



Town of Knightdale

Staff Report Cover Sheet

Title: ZMA-12-20 – Forestville Yard

Staff: Kevin Lewis, Senior Planner

Date: February 16, 2022

PURPOSE

- The purpose of this staff report is to provide an overview of a Zoning Map Amendment for the proposed Forestville Yard Planned Unit Development. Curry Engineering, on behalf of Envision Homes, has submitted an application requesting a Zoning Map Amendment to rezone approximately 26.60 acres located 1008 Old Knight Road, identified by Wake County PINs 1754-68-7706, 1754-69-5569, and 1754-79-0018, from Rural Transition (RT) to Residential Mixed Use Planned Unit Development (RMX-PUD) to allow for the construction of a 137-lot single-family and townhome subdivision.

STRATEGIC PLAN PRIORITY AREA(S)

- Connected & Inclusive

GENERAL STATUTE REFERENCE(S), if applicable

- N.C.G.S. 160D-605

TYPE OF PUBLIC HEARING, if applicable

- Legislative

FUNDING SOURCE(S), if applicable

- N/A

ATTACHMENT(S)

- Staff Report
- PUD Document with Elevations
- Master Plan
- Neighborhood Meeting Information
- Ordinance #22-02-16-003

STAFF RECOMMENDATION

- Approve ZMA-12-20 and adopt the recommended advisory statement describing plan consistency and reasonableness of action
- Adopt Ordinance #22-02-16-003

Knightsdale Strategic Priorities



Safe



Connected & Inclusive



Sustainable



Active & Healthy



Organizational Excellence



Town of Knightdale

Staff Report

Title: Forestville Yard (ZMA-12-20)

Staff: Kevin Lewis, Senior Planner

Date: February 16, 2022

Director Signature: JB

Asst. Town Manager Signature:

Town Manager Signature:

I. REQUEST:

Curry Engineering, on behalf of Envision Homes, has submitted an application requesting a Zoning Map Amendment to rezone approximately 26.60 acres located at 1008 Old Knight Road, identified by Wake County PINs 1754-68-7706, 1754-69-5569, and 1754-79-0018, from Rural Transition (RT) to Residential Mixed Use Planned Unit Development (RMX-PUD) to allow for the construction of a 137-lot single-family and townhome subdivision.

II. PROJECT PROFILE:

PROPERTY LOCATION:	1008 Old Knight Road
WAKE COUNTY PINs:	1754-68-7706, 1754-69-5569, and 1754-79-0018
CURRENT ZONING DISTRICT:	Rural Transition (RT)
CURRENT DENSITY ALLOWED:	0.5 units per acre
PROPOSED ZONING DISTRICT:	Residential Mixed Use Planned Unit Development (RMX-PUD)
DENSITY PERMITTED:	18 units per acre
NAME OF PROJECT:	Forestville Yard
APPLICANT:	Andy Petty, Curry Engineering
PROPERTY OWNER:	Michael D Watson & Meredith Watson
DEVELOPER:	Josh Swindell, Envision Homes
PROPERTY SIZE:	26.60 acres
CURRENT LAND USE:	Vacant/Undeveloped
PROPOSED LAND USE:	98 rear-loaded single-family lots and 39 townhome units
PROPOSED DENSITY:	5.5 units per acre
PROPOSED OPEN SPACE:	4.57 acres

III. BACKGROUND INFORMATION:

The Planned Unit Development District (PUD) is a re-zoning process which is designed to encourage master planning of development and to coordinate such development so as to manage the impacts of the development on the provision of Town Services and infrastructure. The PUD encourages creativity and innovation in the design of developments, but in return for this flexibility the expectation is for communities to provide exceptional design, character, and quality; provide high quality community amenities; incorporate creative design in the layout of buildings; ensure compatibility with surrounding land uses and neighborhood character; encourage the creation of mixed density neighborhoods, neighborhood nodes, and mixed use centers; further the goals of the KnightdaleNext 2035 Comprehensive Plan including the Growth Framework and Growth & Conservation maps; and provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure.

There are several provisions which are required to be addressed by the applicant in the PUD, including, but not limited to design guidelines, proposed alternative means of compliance, dimensional standards, public facilities,



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recreational open space, and Comprehensive Plan consistency. The applicant's specific exceptions are detailed in **Section VIII** of this staff report.

IV. PROJECT SETTING – SURROUNDING ZONING DISTRICTS AND LAND USES:

The proposed rezoning features three parcels, located at 1008 Old Knight Road, east of the terminus of Forestville Road. The assemblage is located within the Town's Extra Territorial Jurisdiction and, if approved, would require annexation into Corporate Limits.

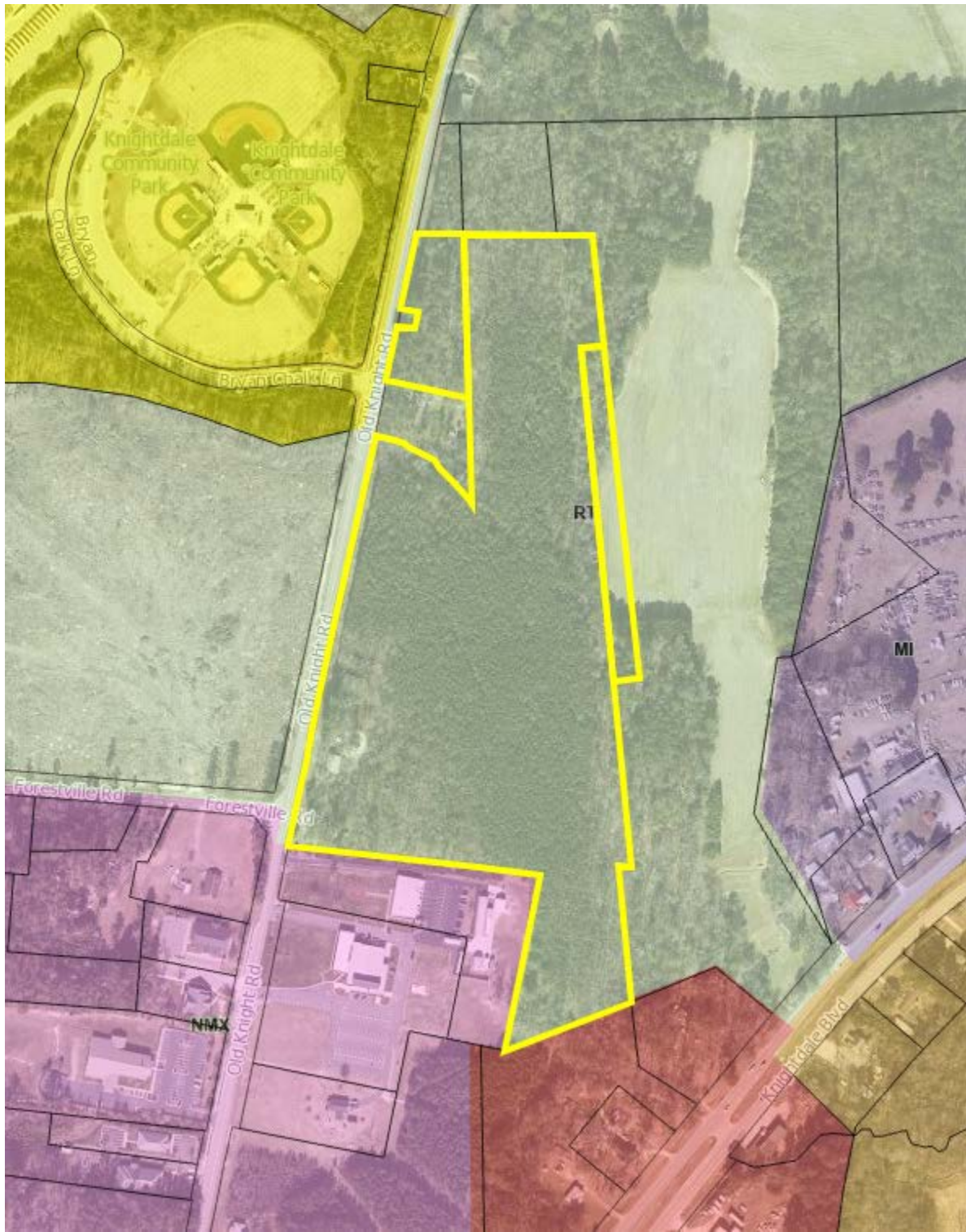
DIRECTION	LAND USE	ZONING
North	Residential/Vacant	RT
South	Residential/Commercial	HB/NMX
East	Vacant/Farm	RT
West	Residential/Knightdale High School	NMX/GR8





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V. JOINT PUBLIC HEARING SUMMARY:

A Joint Public Hearing was held on November 18, 2021, to present this case to the Knightdale Town Council and Land Use Review Board. Council, LURB members, the applicant, and Staff discussed the housing product, open spaces, non-residential space, sidewalk gaps, and gateway elements at Old Knight and Forestville Roads.

The applicant has provided additional information and responses to the concerns heard at the Joint Public Hearing.

1. Housing Product

- a. **Public Hearing Concern:** Council expressed concern for the proposed housing product, including the foundation types, building and lot widths, driveway length, and design of front porches.
- b. **Applicant Response:** Raised foundations add cost, which is passed along to the buyer. However, the builder has committed to providing 18” raised foundations for single-family homes and 12” raised foundations for townhomes, wrapped in brick or stone on all sides. Additionally, front porches will be provided for all single-family and townhome units.
- c. **Staff Analysis:** These updates are generally consistent with other recently approved land use cases. The remaining architectural conditions proposed are also consistent and would help to ensure future housing ages well over time.





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2. Open Spaces

- a. **Public Hearing Concern:** Discussion on this topic centered around what can be counted as passive open spaces. SCMs alone do not meet the spirit and intent of a passive open space, what additional elements can be provided?
- b. **Applicant Response:** There are two SCMs on site, both of which are proposed as passive open spaces. The applicant is showing walking trails, benches, and fountains in and around these SCMs for future residents to utilize.
- c. **Staff Analysis:** The UDO states that passive open spaces are intended to be used for recreational purposes such as “walking, jogging, cycling, relaxation, and public enjoyment and appreciation of natural resources.” The proposed design of these passive open spaces is consistent with the UDO and other development across Knightdale.



3. Non-Residential Development

- a. **Public Hearing Concern:** Council shared that it would be ideal if small scale retail/commercial space could be added to this location, close to the intersection of Old Knight and Forestville Roads, to encourage small, locally owned businesses supported by new residents.
- b. **Applicant Response:** The development team has focused on creating a residential development, which they feel is consistent with the Mixed-Density Neighborhood Place Type called for at this location.
- c. **Staff Analysis:** The Growth & Conservation Map designated these parcels as Mixed-Density Neighborhood, which is consistent with what is being proposed. A Neighborhood Node at the Knightdale Community Park and Community Center is located further north.

LEGEND

Corporate Limits	Street Centerlines
Target Investment Area	Knightdale Next Study Area
Rural Planning Area	Major Roads
Extraterritorial Jurisdiction (Expansion Area)	Growth Activity Center
Floodprone Areas	Priority Investment Area Around Activity Centers
Old Town	Neighborhood Node



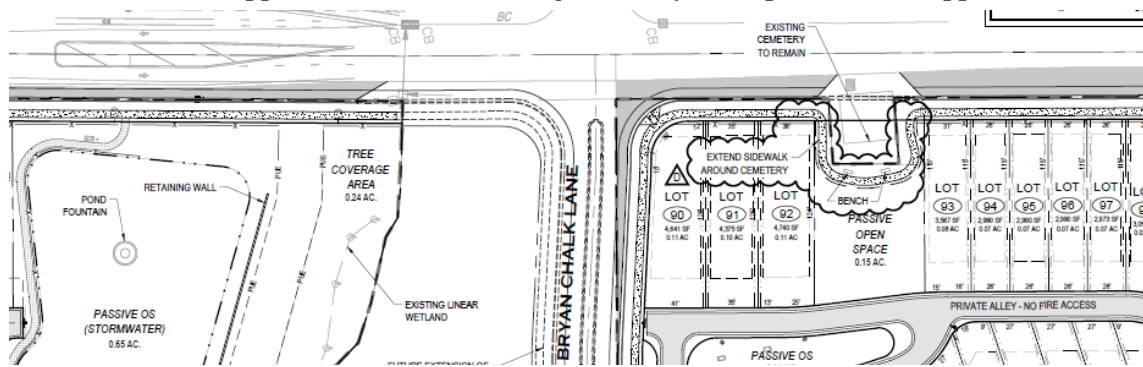


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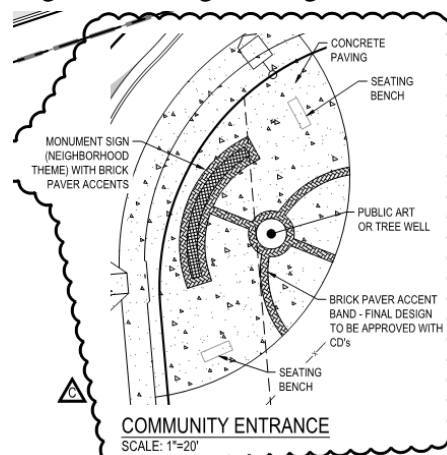
4. Pedestrian Connectivity

- Public Hearing Concern:** There are two gaps in sidewalk and roadway infrastructure shown on the Master Plan. One is a parcel which the current owner is not interested in selling, the other is an existing cemetery.
- Applicant Response:** Internal connectivity meets the requirements of the UDO. The current property owner has not been willing to dedicate right-of-way along Old Knight Road to close the gap, however a sidewalk will be provided around the existing cemetery to help close that gap.
- Staff Analysis:** Closing sidewalk gaps helps to provide safer pedestrian connections throughout Town. Staff supports efforts to obtain right-of-way to help make this happen.



5. Gateway Design

- Public Hearing Concern:** The intersection of Old Knight and Forestville Roads will be replaced with a roundabout built by the Forestville Village neighborhood to the west. What elements can be added on this site to help announce arrival to the new neighborhood and create a gateway across from the future Knightdale Fire Station?
- Applicant Response:** A redesigned corner includes a monument sign, seating, and hardscaping to create an entrance into the neighborhood.
- Staff Analysis:** Landscaping, hardscaping, and placemaking are elements which are encouraged to help define a sense of place. Other developments across Knightdale have successfully incorporated these to assist with creating a well-designed neighborhood which attracts residents to Town.



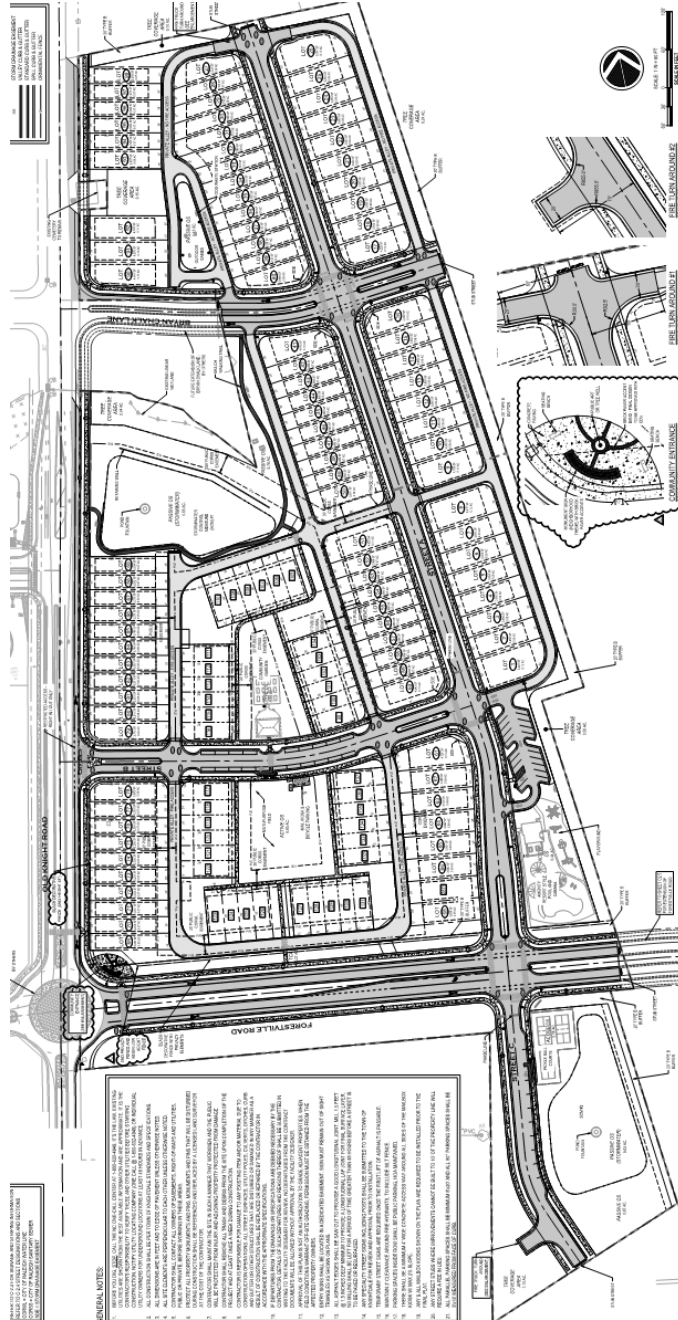


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VI. PROPOSED MASTER PLAN:

The applicant has submitted a full Master Plan in accordance with Section 16.6 of the UDO. The applicant is proposing a residential subdivision of 136 lots, featuring 98 rear-loaded lots and 38 townhome units. The proposal also provides an extension of Forestville Road from its terminus at Old Knight east, towards Knightdale Blvd. The developer and Staff met multiple times early in the process as the plan evolved. Further analysis of the site plan is detailed below.





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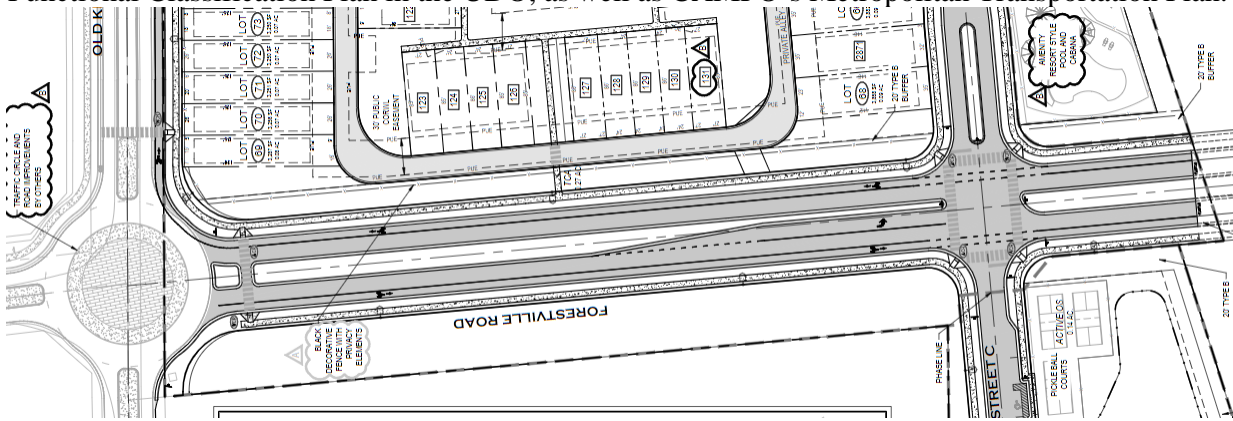
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STAFF SITE PLAN ANALYSIS:

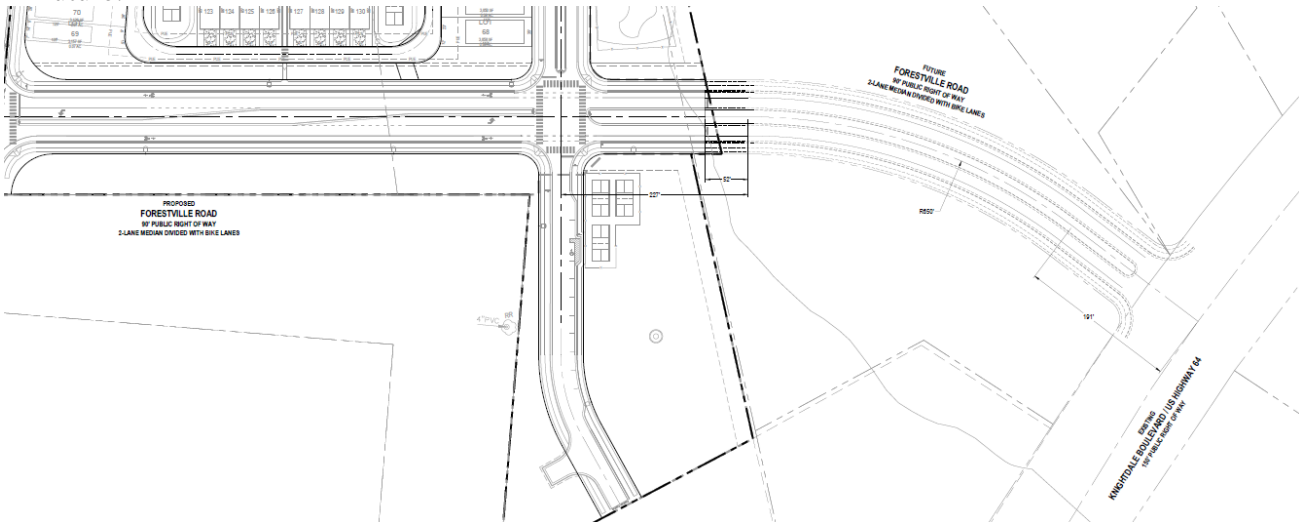
Staff has reviewed the plan for UDO consistency and found the site plan to generally be in compliance with the required provisions. It is important to note that this proposal was first submitted prior to adoption of the new UDO. According to permit choice rules detailed in the UDO and state statutes, the applicant can select which version will apply to this proposal. The applicant has elected to follow the previous version of the ordinance; therefore, the Master Plan has been reviewed accordingly. The following items are being highlighted for Council review and further consideration.

Transportation Infrastructure

The applicant proposes to extend Forestville Road east towards Knightdale Blvd, as a two-lane median divided Urban Avenue. This is consistent with the Comprehensive Plan's Street Network Map and the Functional Classification Plan in the UDO, as well as CAMPO's Metropolitan Transportation Plan.



The Master Plan also contains an exhibit showing how this extension will tie into Knightdale Blvd in the future.





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Additional site improvements needed include the roundabout at the intersection of Old Knight and Forestville Roads. Following the approval of the Forestville Village PUD, Town Staff met with NCDOT to discuss the long-term viability of a roundabout at this intersection. An analysis was performed and showed that, if the cross section of these roads was reduced from four-lanes to two-lanes, the roundabout would function well beyond 2046. NCDOT reviewed this analysis and agreed that this intersection should meet the long-term needs of residents traveling this corridor. As a result, the Functional Classification Plan (UDO Appendix C) and the Street Network Map in the Comprehensive Plan were amended to reflect the new cross sections.



Amended Street Network Map



Amended Functional Classification Plan

Pedestrian connectivity will be provided throughout the development, which helps to encourage pedestrian movements through the site, specifically to access the amenity center, central park, and pickleball courts. As required by Sections 9.6 and 17.3, all public roads will feature sidewalks on both sides and crosswalks to allow for safe pedestrian activities within the site.

Not currently shown on the plan is a connection to Bryan Chalk Lane. The developer has been in contact with the current owner, who have not expressed an interest in selling their parcel. This creates a hole in the plan and makes a future connection more difficult.

Approximately 32 on-street parking spaces are provided throughout the proposal, adjacent to amenities and denser portions of the site, to accommodate residents and their guests. Additional on-street parking should be explored, especially in the northern portion of the site.

An analysis of the Traffic Impact Analysis can be seen in **Section IX** below.

Landscaping

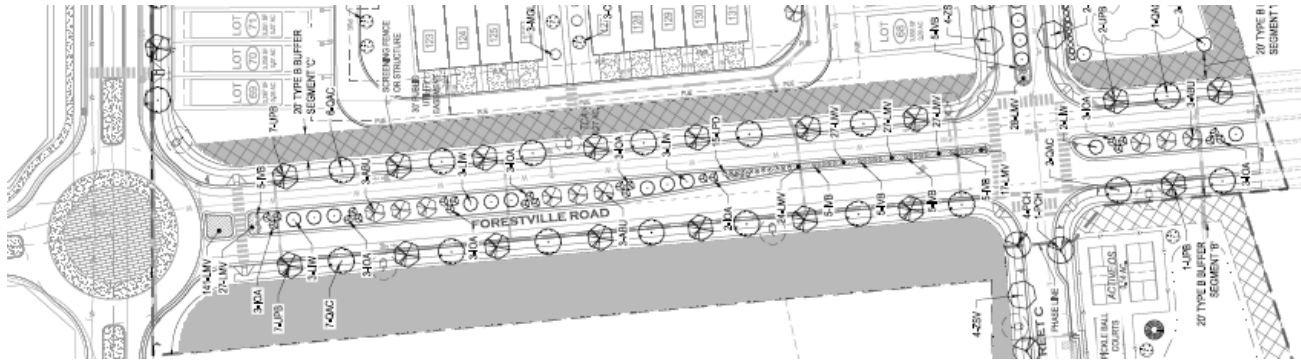
Due to the existing zoning of adjacent parcels (RT) and proposed zoning of this development (RMX), a 50-foot Type C Buffer is required along the northern and eastern property lines. The applicant proposes a 20-foot Type B Buffer here, where single-family homes and an alley will mostly be present.



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Enhanced landscaping in the form of a 20-foot Type B Buffer will be provided along the proposed Forestville Road extension to help screen the rear alley and garages of townhomes. This buffer will include a decorative fence and other hardscaping, as well as provide pedestrian access directly from the central park open space.



Elevations

Envision Homes will be the developer and builder of this site and has provided detailed architectural elevations and conditions. These are generally consistent with what has been approved in the past and can be seen below. A review of the proposed conditions can be found in **Section VI**.





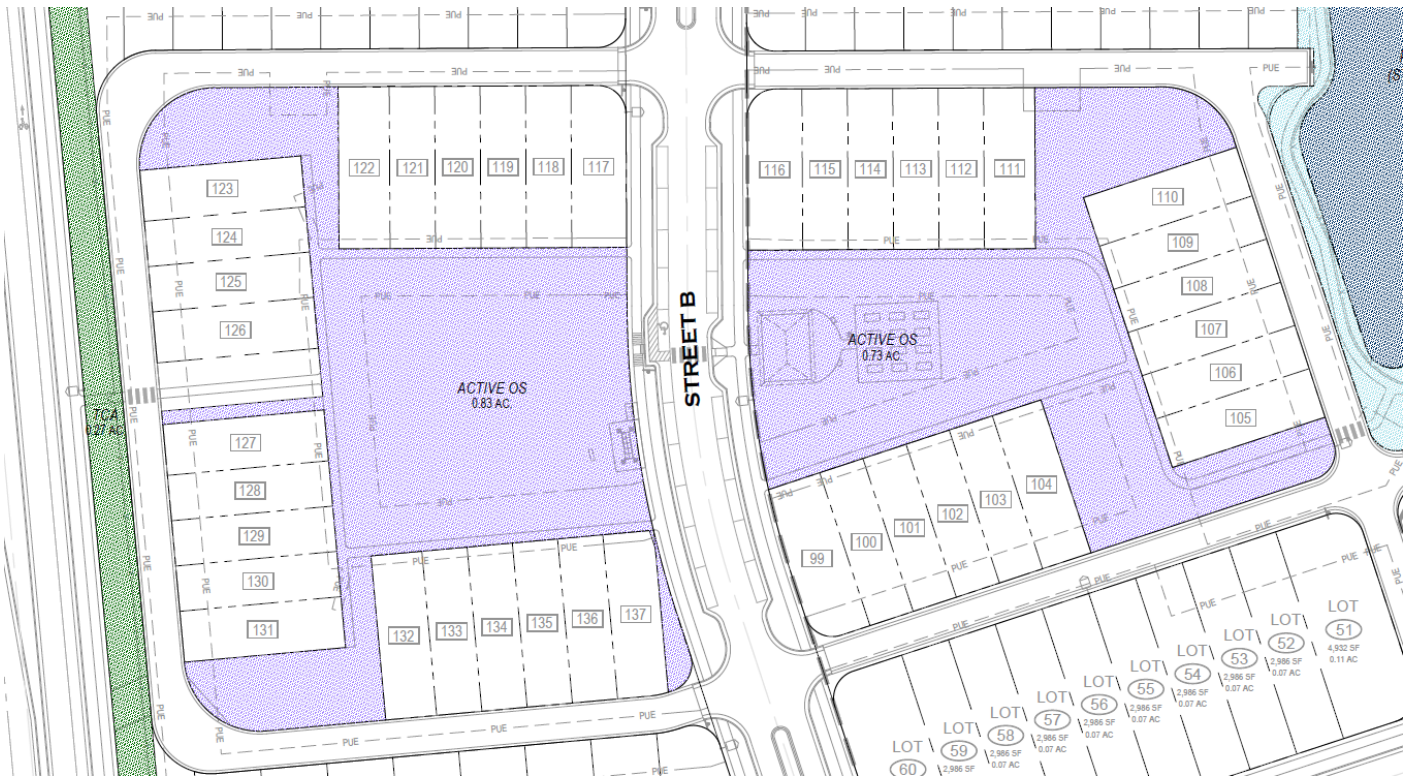
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Open Spaces

The applicant is proposing a variety of open space amenities in over four acres spread throughout the development. A central park will feature play structures, a pavilion, gathering areas, and bicycle racks. The pickleball courts shown below have been removed to reduce potential conflicts between adjacent homeowners and users. Townhomes will front this area and act as an active front yard for residents. On-street parking will be available in this area to help further the urban look and feel of this space. Finally, pedestrian walkways and crosswalks will connect the park with Forestville Road and other areas of the development, encouraging residents to access it by foot and bike.

