



TOWN OF KNIGHTDALE

PLANNING DEPARTMENT

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ORD #10-07-06-004

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE OF THE TOWN OF KNIGHTDALE, REGARDING TECHNICAL EDITS AND CLARIFICATIONS OF INTENT FOR CHAPTERS 1 AND 2

WHEREAS, the Town of Knightdale has received a petition to amend the Unified Development Ordinance in regard to technical edits and clarifications of intent for Chapter 1 and 2; and

WHEREAS, the Town of Knightdale Unified Development Ordinance Section 15.15 establishes uniform procedures for amending the text of the Ordinance; and

WHEREAS, the proposed zoning text changes comply with the goals of the Town's Comprehensive Plan because they are reasonable in that they advance the stated objective of better managing the development of the community by improving the clarity and consistency of the UDO's language and formatting, as well as being consistent with the Comprehensive Plan's stated goal of providing responsible urban design, planning and development;

NOW, THEREFORE BE IT ORDAINED by the Town Council of the Town of Knightdale, North Carolina:

SECTION 1. That the Unified Development Ordinance of the Town of Knightdale Code be amended to read as follows (*editing notes in parenthetical italics*):

(See Attachments for Chapters 1 & 2)

Section 3.3D. Amusements, Indoor – 5,000 sf or Less (RR*, GR*, UR*, RMX*) *Special Use (2.3C(5)b) *(Insert section and bump others down)*

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3E. Amusements, Indoor – 5,001 sf – 20,000 sf (RMX*, NMX*, TC*) *Special Use (2.3C(5)c) *(Insert section and bump others down)*

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3M. Campground (OSP*, RR*, GR*) *Special Use (2.3C(7)a) *(Insert section and bump others down)*

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3Q. Cremation Facilities (NMX*) *Special Use (2.3C(3)h) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3R. Cultural or Community Facility (OSP*, RR*) *Special Use (2.3C(5)f) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3FF. Meeting Facilities (OSP*, RR*) *Special Use (2.3C(5)g) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3HH. Neighborhood Retail/Restaurant – 2,000 sf or Less (RMX*) *Special Use (2.3C(4)e) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3II. Outdoor Kennels/Equestrian Facilities (RR*, MI*) *Special Use (2.3C(3)o)

1. All open exercise, boarding, training and similar areas shall be enclosed by a perimeter fence or wall no less than four (4) feet in height and screened from any pre-existing adjacent residential dwelling (other than the owner's) by a Type A buffer with a minimum width of 10 feet.
2. No outdoor kennel shall be located within 500 feet of any adjacent residential dwelling (other than the owner's) or within any Neuse River Riparian Area.
3. All accessory buildings and structures other than outdoor kennels related to the care of animals shall not be located within 200 feet of any pre-existing adjacent residential dwelling (other than the owner's).

Section 3.3JJ. Personal Services (RMX, NMX, TC, HB, MI, TND) (2.3C(3)p) (Insert section and bump others down)

1. Hours of operation shall be limited from 6:00 am to 11:00 pm.

Section 3.3KK. Quarrying and Stone Cutting (MI*) *Special Use (2.3C(6)j) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3MM. Research and Development (HB) (2.3C(6)k)

1. All materials or equipment shall be stored within an enclosed building.
2. Any operation which results in the creation of noxious vibrations, odors, dust, glare or sound is prohibited.

Section 3.3PP. Schools – Elementary & Secondary (RR*, GR*) *Special Use (2.3C(7)g) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3QQ. Storage – Outdoor Storage Yard as a Primary Use (MI) (2.3C(6)l)

1. All outdoor storage areas shall be located at the rear of the building and enclosed by an opaque fence or wall and screened from the street right-of-way with a Type B buffer with a minimum width of 20 feet.

Section 3.3RR. Storage - Warehouse, Indoor Storage (RR, TC, HB, MI) (2.3C(6)m)

1. Facility is limited to 5,000 square feet per floor in the TC and RR District.
2. No outdoor storage of any kind is permitted.
3. In the RR District, property must be buffered with a Type A Buffer from adjacent lots with pre-existing adjacent residential dwellings (other than the owner's).

Section 3.3TT. Utilities – Class 3 (RR*, HB*) *Special Use (2.3C(8)f) (Insert section and bump others down)

Note: No additional standards other than approval through a Special Use Permit process.

