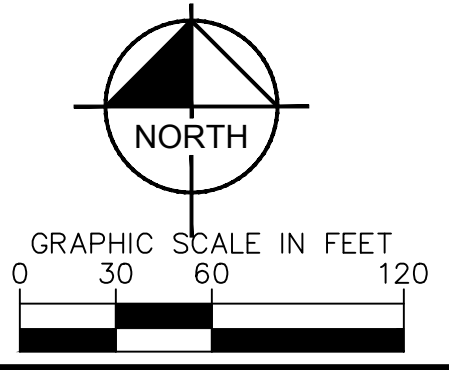
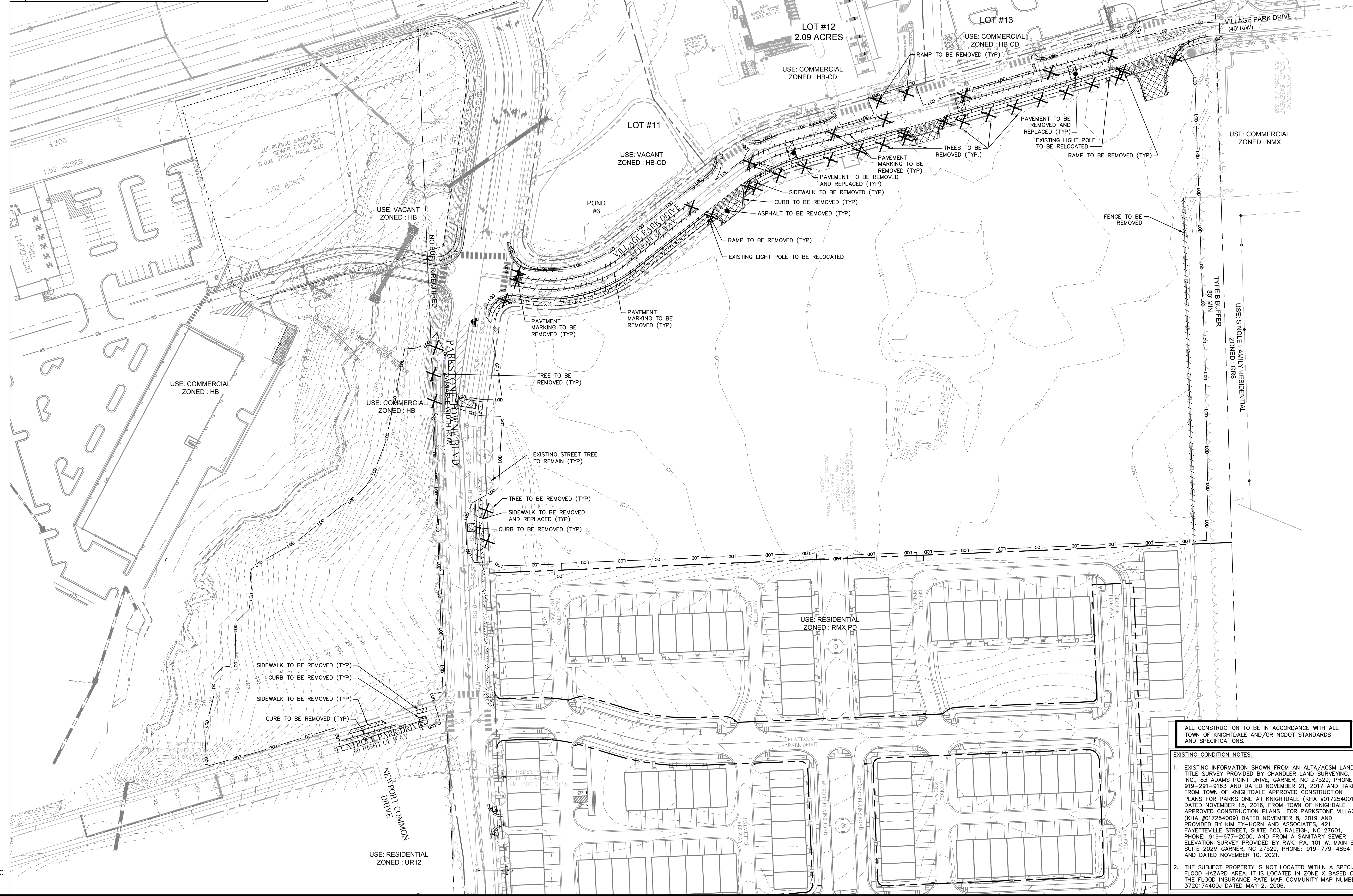


Plotted by: Larson, Sydney; Sheet Set: DeWitt Knightdale - Layout: C1.0 - EXISTING CONDITIONS AND DEMOLITION PLAN - September 21, 2022 10:33:35am; Kimley-Horn.com; SE - BAILLVALEVA017254013_DeWitt_Knightdale_Planning_Phase15_CAD_Files\PlanSheets\C1.0 - EXISTING CONDITIONS AND DEMOLITION PLAN.dwg; This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

DEMOLITION LEGEND

	PROPERTY LINE
	CLEARING LIMITS
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE ITEM/TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK/PAVEMENT TO BE REMOVED



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:

- EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC., 83 ADAMS POINT DRIVE, GARNER, NC 27529. PHONE: 919-291-9163 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE AT KNIGHTDALE (KHA #017254001) DATED NOVEMBER 18, 2016, FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254009) DATED NOVEMBER 8, 2019 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601. PHONE: 919-677-2000, AND FROM A SANITARY SEWER ELEVATION SURVEY PROVIDED BY RWK, PA, 101 W. MAIN ST SUITE 2024 GARNER, NC 27529. PHONE: 919-779-4854 AND DATED NOVEMBER 10, 2021.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720174400J DATED MAY 2, 2006.

NO.	REVISIONS	DATE	BY

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 WWW.KIMLEY-HORN.COM

KHA PROJECT	017254013
DATE	09/22/2022
SCALE	AS SHOWN
DESIGNED BY	KEJ
DRAWN BY	KEJ
CHECKED BY	COB

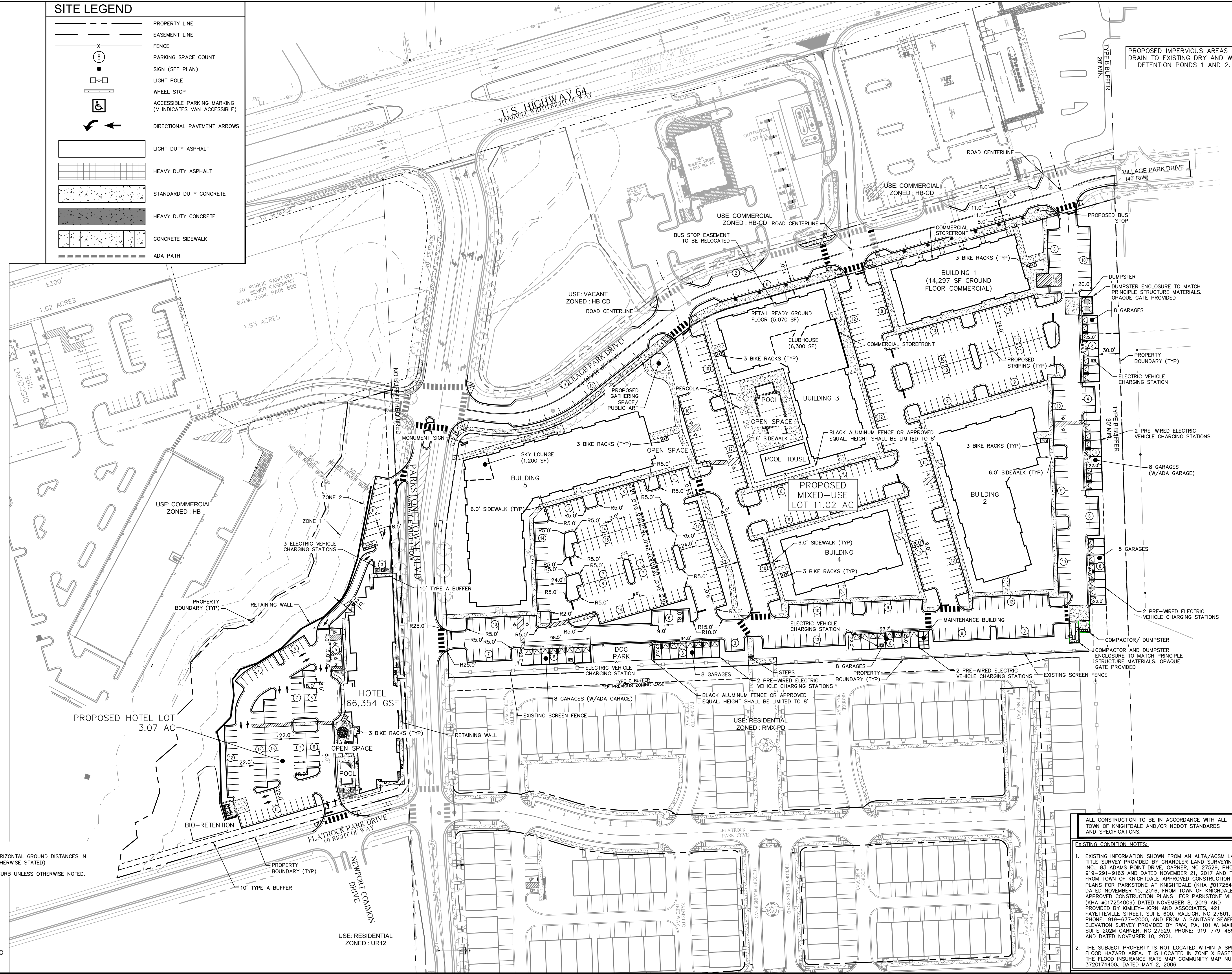
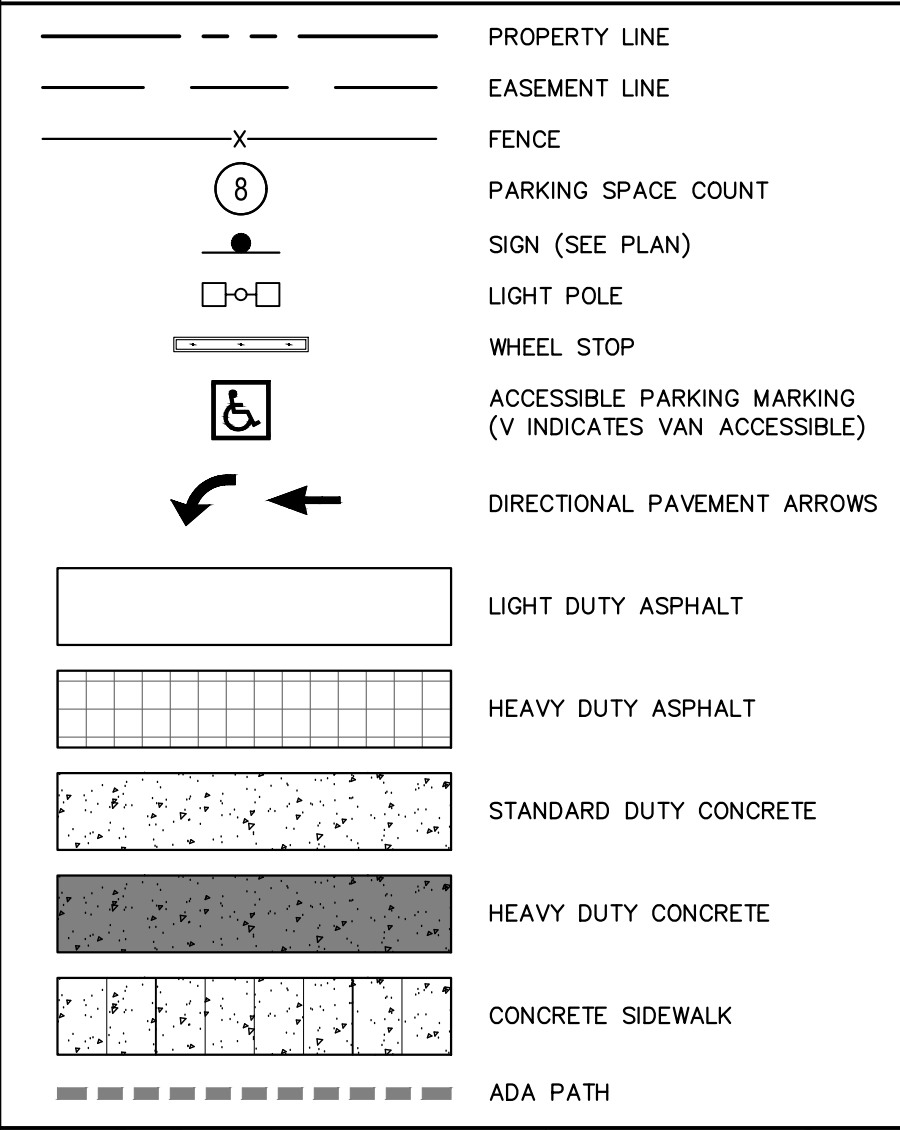
EXISTING CONDITIONS AND DEMOLITION PLAN

DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS
 TOWN OF KNIGHTDALE
 NORTH CAROLINA

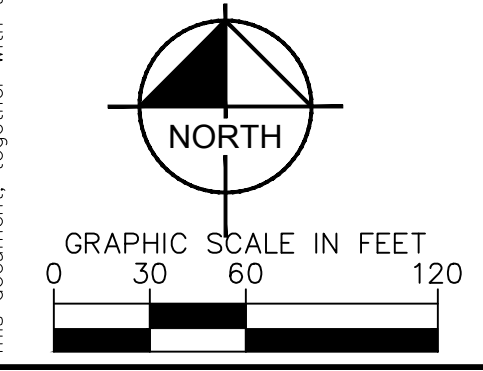
SHEET NUMBER
C1.0

Plotted by: Larson, Sydney; Sheet Set: DeWitt Knightdale; Layout: C2.0; SITE PLAN; September 21, 2022; 10:34:02am; \\kimley-horn.com\SE-RALL\RAL_LDE\A\017254013_DeWitt Knightdale Planning Phase 15_CAD_Files\PlanSheets\C2.0_SITE_PLAN.dwg; This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE LEGEND



NOTE:
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 2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



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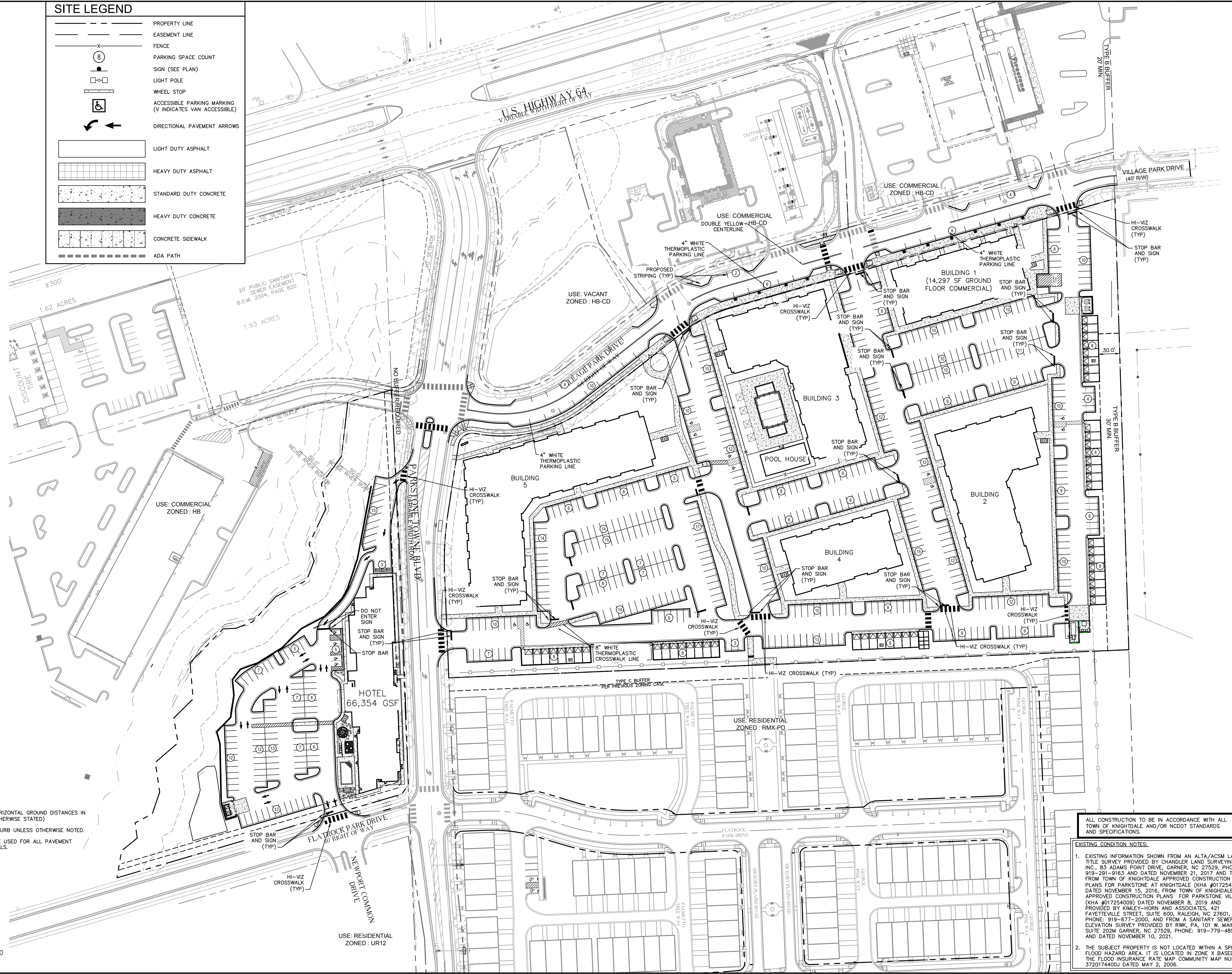
KHA PROJECT	017254013
DATE	09/22/2022
SCALE	AS SHOWN
DESIGNED BY	KEJ
DRAWN BY	KEJ
CHECKED BY	COB

SITE PLAN

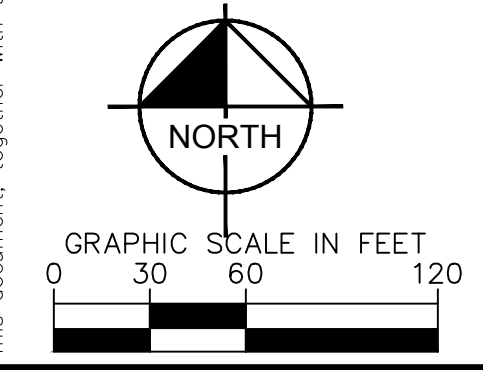
DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS
 TOWN OF KNIGHTDALE
 NORTH CAROLINA
 SHEET NUMBER
C2.0

Plotted by: Larson, Sydney | Sheet: Set: DeWitt Knightdale - Layout: C2.1 SIGNAGE AND PAVEMENT MARKING PLAN - September 21, 2022 10:34:27am | Kimley-Horn.com | SE: RAL\NVA\LEVA\017254013.dwg | Kimley-Horn.com | Planning Phase: 15_CAD Files | Plan: Sheets: C2.1 SIGNAGE AND PAVEMENT MARKING PLAN.dwg
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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK
	ADA PATH



- NOTE:
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
 - DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THERMOPLASTIC STRIPING TO BE USED FOR ALL PAVEMENT STRIPING EXCEPT PARKING STALLS.