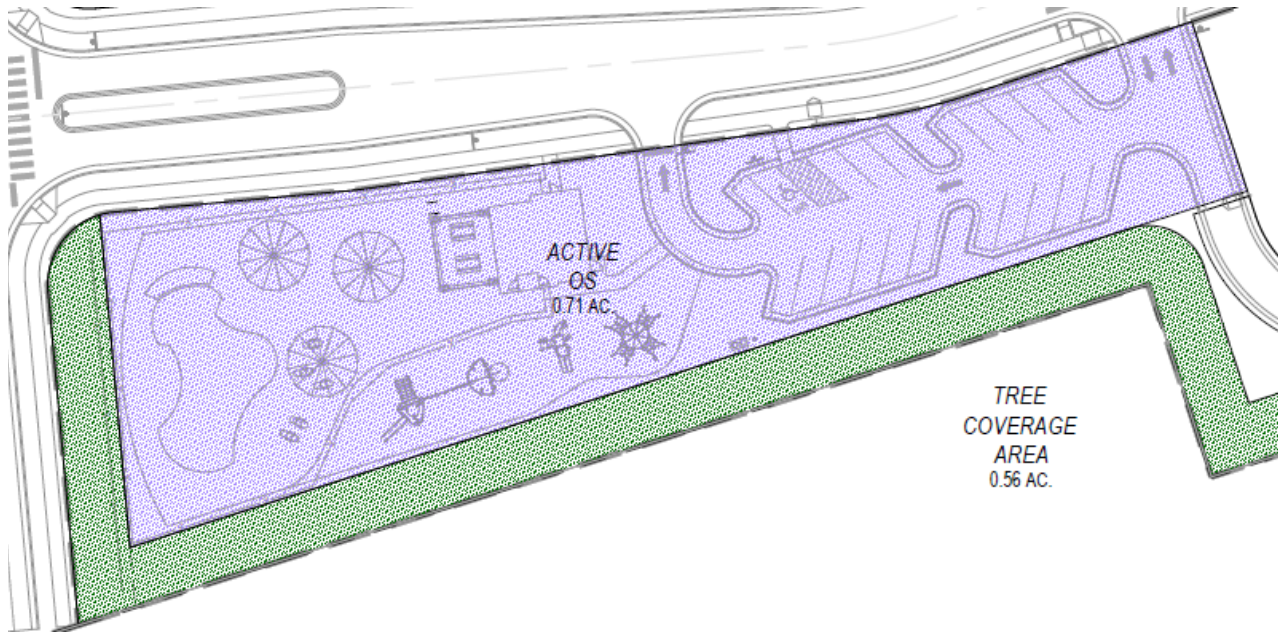




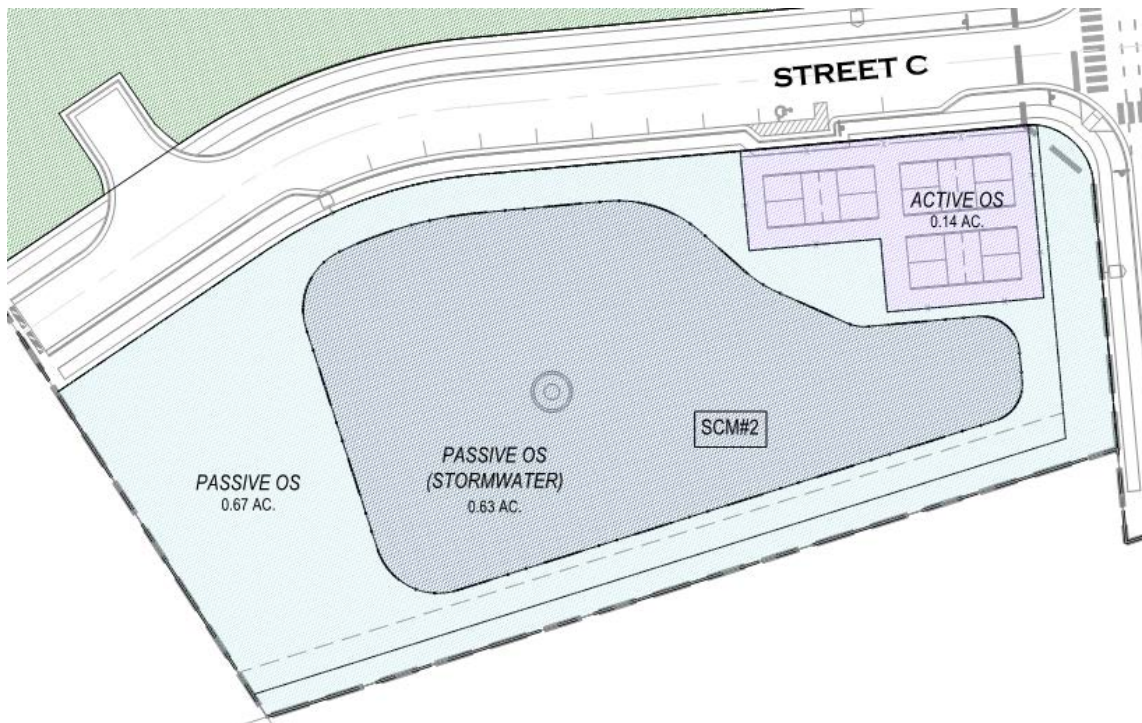
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The proposal also features a resort-style pool and clubhouse with parking.



Three pickle ball courts are provided in the southern portion of the site, with on-street parking available for users. Passive open space is provided around a stormwater pond here as well.





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Additional passive open spaces will feature walking trails, seating areas, lawn games, and places which encourage neighbors to gather and relax.



VII. LEGISLATIVE CASE PROCEDURES:

Staff met with the development team in August 2020 to discuss the potential of a project at this location and worked with them through several preliminary sketch plan details. A Planned Unit Development rezoning is a legislative public hearing, which requires certain application procedures including having a pre-application meeting with staff and holding a neighborhood meeting with any property owners within 200 feet of the outer boundaries of the subject development. Below is a timeline of the required elements.

- Pre-application meeting: August 4, 2020
- Neighborhood Meeting Notices Mailed: July 7, 2021
- Neighborhood Meeting: July 26, 2021

The virtual neighborhood meeting was held via Zoom on July 26, 2021. One neighbor logged on during the advertised meeting time but did not participate when prompted by the developer and town staff. A copy of the mailed notice, list of recipients, and summary of the meeting are attached as part of the application packet.

Additionally, the Town of Knightdale followed public hearing notice requirements as prescribed in the North Carolina state statutes.

- First Class Letters Mailed: October 29, 2021
- Sign Posted on Property: October 29, 2021
- Legal Ad Published in Wake Weekly: October 29 & November 5, 2021

Following the formal submittal and review of the proposed Master Plan and PUD document, the applicant met with the Development Review Committee (DRC) on August 12, 2021, to discuss the technical comments and details



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associated with the proposed subdivision plan. Staff discussed with the applicant concerns involving nonresidential space, transportation improvements, and additional infrastructure.

The DRC voted unanimously to **continue** the proposal pending the applicant addressing the review comments and Town Council approving the Rezoning request.

VIII. PROPOSED PLANNED UNIT DEVELOPMENT:

In support of their Master Plan, the applicant submitted a PUD document that includes a vision for their proposed development, statements of plan consistency, architectural design standards, proposed alternative standards, and open space information.

Staff has reviewed the submittal in accordance with UDO Sections 2.15.C and 16.5 and found that all submittal requirements have been met. Staff also reviewed the plans for conformance with the Residential Mixed Use zoning district and other applicable UDO sections. The applicant’s requested alternative standards are listed in the section below.

Public Utilities/Water Allocation Policy: The applicant is proposing to connect to public water and sewer. In accordance with Section 16.5.P of the UDO, the applicant is proposing to obtain the required 50 points with the following features:

	Point Total
Major Residential Subdivision	15
Bonus Point Item	
Residential Architectural Standards for House & Townhouse Ch. 5	15
1,000+ square foot deck/patio	1
Resort Style Pool	2
Enhanced Roadside Landscaping	2
Stormwater Wet Pond with Fountain	4
Multi-Use Hard Surfaced Courts (Pickle Ball)	5
IPEMA Certified Playground	4
On-Street Public Parking	4
Total Water Allocation Policy Points	52

Architectural Standards: The proposed architectural standards are listed below. Attached you will find the applicant’s PUD Document, containing building elevations.

Single-Family Rear-Loaded:

1. All single-family homes shall have a minimum 1,800 square feet of heated gross floor area.
2. All single-family homes shall have a two-car garage.
3. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
4. All homes shall have a minimum foundation height of 18 inches. Foundations shall contain 18 inches of brick/stone veneer on front and sides.
5. Raised front entries with hipped and gable roofs per elevation.
6. All homes shall have 30-year architectural shingles.
7. Covered rear entries with direct home access.



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8. Full porches per elevation including metal roofs, decorative gable vents, and custom bracketry.
9. Garage doors must contain windows, decorative details, or carriage-style adornments.
10. Multiple design window grill patterns and columns for diversity and individual appeal.
11. Exterior adornments including four-sided wrapped windows, columns, stone, board/batten, and metal roofs.
12. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
13. The visible side of a home on a corner lot facing the public street shall contain at least two (2) decorative elements such as, but not limited to, the following:
 - a. Windows
 - b. Bay Windows
 - c. Recessed Windows
 - d. Decorative Windows
 - e. Trim around the Windows
 - f. Wrap Around or Side Porches
 - g. Two or More Building Materials
 - h. Decorative Brick/Stone
 - i. Decorative Trim
 - j. Decorative Shake
 - k. Decorative Air Vents on Gable
 - l. Decorative Gable
 - m. Decorative Cornice
 - n. Column
 - o. Portico
 - p. Balcony
 - q. Dormer
14. Front porches, when provided, shall be at least six (6) feet deep and 50% of the front facade.
15. Eaves shall project between 8-12 inches from the wall of the structure.

Townhomes:

1. All townhome units shall be raised from the finished grade a minimum of 12 inches and shall have stem wall or raised slab foundations that shall be covered on all sides with brick or stone. Areas under porches may be enclosed with lattice (vinyl or painted wood).
2. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
3. Raised covered front entries with stained craftsman door and large glass.
4. Exterior adornments including four sided wrapped windows, columns, stone, and metal roofs.
5. Minimum 6:12 roof pitches with architectural shingles and dormers, per elevations.
6. Garage doors must contain windows, decorative details, or carriage-style adornments.
7. Design criteria such as, but not limited to, the following elements:
 - a. Offsets of 16' between townhome units
 - b. Front Porches shall be at least six (6) feet deep
 - c. Trim around windows and doors
 - d. Two or more building materials per townhome



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- e. Decorative Brick/Stone
- f. Decorative Shake
- g. Decorative Brackets and Columns
- h. Decorative Gable and Dormer Roofs with 12' Soffit

Proposed Conditions:

As outlined in UDO Section 15.6.C.5, fair and reasonable conditions may be attached to a legislative rezoning request. Occasionally, these will be recommended by Town Council, the Land Use Review Board, or Town Staff. However, the applicant has proposed the following condition to ensure the creation of a quality development:

The private, recorded legal documents governing the subdivision shall obligate the homeowner's association to maintain the landscaping on all lots.

Town Staff, including the Town Attorney, reviews Homeowner's Association Covenants as typically required by the Utility Allocation Agreement, prior to the recording of the final plat.

Proposed UDO Exceptions:

In accordance with UDO Section 15.6.C.5, a Planned Unit Development allows the applicant to request exceptions to certain standards identified in the base zoning district (Residential Mixed Use). These requests should be fair and reasonable, and the proposed alternate means of compliance should meet the spirit and intent of the UDO. The applicant's exception requests are as follows:

A. Dimensional Requirements (Section 2.9.B.2):

- **Required:** In accordance with UDO Section 2.9.B.2, driveways serving single-family homes shall be a minimum of 35-feet long.
- **Requested:** The applicant proposes a minimum 20-foot-long driveway for single-family homes.

B. Dimensional Requirements (Section 2.9.B.2):

- **Required:** In accordance with UDO Section 2.9.B.2, rear-loaded single-family lots shall be a minimum of 30-feet wide.
- **Requested:** The applicant proposes a minimum 26-foot-wide lot for 57 of the single-family lots.

C. Buffer Requirements (Section 8.6.A):

- **Required:** In accordance with UDO Section 8.6.A, a 50-foot-wide Type C Buffer is required on parcels zoned Residential Mixed Use when adjacent to parcels zoned Rural Transition:
- **Requested:** The applicant proposes a 20-foot-wide Type B Buffer along the northern and eastern portion of the property, where single-family homes and an alley will be adjacent to the RT zoned parcel.



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IX. TRANSPORTATION ANALYSIS

As required by the UDO, a Traffic Impact Analysis (TIA) is required for any development proposal which will impact the transportation network in Knightdale. Staff, NCDOT, and the development team met to discuss the scope of the TIA. The analysis was reviewed by Town Staff and the Town's consulting engineer AMT, and it meets all Town standards for level of service at all intersections. The TIA studied the following intersections:

- Old Knight Road at Forestville Road
- Old Knight Road at Bryan Chalk Lane
- Old Knight Road at Knightdale Blvd
- Forestville Road Extension at Site Access #1
- Forestville Road Extension at Site Access #2

The TIA recommends construction intersection improvements at Forestville Road and Old Knight Road as if it were a stop-controlled intersection. The document is being updated to include the town-preferred roundabout and necessary right-of-way improvements here.

The intersection of Old Knight Road and Knightdale Blvd is projected to operate at a Level of Service (LOS) F and E during the morning and evening peak hours, respectively. However, this proposal will contribute 2.2% of trips at this intersection at time of project build out (2023) and 1.6% in 2032. Therefore, no improvements are recommended. Upcoming signal timing optimization by NCDOT should help to alleviate some traffic delays here. All other study intersections do not drop below the LOS minimum detailed in the UDO, and therefore do not need any additional improvements.

X. COMPREHENSIVE PLAN:

A. Growth Framework Map

The Comprehensive Plan features the Growth Framework Map, a high-level tool for assisting in the decision-making process for development proposals. The intent is to prioritize development proposals based how well it fits within the surrounding area. The map designates this area as a Target Investment Area, which is defined as areas which have existing or relatively easy potential access to both sewer and water.

LEGEND

- | | |
|--|--|
|  Corporate Limits |  Street Centerlines |
|  Target Investment Area |  Knightdale Next Study Area |
|  Rural Planning Area |  Major Roads |
|  Extraterritorial Jurisdiction (Expansion Area) |  Growth Activity Center |
|  Floodprone Areas |  Priority Investment Area Around Activity Centers |
|  Old Town |  Neighborhood Node |





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The Growth Framework Map also indicates a Neighborhood Node on Old Knight Road north of Bryan Chalk Lane. Neighborhood Nodes identified on the Growth Framework Map locate retail destinations closer to residential neighborhoods throughout the Town. Each node should be ‘neighborhood-serving’ and meet several daily needs for nearby residents. This Node is located at the Knightdale Community Park and Community Center.

B. Growth & Conservation Map

The Growth & Conservation Map designates parcels in Knightdale into different place type categories based on their current state and the anticipated pattern of development. The subject property is designated as “Mixed Density Neighborhood” as a place type.

PLACETYPE CATEGORIES

Preserved Open Space	Business Office
Rural Living	Light Industrial
Recreation Open Space	Heavy Industrial
Single Family Neighborhood	Civic & Institutional
Mixed-Density Neighborhood	Old-Town
Multifamily Community	Mixed-Use Center
Neighborhood Node	Mixed-Use Center (Suburban Retrofit)
Retail	Transit-Oriented Development (BRT)
	Regional Mixed-Use Center



The “Mixed Density Neighborhood” place type is defined as:

Mixed-density neighborhoods are formed as subdivisions or communities with a mix of housing types and densities. Homes are oriented to the interior of the site and are typically buffered from surrounding development by transitional uses, preserved open space, or landscaped areas. Lots along the perimeter of a new neighborhood should be sensitive to the density observed along the perimeter of an adjacent neighborhood in terms of size and scale (by providing a transition). Small blocks and a modified grid of streets support a cohesive, well-connected community.

All new mixed-density neighborhoods incorporate a comprehensive network of open space throughout to accommodate small parks, gathering places and community gardens; preserve tree stands; and help reduce stormwater runoff.

Based on the definition above, the proposed use of this property is consistent with the KnightdaleNext 2035 Comprehensive Plan. The place type transect, seen below, builds off of the Growth & Conservation Map and helps to illustrate how developments should blend together as Knightdale grows. The “Mixed Density Neighborhood” place type falls into the “Neighborhoods” category.



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C. Gateway Entrances Map

Gateways help those traveling into Knightdale easily identify their entrance into Town. There are a number of different Gateway types, however none apply to this area or proposal.

D. Trails and Greenways Map

The Trails & Greenway Map provides the general alignment of greenways in Knightdale. These trails should connect to the existing Town infrastructure or provide new recreational opportunities for residents. This proposal is not required to provide a public greenway; however the applicant is providing pedestrian connectivity throughout the development and to the adjacent phases to the south.

E. Street Network Map

Development activities should assist with the construction of a comprehensive transportation network. The Street Network Map shows the extension of Forestville Road from its current terminus east to Knightdale Blvd. The proposal includes the updated Urban Avenue cross section on-site, as well as an exhibit showing the future connection to Knightdale Blvd as potential developments in this area are realized.





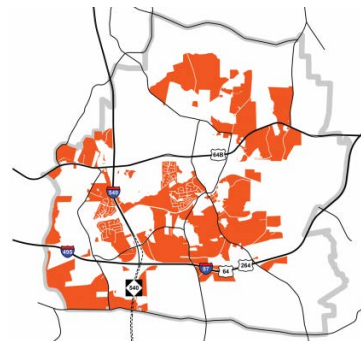
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F. Focus Area Studies

The Comprehensive Plan developed conceptual plans with the intent to guide development proposals in certain areas of Knightdale and build off the place type categories defined by the Growth & Conservation Map. Illustrations provided in the Focus Area Studies sections are intended to convey the type of planning principles Knightdale encourages in these locations. Forestville Yard is in the Mixed Density Residential Focus Area, which should support the following Guiding Principles from the Comprehensive Plan:

- Community Facilities and Services
- Unique Activity Centers
- Parks & Recreation
- Great Neighborhoods
- Expanded Home Choices
- Economic Vitality



CONSISTENCY WITH THE COMPREHENSIVE PLAN:

North Carolina General Statute 160D-605 requires that **prior to** adoption or rejecting any zoning amendment, the governing board shall adopt a statement describing whether its action is consistent with an adopted comprehensive plan and explaining why the board considers the action to be reasonable and in the public interest.

It is staff's opinion that the proposed development is reasonable with the KnightdaleNext 2035 Comprehensive Plan, and the following guiding principal categories would be applicable to this request.

COMPACT DEVELOPMENT PATTERNS



Guide future growth into more compact and efficient development patterns that will help manage the timing, location, and magnitude (length and size) of expensive infrastructure investments. Prioritize infill development and redevelopment in identified activity centers over continued green field development patterns, and use public infrastructure investments in the activity centers to encourage and leverage future private investments. Acknowledge that increased densities and intensities, and a mix of residential and nonresidential uses, will be needed in the activity centers to accommodate anticipated Town growth. Activity centers added to the Growth and Conservation Map in the future should reflect orderly and incremental growth patterns away from existing and identified activity centers in the 2035 KnightdaleNext Comprehensive Plan.



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Staff Report

COMMUNITY DESIGN



Celebrate a distinct brand and sense of place that is uniquely Knightdale, while still tapping into the talent and creativity of the people that shape its residents, business owners, property owners, developers, planning and design professionals, etc. to keep things relevant and authentic. Prioritize Town investments in the spaces around, between, and within buildings (the “public realm”) that create a certain vibe, identity, and reputation for Knightdale as a place for pedestrians and active public spaces. Use investments in the public realm—street improvements, public spaces, lighting, landscaping, artwork, etc.—to leverage greater private investment in terms of building use, scale, placement, materials and interactions with the public realm.

GREAT NEIGHBORHOODS AND EXPANDED HOME CHOICES



Promote distinct, safe, and vibrant neighborhoods throughout Knightdale that provide greater access to a range of housing choices people need at different stages of their life, including young adults, families, empty-nesters, retirees, seniors, and people of different income levels. Housing opportunities should include single family homes of all sizes, townhomes, apartments, condominiums, senior living units, live-work units, and accessory dwelling units. New neighborhoods should mix two or more housing choices into one community. Strong neighborhoods and a diverse housing strategy will make Knightdale a more livable community—one where residents can live their entire lives.

COMMUNITY FACILITIES AND SERVICES



Continue to improve quality-of-life for all residents of Knightdale by maintaining and expanding community facilities and services (infrastructure) while ensuring that elected officials are good stewards of Town finances. Plan for, finance, and develop efficient infrastructure capacity to accommodate future growth and stimulate economic development. This includes focusing infrastructure investment in identified growth activity centers and maintaining a strong partnership with Wake County, the Wake County School District, NCDOT, CAMPO, the City of Raleigh Public Utilities Department, Wake Tech and other major universities and institutions of higher learning, and surrounding towns and cities. Do this work while embracing an expanded approach to open governance that includes creative outreach and effectively solicits community involvement, collaborative partnerships, and resource sharing.



Town of Knightdale

Staff Report

TRANSPORTATION



Provide a safe, reliable, and integrated transportation system that balances all modes of transportation, including walking, biking, public transit, and cars. Consider land use and infrastructure investments together, promoting a network of complete streets that emphasizes the quality and character of both the street and its surrounding development pattern (whether rural, suburban or urban in nature). Emphasize a safe and efficient transportation system for both destination- and recreation-focused trips, with special attention given to the mobility needs of children, seniors, runners, bikers and families.

PROPOSED WRITTEN ADVISORY STATEMENT REGARDING PLAN CONSISTENCY:

“The proposed Zoning Map Amendment is consistent with the KnightdaleNext 2035 Comprehensive Plan as it addresses several of the guiding principles such as creating a compact development while promoting a specific community design, expanding home choices in Knightdale, and enhancing community transportation facilities through the extension of Forestville Road as a Complete Street. Further, it is consistent with the General Growth Framework Map as a Target Investment Area. The proposal is also consistent with the Growth & Conservation Map’s designation as a Mixed-Density Neighborhood Place Type and falls within the Mixed Density Neighborhood Focus Area Study. The request is reasonable and in the public interest as it aids in developing a vibrant, sustainable, and safe community design in which people not only desire to visit, but to also live, work, and play.”

XI. LAND USE REVIEW BOARD SUMMARY:

Following the Joint Public Hearing as detailed in **Section V**, the Land Use Review Board was presented the revised plans at their December 13, 2021, meeting. In addition to discussing these revisions, LURB members and Staff discussed the Comprehensive Plan and UDO consistency. Members shared concerns over the requested exceptions to the UDO for single-family lots; specifically, the reduced driveway length from the required 35-feet to 20-feet without adequate guest parking and reduced minimum lot width from 30-feet to 26-feet.

Because of these concerns, the LURB unanimously recommended denial of the proposed development and has forwarded the following advisory statement:

“The proposal is inconsistent with the KnightdaleNext 2035 Comprehensive Plan and not compliant with Unified Development Ordinance regulations such as lot widths and driveway lengths.”

XII. STAFF RECOMMENDATION:

It is staff’s recommendation that Town Council approve the request to rezone the 26.60-acre site at 1008 Old Knight Road and further identified by Wake County PINs 1754-68-7706, 1754-69-5569, and 1754-79-0018, from Rural Transition (RT) to Residential Mixed Use Planned Unit Development (RMX-PUD), adopts the staff recommended advisory statement regarding Comprehensive Plan consistency, and adopts Ordinance #22-02-16-003.



Town of Knightdale

Staff Report

“The proposed Zoning Map Amendment is consistent with the KnightdaleNext 2035 Comprehensive Plan as it addresses several of the guiding principles such as creating a compact development while promoting a specific community design, expanding home choices in Knightdale, and enhancing community transportation facilities through the extension of Forestville Road as a Complete Street. Further, it is consistent with the General Growth Framework Map as a Target Investment Area. The proposal is also consistent with the Growth & Conservation Map’s designation as a Mixed-Density Neighborhood Place Type and falls within the Mixed Density Neighborhood Focus Area Study. The request is reasonable and in the public interest as it aids in developing a vibrant, sustainable, and safe community design in which people not only desire to visit, but to also live, work, and play”.