Section 3.3WW. Wholesaling and Distribution (HB*, MI) *Special Use (2.3C(6)n)

1. All vehicle storage areas shall be located at the rear of the building and enclosed by a fence or wall and screened from the street right-of-way with a Type A buffer with a minimum width of 10 feet.
2. No outdoor public address system shall be permitted which can be heard beyond the boundaries of the property.

Section 5.3 Exceptions

- E. Structures located in the MI District shall be exempt from the subsequent provisions of this Chapter, but must follow the standards outlined below.
 - a. **Building Materials:** All building walls shall be brick or decorative concrete masonry unit, or other materials similar in appearance and durability.
 - b. **Pedestrian Scale and Massing:** All portions of building facades within 100 feet of a public or private street shall avoid long, monotonous, uninterrupted walls of 20 feet or more on any floor by utilizing wall offsets, windows, doors, stairwells, pilasters, spandrel glass, awnings or other architectural elements as may be approved by the TRC.

Section 9.7 Access Management

Where the NCDOT Driveway Manual conflicts with the regulations of this Section, the stricter of the two (2) standards shall prevail.

A. Number of Driveway Access Points

Developments should minimize or eliminate curb cuts along arterials and collectors. Where possible, vehicular access should be provided via driveways shared with the adjacent properties and/or alleys. All lots, parcels, or any other division of land adjacent to an arterial or collector roadway may be allowed driveways or street connections in accordance with the following:

Parcel Frontage	Number of Driveways Allowed
< 500 ft	1
501 – 1200 ft	2*
>1201 ft	3*

** One (1) shall be limited access (e.g. right in/right out only)*

B. Location of Driveway Access Points

Location guidelines for minimum distances between driveway access points and from street intersections to driveway access points are shown in the table below. If access to a lot, parcel, or any other lawful division of land is physically unobtainable under the provisions listed below, driveway access points are to be located the greatest distance possible from one another and from street intersections.

Street Type	Minimum Distance
Arterial	300 feet
Collector	150 feet
Local	100 feet

Section 10.3A Parking Ratios

The minimum parking requirement for any use shall be 50 percent of the stated maximum. Structured parking facilities are exempt from the stated maximum. Single-family, duplex, triplex, quadplex, townhouse and apartment parking as well as each manufactured home space in a Mobile Home Park must meet a minimum of one (1) space per bedroom, up to two (2) spaces per unit.

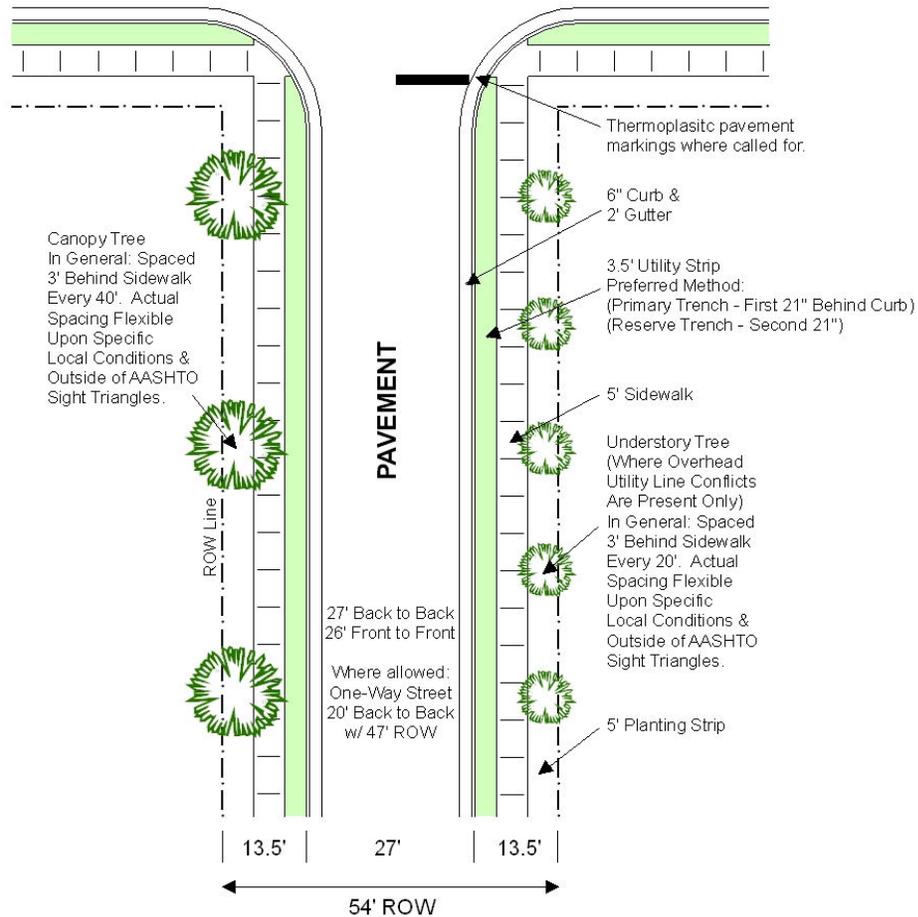
Section 10.4B Parking Area Location:

1. No vehicle accommodation area is permitted within any required or established setback, except that driveways providing access to the area may be installed across said setback. It is the intent that these driveways be as nearly perpendicular to the street right-of-way as possible.
2. Parking areas are prohibited from being located in the front yard of a lot as well as from in front of a building's primary façade. The following uses are exempt from this provision:
 - c. Single-family dwellings (detached only) in any District; and
 - d. All uses in the MI District.

17.4A(2) Local Street

LOCAL STREET

FIGURE 17.2



Common Street Features (Section 2.2):

- Curb & gutter
- Informal parking
- Street Tree Planting strips – 5 ft. (see introduction of Section 17.4A for further notes about NCDOT maintained streets)
- Sidewalks – 5 ft. on each side
- Requires 54 ft. of right-of-way – two way
- Requires 47 ft. of right-of-way – one way
- Utility location underground or alley
- Two to Six blocks long
- Average speed 20-25 mph

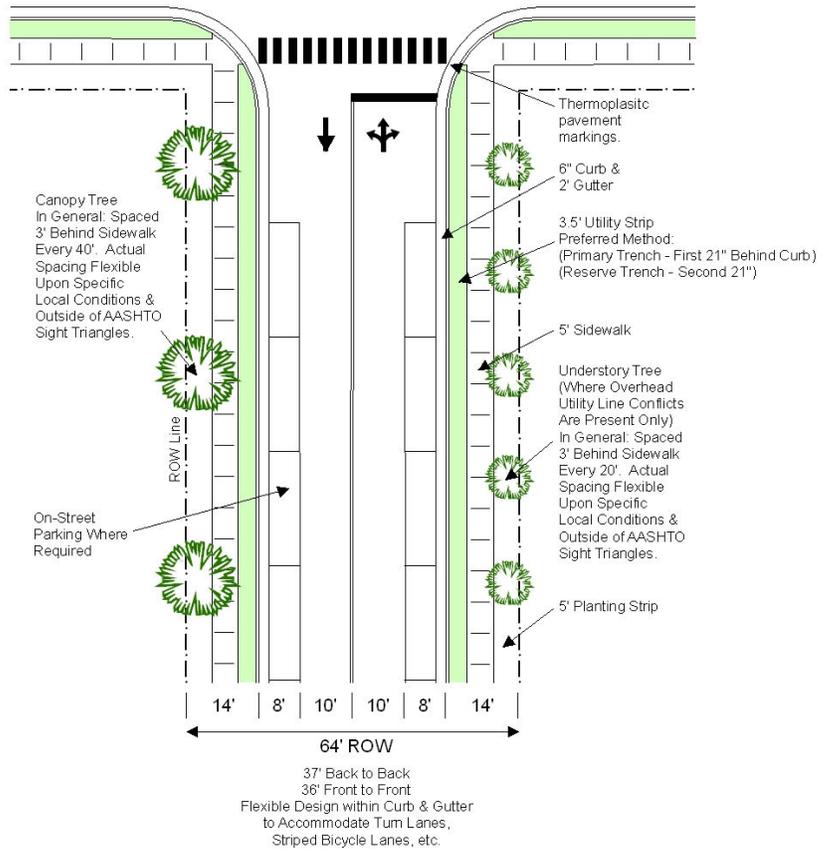
Buildings & Land Use:

- Residential – many residential types
- Residences brought close to sidewalk
- Consistent building line recommended
- Front porches encouraged

