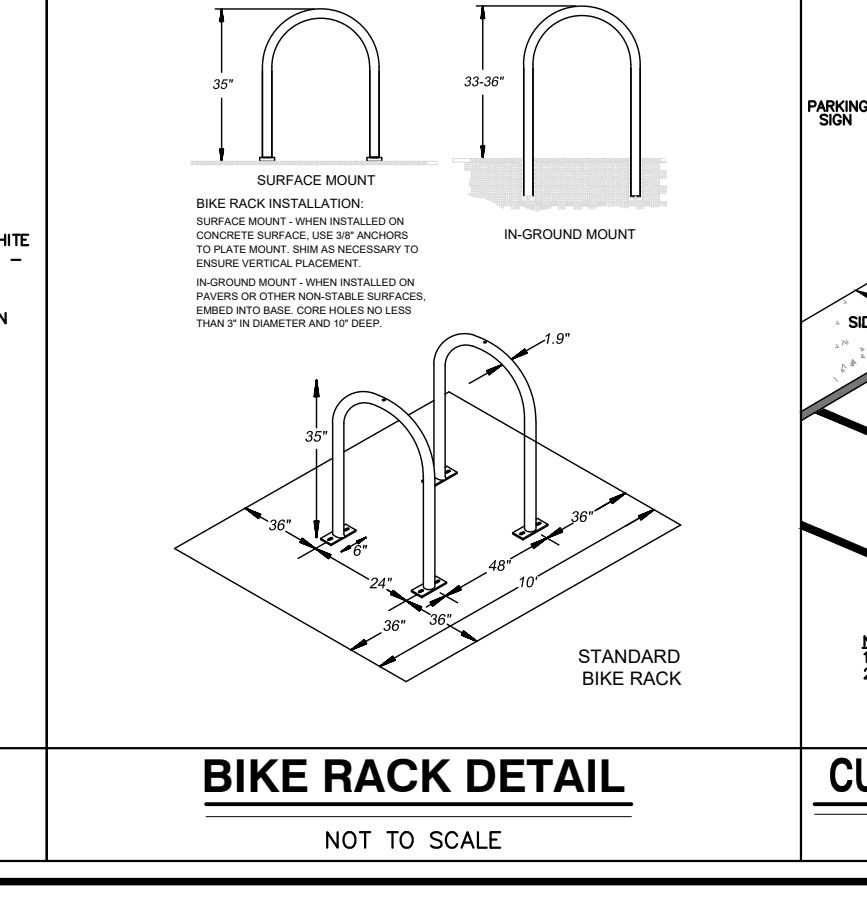
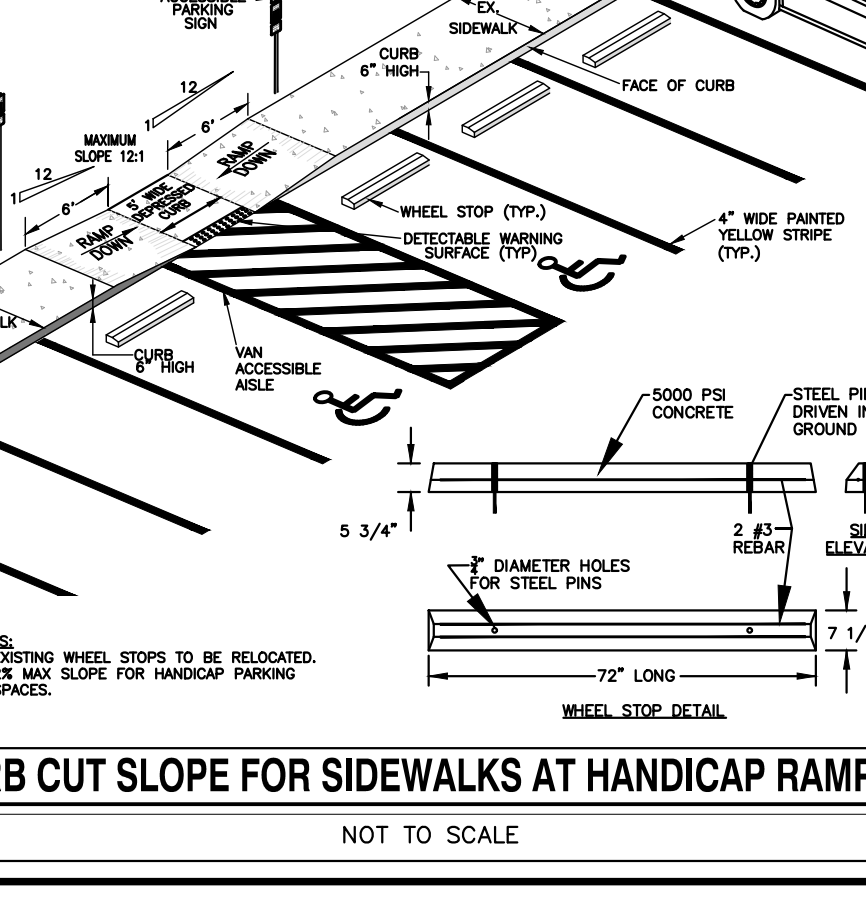
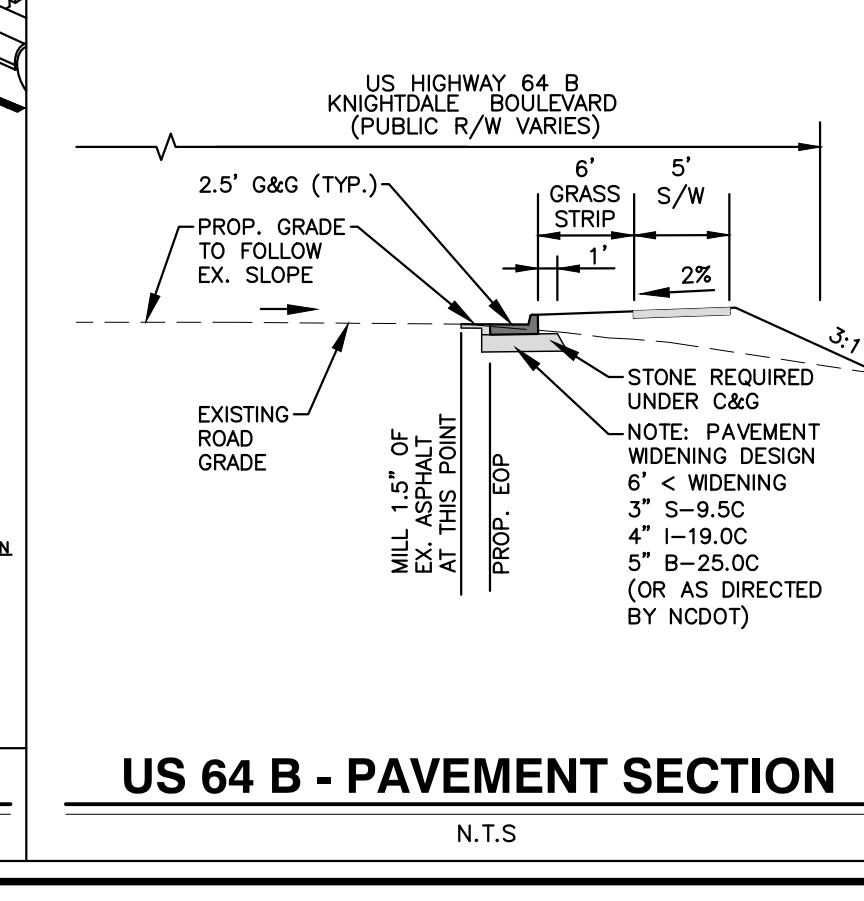
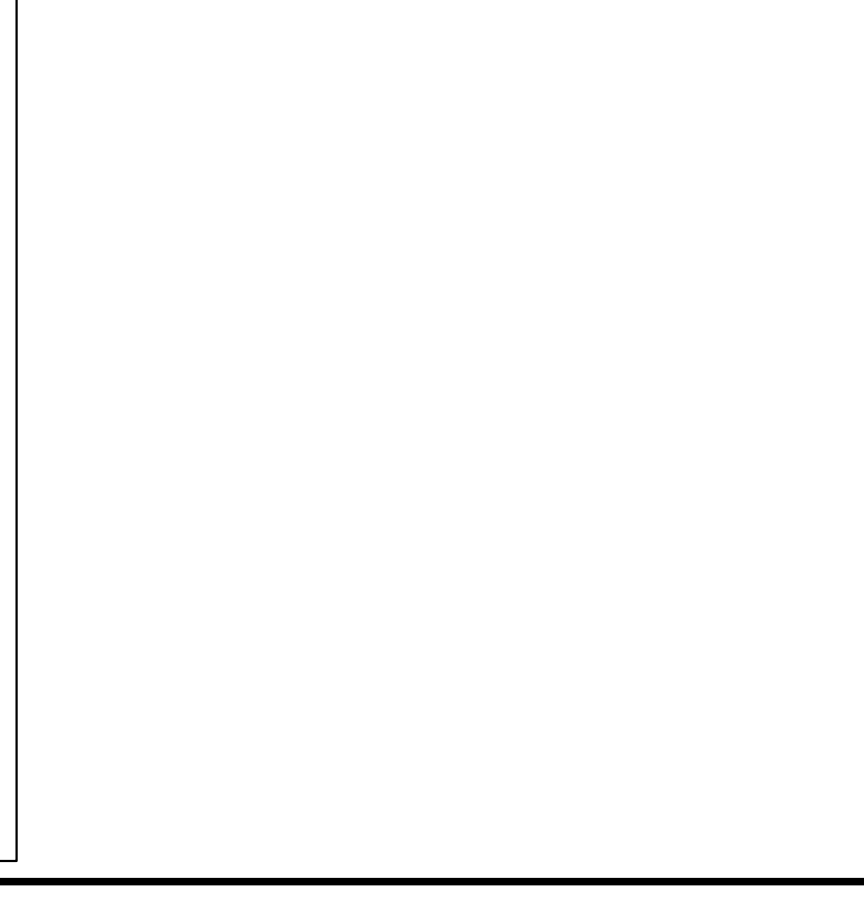
**BOJANGLES' RESTAURANT**  
 7525 KNIGHTDALE BLVD.  
 TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**SHEET C5.1**  
 NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



**STOP & BAR DETAIL**  
 NOT TO SCALE

**NEW PAVEMENT SECTION**  
 NOT TO SCALE



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: \_\_\_\_\_ Date: 12/07/2021  
 Administrator

SEEDING SCHEDULE table with columns: SEEDING PERIOD, SEEDING TYPE, APPLICATION RATE (LBS./ACRE). Includes rows for August-November, March-April, and June-September.