FORESTVILLE YARD

TOWN OF KNIGHTDALE
WAKE COUNTY, NORTH CAROLINA

MASTER PLAN REVIEW

TOWN OF KNIGHTDALE PROJECT # ZMA-12-20

1st SUBMITTAL TO TOWN OF KNIGHTDALE: JULY 26, 2021
2nd SUBMITTAL TO TOWN OF KNIGHTDALE: SEPTEMBER 16, 2021
3rd SUBMITTAL TO TOWN OF KNIGHTDALE: OCTOBER 29, 2021
TOWN COUNCIL & LURB CHANGES: DECEMBER 3, 2021
ADDITIONAL TOWN COUNCIL CHANGES: FEBRUARY 8, 2022



VICINITY MAP
SCALE: 1" = 500'

DRAWING INDEX

- C-0.0 COVER SHEET
- C-1.0 BOUNDARY SURVEY
- C-1.1 ENVIRONMENTAL SURVEY & EXISTING CONDITIONS PLAN
- C-2.0 OVERALL SITE PLAN
- C-2.1 PHASING PLAN
- C-2.2 OPEN SPACE PLAN
- C-2.3 SIGNAGE & STRIPING PLAN
- C-2.4 STREET SECTIONS
- C-2.5 FORESTVILLE ROAD EXTENSION PLAN
- C-3.0 OVERALL UTILITY PLAN
- C-4.0 OVERALL STORMWATER PLAN
- C-5.0 OVERALL LIGHTING PLAN
- L-1.0 OVERALL LANDSCAPE PLAN
- L-1.1 LANDSCAPE DETAILS
- A-1.1 ARCHITECTURAL ELEVATIONS I
- A-1.2 ARCHITECTURAL ELEVATIONS II
- A-1.3 ARCHITECTURAL ELEVATIONS III
- A-2.0 ARCHITECTURAL ILLUSTRATIVES

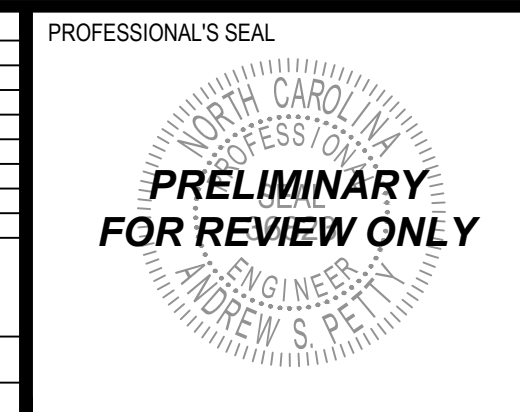
SITE INFORMATION

GENERAL INFORMATION		PARKING SUMMARY:	
LOCATION:	0, 1008 OLD KNIGHT ROAD 0 KNIGHTDALE BOULEVARD	REQUIRED PARKING:	196 SPACES (2 SPACES / UNIT)
COUNTY:	WAKE	SINGLE FAMILY HOMES:	78 SPACES (2 SPACES / UNIT)
PARENT PIN:	1754-68-7706, 1754-69-5569 1754-79-0018	REAR LOAD TOWNHOMES:	274 SPACES
	DB: 001658, PG: 00-E	TOTAL REQUIRED PARKING:	305 SPACES
DEED REFERENCE:	DB: 018007, PG: 01621, DB: 018079, PG: 02676	PARKING PROVIDED:	
PROPERTY BOUNDARY:	27.60 AC	SINGLE FAMILY HOMES:	196 SPACES (2-CAR GARAGE)
AREA IN OLD KNIGHT RIGHT OF WAY:	1.00 AC	REAR LOAD TOWNHOMES:	78 SPACES (2-CAR GARAGE)
PROJECT AREA:	26.60 AC	OTHER STREET PARKING:	31 SPACES
TOWNSHIP:	SAINT MATTHEWS	TOTAL REQUIRED PARKING:	305 SPACES
EXISTING ZONING:	RURAL TRANSITION (RT)	OPEN SPACE BREAKDOWN:	
OVERLAY DISTRICT:	NONE	PROPERTY BOUNDARY:	26.60 AC
CURRENT USE:	RESIDENTIAL / VACANT	TOTAL UNIT COUNT:	136 UNITS
PROPOSED USE:	MIXED DENSITY NEIGHBORHOOD	NUMBER OF 3-BEDROOM UNITS:	56 UNITS
PROPOSED ZONING:	PUD-RMX (PLANNED UNIT DEVELOPMENT RESIDENTIAL MIXED USE)	NUMBER OF 4-BEDROOM UNITS:	41 UNITS
RIVER BASIN:	NEUSE	ACREAGE WITHIN 1/4 MILE:	23.42 AC
SURFACE WATER CLASSIFICATION:	MARKS CREEK (LAKE MYRA) C: NSW	ACREAGE BETWEEN 1/4 & 1/2 MILE:	3.18 AC
WATERSHED:	NONE	ACREAGE OUTSIDE 1/2 MILE:	0 AC
FEMA MAP PANEL NUMBER:	3720175400J	TOTAL NUMBER OF BEDROOMS:	452 BEDROOMS
ENVIRONMENTAL AREAS:		BEDROOMS AT 1/4 MILE:	398 UNITS
NATURAL WETLANDS:	0.00 AC	BEDROOMS AT 1/4 TO 1/2 MILE:	55 UNITS
STREAM BUFFER:	0.00 AC	BEDROOMS OVER 1/2 MILE:	0 UNITS
LINEAR WETLANDS:	141 LF	REQUIRED OPEN SPACE:	2.87 AC (PER UDO CHART)
ZONING & DENSITY:		REQUIRED ACTIVE OPEN SPACE:	1.43 AC (50%)
TOTAL NUMBER PROPOSED LOTS:	137 UNITS	PROVIDED ACTIVE OPEN SPACE:	2.14 AC (75%)
TOTAL SINGLE FAMILY LOTS:	98 UNITS	REQUIRED PASSIVE OPEN SPACE:	0.46 AC
26' SF REAR LOAD UNITS:	57 (42%)	PROVIDED PASSIVE OPEN SPACE:	2.78 AC
35' SF REAR LOAD UNITS:	41 (30%)	PROVIDED OPEN SPACE:	4.92 AC
TOTAL TOWNHOME LOTS:	39 UNITS	TREE COVERAGE AREA:	
24' TH REAR LOAD UNITS:	39 (28%)	PERIMETER OF TRACT:	6396 FT
ALLOWABLE DENSITY:	18 DU/AC	BUFFER WIDTH:	20 FT
PROPOSED DENSITY:	5.15 DU/AC	REQUIRED TREE COVERAGE AREA:	2.66 AC (10%)
LOT SETBACKS:		PROVIDED TREE COVERAGE AREA:	2.75 AC (10%)
SINGLE FAMILY DETACHED, REAR LOADED		STREET NETWORK:	
FRONT YARD:	10' MINIMUM	LINK TO NODE RATIO:	1.80
SIDE YARD:	20% LOT WIDTH (3' MIN)	BUILT UPON AREAS (BUA):	
REAR ALLEY:	20' ALLEY RIGHT OF WAY	PROPOSED ROADWAYS/PARKING:	3.63 AC
REAR YARD:	20' MINIMUM	PROPOSED ALLEYS:	1.67 AC
MAX BLDG HEIGHT:	3 STORIES	PROPOSED SIDEWALKS / SIDE PATHS:	1.19 AC
TOWNHOMES, REAR LOADED		PROPOSED OPEN SPACE AREAS:	1.50 AC (ALLOWANCE)
FRONT YARD:	10' MINIMUM	PROPOSED AMENITY SITE:	0.50 AC (ALLOWANCE)
SIDE YARD:	N/A	PROPOSED LOT BUA:	6.75 AC
BUILDING TO BUILDING:	10' MINIMUM	(1,750 SF/ TH)	
REAR ALLEY:	20' ALLEY RIGHT OF WAY	(2,075 SF/ 26' SINGLE FAMILY)	
REAR YARD:	N/A	(2,650 SF/ 35' SINGLE FAMILY)	
MAX BLDG HEIGHT:	3 STORIES	TOTAL PROPOSED BUA:	15.22 AC
		TOTAL PROPOSED BUA PERCENTAGE:	57.2%
		MAXIMUM ALLOWABLE BUA:	70%
		UTILITY DEMANDS	
		SEWAGE USAGE:	54,240 GPD
			452 BED X 120 GPD/BED
		WATER USAGE:	60,116 GPD
			452 BED X 133 GPD/BED

WATER ALLOCATION POINTS

BASE POINTS	
MAJOR SUBDIVISION	15 POINTS
BONUS POINTS	
CATEGORY 2, SECTION 2B - BMP AMENITY CONSTRUCT A FOUNTAIN OR OTHER STORMWATER AMENITY WITHIN THE BMP	4 POINTS
CATEGORY 2, SECTION 2C - RESIDENTIAL ARCHITECTURAL STANDARDS	15 POINTS
CATEGORY 2, SECTION 2B - PROVISION OF ON-STREET PUBLIC PARKING 32 PUBLIC PARKING SPACES ALONG STREET B	4 POINTS
CATEGORY 3, SECTION 3A - ENHANCED ROADSIDE LANDSCAPING ALONG OLD KNIGHT ROAD AND FORESTVILLE ROAD	2 POINTS
CATEGORY 4, SECTION 4B - RESORT STYLE POOL	2 POINTS
CATEGORY 4, SECTION 4C - DECK / PATIO - MORE THAN 1,000 SF	1 POINT
CATEGORY 4, SECTION 4F - MULT-USE HARD COURT 3 PICKLE BALL COURTS + 1 BASKETBALL COURT (2) REQUIRED FOR FULL CREDIT	3 POINTS
CATEGORY 4, SECTION 4F - IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4 POINTS
TOTAL POINTS:	50 POINTS

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D	02/08/2022 TOWN COUNCIL CHANGES
STATUS FOR REVIEW ONLY NOT FOR CONSTRUCTION	
DATE: JULY 26, 2021	HORZ. SCALE:
FILE NO. 2018-022	ORIG. SHEET SIZE: 24 x 36



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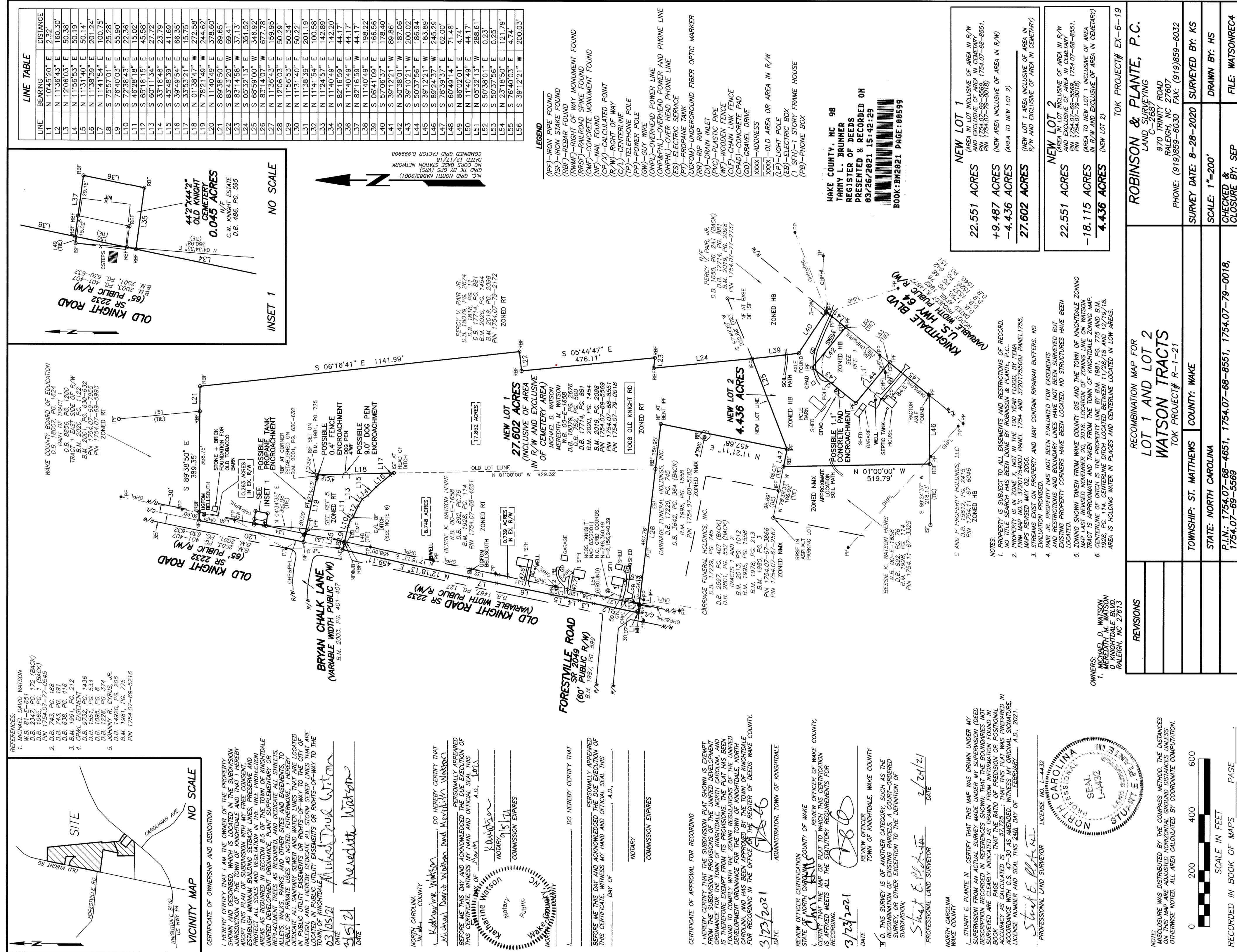
ENVISION HOMES
a better life

Envision Homes
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919.389.7595 (m)
Contact: Josh Swindell
josh@envisionhomesnc.com

SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
COVER SHEET

TOK PROJECT # ZMA-12-20

C-0.0



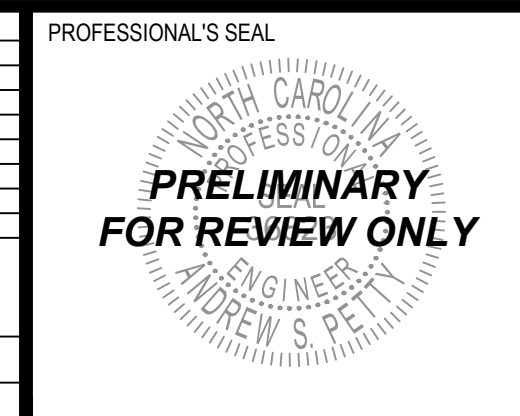
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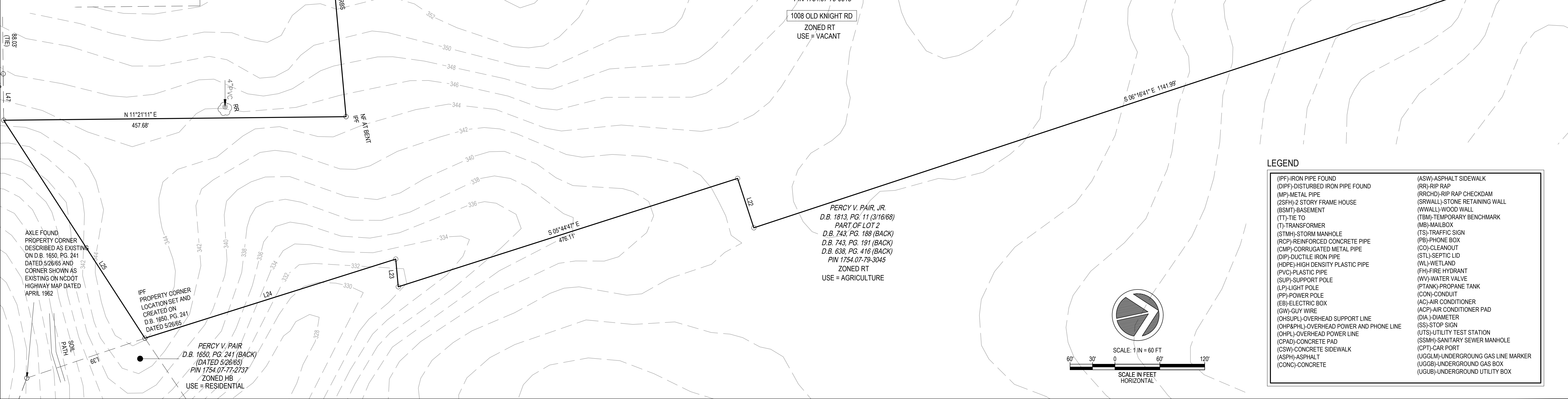
SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
BOUNDARY SURVEY

TOK PROJECT # ZMA-12-20

RECORDED IN BOOK OF MAPS PAGE _____

C-1.0

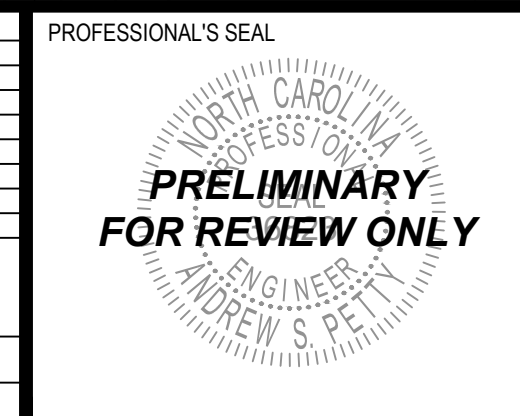
LINE	BEARING	DISTANCE
L1	N 10°45'20" E	2.32'
L2	N 11°36'43" E	160.30'
L3	N 12°06'03" E	50.38'
L4	N 11°56'53" E	50.19'
L5	N 11°31'40" E	50.14'
L6	N 11°38'39" E	201.24'
L7	N 11°41'54" E	100.75'
L8	S 75°57'01" E	25.28'
L9	S 76°40'03" E	55.90'
L10	S 72°38'43" E	22.36'
L11	S 46°28'18" E	15.02'
L12	S 65°18'15" E	45.58'
L13	S 60°11'34" E	27.72'
L14	S 33°18'48" E	23.79'
L15	S 45°48'39" E	41.69'
L16	S 39°49'54" E	66.35'
L17	S 33°53'21" E	15.75'
L18	N 01°38'47" W	272.58'
L19	N 78°21'49" W	244.62'
L20	N 11°40'49" E	378.60'
L21	S 89°38'50" E	89.65'
L22	S 83°43'20" W	69.41'
L23	N 83°14'58" W	37.13'
L24	S 05°32'13" E	351.52'
L25	S 68°59'00" W	346.92'
L26	N 83°14'07" W	677.78'
L27	N 11°36'43" E	159.95'
L28	N 12°06'03" E	50.29'
L29	N 11°56'53" E	50.34'
L30	N 11°31'40" E	50.22'
L31	N 11°38'39" E	201.19'
L32	N 11°41'54" E	100.58'
L33	N 11°24'57" E	142.89'
L34	N 11°40'49" E	142.20'
L35	S 82°16'59" E	44.17'
L36	N 11°40'49" E	44.17'
L37	N 82°16'59" W	44.17'
L38	N 11°40'49" E	198.22'
L39	S 06°41'09" E	166.56'
L40	S 57°06'37" E	178.40'
L41	S 39°12'21" W	89.86'
L42	N 50°38'01" W	187.06'
L43	S 39°10'21" W	200.02'
L44	S 50°37'56" E	186.94'
L45	S 39°12'21" W	183.89'
L46	S 89°24'37" W	245.29'
L47	S 78°39'37" E	62.00'
L48	S 60°49'14" E	71.48'
L49	N 86°02'01" E	4.74'
L50	N 11°40'49" E	44.17'
L51	N 05°32'13" W	288.61'
L52	S 50°38'01" E	0.23'
L53	S 50°37'56" E	0.25'
L54	N 23°18'50" E	121.79'
L55	S 76°40'03" E	4.74'
L56	S 39°12'21" W	200.03'



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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
ENVIRONMENTAL SURVEY & EXISTING CONDITIONS PLAN

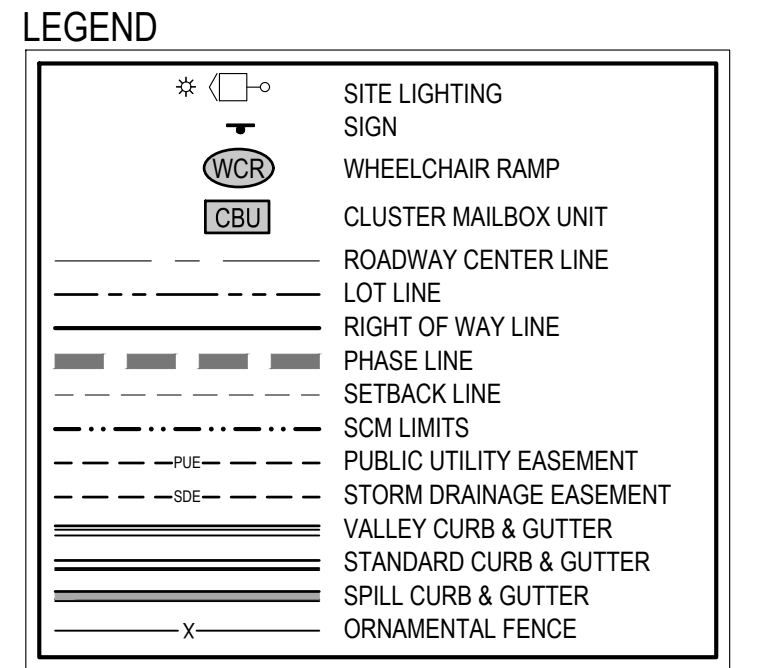
TOK PROJECT # ZMA-12-20

C-1.1

LOT SUMMARY TABLE	
DESCRIPTION	LOT NUMBERS
26' WIDE SINGLE FAMILY LOTS (REAR LOAD)	27-40, 42-49, 52-59, 69-89, 93-98
35' WIDE SINGLE FAMILY LOTS (REAR LOAD)	1-26, 41, 50-51, 60-68, 90-92
24' WIDE TOWNHOMES (REAR LOAD)	99-136

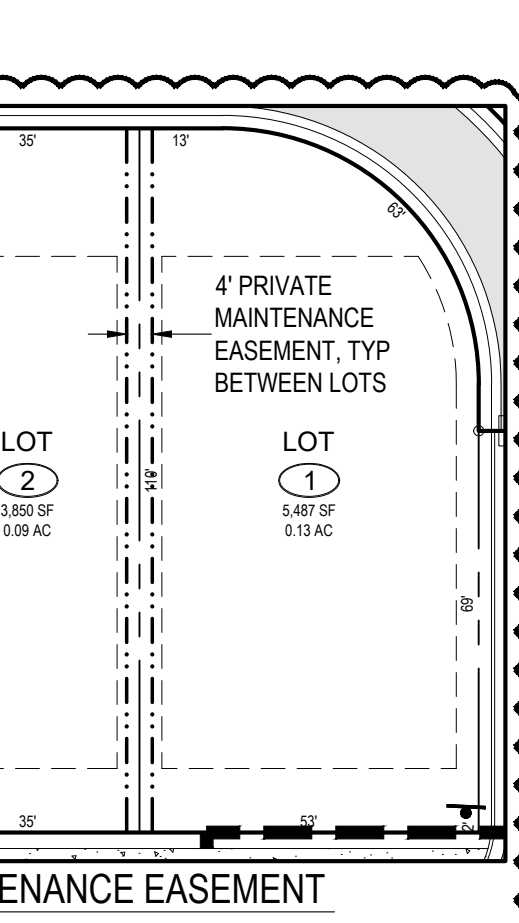
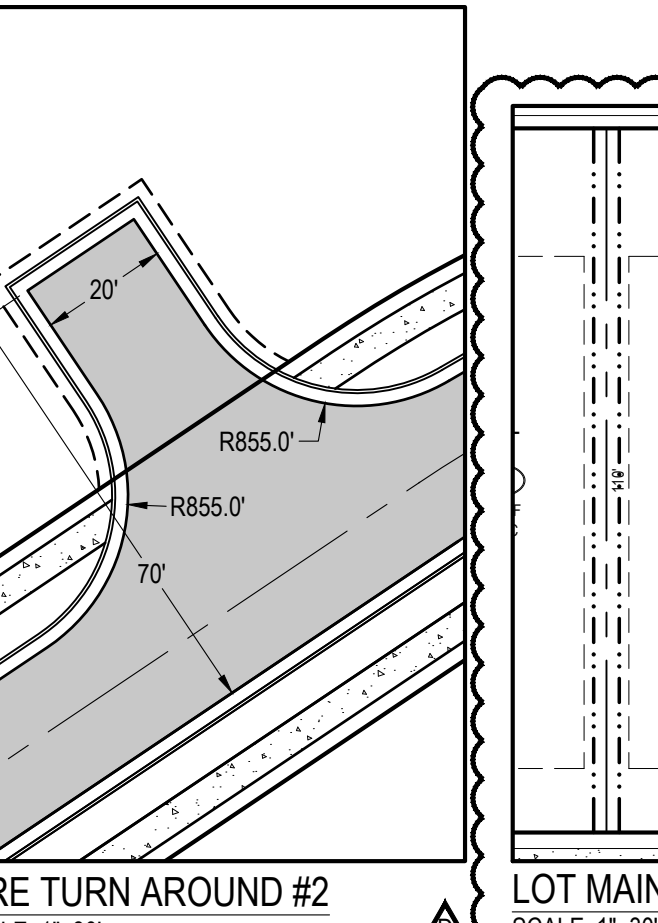
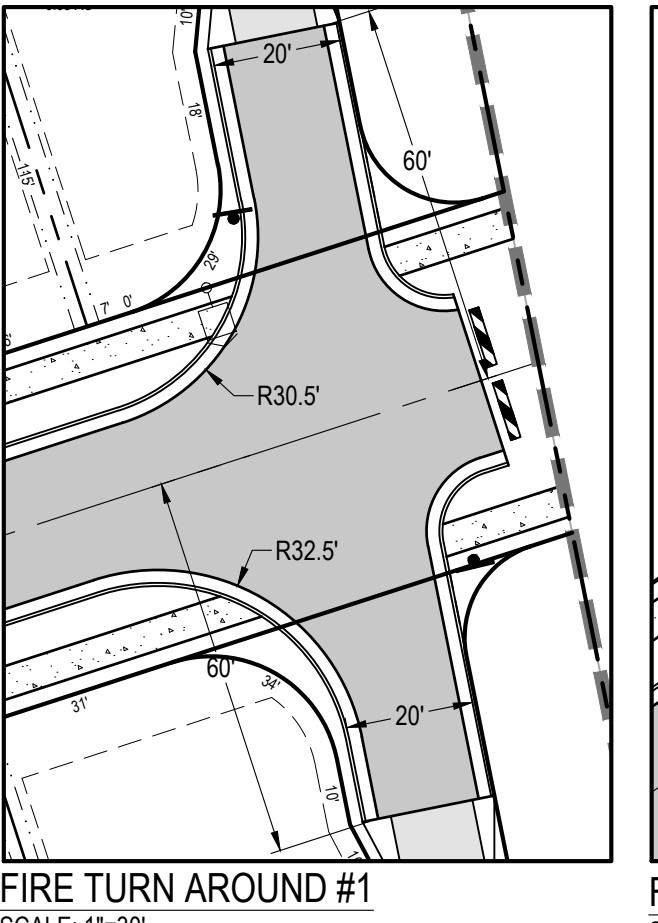
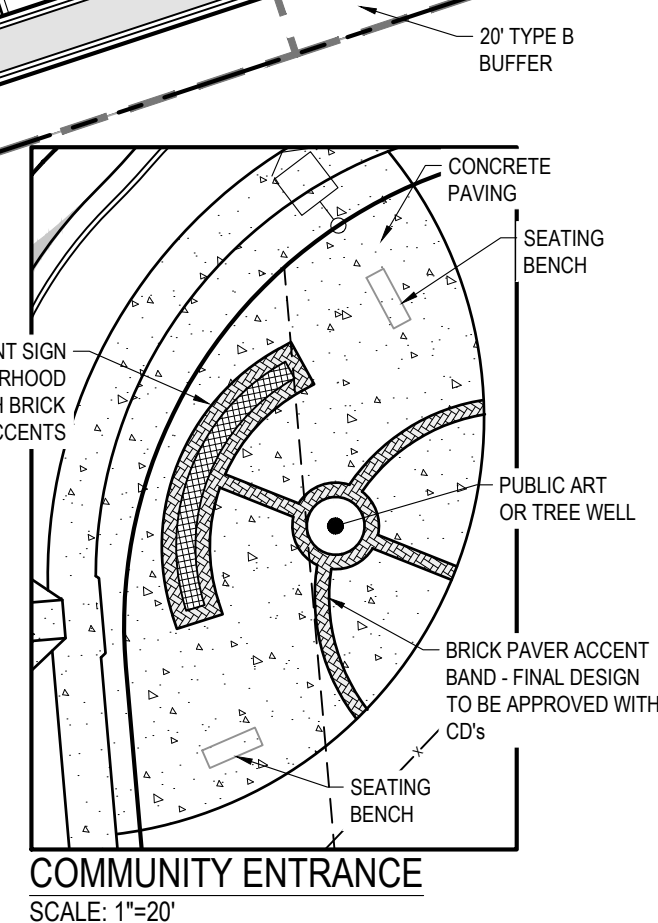
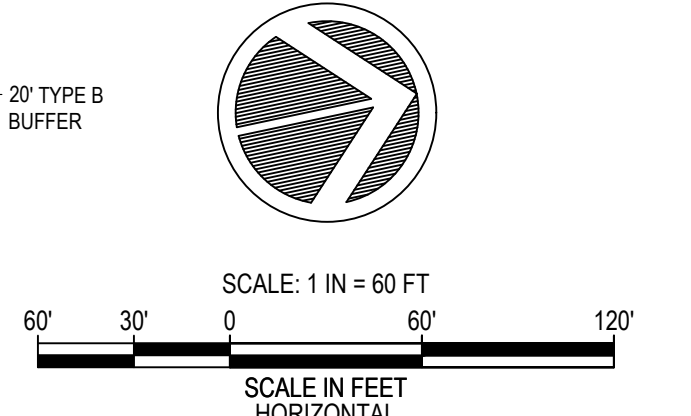
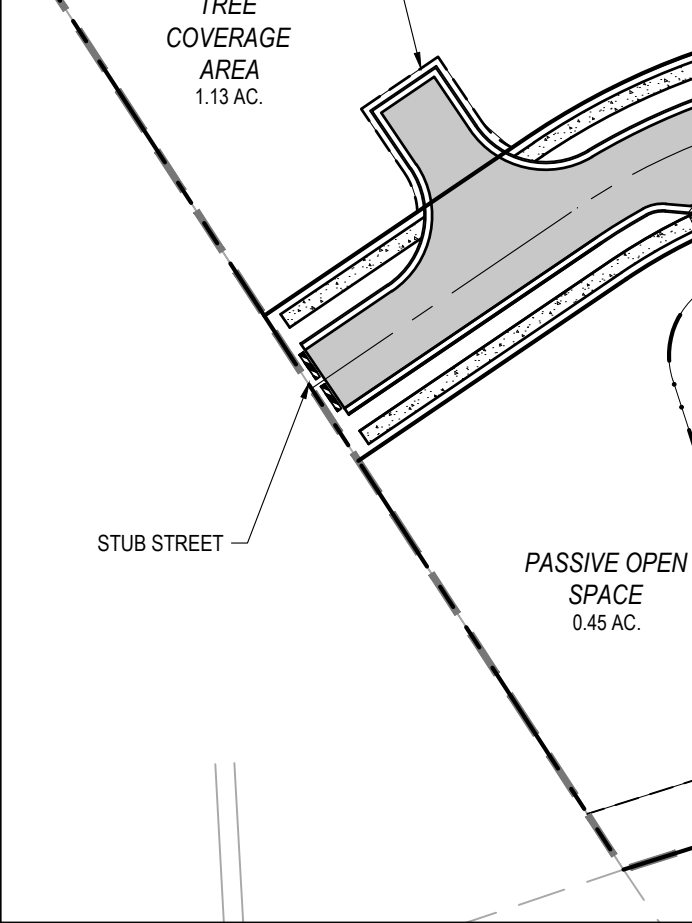
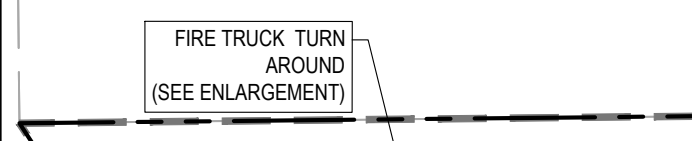
PLAN REFERENCES & ABBREVIATIONS:

REFER TO C-2.3 FOR SIGNAGE AND STRIPING INFORMATION
 REFER TO C-2.4 STREET DESIGNATIONS AND SECTIONS
 CORWL = CITY OF RALEIGH WATER LINE
 CORSS = CITY OF RALEIGH SANITARY SEWER
 SDE = STORM DRAINAGE EASEMENT



GENERAL NOTES:

- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JUMP. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
- ANY SPECIALITY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE TOWN OF KNIGHTDALE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- TEMPORARY STREET SIGNS ARE REQUIRED ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE.
- MAINTAIN 3' CLEARANCE AROUND FIRE HYDRANTS, TO INCLUDE SILT FENCE.
- PARKING SPACES INSIDE ROW SHALL BE PUBLIC PARKING, HOA MAINTAINED.
- THERE SHALL BE A MINIMUM 4' WIDE CONCRETE ACCESS WAY AROUND ALL SIDES OF THE MAILBOX KIOSK W/ MAX 2% SLOPE.
- ANY & ALL MAILBOX KIOSKS SHOWN ON THE PLAN ARE REQUIRED TO BE INSTALLED PRIOR TO THE FINAL PLAN.
- ANY STREET STUBS WHERE IMPROVEMENTS CANNOT BE BUILT TO 10' OF THE PROPERTY LINE WILL REQUIRE A FEE IN LIEU.
- ALL PARALLEL PARKING SPACES SHALL BE MINIMUM 8'x20' AND ALL 90° PARKING SPACES SHALL BE 9'x18' MEASURED FROM FACE OF CURB.



