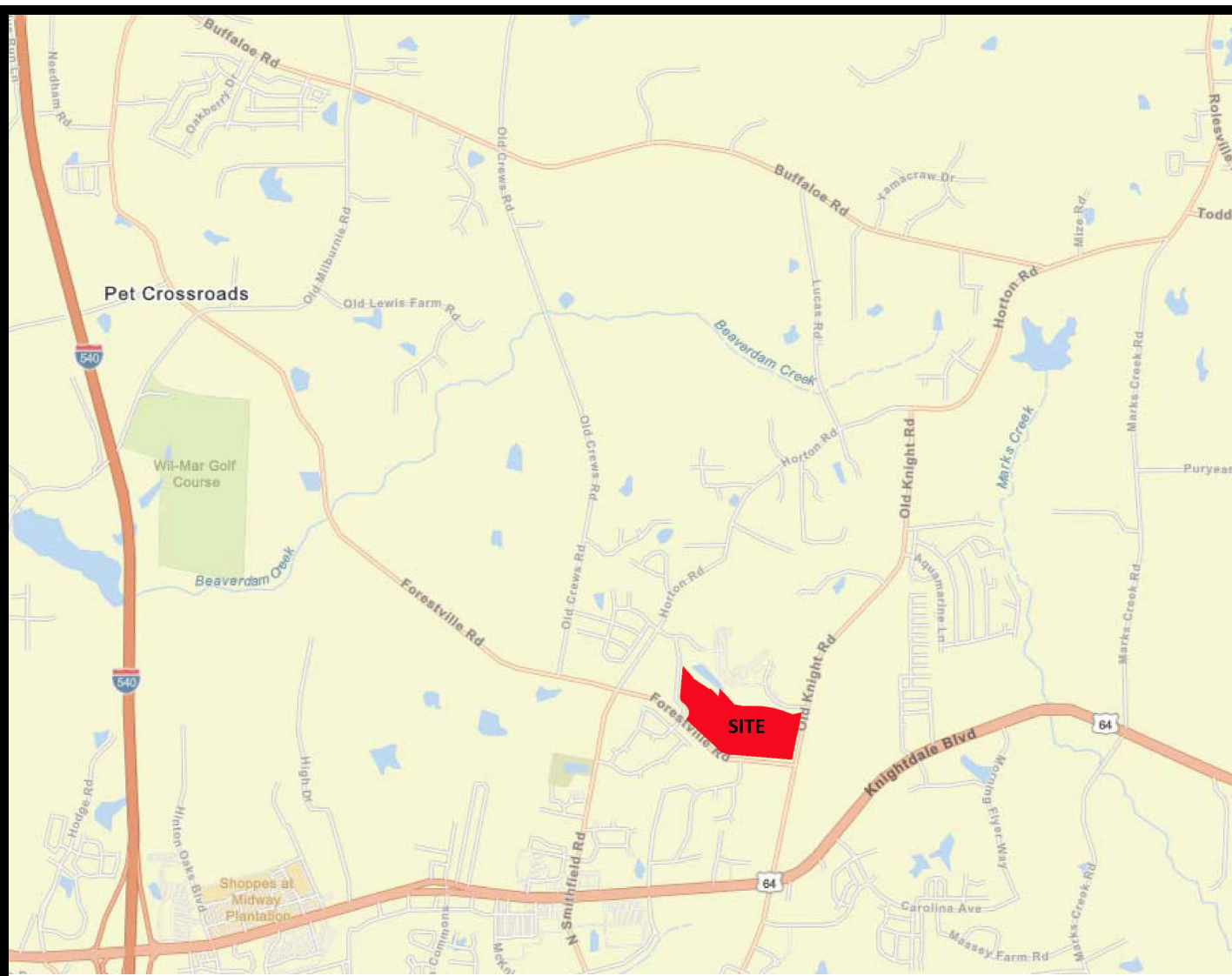


FORESTVILLE VILLAGE PUD Master Plan

CASE # ZMA-5-19

LOCATED IN
KNIGHTDALE, NORTH CAROLINA



VICINITY MAP SCALE: 1" = 1,000'

INDEX OF SHEETS

SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISION DATE
C0.0	COVER SHEET	02-10-2020	03-05-2020
C1.0	BOUNDARY SURVEY	02-10-2020	03-05-2020
C1.1	EXISTING CONDITIONS/ ENVIRONMENTAL SURVEY	02-10-2020	03-05-2020
C1.2	ADJACENT PROPERTY OWNERS	02-10-2020	03-05-2020
C2.0	ILLUSTRATIVE MASTER PLAN	02-10-2020	03-05-2020
C2.1	SITE PLAN	02-10-2020	03-05-2020
C2.2	PHASING PLAN	02-10-2020	03-05-2020
C3.0	TRANSPORTATION PLAN	02-10-2020	03-05-2020
C3.1	SIGNAGE PLAN	02-10-2020	03-05-2020
C4.0	UTILITY PLAN	02-10-2020	03-05-2020
C5.0	STORMWATER MANAGEMENT	02-10-2020	03-05-2020
C6.0	OPEN SPACE PLAN	02-10-2020	03-05-2020
L1.0	LANDSCAPE AND LIGHTING PLAN	02-10-2020	03-05-2020
L1.1	LANDSCAPE AND LIGHTING DETAILS	02-10-2020	03-05-2020
A1.0	ARCHITECTURE - SINGLE-FAMILY ELEVATIONS	02-10-2020	03-05-2020
A1.1	ARCHITECTURE - TOWNHOME ELEVATIONS	02-10-2020	03-05-2020
EX-1	FORESTVILLE VILLAGE COMMERCIAL PARCEL EXHIBITS	02-10-2020	03-05-2020
EX-2	FORESTVILLE VILLAGE ENTRY MONUMENT EXHIBITS	02-10-2020	03-05-2020
EX-3	FORESTVILLE VILLAGE OPEN SPACE EXHIBITS	02-10-2020	03-05-2020

SITE DATA FOR FORESTVILLE VILLAGE

TAX PARCEL ID:	1754585927, 1754492629	RECREATIONAL OPEN SPACE:	REQUIRED: 4.54 ACRES PROPOSED: 15.85 ACRES
LOCATION:	KNIGHTDALE, NORTH CAROLINA	TOTAL OPEN SPACE:	4.54 ACRES 15.85 ACRES
TOTAL SITE AREA:	+/- 50.64 ACRES (PER SURVEY)	ACTIVE OPEN SPACE*	2.27 ACRES 2.32 ACRES
LESS ROW DEDICATION (PROPOSED):	+/- 1.11 ACRES	PASSIVE OPEN SPACE:	2.27 ACRES 13.53 ACRES
TOTAL DEVELOPABLE PARCELS:	+/- 49.53 ACRES	* A MINIMUM OF 50% OF TOTAL REQUIRED OPEN SPACE SHALL BE ACTIVE	
PROPOSED RESIDENTIAL PARCEL:	+/- 46.30 ACRES	CALCULATIONS BASED ON RECREATION OPEN SPACE DEDICATION MATRIX (KNIGHTDALE UDO, SECTION 7.3)	
FUTURE NEIGHBORHOOD RETAIL:	+/- 3.23 ACRES	DENSITY:	270 UNITS / 46.3 AC = 5.83 DU/AC = 281 BEDROOMS
ZONING:	EXISTING: RT PROPOSED: PUD - NMX	SINGLE-FAMILY:	86 UNITS x 3.5" = 301 BEDROOMS
WATERSHED:	NEUSE RIVER BASIN	TOWNHOMES:	184 UNITS x 2.5" = 460 BEDROOMS
FLOODPLAIN:	NO FLOODPLAIN IS LOCATED ON-SITE	** (PER UDO SECTION 7.3C)	
TOTAL PROPOSED LOTS:	270 LOTS/UNITS	PROXIMITY ZONE OF 1/4 MILE (WITH DENSITY BETWEEN 2-6 DU/AC) = 260***	
TOWNHOMES:	184 UNITS	***RECREATION OPEN SPACE DEDICATION MATRIX (KNIGHTDALE UDO, SECTION 7.3)	
POTENTIAL DENSITY:	+/- 5.83 DU/AC (270 / 46.3)	NUMBER OF BEDROOMS x 260 = REQUIRED OPEN SPACE (SF)	
PARKING REQUIREMENTS:		761 BEDROOMS x 260 = 197,860 SF	
• SINGLE-FAMILY HOMES:	1 SPACE PER BEDROOM, 2 MAXIMUM 2-CAR GARAGE WITH 2 CAR DRIVEWAY	REQUIRED OPEN SPACE = 4.54 AC	
• TOWNHOMES:	1 SPACE PER BEDROOM, 2 MAXIMUM 2-CAR GARAGE WITH 2 CAR DRIVEWAY	REQUIRED ACTIVE OPEN SPACE (50% OF 4.67 AC) = 2.27 ACRES	
ON-STREET PARKING PROVIDED:		TREE SAVE:	
• INTERNAL STREETS:	74 SPACES PROVIDED	REQUIRED: 4.63 AC	
		PROVIDED: 4.63 AC MIN.	
		LINK / NODE RATIO:	17 LINKS / 11 NODES = 1.55 (SEE INSET EXHIBIT ON SHEET 2.2)
		TYPICAL LOT SETBACKS:	
		SINGLE FAMILY LOT	TOWNHOME UNIT
		FRONT: 10' MIN	10' MIN, 25' MAX
		SIDE: 7' MIN, 3.5' PER SIDE (20% OF LOT WIDTH)	12' MIN (6' PER SIDE)
		REAR: 30' (FROM CL OF ALLEY)	30'

ENGINEERING FIRM: ESP ASSOCIATES, INC.
2200 GATEWAY CENTRE BLVD, SUITE 216
MORRISVILLE, NC 27560
PHONE: (919) 678-1070
MOBILE: (919) 576-5454
CONTACT: SALMAN MOAZZAM, PE

DEVELOPER: MERITAGE HOMES OF THE CAROLINAS
3005 CARRINGTON MILL BLVD., STE. 100
MORRISVILLE, NC 27560
PHONE: (919) 410-0926
CONTACT: MARTIN FUCHS

TRAFFIC ENGINEER: RAMEY KEMP & ASSOCIATES
5808 FARRINGTON PLACE, STE. 100
RALEIGH, NC 27609
PHONE: (919) 872-5115

REVIEW AGENCY: TOWN OF KNIGHTDALE, NC
950 STEEPLE SQUARE COURT
KNIGHTDALE, NC 27545
PHONE: (919) 217-2400

PROPERTY OWNERS

PARCEL 1:
PIN: 1754492629
PARCEL SIZE: 15.473 ACRES

OWNER: KNIGHTDALE, TOWN OF
ADDRESS: 960 STEEPLE SQUARE CT.
KNIGHTDALE, NC 27545-7655
PHONE: (919) 217-2200

PARCEL 2:
PIN: 1754585927
PARCEL SIZE: 35.162 ACRES

OWNER: SUGGS, JANE P.,
BEASLEY, EVE C.
ADDRESS: 1507 TRAILWOOD DR
RALEIGH, NC 27606-3720



THIS SET IS CURRENT THROUGH SHEET DATE 03/05/2020



PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	DATE	REVISION	BY	COMMENTS
1	03/05/2020	FIRST REVIEW		COMMENTS

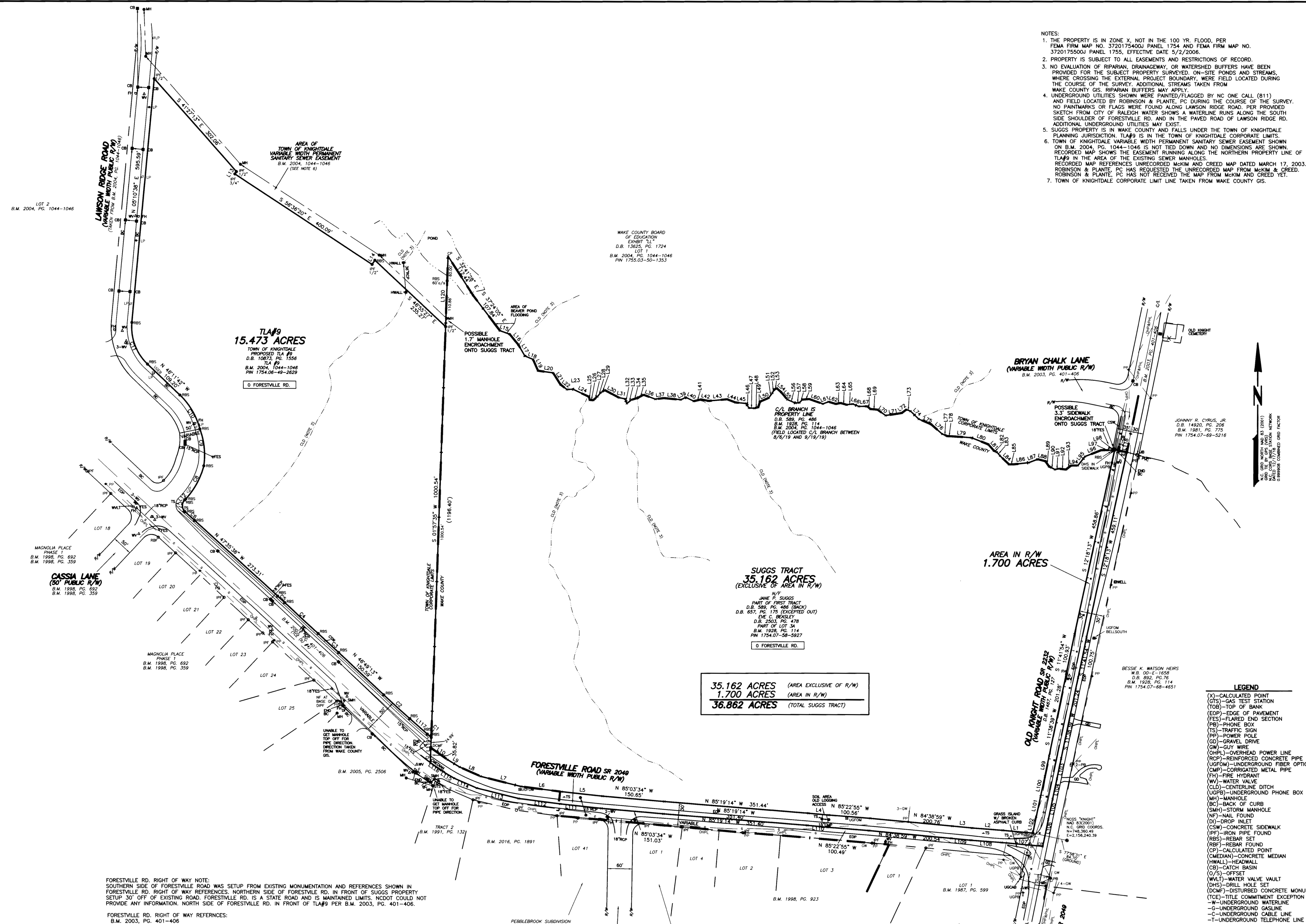
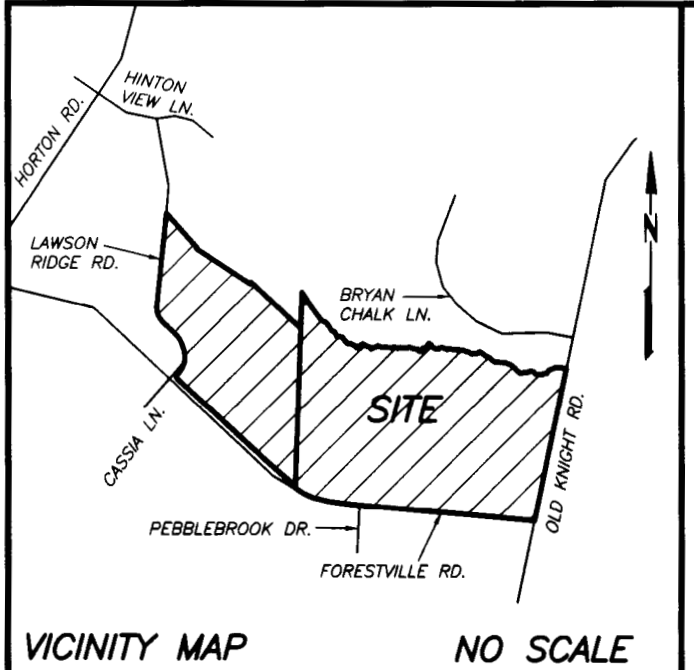
COVER SHEET
FORESTVILLE VILLAGE
MERITAGE HOME
KNIGHTDALE, NC

PROJECT INFORMATION

PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37-401
ORIGINAL DATE:	02-10-2020
SHEET:	C0.0



S:\RP1\0019 Projects\HR37-401 - Forestville Village\HR37-401_COV.dwg, COVER SHEET, rkm



- NOTES:
- THE PROPERTY IS IN ZONE X, NOT IN THE 100 YR. FLOOD, PER FEMA FIRM MAP NO. 3720175400J PANEL 1754 AND FEMA FIRM MAP NO. 3720175500J PANEL 1755, EFFECTIVE DATE 5/2/2006.
 - PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 - NO EVALUATION OF RIPARIAN, DRAINAGEWAY, OR WATERSHED BUFFERS HAVE BEEN PROVIDED FOR THE SUBJECT PROPERTY SURVEYED, ON-SITE PONDS AND STREAMS, WHERE CROSSING THE EXTERNAL PROJECT BOUNDARY, WERE FIELD LOCATED DURING THE COURSE OF THE SURVEY. ADDITIONAL STREAMS TAKEN FROM WAKE COUNTY GIS, RIPARIAN BUFFERS MAY APPLY.
 - UNDERGROUND UTILITIES SHOWN WERE PAINTED/FLAGGED BY NO ONE CALL (811) AND FIELD LOCATED BY ROBINSON & PLANTE, P.C. DURING THE COURSE OF THE SURVEY. NO PAINTMARKS OR FLAGS WERE FOUND ALONG LAWSON RIDGE ROAD. PER PROVIDED SKETCH FROM CITY OF RALEIGH WATER SHOWS A WATERLINE RUNS ALONG THE SOUTH SIDE SHOULDER OF FORESTVILLE RD. AND IN THE PAVED ROAD OF LAWSON RIDGE RD. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
 - SUGGS PROPERTY IS IN WAKE COUNTY AND FALLS UNDER THE TOWN OF KNIGHTDALE PLANNING JURISDICTION. TLA#9 IS IN THE TOWN OF KNIGHTDALE CORPORATE LIMITS.
 - TOWN OF KNIGHTDALE VARIABLE WIDTH PERMANENT SANITARY SEWER EASEMENT SHOWN ON B.M. 2004, P.C. 1044-1046 IS NOT TIED DOWN AND NO DIMENSIONS ARE SHOWN. RECORDED MAP SHOWS THE EASEMENT RUNNING ALONG THE NORTHERN PROPERTY LINE OF TLA#9 IN THE AREA OF THE EXISTING SEWER MANHOLES. RECORDED MAP REFERENCES UNRECORDED MCKIM AND CREED MAP DATED MARCH 17, 2003. ROBINSON & PLANTE, P.C. HAS REQUESTED THE UNRECORDED MAP FROM MCKIM & CREED. ROBINSON & PLANTE, P.C. HAS NOT RECEIVED THE MAP FROM MCKIM AND CREED YET.
 - TOWN OF KNIGHTDALE CORPORATE LIMIT LINE TAKEN FROM WAKE COUNTY GIS.

LINE	BEARING	DISTANCE
L1	N 84°45'40" W	73.40'
L2	N 85°39'18" W	75.03'
L3	N 84°32'44" W	48.29'
L4	N 84°54'47" W	50.27'
L5	N 83°53'07" W	100.23'
L6	N 82°44'28" W	59.46'
L7	N 76°07'56" W	100.86'
L8	N 66°39'01" W	55.83'
L9	N 59°26'47" W	34.06'
L10	N 54°55'23" W	49.92'
L11	N 01°57'35" E	60.74'
L12	N 42°51'33" E	4.14'
L13	S 33°33'50" W	6.81'
L14	N 33°23'56" E	12.28'
L15	S 70°25'25" E	25.42'
L16	S 38°58'06" E	33.44'
L17	S 30°04'05" E	31.36'
L18	S 67°33'35" E	21.48'
L19	S 23°30'57" E	30.28'
L20	S 82°06'48" E	37.03'
L21	S 32°15'29" E	33.52'
L22	S 52°31'43" E	19.82'
L23	N 87°09'33" E	14.98'
L24	S 64°23'05" E	42.89'
L25	S 12°14'52" E	7.87'
L26	S 85°08'23" E	8.31'
L27	N 50°25'52" E	13.72'
L28	N 37°44'56" E	12.13'
L29	N 58°20'27" E	12.27'
L30	S 61°53'46" E	39.25'
L31	S 78°42'41" E	15.12'
L32	S 19°30'48" E	12.07'
L33	N 52°14'17" E	15.42'
L34	N 74°02'38" E	14.77'
L35	N 61°18'27" E	16.40'
L36	S 69°31'02" E	30.61'
L37	N 82°41'42" E	20.89'
L38	S 84°29'02" E	41.56'
L39	N 65°18'56" E	13.48'
L40	S 64°31'56" E	21.14'
L41	N 77°22'35" E	18.70'
L42	S 78°41'27" E	18.30'
L43	N 85°01'50" E	44.92'
L44	S 89°28'01" E	21.95'
L45	S 84°27'42" E	26.16'
L46	S 30°25'49" E	12.84'
L47	S 87°20'37" E	12.74'
L48	N 76°27'50" E	10.52'
L49	N 16°44'27" E	14.22'
L50	N 66°57'48" E	23.11'
L51	N 36°03'28" E	15.36'
L52	N 25°51'39" E	8.97'
L53	N 66°11'14" E	7.74'
L54	S 49°04'00" E	14.21'
L55	S 39°16'01" E	23.42'
L56	S 66°19'06" E	21.56'
L57	N 83°39'29" E	9.95'
L58	N 43°54'54" E	10.43'
L59	N 85°58'50" E	16.56'
L60	S 70°55'03" E	35.31'
L61	N 69°54'10" E	14.68'
L62	S 73°42'31" E	18.65'
L63	N 78°33'14" E	11.55'
L64	S 73°43'32" E	15.17'
L65	N 83°19'38" E	15.26'
L66	S 68°27'55" E	15.83'
L67	N 89°30'23" E	20.22'
L68	S 50°32'55" E	10.48'
L69	S 85°35'08" E	16.58'
L70	S 54°56'31" E	24.81'
L71	N 81°08'54" E	39.49'
L72	N 53°19'08" E	13.72'
L73	S 70°26'06" E	11.02'
L74	S 46°02'19" E	27.77'
L75	S 65°50'55" E	32.52'
L76	S 48°45'22" E	36.14'
L77	S 68°17'05" E	13.69'
L78	S 88°29'53" E	8.30'
L79	S 85°52'51" E	50.20'
L80	S 58°43'38" E	43.92'
L81	S 41°33'47" E	21.02'
L82	S 65°00'47" E	7.78'
L83	S 40°27'30" E	11.52'
L84	S 46°30'41" E	30.33'
L85	N 89°41'53" E	10.80'
L86	N 83°35'06" E	37.59'
L87	N 69°20'59" E	23.02'
L88	S 76°24'10" E	19.12'
L89	S 34°58'31" E	15.70'
L90	S 63°22'49" E	16.14'
L91	N 79°00'59" E	9.27'
L92	S 84°04'46" E	17.40'
L93	N 53°18'58" E	15.94'
L94	N 89°55'41" E	16.21'
L95	N 38°15'27" E	27.79'
L96	N 68°45'38" E	42.76'
L97	S 89°41'32" E	26.98'
L98	N 77°18'38" E	5.52'
L99	S 11°31'40" W	50.06'
L100	S 11°56'53" W	50.04'
L101	S 12°08'03" W	50.47'
L102	S 11°36'43" W	40.34'
L103	S 11°31'40" W	50.14'
L104	S 11°56'53" W	50.19'
L105	S 12°08'03" W	50.38'
L106	S 11°36'43" W	67.05'
L107	N 84°45'40" W	100.00'
L108	N 85°39'18" W	75.08'
L109	N 84°32'44" W	48.55'
L110	N 84°54'47" W	50.28'
L111	N 83°53'07" W	100.83'
L112	N 82°44'28" W	101.49'
L113	N 76°07'56" W	105.08'
L114	N 66°39'01" W	60.21'
L115	N 59°26'47" W	37.14'
L116	N 54°55'23" W	31.83'
L117	N 42°51'33" W	57.25'
L118	S 78°28'29" E	30.00'
L119	N 01°57'35" E	60.81'
L120	N 01°57'35" E	170.86'

LEGEND

- (X)-CALCULATED POINT
- (GTS)-GAS TEST STATION
- (PB)-PHONE BOX
- (EOP)-EDGE OF PAVEMENT
- (FES)-FLARED END SECTION
- (TS)-TRAFFIC SIGN
- (PP)-POWER POLE
- (GD)-GRAVEL DRIVE
- (GW)-GUY WIRE
- (OHP)-OVERHEAD POWER LINE
- (RCP)-REINFORCED CONCRETE PIPE
- (UGFM)-UNDERGROUND FIBER OPTIC MARKER
- (CMP)-CORRUGATED METAL PIPE
- (FH)-FIRE HYDRANT
- (DI)-DROP INLET
- (WV)-WATER VALVE
- (CLD)-CENTERLINE DITCH
- (UGPB)-UNDERGROUND PHONE BOX
- (MH)-MANHOLE
- (BC)-BACK OF CURB
- (SMH)-STORM MANHOLE
- (NF)-NAIL FOUND
- (D)-DROP INLET
- (CW)-CONCRETE SIDEWALK
- (IFP)-IRON PIPE FOUND
- (RBS)-REBAR SET
- (RFB)-REBAR FOUND
- (CP)-CALCULATED POINT
- (MEDIAN)-CONCRETE MEDIAN
- (HW)-HEADWALL
- (CB)-CATCH BASIN
- (OS)-OFFSET
- (WLV)-WATER VALVE VAULT
- (DHS)-DRILL HOLE SET
- (DMS)-DISTURBED CONCRETE MONUMENT
- (TCE)-TITLE COMMITMENT EXCEPTION
- (UW)-UNDERGROUND WATERLINE
- U-UNDERGROUND GASLINE
- C-UNDERGROUND CABLE LINE
- T-UNDERGROUND TELEPHONE LINE

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	1°38'35"	435.57'	12.49'	6.25'	N 49°18'12" W	
C2	1°39'45"	2950.00'	85.60'	85.60'	N 47°39'05" W	
C3	0°38'29"	6050.00'	67.74'	67.74'	N 47°08'27" W	
C4	0°37'53"	10050.00'	110.75'	110.75'	N 47°27'42" W	
C5	0°07'56"	10050.00'	23.21'	23.21'	N 47°27'40" W	
C6	0°14'31"	7450.00'	31.42'	31.42'	N 47°28'22" W	
C7	90°13'34"	20.00'	31.50'	28.34'	N 02°14'59" W	
C8	28°35'03"	185.00'	92.29'	91.34'	N 28°34'24" E	
C9	28°59'41"	179.04'	90.60'	89.84'	N 06°15'19" W	
C10	31°48'45"	175.00'	97.17'	95.92'	N 30°17'19" W	
C11	51°22'20"	125.00'	112.08'	108.36'	N 20°30'32" W	

FORESTVILLE RD. RIGHT OF WAY NOTE:
SOUTHERN SIDE OF FORESTVILLE ROAD WAS SETUP FROM EXISTING MONUMENTATION AND REFERENCES SHOWN IN FORESTVILLE RD. RIGHT OF WAY REFERENCES. NORTHERN SIDE OF FORESTVILLE RD. IN FRONT OF SUGGS PROPERTY SETUP 30' OFF OF EXISTING ROAD. FORESTVILLE RD. IS A STATE ROAD AND IS MAINTAINED LIMITS. NCDOT COULD NOT PROVIDE ANY INFORMATION. NORTH SIDE OF FORESTVILLE RD. IN FRONT OF TLA#9 PER B.M. 2003, PG. 401-406.