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KHA PROJECT	017254013
DATE	09/22/2022
SCALE	AS SHOWN
DESIGNED BY	KEU
DRAWN BY	KEU
CHECKED BY	COB

SIGNAGE AND PAVEMENT MARKING PLAN

DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS

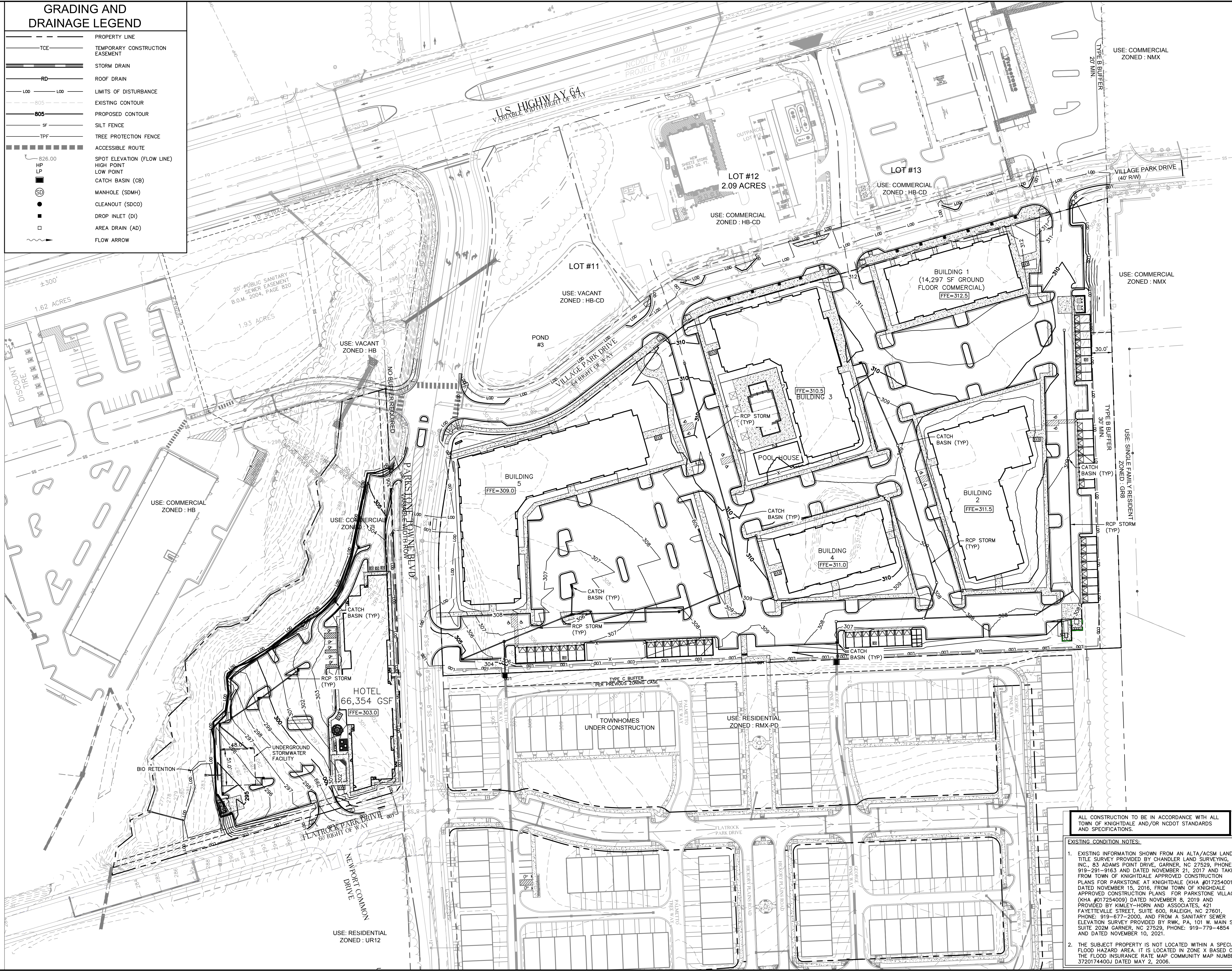
TOWN OF KNIGHTDALE
 NORTH CAROLINA

SHEET NUMBER
C2.1

Plotted By: Larson, Sydney; Sheet Set: DeWitt Knightdale; Layout: C3.0 GRADING AND DRAINAGE PLAN; September 21, 2022; 10:35:01am; \\kimley-horn.com\SE-RALLY\RAL-DEV\017254013_DeWitt Knightdale\Grading\Phase V5_CAD Files\PlanSheets\C3.0 GRADING AND DRAINAGE PLAN.dwg; This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GRADING AND DRAINAGE LEGEND

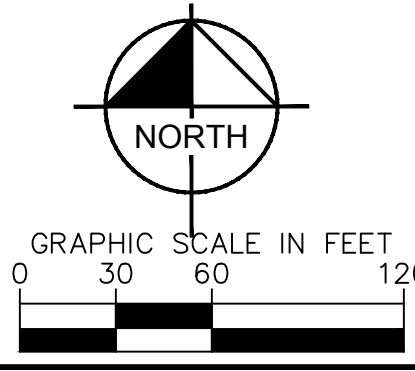
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN
	ROOF DRAIN
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SILT FENCE
	TREE PROTECTION FENCE
	ACCESSIBLE ROUTE
	SPOT ELEVATION (FLOW LINE)
	HIGH POINT
	LOW POINT
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	FLOW ARROW



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KHA PROJECT	017254013
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SCALE	AS SHOWN
DESIGNED BY	KEJ
DRAWN BY	KEJ
CHECKED BY	COB

GRADING AND DRAINAGE PLAN

DEWITT KNIGHTDALE
PREPARED FOR
WIDEWATERS

TOWN OF KNIGHTDALE
NORTH CAROLINA

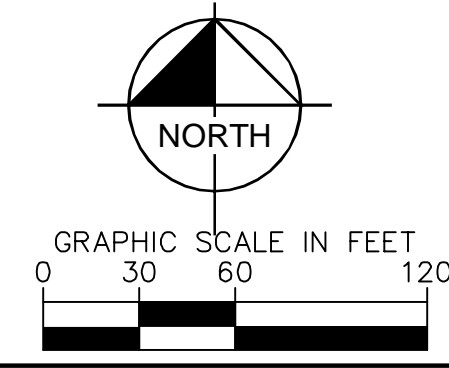
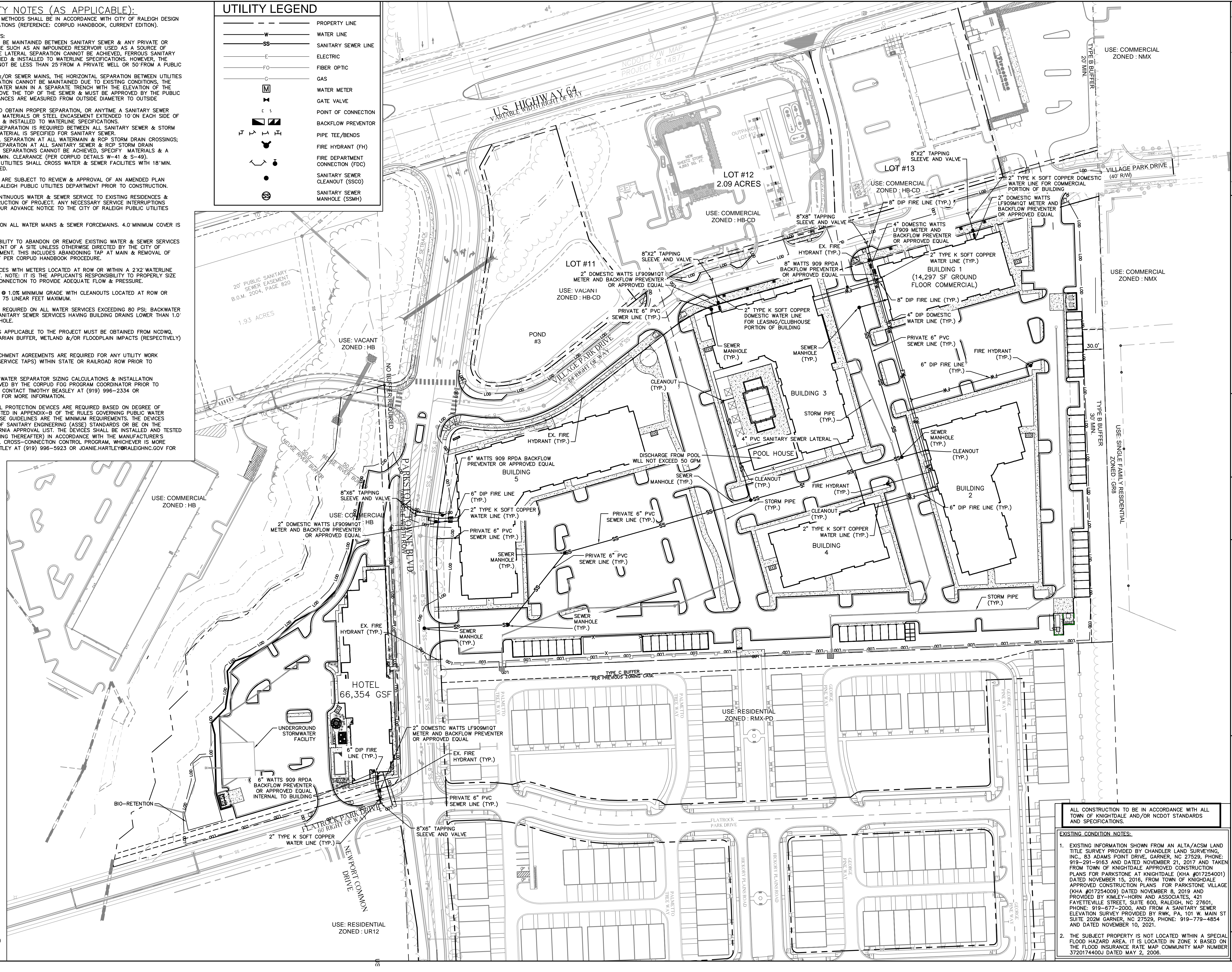
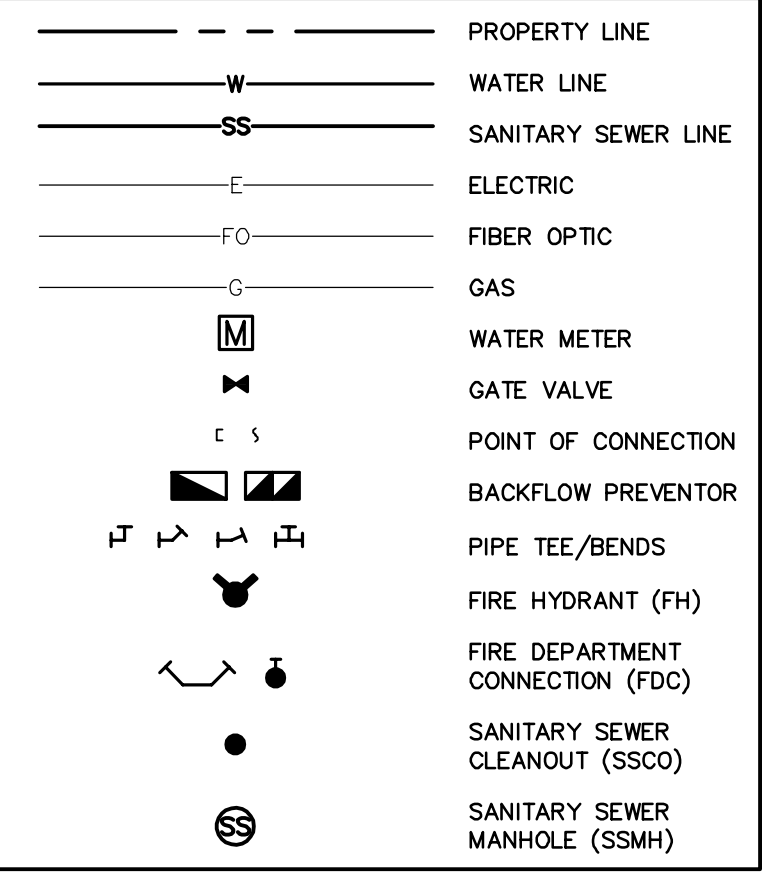
SHEET NUMBER
C3.0

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIMOTHY BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NOTE:
ALL FDC WILL BE WITHIN 50'
OF A FIRE HYDRANT.