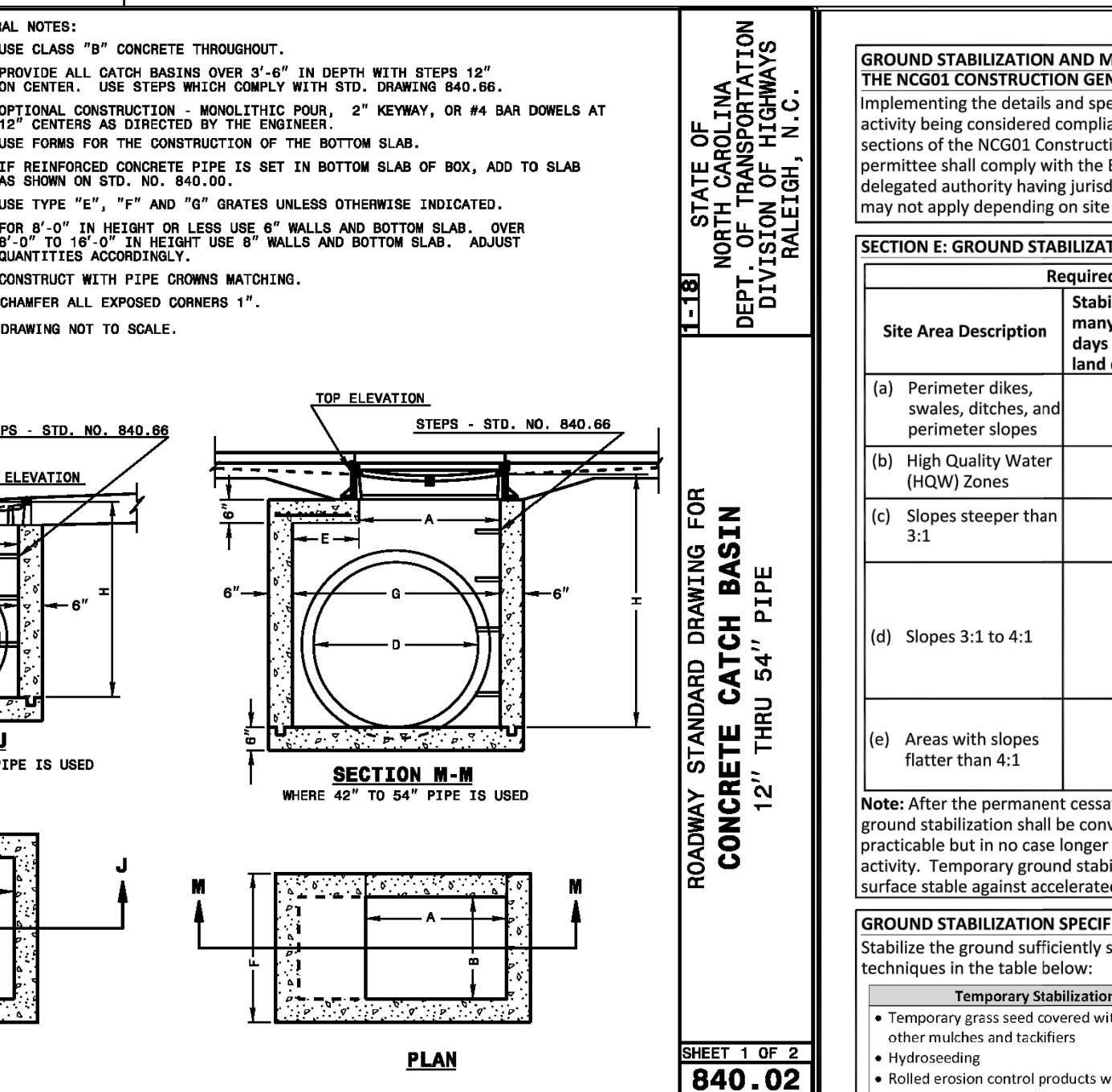
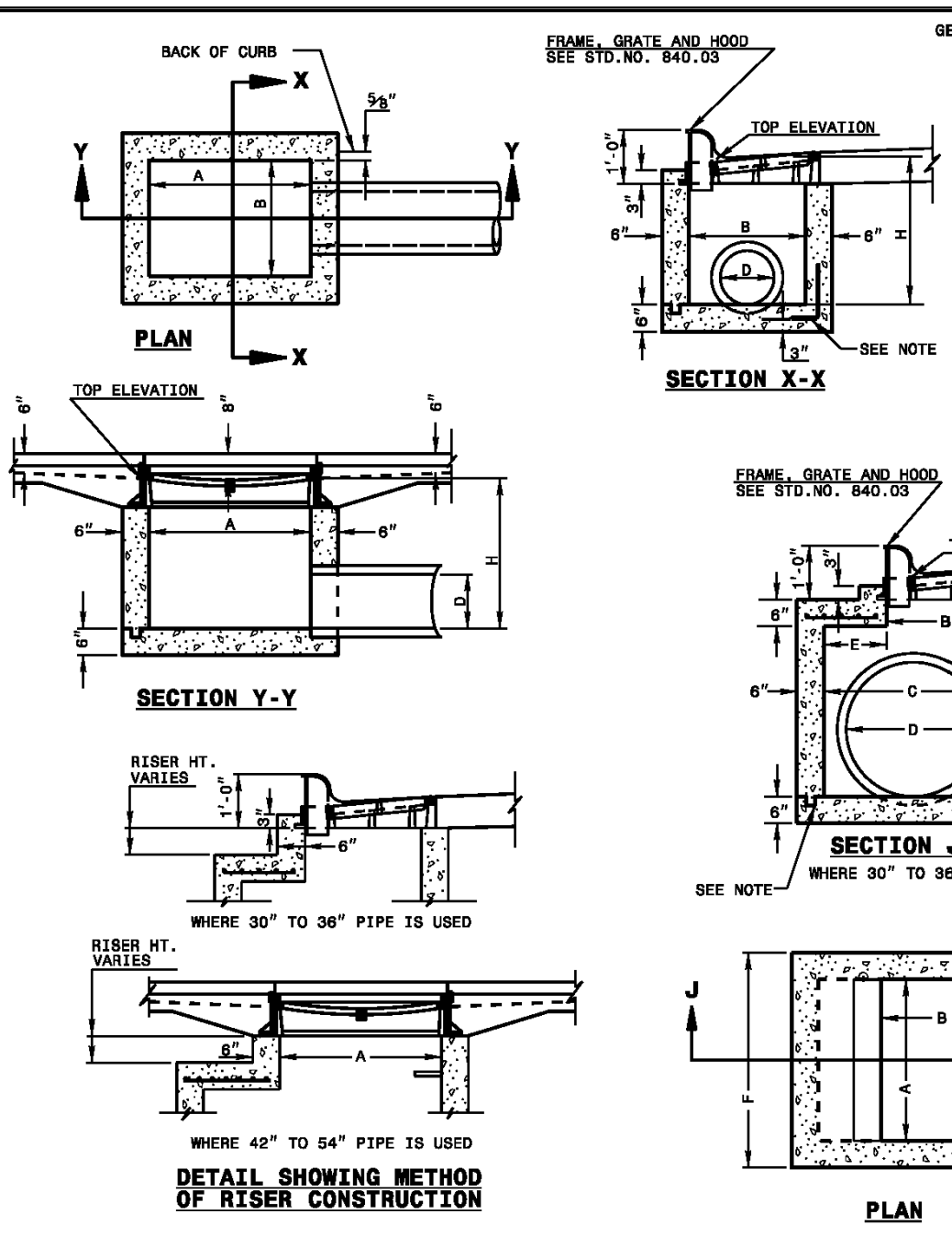
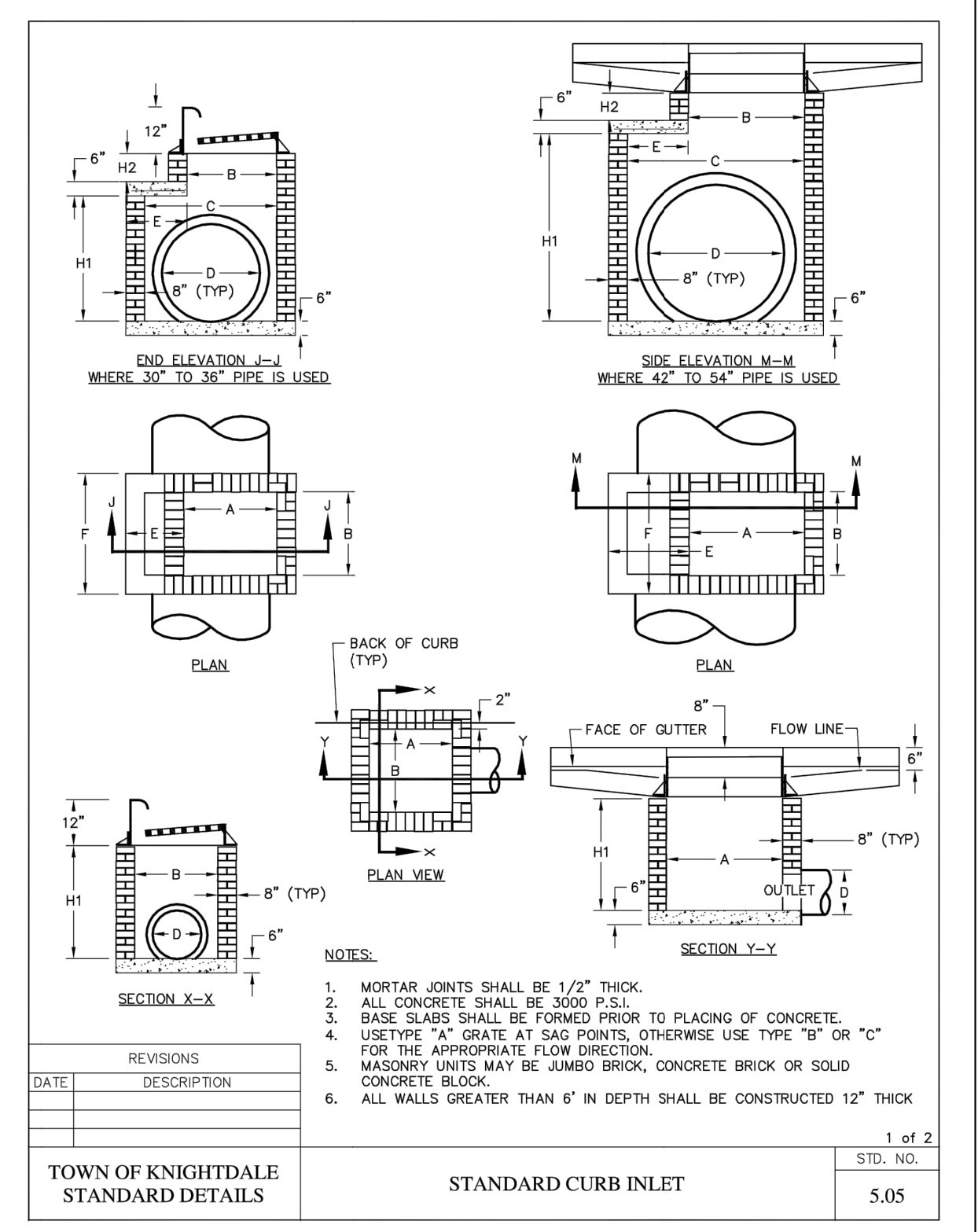
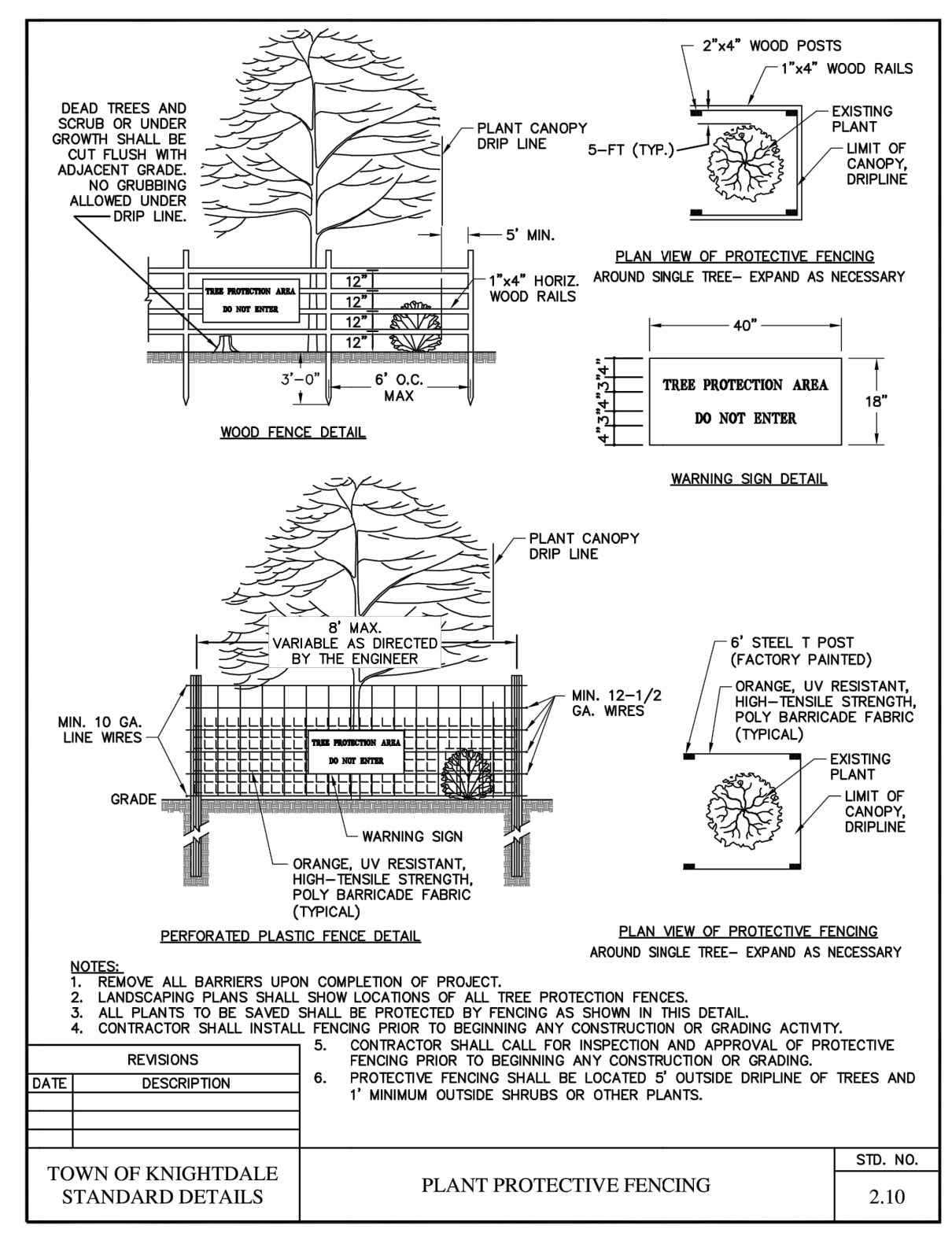