FORESTVILLE RD. RIGHT OF WAY REFERENCES:
B.M. 2003, PG. 401-406
B.M. 1987, PG. 599
B.M. 1977, PG. 826
B.M. 2016, PG. 1861
B.M. 1991, PG. 132
B.M. 2005, PG. 2506
B.M. 1998, PG. 692
B.M. 1998, PG. 359
B.M. 1998, PG. 923

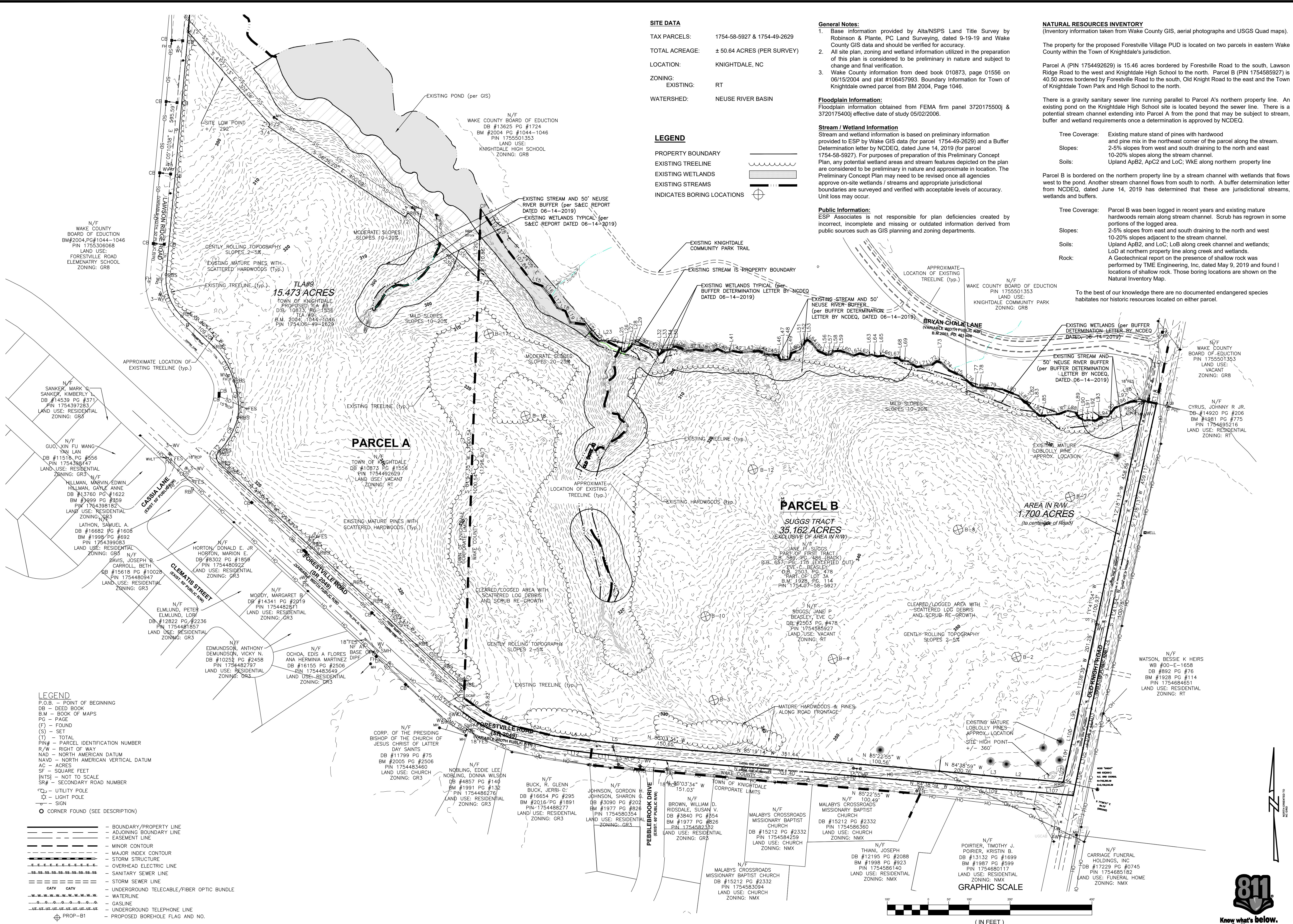
- REFERENCES:
- JOINT USE AGREEMENT FOR FORESTVILLE RD. ELEMENTARY SCHOOL AND KNIGHTDALE HIGH SCHOOL
D.B. 10895, PG. 339
 - 30' WAKE ELECTRIC MEMBERSHIP CORPORATION EASEMENT
D.B. 2312, PG. 83
 - 30' WAKE ELECTRIC MEMBERSHIP CORPORATION EASEMENT
D.B. 8089, PG. 2126
D.B. 9752, PG. 1656
D.B. 9672, PG. 1913
 - SPECIAL USE PERMIT-THE TOWN OF KNIGHTDALE
D.B. 9445, PG. 1831

NOTE:
ENCLOSURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED. ALL AREA CALCULATED BY COORDINATE COMPUTATION.

0 120 240 360
SCALE IN FEET

REVISIONS		BOUNDARY SURVEY	
		SUGGS TRACT AND TOWN OF KNIGHTDALE TLA#9 TRACT	
TOWNSHIP: ST. MATTHEWS	COUNTY: WAKE	ROBINSON & PLANTE, P.C. LAND SURVEYING 970 TRINITY ROAD RALEIGH, NC 27607 PHONE: (919) 859-6030 FAX: (919) 859-6032	
STATE: NORTH CAROLINA		SURVEY DATE: 9-19-19	SURVEYED BY: KS
ZONING: RT		SCALE: 1"=120'	DRAWN BY: HS/SEP
		CHECKED & CLOSURE BY: SEP	FILE: OKREC
		PIN: SEE ABOVE	

STUART E. PLANTE III
PROFESSIONAL LAND SURVEYOR
LICENSE NO. L-4432



LEGEND

P.O.B. - POINT OF BEGINNING
 DB - DEED BOOK
 B.M. - BOOK OF MAPS
 PG - PAGE
 (F) - FOUND
 (S) - SET
 (T) - TOTAL
 PIN# - PARCEL IDENTIFICATION NUMBER
 R/W - RIGHT OF WAY
 NAD - NORTH AMERICAN DATUM
 NAVD - NORTH AMERICAN VERTICAL DATUM
 AC - ACRES
 SF - SQUARE FEET
 [NTS] - NOT TO SCALE
 SR# - SECONDARY ROAD NUMBER
 □ - UTILITY POLE
 ○ - LIGHT POLE
 ○ - CORNER FOUND (SEE DESCRIPTION)

--- BOUNDARY/PROPERTY LINE
 --- ADJOINING BOUNDARY LINE
 --- EASEMENT LINE
 --- MINOR CONTOUR
 --- MAJOR INDEX CONTOUR
 --- STORM STRUCTURE
 --- OVERHEAD ELECTRIC LINE
 --- SANITARY SEWER LINE
 --- STORM SEWER LINE
 --- UNDERGROUND TELEPHONE/FIBER OPTIC BUNDLE
 --- WATERLINE
 --- GASLINE
 --- UNDERGROUND TELEPHONE LINE
 --- PROPOSED BOREHOLE FLAG AND NO.

GENERAL NOTES:

TAX PARCELS: 1754-58-5927 & 1754-49-2629
 TOTAL ACREAGE: ± 50.64 ACRES (PER SURVEY)
 LOCATION: KNIGHTDALE, NC
 ZONING: EXISTING: RT
 WATERSHED: NEUSE RIVER BASIN

LEGEND

PROPERTY BOUNDARY
 EXISTING TREELINE
 EXISTING WETLANDS
 EXISTING STREAMS
 INDICATES BORING LOCATIONS

General Notes:

1. Base information provided by Alta/NSPS Land Title Survey by Robinson & Plante, PC Land Surveying, dated 9-19-19 and Wake County GIS data and should be verified for accuracy.
 2. All site plan, zoning and wetland information utilized in the preparation of this plan is considered to be preliminary in nature and subject to change and final verification.
 3. Wake County information from deed book 010873, page 01556 on 06/15/2004 and plat #106457993. Boundary Information for Town of Knightdale owned parcel from BM 2004, Page 1046.

Floodplain Information:

Floodplain information obtained from FEMA firm panel 3720175500J & 3720175400J effective date of study 05/02/2006.

Stream / Wetland Information

Stream and wetland information is based on preliminary information provided to ESP by Wake GIS data (for parcel 1754-49-2629) and a Buffer Determination letter by NCDEQ, dated June 14, 2019 (for parcel 1754-58-5927). For purposes of preparation of this Preliminary Concept Plan, any potential wetland areas and stream features depicted on the plan are considered to be preliminary in nature and approximate in location. The Preliminary Concept Plan may need to be revised once all agencies approve on-site wetlands / streams and appropriate jurisdictional boundaries are surveyed and verified with acceptable levels of accuracy. Unit loss may occur.

Public Information:

ESP Associates is not responsible for plan deficiencies created by incorrect, incomplete and missing or outdated information derived from public sources such as GIS planning and zoning departments.

NATURAL RESOURCES INVENTORY

(Inventory information taken from Wake County GIS, aerial photographs and USGS Quad maps.)
 The property for the proposed Forestville Village PUD is located on two parcels in eastern Wake County within the Town of Knightdale's jurisdiction.
 Parcel A (PIN 1754492629) is 15.46 acres bordered by Forestville Road to the south, Lawson Ridge Road to the west and Knightdale High School to the north. Parcel B (PIN 1754585927) is 40.50 acres bordered by Forestville Road to the south, Old Knight Road to the east and the Town of Knightdale Town Park and High School to the north.
 There is a gravity sanitary sewer line running parallel to Parcel A's northern property line. An existing pond on the Knightdale High School site is located beyond the sewer line. There is a potential stream channel extending into Parcel A from the pond that may be subject to stream, buffer and wetland requirements once a determination is approved by NCDEQ.
 Tree Coverage: Existing mature stand of pines with hardwood and pine mix in the northeast corner of the parcel along the stream.
 Slopes: 2-5% slopes from west and south draining to the north and east 10-20% slopes along the stream channel.
 Soils: Upland ApB2, ApC2 and LoC; WKE along northern property line

Parcel B is bordered on the northern property line by a stream channel with wetlands that flows west to the pond. Another stream channel flows from south to north. A buffer determination letter from NCDEQ, dated June 14, 2019 has determined that these are jurisdictional streams, wetlands and buffers.
 Tree Coverage: Parcel B was logged in recent years and existing mature hardwoods remain along stream channel. Scrub has regrown in some portions of the logged area.
 Slopes: 2-5% slopes from east and south draining to the north and west 10-20% slopes adjacent to the stream channel.
 Soils: Upland ApB2, and LoC; LoB along creek channel and wetlands; LoD at northern property line along creek and wetlands.
 Rock: A Geotechnical report on the presence of shallow rock was performed by TME Engineering, Inc, dated May 9, 2019 and found 1 locations of shallow rock. Those boring locations are shown on the Natural Inventory Map.
 To the best of our knowledge there are no documented endangered species habitats nor historic resources located on either parcel.

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 Suite 202
 Raleigh, NC 27601
 919-478-1070
 www.espsurvey.com
 NC LICENSE #F-1407

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 CONSTRUCTION

NO.	DATE	REVISION	FIRST REVIEW COMMENTS
1	08/29/2020		

BY: _____

EXST COND - ENV. SURVEY

FORESTVILLE VILLAGE

KNIGHTDALE, NC

PROJECT INFORMATION

PROJECT MANAGER: AA
 DESIGNED BY: KM
 DRAWN BY: SM
 PROJECT NUMBER: HR37-401
 ORIGINAL DATE: 02-10-2020
 SHEET: C1.1

811
 Know what's below.
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THE VILLAGE AT BEAVER DAM SUBDIVISION

MAGNOLIA PLACE SUBDIVISION

EDENBURGH'S KEEP SUBDIVISION

MAPLEWOOD SUBDIVISION

PEBBLEBROOK SUBDIVISION

ZONING CODE

- GR8
General Residential
- OSP
Open Space Preserve
- GR3
General Residential
- RT
Rural Transition
- NMX
Neighborhood Mixed Use

OLD KNIGHT ROAD SITE

#	PIN	Owner	Deed Acres	#	PIN	Owner	Deed Acres
1	1755304866	DAVIS, KEYIJAH	0.2	62	1754482630	WILKES, TIMOTHY D WILKES, VANESA R	0.28
2	1755304830	EATON, CHAUNCEY X	0.18	63	1754481524	VINCENT, ANTHONY G NGUYEN, NIEN THI	0.4
3	1755303795	HINTON, DAVID JR	0.18	64	1754480644	HOUSTON, ANGELA	0.51
4	1755303760	BRANSOME, ALTONIA BRANSOME, JEVAR	0.18	65	1754480500	CRIDER, NELSON E CRIDER, JOYCE T	0.49
5	1755303635	ARAJ, CHRISTOPHER W	0.18	66	1754388475	INTEMAN, CHRISTIAN SCOTT IN-TEMANN, SUE GARRETT	0.51
6	1755302690	JEFFERS, LETITIA	0.18	67	1754389332	KALAS PROPERTIES LLC	0.76
7	1755302565	DELPH, TIMOTHY JAMES DELPH, ELYSE NICOLE	0.18	68	1754388236	COCHRAN, JOHN GREGORY	0.56
8	1755302530	HP NORTH CAROLINA I LLC	0.18	69	1754386392	MEDLIN, KENNY R MEDLIN, DALE G	0.68
9	1755302405	WALDON, SHARONDA	0.18	70	1754480029	HOWLETT, SUSAN J	0.87
10	1755301460	BAKER, TOMIKA	0.18	71	1754482019	SCHAEFER, KIMBERLY HOMES, ERASMUS DANIEL	0.94
11	1755501353	WAKE CNTY BOARD OF EDUCATION	83.23	72	1754483052	SEIBEL, JAMES E SEIBEL, KIMBERLY H	0.87
12	1755306068	WAKE COUNTY BOARD OF EDUCATION	16.92	73	1754484094	HARWARD, STANLEY HARWARD, MARJORIE	0.78
13	1754391846	KNIGHTDALE TOWN OF	3.02	74	1754486001	MCLELLAN, ANTHONY H MCLELLAN, AGNES J	0.27
14	1754390541	WOODRUFF, ELIZABETH DARE WOODRUFF, MICHAEL C	1.17	75	1754486093	SULLIVAN, DAVID SULLIVAN, REBEKAH G	0.28
15	1754391186	MCCALL, RICHARD J MCCALL, AMY J	0.35	76	1754487074	PARKER, FRANKLIN JR PARKER, SUZANNE G	0.28
16	1754392204	CELIS, CARLOS	0.36	77	1754488056	WEEKS, ISRAEL M WEEKS, SONIA	0.28
17	1754392313	DIXON, ARVIN G DIXON, GWENDOLYN C	0.44	78	1754489047	DAVISON, ANTHONY THOMAS DAVISON, KATHRYN K	0.28
18	1754392403	COX, NELLIE C	0.29	79	1754580039	ORSETT, PAUL ORSETT, WANDA	0.28
19	1754392552	IH3 PROPERTY NORTH CAROLINA LP	0.45	80	1754580261	LITTLE, DARLENE M	0.29
20	1754393550	NARRON, RICHY H NARRON, RENA C	0.31	81	1754580354	JOHNSON, GORDON JOHNSON, SHARON	0.39
21	1754394448	MCCOY, IRVING MCCOY, JOVANNA M	0.32	82	1754488277	BUCK, R GLENN BUCK, JERRI C	1.75
22	1754395424	LAWRENCE, KAREN B	0.32	83	1754486276	NOBLING, EDDIE LEE NOBLING, DONNA WILSON	1.24
23	1754395399	DAVIS, MATTHEW GLEN	0.28	84	1754483460	CORP OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS	5.23
24	1754396364	MURCHISON, SIBYL	0.28	85	1754582332	BROWN, WILLIAM D RIDSDALE, SUSAN V	0.35
25	1754397218	KENNEDY, CHRISTOPHER KENNEDY, EMMA	0.28	86	1754582129	MOTLEY, CHARLES W III	0.29
26	1754397283	SANKER, MARK G SANKER, KIMBERLY L	0.28	87	1754582018	HARDEE, JERRY JAMES JR HARDEE, MEGAN MAUREEN	0.31
27	1754398147	GUO, XIN FU WANG, YAN LAN	0.28	88	1754571958	MCCONNELL, CHARLES J MCCONNELL, MARCIA L	0.39
28	1754398182	HILLMAN, MARVIN HILLMAN, GAYLE ANNE	0.28	89	1754571838	PILARCZYK, JUSTIN PAGE WILLARD, SHELBY	0.39
29	1754394226	WHITLEY, MARVIN WHITLEY, LINDA M	0.42	90	1754571749	ORSETT, PAUL	0.36
30	1754395201	NGUYEN, HUNG THANH NGO, TUYET HUE	0.28	91	1754571730	WATSON, CHRISTOPHER D	0.35
31	1754395165	MURPHREY, WENDY K MURPHREY, BRITTE	0.28	92	1754479635	DAVIS, KATELYN NICOLE DANIEL, APRIL DAWN	0.34
32	1754396120	BYRD, BEN R BYRD, ANGELA B	0.28	93	1754479734	ANDREWS, KEN WAYNE ANDREWS, DEBORAH C	0.33
33	1754396095	FOX, GEORGE FOX, ANITA	0.28	94	1754479857	WILLOUGHBY, ELIZABETH M TRUSTEE & CELLINI, PATRICIA A TRUSTEE	0.37
34	1754387969	MYERS, HEIDI	0.28	95	1754478856	MORTON, THURLA N WATKINS	0.29
35	1754386964	GALLO, CASEY GALLO, KATHY	0.28	96	1754477864	SHERMER, TIMOTHY SHERMER, JENNIFER	0.31
36	1754385966	ROZIER, JOANN STAHL ROZIER, MICAH MAURICE	0.28	97	1754477793	LOWDERMILK, HOYLE L JR	0.29
37	1754394082	DAVIS, SCARLETTE	0.3	98	1754476802	SANFORD, TRICIA C	0.33
38	1754393075	BROWN, LYNN STEVEN BROWN, MARY CATHERINE	0.3	99	1754475771	BROWN, TIFANI S	0.28
39	1754394113	SEELER, WILLIAM A SEELER, ERIKA R	0.33	100	1754474724	WALL, OLLIE LOUIS JR WALL, ANNE J	0.91
40	1754382971	SOONTIENS, BRIAN JOHN SEVERO, ELIANE	0.28	101	1754583094	MALABYS CROSSROADS MISSIONARY BAPTIST CHURCH	3.04
41	1754383895	SAMPLE, ROGER G SAMPLE, GOLDIE B	0.61	102	1754584259	MALABYS CROSSROADS MISSIONARY BAPTIST CHURCH	0.69
42	1754383678	GAYLE, CAMERON DAVID SNIPES, KATHERINE ALEXANDER	0.44	103	1754586360	MALABYS CROSSROADS MISSIONARY BAPTIST CHURCH	0.71
43	1754384684	ROUSE, PAMELA	0.38	104	1754586140	THIANI, JOSEPH	2.24
44	1754385790	EBRON, MAHTSENTE WOKU EBON, ANTHONY Q	0.28	105	1754680117	POIRIER, TIMOTHY J POIRIER, KRISTIN B	1.66
45	1754386727	CONTRERAS, SANORO CONTRERAS, MARIA	0.35	106	1754589040	MINIK LLC	0.83
46	1754387756	CANNON, THOMASINE L	0.28	107	1754579836	MYBEC3 3 LLC	0.76
47	1754388821	STEPHENS, TYRON L STEPHENS, YOSARAH I	0.28	108	1754576790	MALABYS CROSSROADS MISSIONARY BAPTIST CHURCH	4.97
48	1754388889	IRGENS, JAMES C IRGENS, DEBORAH L	0.28	109	1754673325	WATSON, BESSIE K HEIRS	5.47
49	1754389871	NAKHLE, ZIAD M	0.28	110	1754672567	CARRIAGE FUNERAL HOLDINGS INC	1.47
50	1754389713	ELLIS, GREGORY L TRUSTEE ELLIS RESIDENCE TRUST	0.28	111	1754673866	CARRIAGE FUNERAL HOLDINGS INC	4.26
51	1754388645	REISS, KEITH JACKSON	0.29	112	1754685182	CARRIAGE FUNERAL HOLDINGS INC	3.4
52	1754387641	WARD, JESSE B WARD, BRIDGETT G	0.43	113	1754688714	WATSON, BESSIE K HEIRS	27.82
53	1754386548	CAMERON, ROBERT	0.48	114	1754684651	WATSON, BESSIE K HEIRS	11.31
54	1754385563	BURT, JENNIFER G BURT, EDWARD W	0.46	115	1754695216	CYRUS, JOHNNY R JR	1
55	1754399083	LATHON, SAMUEL A	0.28	116	1754793045	PAIR, PERCY V JR	29.45
56	1754480947	DAVIS, JOSEPH B CARROLL, BETH HORTON, DONALD E JR HORTON, MARION	0.28				
58	1754481857	ELMLUND, PETER ELMLUND, LORI	0.28				
59	1754482811	MOODY, MARGARET B	0.28				
60	1754482797	EDMUNDSON, ANTHONY EDMUNDSON, VICKI N	0.32				
61	1754483649	OCHOA, EDIS A FLORES, ANA HERMINIA MARTINEZ	0.39				

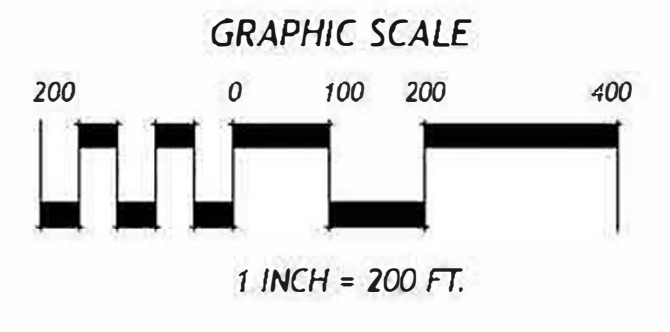
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Forestville Village
Adjacent Property Owners
EXHIBIT FOR NOTIFICATION & NEIGHBORHOOD MEETING
ESP Job #HR37 FEBRUARY 10, 2020



C1.2

Site Data

Single Family Lots: 86 Lots
 Townhomes: 184 Units
 Total: 270 Units

Density: 5.85 DU/AC

Parking:
 Required: 92 Spaces
 (0.5 Space/TH Unit)

Proposed:
 Internal Streets: 74 Spaces
 + Driveways (2 cars per unit): 368 Spaces = 442 Spaces
 + Amenity Site: 30 Spaces

Townhomes: 2 Required Spaces (garage)
 + 2 Driveway Spaces each.

LEGEND

- RESIDENTIAL
- 35' x 110' SINGLE FAMILY LOT
- TOWNHOMES
- OPEN SPACE
- ACTIVE
- PASSIVE
- PROPOSED STREETS
- PROPOSED SIDEWALKS
- EXISTING POND
- EXISTING TREES
- STORMWATER CONTROL MEASURES

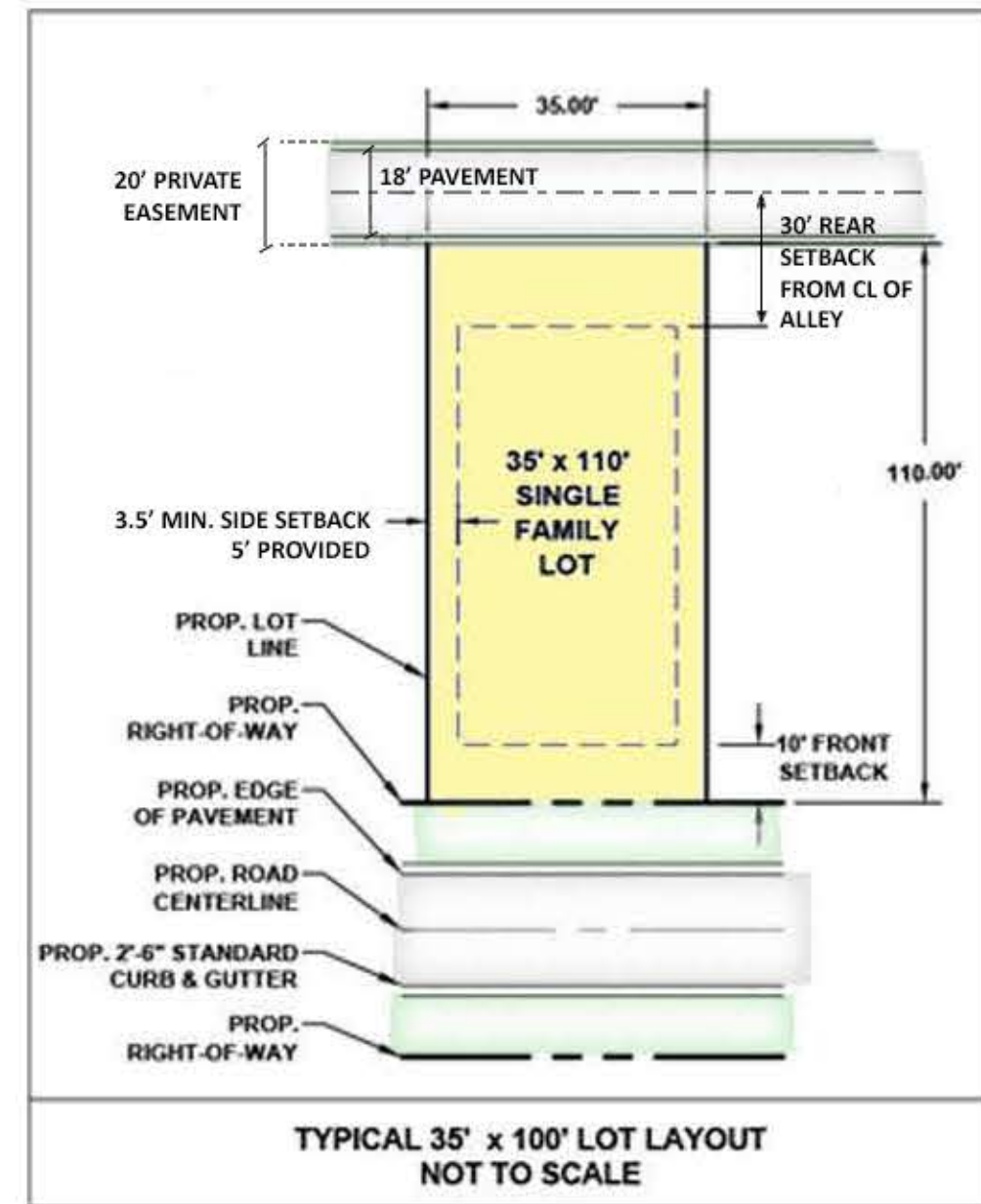
NOTES:

- HOA SHALL MAINTAIN ALL AREAS OF COMMON OPEN SPACE INCLUDING LANDSCAPE MEDIANS AT ENTRANCES.
- * ALL SQUARE FOOTAGES AND ACREAGE SHOWN ARE APPROXIMATE. ACTUAL NUMBERS TO BE DETERMINED DURING FINAL PLAT REVIEW AND APPROVAL.
- **ACTIVE RECREATION USES MAY INCLUDE BUT NOT LIMITED TO: POOL AND CLUBHOUSE, PLAY AREAS, GATHERING SPACES, MULTI-USE TRAILS AND TRAIL CONNECTIONS TO COMMUNITY PARK.

ILLUSTRATIVE MASTER PLAN, LOT EXAMPLES AND CONCEPTUAL ELEVATIONS ARE PRELIMINARY. ACTUAL DESIGN SUBJECT TO CHANGE DURING THE REVIEW PROCESS.