UTILITY LEGEND



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Plotted By: Larson, Sydney, Sheet: Set: Dewitt Knightdale Layout: C4.0 UTILITY PLAN, September 21, 2022, 05:11:26pm, \\kimley-horn.com\SE_RAL\RAL_LDEV\17254013_Dewitt Knightdale\Planning Phase\15-CAD_Files\15-Plan\Sheets\C4.0 UTILITY PLAN.dwg, Utility Plan.dwg, Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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REVISIONS _____
DATE _____
BY _____

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KHA PROJECT: 017254013
 DATE: 09/22/2022
 SCALE: AS SHOWN
 DESIGNED BY: KEJ
 DRAWN BY: KEJ
 CHECKED BY: COB

UTILITY PLAN

DEWITT KNIGHTDALE
 PREPARED FOR
 WIDEWATERS

TOWN OF
 KNIGHTDALE

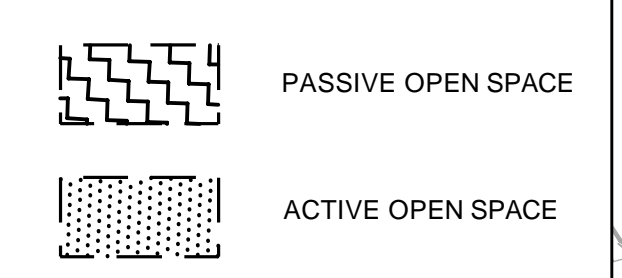
SHEET NUMBER
C4.0

Plotted By: Larson, Sydney, Sheet: Set: Dewitt Knightdale Layout: C5.0 OPEN SPACE PLAN September 21, 2022 05:01:10pm \\vornley-horn.com\SE_Plan\RAI\RAI_LDEV\012254013_Dewitt Knightdale\Planning Phase\15_CAD Files\PlanSheets\C5.0_OPEN SPACE PLAN.dwg
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KEY OPEN SPACE NOTES:

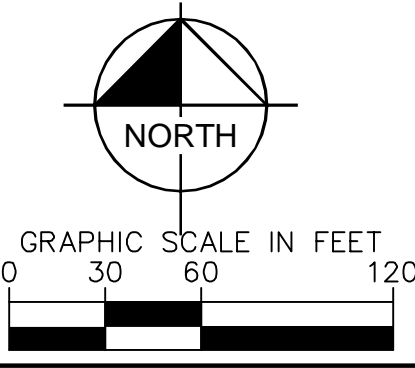
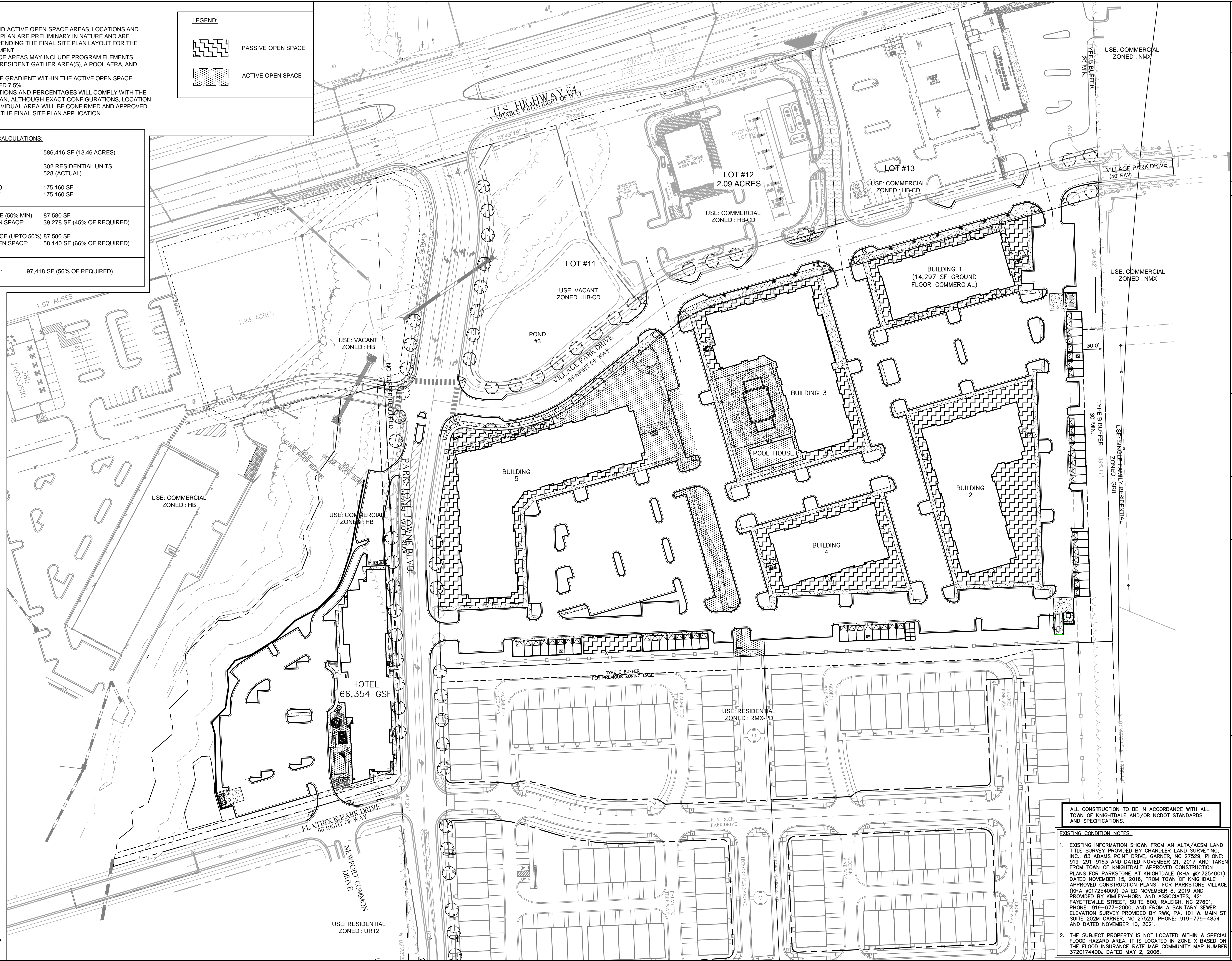
1. THE RECREATIONAL AND ACTIVE OPEN SPACE AREAS, LOCATIONS AND SIZES SHOWN ON THIS PLAN ARE PRELIMINARY IN NATURE AND ARE SUBJECT TO CHANGE PENDING THE FINAL SITE PLAN LAYOUT FOR THE TOWN HOME DEVELOPMENT.
2. THE ACTIVE OPEN SPACE AREAS MAY INCLUDE PROGRAM ELEMENTS SUCH AS A DOG PARK, RESIDENT GATHER AREA(S), A POOL AREA, AND GRILL/PICNIC AREA(S).
3. THE MAXIMUM AVERAGE GRADIENT WITHIN THE ACTIVE OPEN SPACE AREAS WILL NOT EXCEED 7.5%.
4. OPEN SPACE CALCULATIONS AND PERCENTAGES WILL COMPLY WITH THE APPROVED MASTER PLAN, ALTHOUGH EXACT CONFIGURATIONS, LOCATION AND SIZE OF EACH INDIVIDUAL AREA WILL BE CONFIRMED AND APPROVED IN CONJUNCTION WITH THE FINAL SITE PLAN APPLICATION.

LEGEND:



RECREATIONAL OPEN SPACE CALCULATIONS:

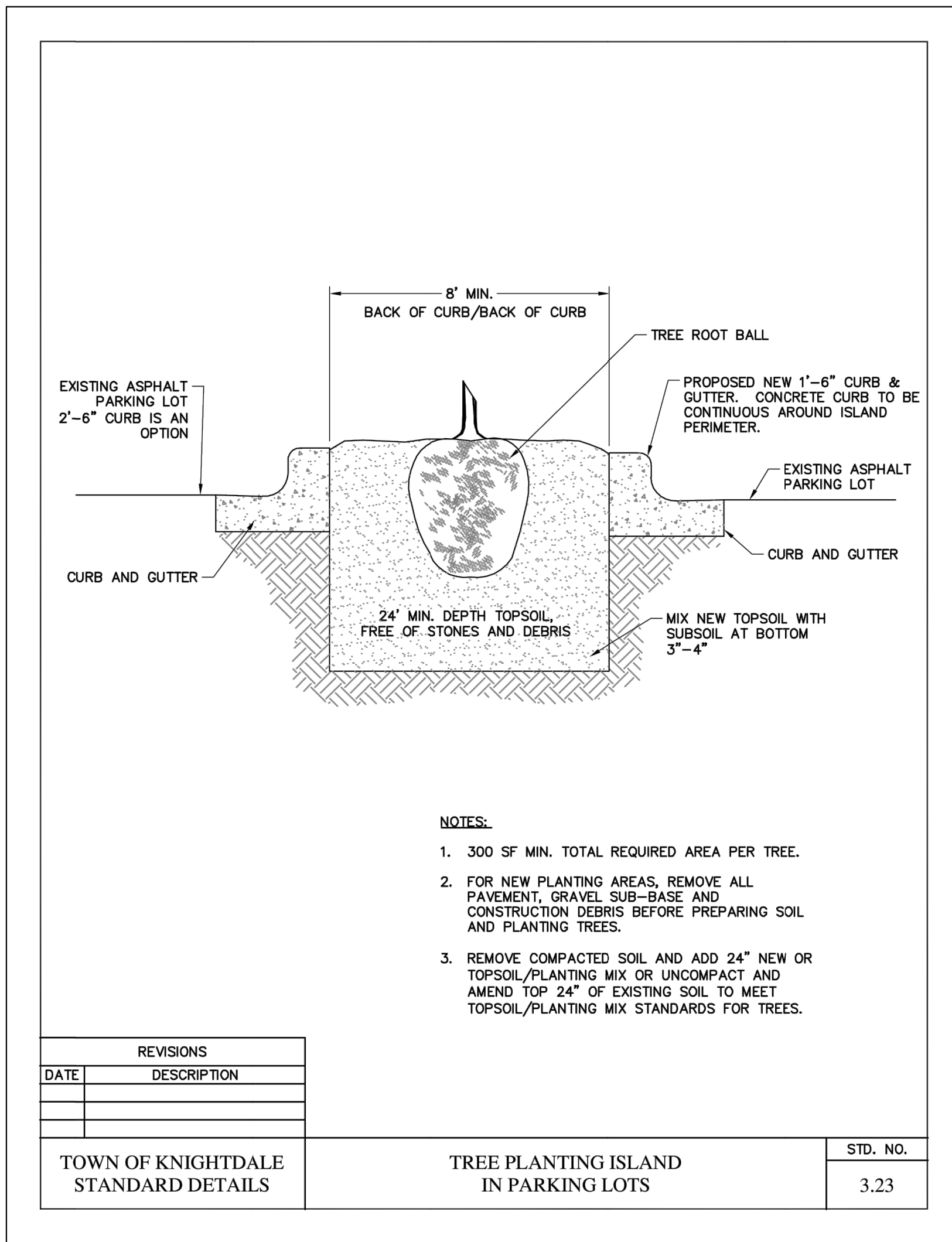
SITE AREA:	586,416 SF (13.46 ACRES)
MF UNITS BEDROOMS	302 RESIDENTIAL UNITS 528 (ACTUAL)
OUTSIDE 1/2 MILE = 302 BR * 580	175,160 SF
TOTAL REQUIRED OPEN SPACE	175,160 SF
REQUIRED ACTIVE OPEN SPACE (50% MIN)	87,580 SF
TOTAL PROVIDED ACTIVE OPEN SPACE:	39,278 SF (45% OF REQUIRED)
REQUIRED PASSIVE OPEN SPACE (UPTO 50%)	87,580 SF
TOTAL PROVIDED PASSIVE OPEN SPACE:	58,140 SF (66% OF REQUIRED)
TOTAL PROVIDED OPEN SPACE:	97,418 SF (56% OF REQUIRED)



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
EXISTING CONDITION NOTES:
 1. EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC., 83 ADAMS POINT DRIVE, GARNER, NC 27529, PHONE: 919-291-9163 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254001) DATED NOVEMBER 15, 2018, FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254009) DATED NOVEMBER 8, 2019 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601, PHONE: 919-677-2000, AND FROM A SANITARY SEWER ELEVATION SURVEY PROVIDED BY RWK, PA, 101 W. MAIN ST SUITE 202M GARNER, NC 27529, PHONE: 919-779-4854 AND DATED NOVEMBER 10, 2021.
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720174400J DATED MAY 2, 2006.

	OPEN SPACE PLAN
KHA PROJECT: 017254013 DATE: 09/22/2022 SCALE: AS SHOWN DESIGNED BY: KEJ DRAWN BY: KEJ CHECKED BY: COB	DEWITT KNIGHTDALE PREPARED FOR WIDEWATERS TOWN OF KNIGHTDALE NORTH CAROLINA
SHEET NUMBER C5.0	REVISIONS No. DATE BY

Plotted By: Fullerton, Adam - Sheet Set: DEWITT Knightdale - Layout: LS2.0 LANDSCAPE DETAILS - September 21, 2022 - 11:07:27am - kimley-horn.com - SE - RALPH VALE - LDEV017254013.dwg - Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

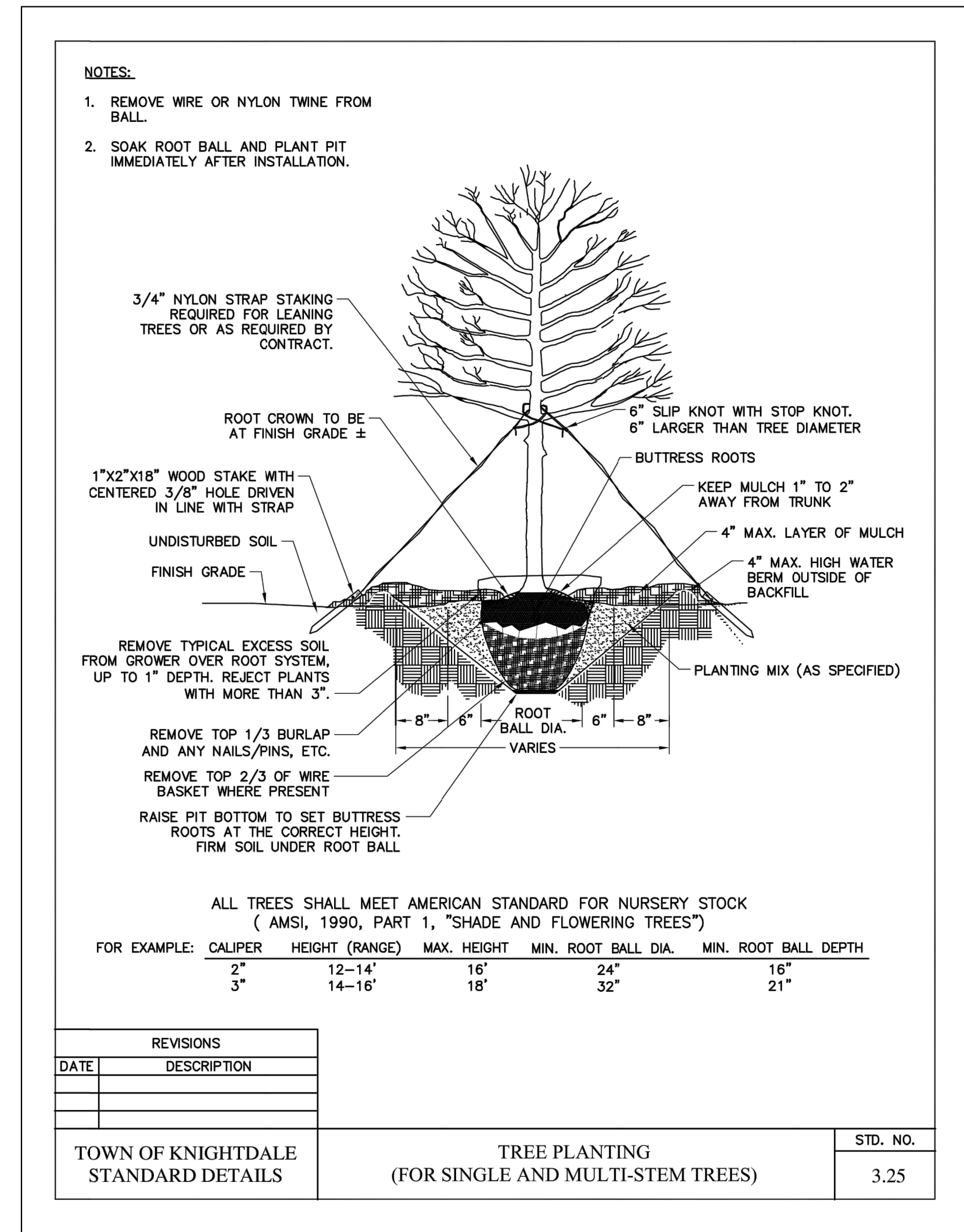


- NOTES:**
- 300 SF MIN. TOTAL REQUIRED AREA PER TREE.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
 - REMOVE COMPACTED SOIL AND ADD 24" NEW OR TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		3.23

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING ISLAND IN PARKING LOTS	3.23
--	---	------

1 TREE PLANTING ISLAND IN PARKING LOTS
L2.0 SCALE: NTS SECTION



- NOTES:**
- REMOVE WIRE OR NYLON TWINE FROM BALL.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.