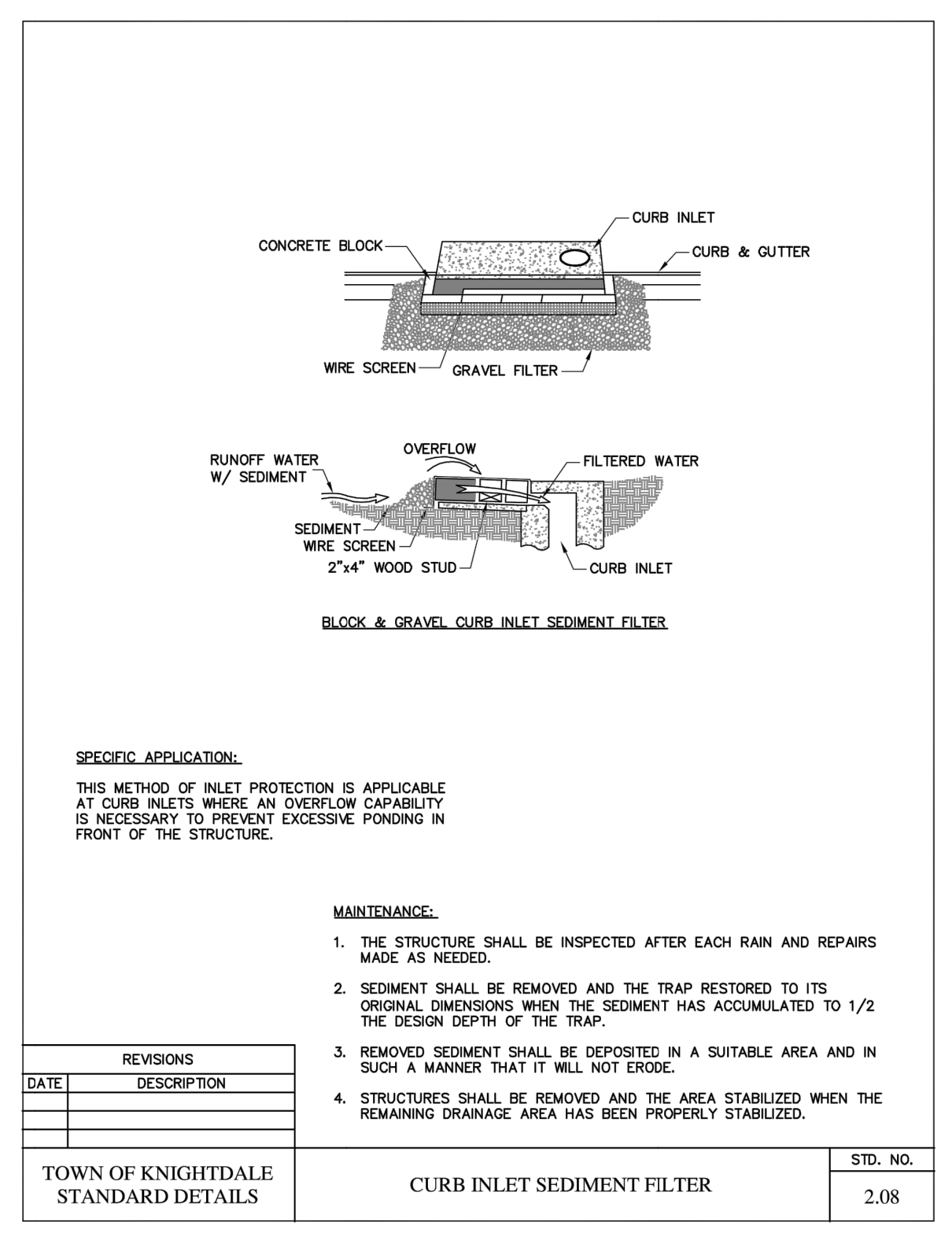
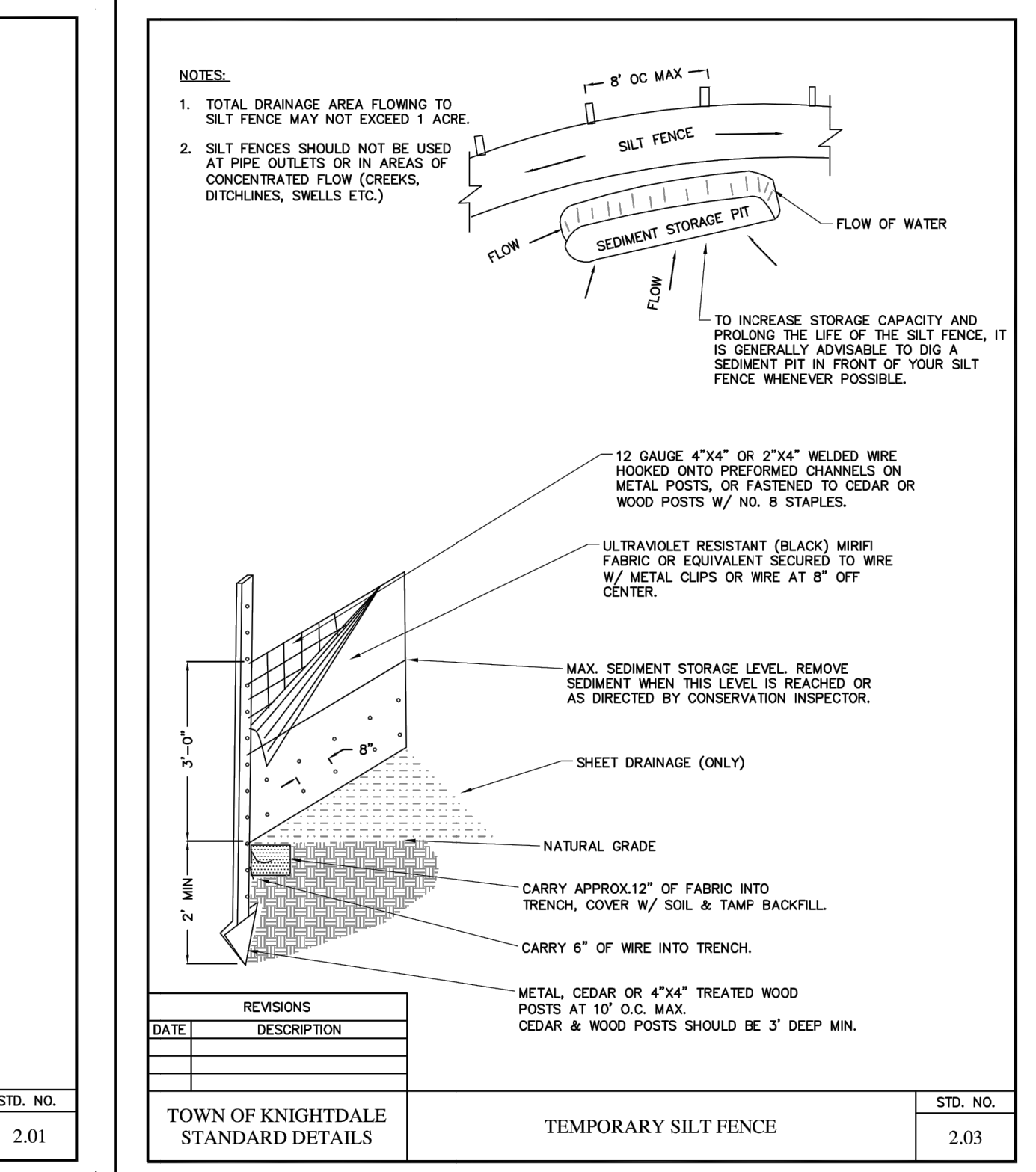
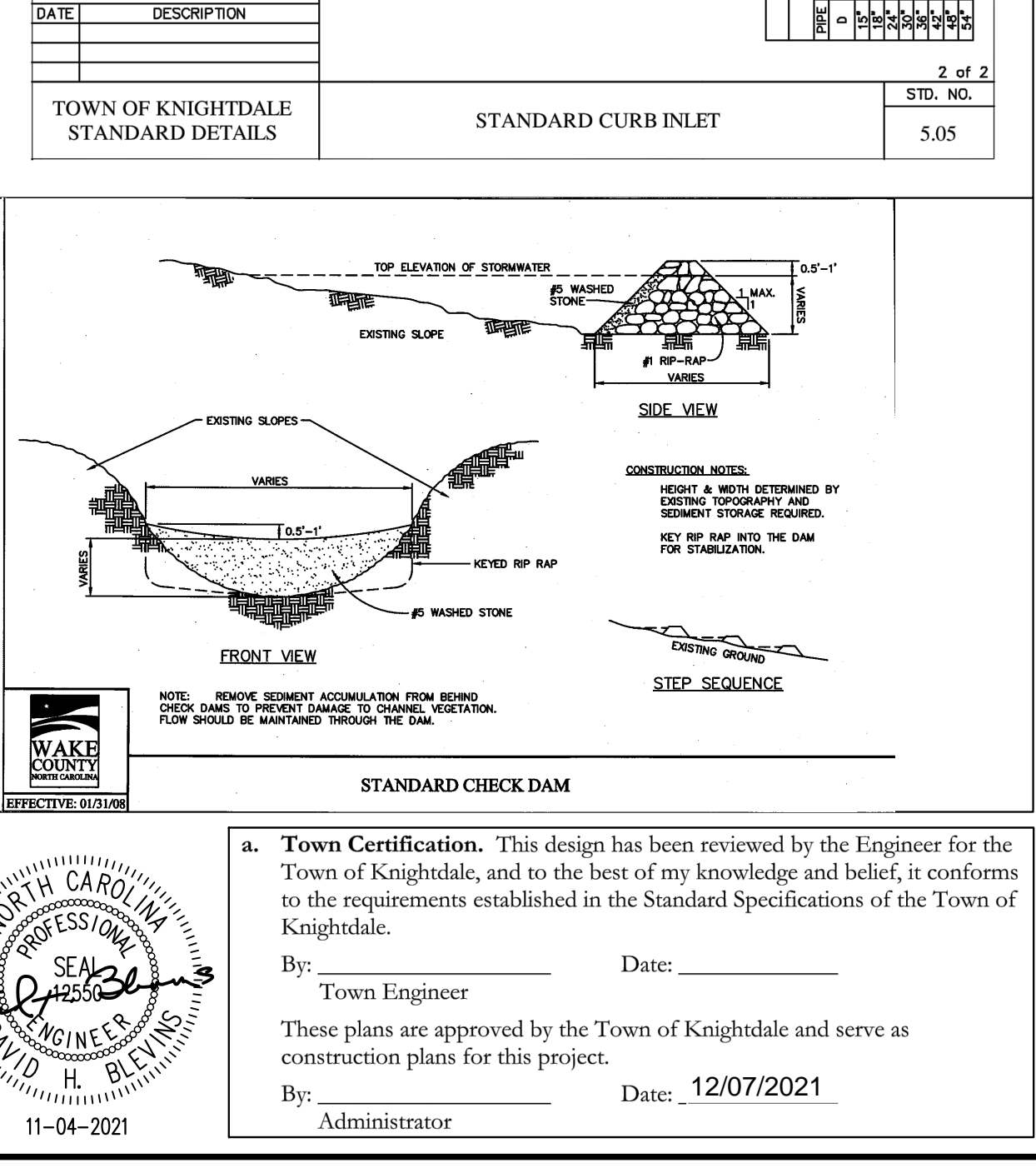
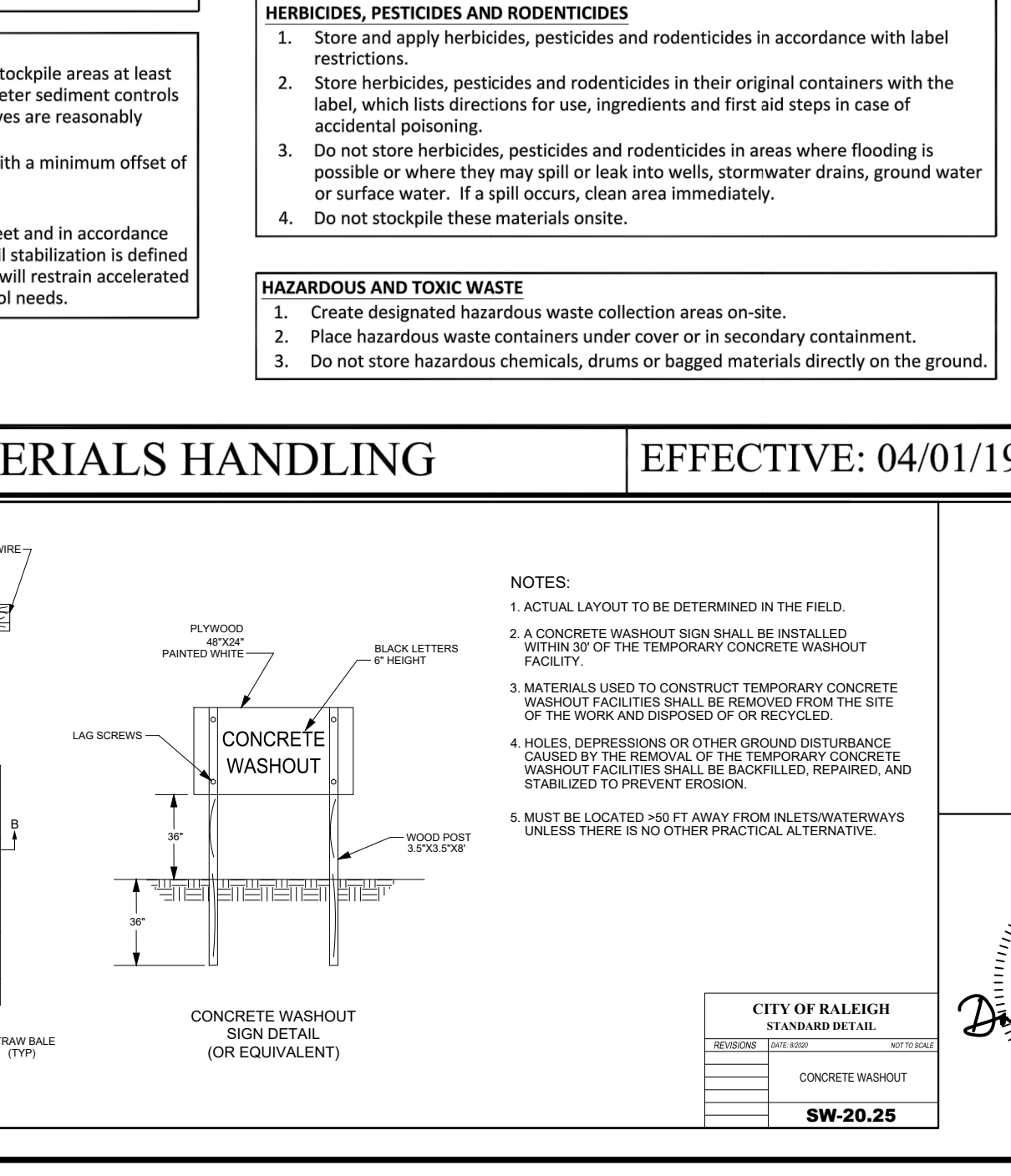
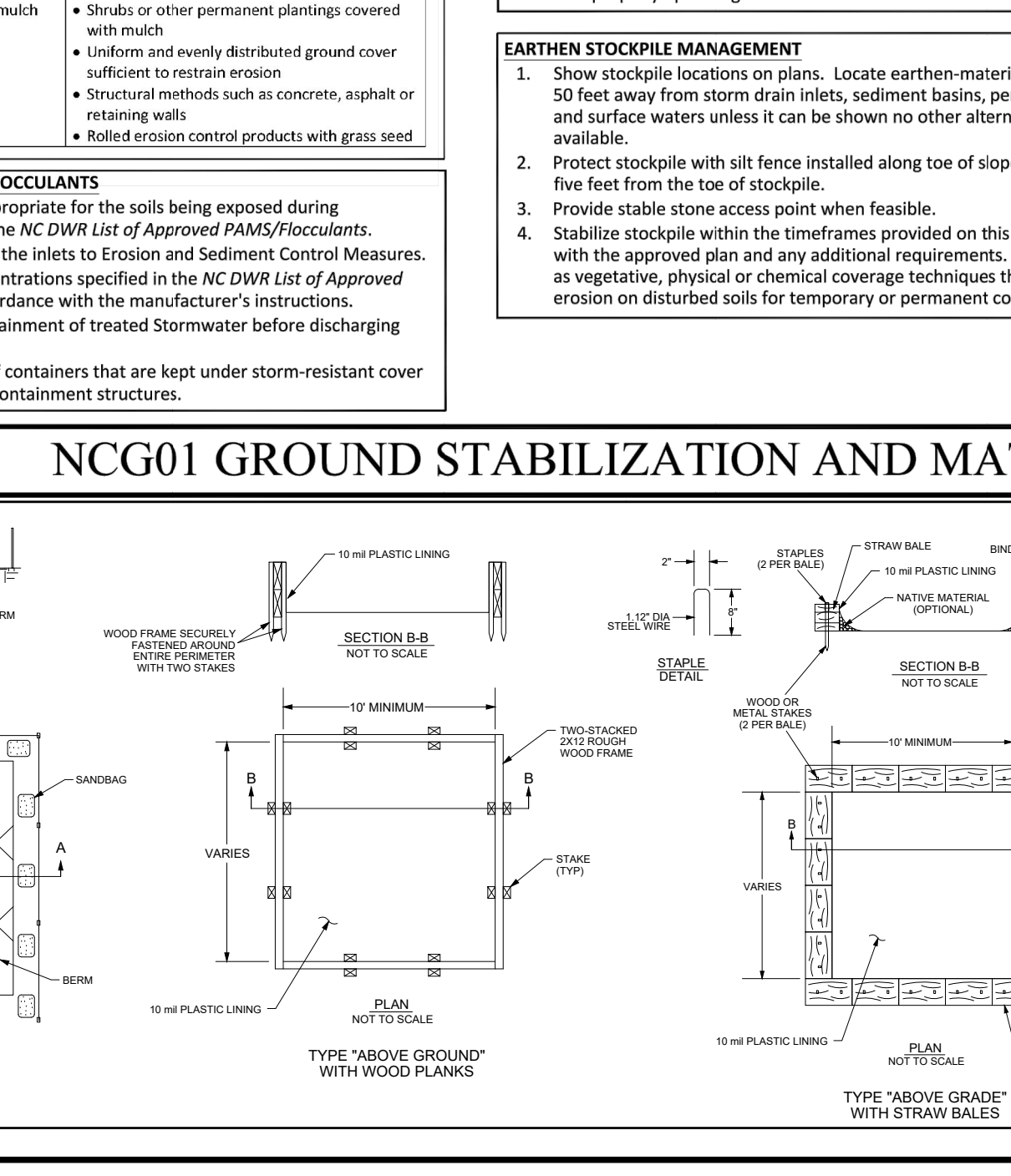