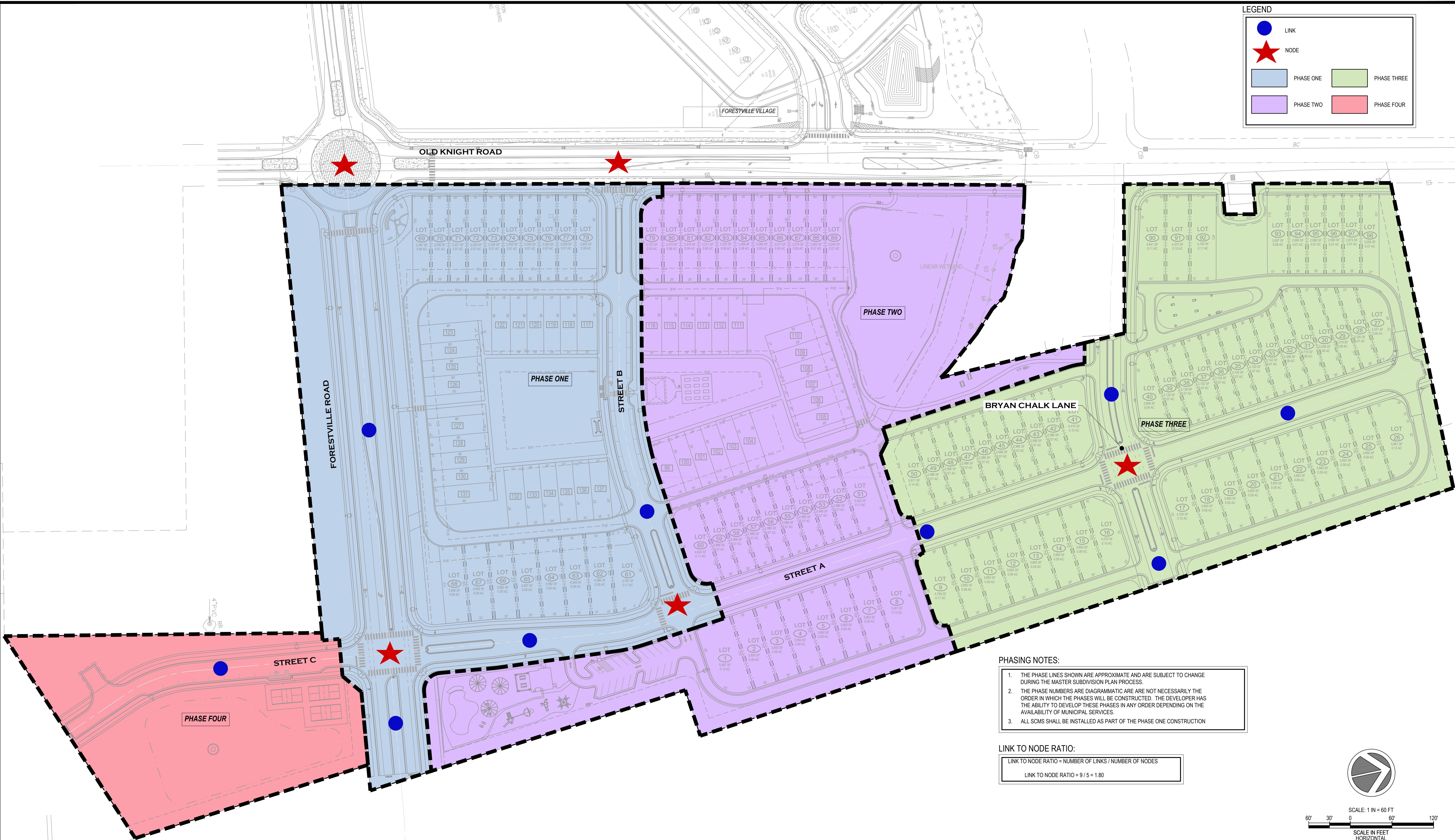
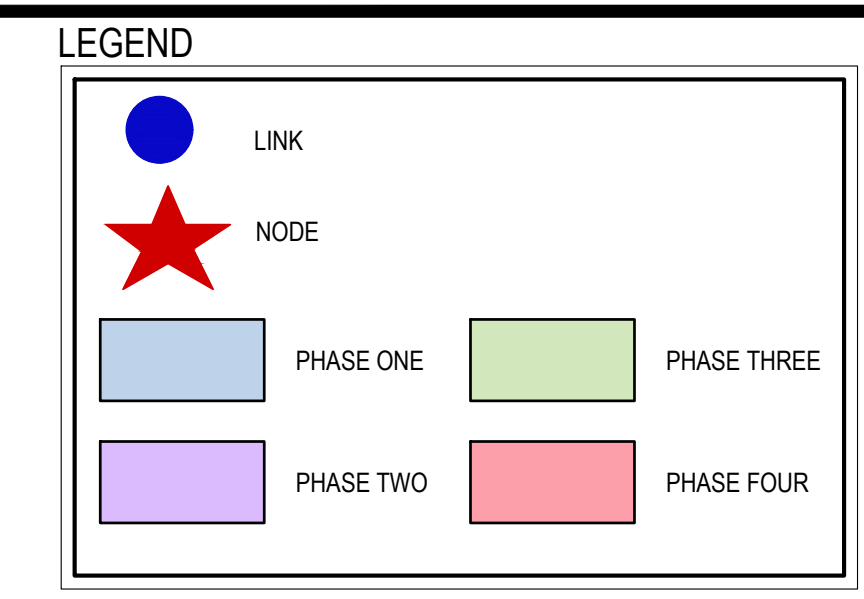
REVISIONS	
NO.	DESCRIPTION
A	09/16/2021 TOWN OF KNIGHTDALE COMMENTS #1
B	10/29/2021 TOK COMMENTS #2 & OWNER CHANGES
C	11/22/2021 TOWN COUNCIL & LDRS CHANGES
D	02/08/2022 TOWN COUNCIL CHANGES

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 ANDREW S. PEITY

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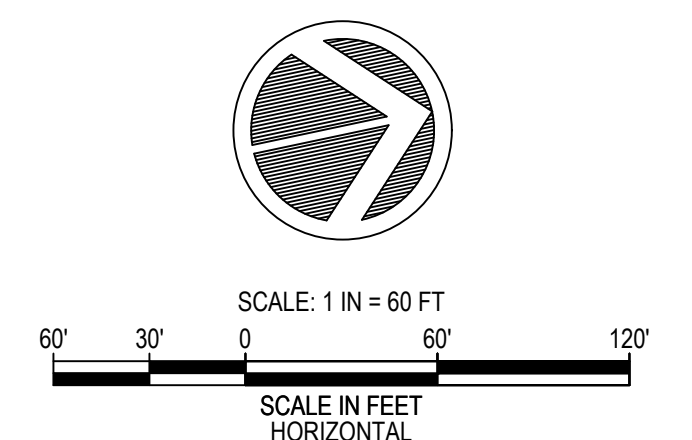
SUBDIVISION MASTER PLAN
 MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
 OVERALL SITE PLAN
 TOK PROJECT # ZMA-12-20
C-2.0



PHASING NOTES:

1. THE PHASE LINES SHOWN ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DURING THE MASTER SUBDIVISION PLAN PROCESS.
2. THE PHASE NUMBERS ARE DIAGRAMMATIC ARE NOT NECESSARILY THE ORDER IN WHICH THE PHASES WILL BE CONSTRUCTED. THE DEVELOPER HAS THE ABILITY TO DEVELOP THESE PHASES IN ANY ORDER DEPENDING ON THE AVAILABILITY OF MUNICIPAL SERVICES.
3. ALL SCMS SHALL BE INSTALLED AS PART OF THE PHASE ONE CONSTRUCTION

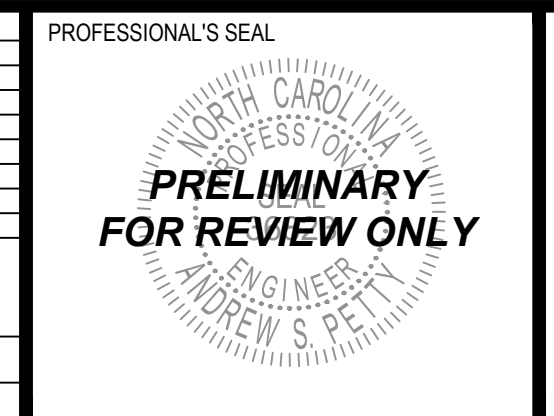
LINK TO NODE RATIO:
 LINK TO NODE RATIO = NUMBER OF LINKS / NUMBER OF NODES
 LINK TO NODE RATIO = 9 / 5 = 1.80



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DATE: JULY 26, 2021 HORZ. SCALE: 1" = 60'
 FILE NO. 2018-022 ORIG. SHEET SIZE: 24 x 36



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SUBDIVISION MASTER PLAN
 MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
 PHASING PLAN

TOK PROJECT # ZMA-12-20

C-2.1

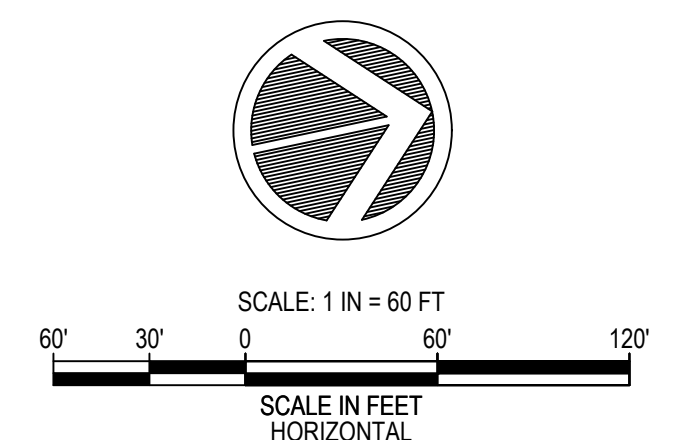
LEGEND

- TREE COVERAGE
- PASSIVE OPEN SPACE
- PASSIVE OPEN SPACE (STORMWATER)
- ACTIVE OPEN SPACE



OPEN SPACE CALCULATIONS

OPEN SPACE BREAKDOWN:	
PROPERTY BOUNDARY:	26.60 AC
TOTAL UNIT COUNT:	136 UNITS
NUMBER OF 3-BEDROOM UNITS:	96 UNITS
NUMBER OF 4-BEDROOM UNITS:	41 UNITS
ACREAGE WITHIN 1/4 MILE:	23.42 AC
ACREAGE BETWEEN 1/4 & 1/2 MILE:	3.18 AC
ACREAGE OUTSIDE 1/2 MILE:	0 AC
TOTAL NUMBER OF BEDROOMS:	452 BEDROOMS
BEDROOMS AT 1/4 MILE:	398 UNITS
BEDROOMS AT 1/4 TO 1/2 MILE:	55 UNITS
BEDROOMS OVER 1/2 MILE:	0 UNITS
REQUIRED OPEN SPACE:	2.87 AC (PER UDO CHART)
REQUIRED ACTIVE OPEN SPACE:	1.43 AC (50%)
PROVIDED ACTIVE OPEN SPACE:	2.14 AC (75%)
REQUIRED PASSIVE OPEN SPACE:	0.46 AC
PROVIDED PASSIVE OPEN SPACE:	2.78 AC
PROVIDED OPEN SPACE:	4.92 AC
TREE COVERAGE AREA:	
PERIMETER OF TRACT:	6395 FT
BUFFER WIDTH:	20 FT
REQUIRED TREE COVERAGE AREA:	2.66 AC (10%)
PROVIDED TREE COVERAGE AREA:	2.75 AC (10%)



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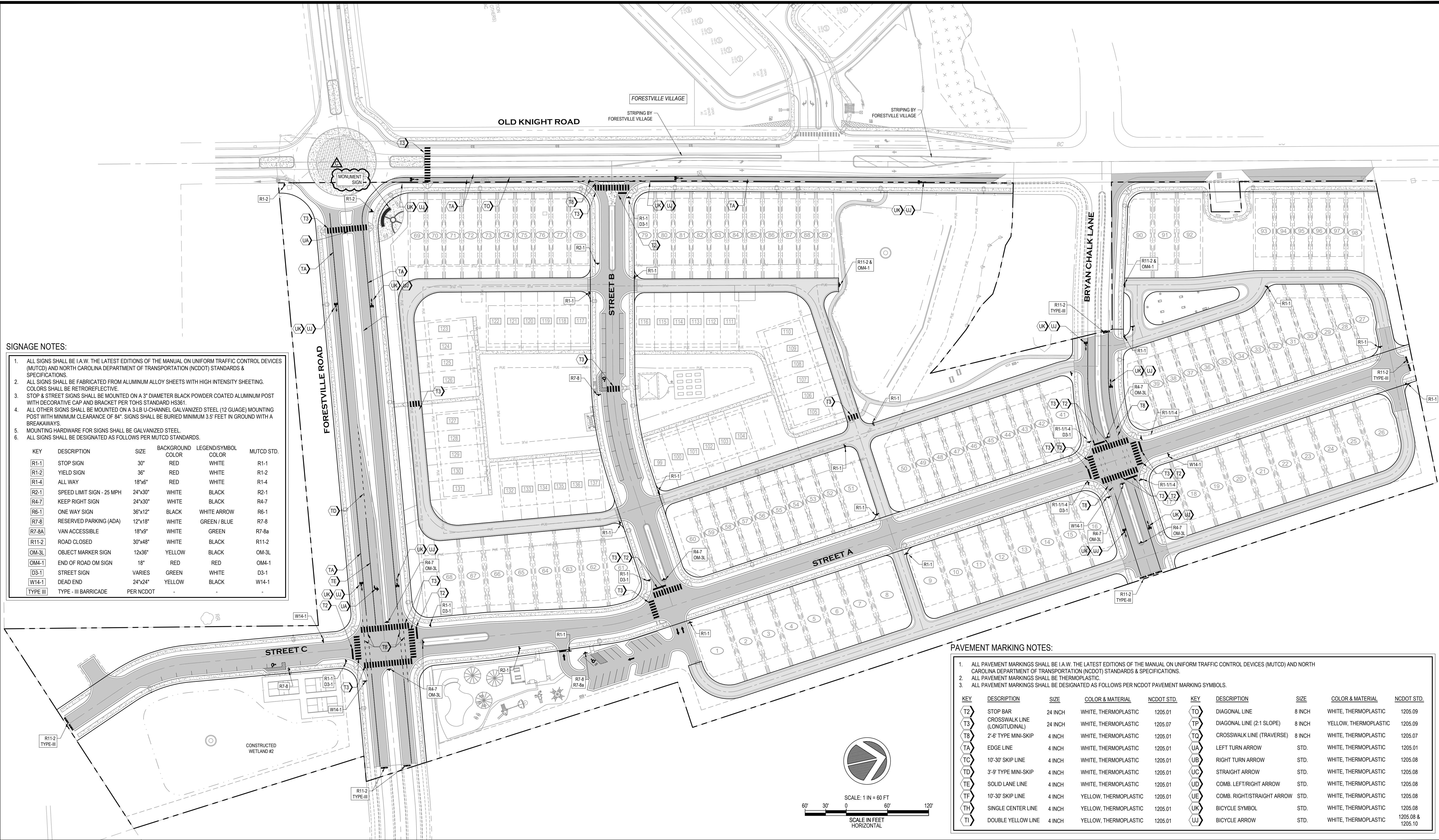
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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
OPEN SPACE PLAN

TOK PROJECT # ZMA-12-20

C-2.2



SIGNAGE NOTES:

- ALL SIGNS SHALL BE I.A.W. THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARDS & SPECIFICATIONS.
- ALL SIGNS SHALL BE FABRICATED FROM ALUMINUM ALLOY SHEETS WITH HIGH INTENSITY SHEETING. COLORS SHALL BE RETROREFLECTIVE.
- STOP & STREET SIGNS SHALL BE MOUNTED ON A 3" DIAMETER BLACK POWDER COATED ALUMINUM POST WITH DECORATIVE CAP AND BRACKET PER TOHS STANDARD HS361.
- ALL OTHER SIGNS SHALL BE MOUNTED ON A 3-LB U-CHANNEL GALVANIZED STEEL (12 GAUGE) MOUNTING POST WITH MINIMUM CLEARANCE OF 84". SIGNS SHALL BE BURIED MINIMUM 3.5' FEET IN GROUND WITH A BREAKAWAYS.
- MOUNTING HARDWARE FOR SIGNS SHALL BE GALVANIZED STEEL.
- ALL SIGNS SHALL BE DESIGNATED AS FOLLOWS PER MUTCD STANDARDS.

KEY	DESCRIPTION	SIZE	BACKGROUND COLOR	LEGEND/SYMBOL COLOR	MUTCD STD.
R1-1	STOP SIGN	30"	RED	WHITE	R1-1
R1-2	YIELD SIGN	36"	RED	WHITE	R1-2
R1-4	ALL WAY	18"x6"	RED	WHITE	R1-4
R2-1	SPEED LIMIT SIGN - 25 MPH	24"x30"	WHITE	BLACK	R2-1
R4-7	KEEP RIGHT SIGN	24"x30"	WHITE	BLACK	R4-7
R6-1	ONE WAY SIGN	36"x12"	BLACK	WHITE ARROW	R6-1
R7-8	RESERVED PARKING (ADA)	12"x18"	WHITE	GREEN / BLUE	R7-8
R7-8a	VAN ACCESSIBLE	18"x9"	WHITE	GREEN	R7-8a
R11-2	ROAD CLOSED	30"x48"	WHITE	BLACK	R11-2
OM-3L	OBJECT MARKER SIGN	12"x36"	YELLOW	BLACK	OM-3L
OM-4	END OF ROAD OM SIGN	18"	RED	RED	OM-4
D3-1	STREET SIGN	VARIABLES	GREEN	WHITE	D3-1
W14-1	DEAD END	24"x24"	YELLOW	BLACK	W14-1
TYPE III	TYPE - III BARRICADE	PER NCDOT			

PAVEMENT MARKING NOTES:

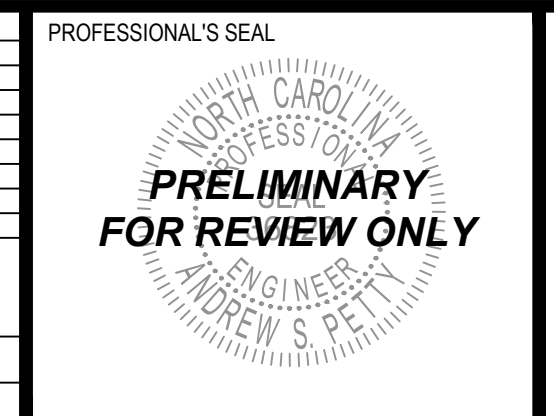
- ALL PAVEMENT MARKINGS SHALL BE I.A.W. THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARDS & SPECIFICATIONS.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- ALL PAVEMENT MARKINGS SHALL BE DESIGNATED AS FOLLOWS PER NCDOT PAVEMENT MARKING SYMBOLS.

KEY	DESCRIPTION	SIZE	COLOR & MATERIAL	NCDOT STD.	KEY	DESCRIPTION	SIZE	COLOR & MATERIAL	NCDOT STD.
T2	STOP BAR	24 INCH	WHITE, THERMOPLASTIC	1205.01	T0	DIAGONAL LINE	8 INCH	WHITE, THERMOPLASTIC	1205.09
T3	CROSSWALK LINE (LONGITUDINAL)	24 INCH	WHITE, THERMOPLASTIC	1205.07	TP	DIAGONAL LINE (2:1 SLOPE)	8 INCH	YELLOW, THERMOPLASTIC	1205.09
T8	2-6 TYPE MINI-SKIP	4 INCH	WHITE, THERMOPLASTIC	1205.01	TQ	CROSSWALK LINE (TRAVERSE)	8 INCH	WHITE, THERMOPLASTIC	1205.07
TA	EDGE LINE	4 INCH	WHITE, THERMOPLASTIC	1205.01	UA	LEFT TURN ARROW	STD.	WHITE, THERMOPLASTIC	1205.01
TC	10'-30' SKIP LINE	4 INCH	WHITE, THERMOPLASTIC	1205.01	UB	RIGHT TURN ARROW	STD.	WHITE, THERMOPLASTIC	1205.08
TD	3'-9' TYPE MINI-SKIP	4 INCH	WHITE, THERMOPLASTIC	1205.01	UC	STRAIGHT ARROW	STD.	WHITE, THERMOPLASTIC	1205.08
TE	SOLID LANE LINE	4 INCH	WHITE, THERMOPLASTIC	1205.01	UD	COMB. LEFT/RIGHT ARROW	STD.	WHITE, THERMOPLASTIC	1205.08
TF	10'-30' SKIP LINE	4 INCH	YELLOW, THERMOPLASTIC	1205.01	UE	COMB. RIGHT/STRAIGHT ARROW	STD.	WHITE, THERMOPLASTIC	1205.08
TH	SINGLE CENTER LINE	4 INCH	YELLOW, THERMOPLASTIC	1205.01	UK	BICYCLE SYMBOL	STD.	WHITE, THERMOPLASTIC	1205.08
TI	DOUBLE YELLOW LINE	4 INCH	YELLOW, THERMOPLASTIC	1205.01	UJ	BICYCLE ARROW	STD.	WHITE, THERMOPLASTIC	1205.08 & 1205.10

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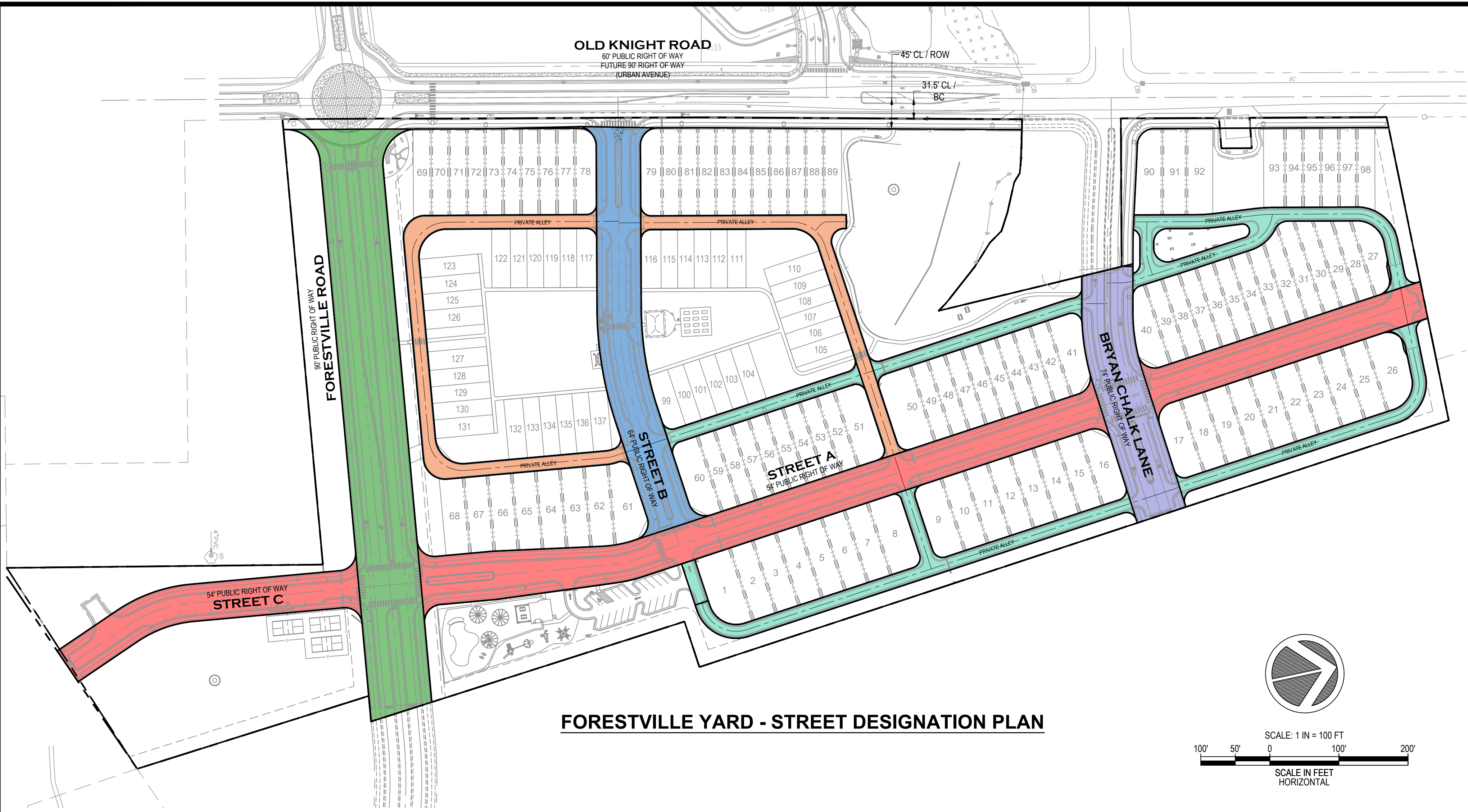
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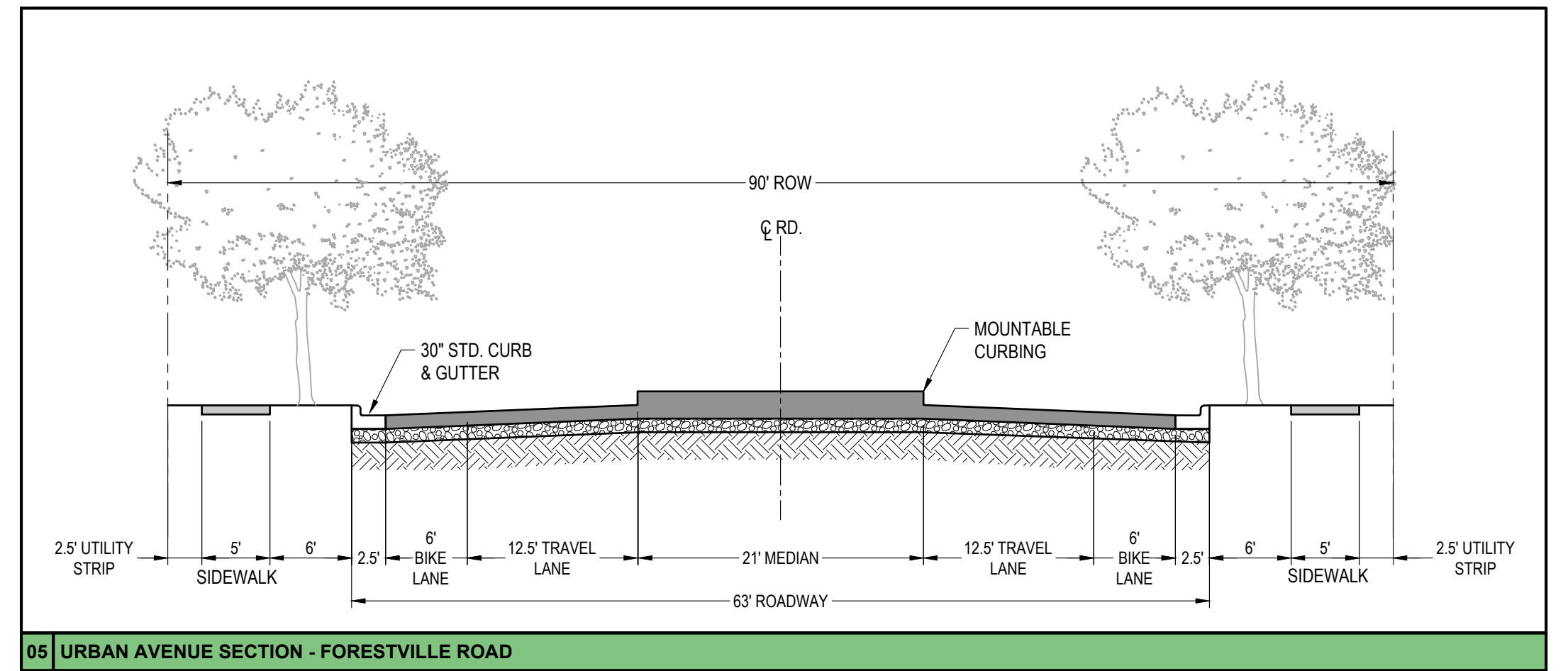
SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
SIGNAGE & STRIPING PLAN