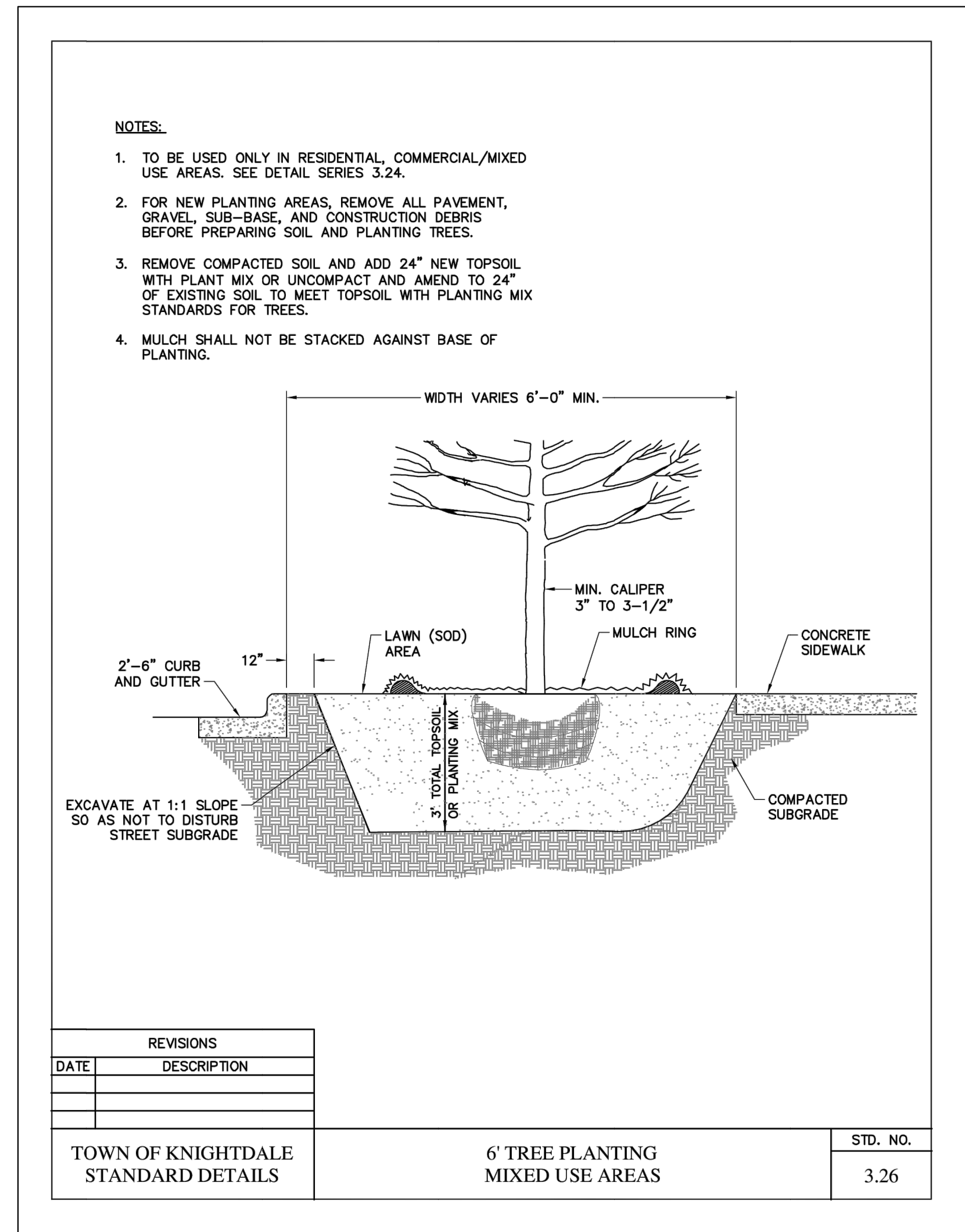
ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMSI, 1990, PART 1, "SHADE AND FLOWERING TREES")

FOR EXAMPLE:	CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
	2"	12-14'	16'	24"	16"
	3"	14-16'	18'	32"	21"

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		3.25

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)	3.25
--	--	------

2 TREE PLANTING FOR SINGLE AND MULTI-STEM TREES
L2.0 SCALE: NTS SECTION

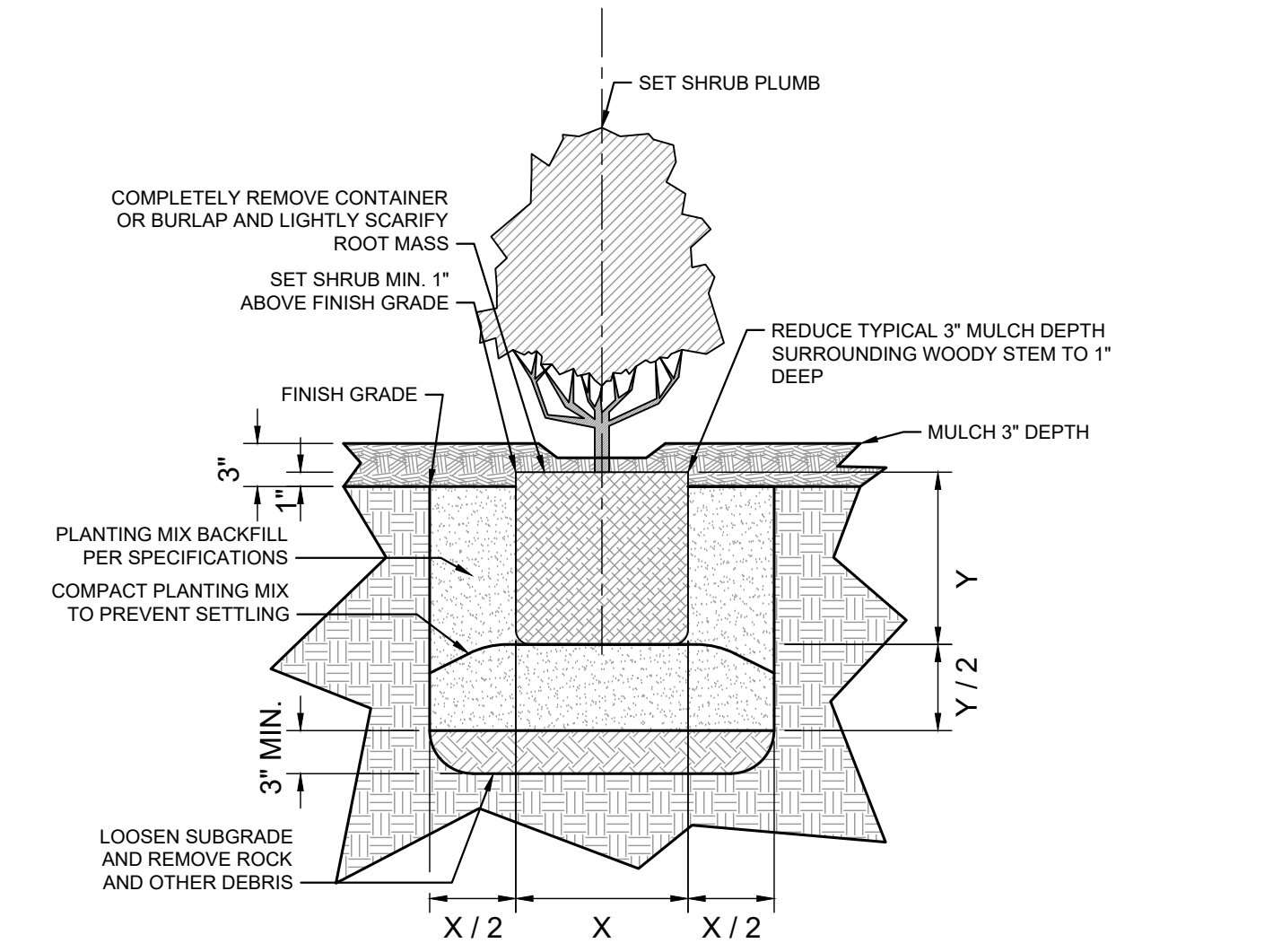


- NOTES:**
- TO BE USED ONLY IN RESIDENTIAL, COMMERCIAL/MIXED USE AREAS. SEE DETAIL SERIES 3.24.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE, AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
 - REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL WITH PLANT MIX OR UNCOMPACT AND AMEND TO 24" OF EXISTING SOIL TO MEET TOPSOIL WITH PLANTING MIX STANDARDS FOR TREES.
 - MULCH SHALL NOT BE STACKED AGAINST BASE OF PLANTING.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		3.26

TOWN OF KNIGHTDALE STANDARD DETAILS	6' TREE PLANTING MIXED USE AREAS	3.26
--	-------------------------------------	------

3 6' TREE PLANTING IN MIXED USE AREAS
L2.0 SCALE: NTS SECTION



- GENERAL LANDSCAPE NOTES:**
- ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
 - ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
MULCH TYPE FOR PROJECT: TRIPLE GROUND HARDWOOD MULCH OR CURRENT TOWN STANDARD.
 - PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.

4 TYPICAL SHRUB PLANTING
L2.0 SCALE: NTS SECTION

GENERAL LANDSCAPE NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT SCHEDULE.
- CONTRACTOR SHALL PROCURE ALL TREES OF LIKE SPECIES FROM THE SAME NURSERY. ALL TREES SHALL BE TAGGED AT THE NURSERY BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO THE PROJECT SITE.
- ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANT MATERIAL STORED ON SITE SHALL BE LOCATED OUT OF DIRECT SUNLIGHT.
- ALL SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6'-7' PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES. ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
- ALL PLANTING BEDS AND TREE RINGS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH TRIPLE GROUND HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND UNIFIED DEVELOPMENT ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- THE CONTRACTOR SHALL INSTALL BLACK FABRIC MESH UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.
- CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER SODDING AND PLANTING SHRUBS, AND 60 DAYS AFTER SEEDING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STAND OF THE SPECIFIED GRASSES, OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL ACCEPTANCE OF THE LAWNS AND SHRUBS, WHICHEVER IS LATER.
- ALL LANDSCAPE SHALL BE MAINTAINED IN PERPETUITY.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:

- EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC., 83 ADAMS POINT DRIVE, GARNER, NC 27529. PHONE: 919-291-9163 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE AT KNIGHTDALE (KHA #017254001) DATED NOVEMBER 15, 2016, FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254009) DATED NOVEMBER 8, 2019 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601. PHONE: 919-677-2000, AND FROM A SANITARY SEWER ELEVATION SURVEY PROVIDED BY RWK, PA, 101 W. MAIN ST SUITE 202M GARNER, NC 27529. PHONE: 919-779-4854 AND DATED NOVEMBER 10, 2021.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720174400J DATED MAY 2, 2006.

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		#-0102	
KHA PROJECT 017254013		DATE 09/22/2022	
SCALE AS SHOWN		DESIGNED BY KEU	
DRAWN BY KEU		CHECKED BY COB	
LANDSCAPE DETAILS		NORTH CAROLINA	
		TOWN OF KNIGHTDALE	
DEWITT KNIGHTDALE PREPARED FOR WIDEWATERS		SHEET NUMBER LS2.0	

INNOVATIVE LIGHTING SOLUTIONS

STEVE VARDEMAN
817.925.7322

1300 JENKINS RD.
ALEDO, TX 76008

Project:

KNIGHTDALE, NC

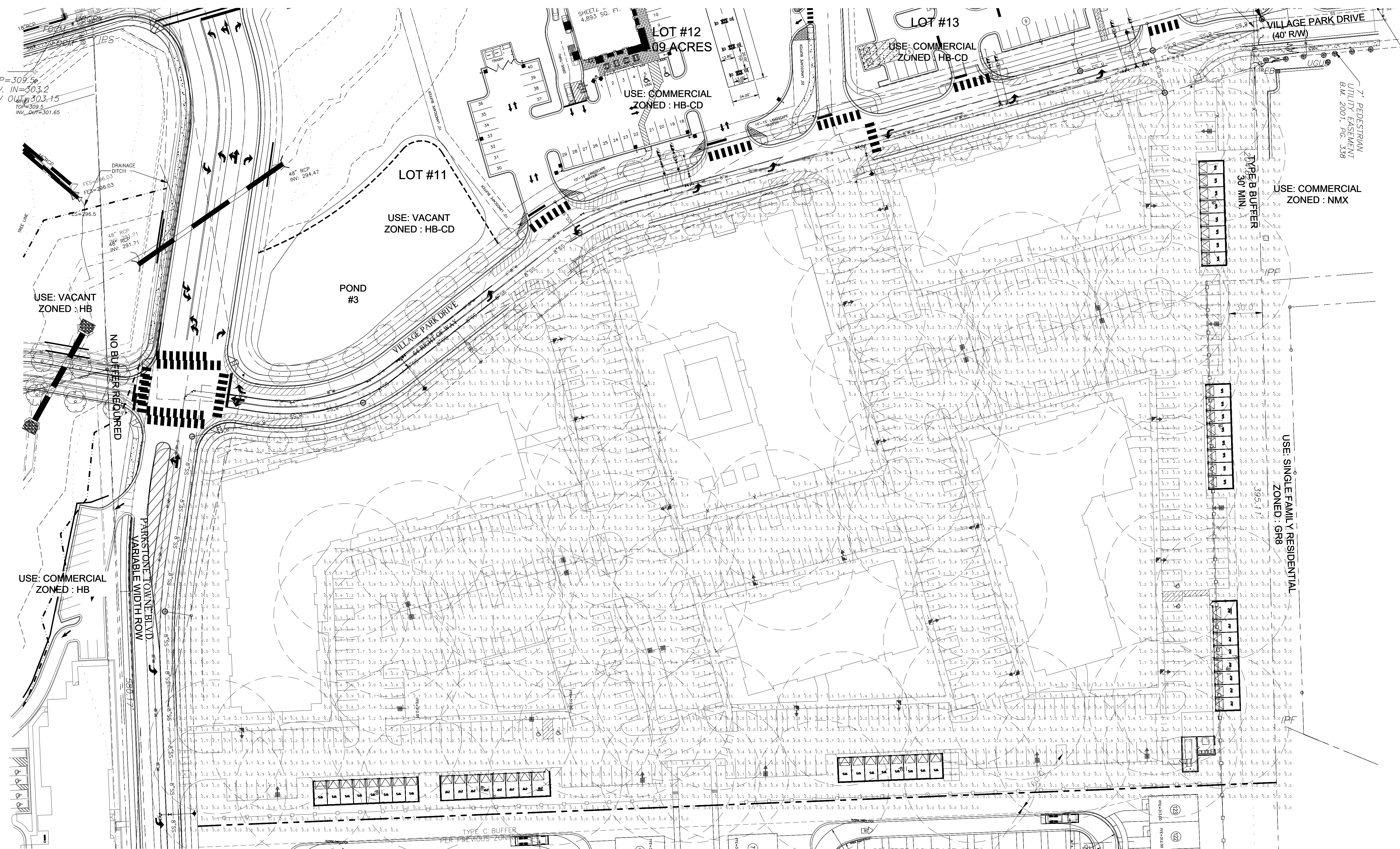
SCALE: 1"= 40'

Notes:

PRICING CONTACT:
STEVE VARDEMAN
817-925-7322

FILE:
KNIGHTDALE.agi

Date:
1-25-22



Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	FtSpcLr	PtSpcTb
MIXED USE PARKING	Fc	2.29	5.1	0.5	4.58	10.20	10	10
RESIDENTIAL PARKING	Fc	2.14	5.0	0.5	4.28	10.00		

Luminaire Schedule							
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts	
	5	A	17636	0.950	MRS-LED-18L-SIL-5W-40-70CRI 25' MOUNTING HEIGHT	135	
	2	B	17636	0.950	MRS-LED-18L-SIL-5W-40-70CRI 25' MOUNTING HEIGHT	135	
	8	C	11444	0.950	MRS-LED-18L-SIL-FT-40-70CRI-IL 25' MOUNTING HEIGHT	135	
	18	D	17682	0.950	MRS-LED-18L-SIL-FT-40-70CRI 25' MOUNTING HEIGHT	135	

- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

**INNOVATIVE
LIGHTING
SOLUTIONS**

STEVE VARDEMAN
817.925.7322

1300 JENKINS RD.
ALEDO, TX 76008

Project:

**PARKSTONE
HOTEL**

SCALE: 1"= 20'

Notes:

REV 1: 03/24/22

PRICING CONTACT:
STEVE VARDEMAN
817-925-7322

FILE:

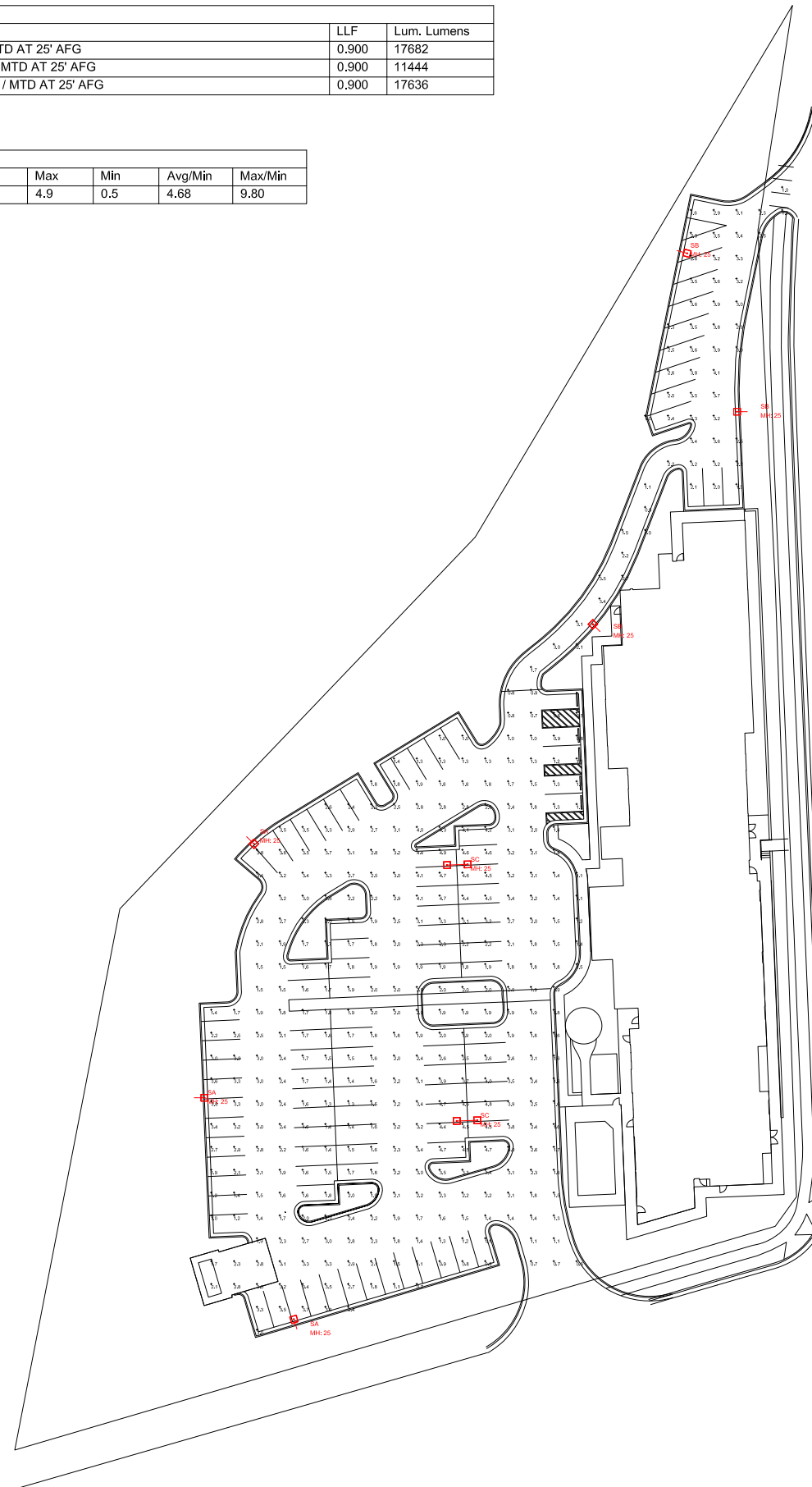
KD-2022-03-24

Date:

03-24-22

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LLF	Lum. Lumens
SA	3	SA	SINGLE	MRS-LED-18L-SIL-FT-40-70CRI / MTD AT 25' AFG	0.900	17682
SB	3	SB	SINGLE	MRS-LED-18L-SIL-FT-40-70CRIH / MTD AT 25' AFG	0.900	11444
SC	2	SC	BACK-BACK	(2) MRS-LED-18L-SIL-5W-40-70CRI / MTD AT 25' AFG	0.900	17636

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
HOTEL AREA	Illuminance	Fc	2.34	4.9	0.5	4.68	9.80



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

11.1

Plotted By: Judd, Katie - Sheet: S&L/Dewitt - Knightdale - LD\02\12.0 LIGHTING DETAILS - March 28, 2022 - 08:26:02am - Kimley-Horn.com\SE-RALIN\RAL-LEDA\017254013...DWG - This document is intended only for the specific purpose and client for which it was prepared. Reuse of any and all improper reference on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Mirada Small Area Light (MRS) Outdoor LED Area Light. Overview: Luminaire Package 6,000 - 24,000, Wattage Range 41 - 196, Efficacy Range (LPW) 112 - 156. Features & Specifications: Construction, Optics, Electrical, Controls, Warranty. Includes Quick Links for Ordering Guide, Performance, Photometrics, and Dimensions.