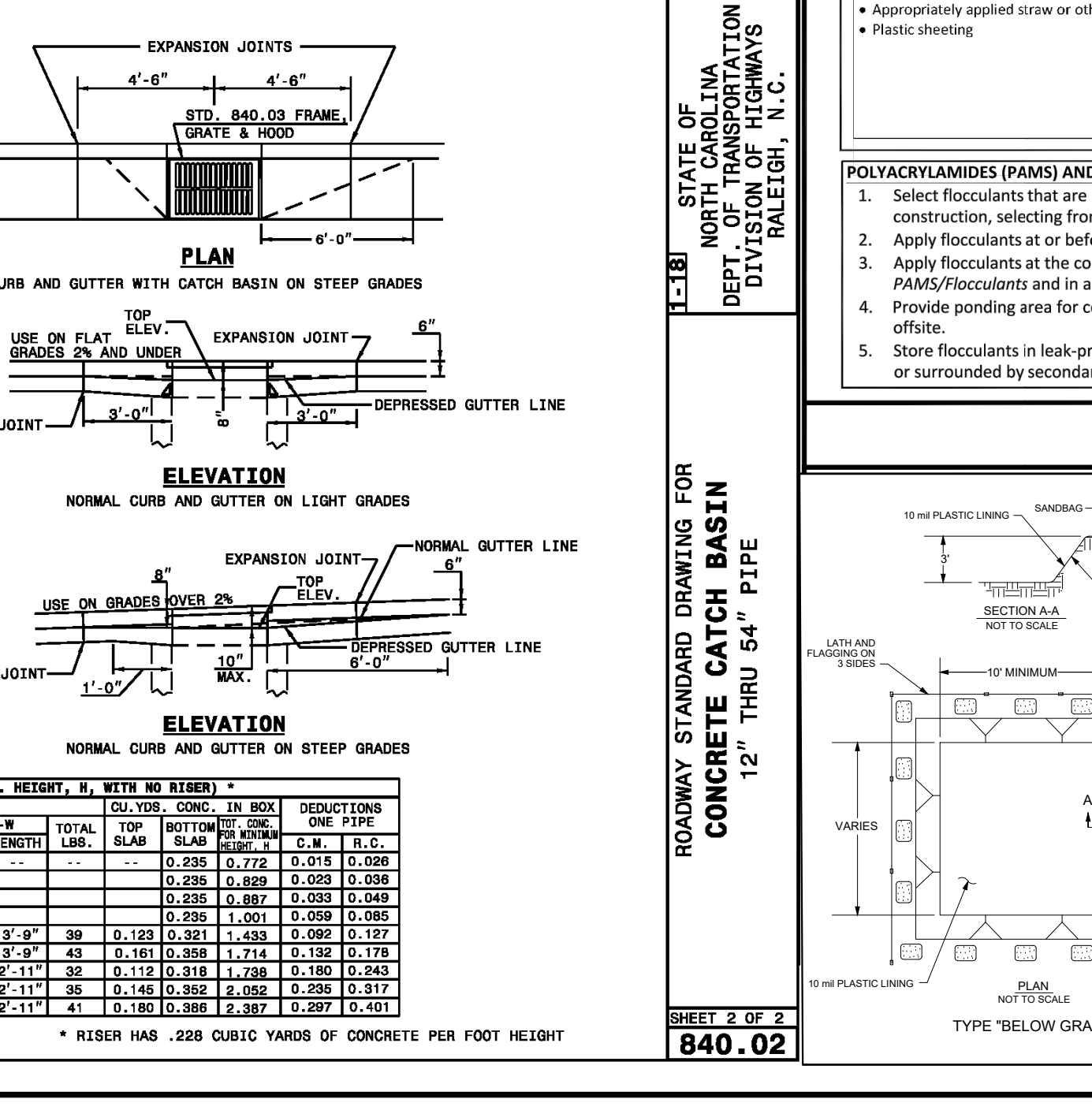
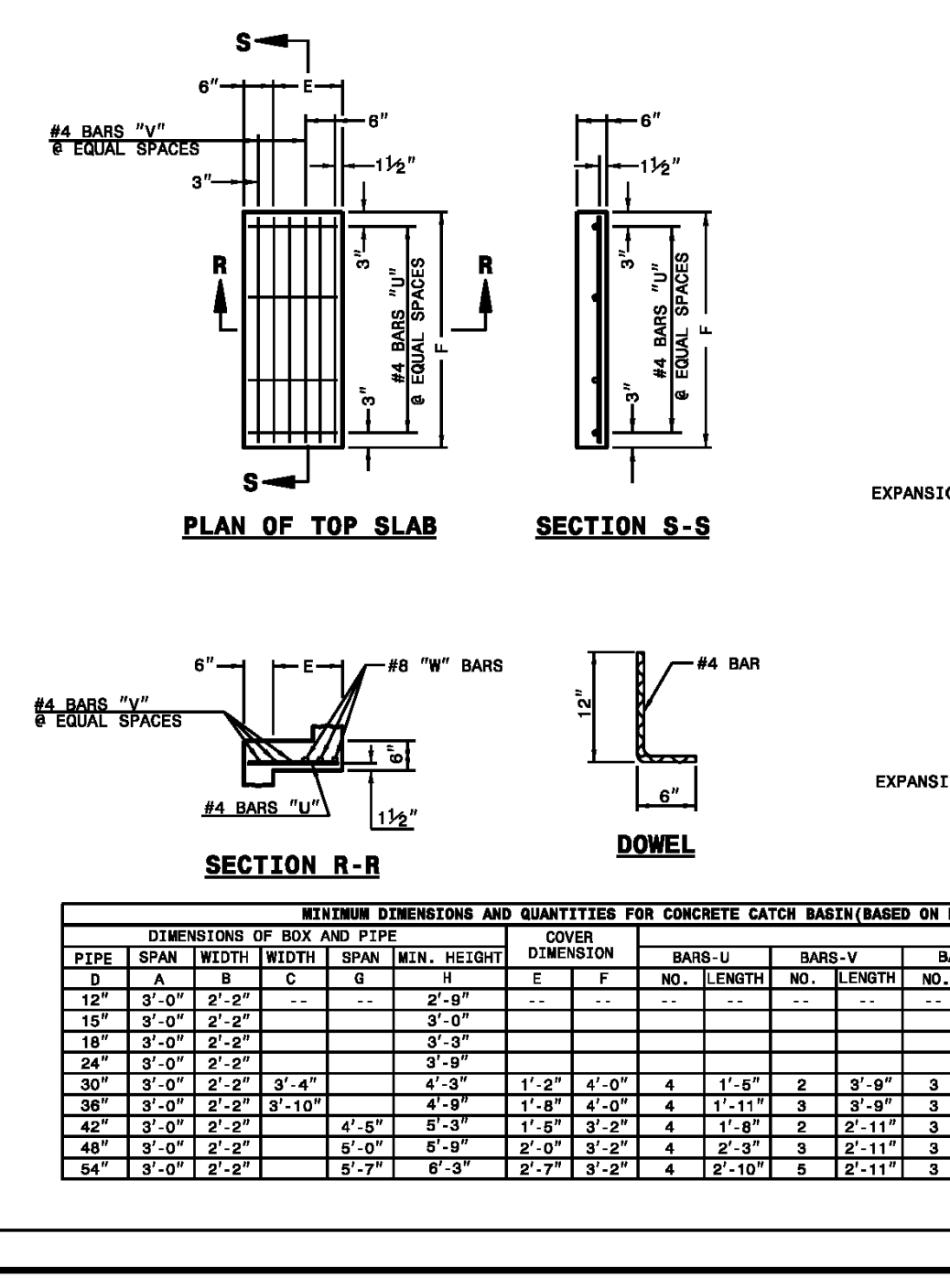
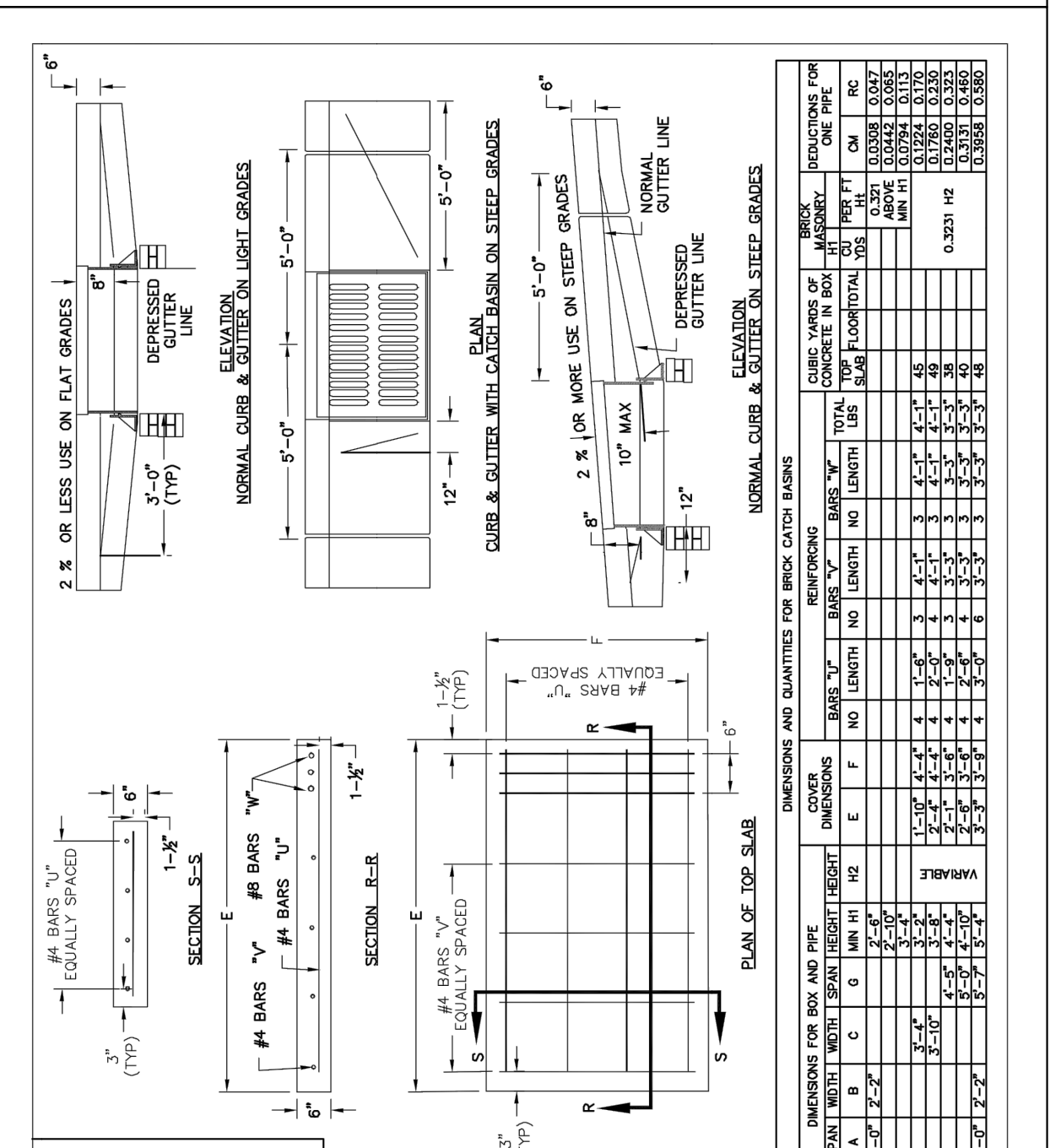
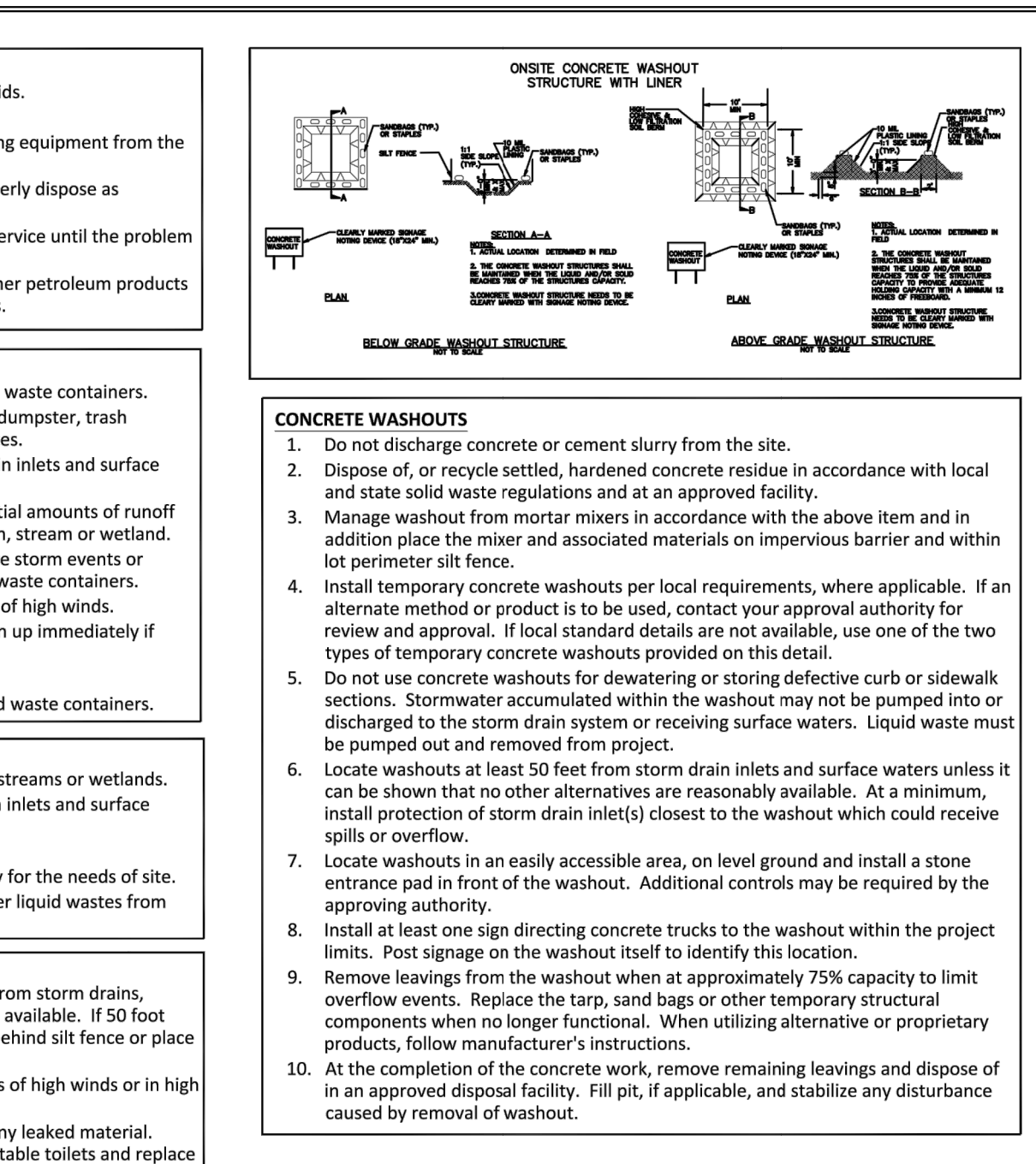