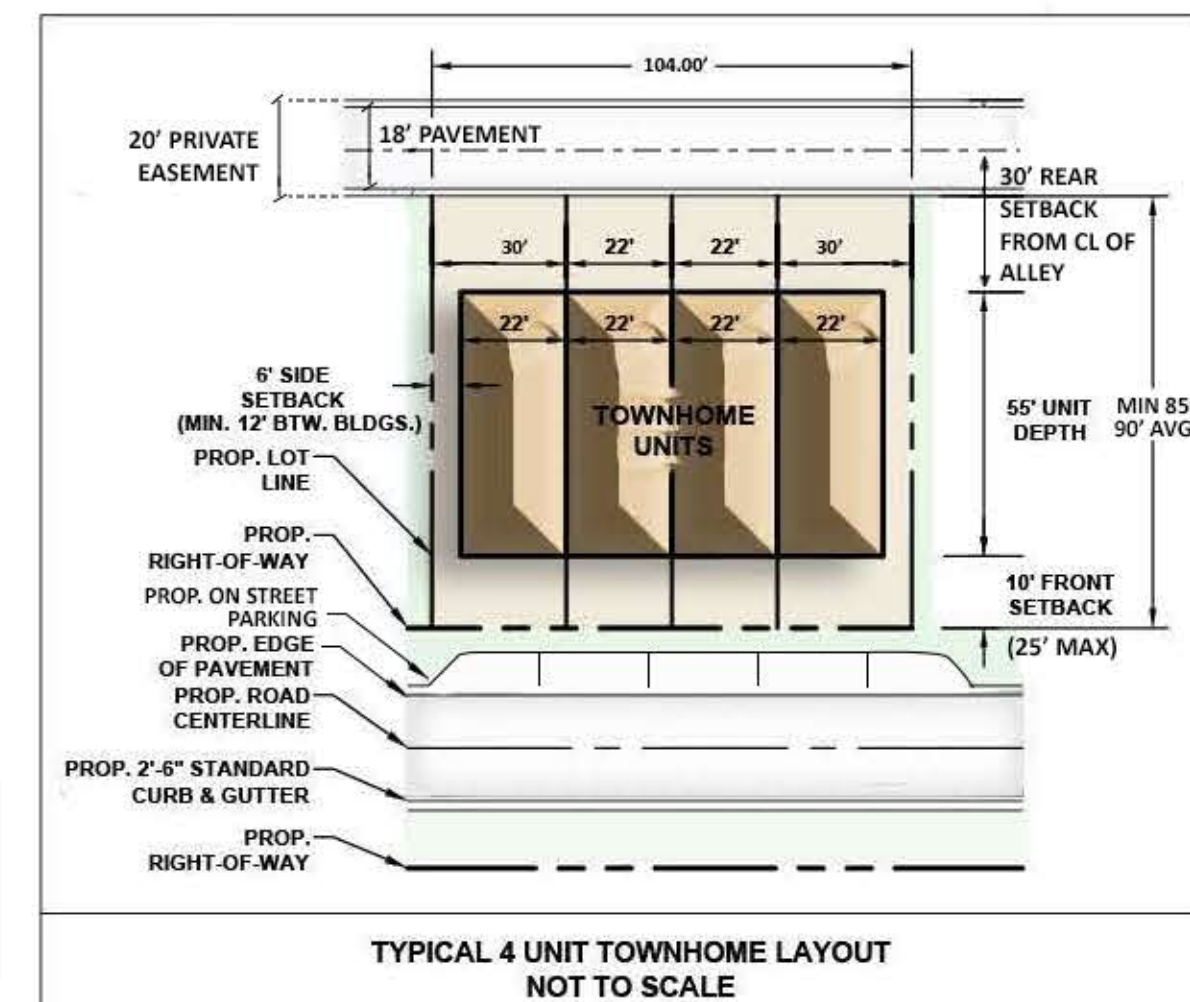


TYPICAL LOT LAYOUT - SINGLE-FAMILY

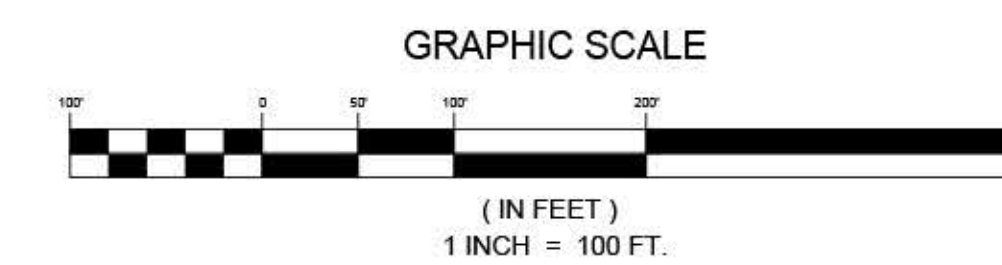


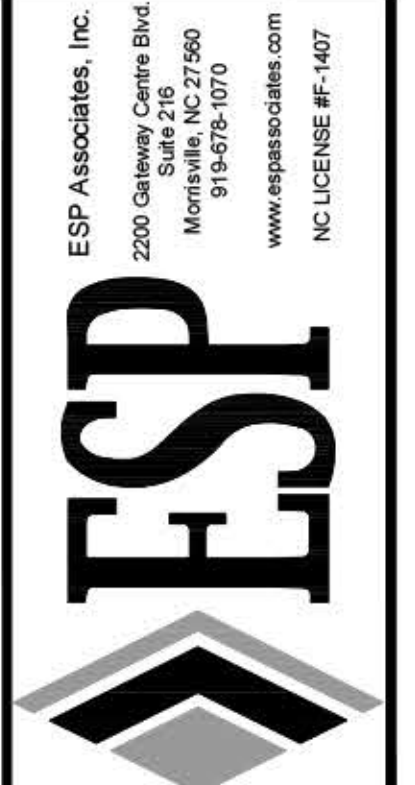
SETBACKS:
 FRONT: 10' MIN
 SIDE: 7' MIN (3.5' PER SIDE)
 20% OF LOT WIDTH
 REAR: 30' FROM CENTERLINE OF ALLEY

TYPICAL LOT LAYOUT - TOWNHOMES



SETBACKS:
 FRONT: 10' MIN, 25' MAX
 SIDE: 12' MIN (6' PER SIDE)
 REAR: 30' FROM CENTERLINE OF ALLEY





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 919-778-1070
 www.espsites.com
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CONSTRUCTION

NO.	DATE	REVISION	BY
1	03/05/2020	FIRST REVIEW COMMENTS	

MASTER PLAN

FORESTVILLE VILLAGE

MERITAGE HOME

KNIGHTDALE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37.401
ORIGINAL DATE:	02-10-2020
SHEET:	C2.0

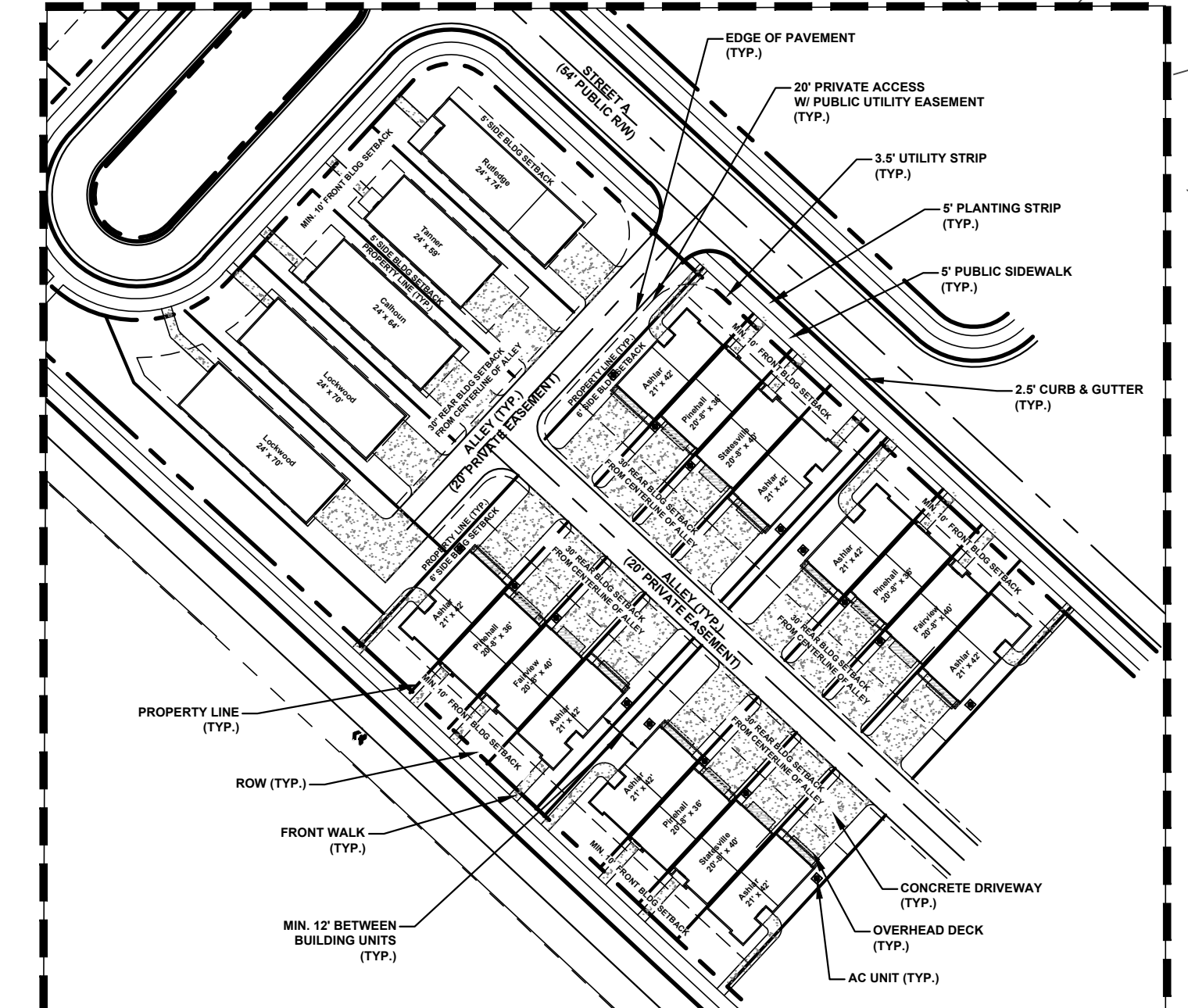
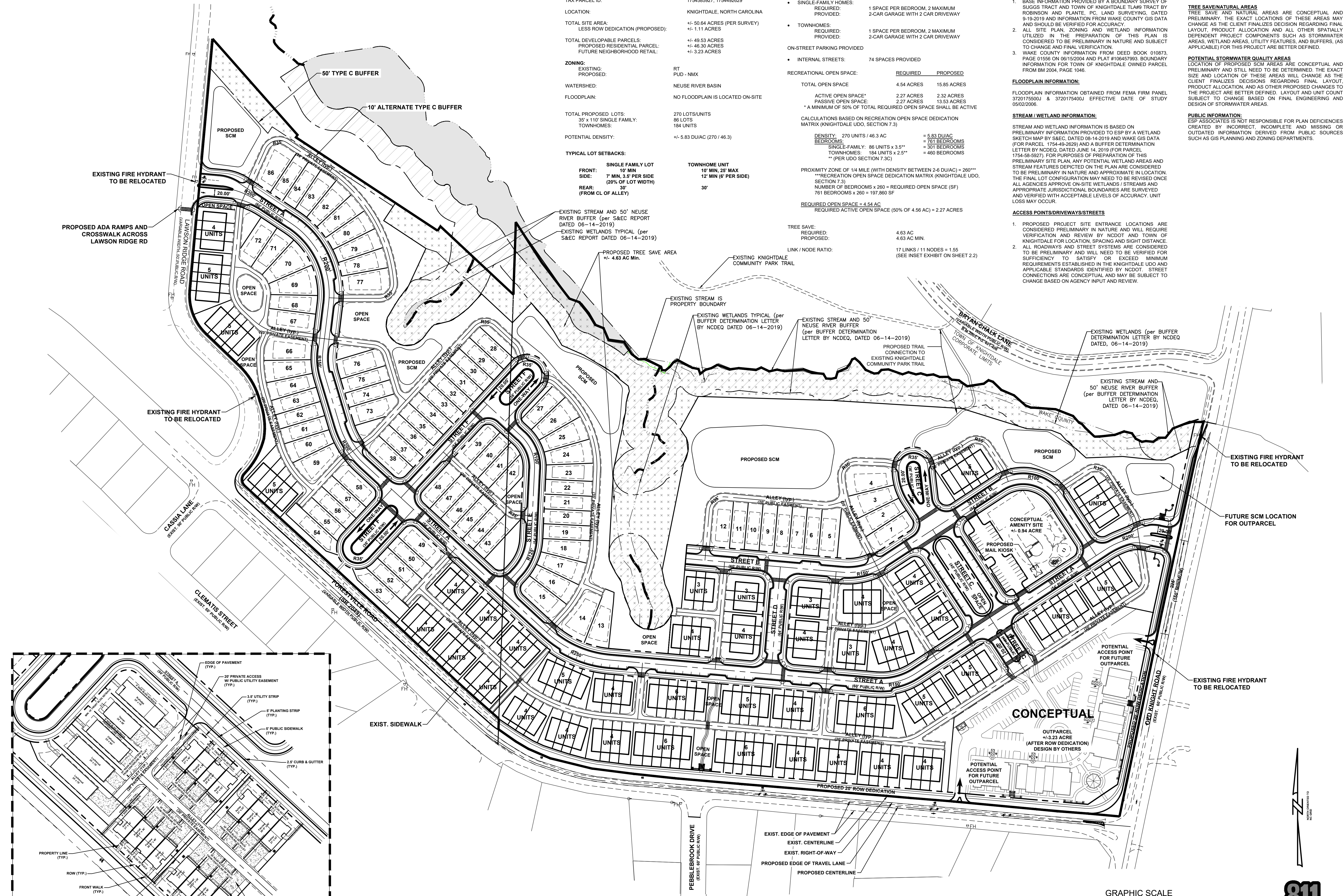
SITE DATA FOR FORESTVILLE VILLAGE

TAX PARCEL ID: 175458927, 1754492629
 LOCATION: KNIGHTDALE, NORTH CAROLINA
 TOTAL SITE AREA: +/- 60.64 ACRES (PER SURVEY)
 LESS ROW DEDICATION (PROPOSED): +/- 1.11 ACRES
 TOTAL DEVELOPABLE PARCELS: +/- 49.53 ACRES
 PROPOSED RESIDENTIAL PARCEL: +/- 46.30 ACRES
 FUTURE NEIGHBORHOOD RETAIL: +/- 3.23 ACRES
 ZONING: RT
 EXISTING: PUD - NMX
 PROPOSED: RT
 WATERSHED: NEUSE RIVER BASIN
 FLOODPLAIN: NO FLOODPLAIN IS LOCATED ON-SITE
 TOTAL PROPOSED LOTS: 270 LOTS/UNITS
 35 x 110' SINGLE FAMILY: 86 LOTS
 TOWNHOMES: 184 UNITS
 POTENTIAL DENSITY: +/- 5.83 DU/AC (270 / 46.3)
 TYPICAL LOT SETBACKS:
 SINGLE FAMILY LOT: 10' MIN
 FRONT: 7' MIN, 3' PER SIDE (20% OF LOT WIDTH)
 SIDE: 30' (FROM CL OF ALLEY)
 REAR: 30' (FROM CL OF ALLEY)
 TOWNHOME UNIT: 10' MIN, 25' MAX
 12' MIN (R PER SIDE)
 REAR: 30'

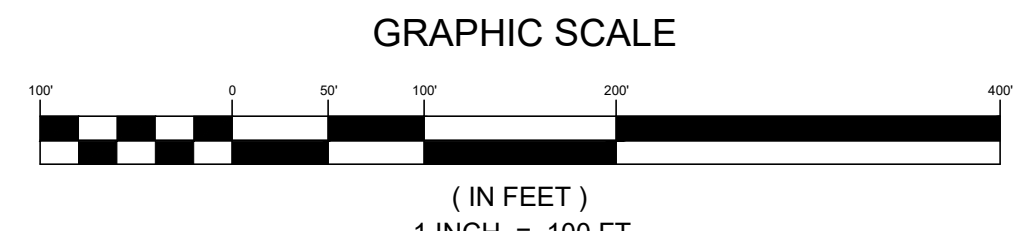
PARKING REQUIREMENTS:
 SINGLE-FAMILY HOMES: 1 SPACE PER BEDROOM, 2 MAXIMUM
 2-CAR GARAGE WITH 2 CAR DRIVEWAY
 TOWNHOMES: 1 SPACE PER BEDROOM, 2 MAXIMUM
 2-CAR GARAGE WITH 2 CAR DRIVEWAY
 ON-STREET PARKING PROVIDED
 INTERNAL STREETS: 74 SPACES PROVIDED
 RECREATIONAL OPEN SPACE:
 TOTAL OPEN SPACE: 4.54 ACRES 15.85 ACRES
 ACTIVE OPEN SPACE*: 2.27 ACRES 2.32 ACRES
 PASSIVE OPEN SPACE: 2.27 ACRES 13.53 ACRES
 * A MINIMUM OF 50% OF TOTAL REQUIRED OPEN SPACE SHALL BE ACTIVE
 CALCULATIONS BASED ON RECREATION OPEN SPACE DEDICATION MATRIX (KNIGHTDALE UDO, SECTION 7.3)
 DENSITY: 270 UNITS / 46.3 AC = 5.83 DU/AC
 BEDROOMS: 86 UNITS x 3.5** = 301 BEDROOMS
 TOWNHOMES: 184 UNITS x 2.5*** = 460 BEDROOMS
 ** (PER UDO SECTION 7.3C)
 *** (PER UDO SECTION 7.3C)
 PROXIMITY ZONE OF 1/4 MILE (WITH DENSITY BETWEEN 2-6 DU/AC) = 260'
 **RECREATION OPEN SPACE DEDICATION MATRIX (KNIGHTDALE UDO, SECTION 7.3)
 NUMBER OF BEDROOMS x 260 = REQUIRED OPEN SPACE (SF)
 761 BEDROOMS x 260 = 197,860 SF
 REQUIRED OPEN SPACE = 4.54 AC
 REQUIRED ACTIVE OPEN SPACE (50% OF 4.56 AC) = 2.27 ACRES
 TREE SAVE:
 REQUIRED: 4.63 AC
 PROPOSED: 4.63 AC MIN.
 LINK / NODE RATIO:
 17 LINKS / 11 NODES = 1.55
 (SEE INSET EXHIBIT ON SHEET 2.2)

GENERAL NOTES:
 1. BASE INFORMATION PROVIDED BY A BOUNDARY SURVEY OF SUGGS TRACT AND TOWN OF KNIGHTDALE TLA#9 TRACT BY ROBINSON AND PLANTE, PC, LAND SURVEYING, DATED 9-19-2019 AND INFORMATION FROM WAKE COUNTY GIS DATA AND SHOULD BE VERIFIED FOR ACCURACY.
 2. ALL SITE PLAN, ZONING AND WETLAND INFORMATION UTILIZED IN THE PREPARATION OF THIS PLAN IS CONSIDERED TO BE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE AND FINAL VERIFICATION.
 3. WAKE COUNTY INFORMATION FROM DEED BOOK 010873, PAGE 01556 ON 06/15/2004 AND PLAT #105457993, BOUNDARY INFORMATION FOR TOWN OF KNIGHTDALE OWNED PARCEL FROM BM 2004, PAGE 1046.
FLOODPLAIN INFORMATION:
 FLOODPLAIN INFORMATION OBTAINED FROM FEMA FIRM PANEL 372017550J & 372017540J EFFECTIVE DATE OF STUDY 09/02/2009.
STREAM / WETLAND INFORMATION:
 STREAM AND WETLAND INFORMATION IS BASED ON PRELIMINARY INFORMATION PROVIDED TO ESP BY A WETLAND SKETCH MAP BY S&EC, DATED 08-14-2019 AND WAKE GIS DATA (FOR PARCEL: 1754-49-2629) AND A BUFFER DETERMINATION LETTER BY NCDEQ, DATED JUNE 14, 2019 (FOR PARCEL 1754-58-8927), FOR PURPOSES OF PREPARATION OF THIS PRELIMINARY SITE PLAN. ANY POTENTIAL WETLAND AREAS AND STREAM FEATURES DEPICTED ON THE PLAN ARE CONSIDERED TO BE PRELIMINARY IN NATURE AND APPROXIMATE IN LOCATION. THE FINAL LOT CONFIGURATION MAY NEED TO BE REVISED ONCE ALL AGENCIES APPROVE ON-SITE WETLANDS / STREAMS AND APPROPRIATE JURISDICTIONAL BOUNDARIES ARE SURVEYED AND VERIFIED WITH ACCEPTABLE LEVELS OF ACCURACY. UNIT LOSS MAY OCCUR.
ACCESS POINTS/DRIVEWAYS/STREETS
 1. PROPOSED PROJECT SITE ENTRANCE LOCATIONS ARE CONSIDERED PRELIMINARY IN NATURE AND WILL REQUIRE VERIFICATION AND REVIEW BY NCDOT AND TOWN OF KNIGHTDALE FOR LOCATION, SPACING AND SIGHT DISTANCE.
 2. ALL ROADWAYS AND STREET SYSTEMS ARE CONSIDERED TO BE PRELIMINARY AND WILL NEED TO BE VERIFIED FOR SUFFICIENCY TO SATISFY OR EXCEED MINIMUM REQUIREMENTS ESTABLISHED IN THE KNIGHTDALE UDO AND APPLICABLE STANDARDS IDENTIFIED BY NCDOT. STREET CONNECTIONS ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE BASED ON AGENCY INPUT AND REVIEW.

TREE SAVE/NATURAL AREAS
 TREE SAVE AND NATURAL AREAS ARE CONCEPTUAL AND PRELIMINARY. THE EXACT LOCATIONS OF THESE AREAS MAY CHANGE AS THE CLIENT FINALIZES DECISION REGARDING FINAL LAYOUT, PRODUCT ALLOCATION AND ALL OTHER SPATIALLY DEPENDENT PROJECT COMPONENTS SUCH AS STORMWATER AREAS, WETLAND AREAS, UTILITY FEATURES, AND BUFFERS, (AS APPLICABLE) FOR THIS PROJECT ARE BETTER DEFINED.
POTENTIAL STORMWATER QUALITY AREAS
 LOCATION OF PROPOSED SCM AREAS ARE CONCEPTUAL AND PRELIMINARY AND STILL NEED TO BE DETERMINED. THE EXACT SIZE AND LOCATION OF THESE AREAS WILL CHANGE AS THE CLIENT FINALIZES DECISIONS REGARDING FINAL LAYOUT, PRODUCT ALLOCATION, AND AS OTHER PROPOSED CHANGES TO THE PROJECT ARE BETTER DEFINED. LAYOUT AND UNIT COUNT SUBJECT TO CHANGE BASED ON FINAL ENGINEERING AND DESIGN OF STORMWATER AREAS.
PUBLIC INFORMATION:
 ESP ASSOCIATES IS NOT RESPONSIBLE FOR PLAN DEFICIENCIES CREATED BY INCORRECT, INCOMPLETE AND MISSING OR OUTDATED INFORMATION DERIVED FROM PUBLIC SOURCES SUCH AS GIS PLANNING AND ZONING DEPARTMENTS.



TYPICAL SINGLE FAMILY AND TOWNHOME LOT LAYOUT
 SCALE: 1" = 60'



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 NC LICENSE #F-1407

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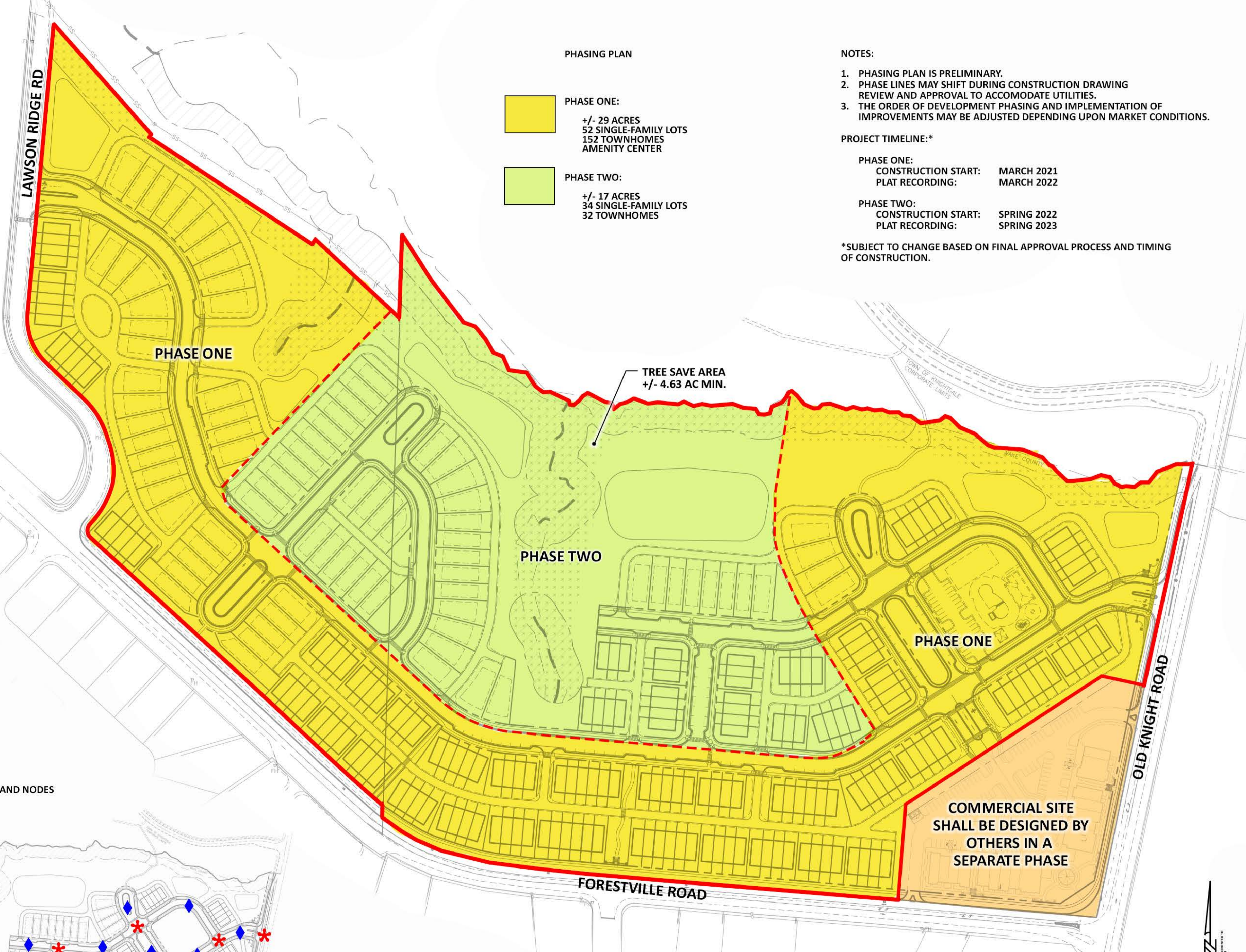
PRELIMINARY
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 CONSTRUCTION

NO.	DATE	REVISION	FIRST REVIEW COMMENTS
1	08/29/2020		

SITE PLAN
 FORESTVILLE VILLAGE
 MERITAGE HOME
 KNIGHTDALE, NC

PROJECT INFORMATION
 PROJECT MANAGER: AA
 DESIGNED BY: KM
 DRAWN BY: SM
 PROJECT NUMBER: HR37-401
 ORIGINAL DATE: 02-10-2020
 SHEET: C2.1

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PHASING PLAN

- PHASE ONE:**
 +/- 29 ACRES
 52 SINGLE-FAMILY LOTS
 152 TOWNHOMES
 AMENITY CENTER
- PHASE TWO:**
 +/- 17 ACRES
 34 SINGLE-FAMILY LOTS
 32 TOWNHOMES

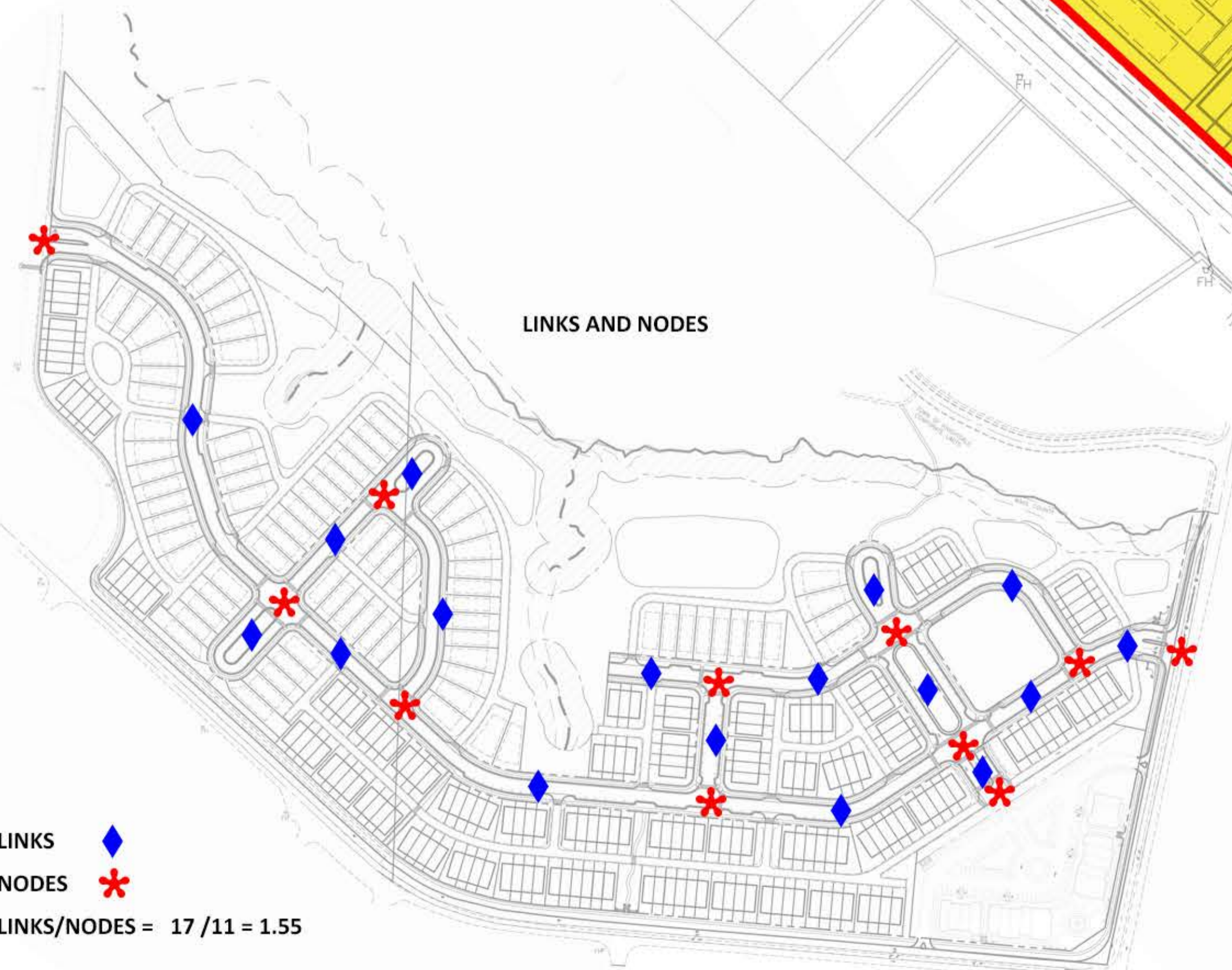
NOTES:

1. PHASING PLAN IS PRELIMINARY.
2. PHASE LINES MAY SHIFT DURING CONSTRUCTION DRAWING REVIEW AND APPROVAL TO ACCOMMODATE UTILITIES.
3. THE ORDER OF DEVELOPMENT PHASING AND IMPLEMENTATION OF IMPROVEMENTS MAY BE ADJUSTED DEPENDING UPON MARKET CONDITIONS.

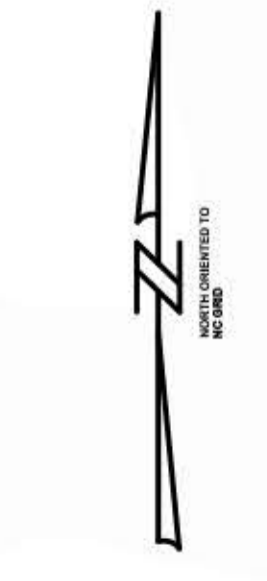
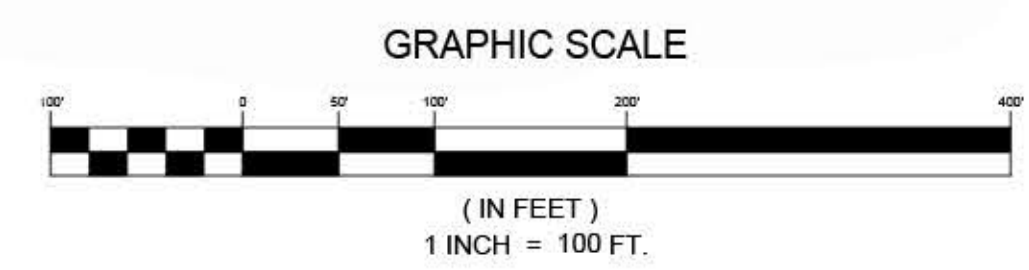
PROJECT TIMELINE:*

PHASE ONE:		
CONSTRUCTION START:	MARCH 2021	
PLAT RECORDING:	MARCH 2022	
PHASE TWO:		
CONSTRUCTION START:	SPRING 2022	
PLAT RECORDING:	SPRING 2023	

*SUBJECT TO CHANGE BASED ON FINAL APPROVAL PROCESS AND TIMING OF CONSTRUCTION.