TOK PROJECT # ZMA-12-20

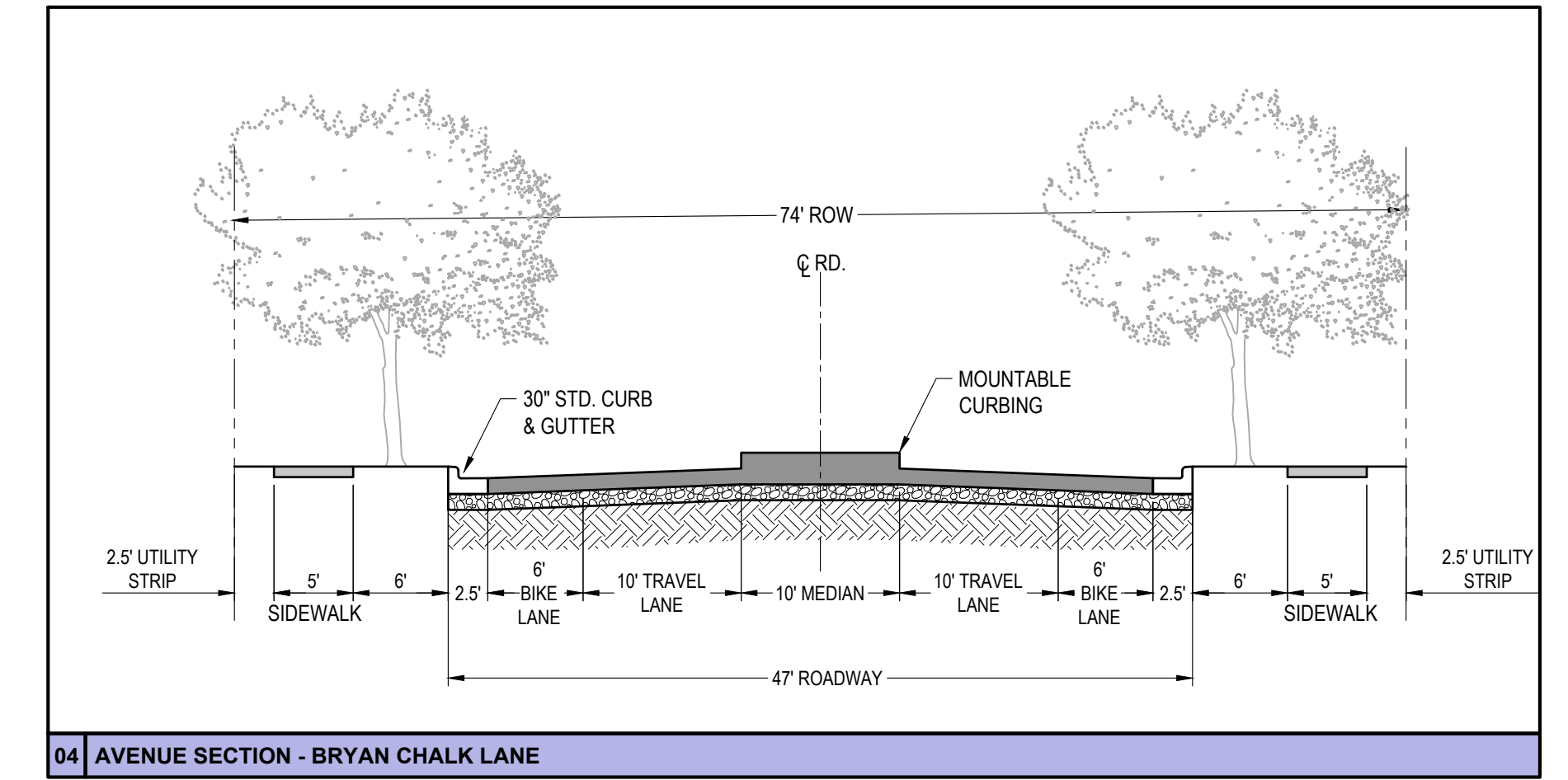
C-2.3



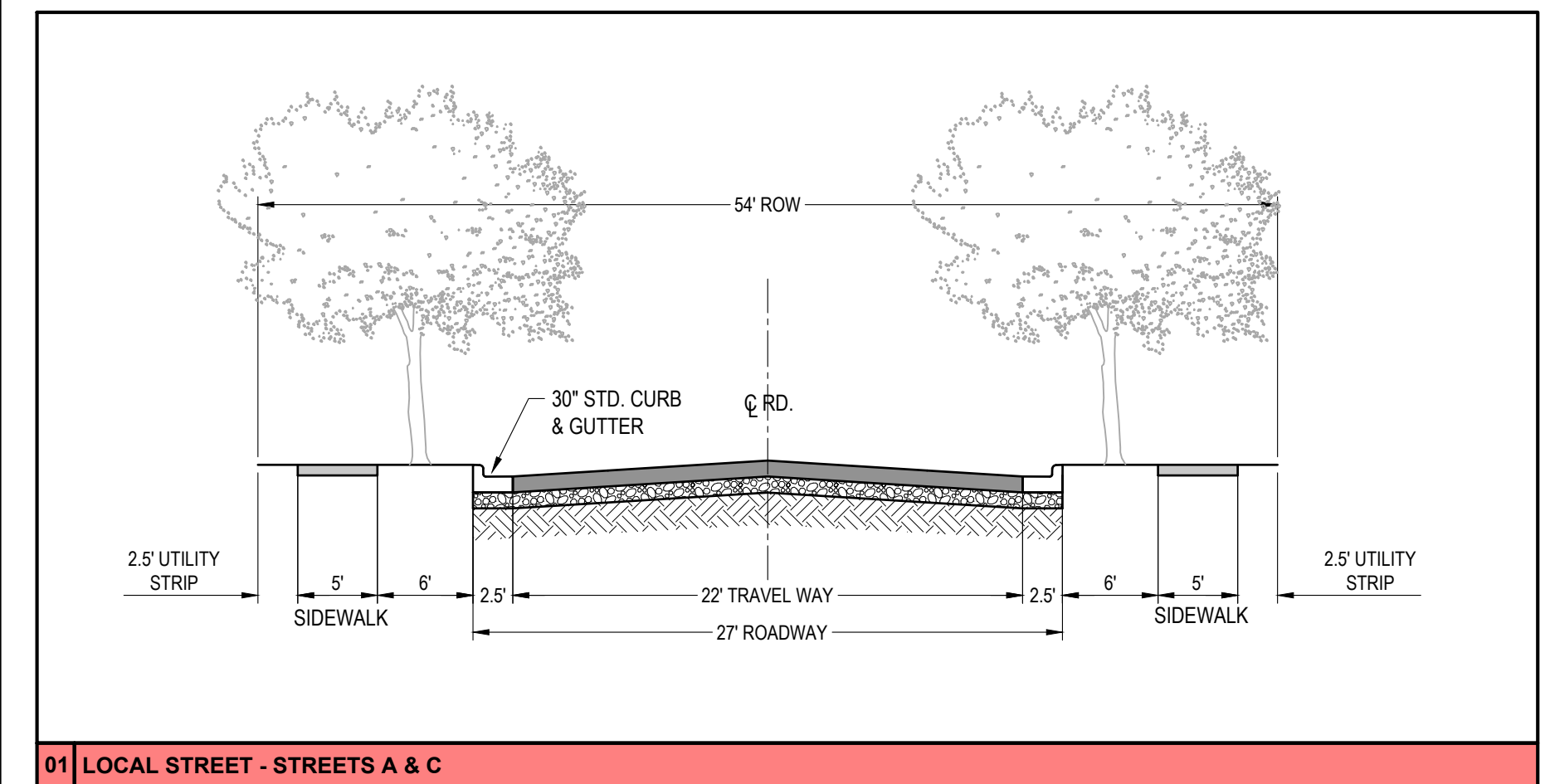
FORESTVILLE YARD - STREET DESIGNATION PLAN



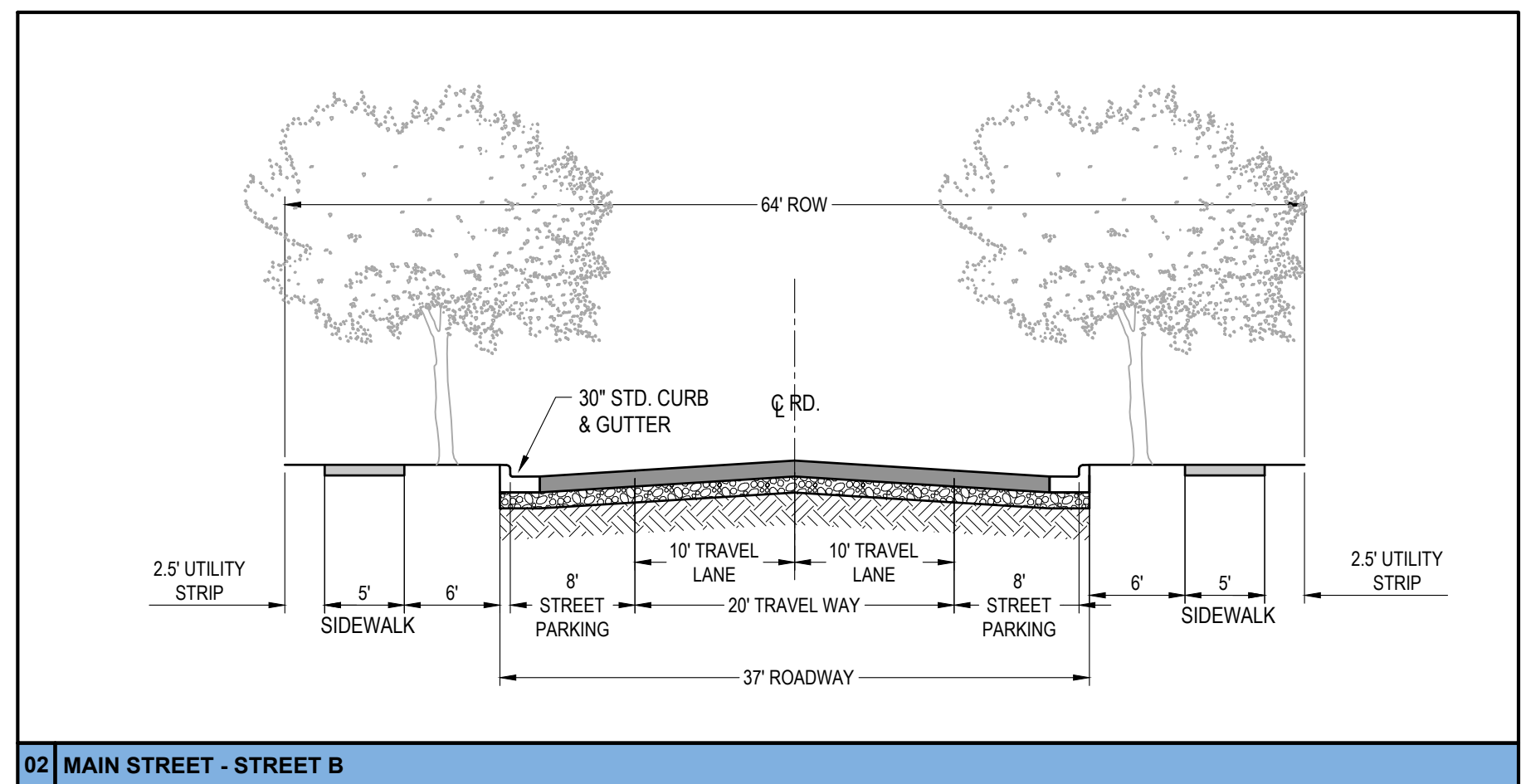
05 URBAN AVENUE SECTION - FORESTVILLE ROAD



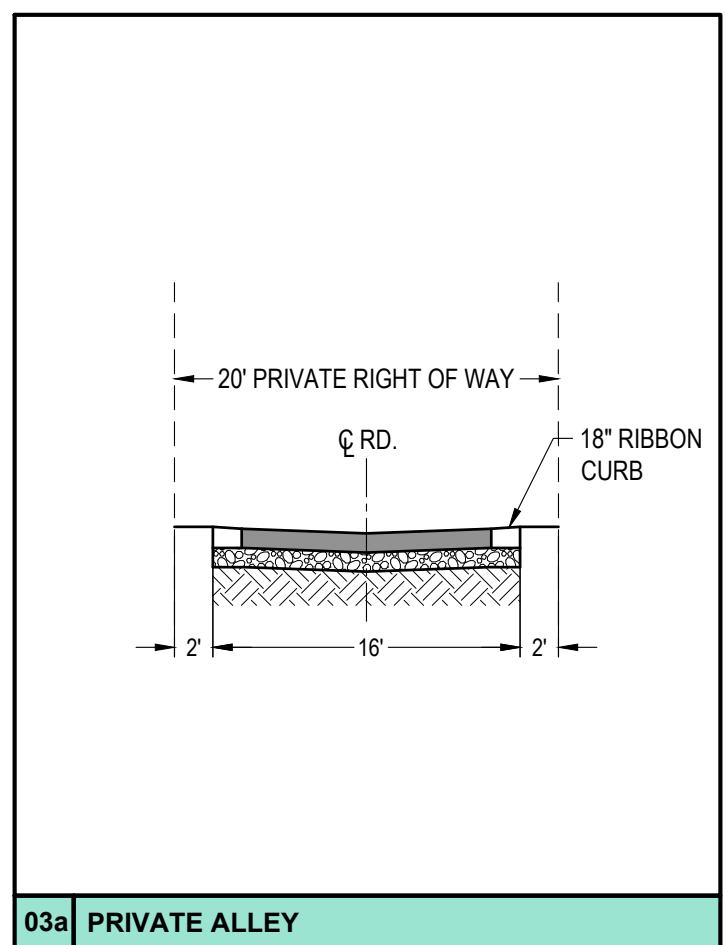
04 AVENUE SECTION - BRYAN CHALK LANE



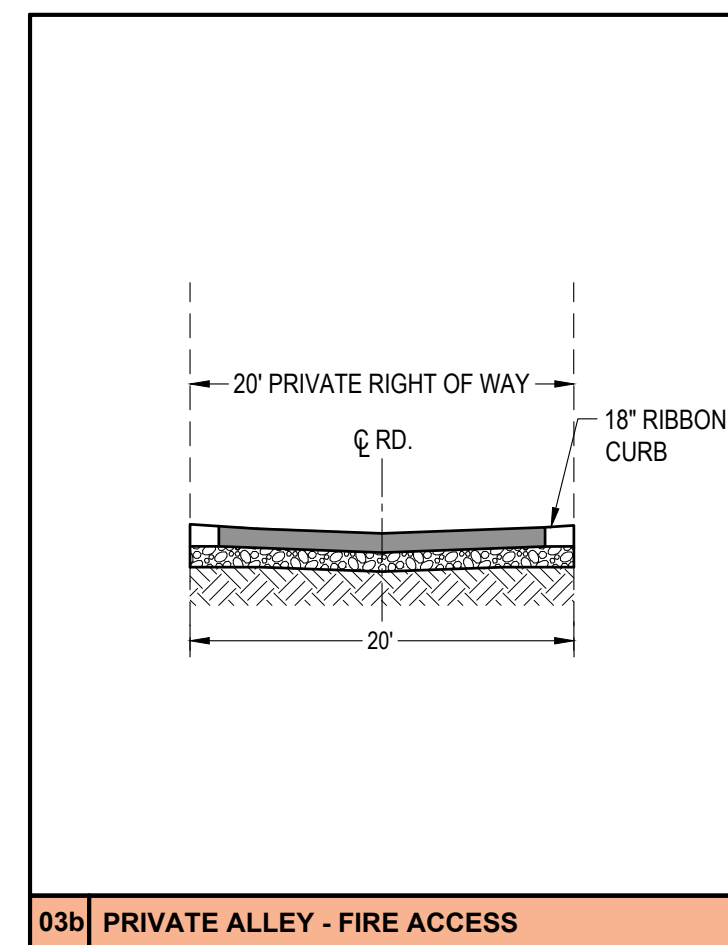
01 LOCAL STREET - STREETS A & C



02 MAIN STREET - STREET B



03a PRIVATE ALLEY



03b PRIVATE ALLEY - FIRE ACCESS

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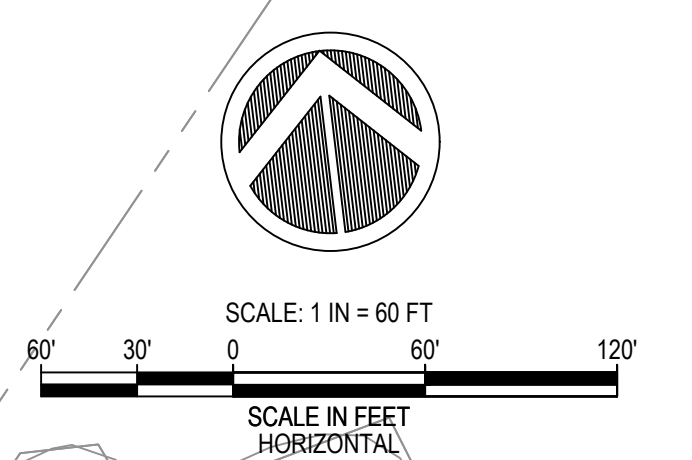
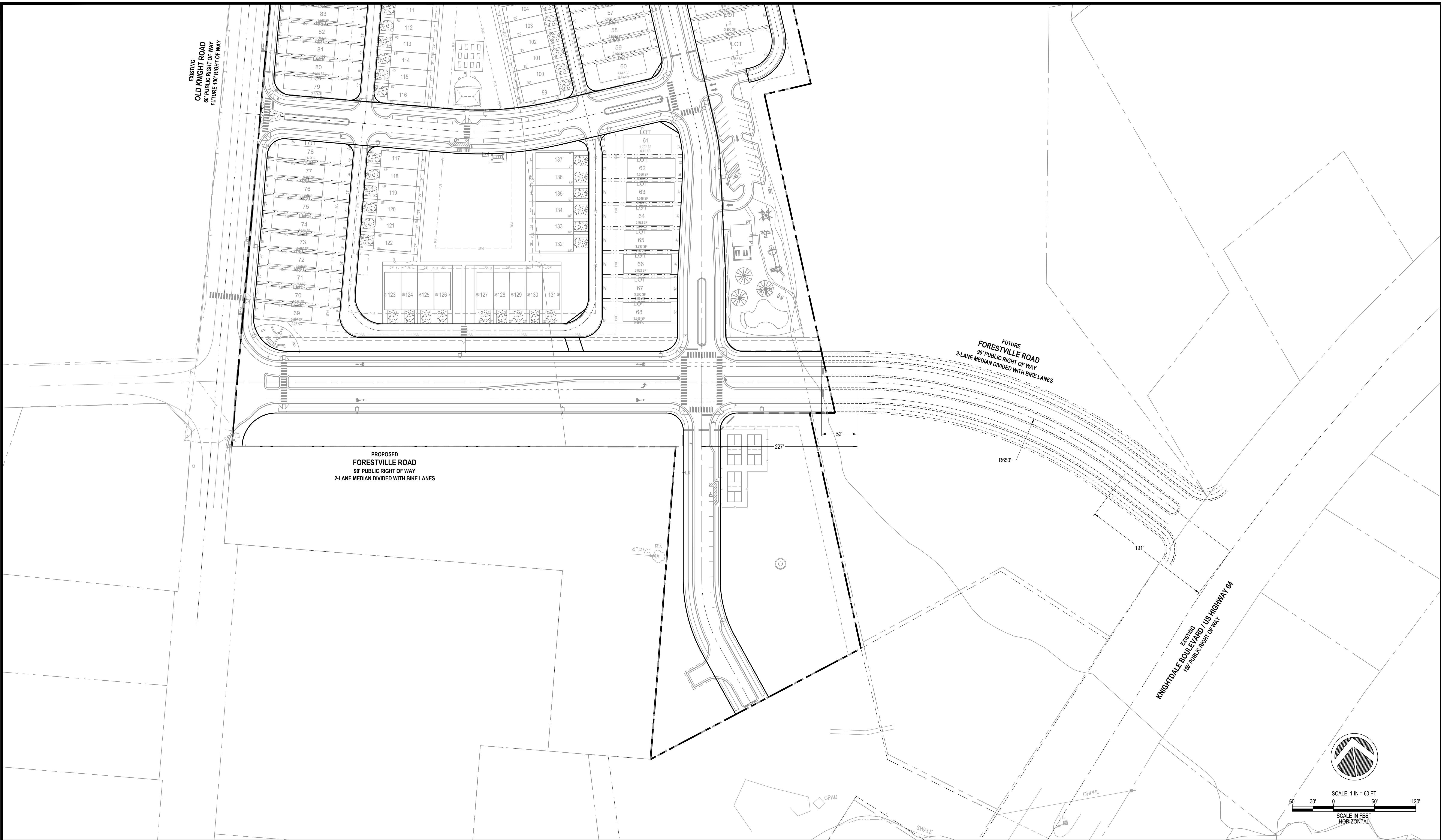
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SUBDIVISION MASTER PLAN
 MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
 STREET SECTIONS

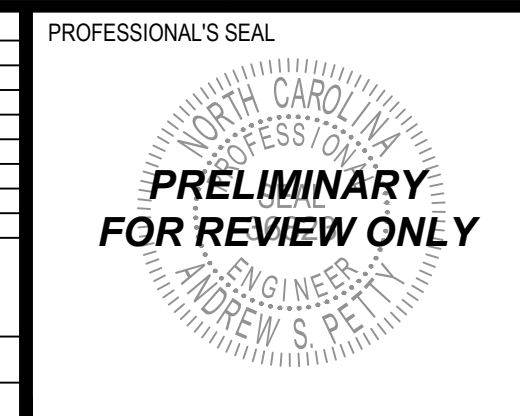
TOK PROJECT # ZMA-12-20

C-2.4



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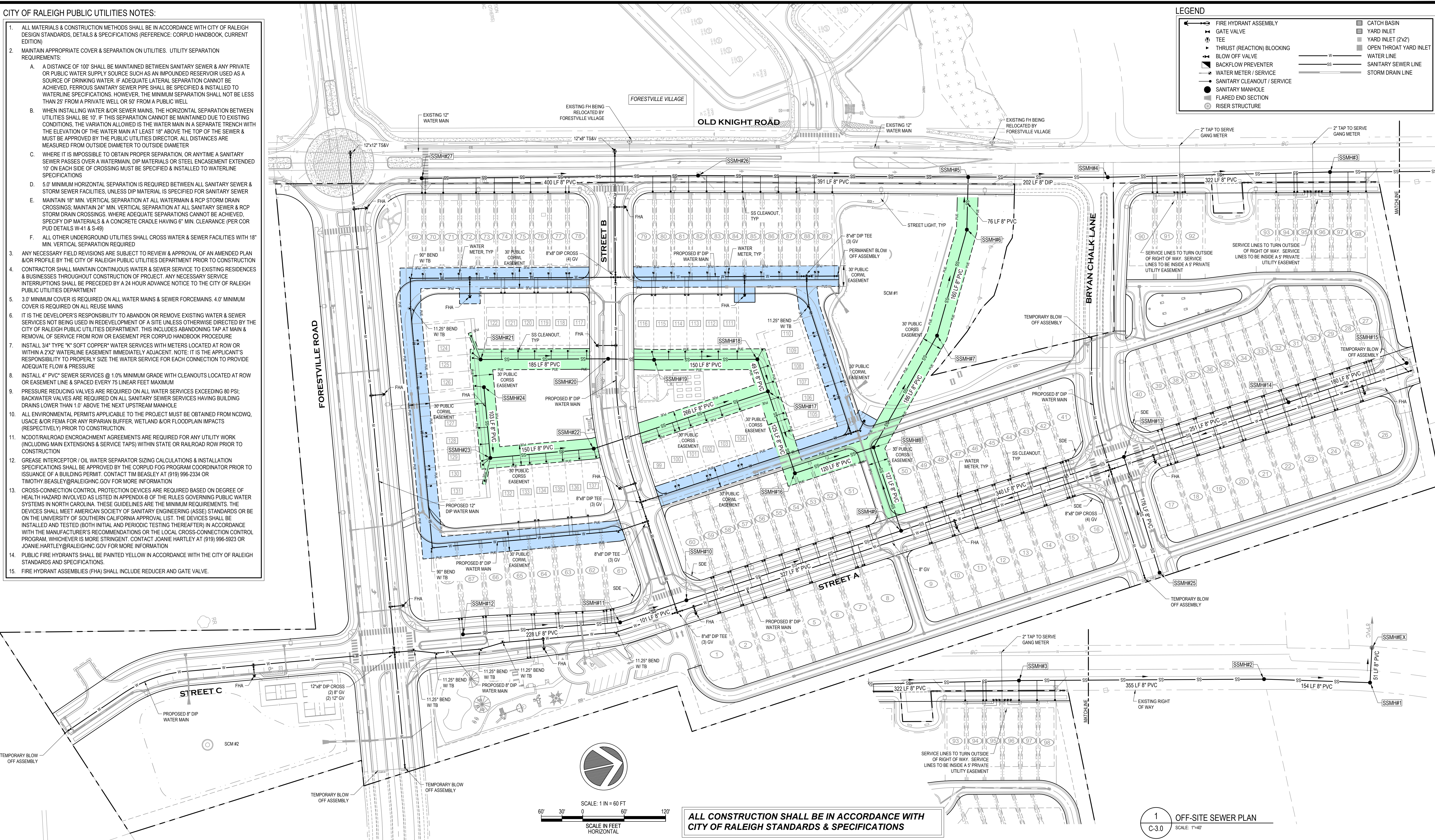
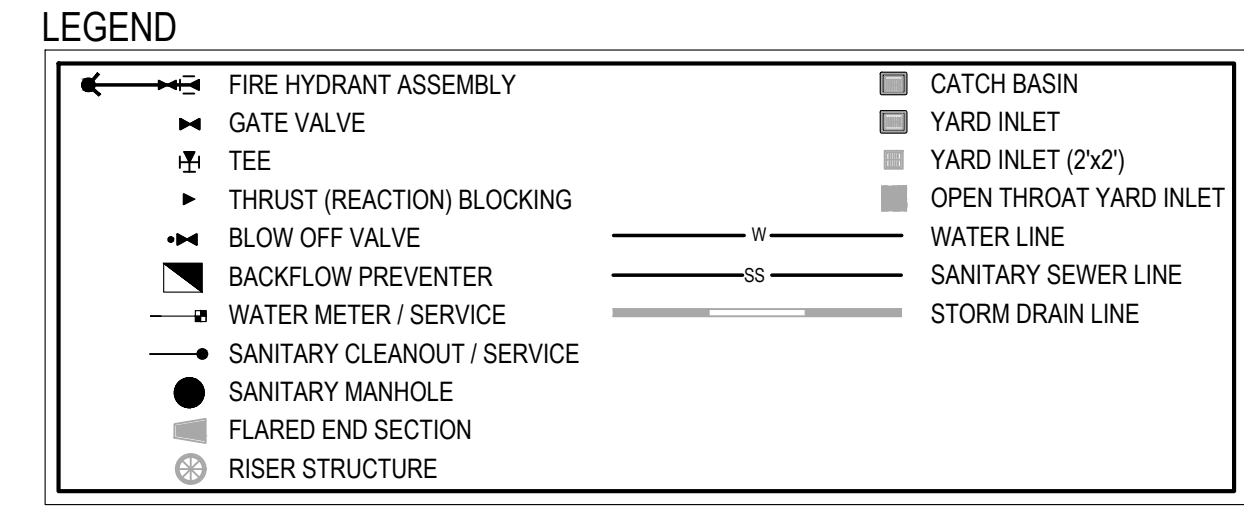
SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
FORESTVILLE ROAD EXTENSION PLAN

TOK PROJECT # ZMA-12-20

C-2.5

CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5' 0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 3/4" TYPE "K" SOFT COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- FIRE HYDRANT ASSEMBLIES (FHA) SHALL INCLUDE REDUCER AND GATE VALVE.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