Table with 2 columns: Site Area Description, Timeframe variations. Lists various site conditions and their corresponding stabilization timeframes.



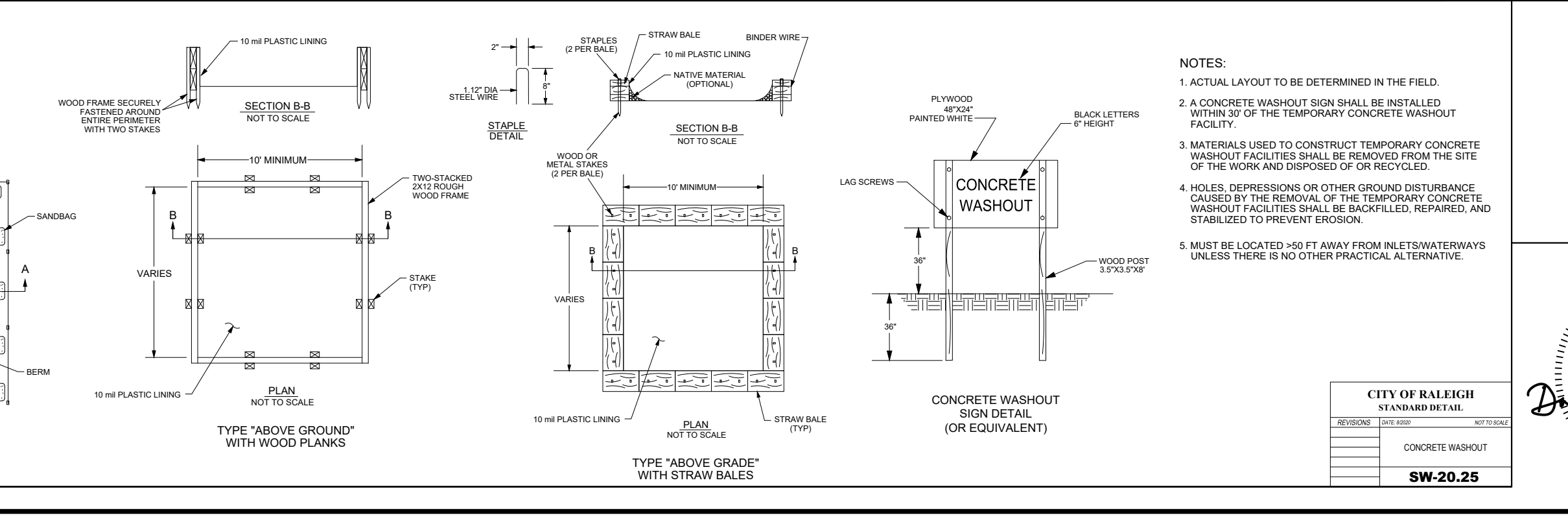
Vertical banner for BNK Bass, Nixon & Kennedy, Inc. Consulting Engineers, including contact information and project details for Bojangles' Restaurant.