LINKS ◆
 NODES ✱
 LINKS/NODES = 17 / 11 = 1.55



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 919.876.1676
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 NC LICENSE #F-1407

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

NO.	DATE	REVISION	FIRST REVIEW COMMENTS
1	03/05/2020		

PROJECT INFORMATION

PROJECT MANAGER: AA

DESIGNED BY: KM

DRAWN BY: SM

PROJECT NUMBER: HR37.401

ORIGINAL DATE: 02-10-2020

SHEET:

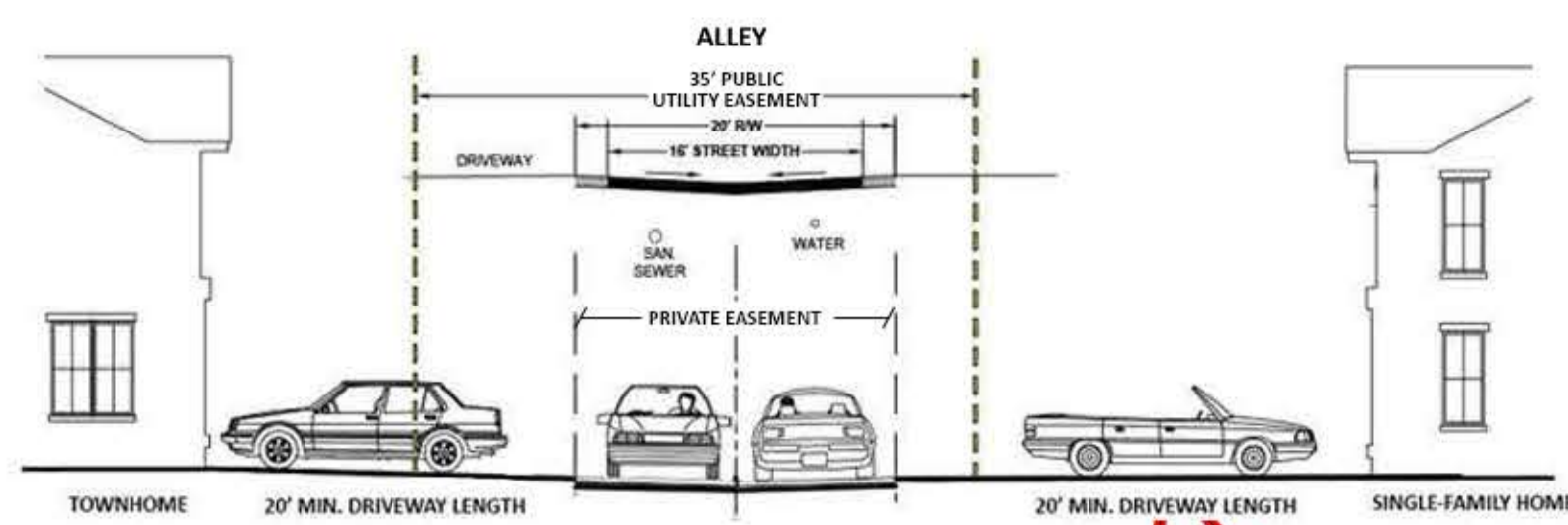
PHASING PLAN

FORESTVILLE VILLAGE

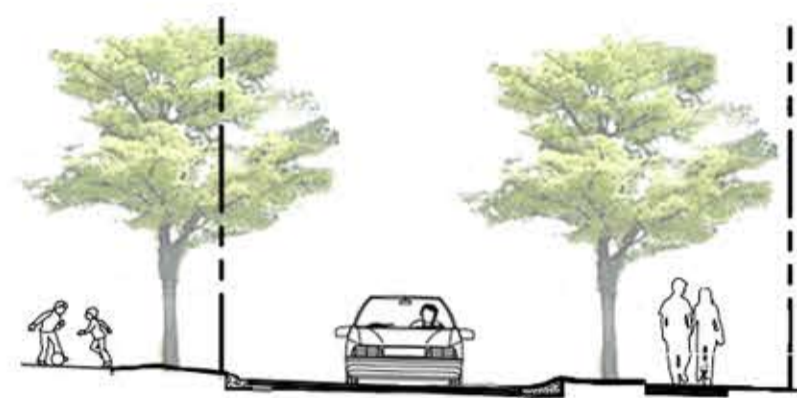
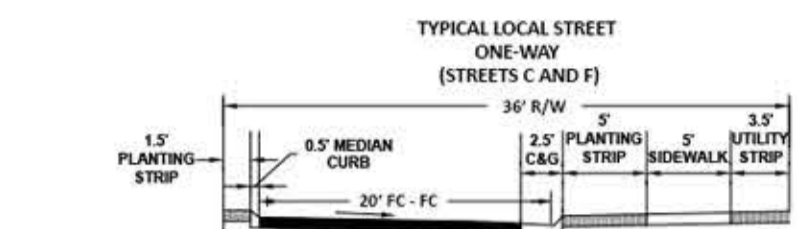
MERTAGE HOME

KNIGHTDALE, NC

C2.2



PRIVATE ALLEY - 20' EASEMENT W/ PUBLIC UTILITY EASEMENT



RESIDENTIAL STREET - 36' ROW NO ON-STREET PARKING



ON-STREET PARKING PLAN VIEW

TRANSPORTATION AND CIRCULATION PLAN NOTES:

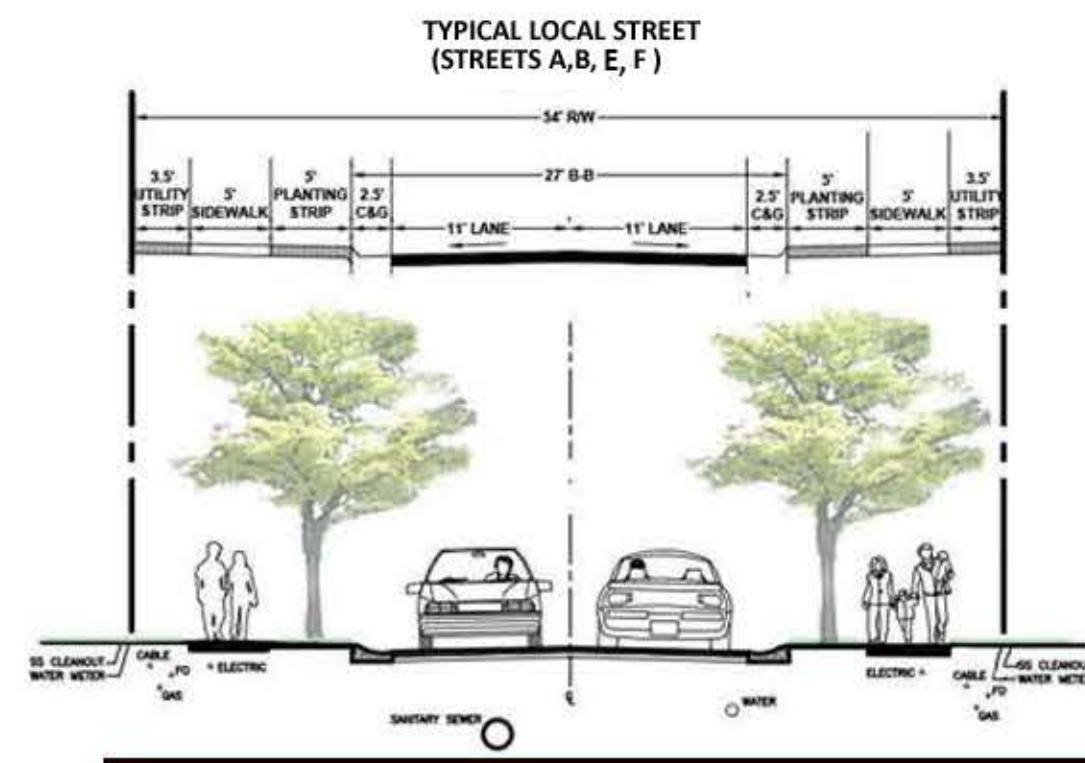
- The Forestville Subdivision will be served by a network of existing and proposed public streets with sidewalks. The single-family and townhomes will all be alley loaded garage units. Additional parking will be provided with on-street parking both along internal streets and along Forestville Road.
- 5' wide sidewalks shall be provided along both sides of all internal streets with connections to proposed sidewalks along both Forestville Road and Old Knight Road. Additional sidewalk connections along Forestville Road shall be provided between the townhome units. A walking trail connection shall be located to provide direct access to the Knightdale Community Park.
- Off-street parking shall be provided at the amenity center and at intervals along the rear access alleys as per the requirements of the Town of Knightdale UDO.

TIA RECOMMENDED IMPROVEMENTS:

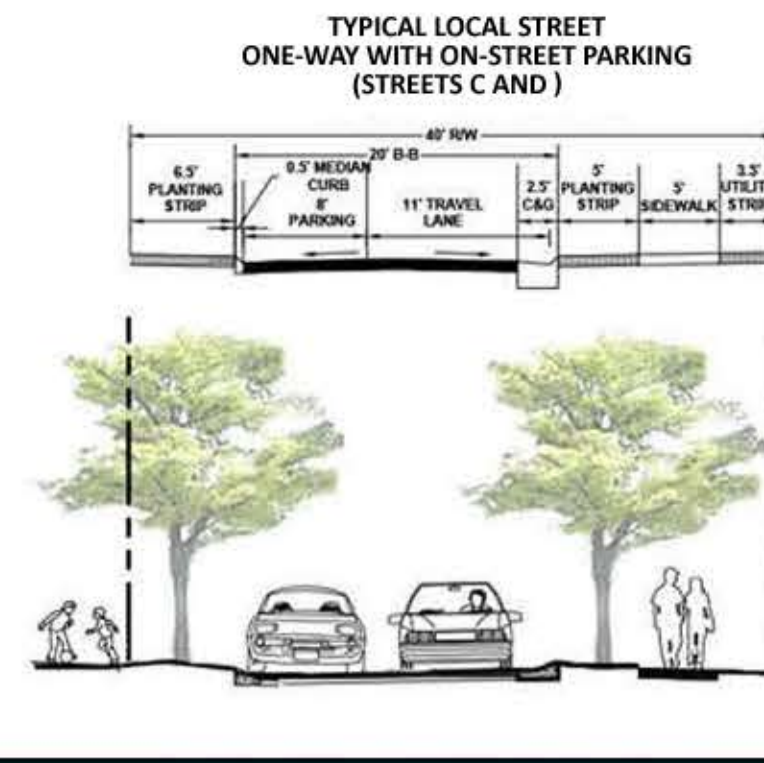
- Forestville Road and Old Knight Road improvements shall include a southbound right-turn lane and a northbound left-turn lane on Old Knight Road with a minimum of 100 and 125 feet of full width storage and appropriate taper, respectively. An eastbound right-turn lane on Forestville Road with a minimum of 100 feet of full width storage and appropriate taper shall be provided. The development shall monitor for signalization and install once warranted and approved by NCDOT.
- Lawson Ridge Road and site entrance improvements shall include a full movement intersection with stop control on the westbound approach of the driveway. One (1) ingress lane and one (1) egress lane shall be provided at the site entrance.
- Forestville Road and future commercial entrance improvements shall include a right-of-way intersection with stop control on the southbound approach of the driveway. One (1) ingress lane and one (1) egress lane shall be provided. A westbound right-turn lane on Forestville Road with a minimum of 50 feet of full width storage and appropriate taper shall be provided.
- Old Knight Road and future commercial entrance improvements shall include a full movement intersection with stop control on the eastbound approach of the driveway. One (1) ingress lane and one (1) egress lane shall be provided. A southbound right-turn lane on Old Knight Road with a minimum of 50 feet of full width storage and appropriate taper shall be provided.
- Old Knight Road and site entrance improvements shall include a full movement intersection with stop control on the eastbound approach of the driveway. One (1) ingress lane and one (1) egress lane shall be provided. A southbound right-turn lane and a northbound left-turn lane on Old Knight Road with a minimum of 50 and 100 feet of full width storage and appropriate taper, respectively, shall be constructed.

PEDESTRIAN AND VEHICULAR CIRCULATION NOTES:

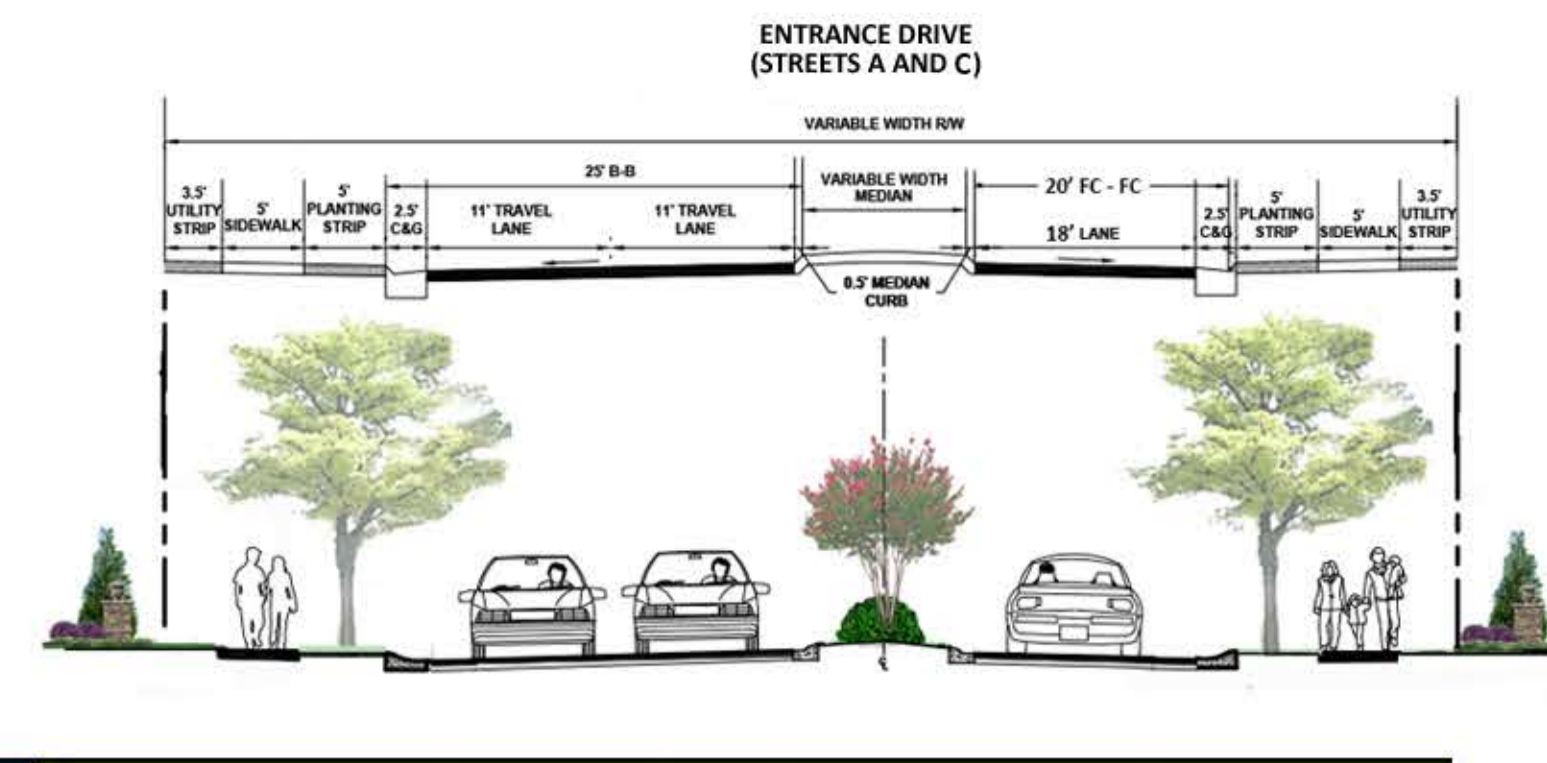
- The internal vehicular and pedestrian network, as shown on these plans, is conceptual and provided overall vehicular and pedestrian circulation and connectivity with the existing roads and the adjoining community park. The actual alignment and location of streets, sidewalks and multi-use trails is subject to change during the final plat design and approval process.
- Off-site improvements to Forestville Road, Old Knight Road and Lawson Ridge Road shall be according to the recommendations of the Traffic Impact Analysis (TIA) to be provided by Ramey Kemp and Associates.
- All public streets shall be constructed to the Town of Knightdale's standards and specifications. Improvements to Forestville Road, Old Knight Road and Lawson Ridge Road shall be constructed to NCDOT standards and specifications.
- Alleys, located behind the single-family and townhome units shall be placed in a public access easement.
- All pedestrian and vehicular improvements located within common open space and amenity areas shall be maintained by the Forestville Village HOA.



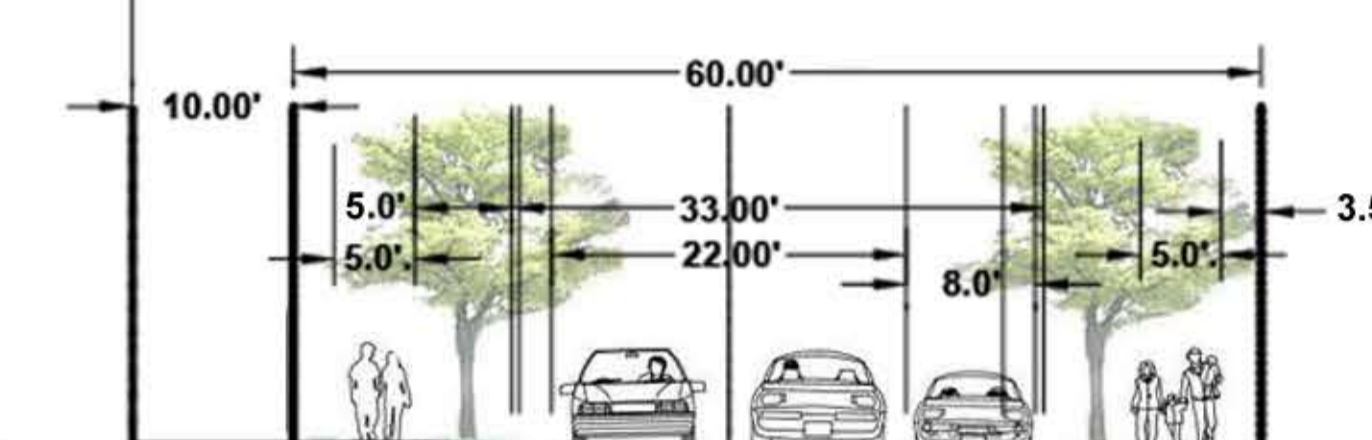
RESIDENTIAL STREET - 54' ROW



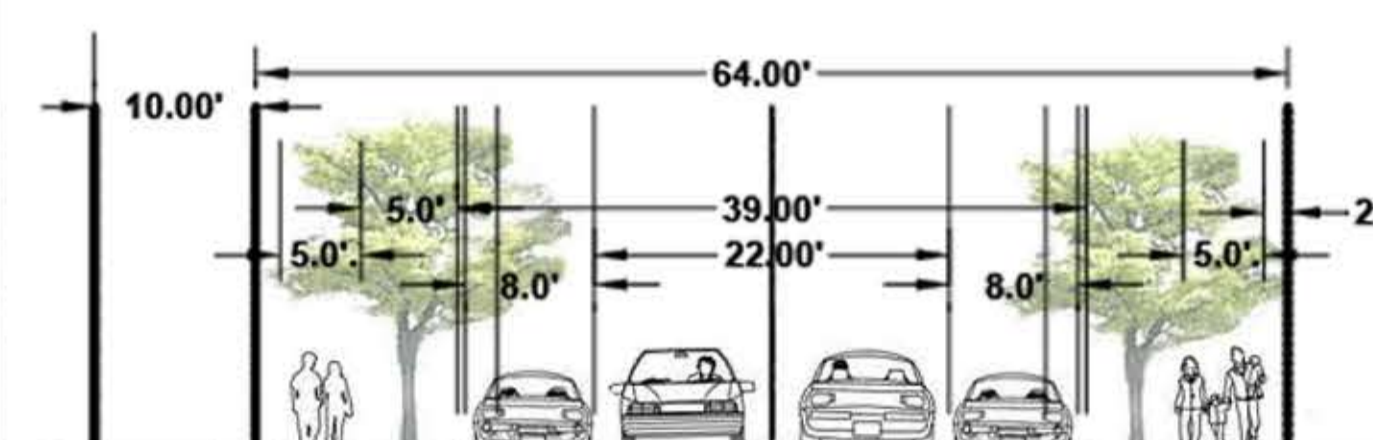
RESIDENTIAL STREET - 40' ROW WITH ON-STREET PARKING



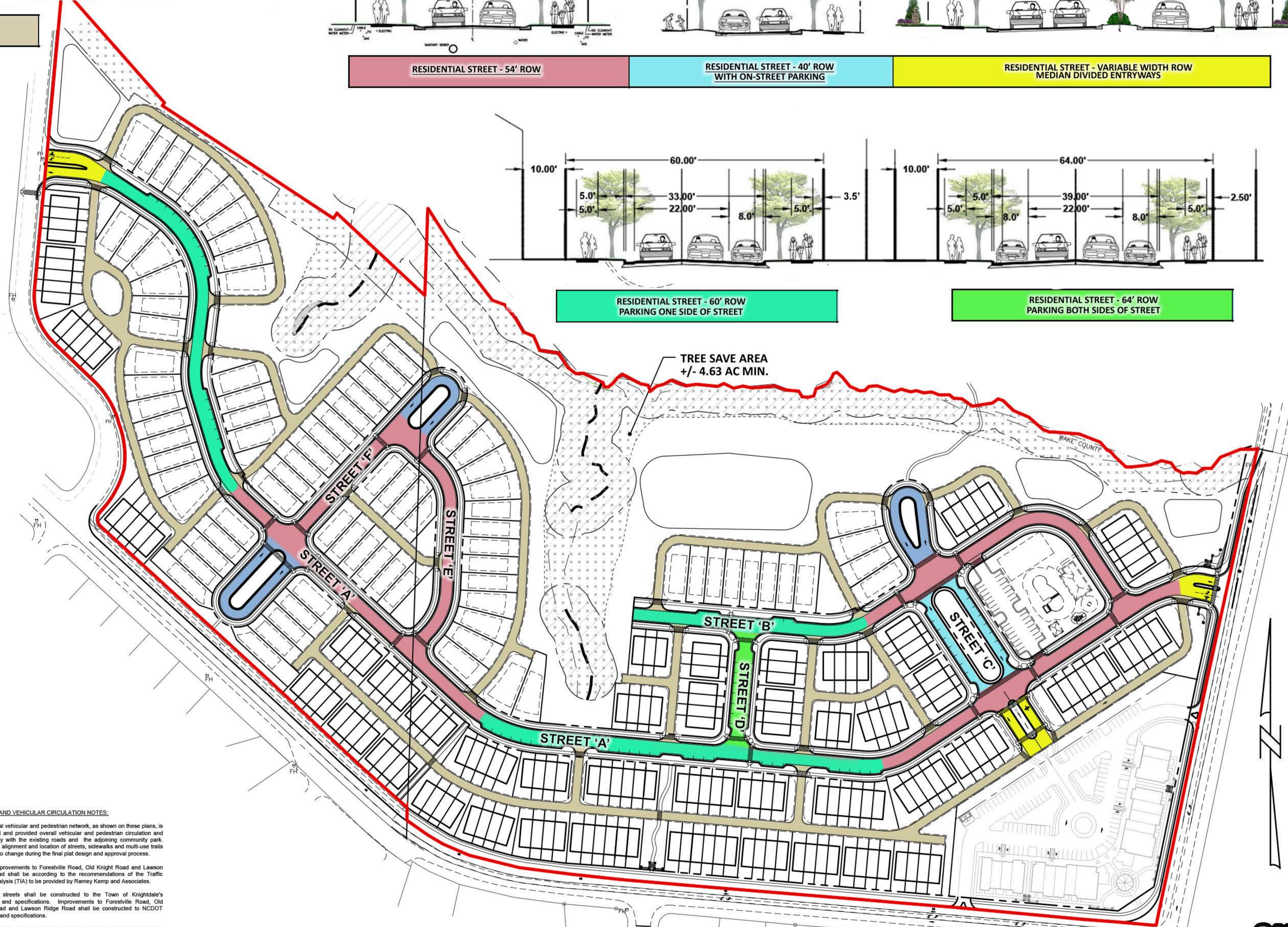
RESIDENTIAL STREET - VARIABLE WIDTH ROW MEDIAN DIVIDED ENTRYWAYS



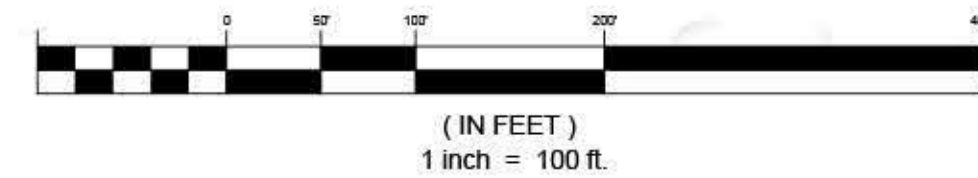
RESIDENTIAL STREET - 60' ROW PARKING ONE SIDE OF STREET



RESIDENTIAL STREET - 64' ROW PARKING BOTH SIDES OF STREET



ILLUSTRATIVE STREET SECTIONS ARE PRELIMINARY
ACTUAL DESIGN SUBJECT TO CHANGE DURING
THE REVIEW PROCESS.



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NC LICENSE # 1407

ESP

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NOT FOR
CONSTRUCTION

NO.	DATE	REVISION	BY
1	03/05/2020	FIRST REVIEW COMMENTS	

TRANSPORTATION PLAN
FORESTVILLE VILLAGE
MERITAGE HOME
KNIGHTDALE, NC

PROJECT INFORMATION
PROJECT MANAGER: AA
DESIGNED BY: KM
DRAWN BY: SM
PROJECT NUMBER: HR37.401
ORIGINAL DATE: 02-10-2020
SHEET: C3.0

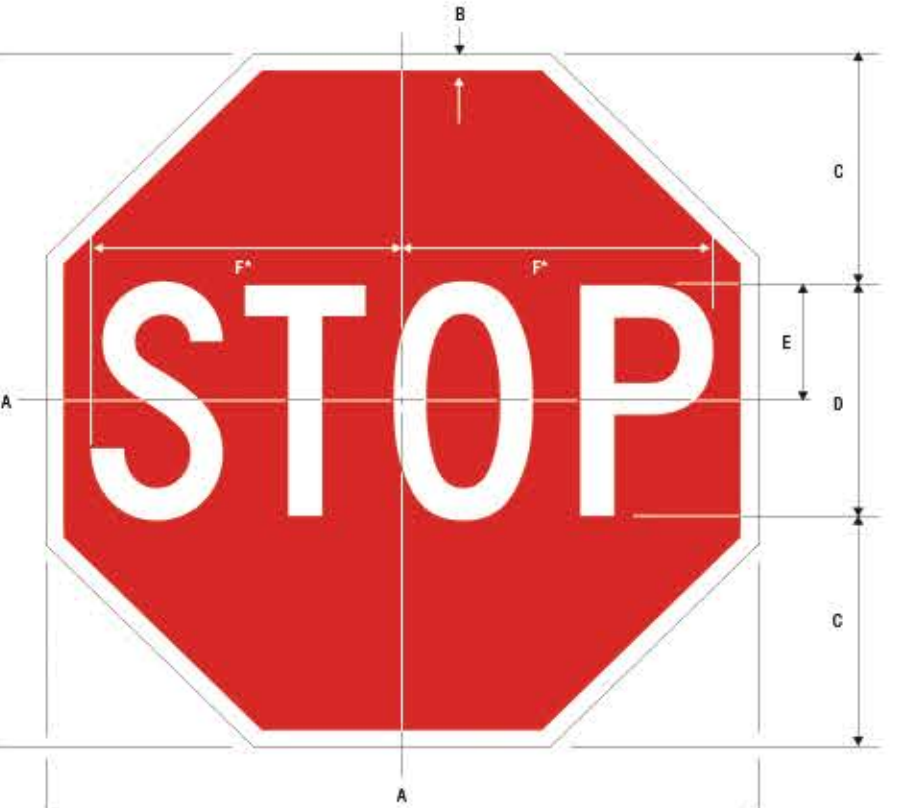


R2-1
SPEED LIMIT (ENGLISH)

*Optically space numerals about centerline

A	B	C	D	E	F	G	H	J	K	L
18	.375	0	6.0	3	7.75					
24	.625	0	8.0	4	10					
30	.875	0	10.0	5	12.5					
36	1.125	0	12.0	6	15					
42	1.375	0	14.0	7	17.5					
48	1.625	0	16.0	8	20					

COLORS: LEGEND — BLACK
BACKGROUND — WHITE (RETROREFLECTIVE)
1-10



R1-1
STOP

*Reduce spacing 40%

A	B	C	D	E	F
24	.625	0	8.0	4	10
30	.875	0	10.0	5	12.5
36	1.125	0	12.0	6	15
42	1.375	0	14.0	7	17.5
48	1.625	0	16.0	8	20

COLORS: LEGEND — WHITE (RETROREFLECTIVE)
BACKGROUND — RED (RETROREFLECTIVE)
1-1

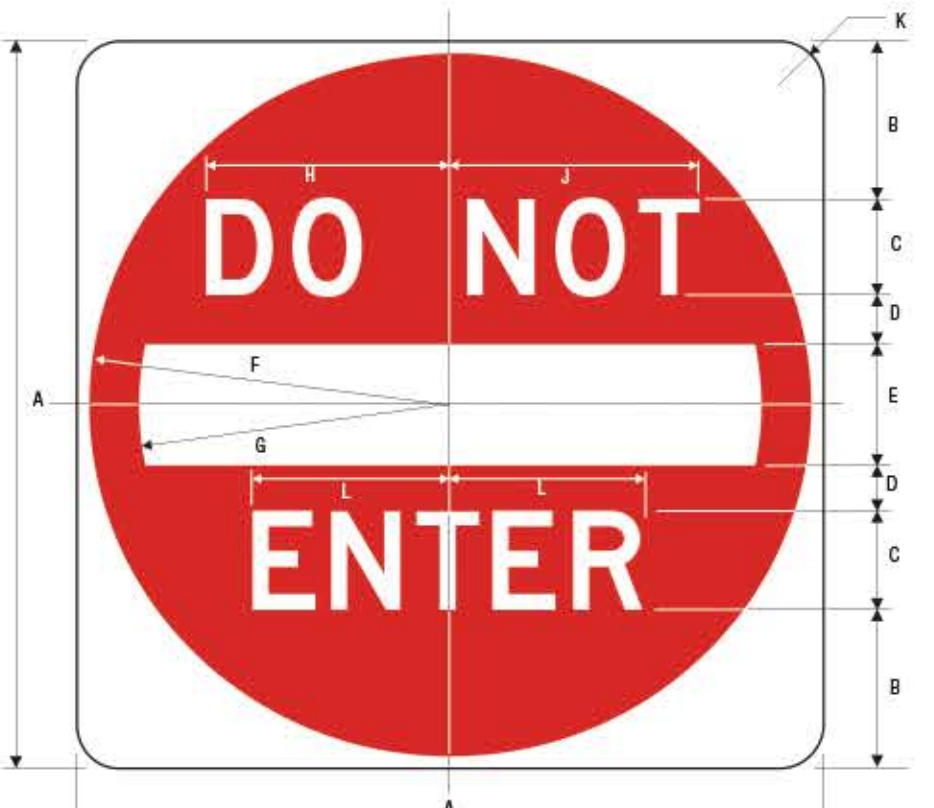


R6-2R
ONE WAY

*Series 2000 Standard Alphabets
**See page 6-2 for arrow design.