1 OFF-SITE SEWER PLAN
SCALE: 1"=40'

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NC LIC. NO. P-0799

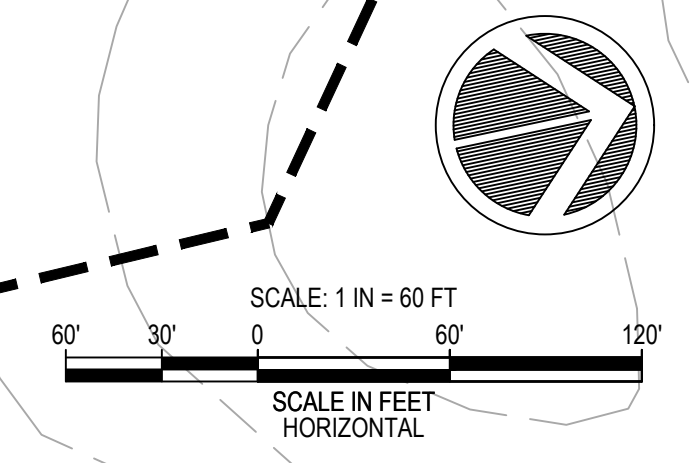
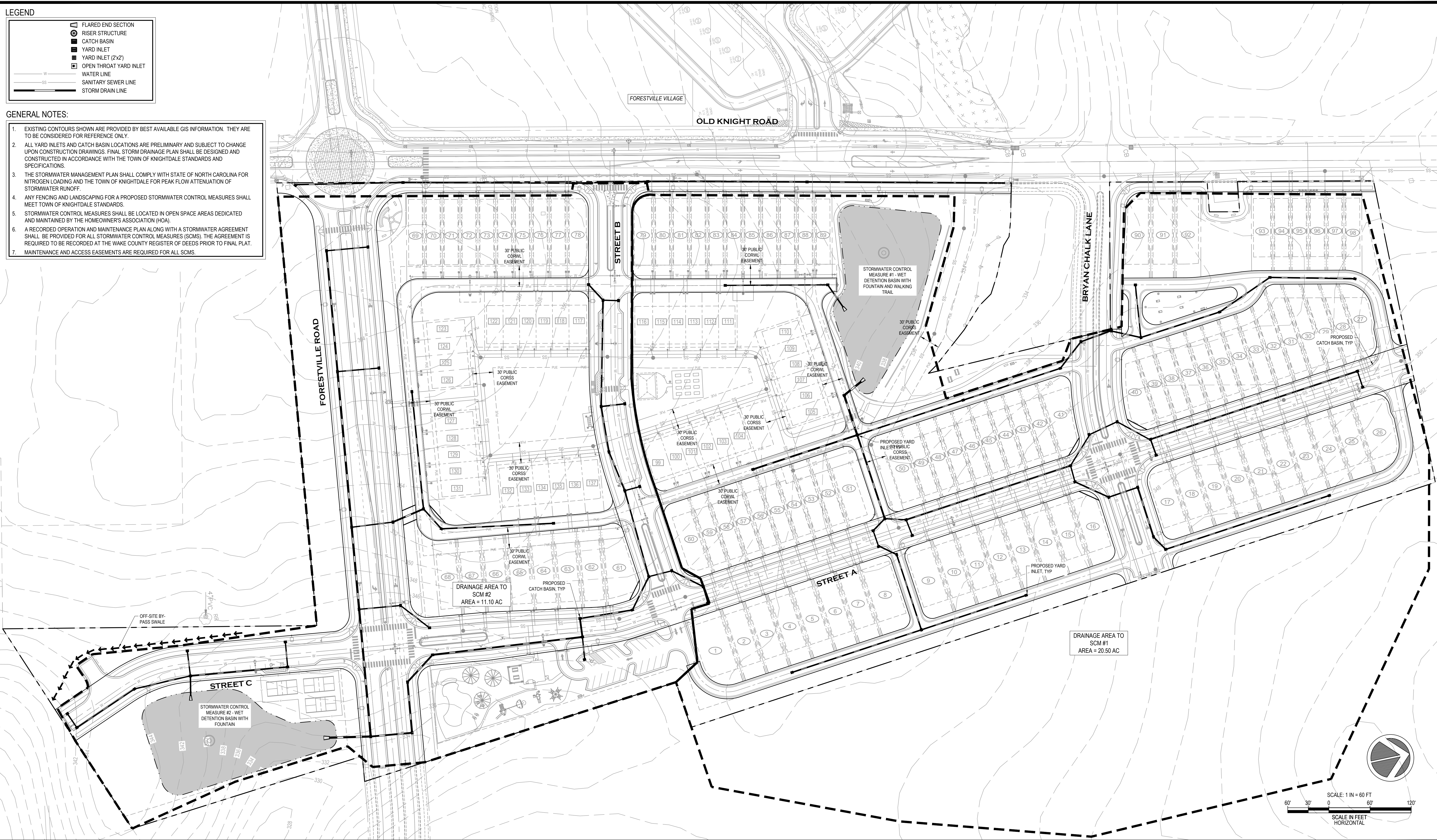
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a better life
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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
OVERALL UTILITY PLAN
TOK PROJECT # ZMA-12-20
C-3.0

LEGEND

- FLARED END SECTION
- RISER STRUCTURE
- CATCH BASIN
- YARD INLET
- YARD INLET (2x2)
- OPEN THROAT YARD INLET
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE

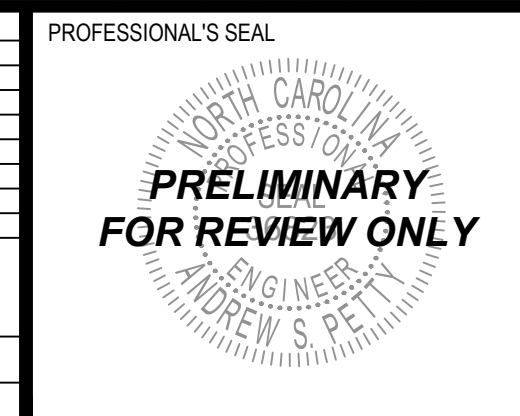
- GENERAL NOTES:**
1. EXISTING CONTOURS SHOWN ARE PROVIDED BY BEST AVAILABLE GIS INFORMATION. THEY ARE TO BE CONSIDERED FOR REFERENCE ONLY.
 2. ALL YARD INLETS AND CATCH BASIN LOCATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE UPON CONSTRUCTION DRAWINGS. FINAL STORM DRAINAGE PLAN SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
 3. THE STORMWATER MANAGEMENT PLAN SHALL COMPLY WITH STATE OF NORTH CAROLINA FOR NITROGEN LOADING AND THE TOWN OF KNIGHTDALE FOR PEAK FLOW ATTENUATION OF STORMWATER RUNOFF.
 4. ANY FENCING AND LANDSCAPING FOR A PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE STANDARDS.
 5. STORMWATER CONTROL MEASURES SHALL BE LOCATED IN OPEN SPACE AREAS DEDICATED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA).
 6. A RECORDED OPERATION AND MAINTENANCE PLAN ALONG WITH A STORMWATER AGREEMENT SHALL BE PROVIDED FOR ALL STORMWATER CONTROL MEASURES (SCMs). THE AGREEMENT IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO FINAL PLAT.
 7. MAINTENANCE AND ACCESS EASEMENTS ARE REQUIRED FOR ALL SCMs.



REVISIONS	
A	09/16/2021 TOWN OF KNIGHTDALE COMMENTS #1
B	10/29/2021 TOK COMMENTS #2 & OWNER CHANGES
C	11/23/2021 TOWN COUNCIL & LRRB CHANGES
D	02/08/2022 TOWN COUNCIL CHANGES

STATUS
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

DATE: JULY 26, 2021 HORZ. SCALE: 1" = 60'
FILE NO. 2019-022 ORIG. SHEET SIZE: 24 x 36



CONSULTANT

Curry
ENGINEERING

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EST. NO. P-0799

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F (919) 552-2043 Fayetteville, NC 27326

CLIENT

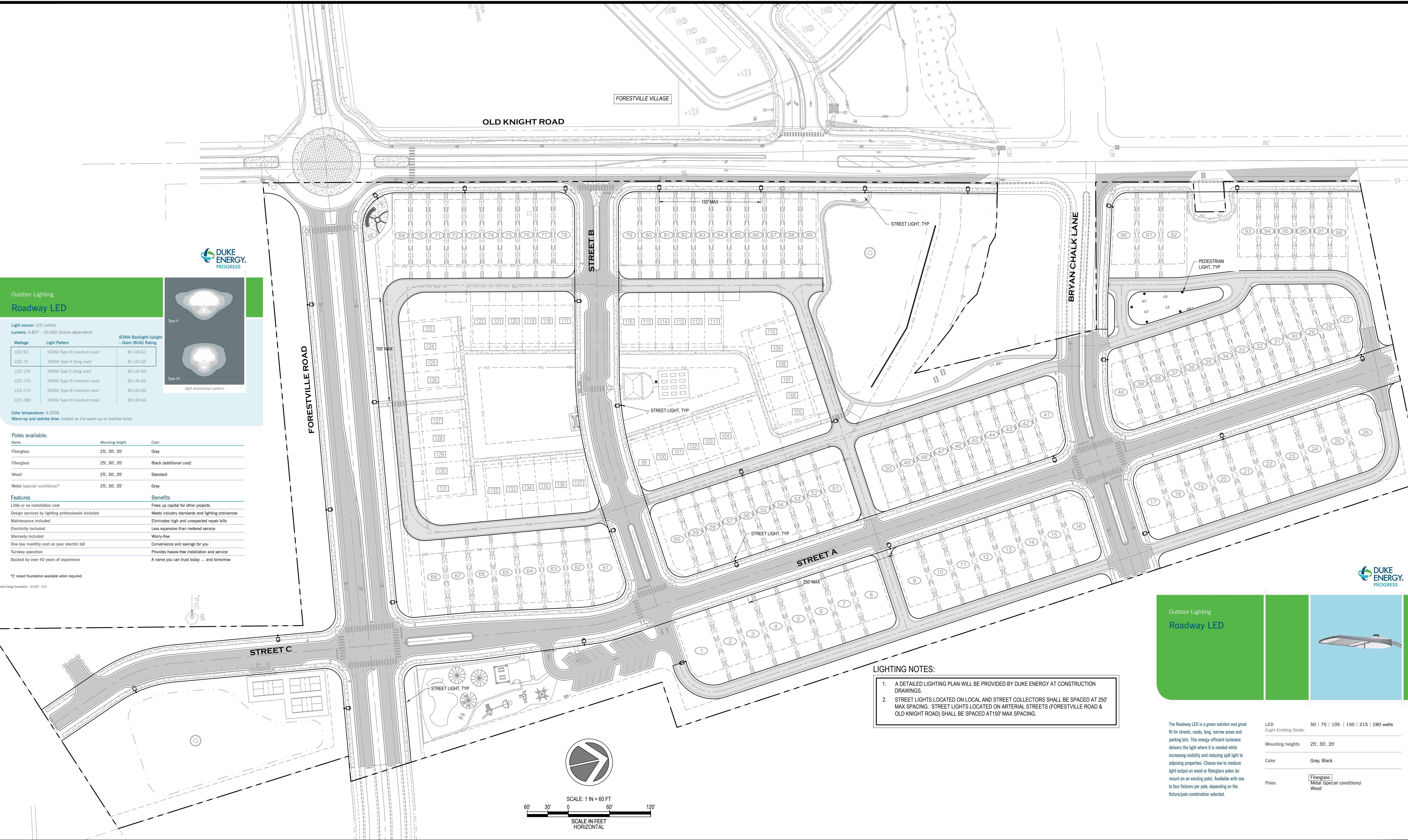
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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
OVERALL STORMWATER PLAN

TOK PROJECT # ZMA-12-20

C-4.0



Outdoor Lighting
Roadway LED

Light source: LED (white)
Lumens: 4,807 - 25,050 (fixture dependent)

Wattage	Light Pattern	IESNA Backlight-Uplight - Glare (BUG) Rating
LED 50	IESNA Type III (medium oval)	B1-UD-G1
LED 75	IESNA Type II (long oval)	B1-UD-G2
LED 105	IESNA Type II (long oval)	B2-UD-G3
LED 150	IESNA Type III (medium oval)	B2-UD-G2
LED 215	IESNA Type III (medium oval)	B3-UD-G3
LED 280	IESNA Type III (medium oval)	B3-UD-G4

Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

Poles available:	Mounting height	Color
Fiberglass	25', 30', 35'	Gray
Fiberglass	25', 30', 35'	Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)*	25', 30', 35'	Gray

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

*2" raised foundation available when required.

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LIGHTING NOTES:

1. A DETAILED LIGHTING PLAN WILL BE PROVIDED BY DUKE ENERGY AT CONSTRUCTION DRAWINGS.
2. STREET LIGHTS LOCATED ON LOCAL AND STREET COLLECTORS SHALL BE SPACED AT 250' MAX SPACING. STREET LIGHTS LOCATED ON ARTERIAL STREETS (FORESTVILLE ROAD & OLD KNIGHT ROAD) SHALL BE SPACED AT 150' MAX SPACING.

Outdoor Lighting
Roadway LED

The Roadway LED is a green solution and great fit for streets, roads, long, narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose low to medium light output on wood or fiberglass poles (or mount on an existing pole). Available with one to four fixtures per pole, depending on the fixture/pole combination selected.

LED (Light Emitting Diode)	50 75 105 150 215 280 watts
Mounting heights	25', 30', 35'
Color	Gray, Black
Poles	Fiberglass Metal (special conditions) Wood

REVISIONS	
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DATE: JULY 26, 2021 HORZ. SCALE: 1" = 60'
FILE NO. 2018-022 ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

PRELIMINARY FOR REVIEW ONLY

ENGINEER
ANDREW S. PETTY

CONSULTANT

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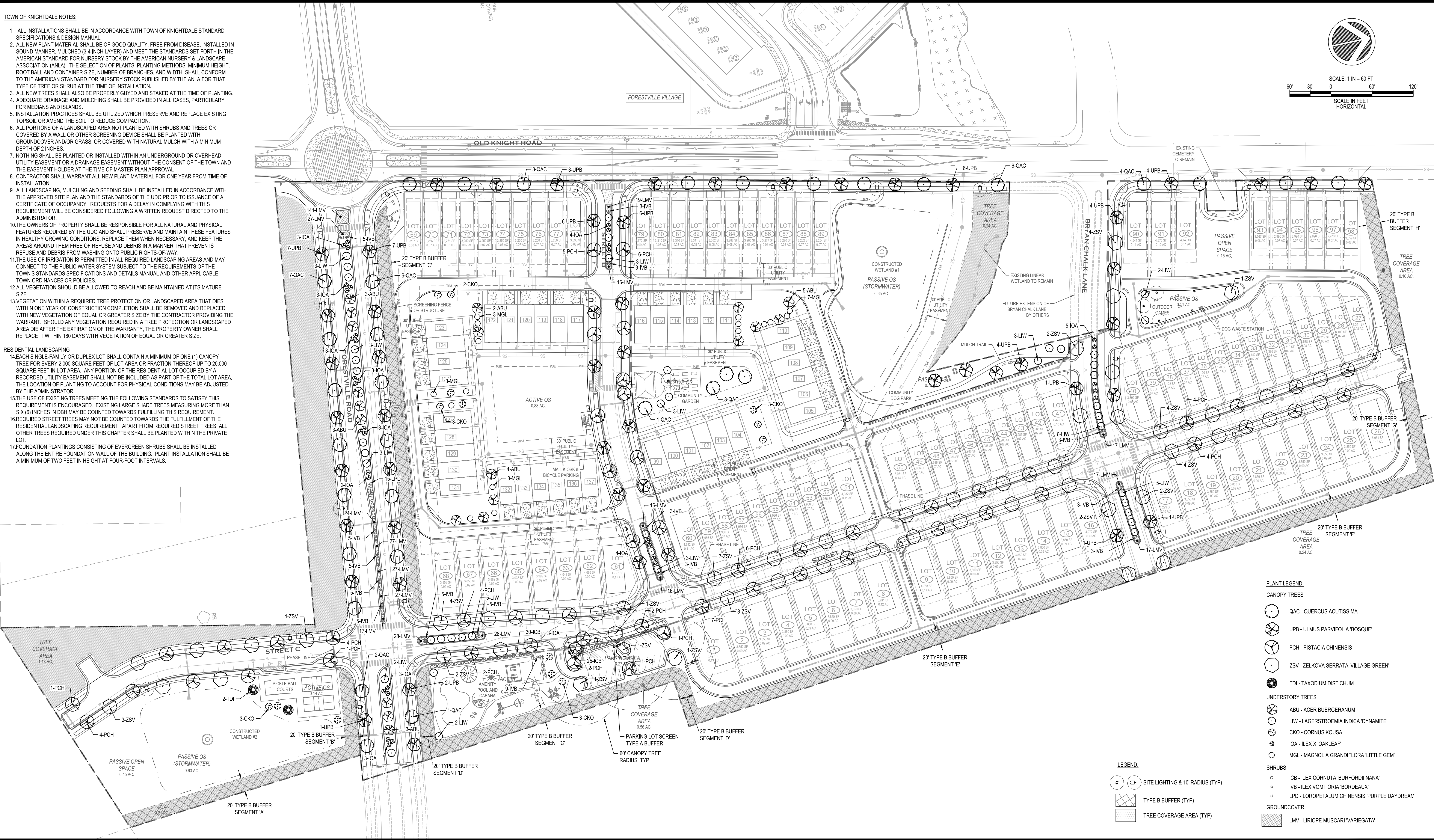
SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
OVERALL LIGHTING PLAN

TOK PROJECT # ZMA-12-20

C-5.0

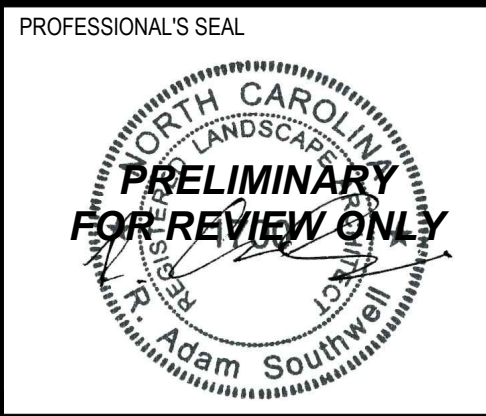
TOWN OF KNIGHTDALE NOTES:

- ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARD SPECIFICATIONS & DESIGN MANUAL.
 - ALL NEW PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE FROM DISEASE, INSTALLED IN SOUND MANNER, MULCHED (3-4 INCH LAYER) AND MEET THE STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE SELECTION OF PLANTS, PLANTING METHODS, MINIMUM HEIGHT, ROOT BALL AND CONTAINER SIZE, NUMBER OF BRANCHES, AND WIDTH, SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE ANLA FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
 - ALL NEW TREES SHALL ALSO BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.
 - ADEQUATE DRAINAGE AND MULCHING SHALL BE PROVIDED IN ALL CASES, PARTICULARLY FOR MEDIANS AND ISLANDS.
 - INSTALLATION PRACTICES SHALL BE UTILIZED WHICH PRESERVE AND REPLACE EXISTING TOPSOIL, OR AMEND THE SOIL TO REDUCE COMPACTION.
 - ALL PORTIONS OF A LANDSCAPED AREA NOT PLANTED WITH SHRUBS AND TREES OR COVERED BY A WALL OR OTHER SCREENING DEVICE SHALL BE PLANTED WITH GROUND COVER AND/OR GRASS, OR COVERED WITH NATURAL MULCH WITH A MINIMUM DEPTH OF 2 INCHES.
 - NOTHING SHALL BE PLANTED OR INSTALLED WITHIN AN UNDERGROUND OR OVERHEAD UTILITY EASEMENT OR A DRAINAGE EASEMENT WITHOUT THE CONSENT OF THE TOWN AND THE EASEMENT HOLDER AT THE TIME OF MASTER PLAN APPROVAL.
 - CONTRACTOR SHALL WARRANT ALL NEW PLANT MATERIAL FOR ONE YEAR FROM TIME OF INSTALLATION.
 - ALL LANDSCAPING, MULCHING AND SEEDING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED SITE PLAN AND THE STANDARDS OF THE UDO PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. REQUESTS FOR A DELAY IN COMPLYING WITH THIS REQUIREMENT WILL BE CONSIDERED FOLLOWING A WRITTEN REQUEST DIRECTED TO THE ADMINISTRATOR.
 - THE OWNERS OF PROPERTY SHALL BE RESPONSIBLE FOR ALL NATURAL AND PHYSICAL FEATURES REQUIRED BY THE UDO AND SHALL PRESERVE AND MAINTAIN THESE FEATURES IN HEALTHY GROWING CONDITIONS, REPLACE THEM WHEN NECESSARY, AND KEEP THE AREAS AROUND THEM FREE OF REFUSE AND DEBRIS IN A MANNER THAT PREVENTS REFUSE AND DEBRIS FROM WASHING ONTO PUBLIC RIGHTS-OF-WAY.
 - THE USE OF IRRIGATION IS PERMITTED IN ALL REQUIRED LANDSCAPING AREAS AND MAY CONNECT TO THE PUBLIC WATER SYSTEM SUBJECT TO THE REQUIREMENTS OF THE TOWN'S STANDARDS SPECIFICATIONS AND DETAILS MANUAL AND OTHER APPLICABLE TOWN ORDINANCES OR POLICIES.
 - ALL VEGETATION SHOULD BE ALLOWED TO REACH AND BE MAINTAINED AT ITS MATURE SIZE.
 - VEGETATION WITHIN A REQUIRED TREE PROTECTION OR LANDSCAPED AREA THAT DIES WITHIN ONE YEAR OF CONSTRUCTION COMPLETION SHALL BE REMOVED AND REPLACED WITH NEW VEGETATION OF EQUAL OR GREATER SIZE BY THE CONTRACTOR PROVIDING THE WARRANTY. SHOULD ANY VEGETATION REQUIRED IN A TREE PROTECTION OR LANDSCAPED AREA DIE AFTER THE EXPIRATION OF THE WARRANTY, THE PROPERTY OWNER SHALL REPLACE IT WITHIN 180 DAYS WITH VEGETATION OF EQUAL OR GREATER SIZE.
- RESIDENTIAL LANDSCAPING**
- EACH SINGLE-FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE FOR EVERY 2,000 SQUARE FEET OF LOT AREA OR FRACTION THEREOF UP TO 20,000 SQUARE FEET IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE ADMINISTRATOR.
 - THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN SIX (6) INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
 - REQUIRED STREET TREES MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT. APART FROM REQUIRED STREET TREES, ALL OTHER TREES REQUIRED UNDER THIS CHAPTER SHALL BE PLANTED WITHIN THE PRIVATE LOT.
 - FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO FEET IN HEIGHT AT FOUR-FOOT INTERVALS.



- PLANT LEGEND:**
- CANOPY TREES**
- QAC - QUERCUS ACUTISSIMA
 - ⊗ UPB - ULMUS PARVIFOLIA 'BOSQUE'
 - ⊗ PCH - PISTACIA CHINENSIS
 - ⊗ ZSV - ZELKOVA SERRATA 'VILLAGE GREEN'
 - ⊗ TDI - TAXODIUM DISTICHUM
- UNDERSTORY TREES**
- ⊗ ABU - ACER BUERGERANUM
 - ⊗ LIW - LAGERSTROEMIA INDICA 'DYNAMITE'
 - ⊗ CKO - CORNUS KOUSA
 - ⊗ IOA - ILEX X 'OAKLEAF'
 - ⊗ MGL - MAGNOLIA GRANDIFLORA 'LITTLE GEM'
- SHRUBS**
- ICB - ILEX CORNUTA 'BURFORDI NANA'
 - IVB - ILEX VOMITORIA 'BORDEAUX'
 - LPD - LOROPETALUM CHINENSIS 'PURPLE DAYDREAM'
- GROUND COVER**
- LMV - LIRIOPE MUSCARI 'VARIEGATA'
- LEGEND:**
- ⊙ SITE LIGHTING & 10' RADIUS (TYP)
 - ▨ TYPE B BUFFER (TYP)
 - ▨ TREE COVERAGE AREA (TYP)

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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
OVERALL LANDSCAPE PLAN

L-1.0

LANDSCAPE CALCULATIONS:

8.6 BUFFERS
20' WIDE TYPE B BUFFER YARD
 REQUIREMENT: 3 CANOPY TREES, 5 UNDERSTORY TREES, 20 SHRUBS PER 100 LF

SEGMENT 'A'
 REQUIRED: 352 LF
 11 CANOPY TREES
 18 UNDERSTORY TREES
 71 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'B'
 REQUIRED: 131 LF
 4 CANOPY TREES
 7 UNDERSTORY TREES
 27 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'C'
 REQUIRED: 604 LF
 19 CANOPY TREES
 31 UNDERSTORY TREES
 121 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'D'
 REQUIRED: 133 LF
 5 CANOPY TREES
 7 UNDERSTORY TREES
 27 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'E'
 REQUIRED: 384 LF
 12 CANOPY TREES
 20 UNDERSTORY TREES
 77 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'F'
 REQUIRED: 70 LF
 3 CANOPY TREES
 4 UNDERSTORY TREES
 14 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'G'
 REQUIRED: 688 LF
 21 CANOPY TREES
 34 UNDERSTORY TREES
 134 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'H'
 REQUIRED: 401 LF
 13 CANOPY TREES
 21 UNDERSTORY TREES
 81 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'I'
 REQUIRED: 151 LF
 5 CANOPY TREES
 8 UNDERSTORY TREES
 31 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

SEGMENT 'J'
 REQUIRED: 223 LF
 7 CANOPY TREES
 12 UNDERSTORY TREES
 45 SHRUBS
 PROVIDED: EXISTING VEGETATION TO REMAIN UNDISTURBED. SEE TYPICAL 100' SECTION DETAIL IF SUPPLEMENTAL PLANTING IS REQUIRED

8.7 SCREENING REQUIREMENT: PARKING LOT SHALL BE SCREENED WITH A TYPE A BUFFER
 3 CANOPY TREES, 2 UNDERSTORY TREES, 20 SHRUBS PER 100 LF
 PARKING LOT REQUIRED: 123 LF
 4 CANOPY TREES
 3 UNDERSTORY TREES
 25 SHRUBS
 PROVIDED: 4 CANOPY TREES
 3 UNDERSTORY TREES
 25 SHRUBS

8.8 PARKING LOT LANDSCAPING REQUIREMENT: ALL PARKING SPACES SHALL BE WITHIN 60' OF A DECIDUOUS CANOPY TREE LANDSCAPE AREAS AT THE END OF EACH PARKING ROW SHALL CONTAIN A DECIDUOUS CANOPY TREE

8.9 RESIDENTIAL LANDSCAPING REQUIREMENT: SEE "RESIDENTIAL LANDSCAPING" NOTES UNDER TOWN OF KNIGHTDALE NOTES ON OVERALL LANDSCAPE PLAN

8.10 STREET TREE PLANTINGS REQUIREMENT: DECIDUOUS CANOPY TREES @ 40' O.C. ALONG ALL PUBLIC RIGHTS-OF-WAY STREET TREES SHALL BE PLACED AT LEAST 10 FEET FROM LIGHT POLES AND 12 FEET FROM ELECTRICAL TRANSFORMERS