Vertical text on the left edge: R:\2019\1903 - Bojangles' Restaurant\2021\11\14\2021\8:57:04 AM, branonelli, AutoCAD PDF (General Documentation).pc3, ARCH full bleed D (24.00 x 36.00 Inches), 1:1

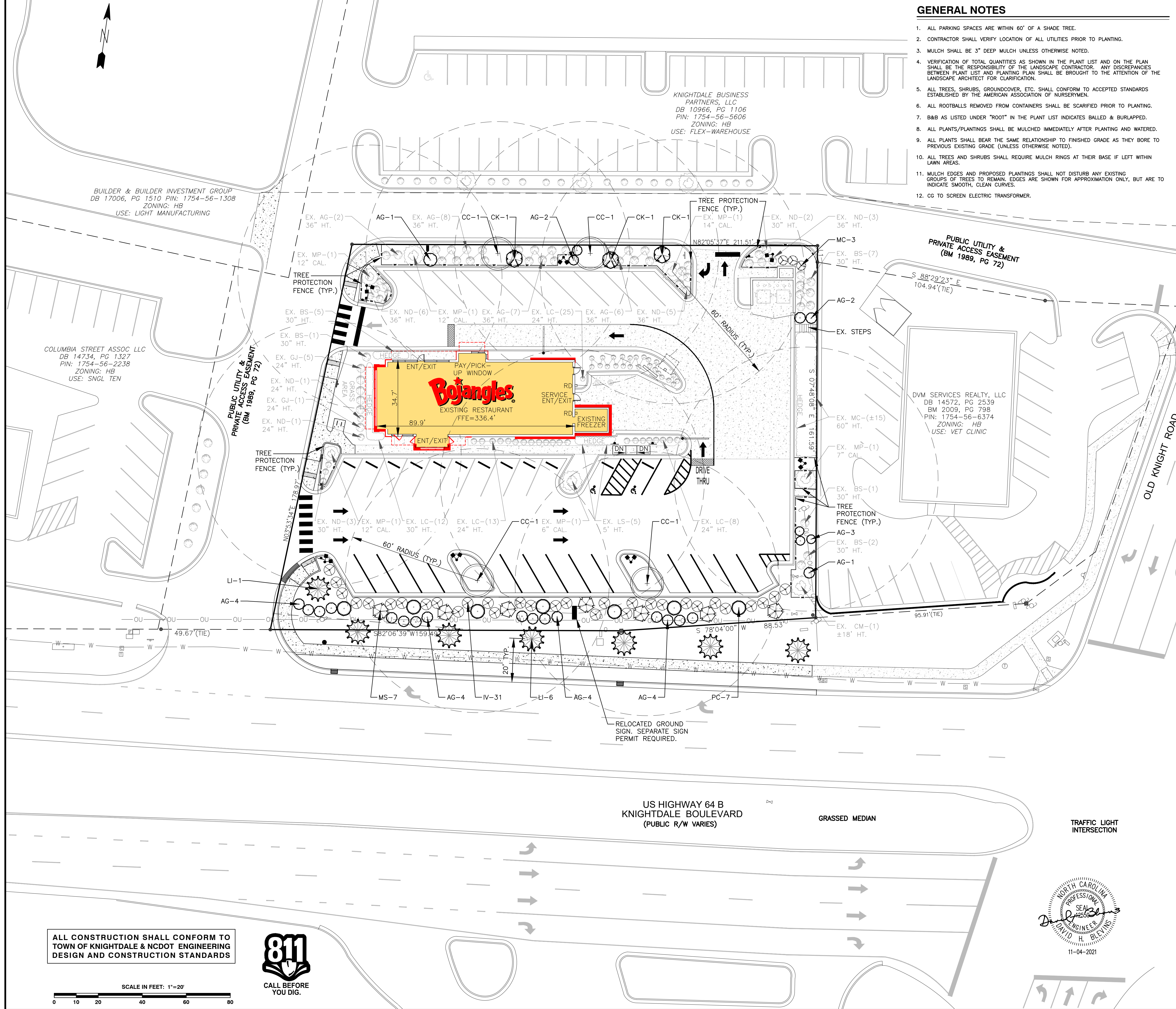
Vertical text on the right edge: NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19



Notes and Town Certification section, including a signature line for the Town Engineer and Administrator.



GENERAL NOTES

- 1. ALL PARKING SPACES ARE WITHIN 60' OF A SHADE TREE.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING.
3. MULCH SHALL BE 3" DEEP MULCH UNLESS OTHERWISE NOTED.
...
12. CG TO SCREEN ELECTRIC TRANSFORMER.

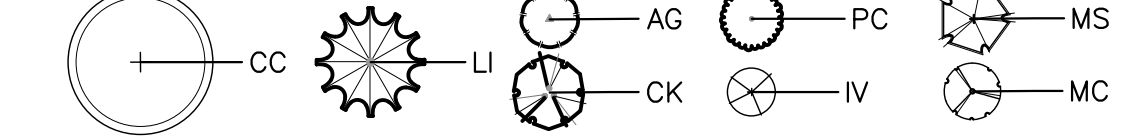
LANDSCAPE CALCULATIONS

ADJOINING PROPERTIES ARE THE SAME ZONING. NO BUFFER YARDS ARE REQUIRED. ONLY PARKING LOT SCREENING PER THE UDO REQUIREMENTS AND STREET TREES BEHIND SIDEWALK ALONG KNIGHTDALE BLVD. (US 64 BUSINESS)
KNIGHTDALE BLVD. (ARTERIAL)
PARKING SCREENING PER REQUIREMENTS OF UDO SECTION 8.7.A.1.
...
WEST PROPERTY LINE
NO PARKING LOT TO SCREEN

NEW PLANT LIST

Table with columns: KEY, SCIENTIFIC NAME, COMMON NAME, QUAN., CAL., HT., ROOT, TYPE. Lists plants like American Hornbeam, Star Magnolia, etc.

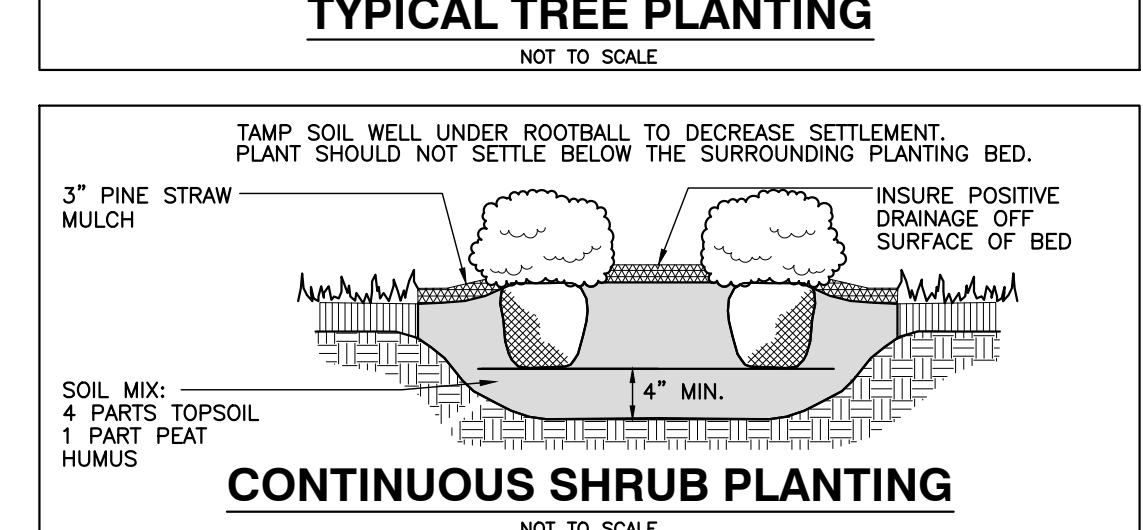
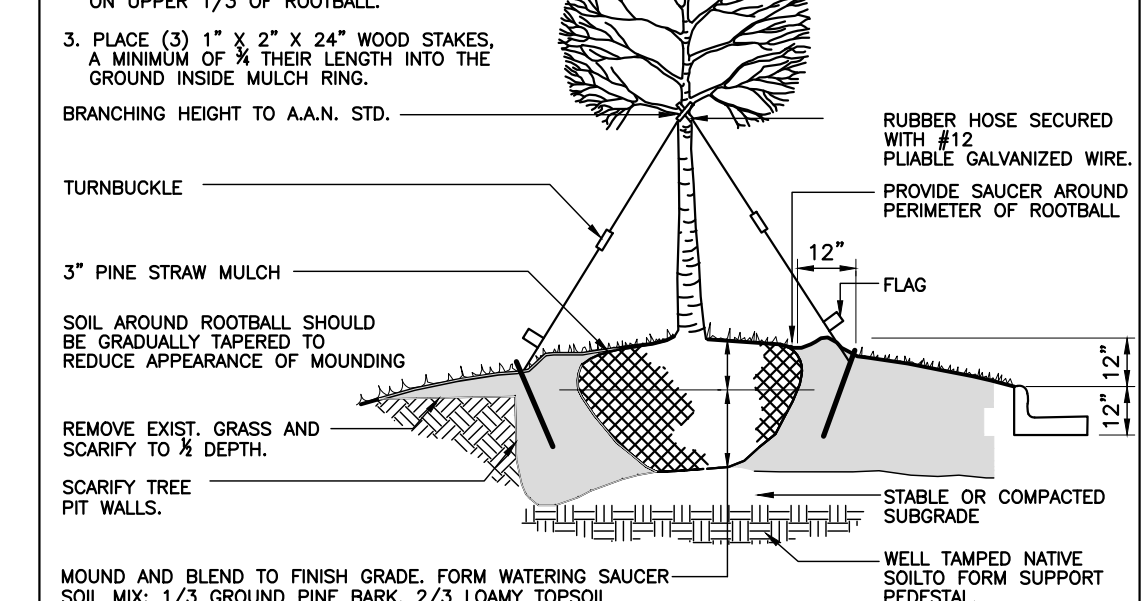
NEW PLANT LEGEND



EXT. TREE & SHRUB TYPE ABBREVIATIONS:

Table mapping tree and shrub abbreviations to their full names, including Maple, Boxwood, Glossy Abelia, etc.

NOTES: 1. APPROX. 1/3 OF ROOTBALL SHOULD BE SET ABOVE EXISTING GRADE...
2. REMOVE BURLAP, WIRE, ROPE, AND STRAPS ON UPPER 1/3 OF ROOTBALL.
...
3. PLACE (3) 1" x 2" x 24" WOOD STAKES...



a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: [Signature] Date: 12/07/2021
Town Engineer

COLUMBIA STREET ASSOC LLC
DB 14734, PG 1327
PIN: 1754-56-2238
ZONING: HB
USE: SNGL TEN

PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

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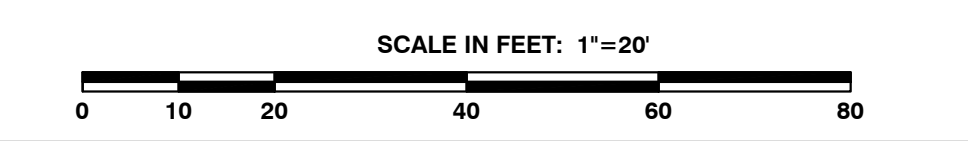
PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

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(BM 1989, PG 72)

PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

PRIVATE UTILITY & ACCESS EASEMENT
(BM 1989, PG 72)

ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE & NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



US HIGHWAY 64 B
KNIGHTDALE BOULEVARD
(PUBLIC R/W VARIES)