Mirada Small Area Light (MRS) ORDERING GUIDE. Typical Order Example: MRS LED 18L SIL FT UNV DIM 40 70CRI ALBCS1 BLK IH. Includes tables for Color Temp, Color Rendering, Controls, Finish, and Options. Lists accessories like Test Lock Protectors and Mounting Brackets.

Mirada Small Area Light (MRS) OPTICS ROTATION and ACCESSORIES/OPTIONS. Shows diagrams for Optics Rotated Left, Straight, and Optics Rotated Right. Details Integral Louver (IL) and House-Side Shield (IH) options. Includes 7 Pin Photoelectric Control and CRP options.

Mirada Small Area Light (MRS) PERFORMANCE. Delivered Lumens table showing efficacy and lumen output for various configurations. Includes Electrical Data (amps) and Recommended Luminaire Maintenance table.

Mirada Small Area Light (MRS) PHOTOMETRICS. Includes Luminaire Data (Type 2 Distribution) and Zonal Lumens Summary. Features ISO Footcandle and Polar Curve diagrams for 20' mounting height.

Mirada Small Area Light (MRS) PHOTOMETRICS (CONT). Includes Luminaire Data (Type 3 SW Distribution) and Zonal Lumens Summary. Features ISO Footcandle and Polar Curve diagrams for 20' mounting height.

Mirada Small Area Light (MRS) PRODUCT DIMENSIONS and CONTROLS. Shows detailed drawings of the luminaire with dimensions like 13" (330mm) and 7" (180mm). Includes AirLink Wireless Lighting Controller and Integral Bluetooth Motion and Photoelectric Sensor (MSBT) descriptions.

Mirada Small Area Light (MRS) POLES & BRACKETS. Shows various mounting options: BKA BMX CLR, BKA POSH CLR, BKA ASIP CLR, and BKA POSH CLR. Includes descriptions for each bracket type and their compatibility with luminaire options.

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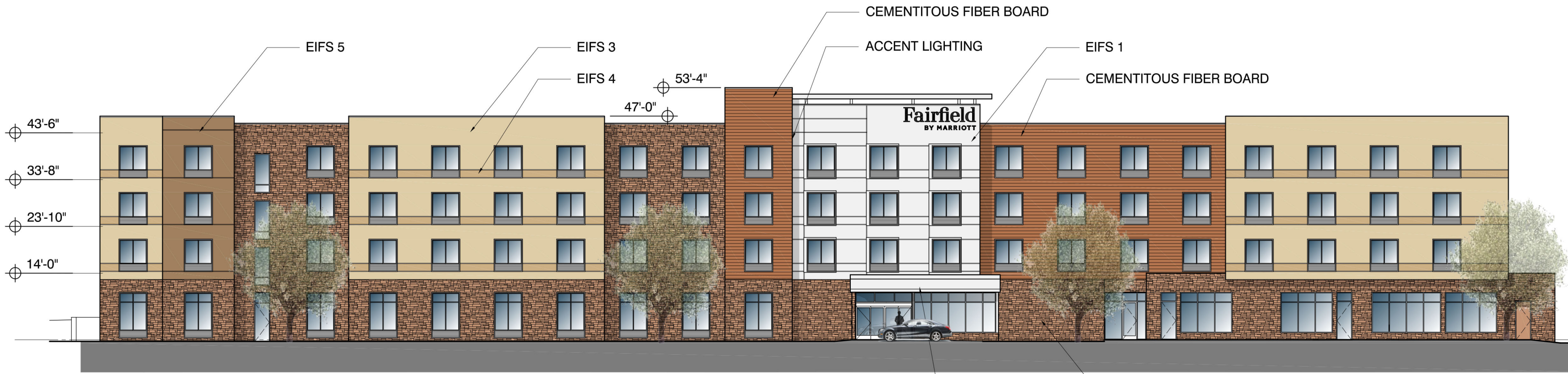
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Table with columns: No., DATE, REVISIONS, BY.

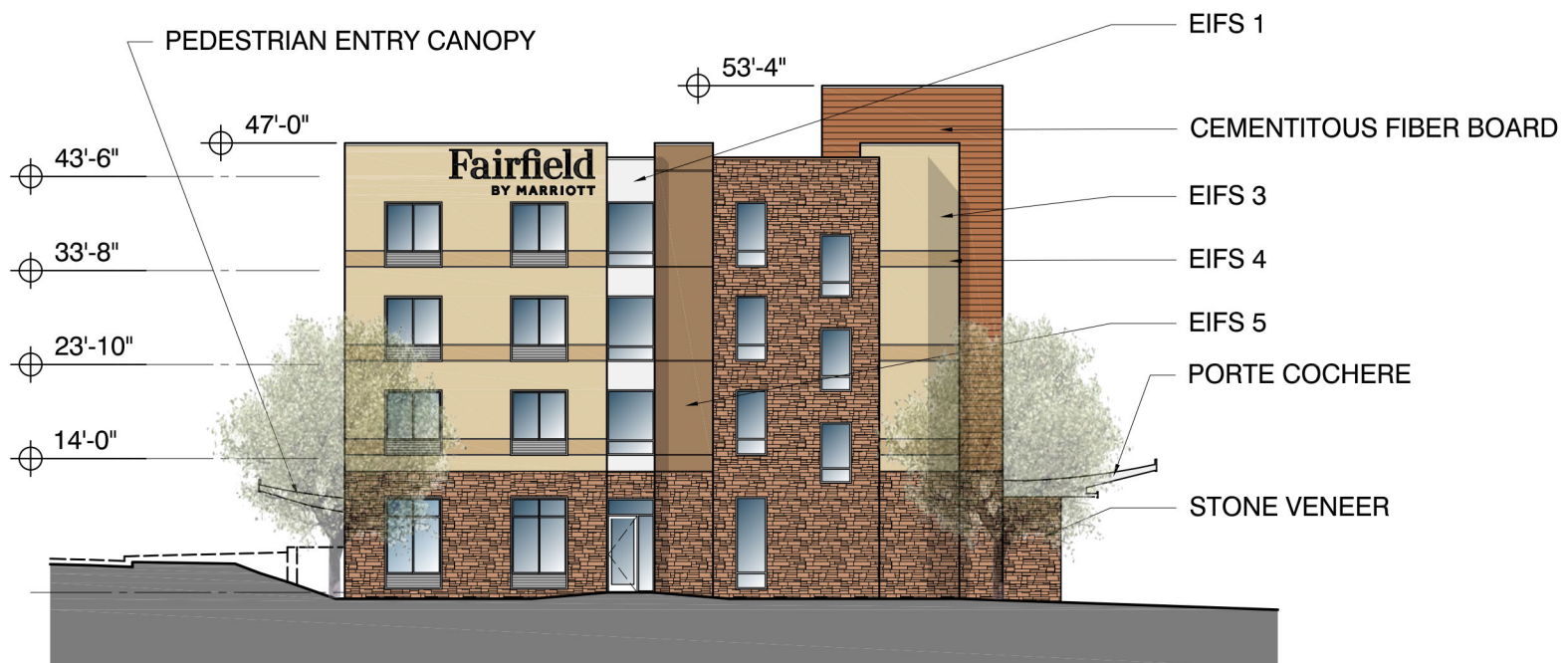
Kimley-Horn & Associates, Inc. 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601. PHONE: 919-677-2000 FAX: 919-677-2050 WWW.KIMLEY-HORN.COM #F-0102

Table with columns: KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY.

DEWITT KNIGHTDALE PREPARED FOR WIDEWATERS TOWN OF KNIGHTDALE NORTH CAROLINA SHEET NUMBER 12.0 LIGHTING DETAILS



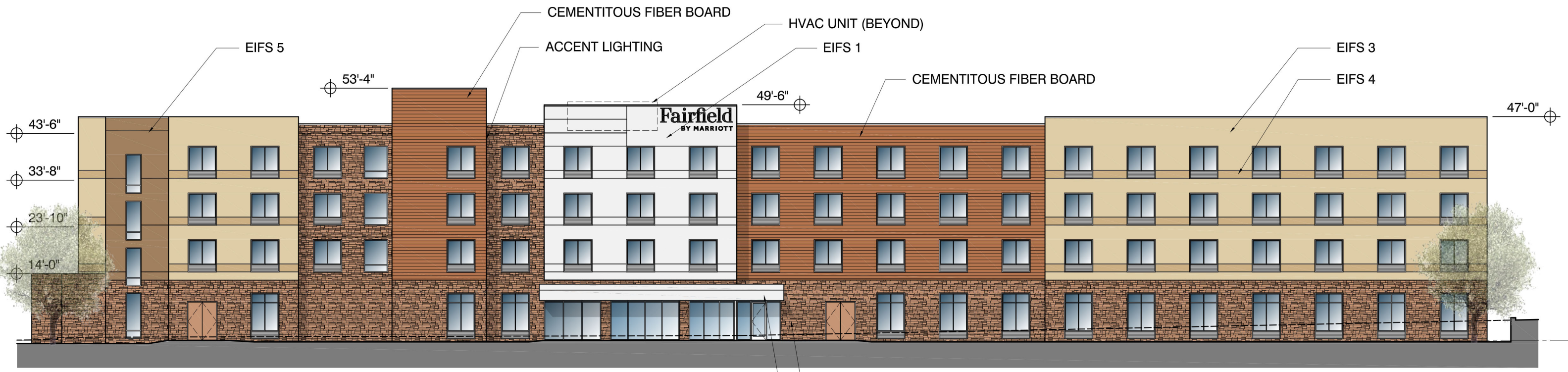
WEST ELEVATION



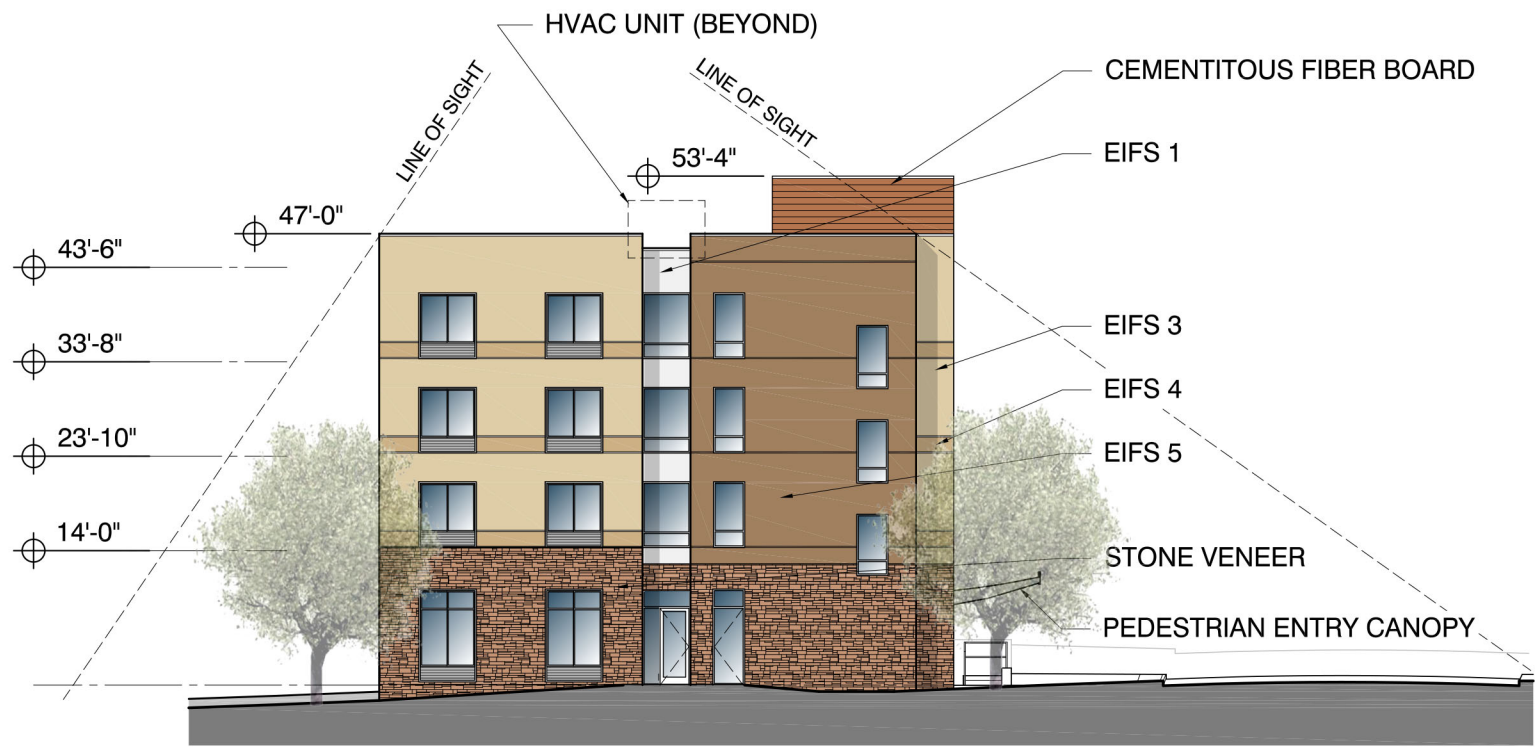
NORTH ELEVATION

%	AREA	MATERIALS LEGEND	
9.14	2,224	EIFS 1	[EIFS 1 swatch]
29.36	7,144	EIFS 3	[EIFS 3 swatch]
3.57	868	EIFS 4	[EIFS 4 swatch]
6.79	1,651	EIFS 5	[EIFS 5 swatch]
34.5	8,394	STONE VENEER	[Stone Veneer swatch]
16.64	4,050	CEMENTITIOUS FIBER BOARD	[Cementitious Fiber Board swatch]

100% 24,331 SF TOTAL



EAST ELEVATION



SOUTH ELEVATION

MATERIALS LEGEND	
EIFS 1	
EIFS 3	
EIFS 4	
EIFS 5	
STONE VENEER	
CEMENTITIOUS FIBER BOARD	

KNIGHTDALE FAIRFIELD INN & SUITES

APRIL 22, 2022

ELEVATIONS

Scale: 1" = 20'