OLD KNIGHT ROAD
 REQUIRED: 26 CANOPY TREES
 PROVIDED: 26 CANOPY TREES

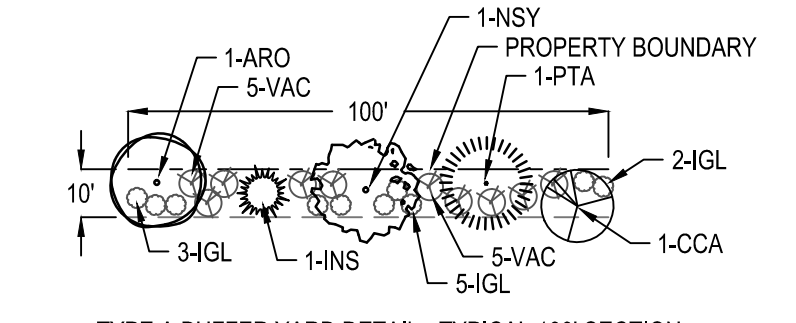
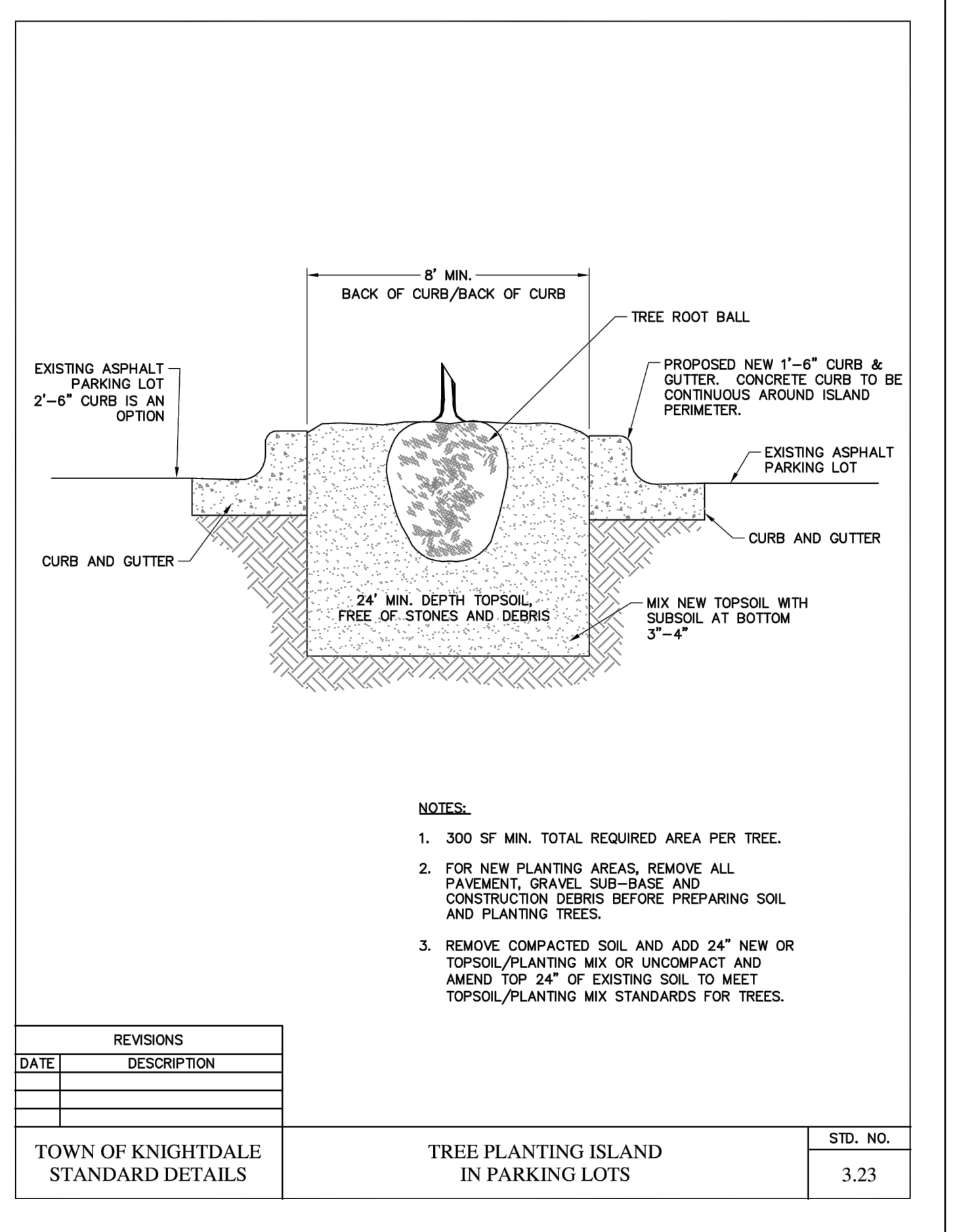
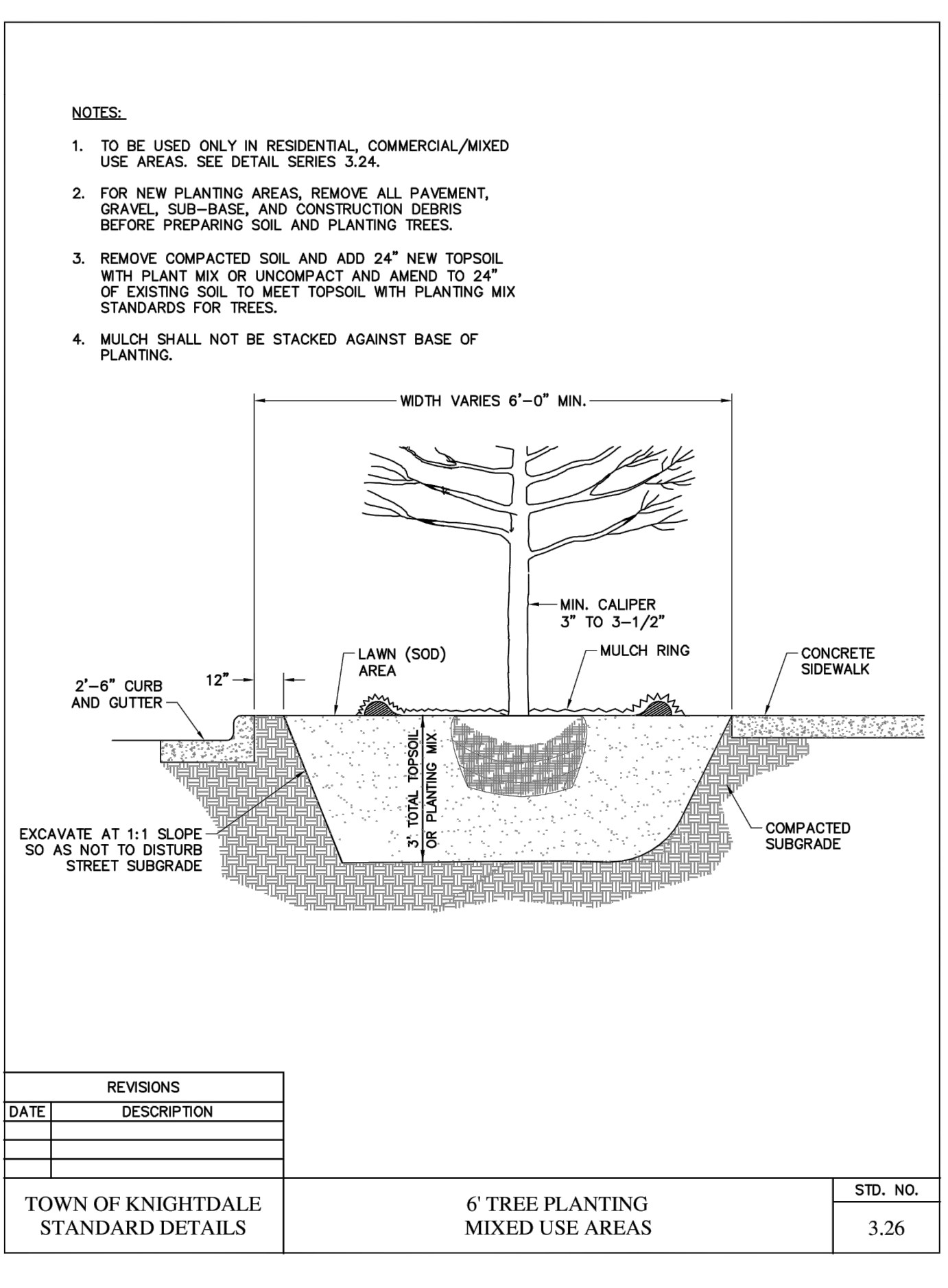
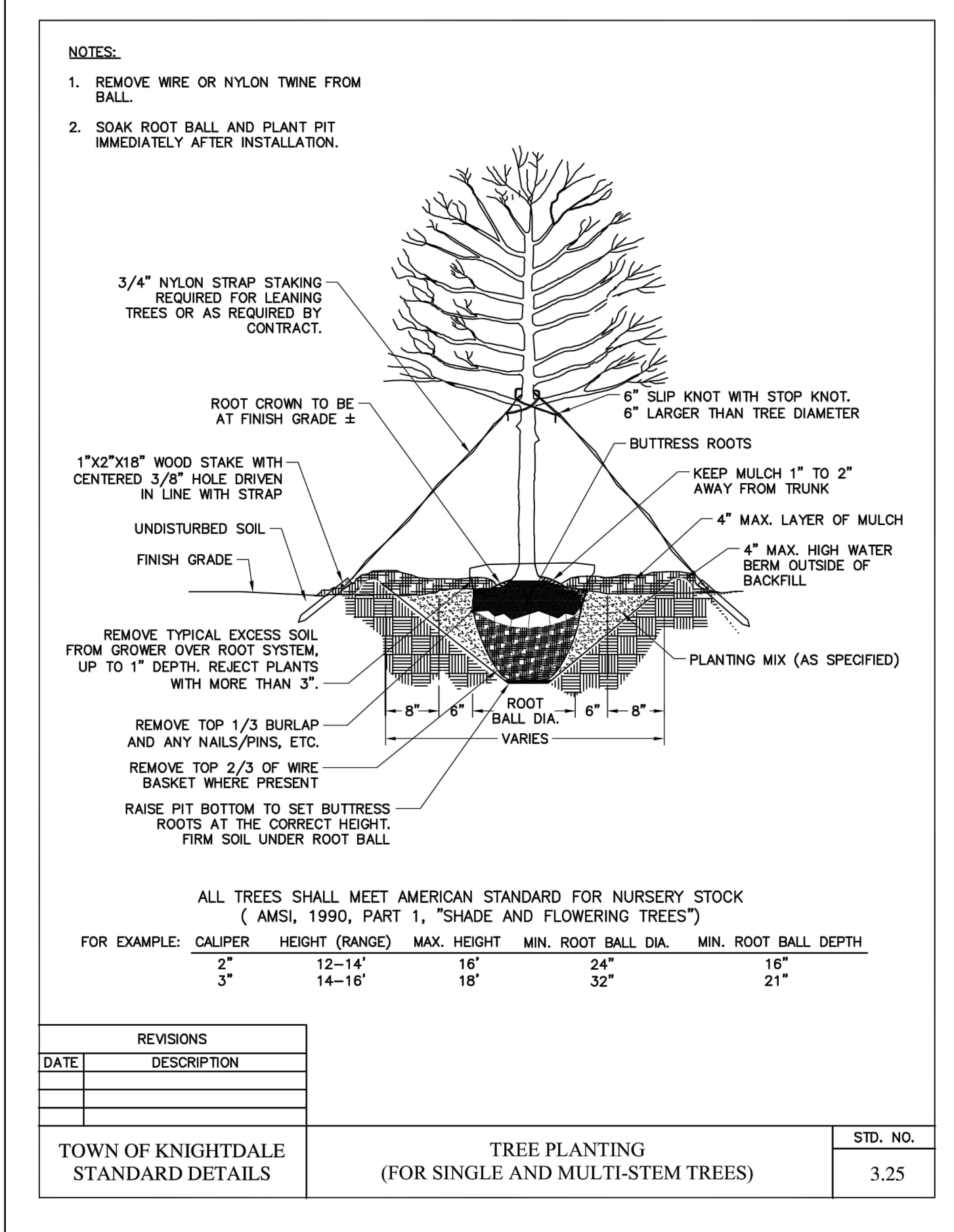
FORESTVILLE ROAD
 REQUIRED: 33 CANOPY TREES
 PROVIDED: 33 CANOPY TREES

BYRAN CHALK LANE
 REQUIRED: 17 CANOPY TREES
 PROVIDED: 17 CANOPY TREES

STREET A
 REQUIRED: 59 CANOPY TREES
 PROVIDED: 59 CANOPY TREES

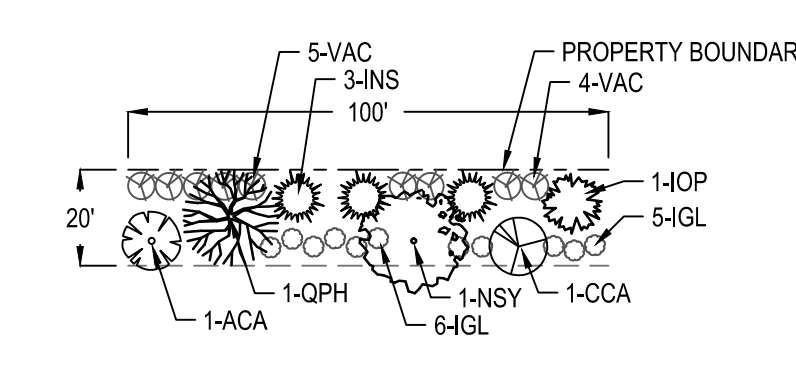
STREET B
 REQUIRED: 23 CANOPY TREES
 PROVIDED: 23 CANOPY TREES

STREET C
 REQUIRED: 17 CANOPY TREES
 PROVIDED: 17 CANOPY TREES



NOTE: THIS DETAIL IS TO BE USED IF EXISTING VEGETATION IS DISTURBED OR NEEDS TO BE SUPPLEMENTED TO MEET THE REQUIREMENTS OF THE DESCRIBED BUFFER TYPE

PLANTING REQUIREMENTS:
 3 CANOPY TREES PER 100 LF
 2 UNDERSTORY TREES PER 100 LF
 20 SHRUBS PER 100 LF



NOTE: THIS DETAIL IS TO BE USED IF EXISTING VEGETATION IS DISTURBED OR NEEDS TO BE SUPPLEMENTED TO MEET THE REQUIREMENTS OF THE DESCRIBED BUFFER TYPE

PLANTING REQUIREMENTS:
 3 CANOPY TREES PER 100 LF
 5 UNDERSTORY TREES PER 100 LF
 20 SHRUBS PER 100 LF

BUFFER PLANT LEGEND:

CANOPY TREES

- ARO - ACER RUBRUM 'OCTOBER GLORY'
- NSY - NYSSA SYLVATICA
- QPH - QUERCUS PHELLOS
- PTA - PINUS TAEDA
- IOP - ILEX OPACA

UNDERSTORY TREES

- INS - ILEX NELLIE R. STEVENS'
- CCA - CERCIS CANADENSIS
- ACA - AMELANCHIER CANADENSIS

SHRUBS

- IGL - ILEX GLABRA
- VAC - VIBURNUM AWABUKI 'CHINDO'

PLANT SCHEDULE

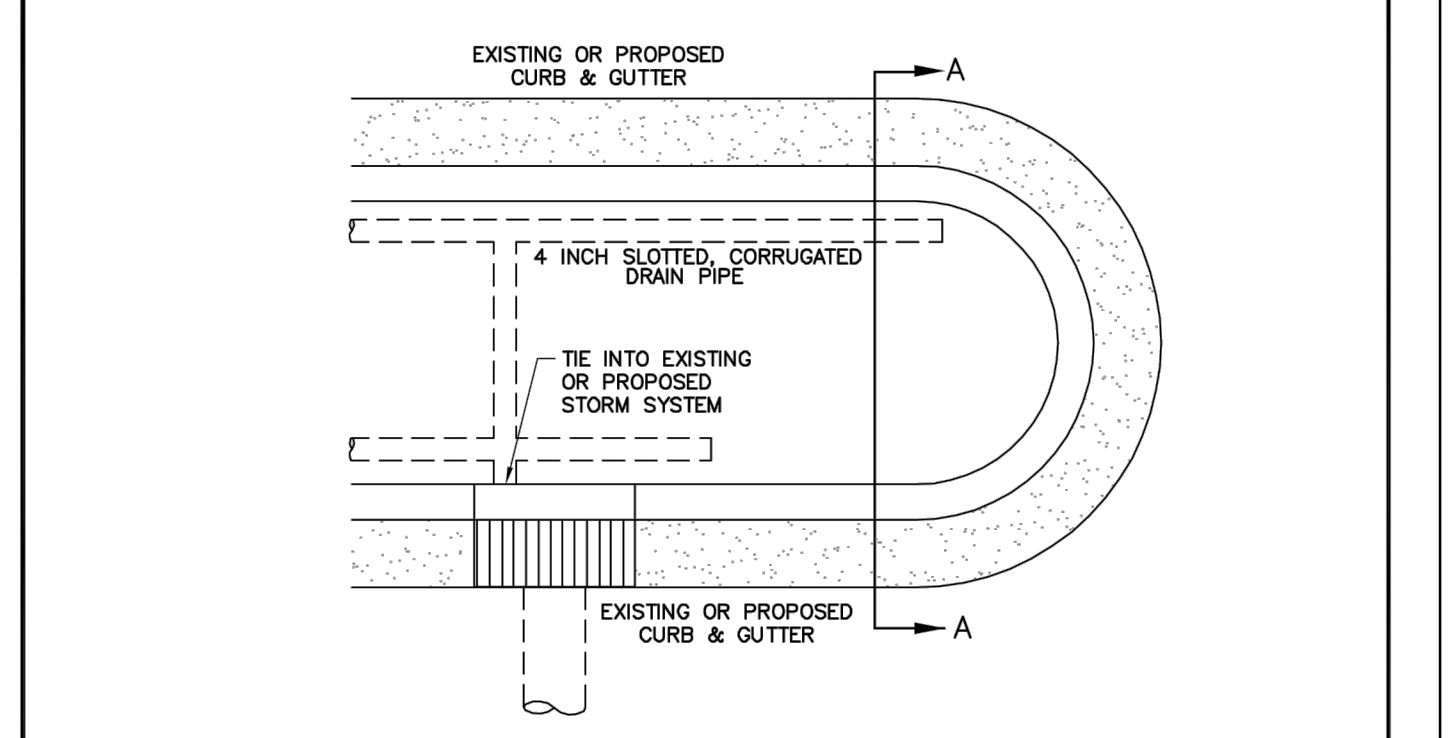
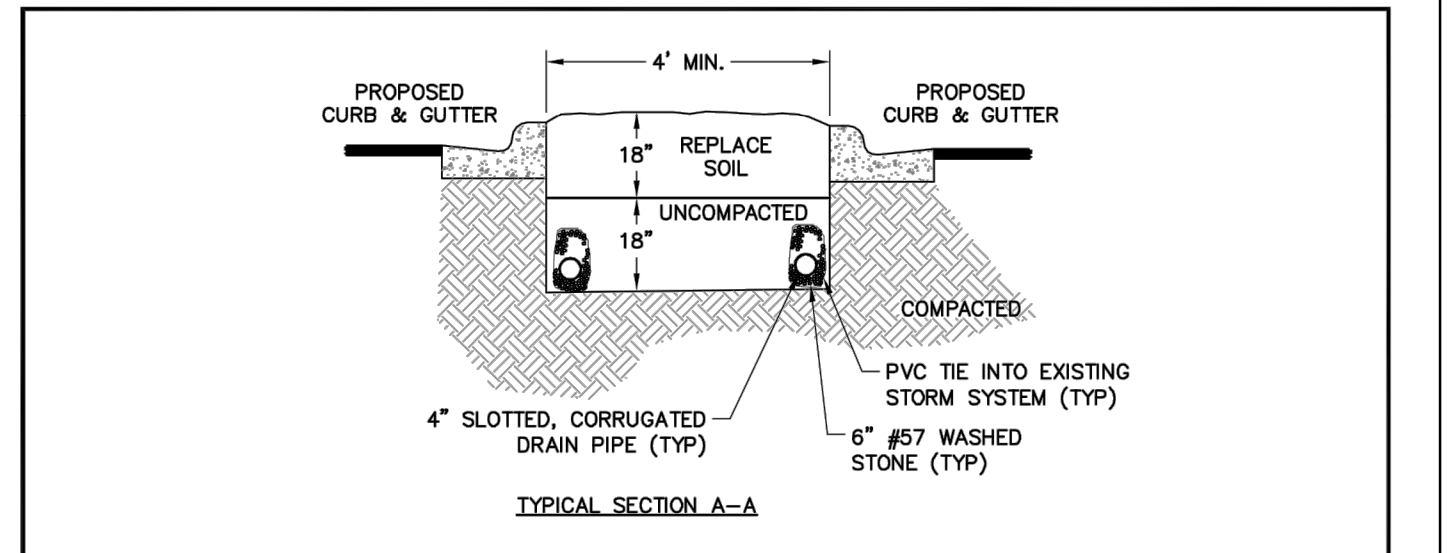
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	CONTAINER (MINIMUM)	TYPE	USE	NOTES
CANOPY TREES										
PCH	54	Pistacia chinensis	Chinese Pistache	B&B	2"	8'		D	ST / SCREEN / PARK	MATCHED
QAC	33	Quercus acutissima	Sawtooth Oak	B&B	2"	8'		D	ST / OPEN	MATCHED
TDI	2	Taxodium distichum	Bald Cypress	B&B	2"	8'		D	OPEN	MATCHED
UPB	53	Ulmus parvifolia 'Bosque'	Chinese Elm	B&B	2"	8'		D	ST / OPEN	MATCHED
ZSV	51	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	B&B	2"	8'		D	ST / OPEN / PARK	MATCHED
UNDERSTORY TREES										
ABU	20	Acer buergerianum	Trident Maple	B&B	1.25"	6'		D	MEDIAN / OPEN	MATCHED
CKO	14	Cornus kousa	Kousa Dogwood	B&B		8'		D	OPEN	MATCHED / 3 STEMS MIN.
IOA	39	Ilex x 'Oakleaf'	Oakleaf Holly	B&B	2"	6'		E	MEDIAN / SCREEN	MATCHED
LIW	43	Lagerstroemia indica 'Whit II'	Dynamite® Crape Myrtle	B&B		8'		D	MEDIAN / OPEN	MATCHED / 3 STEMS MIN.
MGL	16	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	B&B	2"	6'		E	OPEN	MATCHED
SHRUBS										
ICB	55	Ilex cornuta 'Burbirdii Nana'	Dwarf Burbird Holly	CONT.		18"	3 GAL.	E	SCREEN / OPEN	MATCHED
IVB	65	Ilex vomitoria 'Bordeaux'	Bordeaux Dwarf Yaupon Holly	CONT.		18"	3 GAL.	E	MEDIAN / OPEN	MATCHED
LPD	15	Loropetalum chinensis 'PILC-III'	Purple Daydream Loropetalum	CONT.		18"	3 GAL.	E	MEDIAN	MATCHED
GROUND COVER										
LMV	464	Liriope muscari 'Variegata'	Variegated Lilyturf	CONT.			4" POT	E	MEDIAN	18" O.C. SOR SPACING

TYPE / USE LEGEND
 PLANT TYPE: E = EVERGREEN / D = DECIDUOUS
 PLANT USE: ST = STREET TREE / SCREEN = PARKING LOT SCREENING / MEDIAN = MEDIAN PLANTING / OPEN = OPEN SPACE PLANTING / PARK = PARKING LOT LANDSCAPE

BUFFER PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	CONTAINER (MINIMUM)	TYPE	USE	NOTES
CANOPY TREES									
ARO	Acer rubrum 'October Glory'	October Glory Red Maple	B&B	2"	8'		D	BUFFER	MATCHED
IOP	Ilex opaca	American Holly	B&B	2"	6'		E	BUFFER	MATCHED
NSY	Nyssa sylvatica	Black Gum	B&B	2"	8'		D	BUFFER	MATCHED
PTA	Pinus taeda	Loblolly Pine	B&B	2"	6'		E	BUFFER	MATCHED
QPH	Quercus phellos	Willow Oak	B&B	2"	8'		D	BUFFER	MATCHED
UNDERSTORY TREES									
ACA	Amelanchier canadensis	Servicberry	B&B		8'		D	BUFFER	MATCHED / 3 STEMS MIN.
CCA	Cercis canadensis	Eastern Redbud	B&B	1.25"	6'		D	BUFFER	MATCHED
INS	Ilex x 'Nellie R. Stevens'	Nellie Stevens' Holly	B&B	2"	6'		E	BUFFER	MATCHED
SHRUBS									
IGL	Ilex glabra	Inkberry Holly	CONT.		18"	3 GAL.	E	BUFFER	MATCHED / 12-15" SPD. MIN.
VAC	Viburnum awabuki 'Chindo'	Chindo Viburnum	CONT.		18"	3 GAL.	E	BUFFER	MATCHED / 12-15" SPD. MIN.

TYPE / USE LEGEND
 PLANT TYPE: E = EVERGREEN / D = DECIDUOUS
 PLANT USE: BUFFER = PERIMETER BUFFER



NOTES:

- FABRIC FOR WRAPPING THE DRAINS WITH PERFORATED PIPE AND WASHED STONE SHALL BE THE NON-WOVEN TYPE, MIRAFI 140NL OR APPROVED EQUAL.
- SUBSURFACE DRAINAGE SHALL BE INSTALLED IN ALL MEDIANS WHERE DRAIN LINES CAN BE TIED INTO EXISTING STORM DRAIN SYSTEM. A 4 INCH PERFORATED, CORRUGATED PVC DRAIN SHALL BE INSTALLED IN EACH MEDIAN AT THE BOTTOM OF THE EXCAVATED AREA. DRAIN SHALL BE COVERED WITH A MINIMUM OF 6 INCHES OF #57 WASHED STONE, THEN WRAPPED WITH THE SPECIFIED NON-WOVEN GEOTEXTILE FABRIC. SPECIAL CARE SHALL BE EXERCISED WHEN FILLING MEDIANS WITH SOIL, SO AS NOT TO CRUSH OR DAMAGE THE DRAINAGE SYSTEM OR RECOMPACT THE SOIL.

REVISIONS

DATE	DESCRIPTION

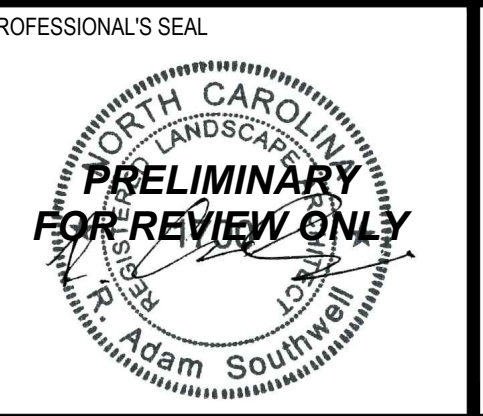
TOWN OF KNIGHTDALE STANDARD DETAILS STREET MEDIAN EXCAVATION, DRAINAGE, AND BACKFILL STD. NO. 3.12

REVISIONS

A	DATE	DESCRIPTION
A	09/16/2021	TOWN OF KNIGHTDALE COMMENTS #1
B	11/1/2021	TOWN OF KNIGHTDALE COMMENTS #2

STATUS: FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: JULY 26, 2021
 FILE NO. 2018-022



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Curry
 ENGINEERING

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CLIENT

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 a better life

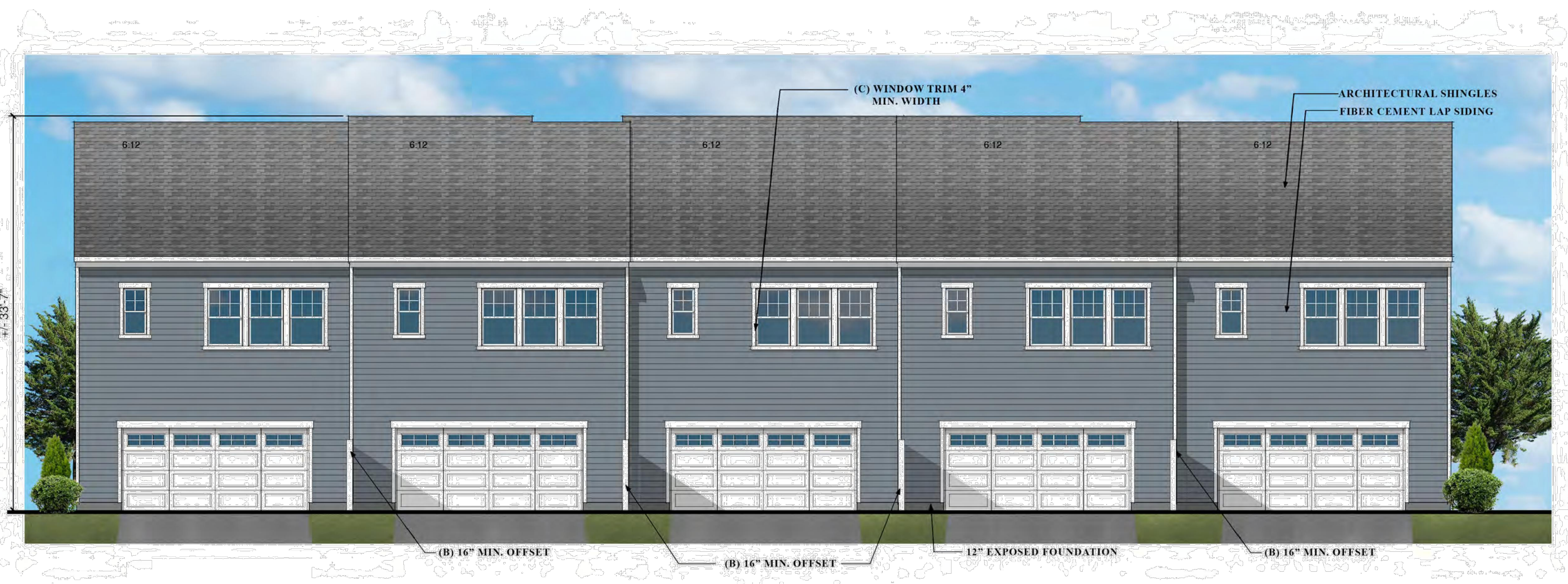
Envision Homes
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 Suite 106-117
 Raleigh, NC 27609
 919.389.7595 (m)
 Contact: Josh Swindell
 josh@envisionhomesnc.com

SUBDIVISION MASTER PLAN
 MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
 LANDSCAPE DETAILS

L-1.1



5-Plex - Front Elevation
24' Rear Load Townhomes
11.30.2021



5-Plex - Rear Elevation
24' Rear Load Townhomes
11.30.2021

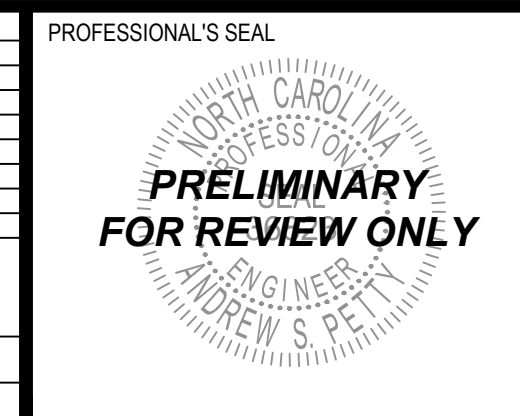


5-Plex - Side Elevations
24' Rear Load Townhomes
11.30.2021



REVISIONS	
A	09/16/2021 TOWN OF KNIGHTDALE COMMENTS #1
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C	11/30/2021 TOWN COUNCIL & LRPB CHANGES
D	02/08/2022 TOWN COUNCIL CHANGES