17.4A(3) Main Street

MAIN STREET

FIGURE 17.3



Common Street Features (Section 2.2):

- Travel lanes of 10 ft. minimum
- Curb & gutter
- Striped parking in mixed use and commercial areas
- Street Tree Planting strips – 5 ft. minimum on each side (see introduction of Section 17.4A for further notes about NCDOT maintained streets)
- Sidewalks – 5 to 13.5 ft. on each side (Where sidewalk, utility and planting strips combined in commercial use areas, approved tree grates must be used and trees planted according to standard specification location.)
- If no on-street parking is required and this section is identified for use with a designated bikeway, a minimum 4 foot striped outside bicycle lane excluding gutter shall be provided – see Appendix 3
- Requires 64 ft. of right-of-way
- Utility location underground or alley
- Average speed 20-25 mph
- Includes bulbouts at intersections and midblock crossings

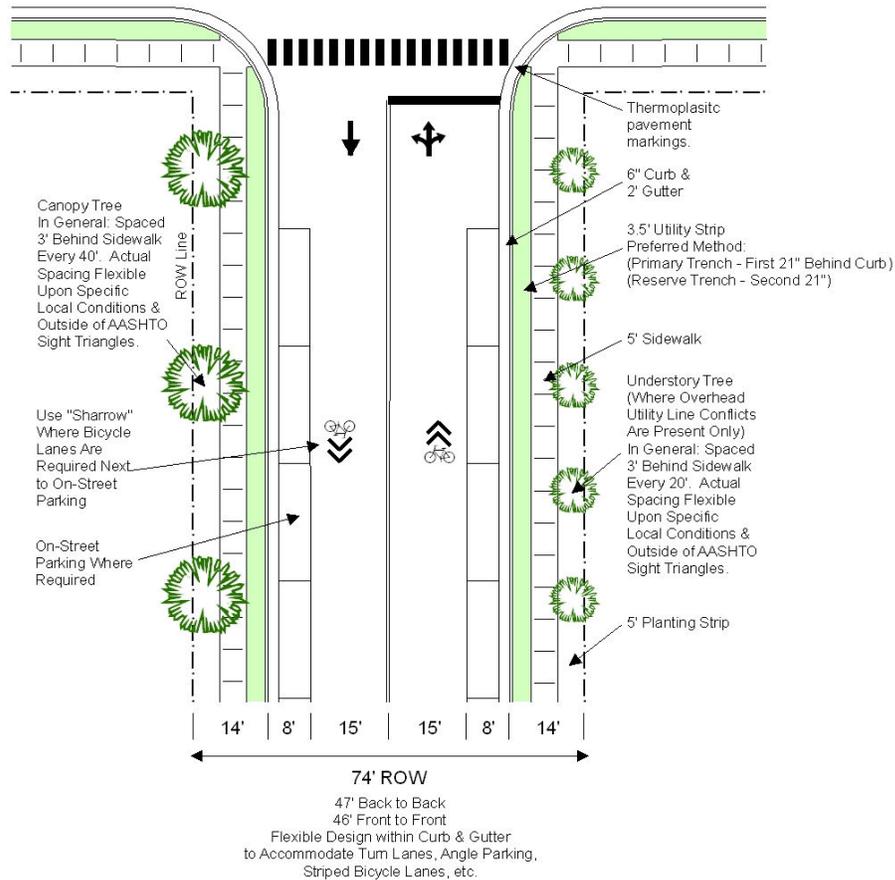
Buildings & Land Use:

- Commercial and mixed use
- Major roadway in neighborhoods
- Consistent building line recommended
- Buildings next to sidewalk
- Pedestrian awnings and arcades recommended except in MI District

17.4A(4) Avenue

AVENUE

FIGURE 17.4



Common Street Features (Section 2.2):

- Travel lanes of 15 ft. to accommodate bicyclists (Sharrow pavement markings to be included on designated bikeways where on-street parking is provided – see Appendix 3; otherwise if on-street parking is not required, a minimum 4 foot striped outside bike lane on designated bikeways excluding gutter shall be provided)
- Curb & gutter
- Striped parking in commercial and mixed use areas
- Street Tree Planting strips – 5 ft. minimum on each side (see introduction of Section 17.4A for further notes about NCDOT maintained streets)
- Sidewalks – 5 to 13.5 ft. on each side (Where sidewalk, utility and planting strips combined in commercial use areas, approved tree grates must be used and trees planted according to standard specification location.)
- Requires 74 ft. of right-of-way
- Utility location underground or alley
- Average speed 30-35 mph