A	B	C	D	E	F	G	H	J	K	L	M
12	16	.375	.375	2	3.0	1.5	3	3.5	3.722	3.684	3.717
18	24	.562	.562	3	4.5	2.25	4.5	5.25	5.244	5.124	5.144
24	30	.75	.75	4	6.0	3.0	6.0	7.0	7.008	6.888	6.928
30	36	.937	.937	5	7.5	3.75	7.5	8.75	8.75	8.588	8.628
36	42	1.125	1.125	6	9.0	4.5	9.0	10.5	10.5	10.288	10.328
42	48	1.312	1.312	7	10.5	5.25	10.5	12.25	12.25	11.988	12.028
48	54	1.5	1.5	8	12.0	6.0	12.0	14.0	14.0	13.688	13.728

COLORS: LEGEND — BLACK
BACKGROUND — WHITE (RETROREFLECTIVE)
1-87



R5-1
DO NOT ENTER

A	B	C	D	E	F	G	H	J	K	L
30	65	4.0	2	5	14.5	12.5	9.75	10	1.875	7.875
36	75	5.0	2.5	6	17.5	15	12	12.375	2.25	9.813
48	11	6.0	3	8	23.5	20	14.5	15	3	11.75

COLORS: SYMBOL — RED (RETROREFLECTIVE)
LEGEND & BACKGROUND — WHITE (RETROREFLECTIVE)
1-73

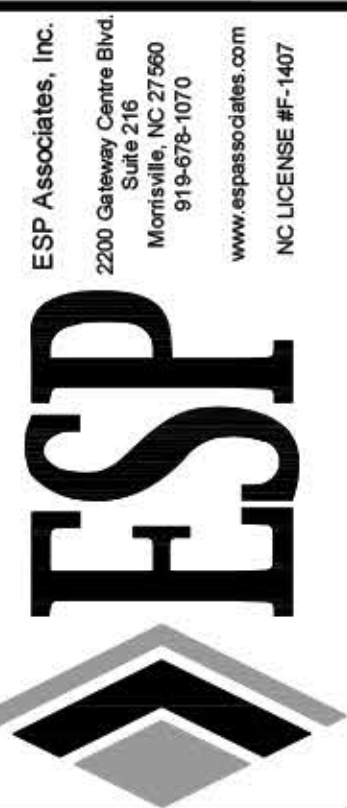
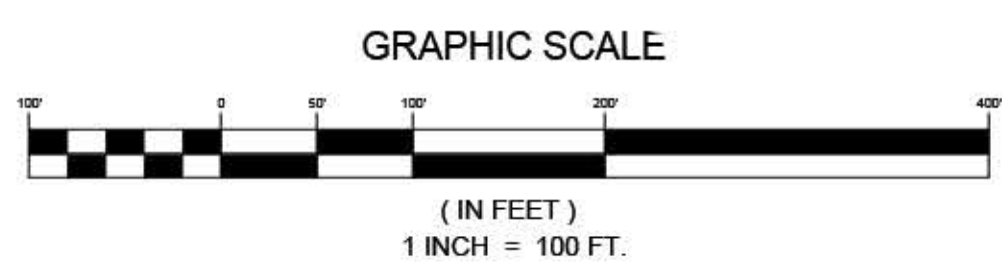
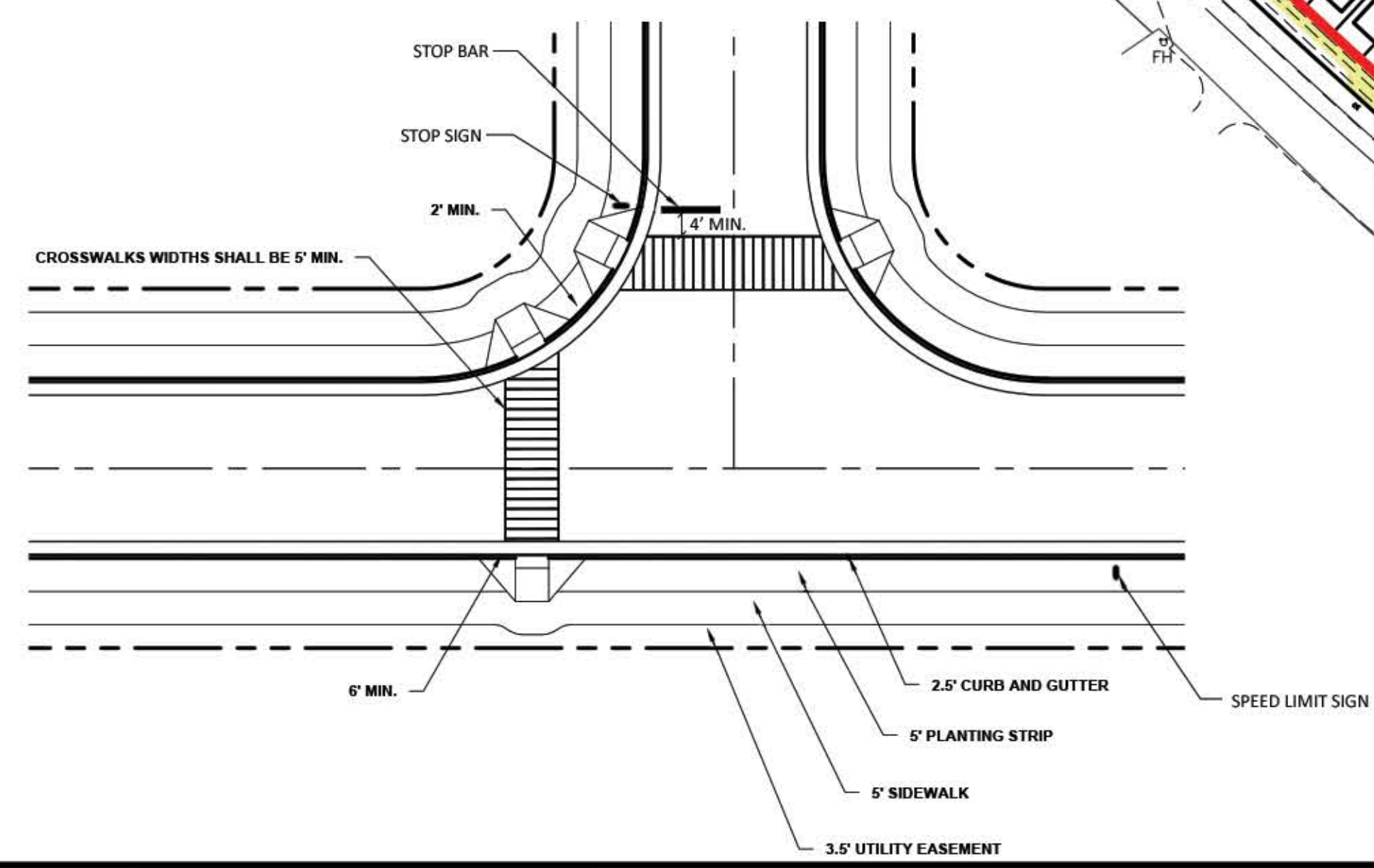


R7-1
NO PARKING

COLORS: LEGEND — RED (RETROREFLECTIVE)
BACKGROUND — WHITE (RETROREFLECTIVE)



TYPICAL ADA RAMPS AND CROSSWALKS AT TEE INTERSECTIONS
(PER TOWN OF KNIGHTDALE STANDARD DETAILS STD. NO. 4.06)



PRELIMINARY
NOT FOR
CONSTRUCTION

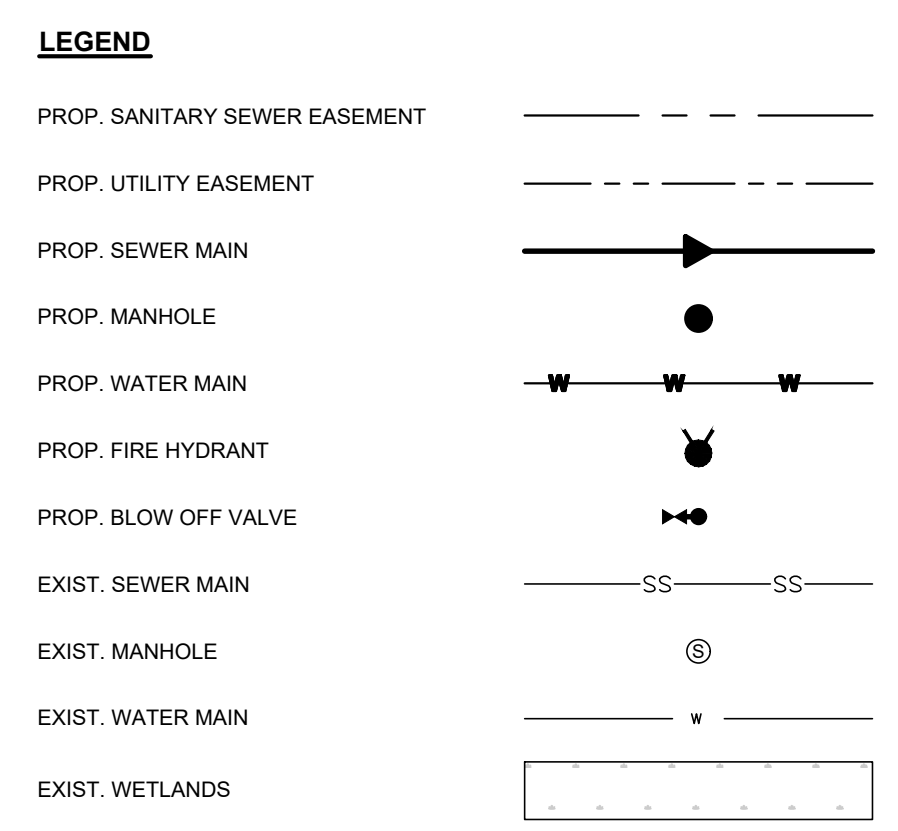
NO.	DATE	REVISION	BY
1	03/05/2020	FIRST REVIEW COMMENTS	

SIGNAGE_MATERIAL
FORESTVILLE VILLAGE
MERITAGE HOME
KNIGHTDALE, NC

PROJECT INFORMATION

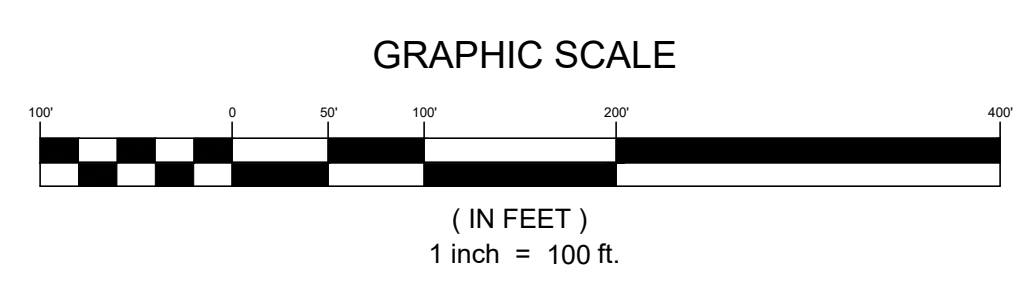
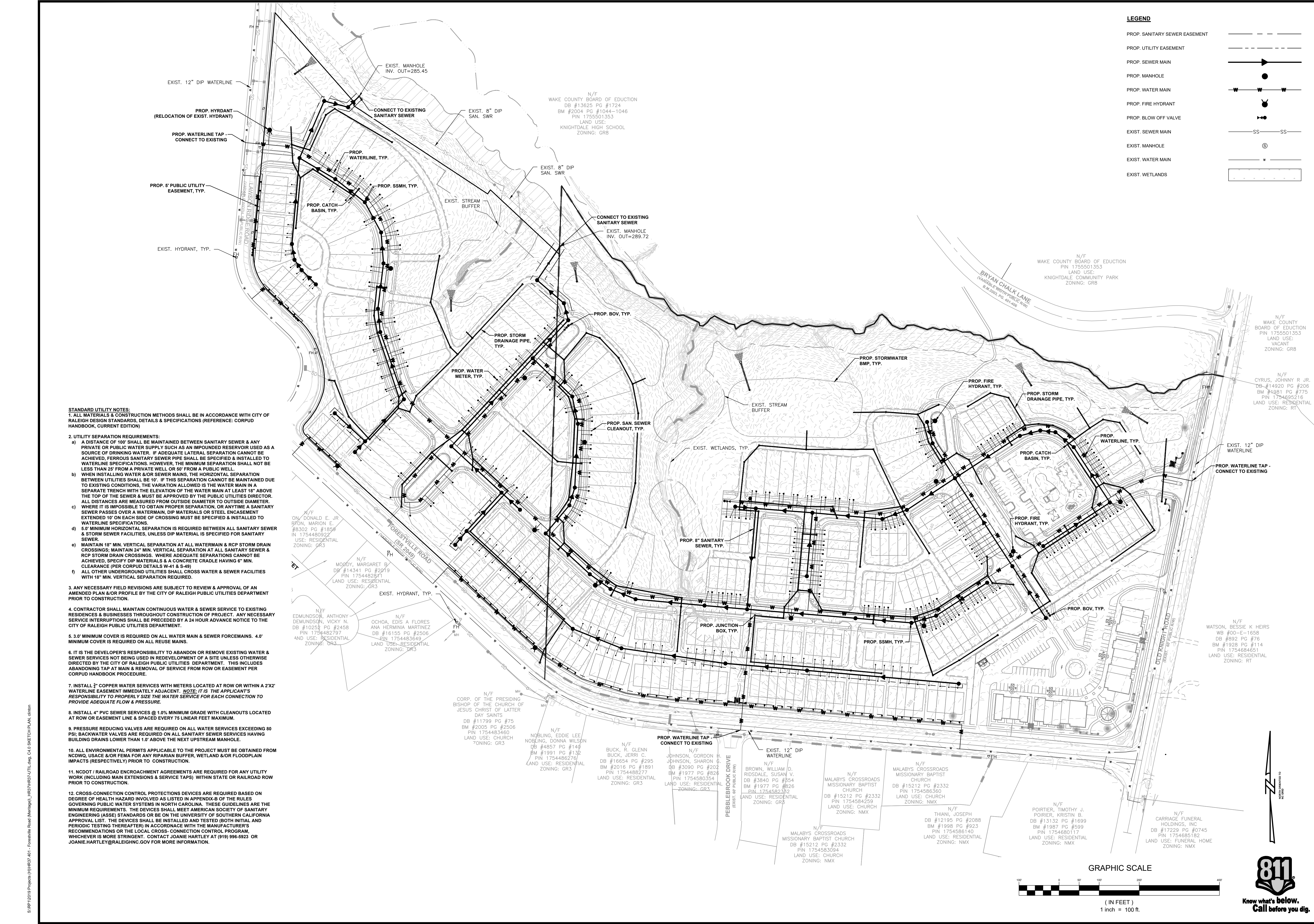
PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37-401
ORIGINAL DATE:	02-10-2020
SHEET:	C3.1

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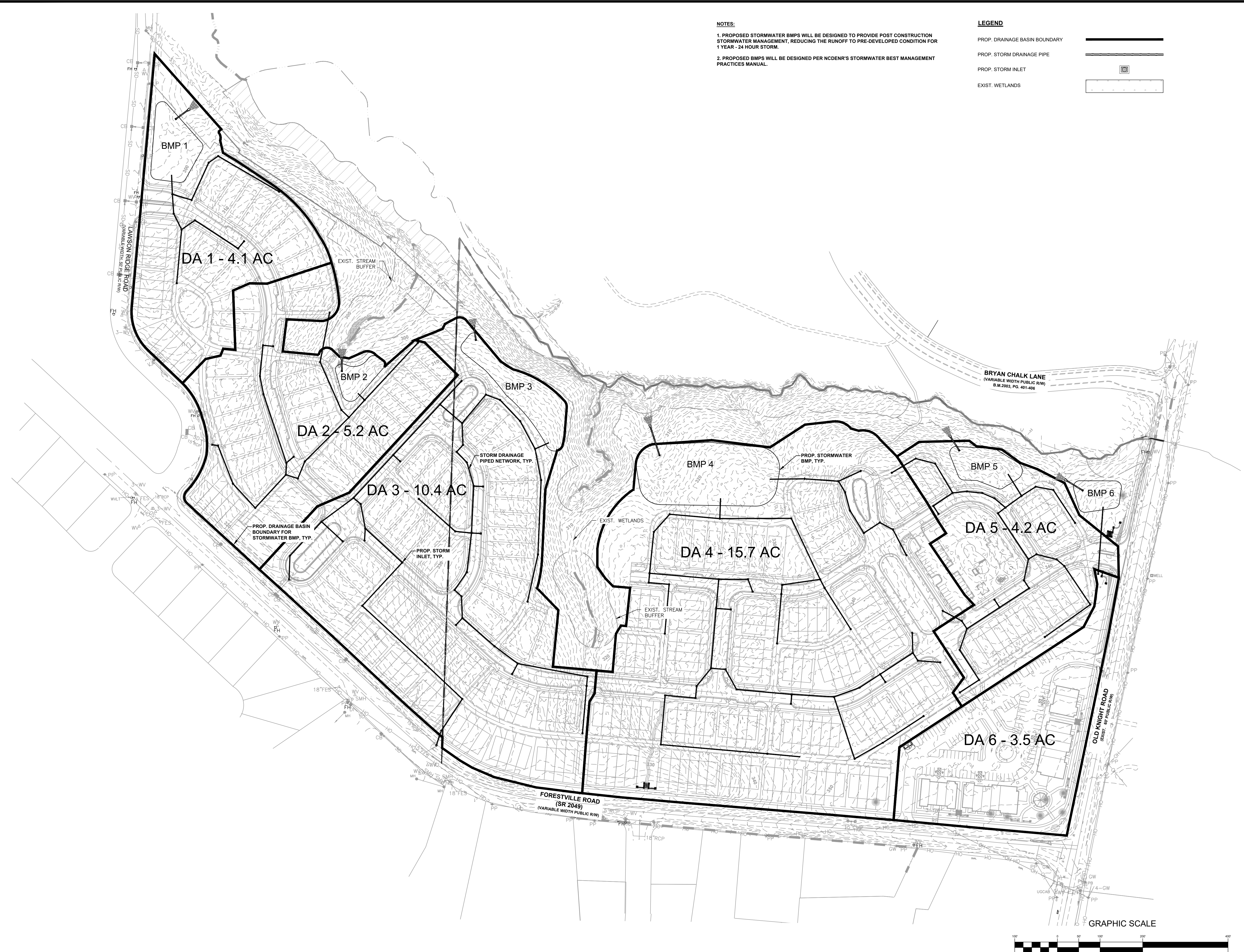
STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:**
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 5' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-48)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAIN & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. **NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.**
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTIONS DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS- CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

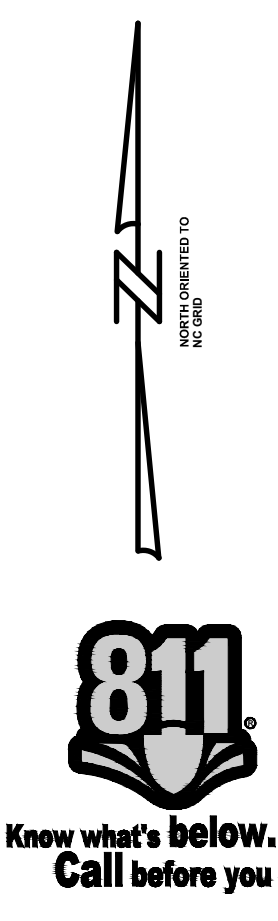
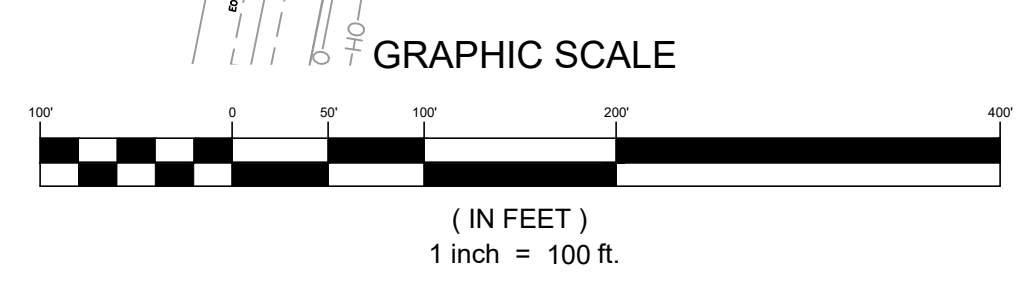
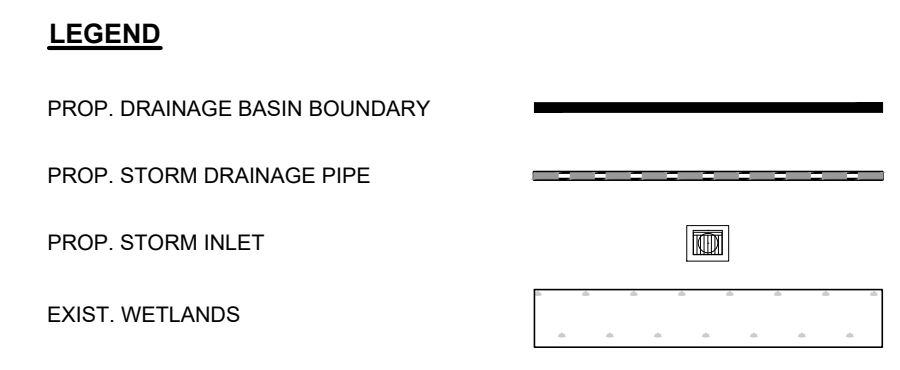


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S:\RP1\0119 Projects (H)\HR37_401 - Forestville Road (Meritage)\HR37_401 - STRM.dwg, C5.0.dimen



NOTES:
 1. PROPOSED STORMWATER BMPs WILL BE DESIGNED TO PROVIDE POST CONSTRUCTION STORMWATER MANAGEMENT, REDUCING THE RUNOFF TO PRE-DEVELOPED CONDITION FOR 1 YEAR - 24 HOUR STORM.
 2. PROPOSED BMPs WILL BE DESIGNED PER NCDENR'S STORMWATER BEST MANAGEMENT PRACTICES MANUAL.



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 919-478-1070
 www.espsa.com
 NC LICENSE #F-1407



**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

NO.	DATE	REVISION

BY _____

STORMWATER MANAGEMENT
FORESTVILLE VILLAGE
 MERITAGE HOME
 KNIGHTDALE, NC

PROJECT INFORMATION

PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37-401
ORIGINAL DATE:	02-10-2020
SHEET:	C5.0




- PASSIVE OPEN SPACE
- PASSIVE OPEN SPACE - NON-DISTURBED (STREAM BUFFER & WETLAND)
- PASSIVE OPEN SPACE - SCM
- ACTIVE OPEN SPACE - AMENITY CENTER
- ACTIVE OPEN SPACE

OPEN SPACE DATA FOR FORESTVILLE VILLAGE

REQUIRED ACTIVE SPACE:	2.27 ACRES
REQUIRED PASSIVE SPACE:	2.27 ACRES
REQUIRED TOTAL OPEN SPACE:	4.54 ACRES
PROPOSED ACTIVE SPACE:	2.32 ACRES
PROPOSED PASSIVE SPACE:	13.53 ACRES
TOTAL OPEN SPACE PROVIDED:	15.85 ACRES
PROPOSED PASSIVE SPACE BREAKDOWN:	
WETLAND:	0.58 ACRES
STREAM BUFFER:	5.75 ACRES
SCM:	2.31 ACRES

RECREATIONAL OPEN SPACE:	REQUIRED	PROPOSED
TOTAL OPEN SPACE:	4.54 ACRES	15.85 ACRES
ACTIVE OPEN SPACE*	2.27 ACRES	2.32 ACRES
PASSIVE OPEN SPACE:	2.27 ACRES	13.53 ACRES
* A MINIMUM OF 50% OF TOTAL REQUIRED OPEN SPACE SHALL BE ACTIVE		
CALCULATIONS BASED ON RECREATION OPEN SPACE DEDICATION MATRIX (KNIGHTDALE UDO, SECTION 7.3)		
DENSITY:	270 UNITS / 46.3 AC	= 5.83 DU/AC
BEDROOMS:		= 781 BEDROOMS
SINGLE-FAMILY:	86 UNITS x 3.5**	= 301 BEDROOMS
TOWNHOMES:	184 UNITS x 2.5**	= 460 BEDROOMS
** (PER UDO SECTION 7.3C)		
PROXIMITY ZONE OF 1/4 MILE (WITH DENSITY BETWEEN 2-6 DU/AC) = 260***		
***RECREATION OPEN SPACE DEDICATION MATRIX (KNIGHTDALE UDO, SECTION 7.3)		
NUMBER OF BEDROOMS x 260 = REQUIRED OPEN SPACE (SF)		
781 BEDROOMS x 260 = 197,860 SF		
REQUIRED OPEN SPACE = 4.54 AC		
REQUIRED ACTIVE OPEN SPACE (50% OF 4.54 AC) = 2.27 ACRES		



PRELIMINARY NOT FOR CONSTRUCTION

NO.	DATE	REVISION	FIRST REVIEW COMMENTS
1	02/10/2020	FIRST REVIEW	

OPEN SPACE PLAN

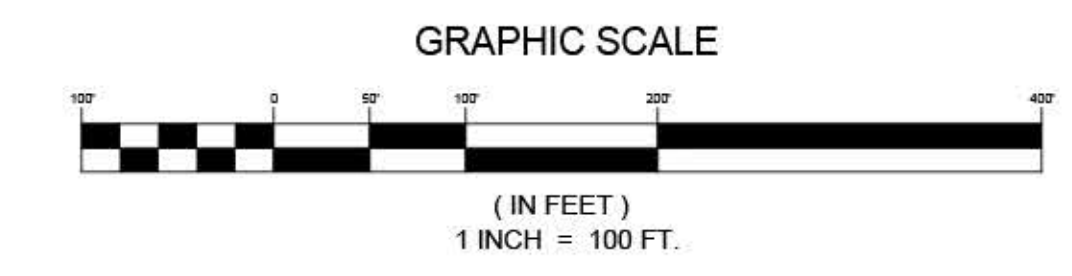
FORESTVILLE VILLAGE

MERTAGE HOME

KNIGHTDALE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37.401
ORIGINAL DATE:	02-10-2020
SHEET:	
C6.0	