1425 DUTCH VALLEY PL
STUDIO B
ATLANTA GA 30324
404.685.8868 v
404.685.8878 f





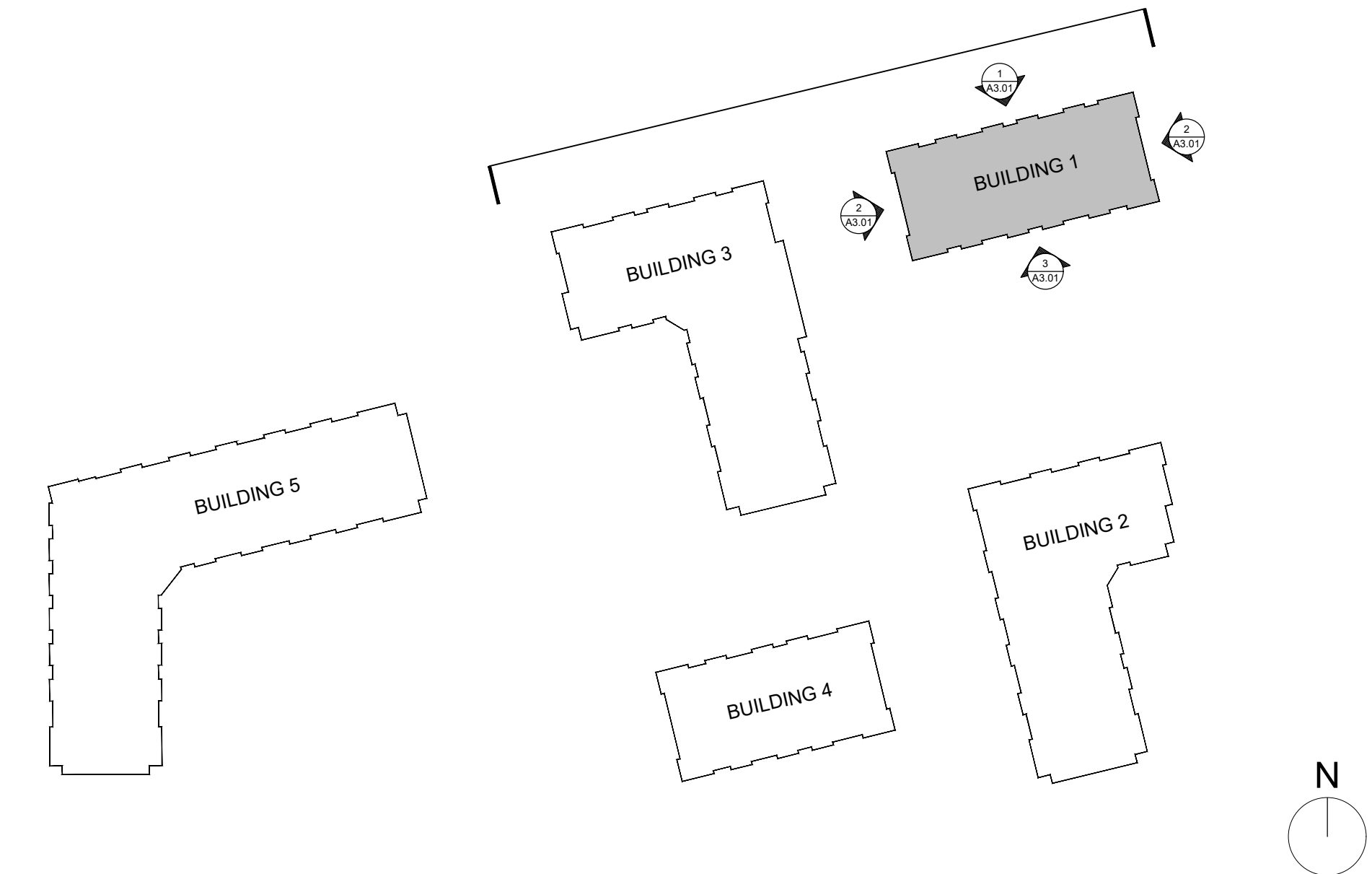
1 BUILDING 1 - NORTH ELEVATION
Scale: 3/32" = 1'-0"



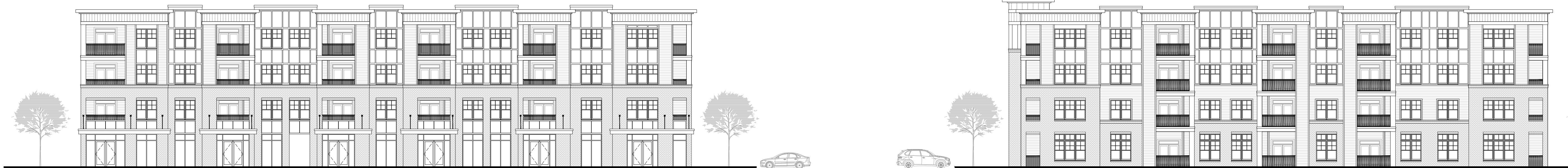
2 BUILDING 1 - EAST / WEST ELEVATION
Scale: 3/32" = 1'-0"



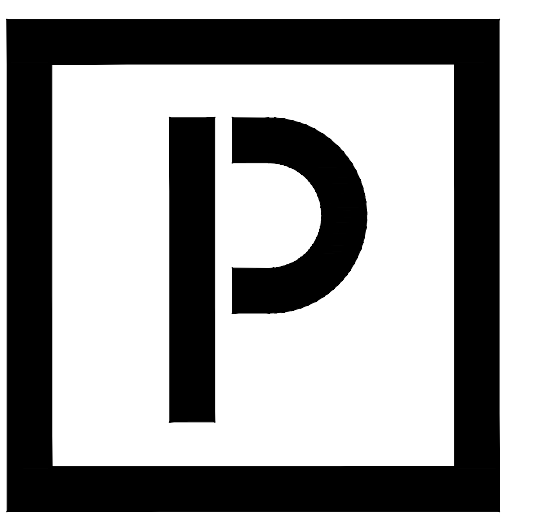
3 BUILDING 1 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"



4 KEY PLAN
NTS

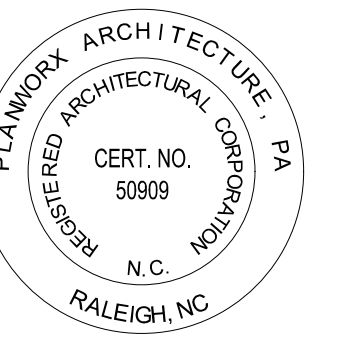


5 VILLAGE PARK DRIVE - SITE ELEVATION
Scale: 1/16" = 1'-0"



PLANWORX
ARCHITECTURE

5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



DEWITT APARTMENTS
WIDEWATER
KNIGHTDALE, NC

PROGRESS DATE:	ISSUE DATE:	REVISIONS NUMBER	INITIALS	DESCRIPTION
03.15.2022				

PROJECT NO: 005221

DRAWN BY: AE/BW

CHECKED BY: BN

SHEET TITLE:
BUILDING 1
ELEVATIONS

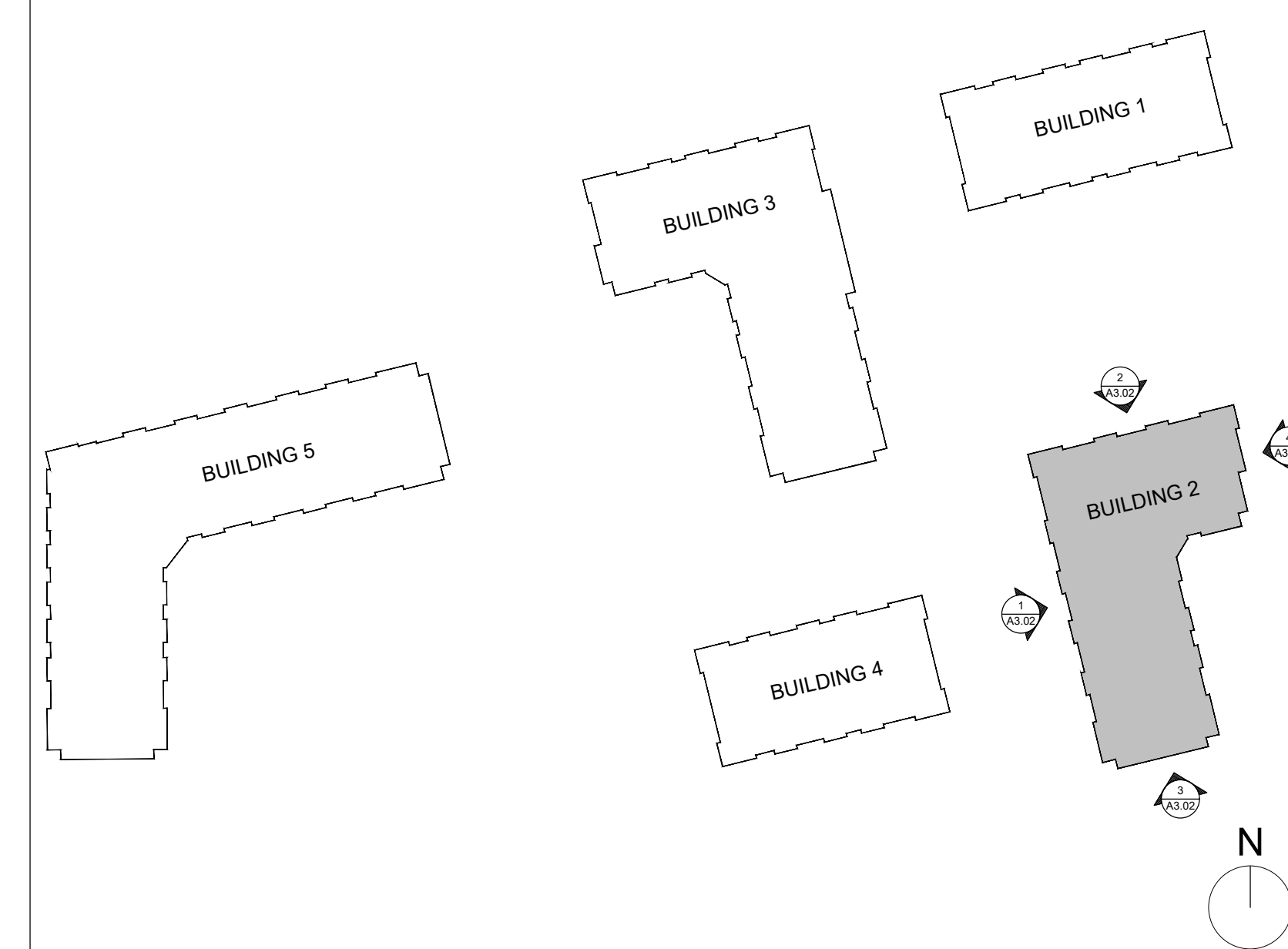
SHEET NUMBER:

A3.01

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1 BUILDING 2 - WEST ELEVATION
Scale: 3/32" = 1'-0"



2 KEY PLAN
NTS



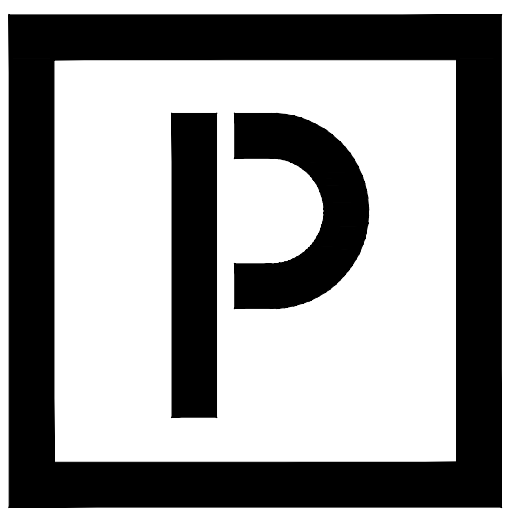
3 BUILDING 2 - NORTH ELEVATION
Scale: 3/32" = 1'-0"



4 BUILDING 2 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"

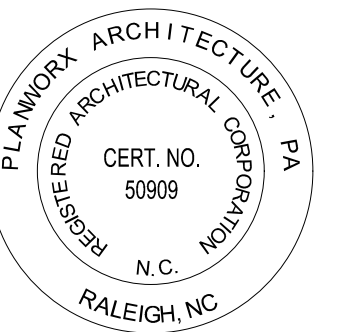


5 BUILDING 2 - EAST ELEVATION
Scale: 3/32" = 1'-0"



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5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



DEWITT APARTMENTS
WIDEWATER
KNIGHTDALE, NC

PROGRESS DATE:	03.15.2022
ISSUE DATE:	
REVISIONS NUMBER	DATE
INITIALS	DESCRIPTION

PROJECT NO: 005221

DRAWN BY: AE/BW

CHECKED BY: BN

SHEET TITLE:
BUILDING 2 & 4
ELEVATIONS

SHEET NUMBER:

A3.02

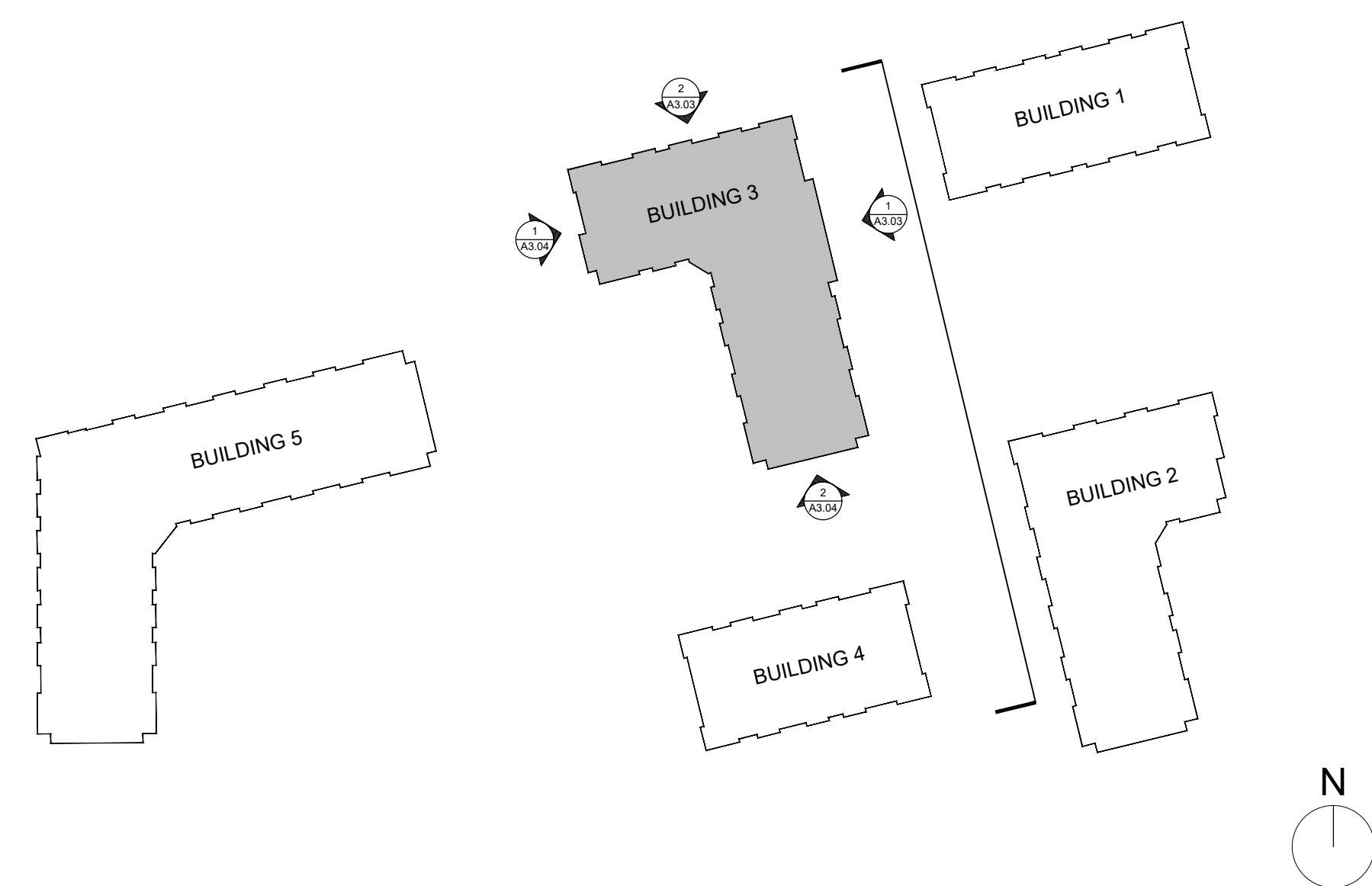
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1 BUILDING 3 - EAST ELEVATION
Scale: 3/32" = 1'-0"



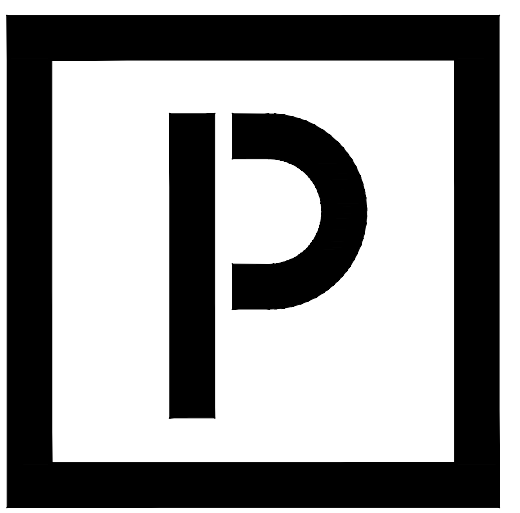
2 BUILDING 3 - NORTH ELEVATION
Scale: 3/32" = 1'-0"