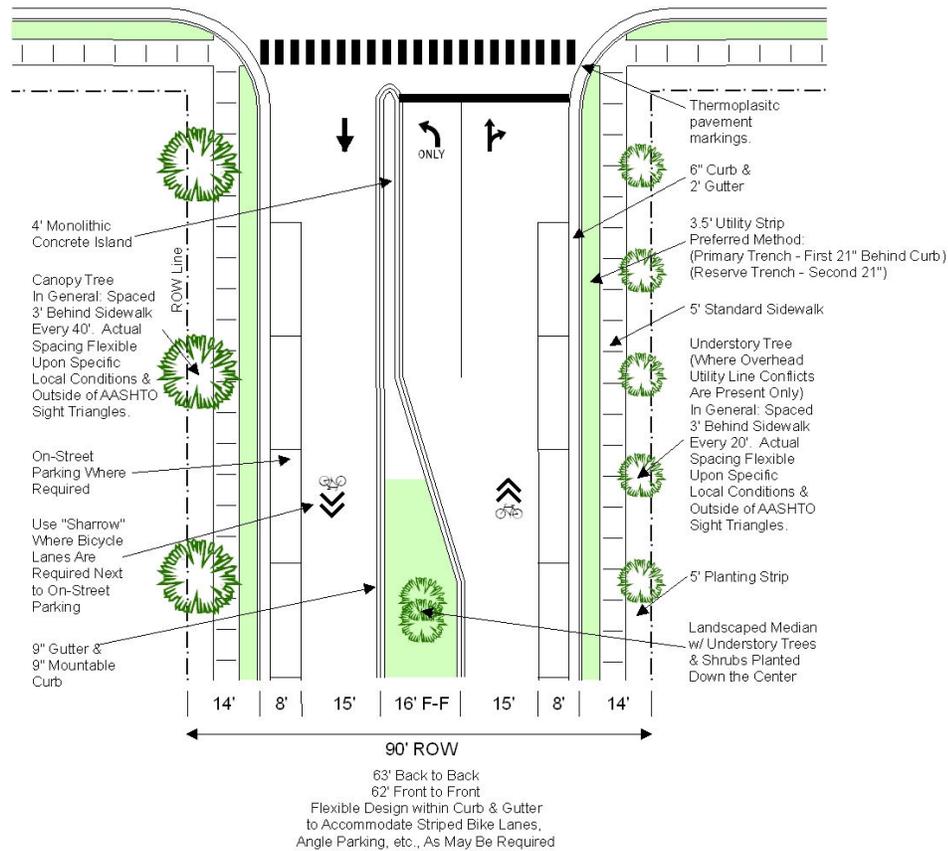
Buildings & Land Use:

- Residential, Industrial, and Commercial areas
- Consistent building line recommended
- Buildings next to sidewalk
- Place prominent public buildings and plazas at end of vista

17.4A(5) Urban Avenue

URBAN AVENUE

FIGURE 17.5



Common Street Features (Section 2.2):

- Left turn lanes of 11 ft. which includes a 9" gutter where median present
- On-Street parking in commercial use areas
- Travel lanes of 15 ft. to accommodate bicyclists (Sharrow pavement markings to be included on designated bikeways where on-street parking is provided – see Appendix 3; otherwise if on-street parking is not required, a minimum 4 foot striped outside bike lane on designated bikeways excluding gutter shall be provided)
- Curb & gutter
- Landscaped Medians– 16 ft. minimum in width
- Street Tree Planting strips – 5 ft. minimum on each side (see introduction of Section 17.4A for further notes about NCDOT maintained streets)
- Sidewalks – 5 to 13.5 ft. on each side (Where sidewalk, utility and planting strips combined in commercial use areas, approved tree grates must be used and trees planted according to standard specification location.)
- Requires 90 ft. of right-of-way
- Utility location underground or alley
- Average speed 35-45 mph