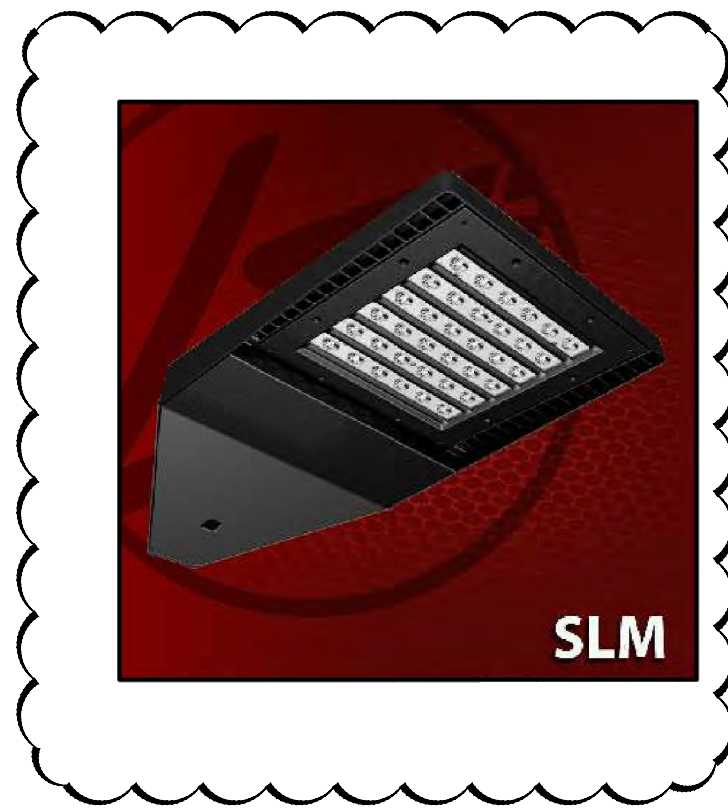
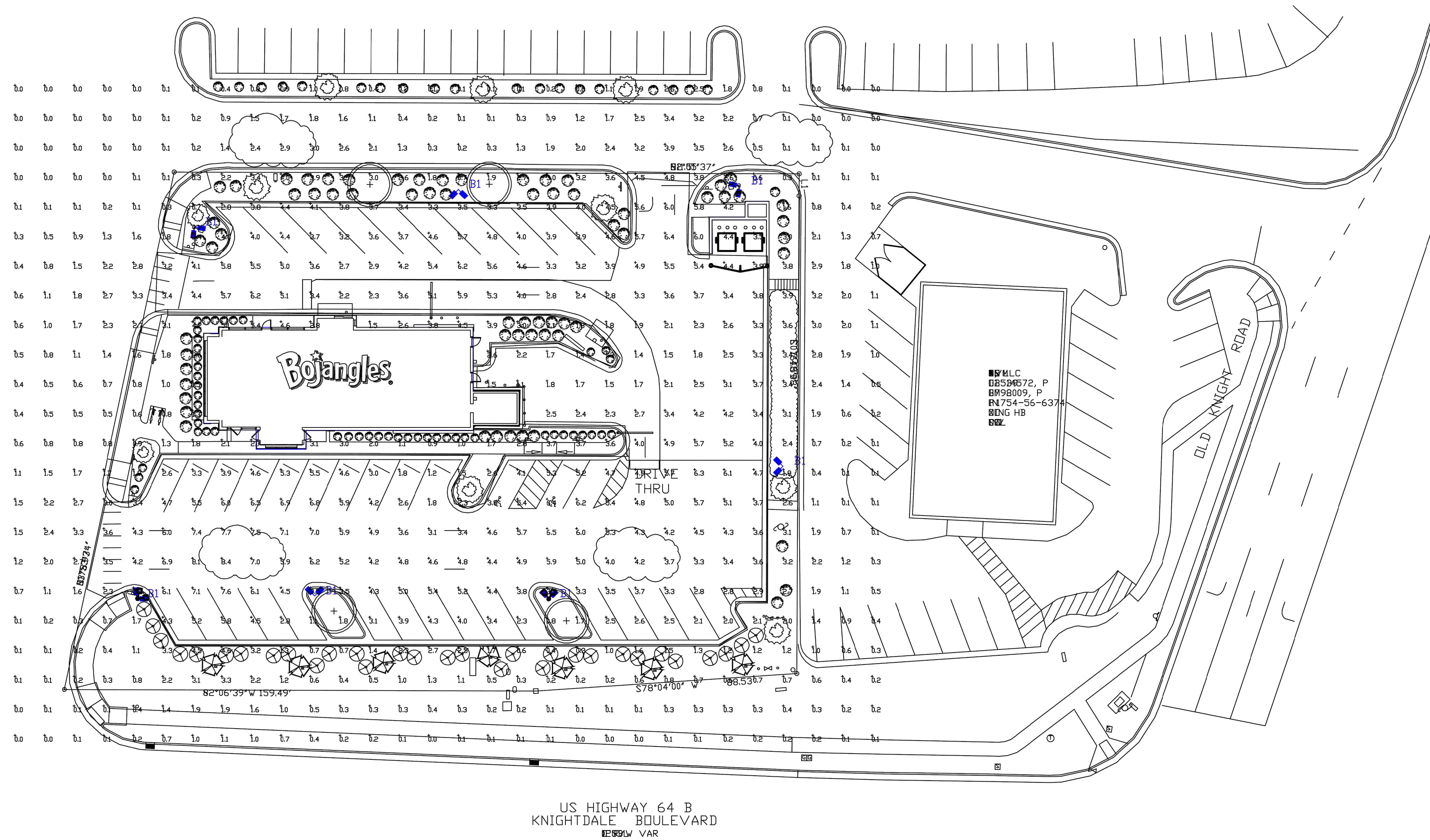
GRASSED MEDIAN

TRAFFIC LIGHT INTERSECTION



Vertical sidebar containing BNK logo, BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS contact info, project title BOJANGLES' RESTAURANT, and SHEET L1.1.





Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
	7	B1	2 @ 90 DEGREES	SLM-LED-18L-SIL-FT-50-70CRI-IL	1.000	1.000	1.000	24086	270	B1-U0-G2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	2.33	8.4	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	4.13	8.4	0.8	5.16	10.50

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

**a. Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: \_\_\_\_\_ Date: 12/07/2021  
Administrator

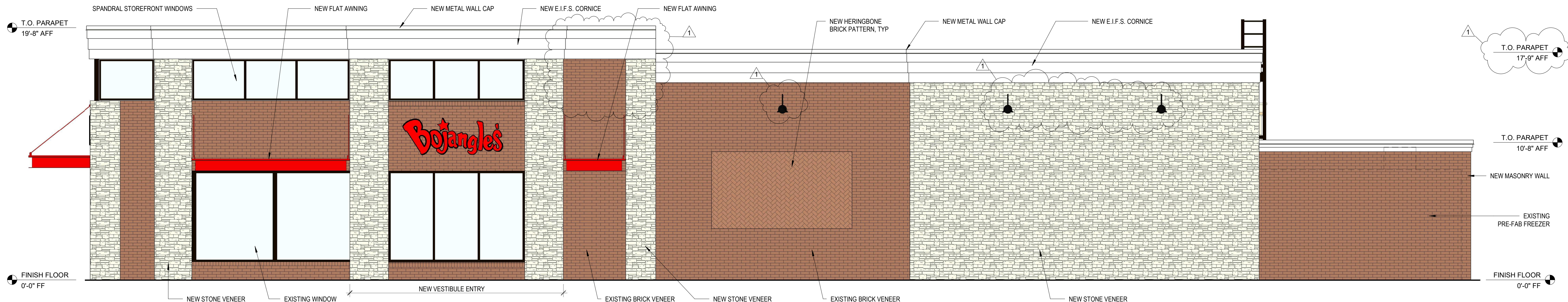
Total Project Watts  
Total Watts = 1890

KNIGHTDALE ENGINEERING & CONSTRUCTION, INC.  
7525 KNIGHTDALE BLVD  
KNIGHTDALE, NC

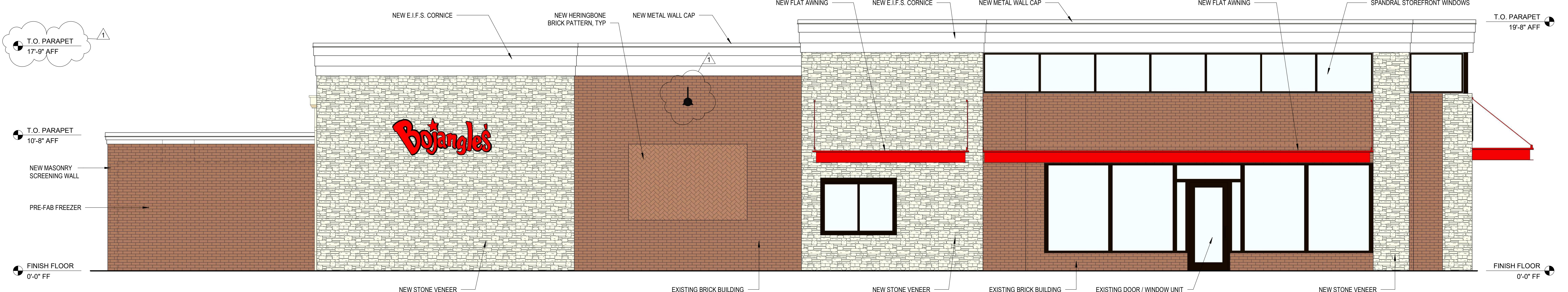
LIGHTING PROPOSAL LD-154329-1

BY: SAHMHVD	DATE: 8-24-21	REV: 10-12-21	SHEET 1 OF 1
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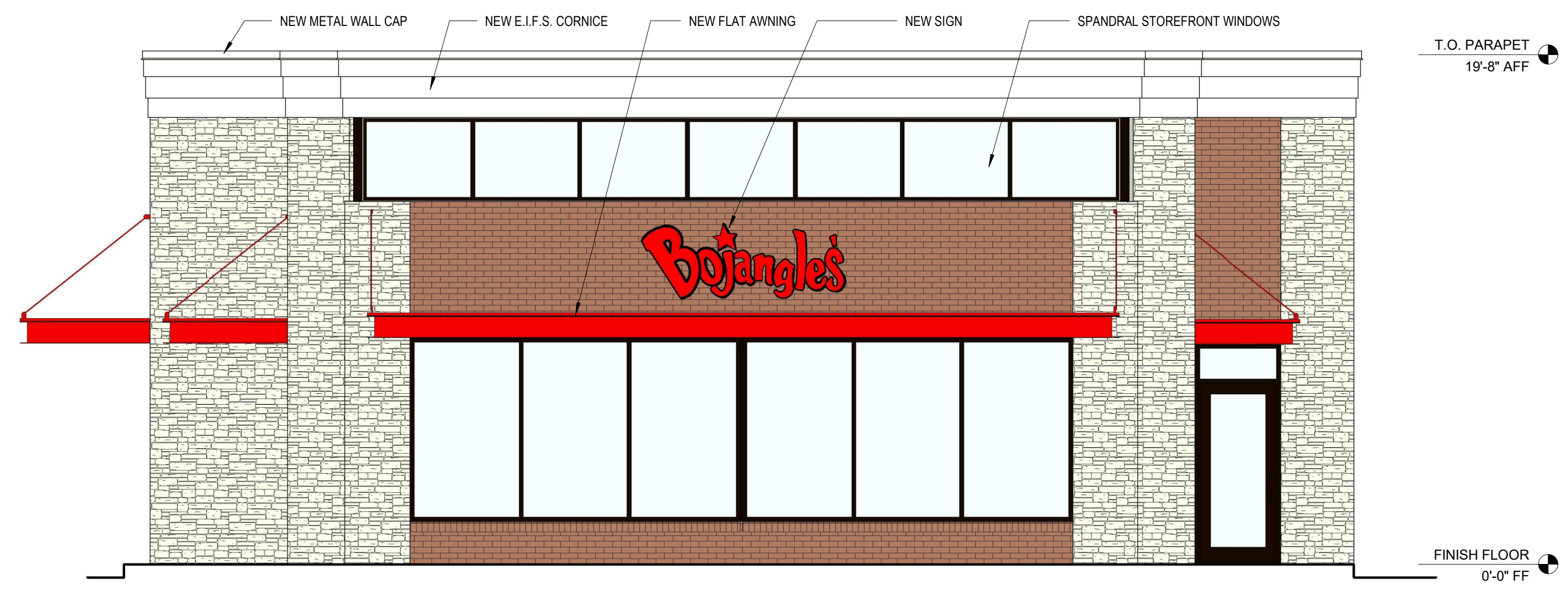
SCALE: 1"=20'