3 KEY PLAN
NTS

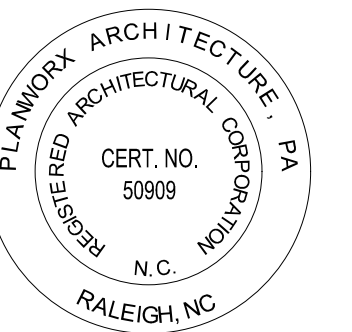


4 CLUBHOUSE ENTRY - SITE ELEVATION
Scale: 1/16" = 1'-0"



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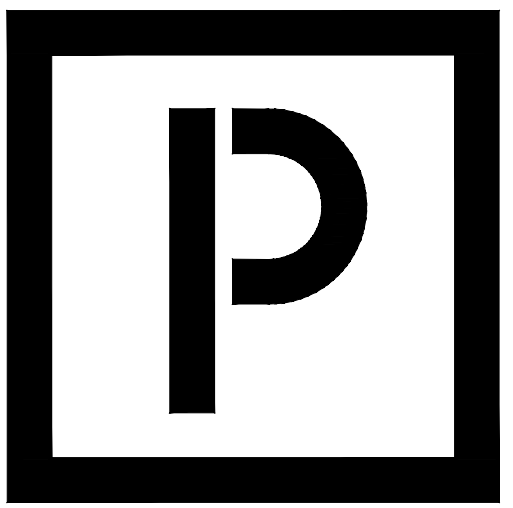
SHEET TITLE:

BUILDING 3
ELEVATIONS

SHEET NUMBER:

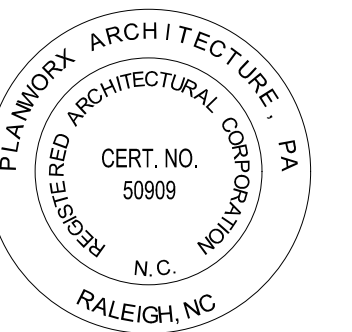
A3.03

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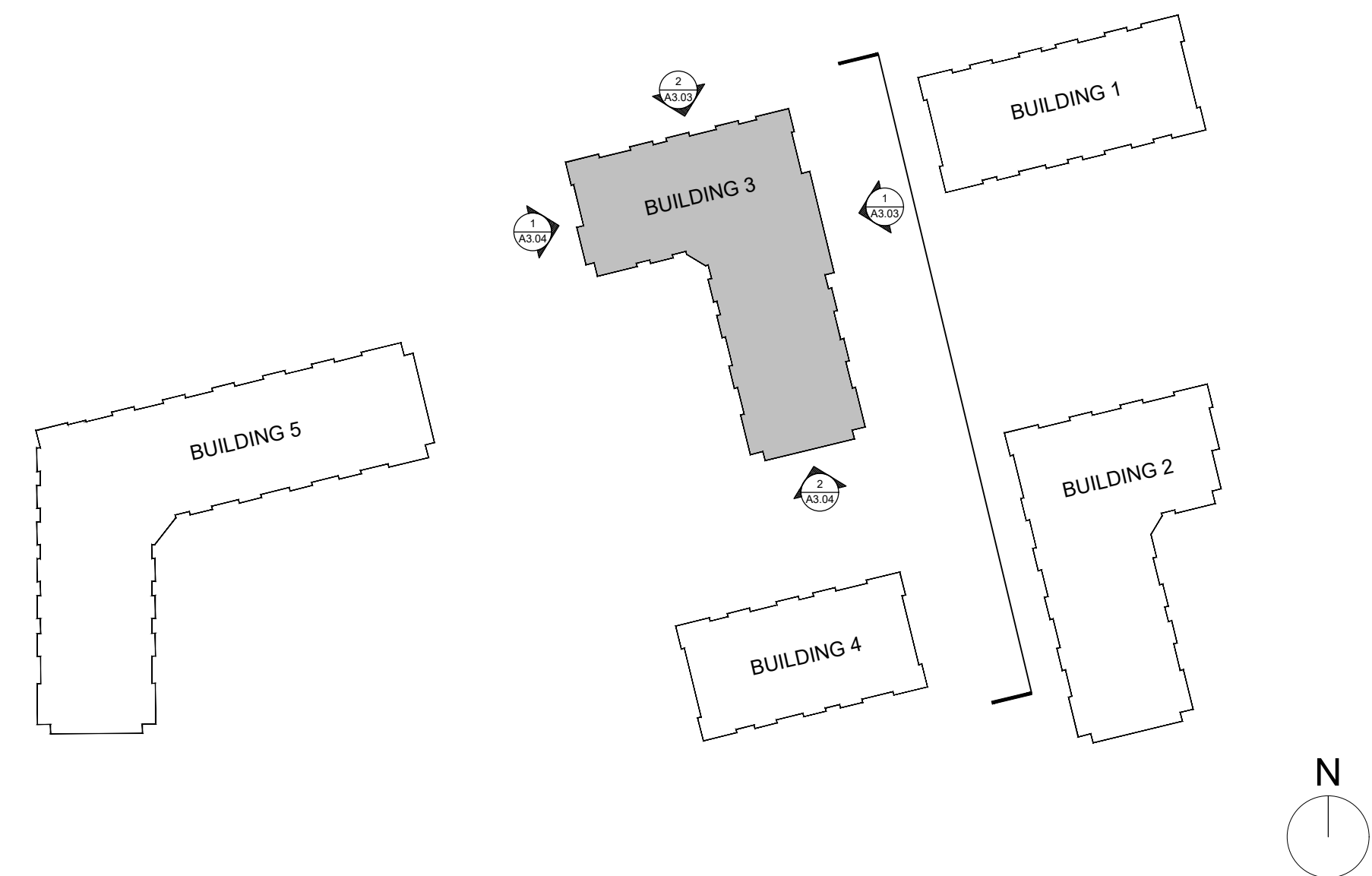
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1 BUILDING 3 - WEST ELEVATION
Scale: 3/32" = 1'-0"



2 BUILDING 3 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"



3 KEY PLAN
NTS



4 CLUBHOUSE ENTRY - SITE ELEVATION
Scale: 1/16" = 1'-0"

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SHEET TITLE:
BUILDING 3
ELEVATIONS

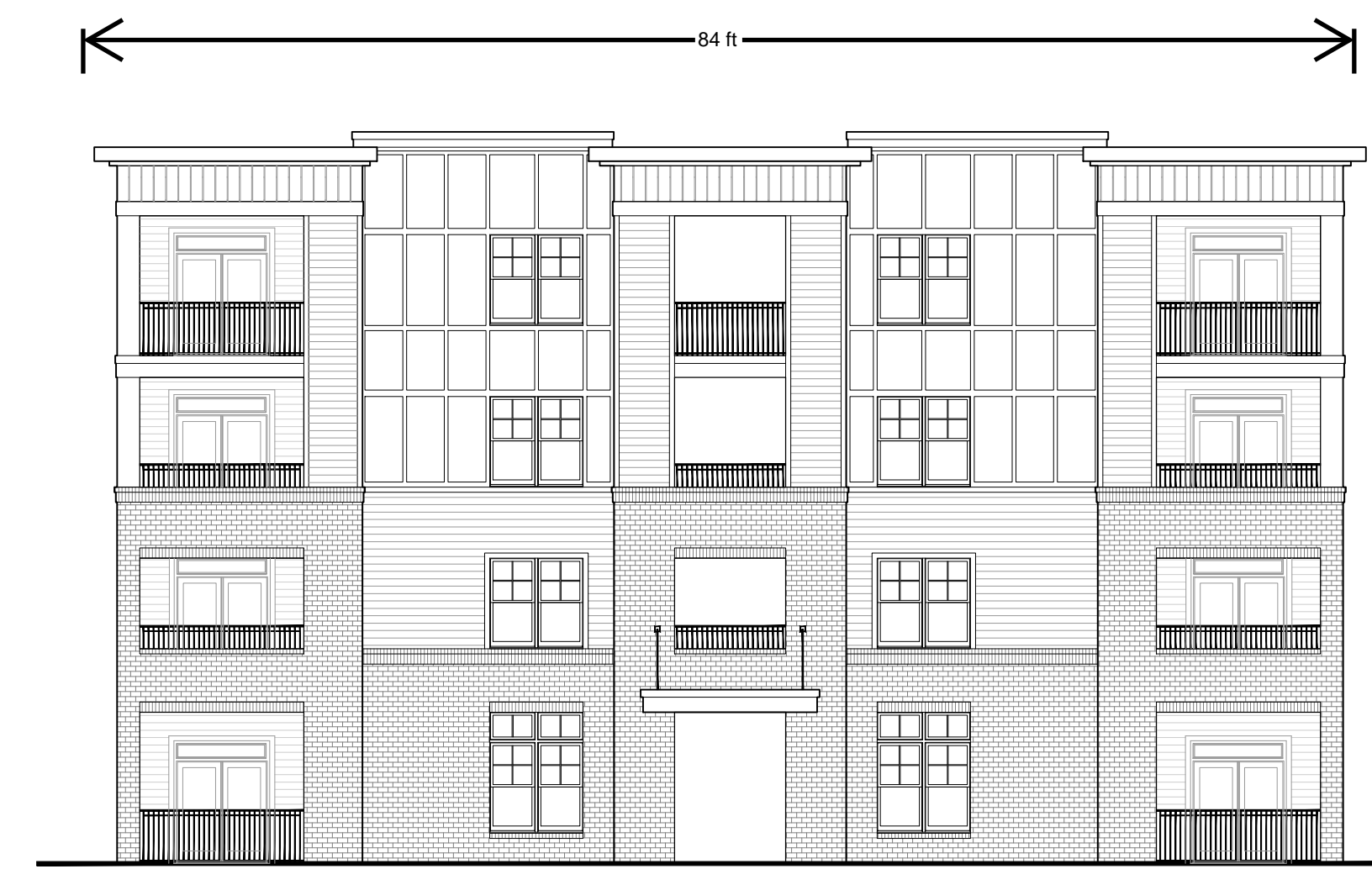
SHEET NUMBER:

A3.04

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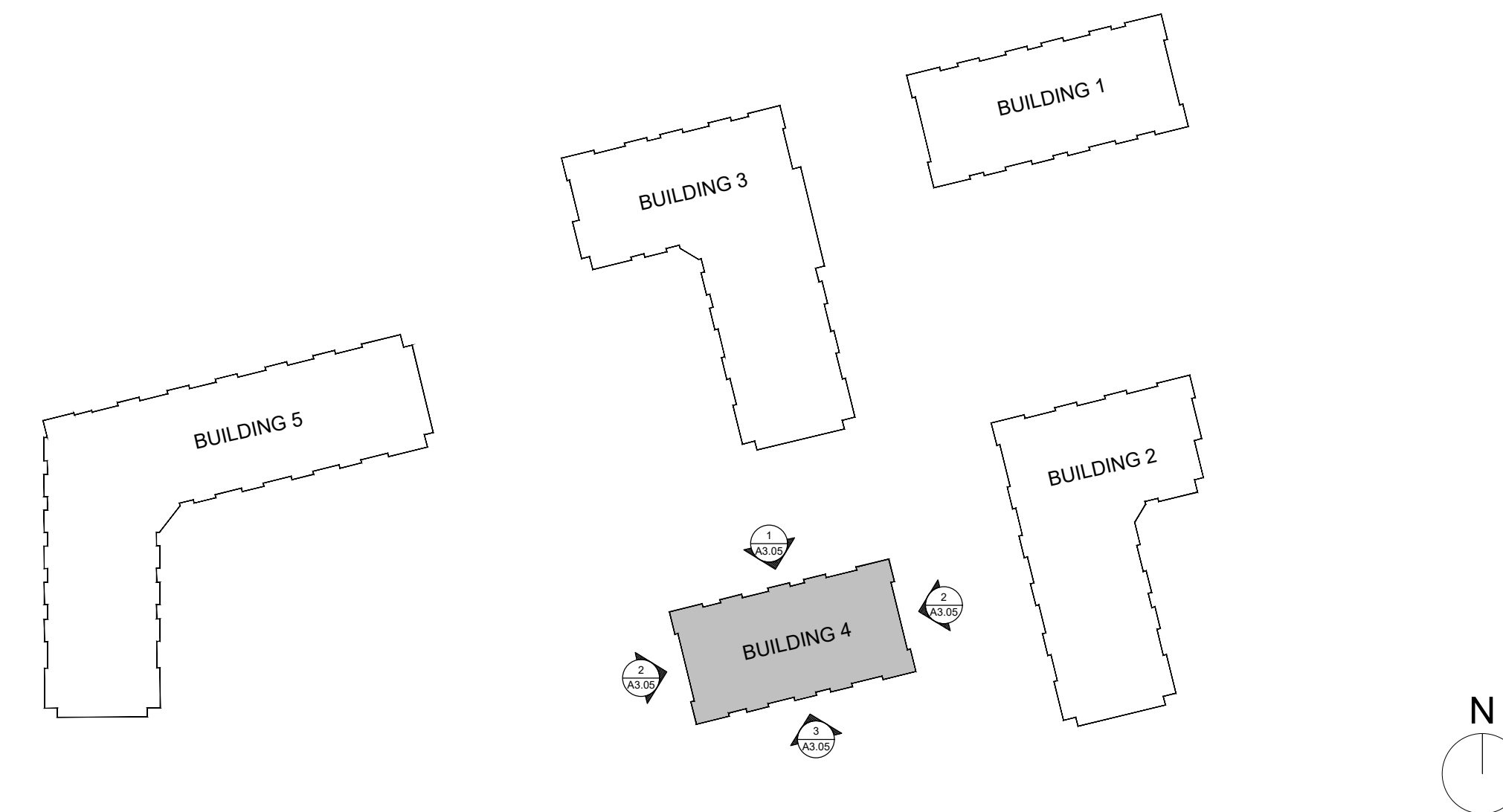
1 BUILDING 4 - NORTH ELEVATION
Scale: 3/32" = 1'-0"



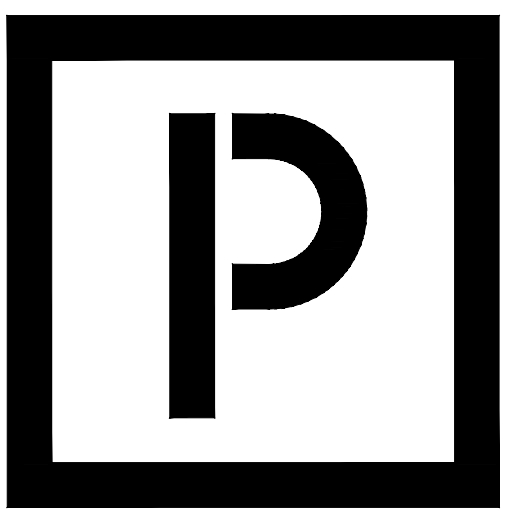
2 BUILDING 4 - EAST / WEST ELEVATION
Scale: 3/32" = 1'-0"



3 BUILDING 4 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"

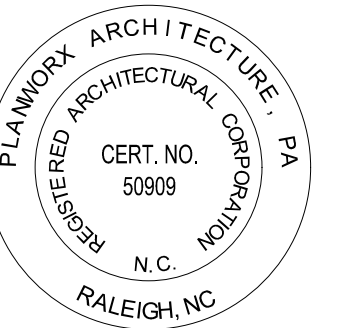


4 KEY PLAN
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SHEET TITLE:
BUILDING 4
ELEVATIONS

SHEET NUMBER:

A3.05

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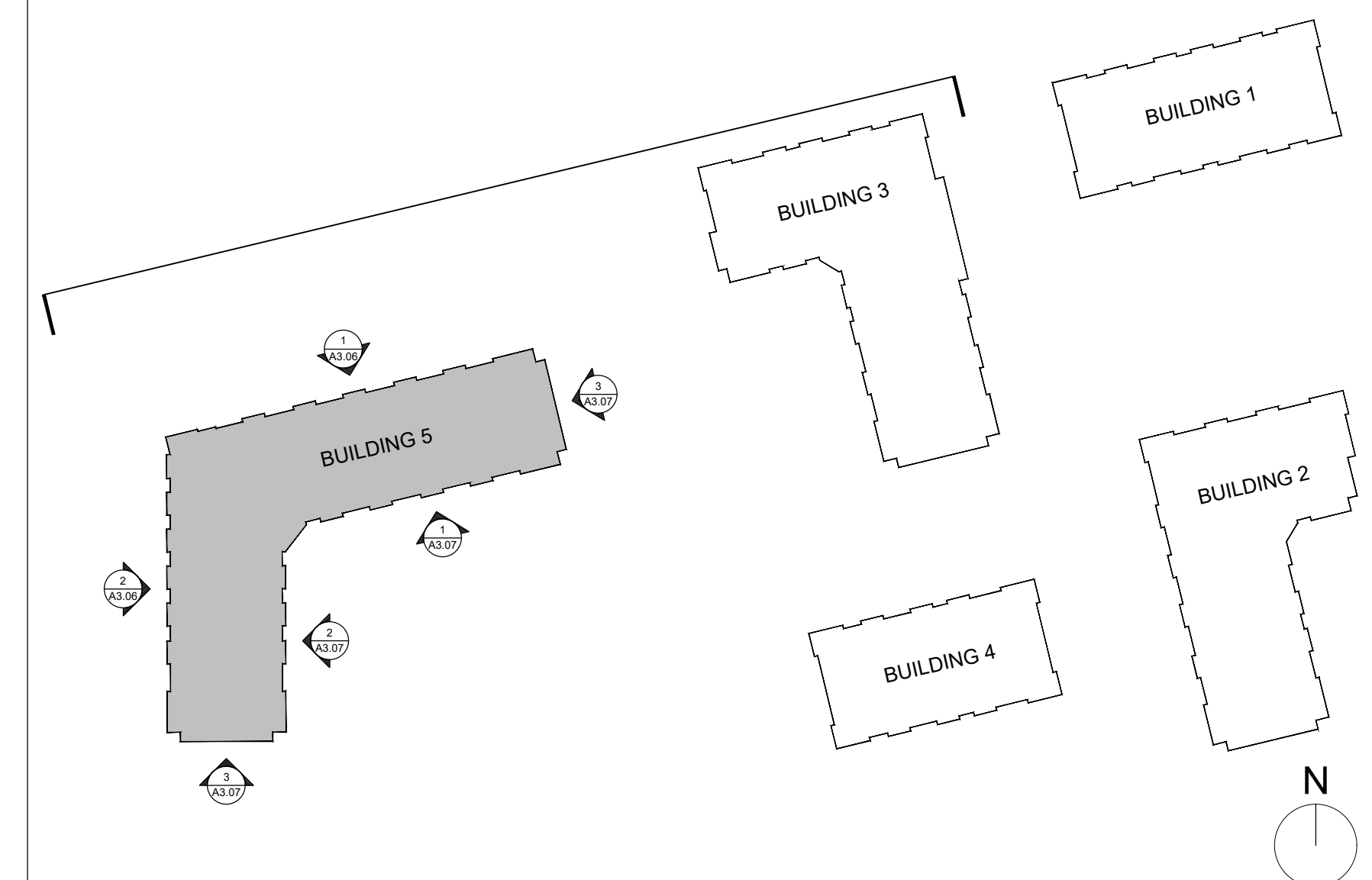
1 BUILDING 5 - NORTH ELEVATION
Scale: 3/32" = 1'-0"



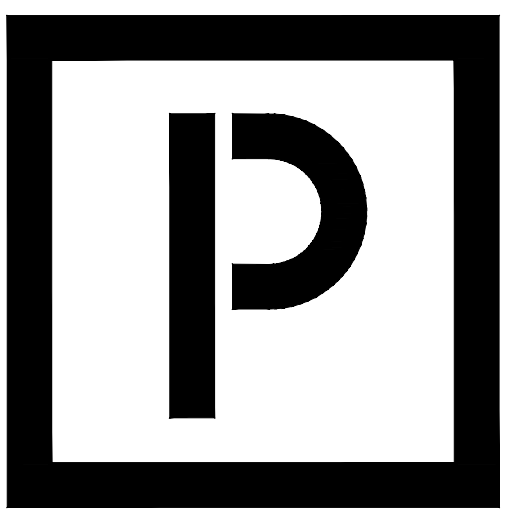
2 BUILDING 5 - WEST ELEVATION
Scale: 3/32" = 1'-0"



3 VILLAGE PARK DRIVE - SITE ELEVATION
Scale: 1/32" = 1'-0"

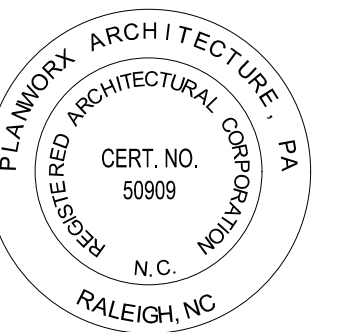


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DESCRIPTION	

PROJECT NO: 005221
DRAWN BY: AE/BW
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SHEET TITLE: BUILDING 5 ELEVATIONS

SHEET NUMBER:

A3.06

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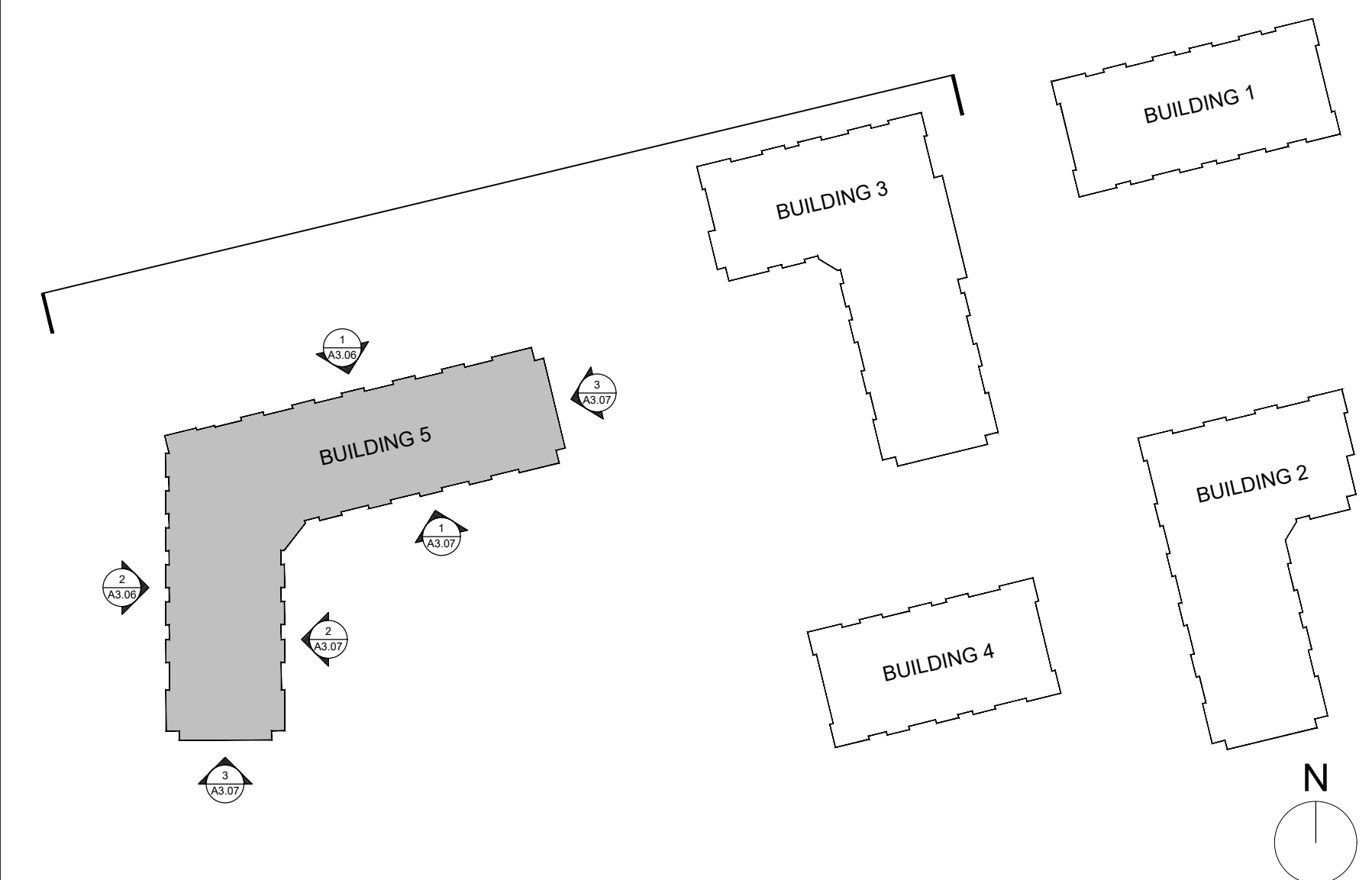
1 BUILDING 5 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"



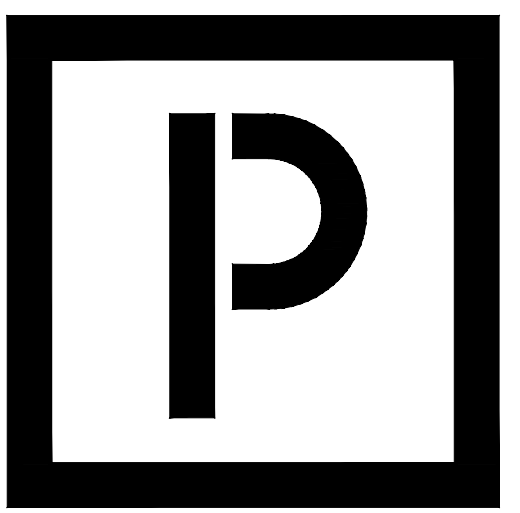
2 BUILDING 5 - EAST ELEVATION
Scale: 3/32" = 1'-0"



3 BUILDING 5 - END ELEVATION
Scale: 3/32" = 1'-0"

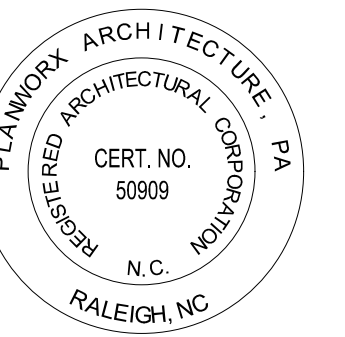


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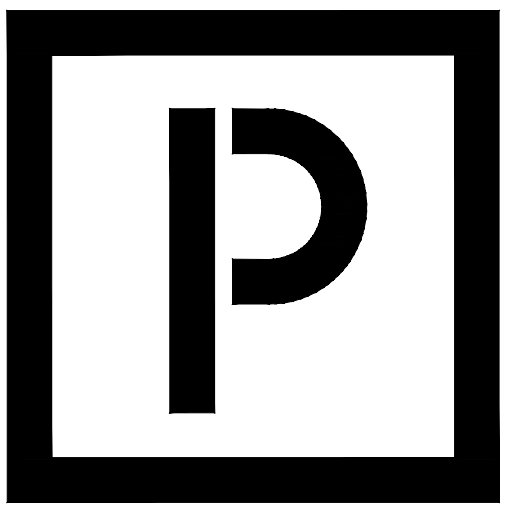


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SHEET TITLE:	BUILDING 5 ELEVATIONS
SHEET NUMBER:	

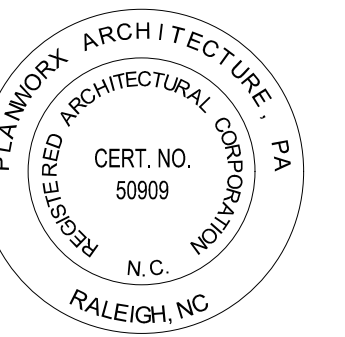
A3.07

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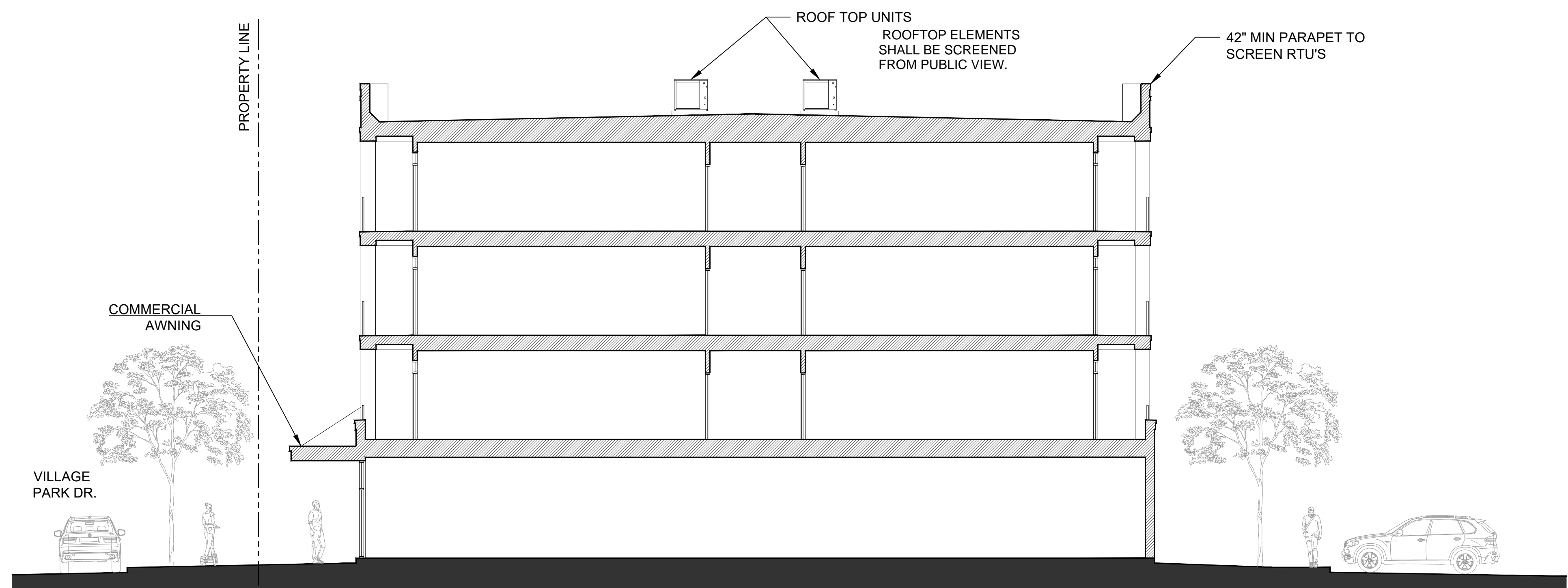


DEWITT APARTMENTS
WIDEWATER
KNIGHTDALE, NC



- FIBER CEMENT BOARD & BATTEN; COLOR #5
- FIBER CEMENT SIDING; COLOR #2
- FIBER CEMENT TRIM; COLOR #4
- FIBER CEMENT SIDING; COLOR #3
- GUARDRAIL; BLACK
- BRICK ROWLOCK & SOLDIER; COLOR #1
- FIBER CEMENT SIDING; COLOR #1
- BRICK; COLOR #1
- FIBER CEMENT PANEL & TRIM; COLOR #4
- METAL COPING; BLACK

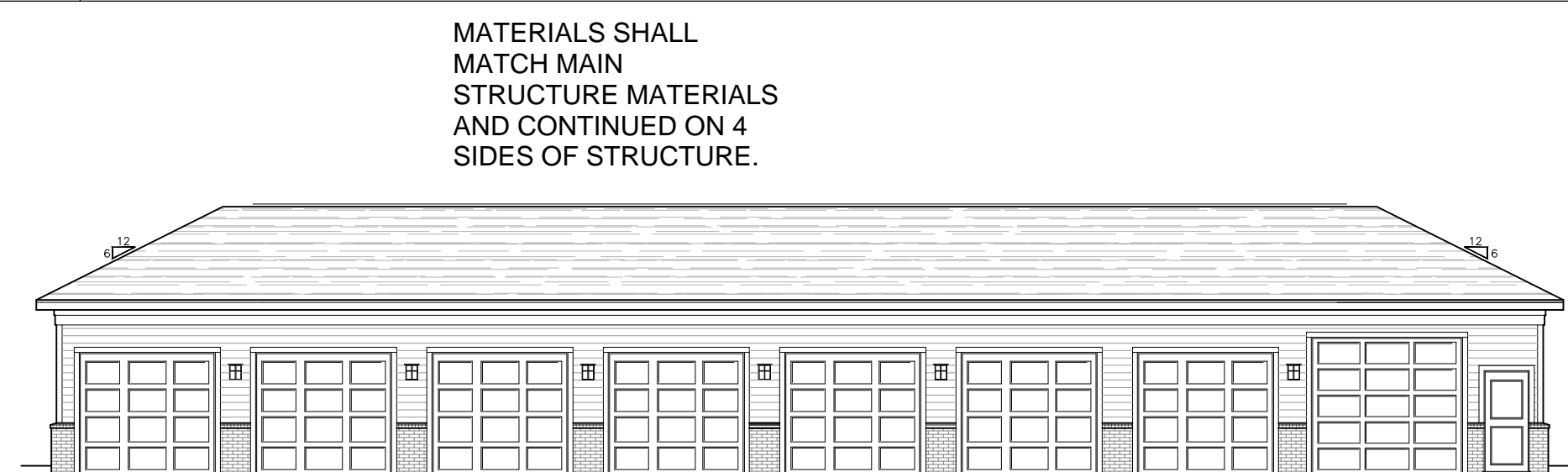
1 TYPICAL ELEVATION
NTS



2 SITE SECTION
NTS



3 POOLHOUSE ELEVATION
Scale: 3/32" = 1'-0"



4 GARAGE ELEVATION
Scale: 3/32" = 1'-0"

PROGRESS DATE:	ISSUE DATE:	REVISIONS NUMBER	DATE	INITIALS	DESCRIPTION
03.15.2022					

PROJECT NO: 005221
DRAWN BY: AE/BW
CHECKED BY: BN

SHEET TITLE:
TYPICAL ELEVATIONS & SECTIONS

SHEET NUMBER:
A3.08

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