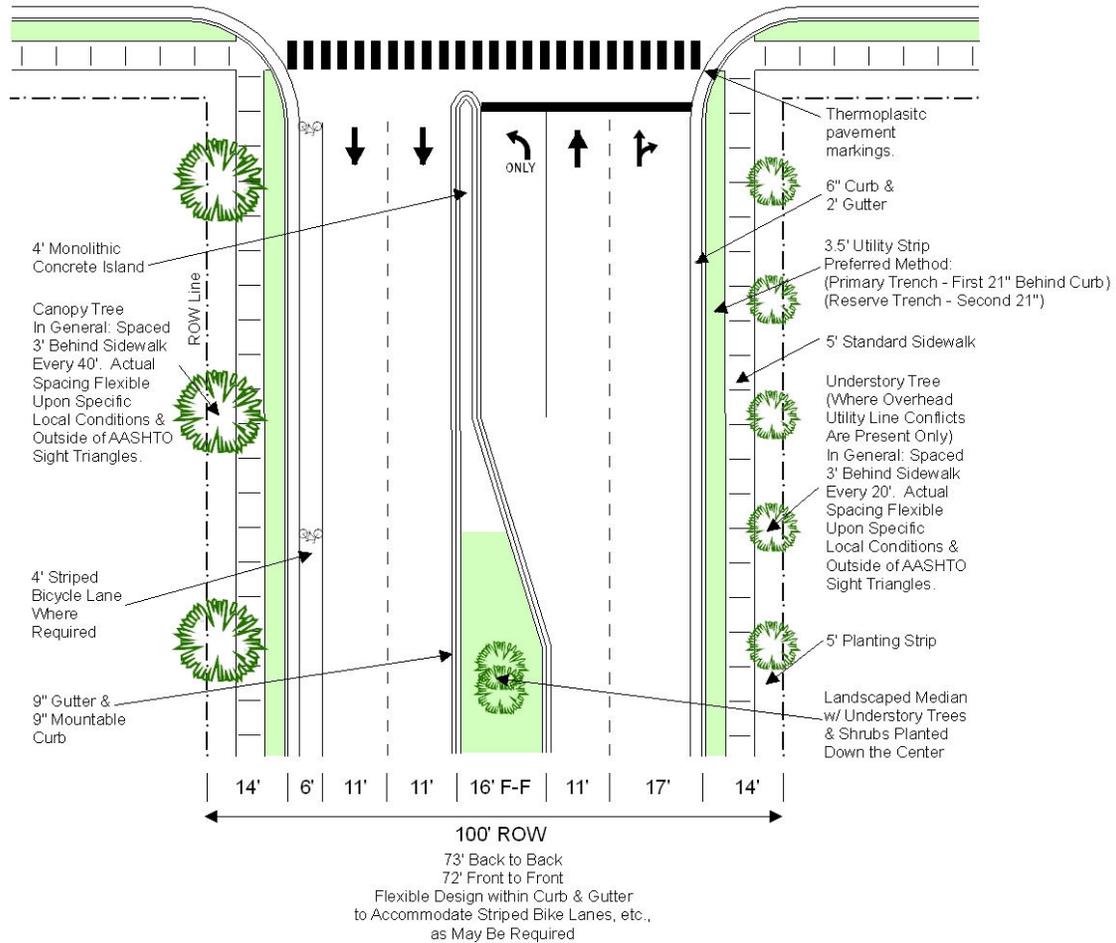
Buildings & Land Use:

- Residential and commercial use areas
- Consistent building line recommended
- Commercial buildings should be close to the sidewalk
- Place prominent public buildings and plazas at the end of vistas

17.4A(6) Boulevard

BOULEVARD

FIGURE 17.6



Common Street Features (Section 2.2):

- Inside travel lanes of 11 ft.
- Outside travel lanes of 15 ft. to accommodate bicyclists; otherwise, on designated bikeways, a minimum 4 foot striped outside bicycle lane excluding gutter shall be provided – see Appendix 3
- Curb & gutter
- Landscaped Medians– 16 ft. minimum in width
- Street Tree Planting strips – 5 ft. minimum on each side (see introduction of Section 17.4A for further notes about NCDOT maintained streets)
- Sidewalks – 5 to 8 ft. on each side
- Requires 100 ft. of right-of-way
- Utility location underground or alley
- Average speed 35-45 mph