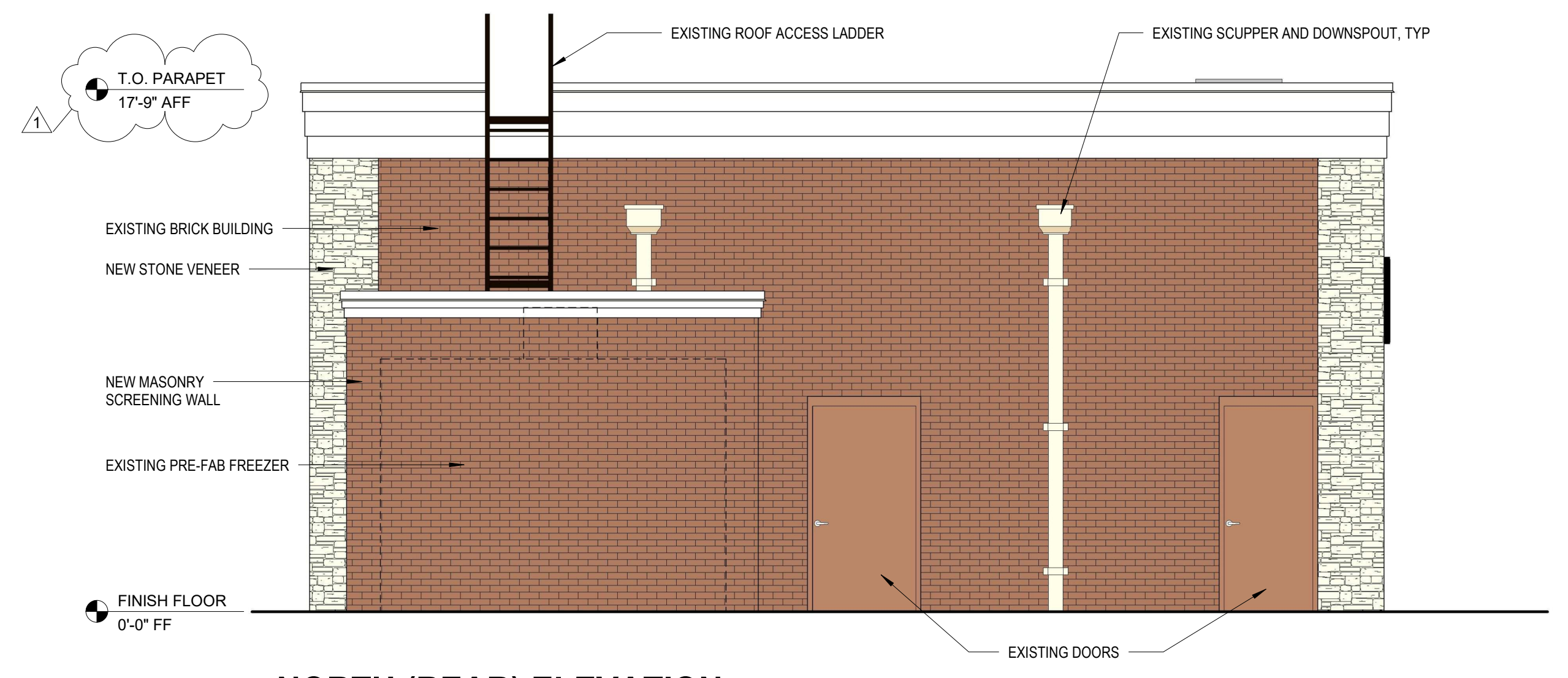
**1 EAST (RIGHT) ELEVATION**  
1/4" = 1'-0"



**2 WEST (LEFT) ELEVATION**  
1/4" = 1'-0"



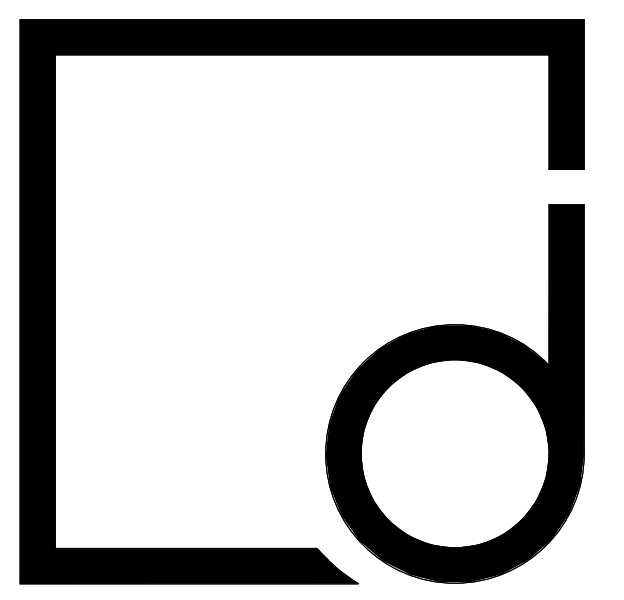
**3 SOUTH (FRONT) ELEVATION**  
1/4" = 1'-0"



**4 NORTH (REAR) ELEVATION**  
1/4" = 1'-0"

WALL SIGNS SHOWN FOR REFERENCE ONLY.  
ALL EXTERIOR SIGNAGE WILL BE SUBMITTED SEPARATELY  
FOR REVIEW AND APPROVAL.

**a. Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: \_\_\_\_\_ Date: 12/07/2021  
Administrator



**FOR REFERENCE ONLY**

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**Designdevelopment**  
ARCHITECTS

800 Salem Woods Drive  
Suite 102  
Raleigh, NC 27615  
919.848.4474

*Bojangles*  
KNIGHTDALE #11

7525 KNIGHTDALE BLVD  
KNIGHTDALE, NC 27545

No.	Description	Date
1	SITE PLAN REVIEW	04/23/21

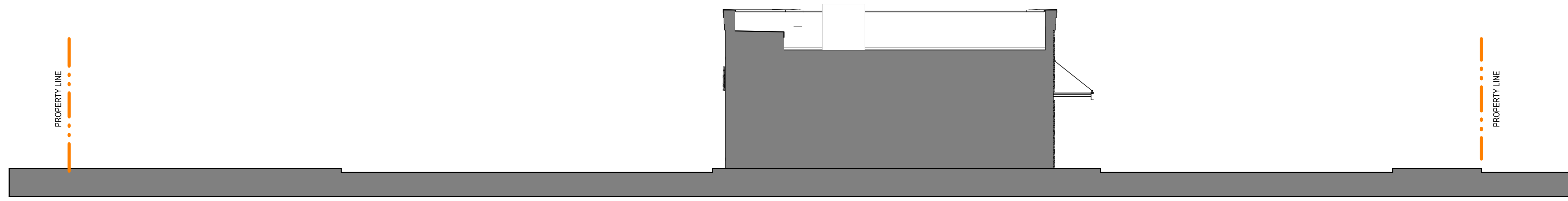
PROJECT #: 190041

DATE:

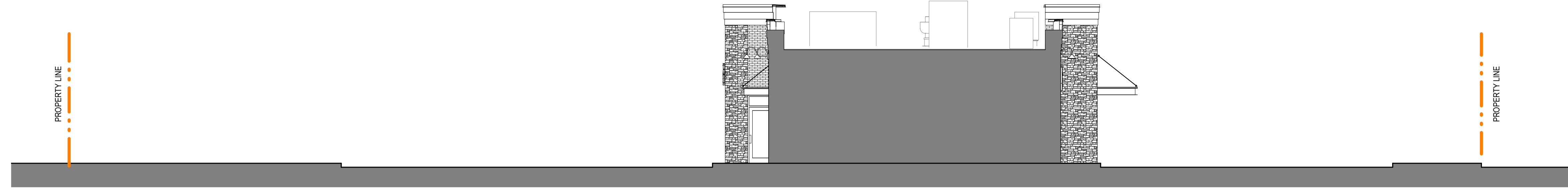
BUILDING ELEVATIONS

**A2.1**

DIGITAL PRINT DATE: 8/18/2021 12:08:24 PM



**1 BUILDING SECTION 1**  
1/8" = 1'-0"



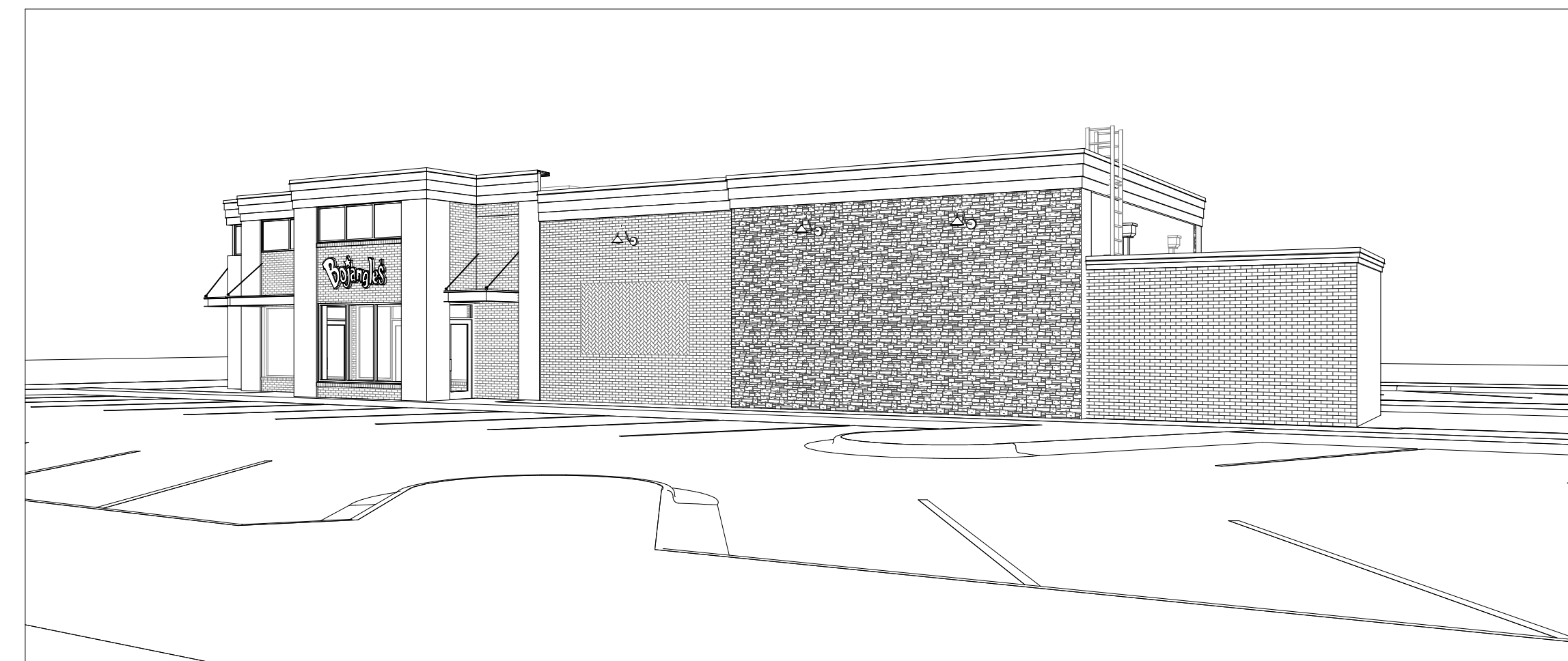
**2 BUILDING SECTION 2**  
1/8" = 1'-0"



**3 3D View 6**



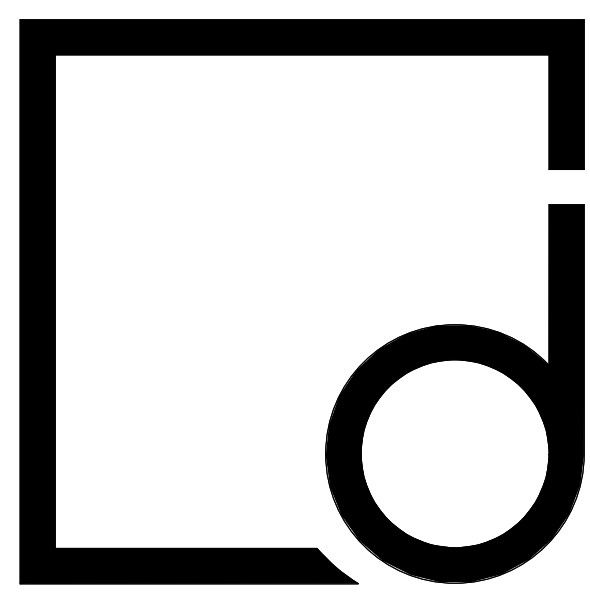
**4 3D View 7**



**5 3D View 8**



**6 3D View 9**



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**Designdevelopment**  
ARCHITECTS

800 Salem Woods Drive  
Suite 102  
Raleigh, NC 27615  
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**BOJANGLES - KNIGHTDALE #11**

7525 KNIGHTDALE BLVD  
KNIGHTDALE, NC 27545

No.	Description	Date
-----	-------------	------

PROJECT #: 190041

DATE:

BUILDING SECTIONS

**a. Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: \_\_\_\_\_ Date: 12/07/2021  
Administrator

**A3.1**

DIGITAL PRINT DATE: 8/18/2021 12:08:28 PM