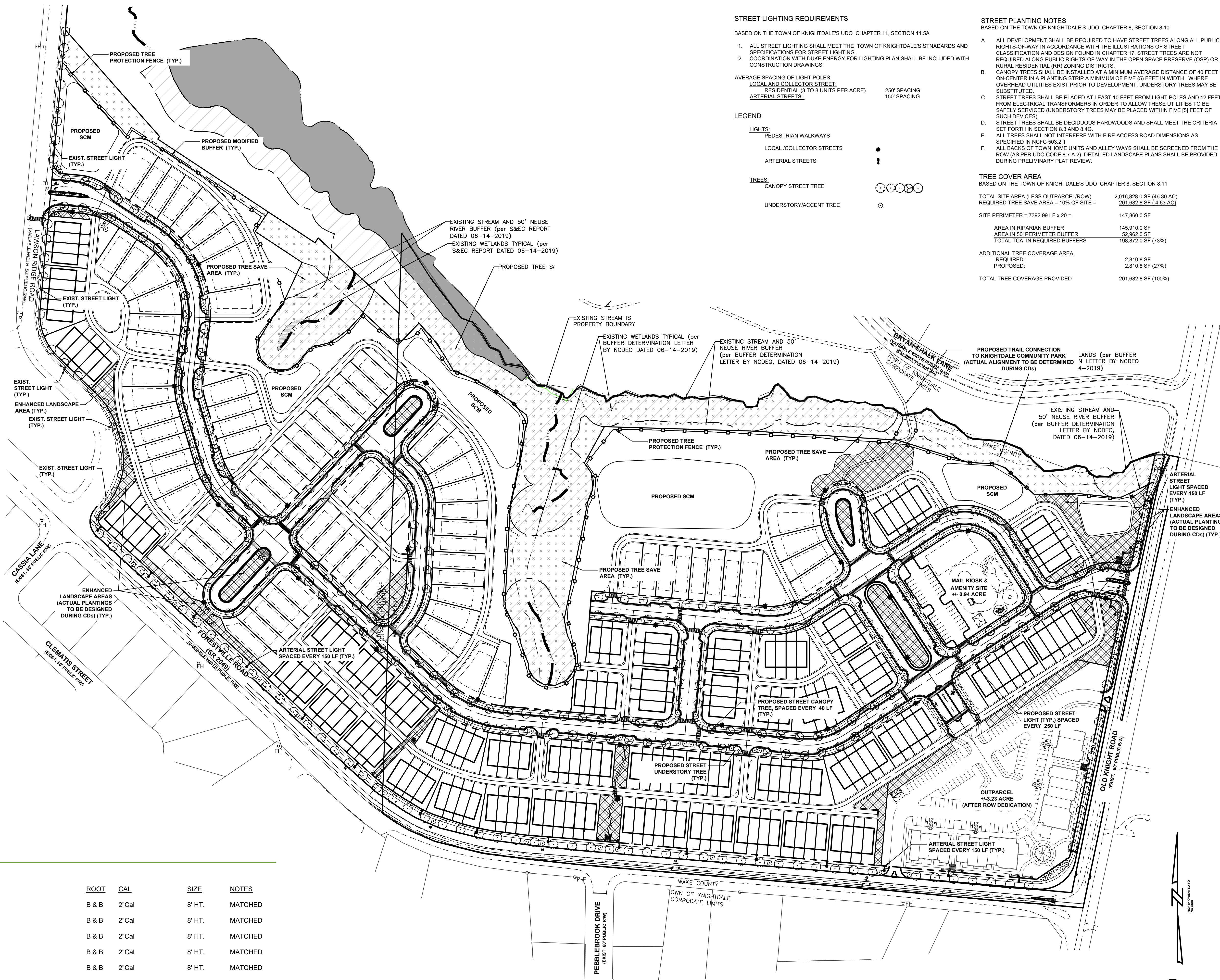
S:\P\12019 Projects (M\1937.401 - Forestville Road (Mertage))\HR37.401\1937.401_OPENSPACE.DWG, OPENSPACE, mta



LANDSCAPE NOTES:

GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- ALL LANDSCAPE WORK SHALL BE PROVIDED BY OR UNDER THE SUPERVISION OF A LICENSED NC LANDSCAPE CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS PRIOR TO START OF WORK.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT MATERIALS. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT ALL UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION. ALL UTILITY LINES SHALL BE PROTECTED DURING THE CONSTRUCTION TO AVOID DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL UTILITIES, STRUCTURES, SITE APURTANANCES, ETC. DAMAGED DURING CONSTRUCTION OR INSTALLATION OF PLANT MATERIAL AT CONTRACTOR'S EXPENSE.
- COORDINATE LANDSCAPE INSTALLATION WITH ANY LIGHTING / IRRIGATION CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL SPECIFICATIONS AND INSTALLATION REQUIREMENTS OF IRRIGATION, LIGHTING, AND FENCING TO ENSURE THAT PRODUCTS ARE INSTALLED PROPERLY AND PER MANUFACTURER REQUIREMENTS AND LOCAL AGENCY CODES & RESTRICTIONS.
- ESP ASSOCIATES, INC. IS NOT RESPONSIBLE FOR INSTALLATION OR DESIGN OF LIGHTING, FENCING, OR IRRIGATION. THE INSTALLATION REQUIREMENTS AND DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, AND MAINTENANCE OF TRAFFIC AS NECESSARY TO ENSURE PUBLIC SAFETY.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIALS, LABOR AND OTHER MATERIALS NECESSARY TO COMPLETE THE WORK AS SHOWN ON THE PLANS AND DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN IN THE PLANT SCHEDULE MATCH QUANTITIES ON THE PLANS AND PRIOR TO PRICING WORK. SHOULD DISCREPANCIES OCCUR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED PRIOR TO BIDDING.
- PLANT MATERIAL SUBSTITUTIONS TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL. SUBSTITUTIONS OF PLANT MATERIAL NOT APPROVED BY OWNER OR LANDSCAPE ARCHITECT MAY BE REJECTED.
- ALL PLANT MATERIAL SHALL MEET MINIMUM SIZE STANDARDS, INCLUDING THE MINIMUM HEIGHT, WIDTH, ROOT BALL SIZE AND NUMBER OF BRANCHES, SET FORTH IN THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR THE TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
- ALL SHADE/CANOPY/STREET TREES SHALL BE GRADE 'A' SPECIMENS WITH A STRAIGHT MAIN LEADER AND FULL HEAD.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THE PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. ALL PLANTS SHALL BE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, HEALTHY, VIGOROUS, AND FREE OF INSECTS, EGGS, LARVAE, DISEASES AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. PLANT MATERIAL COLLECTED FROM NATURALIZED AREAS SHALL BE REJECTED.
- CALIPER, HEIGHT AND WIDTH SPECIFICATIONS INDICATED ON THE PLANT SCHEDULE SHALL TAKE PRECEDENCE OVER CONTAINER SIZE.
- ALL TREES OF THE SAME VARIETY SHALL MATCH IN SHAPE AND SIZE WHEN INSTALLED AS GROUPS, ROWS OR STREET TREES.
- PLANT SIZES SHOWN IN THE PLANT SCHEDULE ARE THE MINIMUM SIZES BEFORE PRUNING. ANY NECESSARY PRUNING SHALL BE PERFORMED AT THE TIME OF PLANTING. TREES AND SHRUBS OF LARGER SIZE MAY BE INSTALLED IF SIZES OF THE ROOTS OR BALLS ARE INCREASED PROPORTIONATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING PLANTS TO MEET THE MINIMUM SIZE AND SPACING FOR CODE COMPLIANCE. FAILURE TO INSTALL THE PLANT MATERIAL PER THE PLAN AND PLANT SCHEDULE MAY JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS INDICATED IN THE PLANT SCHEDULE.
- ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION FOR COMPLIANCE WITH REQUIREMENTS FOR NAME, VARIETY, SIZE, QUALITY AND INSTALLATION.
- AREAS DAMAGED BY ACTIVITIES OF THE LANDSCAPE CONTRACTOR SHALL BE RE-SEED/RE-PLANTED AND REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TREE PROTECTION FENCING PER THE PLANS AND TREE PROTECTION FENCE DETAIL TO PROTECT ANY EXISTING TREES, SHRUBBERY AND PLANTING BEDS IN THE PLANTING AREA.
- CONTRACTOR SHALL OBTAIN AUTHORIZATION PRIOR TO ANY CHANGES OF PLANT LOCATIONS DUE TO UTILITIES OR OTHER CONFLICTS.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY UNLESS ALL REQUIRED PERMITS ARE OBTAINED.
- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER PEDESTRIAN OR VEHICULAR TRAFFIC FLOW.
- CONTRACTOR SHALL COORDINATE ANY PLANTING OR IRRIGATION IN ANY RIGHT-OF-WAY WITH TOWN OF KNIGHTDALE, WAKE COUNTY, NCDOT, AND ANY OTHER APPLICABLE LOCAL TRANSPORTATION DEPARTMENTS AND REGULATORY AGENCIES AND ESP IF CONDITIONS WARRANT ADJUSTMENTS TO PLANT MATERIAL AND LOCATIONS.



STREET LIGHTING REQUIREMENTS

BASED ON THE TOWN OF KNIGHTDALE'S UDO CHAPTER 11, SECTION 11.5A

- ALL STREET LIGHTING SHALL MEET THE TOWN OF KNIGHTDALE'S STANDARDS AND SPECIFICATIONS FOR STREET LIGHTING.
- COORDINATION WITH DUKE ENERGY FOR LIGHTING PLAN SHALL BE INCLUDED WITH CONSTRUCTION DRAWINGS.

AVERAGE SPACING OF LIGHT POLES:
 LOCAL AND COLLECTOR STREET: 250' SPACING
 RESIDENTIAL (3 TO 8 UNITS PER ACRE): 150' SPACING
 ARTERIAL STREETS: 150' SPACING

LEGEND

- LIGHTS:**
 PEDESTRIAN WALKWAYS: [Symbol]
 LOCAL / COLLECTOR STREETS: [Symbol]
 ARTERIAL STREETS: [Symbol]
- TREES:**
 CANOPY STREET TREE: [Symbol]
 UNDERSTORY/ACCENT TREE: [Symbol]

STREET PLANTING NOTES

BASED ON THE TOWN OF KNIGHTDALE'S UDO CHAPTER 8, SECTION 8.10

- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN CHAPTER 17. STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) OR RURAL RESIDENTIAL (RR) ZONING DISTRICTS.
- CANOPY TREES SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF 40 FEET ON-CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED.
- STREET TREES SHALL BE PLACED AT LEAST 10 FEET FROM LIGHT POLES AND 12 FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED (UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES).
- STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 8.3 AND 8.4.
- ALL TREES SHALL NOT INTERFERE WITH FIRE ACCESS ROAD DIMENSIONS AS SPECIFIED IN NCCF 503.2.1.
- ALL BACKS OF TOWNHOME UNITS AND ALLEY WAYS SHALL BE SCREENED FROM THE ROW (AS PER UDO CODE 8.7.A.2). DETAILED LANDSCAPE PLANS SHALL BE PROVIDED DURING PRELIMINARY PLAT REVIEW.

TREE COVER AREA

BASED ON THE TOWN OF KNIGHTDALE'S UDO CHAPTER 8, SECTION 8.11

TOTAL SITE AREA (LESS OUTPARCEL/ROW)	2,016,828.0 SF (46.30 AC)
REQUIRED TREE SAVE AREA = 10% OF SITE	201,682.8 SF (4.63 AC)
SITE PERIMETER = 7392.99 LF x 20' =	147,860.0 SF
AREA IN RIPARIAN BUFFER	145,910.0 SF
AREA IN 50' PERIMETER BUFFER	52,982.0 SF
TOTAL TCA IN REQUIRED BUFFERS	198,892.0 SF (73%)
ADDITIONAL TREE COVERAGE AREA REQUIRED:	2,810.8 SF
PROPOSED:	2,810.8 SF (27%)
TOTAL TREE COVERAGE PROVIDED	201,682.8 SF (100%)

PLANT_SCHEDULE

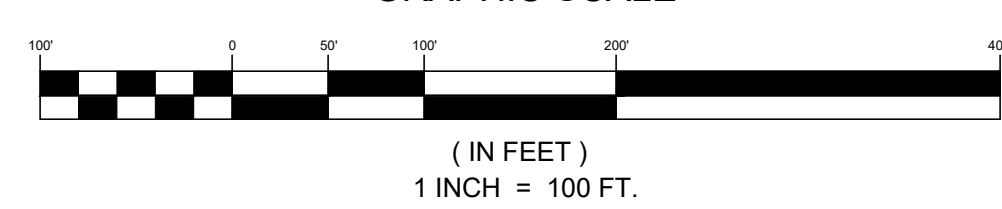
CANOPY STREET TREES

CODE	QTY	BOTANICAL NAME / COMMON NAME	ROOT	CAL	SIZE	NOTES
ARFL	32	Acer floridanum / Southern Sugar Maple	B & B	2"Cal	8' HT.	MATCHED
ARSA	36	Acer saccharum / Sugar Maple	B & B	2"Cal	8' HT.	MATCHED
PICH	50	Pistacia chinensis / Pistachio	B & B	2"Cal	8' HT.	MATCHED
QUAC	69	Quercus acutissima / Sawtooth Oak	B & B	2"Cal	8' HT.	MATCHED
ULPA	87	Ulmus parvifolia / Laceback Elm	B & B	2"Cal	8' HT.	MATCHED
ZEVG	68	Zelkova serrata 'Village Green' / Sawleaf Zelkova	B & B	2" Cal	8' HT.	MATCHED

UNDERSTORY STREET TREES

CODE	QTY	BOTANICAL NAME / COMMON NAME	ROOT	CAL	SIZE	NOTES
LIMU	92	Lagerstomia indica 'Muskegee' / Muskegee Crape Myrtle	B & B	1 1/4"Cal	6' HT.	3-4 Stems

GRAPHIC SCALE



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BY

NO.	DATE	REVISION	FIRST REVIEW COMMENTS
1	08/29/2020		

LANDSCAPE & LIGHTING PLAN

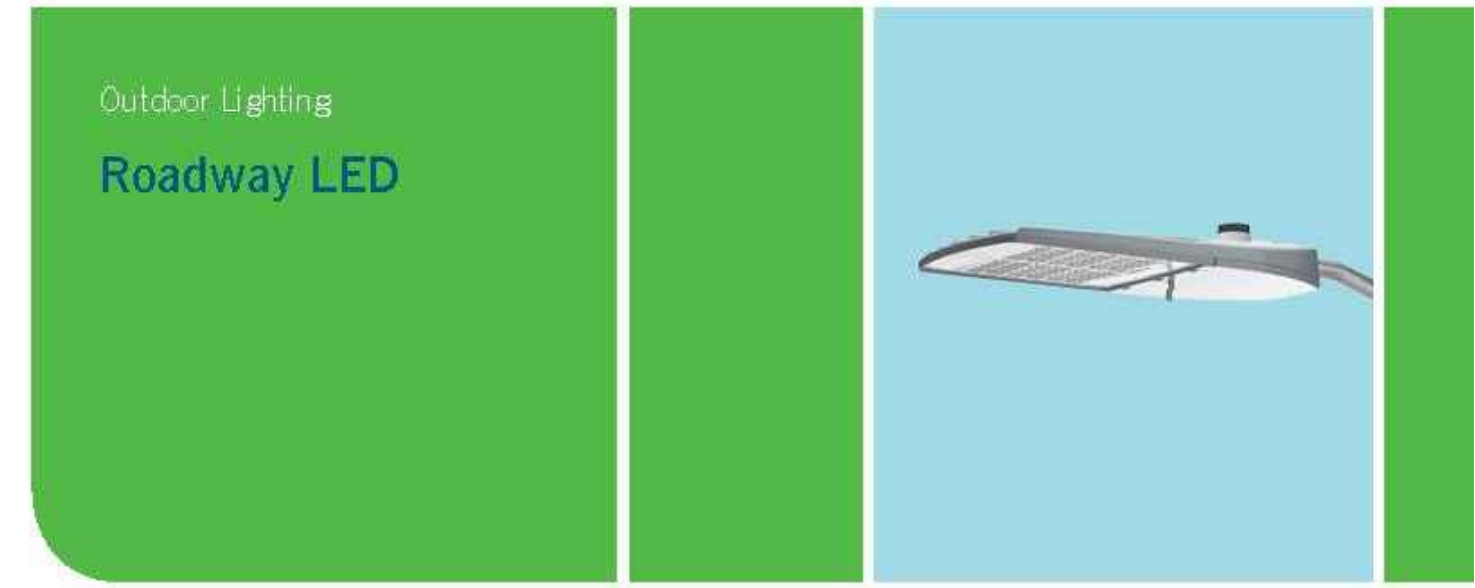
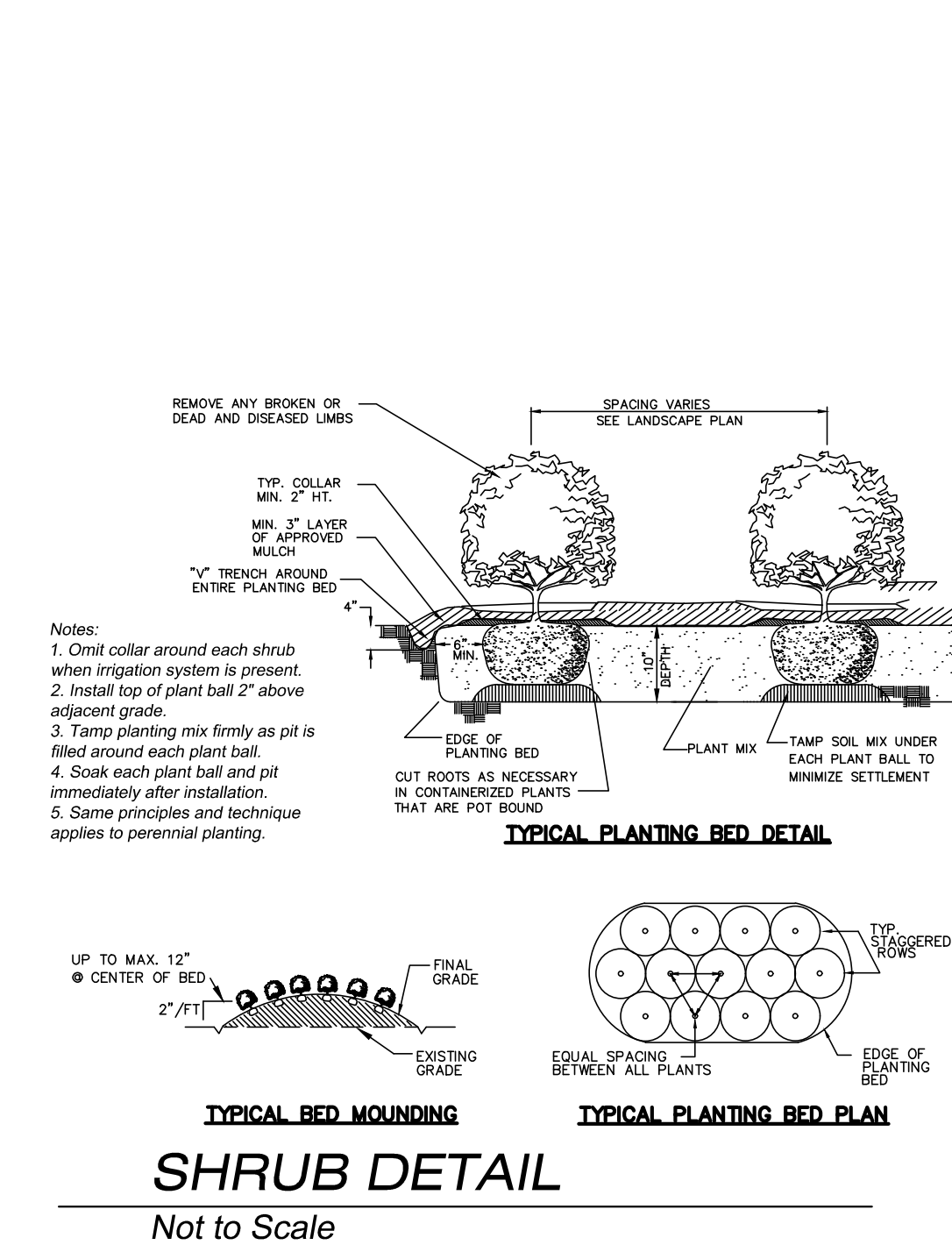
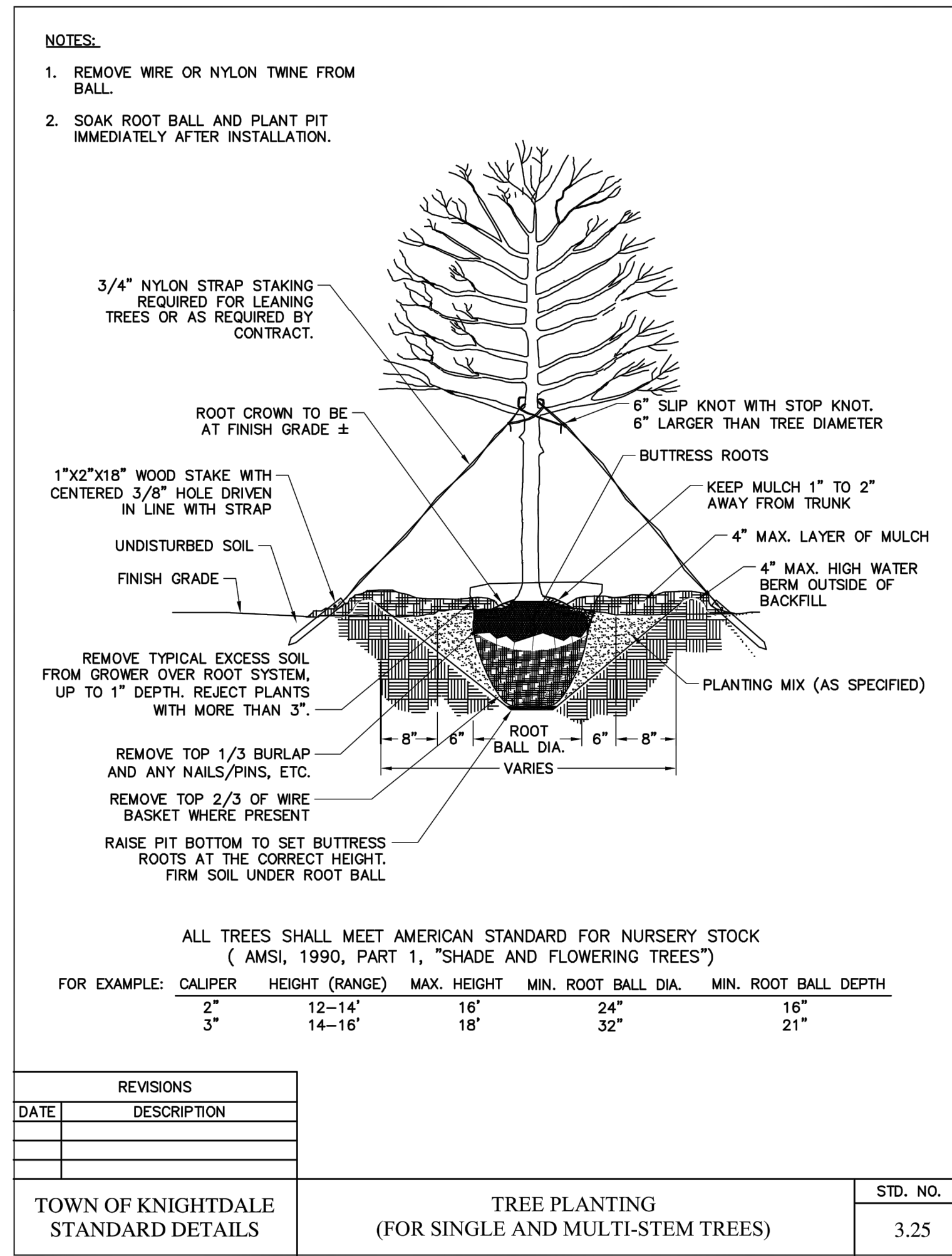
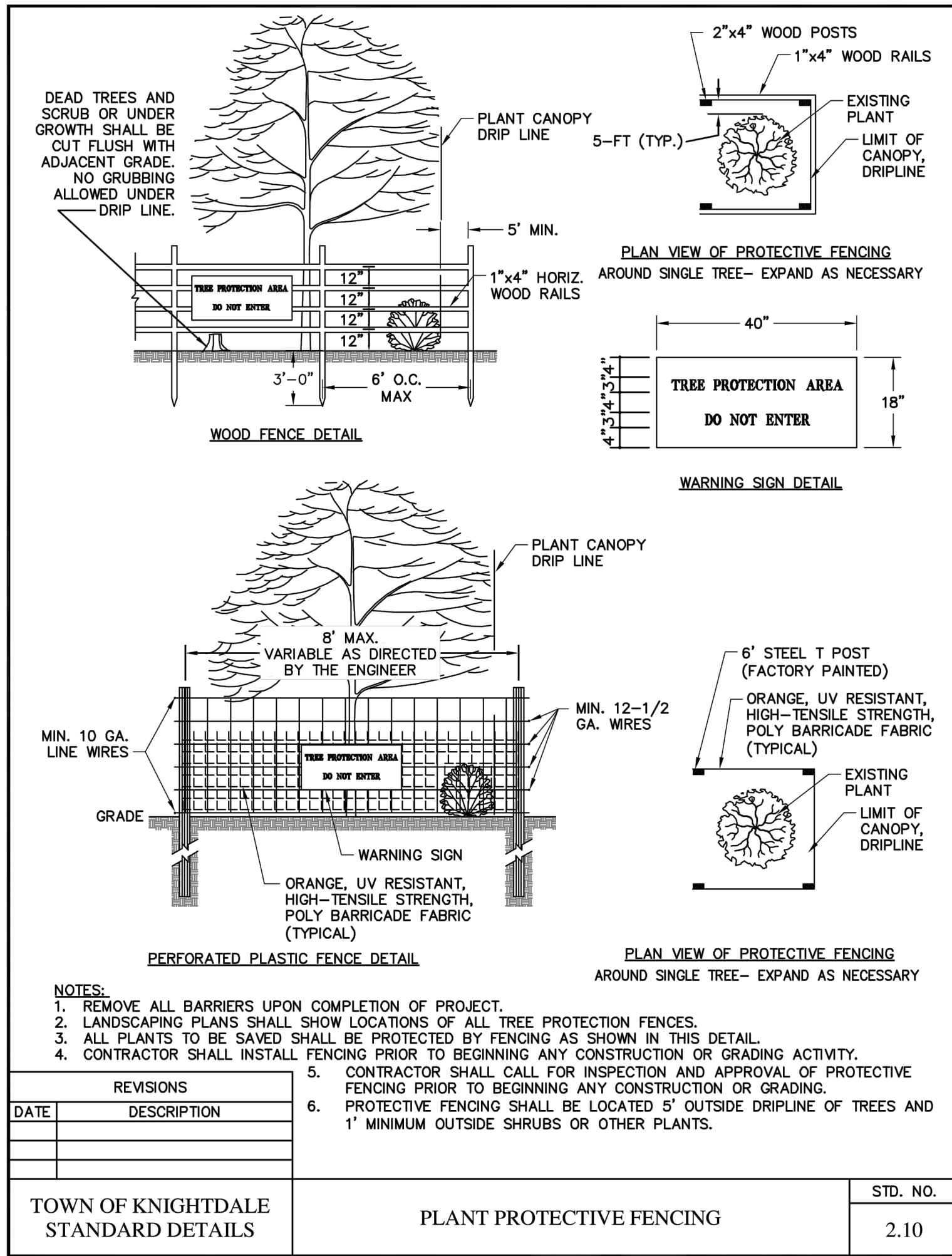
FORESTVILLE VILLAGE

KNIGHTDALE, NC

HERITAGE HOME

PROJECT INFORMATION

PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37-401
ORIGINAL DATE:	02-10-2020
SHEET:	L1.0

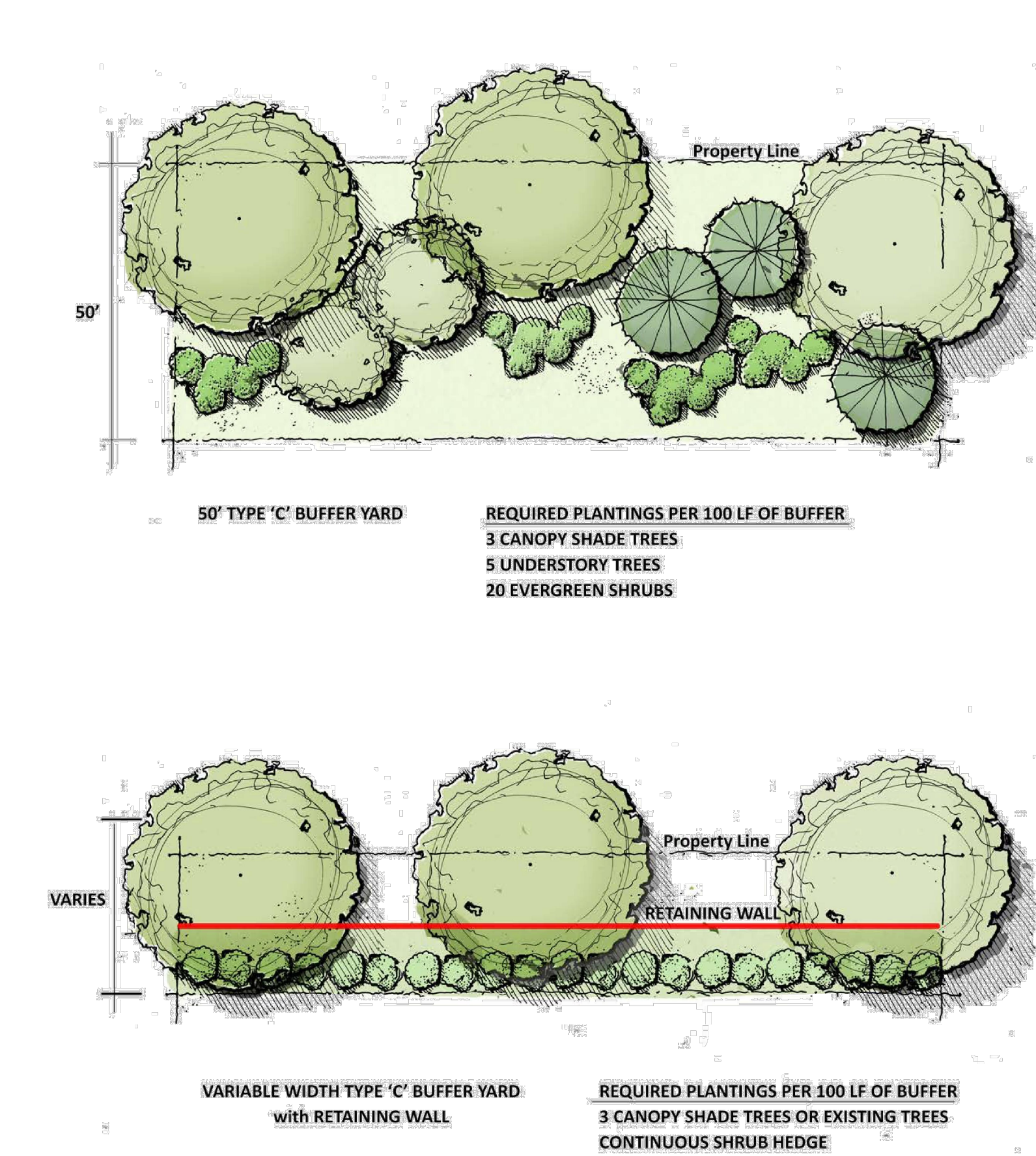


Outdoor Lighting Roadway LED

LED (Light Emitting Diodes)	50 75 105 150 215 280 watts
Mounting heights	25', 30', 35'
Color	Gray, Black
Poles	Fiberglass Metal (special conditions) Wood

The Roadway LED is a green solution and great fit for streets, roads, long, narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose low to medium light output on wood or fiberglass poles for mount on an existing pole. Available with one to four fixtures per pole, depending on the fixture/pole combination selected.