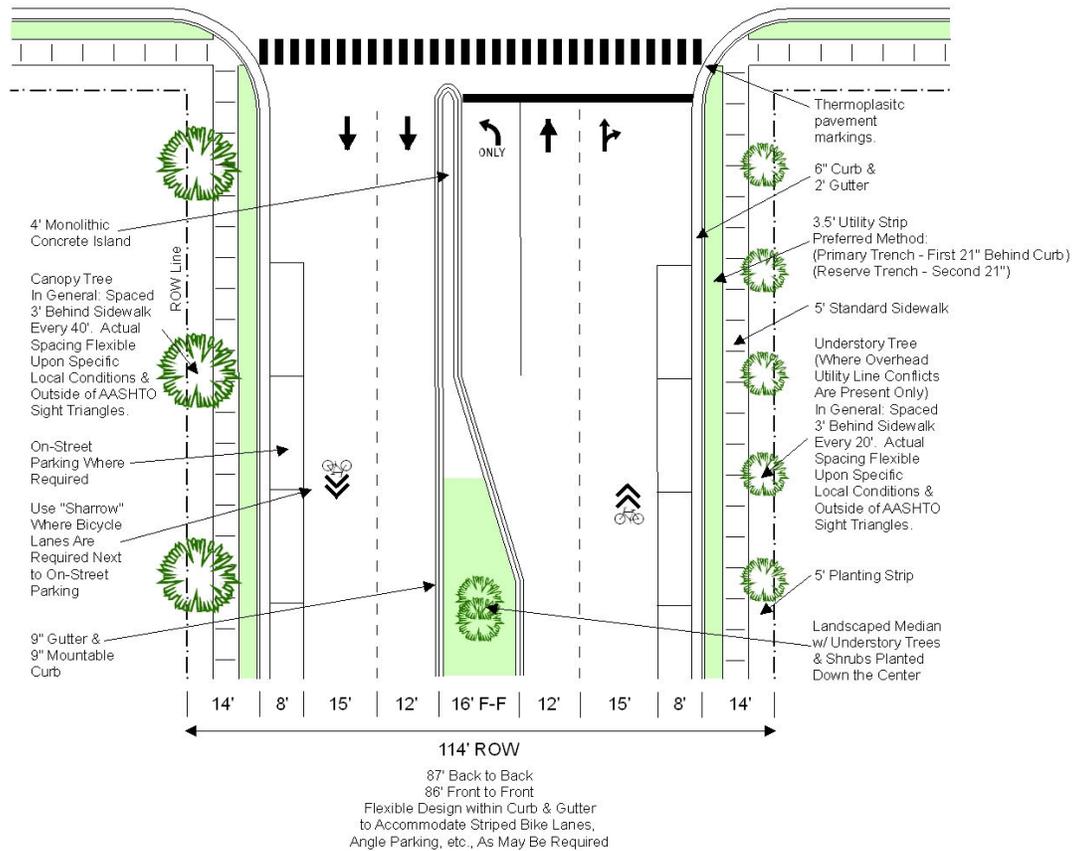
Buildings and Land Use:

- Mixed residential and commercial use areas

17.4A(7) Urban Boulevard

URBAN BOULEVARD

FIGURE 17.7



Common Street Features (Section 2.2):

- Inside travel lanes of 11.5 ft.
- Outside travel lanes of 15 ft. to accommodate bicyclists (Sharrow pavement markings to be included on designated bikeways where on-street parking is provided – see Appendix 3; otherwise, a minimum 4 foot striped outside bike lane on designated bikeways excluding gutter shall be provided)
- Curb & gutter
- Striped parking in mixed use and commercial areas
- Landscaped Medians– 16 ft. minimum in width
- Street Tree Planting strips – 5 ft. minimum on each side (see introduction of Section 17.4A for further notes about NCDOT maintained streets)
- Sidewalks – 5 to 8 13.5 ft. on each side (Where sidewalk, utility and planting strips combined in commercial use areas, approved tree grates must be used and trees planted according to standard specification location.)
- Requires 114 ft. of right-of-way
- Utility location underground or alley
- Average speed 35 mph

Buildings & Land Use:

- Mixed residential and commercial uses
- Consistent building line recommended
- Buildings next to sidewalk
- Place prominent public buildings and plazas at end of vista