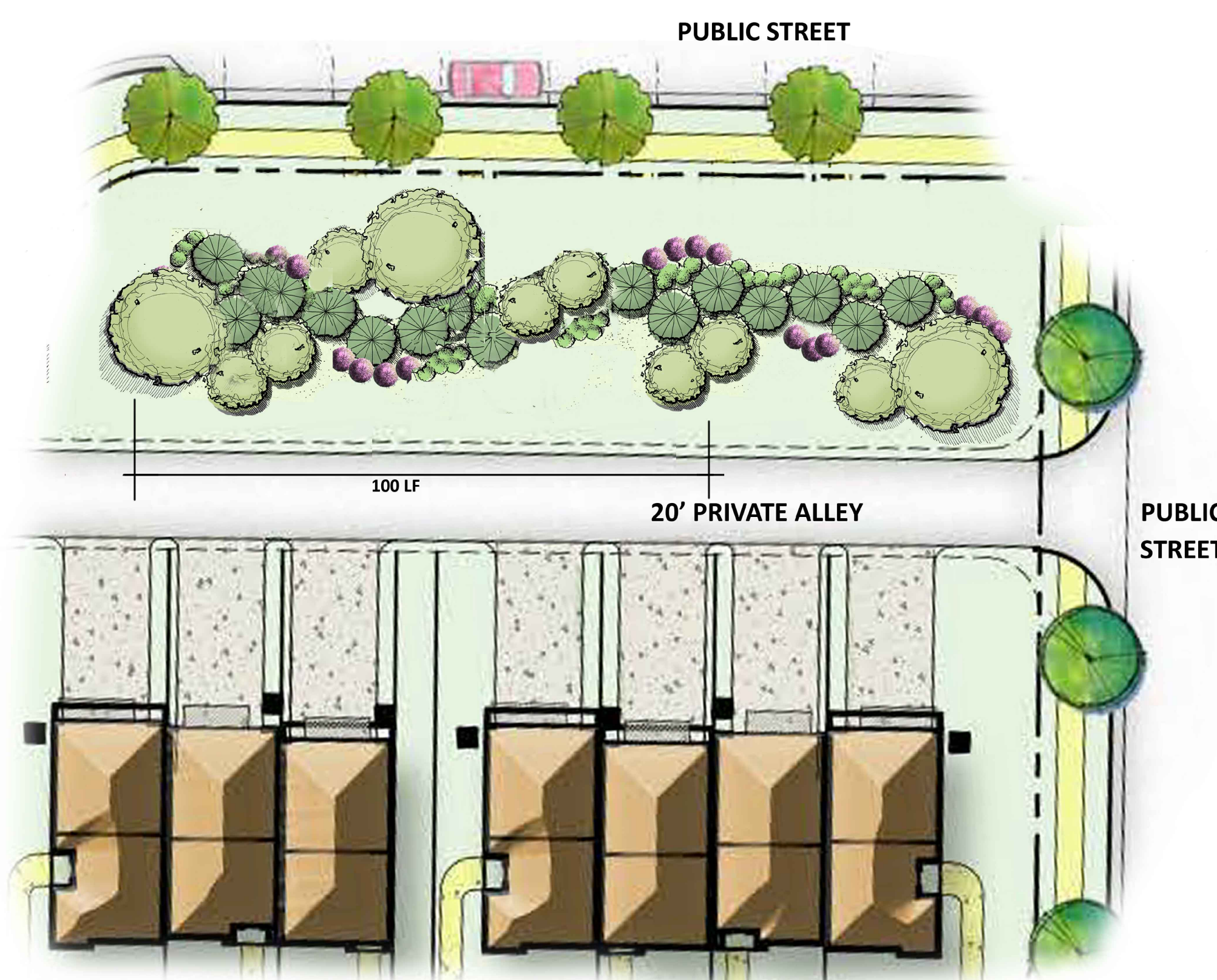
For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.



NOTES:

CANOPY AND UNDERSTORY TREES IN ALL NEW BUFFERS SHALL BE COMPRISED OF AT LEAST 40% BUT NO MORE THAN 60% OF EVERGREEN SPECIES.

SHRUBS SHALL BE A MINIMUM OF 80% EVERGREEN SPECIES.



Outdoor Lighting Roadway LED

Light source: LED (White)
Lumens: 4,907 - 25,050 (Fixture dependent)

Wattage	Light Pattern	IESNA Backlight-Uplight - Glare (BUG) Rating
LED 50	IESNA Type III (medium oval)	B1-U0-G1
LED 75	IESNA Type II (long oval)	B1-U0-G2
LED 105	IESNA Type II (long oval)	B2-U0-G3
LED 150	IESNA Type III (medium oval)	B2-U0-G2
LED 215	IESNA Type II (medium oval)	B3-U0-G3
LED 280	IESNA Type III (medium oval)	B3-U0-G4

Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

Poles available:

Name	Mounting height	Color
Fiberglass	25', 30', 35'	Gray
Fiberglass	25', 30', 35'	Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)*	25', 30', 35'	Gray

Features

- Little or no installation cost
- Design services by lighting professionals included
- Maintenance included
- Electricity included
- Warranty included
- One low monthly cost on your electric bill
- Turnkey operation
- Backed by over 40 years of experience

Benefits

- Frees up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Less expensive than metered service
- Worry-free
- Convenience and savings for you
- Provides hassle-free installation and service
- A name you can trust today... and tomorrow

*2" raised foundation available when required.

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Lighting requirements:

- 250' max average spacing
- 4,900 lumen min. B1, U1, G1 max on local street
- 12,500 lumen min. B2, U2, G2 max on collector street
- Lighting should be placed in a manner to minimize the casting of shadows on sidewalks.
- Lighting shall be placed as far from street trees as the landscaping plan will allow.
- Lights on newly constructed streets shall be alternately staggered on each side of the street wherever possible.
- Lighting shall be placed at all street intersections, in street curves and at the end of any street or cul-de-sac.
- Fiberglass poles
- Costs for upgrades paid by developer



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NO.	DATE	REVISION	FIRST REVIEW COMMENTS
1	08/29/20		

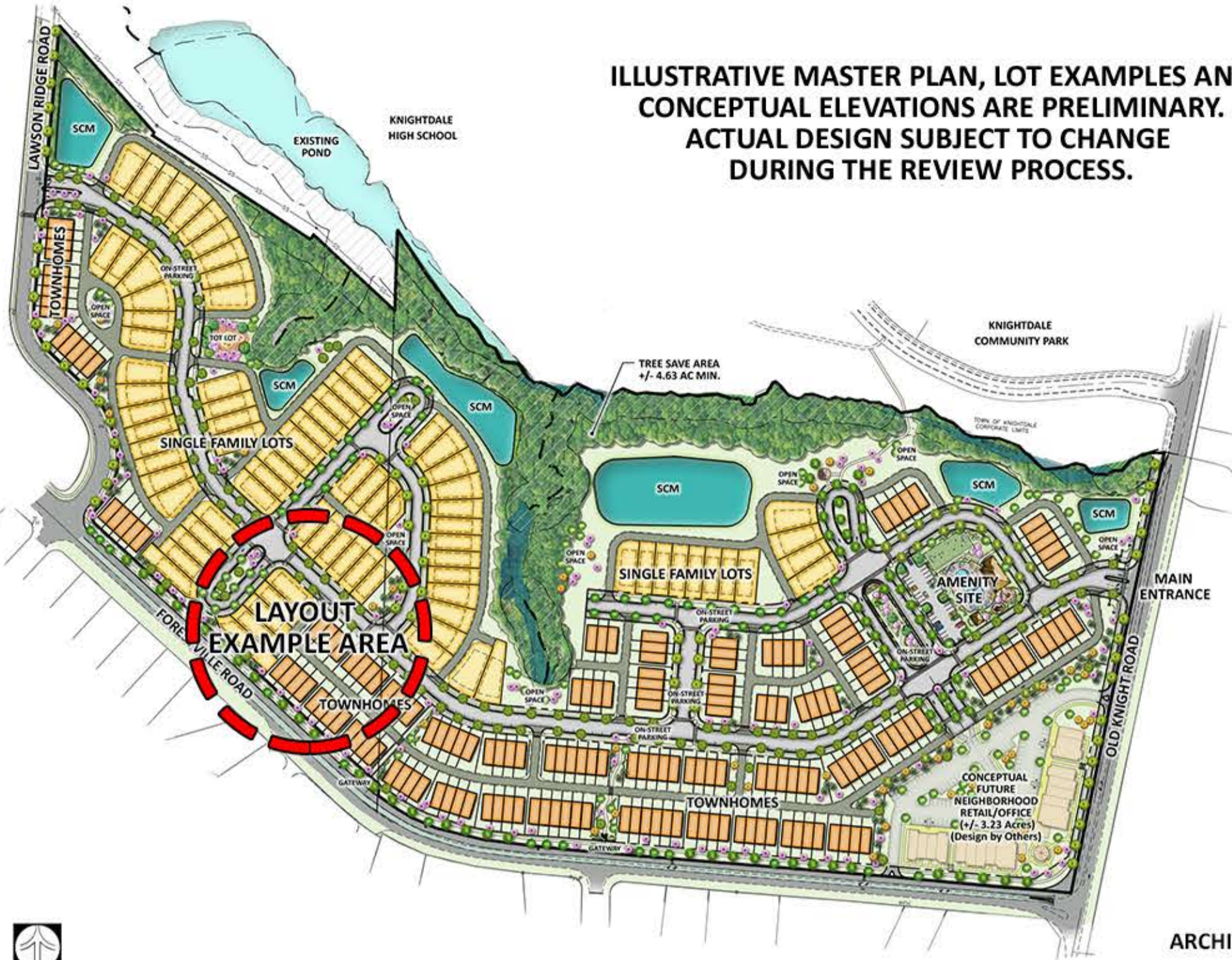
LANDSCAPE AND LIGHTING DETAILS

FORESTVILLE VILLAGE

KNIGHTDALE, NC

MERITAGE HOME

PROJECT INFORMATION	
PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	SM
PROJECT NUMBER:	HR37-401
ORIGINAL DATE:	02-10-2020
SHEET:	L1.1

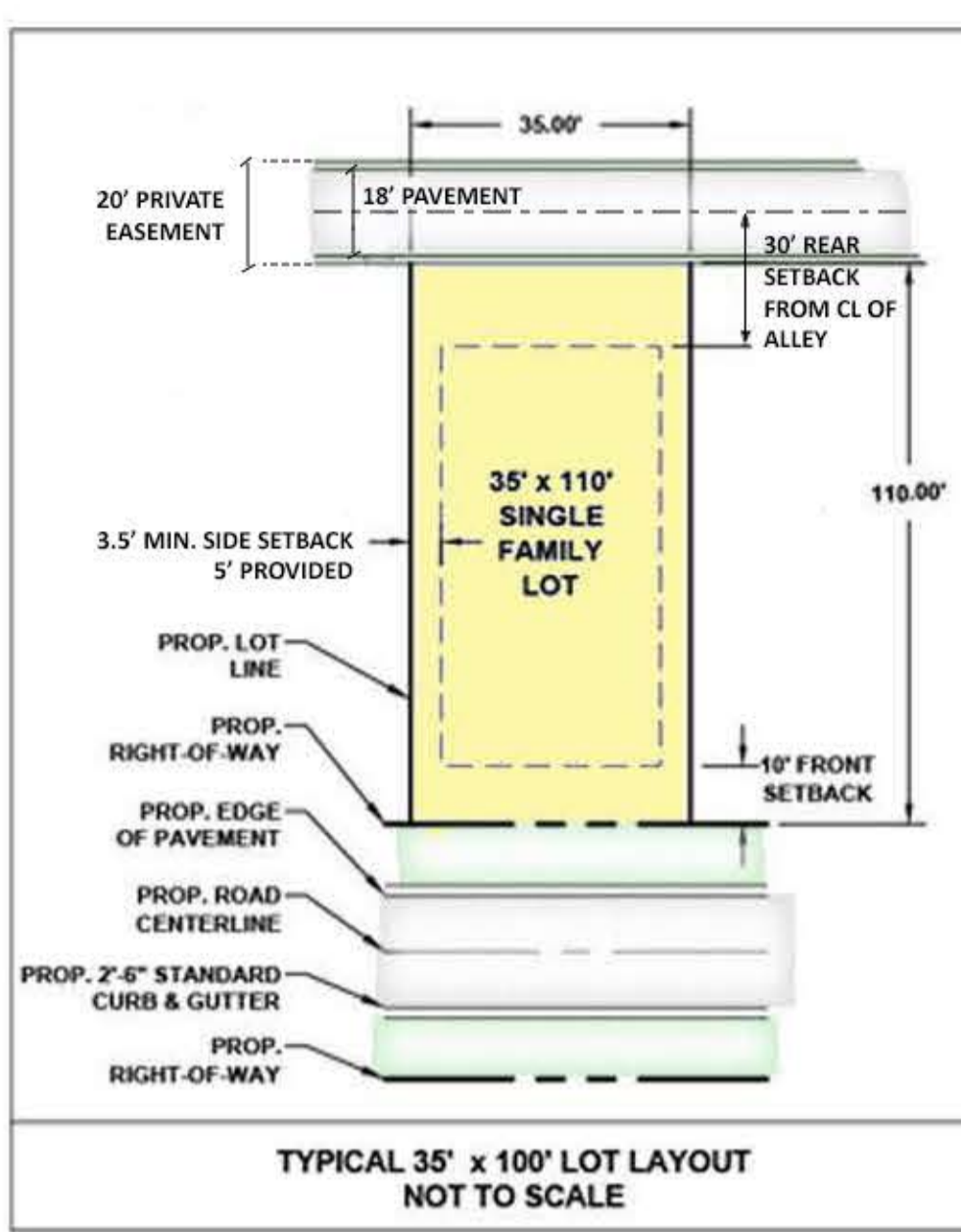


ILLUSTRATIVE MASTER PLAN, LOT EXAMPLES AND CONCEPTUAL ELEVATIONS ARE PRELIMINARY. ACTUAL DESIGN SUBJECT TO CHANGE DURING THE REVIEW PROCESS.



FORESTVILLE VILLAGE ILLUSTRATIVE MASTER PLAN
Not to Scale

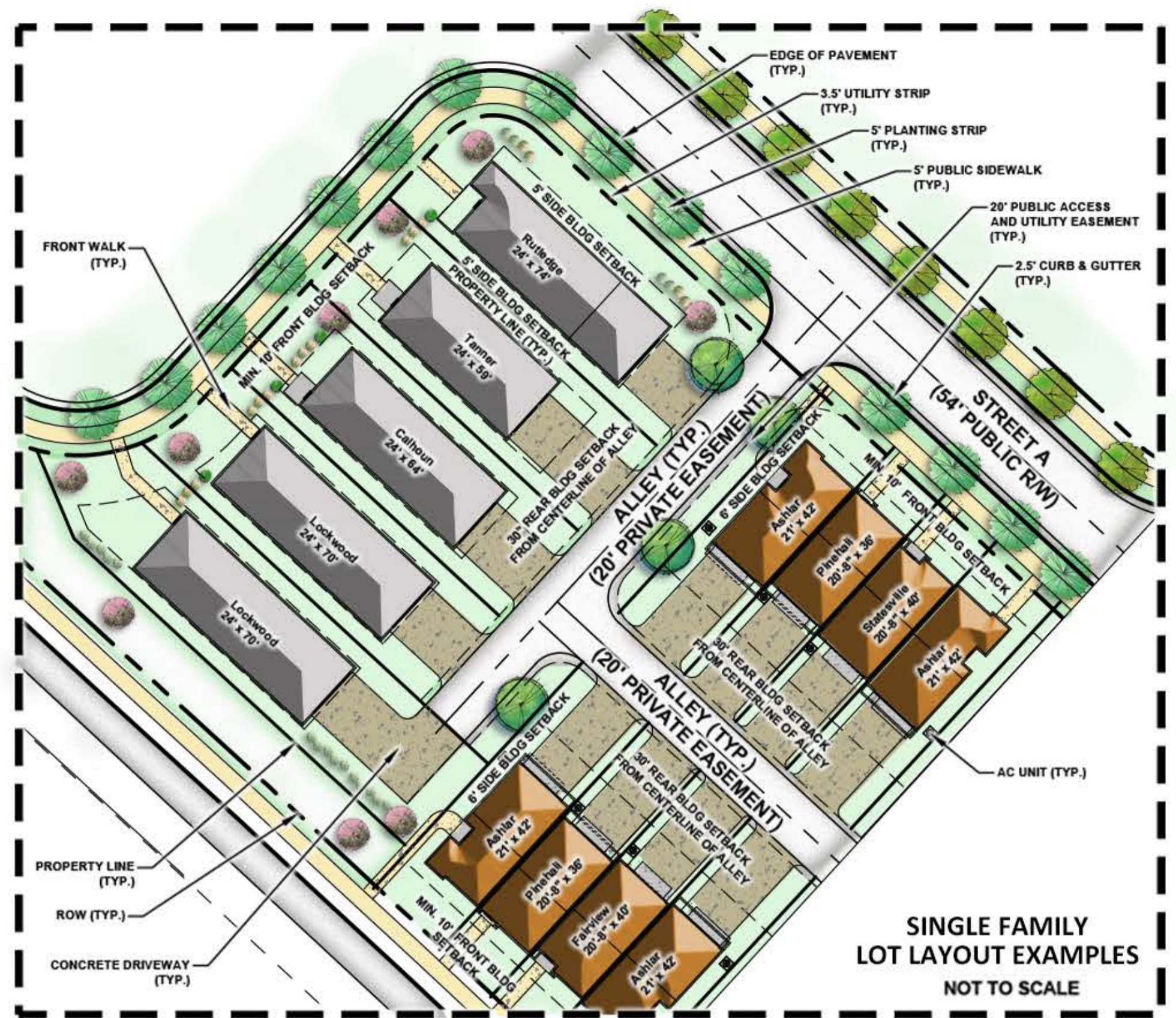
TYPICAL LOT LAYOUT - SINGLE-FAMILY



SETBACKS:
FRONT: 10' MIN
SIDE: 7' MIN (3.5' PER SIDE)
20% OF LOT WIDTH
REAR: 30' FROM CENTERLINE OF ALLEY

ARCHITECTURE ELEMENTS (PER UDO REQUIREMENT)

1. USEABLE PORCHES AND STOOPS ARE AT LEAST SIX (6) FEET DEEP AND EXTEND MORE THAN 50% OF THE FACADE. A MIN. OF 1.5 FEET.
2. TO PROVIDE PRIVACY, ALL FRONT ENTRANCES SHALL BE RAISED FROM THE FINISHED GRADE (AT THE FRONTAGE LINE) A MIN. OF 1.5 FEET.
3. FOUNDATIONS SHALL BE RAISED SLABS, STEM WALL, OR CRAWLS 18" IN HEIGHT AND WRAPPED IN BRICK OR STONE.
4. WALL MATERIALS ARE LIMITED TO WOOD CLAPBOARD, CEMENTIOUS FIBER BOARD, WOOD SHINGLE, WOOD DROP SIDING, PRIMED BOARD, WOOD BOARD AND BATTERN, BRICK, STONE. FRONT FACADES ARE REQUIRED TO BE A MIN. OF 2 OF THE ABOVE MENTIONED MATERIAL TYPES, STONE IS REQUIRED. VINYL PROHIBITED.
5. ROOFS SHALL HAVE A PITCH BETWEEN 6:12 AND 12:12.
6. EAVES SHALL PROJECT 8" - 12".



SINGLE FAMILY LOT LAYOUT EXAMPLES
NOT TO SCALE

REPRESENTATIVE EXAMPLES OF SINGLE FAMILY HOUSE ELEVATIONS
NOTE: THESE ELEVATIONS ARE CONCEPTUAL, ACTUAL COLORS AND MATERIALS MAY CHANGE

RUTLEDGE



ELEVATION: C

TANNER



ELEVATION: C

CALHOUN



ELEVATION: C

LOCKWOOD



ELEVATION: C



ELEVATION: D



ELEVATION: D



ELEVATION: D



ELEVATION: D



ELEVATION: E



ELEVATION: E



ELEVATION: E



ELEVATION: F



ELEVATION: E

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1	03/05/2020	FIRST REVIEW COMMENTS	

ILLUSTRATIVE BUILDING ELEVATIONS EXAMPLES

FORESTVILLE VILLAGE
KNIGHTDALE, NORTH CAROLINA
HERITAGE HOMES

PROJECT INFORMATION	
PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	CL
PROJECT NUMBER:	HR37.400
ORIGINAL DATE:	02-10-2020
SHEET:	A-1.0

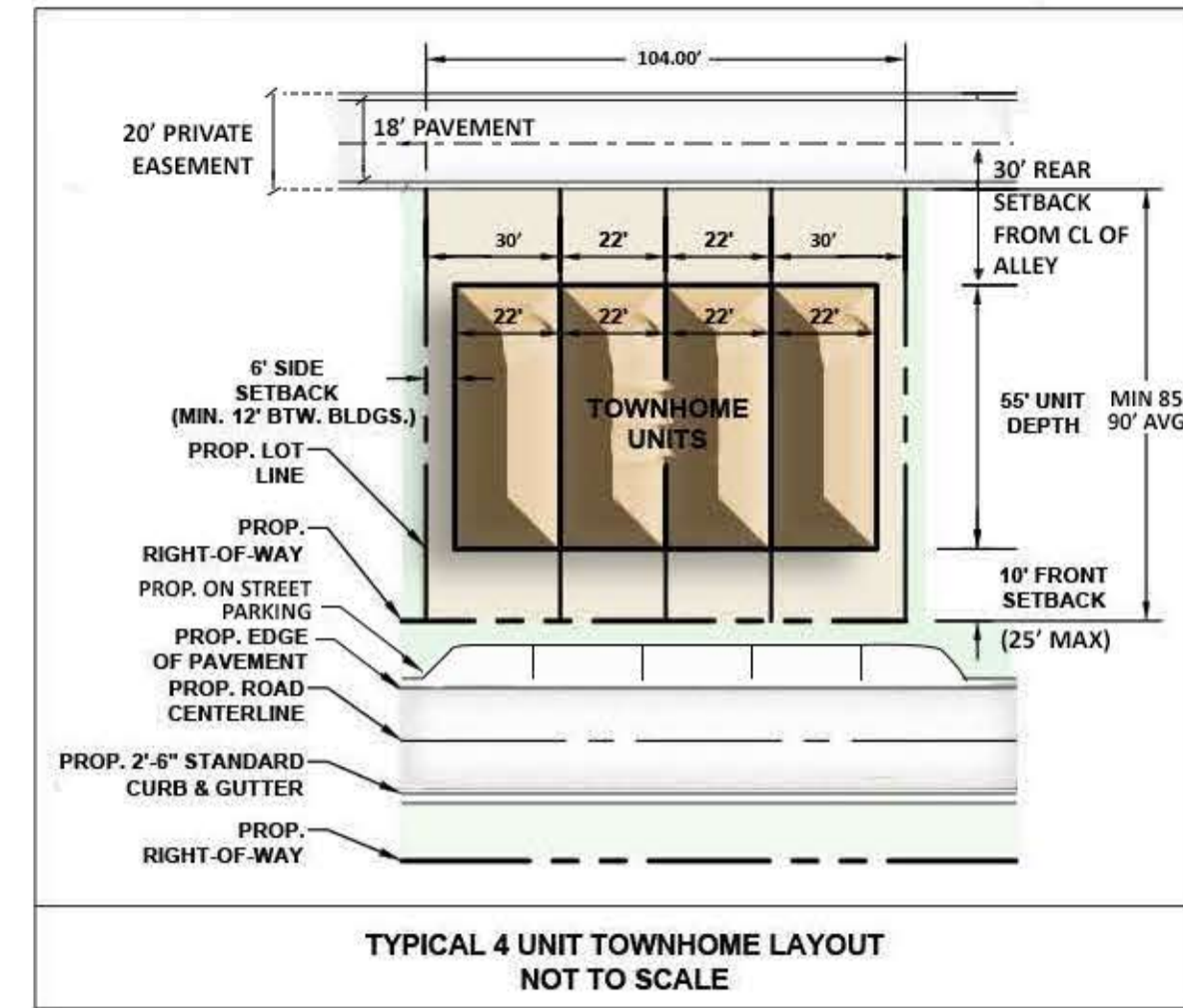


ILLUSTRATIVE MASTER PLAN, LOT EXAMPLES AND CONCEPTUAL ELEVATIONS ARE PRELIMINARY. ACTUAL DESIGN SUBJECT TO CHANGE DURING THE REVIEW PROCESS.



FORESTVILLE VILLAGE ILLUSTRATIVE MASTER PLAN
Not to Scale

TYPICAL LOT LAYOUT - TOWNHOMES



ARCHITECTURE ELEMENTS (PER UDO REQUIREMENT)

1. TOWNHOME BUILDINGS SHALL HAVE DOORS, USABLE PORCHES AND STOOPS, BALCONIES, TERRACES AND/OR WINDOWS ON ANY FACADE CLEARLY VISIBLE FROM A PUBLIC RIGHT-OF-WAY.
2. TO PROVIDE PRIVACY, ALL FRONT ENTRANCES SHALL BE RAISED FROM THE FINISHED GRADE (AT THE FRONTAGE LINE) A MIN. OF 1.5 FEET.
3. FOUNDATIONS SHALL BE RAISED SLABS OR CRAWLS 18" IN HEIGHT AND WRAPPED IN BRICK OR STONE.
4. WALL MATERIALS ARE LIMITED TO WOOD CLAPBOARD, CEMENTIOUS FIBER BOARD, WOOD SHINGLE, WOOD DROP SIDING, PRIMED BOARD, WOOD BOARD AND BATTER, BRICK, STONE. FRONT FACADES ARE REQUIRED TO BE A MIN. OF 2 OF THE ABOVE MENTIONED MATERIAL TYPES, STONE IS REQUIRED. VINYL PROHIBITED.
5. ROOFS SHALL HAVE A PITCH BETWEEN 6:12 AND 12:12.
6. EAVES SHALL PROJECT 8" - 12".
7. DESIGN DEALS FOR ENTRANCES, BUILDING OFF-SETS, FACADES, AND ROOF FOUND IN SEC 5.8.C.4.
8. ALL FRONT DOORS WILL HAVE WINDOW INSERT.