Chapter 19 Definitions

Outdoor Kennels/Equestrian Facilities 2.3C(3)o: A use or structure intended and used for the breeding or accommodation of small domestic animals for sale or for the training or overnight boarding of animals for persons other than the owner of the lot, but not including a veterinary clinic in which the overnight boarding of animals is necessary for or accessory to the testing and medical treatment of the physical disorders of animals. This use also includes equestrian-related leisure activities including riding, mounting, horsemanship, and equestrian games, such as polo, hurdles, dressage training and show jumping; as well as the facilities for maintaining stables, feeding, caring, and housing horses. *(LBCS F2700 and LBCS A7120)*

Personal Services 2.3C(3)p: These establishments offer a wide range of personal services. Uses include but are not limited to tailor/seamstress shops, nail salons, hair salons, barbershops and tanning salons; which may include permanent makeup tattooing (color enhancement of eyebrows, eyeliner and lips) as an ancillary use. This definition does not allow tattooing of the body except as identified herein for permanent makeup. *(LBCS F2600)*

Professional Services 2.3C(3)r: Services provided that make available the knowledge and skills of their employees to sell expertise and perform professional, scientific, and technical services to others such as legal services; accounting, tax, bookkeeping, and payroll services; architectural, engineering, and related services; graphic, industrial, and interior design services; consulting services; research and development services; advertising, media, and photography services; real estate services; investment banking, securities, brokerages; and insurance-related services. *(LBCS F2230, F2240, F2300, and F2410-2417).*

Quarrying and Stone Cutting 2.3C(6)j: This category comprises establishments that dredge, quarry, mine, or develop the mine site for crushed and broken stones, sand, gravel, mining clay (e.g., china clay, paper clay and slip clay), or other stones and nonmetallic minerals. Broken and crushed stones include granite and related rocks, such as gneiss, syenite, and diorite; and other stones (except dimension stone and limestone.) Establishments that mine or quarry bituminous limestone and bituminous sandstone are included in this category. Also included are preparation plants that beneficiate stones (e.g., by grinding and pulverizing); and that beneficiate gravel, clay, and ceramic and refractory minerals (e.g., by washing, screening, and grinding.) *(LBCS F8500)*

Research and Development (R&D) 2.3C(6)k: A facility for scientific research, and the design, development, and testing of electrical, electronic, magnetic, optical and computer and telecommunications components in advance of product manufacturing, and the assembly of related products from parts produced off-site, where the manufacturing activity is secondary to the research and development activities. Includes pharmaceutical, chemical, and biotechnology research and development.

Storage- Outdoor Storage Yard 2.3C(6)l: The open storage of various materials outside of a structure other than fencing, as a principal use.

Storage-Warehouse, Indoor Storage 2.3C(6)m: Facilities for the storage of furniture, household goods, or other commercial goods of any nature. Includes cold storage. Does not include warehouse, storage, or mini-storage facilities offered for rent or lease to the

general public; warehouse facilities primarily used for wholesaling and distribution; or terminal facilities for handling freight.

Wholesaling and Distribution 2.3C(6)n: Establishments engaged in selling merchandise to retailers; to contractors, industrial, commercial, institutional, farm or professional business users; to other wholesalers; or acting as agents or brokers in buying merchandise for or selling merchandise to such persons or companies. Examples of these establishments include:

1. Agents, merchandise or commodity brokers, and commission merchants;
2. Assemblers, buyers and associations engaged in the cooperative marketing of farm products;
3. Merchant wholesalers;
4. Stores primarily selling electrical plumbing, heating, and air conditioning supplies and equipment.

SECTION 2. That all laws and clauses of law in conflict herewith are hereby repealed to the extent of said conflict.

SECTION 3. That if this ordinance or application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions of this ordinance which can be given separate effect and to the end the provisions of this ordinance are declared to be severable.

SECTION 4. That this ordinance has been adopted following a duly advertised public hearing of the Town Council and following review and recommendation by the Land Use Review Board.

SECTION 5. That this ordinance shall be enforced as provided in G.S. 160A-175 or as provided for in the Knightdale Town Code.

SECTION 6. That this ordinance shall become effective upon its adoption by Town Council.

Adopted this 6th day of July, 2010.

Russell B. Killen, Mayor

ATTEST:

Suzanne M. Yeatts, Town Clerk

APPROVED AS TO FORM:

Clyde Holt, III; Town Attorney