SETBACKS:

- FRONT: 10' MIN, 25' MAX
- SIDE: 12' MIN (6' PER SIDE)
- REAR: 30' FROM CENTERLINE OF ALLEY



TOWNHOME LAYOUT EXAMPLE
NOT TO SCALE

REPRESENTATIVE EXAMPLES OF TOWNHOME ELEVATIONS

NOTE: THESE ELEVATIONS ARE CONCEPTUAL, ACTUAL COLORS AND MATERIALS MAY CHANGE



CONCEPTUAL TOWNHOME ELEVATIONS
FOR UNITS FACING FORESTVILLE ROAD



CONCEPTUAL TOWNHOME ELEVATIONS
FOR INTERIOR TOWNHOME UNITS

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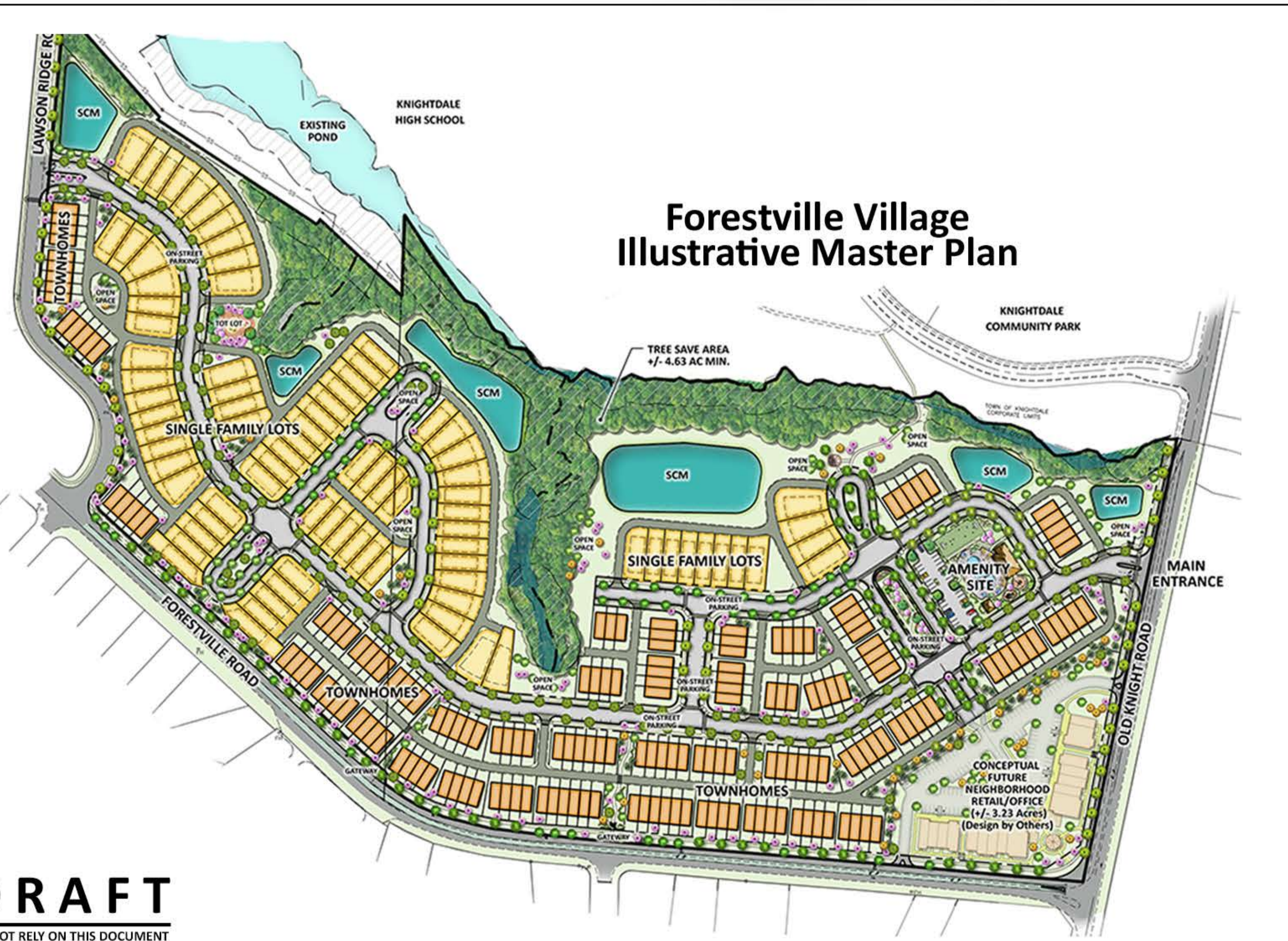
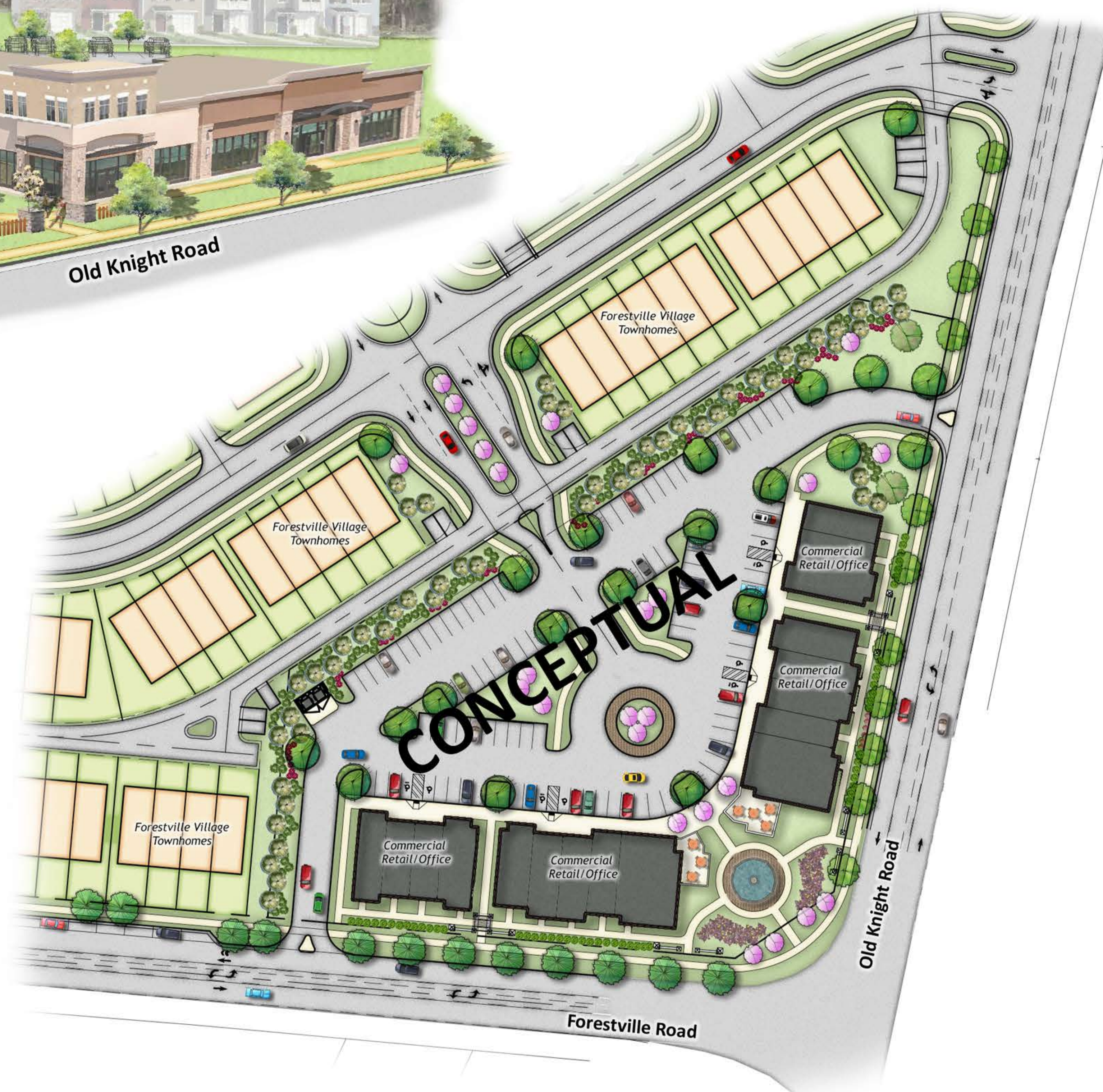
ILLUSTRATIVE BUILDING
ELEVATIONS EXAMPLES

FORESTVILLE VILLAGE
KNIGHTDALE, NORTH CAROLINA

HERITAGE HOMES

PROJECT INFORMATION	
PROJECT MANAGER:	AA
DESIGNED BY:	KM
DRAWN BY:	CL
PROJECT NUMBER:	HR37.400
ORIGINAL DATE:	02-10-2020

SHEET:
A-1.1



**Forestville Village
Illustrative Master Plan**

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**Forestville Village
Commercial Parcel Exhibit**

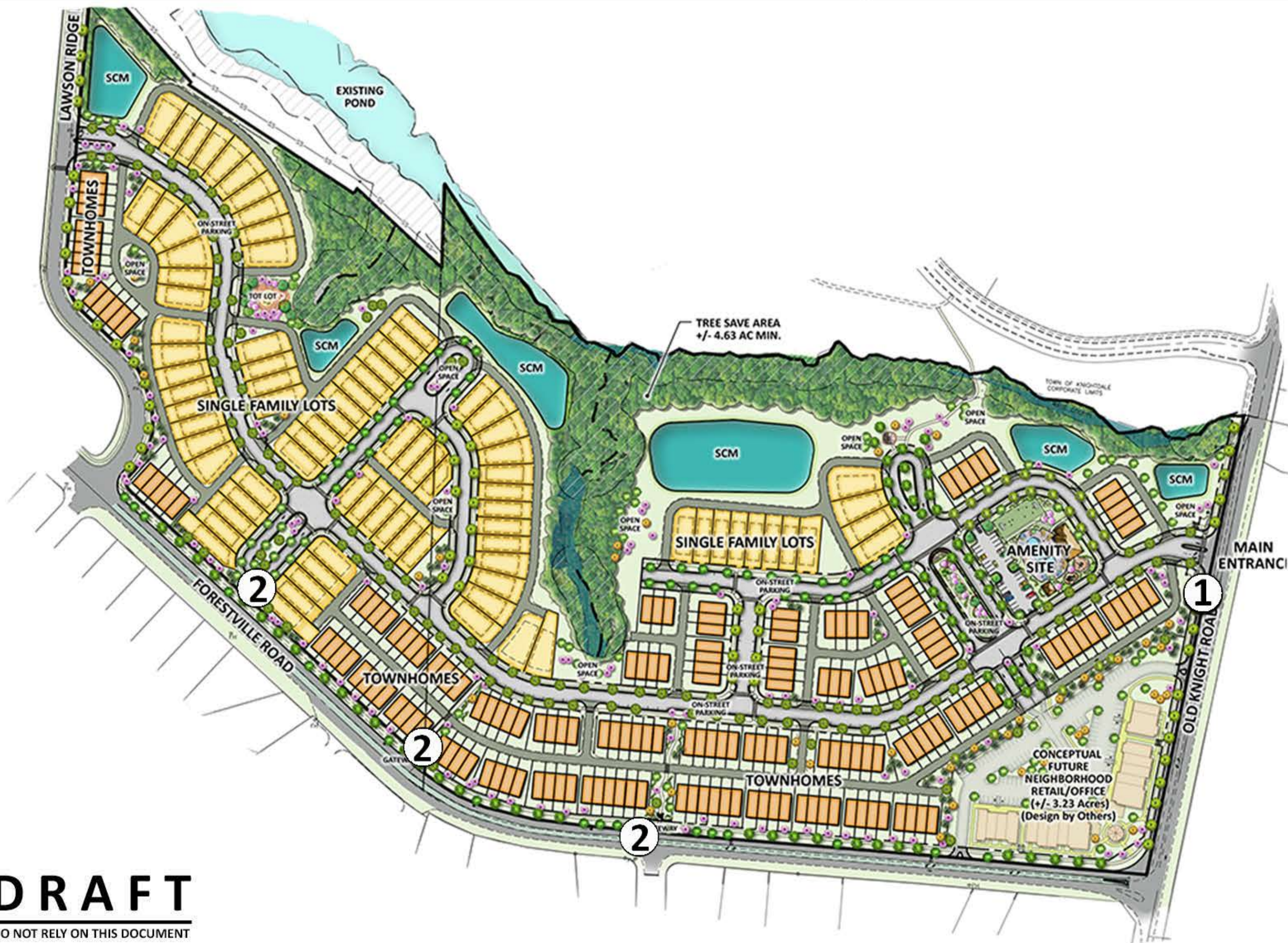
ESP Job #HR37 February 10, 2020

Illustrative renderings are conceptual.
Actual design, location, and features
subject to change.

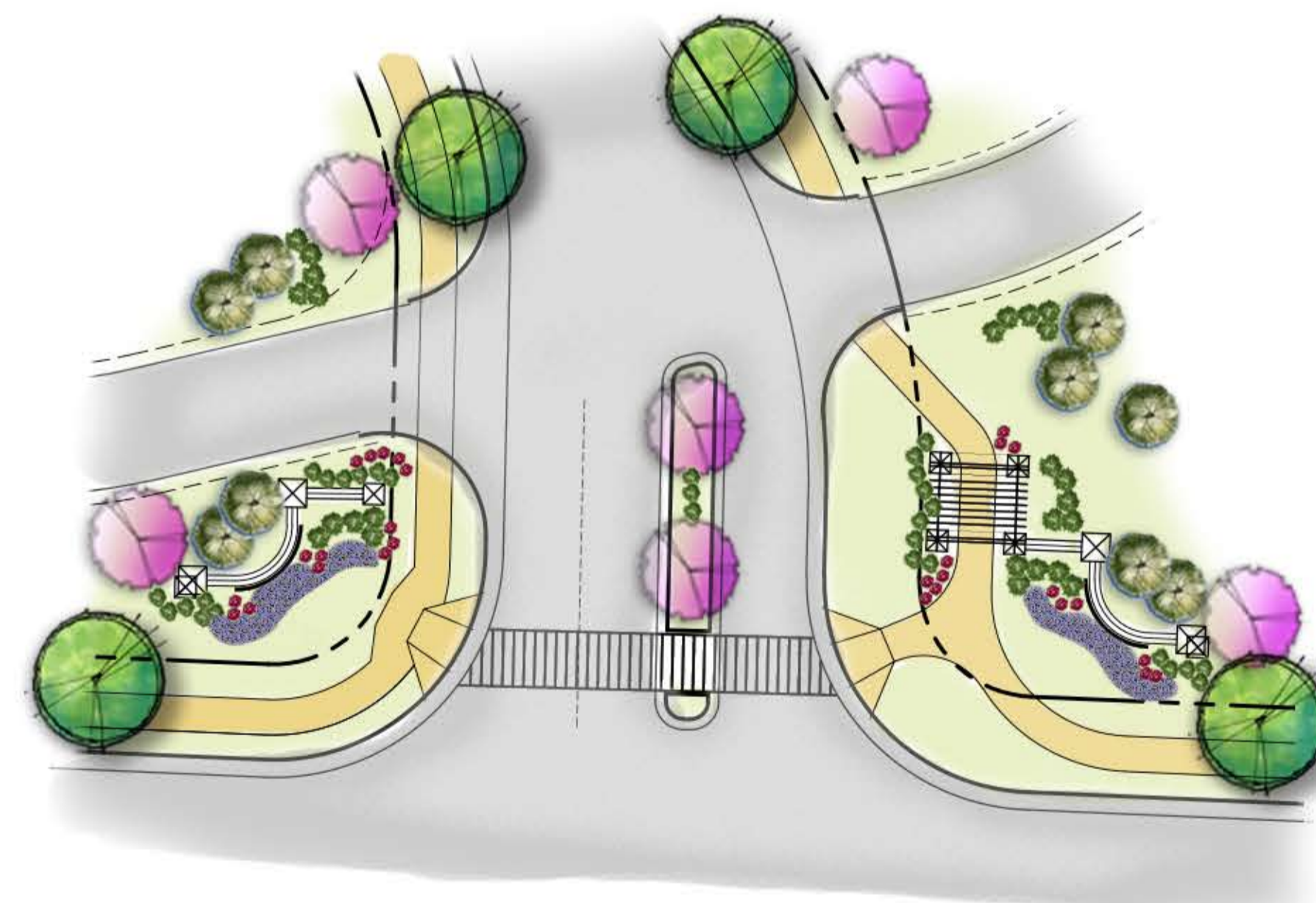




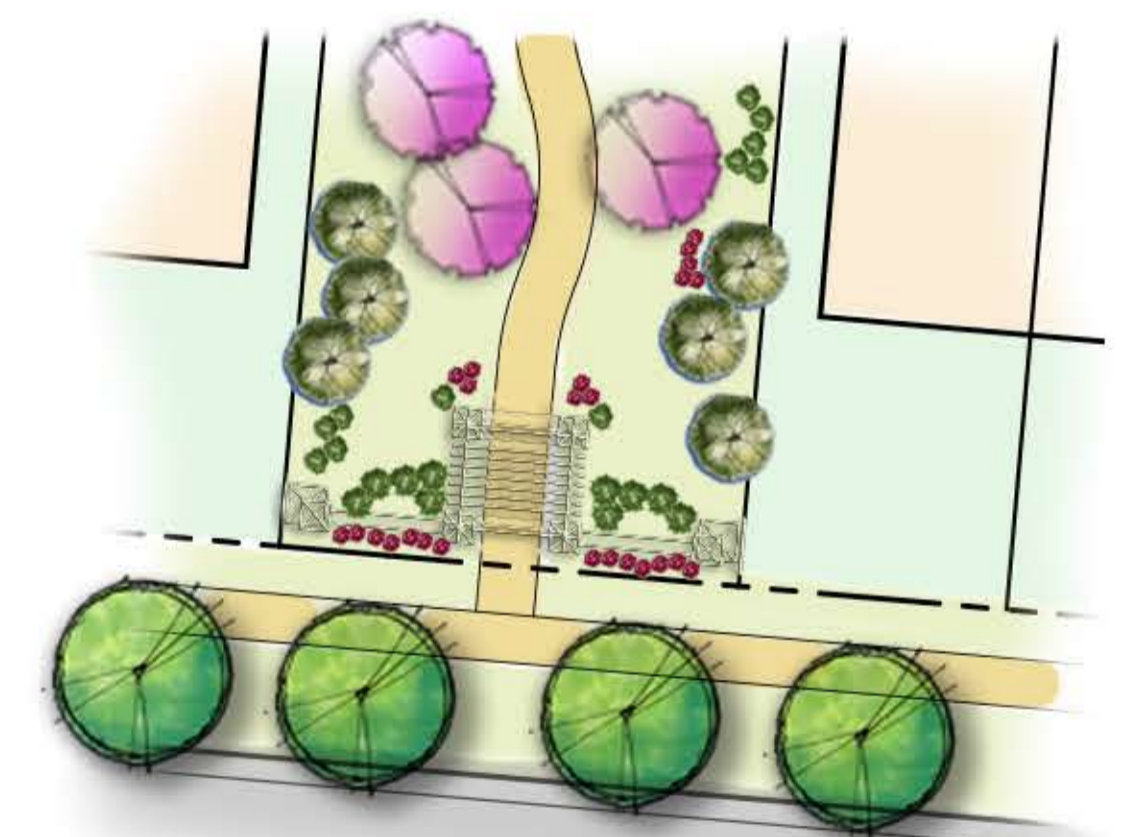
ENTRY MONUMENT AT MAIN ENTRANCE



NOTE:
CONCEPTUAL HARDSCAPE AND LANDSCAPE DESIGN.
ACTUAL PLANTING PLAN TO BE PRODUCED DURING C.D. REVIEW.



1 ENTRY MONUMENT AT MAIN ENTRANCE



2 PEDESTRIAN GATEWAY

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Forestville Village Entry Monument Exhibits

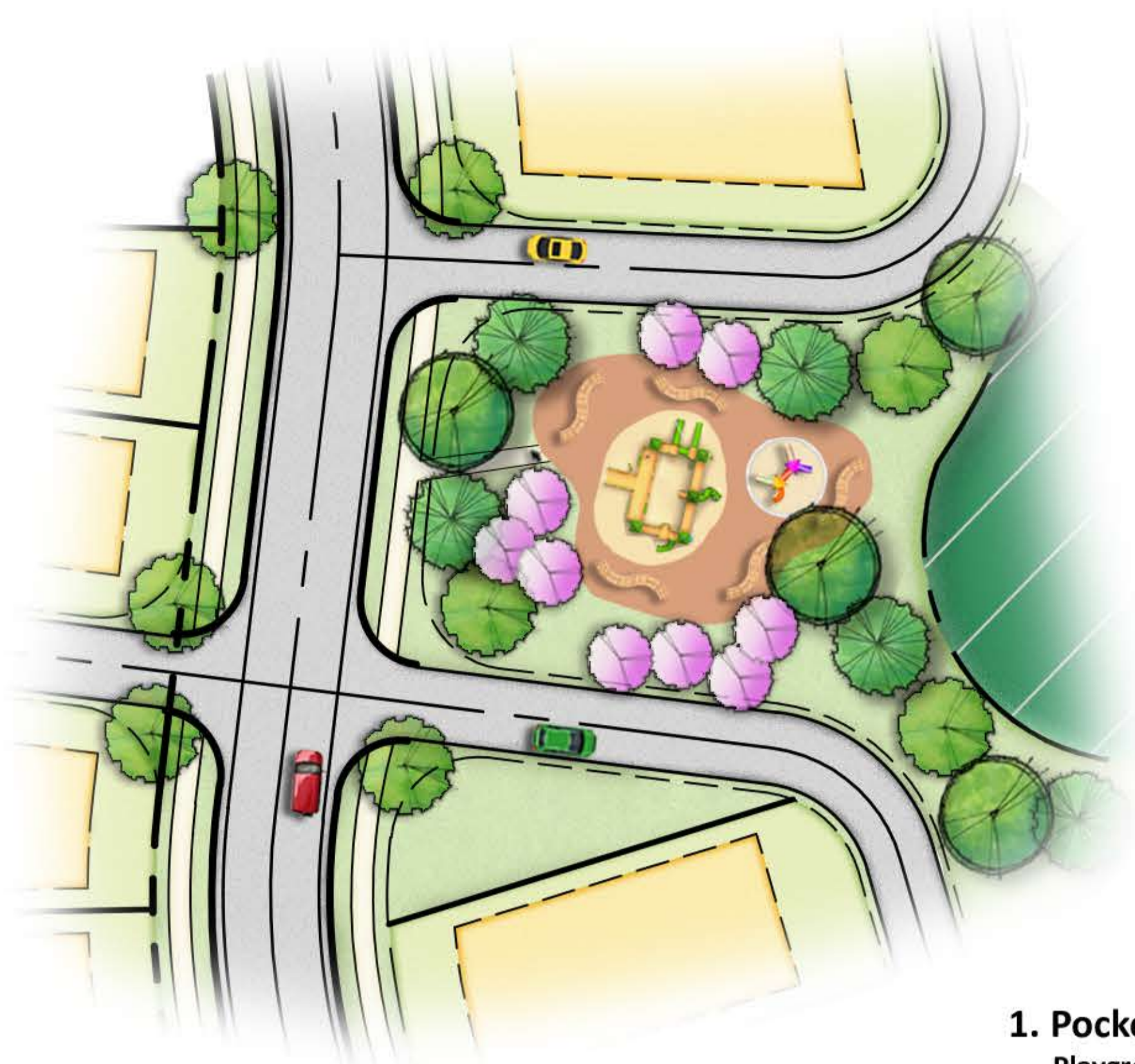
ESP Job #HR37

February 10, 2020

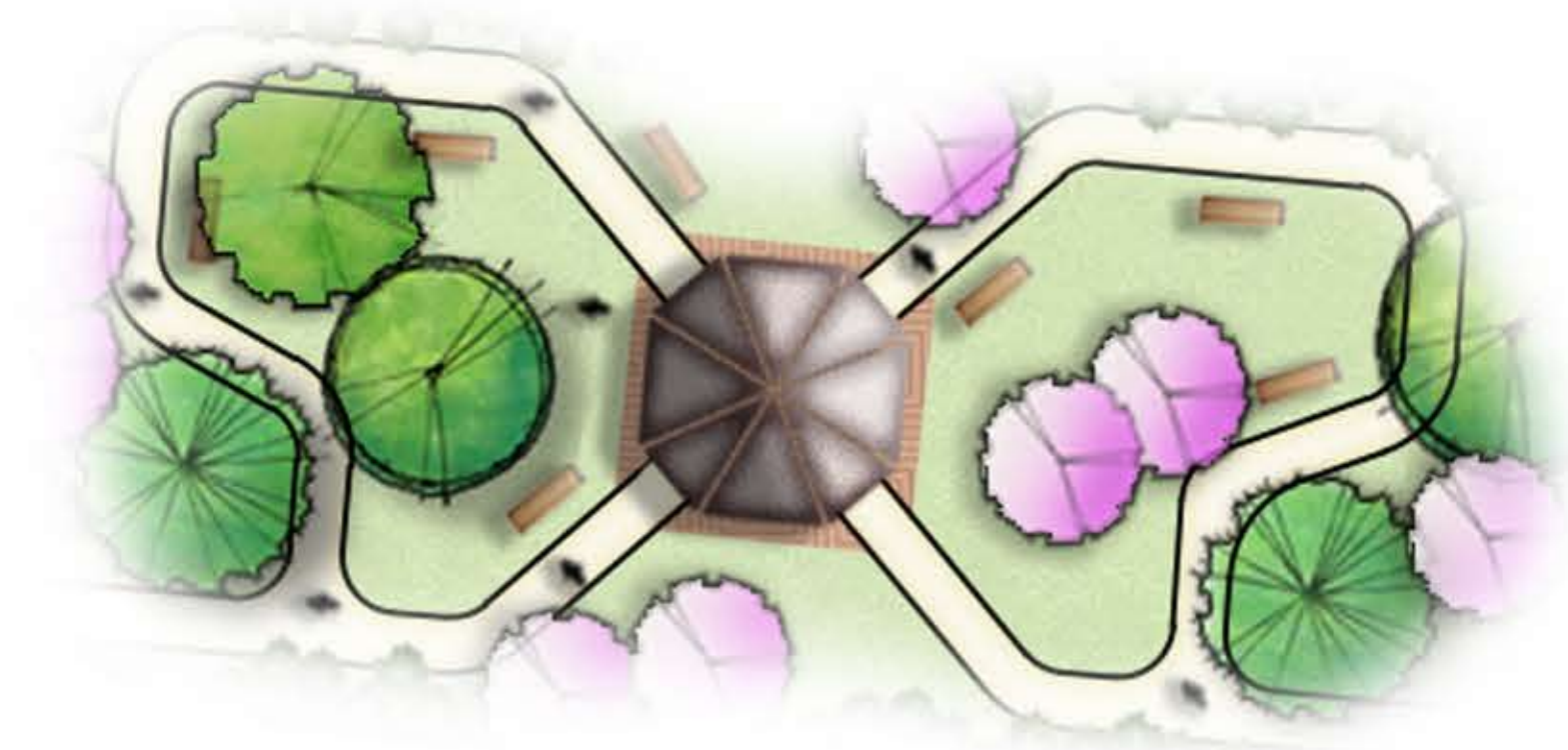
Illustrative renderings are conceptual
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subject to change.



EX-2



1. Pocket Park
Playground, Seating



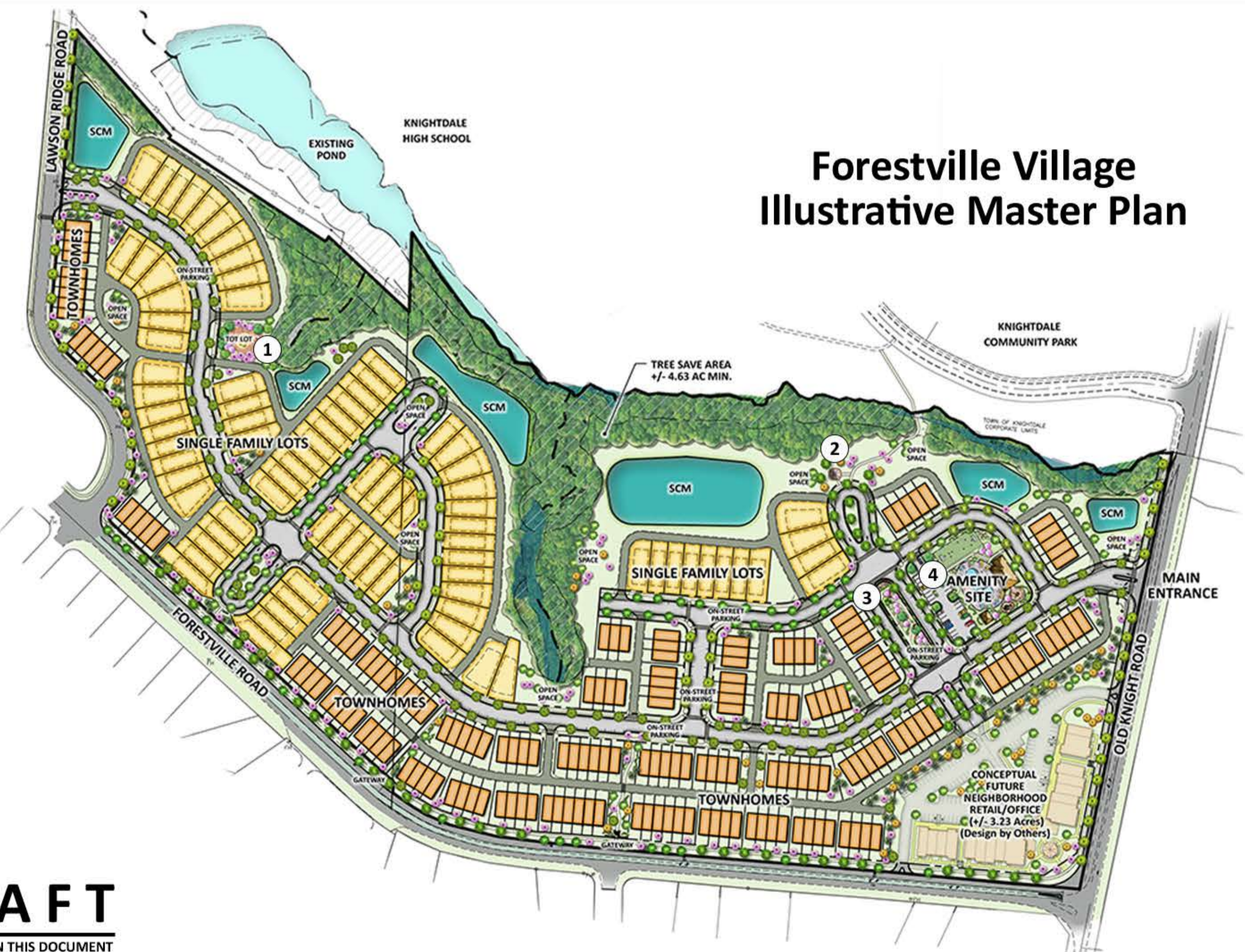
2. Trailhead Gathering Space
Gazebo, walking path, Seating



4. Amenity Center
Conceptual amenity center. Actual design to be produced during C.D. review. Amenity center will have the following committed elements:

- clubhouse
- pool
- mail kiosk,
- open play field
- playground
- gathering space
- parking

N.T.S.



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