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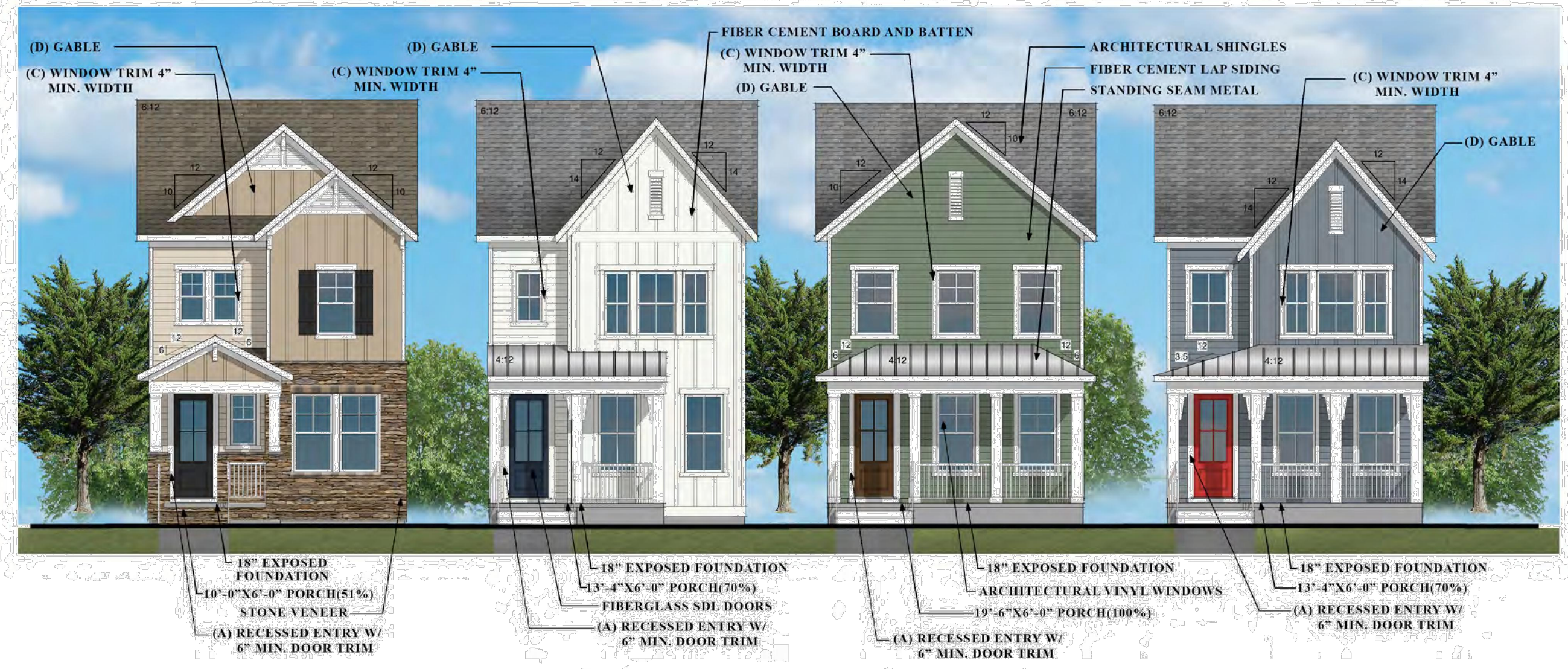
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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
ARCHITECTURAL ELEVATIONS I

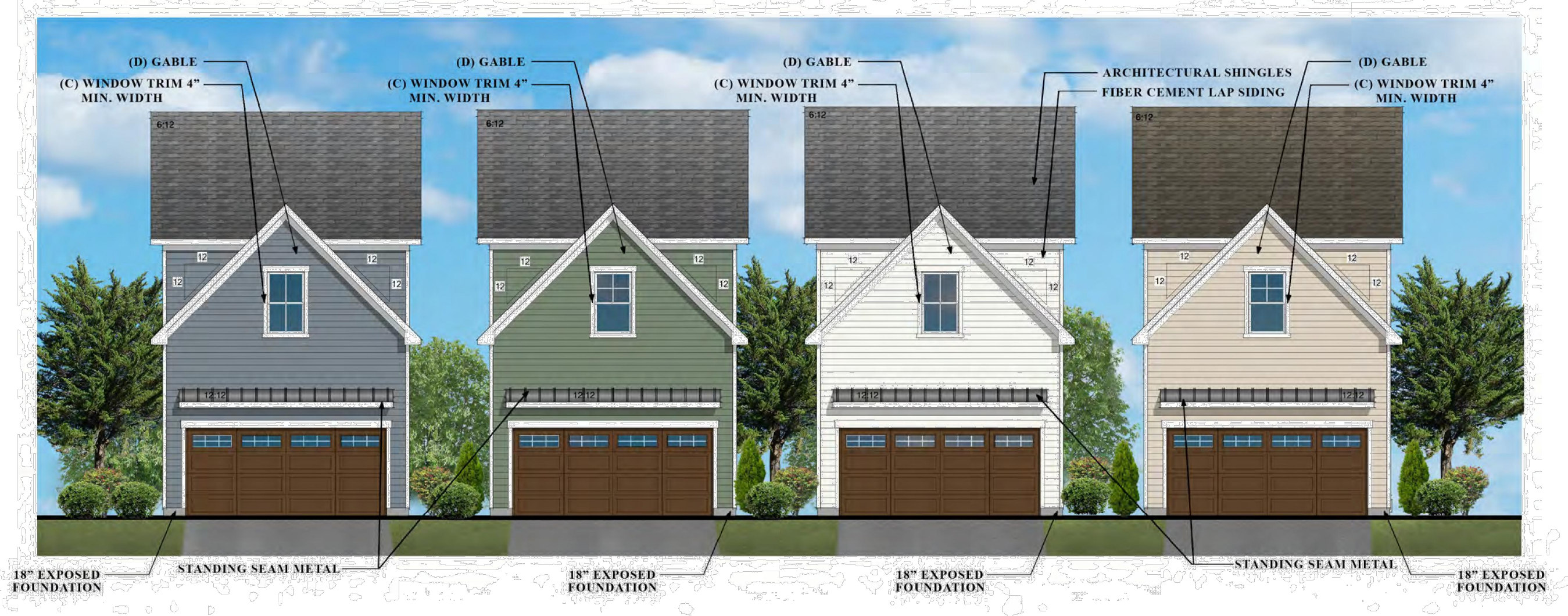
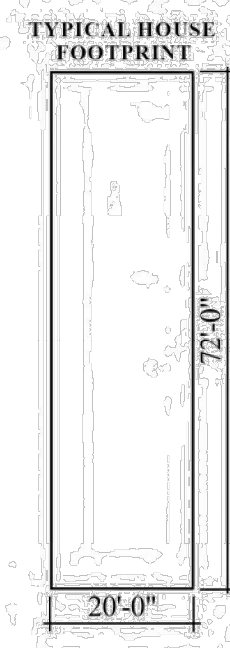
TOK PROJECT # ZMA-12-20

A-1.1



Rear Load - Front Elevation
26' Lots - Single Family

11.30.2021



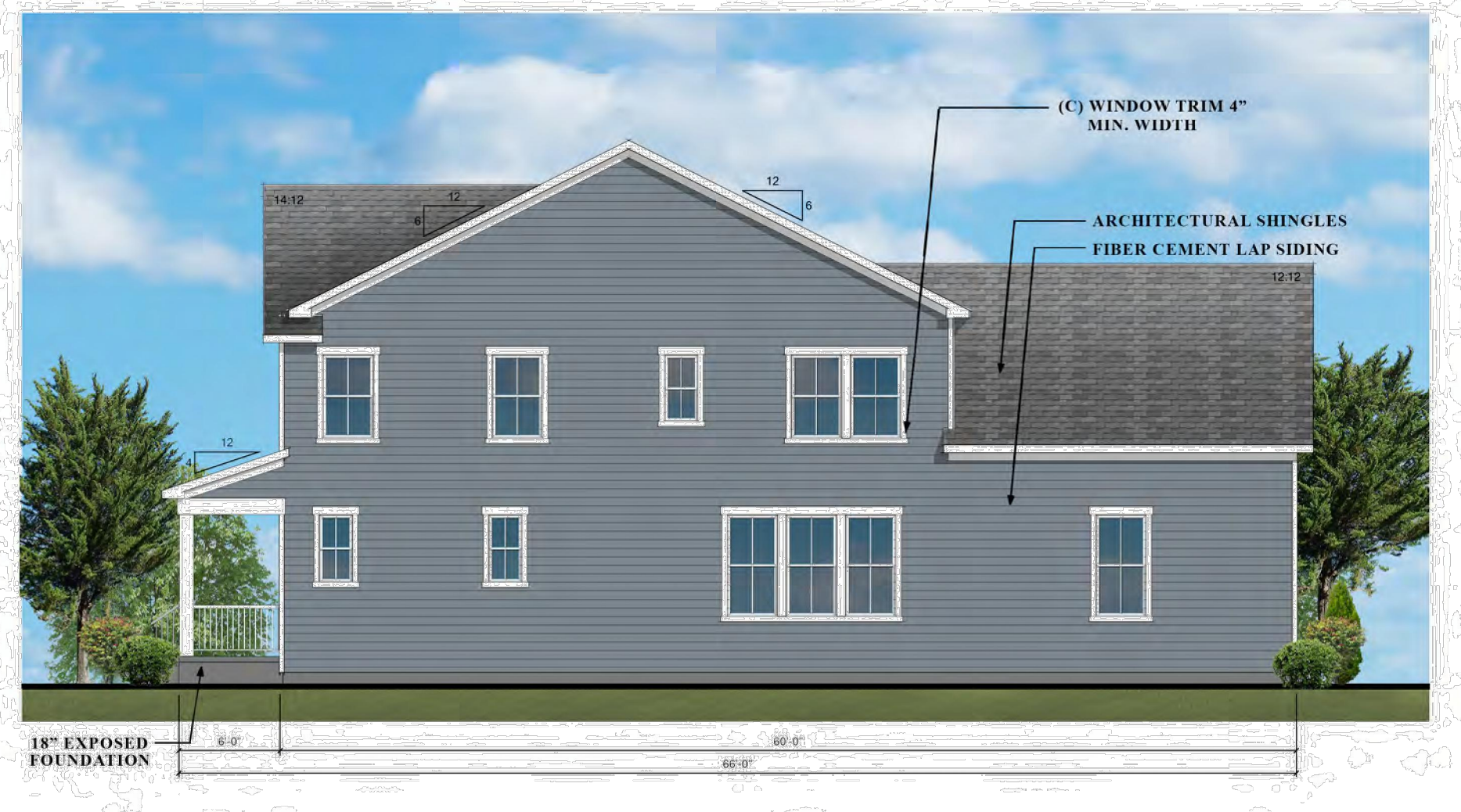
Rear Load - Rear Elevation
26' Lots - Single Family

11.30.2021



Rear Load - Left Elevation
26' Lots - Single Family

11.30.2021



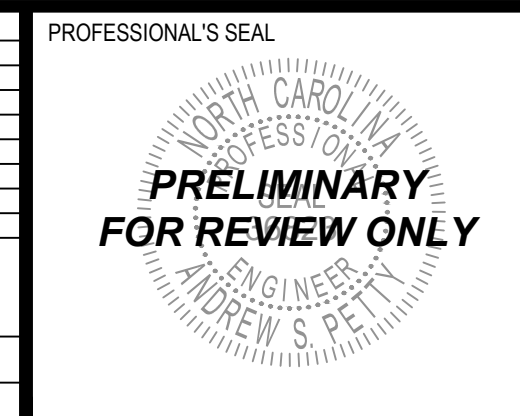
Rear Load - Right Elevation
26' Lots - Single Family

11.30.2021



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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
ARCHITECTURAL ELEVATIONS II

TOK PROJECT # ZMA-12-20

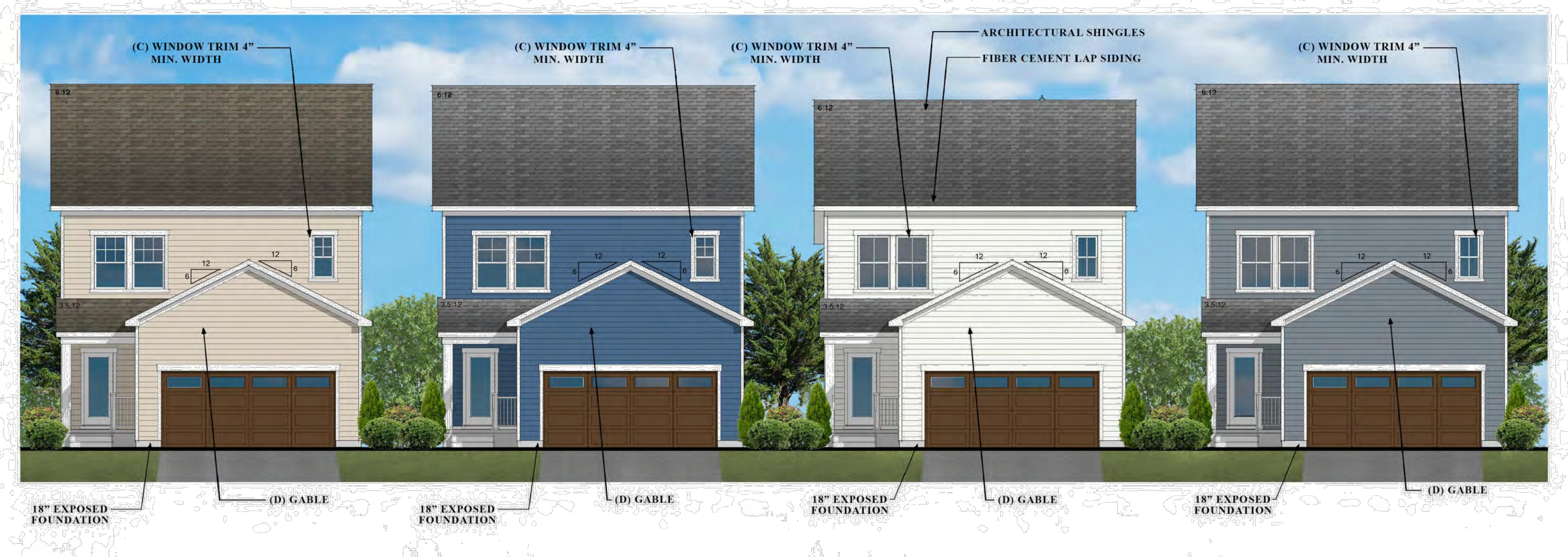
A-1.2



Rear Load - Front Elevation

35' Lots - Single Family

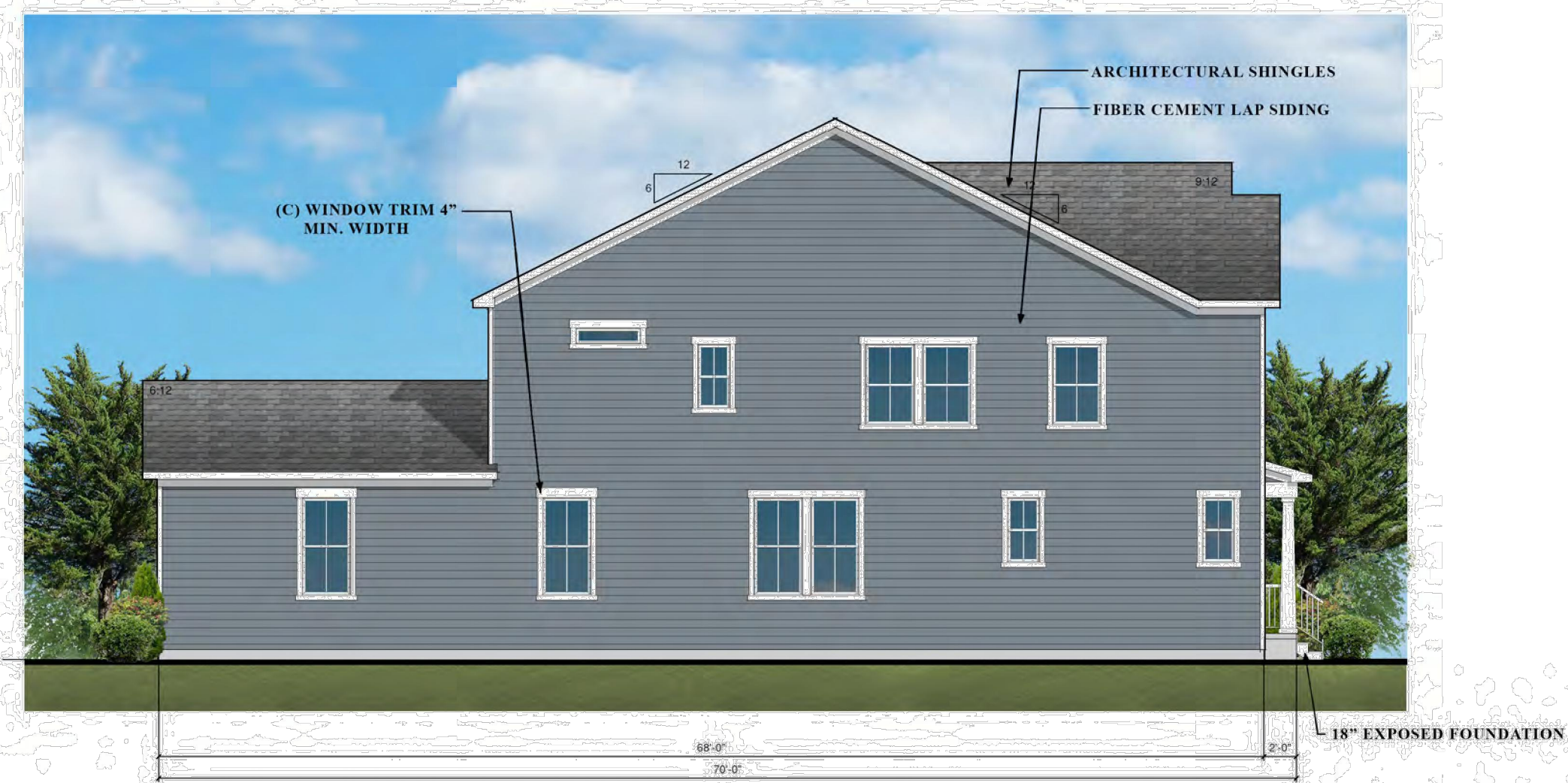
11.30.2021



Rear Load - Rear Elevation

35' Lots - Single Family

11.30.2021



Rear Load - Left Elevation

35' Lots - Single Family

11.30.2021



Rear Load - Right Elevation

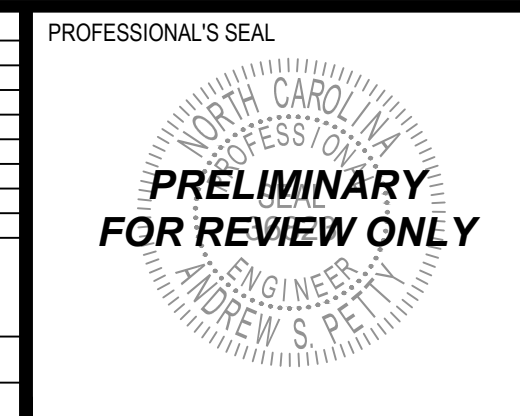
35' Lots - Single Family

11.30.2021



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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
ARCHITECTURAL ELEVATIONS III

TOK PROJECT # ZMA-12-20

A-1.3

24' Rear Load Townhomes
Street View



26' Rear Load Single Family
Street View



Foundation landscaping not shown for clarity to illustrate 18" minimum foundation height

35' Rear Load Single Family
Street View



Foundation landscaping not shown for clarity to illustrate 18" minimum foundation height

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STATUS FOR REVIEW ONLY NOT FOR CONSTRUCTION	
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FILE NO. 2018-022	ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

PRELIMINARY FOR REVIEW ONLY

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SUBDIVISION MASTER PLAN
MIX DENSITY NEIGHBORHOOD
FORESTVILLE YARD
ARCHITECTURAL ILLUSTRATIVES

TOK PROJECT # ZMA-12-20

A-2.0

Prepared for:

ENVISION HOMES, LLC

4441 Six Forks Road
Suite 106-117
Raleigh, NC 27609

PUD PLAN

Forestville Yard

Residential Mixed Density
Town of Knightdale, North Carolina

February 8, 2022 – Council Document



02/08/2022

Curry
ENGINEERING

Prepared by:

Andrew Petty, PE
The Curry Engineering Group, PLLC
PO Box 2018
205 S. Fuquay Avenue
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2.0 Vicinity Map

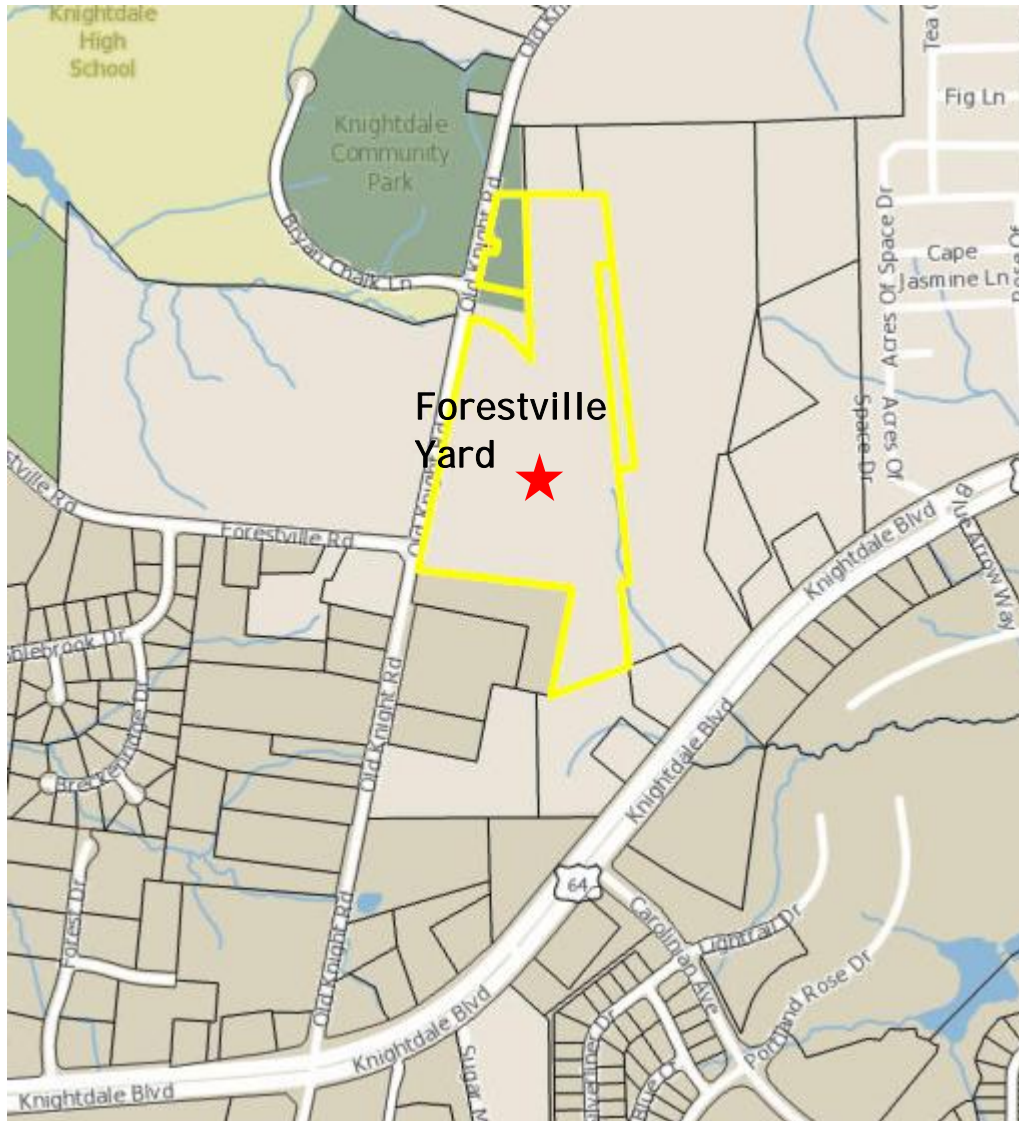


Figure 1 - Vicinity Map – Courtesy of Wake County iMaps 2021

3.0 Project Data

3.1 Project Name: Forestville Yard

3.2 Owner/Developer: Envision Homes, LLC
4441 Six Forks Road, Suite 106-117
Raleigh, NC 27609
(919) 389-7595

3.3 Prepared By: The Curry Engineering Group, PLLC
205 S Fuquay Avenue
Fuquay-Varina, NC 27526
(919) 552-0849

3.4 Designated Single Point of Contact: Andrew Petty, PE
The Curry Engineering Group, PLLC

3.5 Current and Proposed Zoning of the Property:

Current Zoning: Rural Transition (RT)
Proposed Zoning: PUD-RMX

3.6 Current and Proposed Land Uses:

Current: Residential
Proposed: Residential Mixed Density

4.0 Vision Statement

Forestville Yard is a proposed mixed density residential project to be developed under the Town of Knightdale's ordinance as a Planned Unit Development (PUD). The project contains three parcels under contract by Envision Homes, LLC. The project is located along Old Knight Road and adjacent to the Forestville Village development.

The proposal to rezone this property to a residential mixed density planned unit development is in keeping with the town's objectives to create high quality developments that provide amenities to make Knightdale a desirable place to live, work and play. This development will be a pedestrian friendly community with sidewalks along both sides of the internal public streets and plenty of open space areas scattered about the 26 acres. The project will cluster small lots and townhome units near these open areas to create a true community feel. The project will have several amenities to include outdoor games, a community garden, play grounds, pickle ball courts and a club house with four lane lap pool. This development will enhance the value of the surrounding properties by providing quality residential development for the areas as a mixed residential development.

5.0 Statement of Consistency: Comprehensive Plan

The Town of Knightdale spent considerable resources to develop a complete, unified comprehensive plan that would be the guiding document for developments in the town for years to come. The principals of this document revolve around creating high quality, pedestrian friendly, intensely magnetized developments to create an atmosphere that is highly desired and sought after.

Forestville Yard has considered all these principals when designing this development. Consideration has been given to providing an mixture of residential development types throughout the community to enhance the feel of a residential mixed density subdivision. Over 90 percent of the residential units, both single family and town homes are rear loaded products with considerable attention given to the architecture elevations to provide an aesthetic street view. In an effort to help combat the increasing costs of the ever changing housing market, this development is piloting economy townhomes aimed to assist working families and provide them with an opportunity to be in the highly desired areas at an affordable price. These units are designed with the median salaries of the town residents.

There was thoughtful consideration to provide several small open space areas throughout the development to provide ample opportunity that the open space areas are useable. Perimeter buffers are provided along neighboring tracts to provide vegetated transitional yards and a street connection network allows for flexible development options in the future. This development provides a robust street network including the extension of over 800 feet of Forestville Road which is a major thoroughfare collector in the town. In addition to this extension, the development provides four stub streets to adjacent properties to help with interconnectivity and public safety transit.

Forestville Yard will complement the surrounding developments with its walkability, amenities, and varied product types as well as set the stage for future developments that rely on rooftops to entice investing in businesses in the surrounding areas. We believe this development will become a favorite of the town and will be used as a trend setter for future developments.

6.0 Statement of Consistency: Unified Development Ordinance

Forestville Yard will comply with the development standards outlined in the Town of Knightdale's Unified Development Ordinance as well as the Town's standards and specifications for the design and construction of the project. Section 7.0 below summarizes the design guidelines and intent of this development.

7.0 Design Guidelines

The Town of Knightdale UDO allows a mixture of uses in the PUD zoning district and the owners have chosen to further restrict the allowable uses as listed below:

Residential Uses

Single family Detached Homes – all units shall be rear loaded.

26' wide lots – 57 units

35' wide lots – 41 units

Townhome – all units shall be rear loaded

24' wide rear loaded lots – 39 units

Infrastructure

Utilities Class 1 and 2

Recreational Uses

Recreational Facility, Indoor

Recreational Facility, Outdoor

7.1 Maximum Densities

Maximum residential density for the project is 6.0 units per gross acre or a maximum of 160 units. The total gross acreage for the property is 26.60. This development proposes 137 units.

7.2 Proposed Maximum Height of the Buildings and Number of Stories

Single Family Maximum Height – 45'	Single Family Maximum Stories – 3
Townhouses – Maximum Height – 45'	Townhouses Maximum Stories – 3

7.3 Proposed Minimum Building Setbacks

Residential Single Family Detached

Front Yard – 10' Minimum
Side Yard – 20% of lot width (aggregate)
Rear Alley – 20' from alley right of way line
Rear Yard – 20' Minimum

Townhouses

Front Yard – 10' Minimum
Side Yard – N/A
Rear Alley – 20' from alley right of way line
Rear Yard – N/A

7.4 Street Network

Local Streets (Street A & C) – 54’ public right of way, 27’ roadway, curb & gutter, sidewalk both sides,
two way traffic, no parking

Main Street (Street B) – 64’ public right of way, 37’ roadway, curb & gutter, sidewalk both sides,
two way traffic, parking both sides

Avenue Section (Bryan Chalk Lane) – 74’ public right of way, 47’ roadway, curb & gutter,
sidewalk both sides, two way traffic, bike lanes both sides, no parking

Urban Avenue Section (Forestville Road & Old Knight Road) – 90’ public right of way, 63’
roadway, curb & gutter, sidewalk both sides, two way traffic, bike lanes both sides, no parking

Private Alleys (No Fire Access) – 20’ private right of way, 16’ roadway with 18” ribbon curb

Private Alleys (Fire Access) – 20’ private right of way, 20’ roadway with 18” ribbon

All streets shall be consistent with the Town of Knightdale’s standards and specifications for roadway standards.

7.5 Open Space Summary

Per the Town of Knightdale’s UDO, Forestville Yard is required to provide a total of 2.87 acres to be designated as open space with 1.43 acres as active open space. Forestville Yard is proposing a total of 4.92 acres of open space with 2.14 acres as active open space. The remaining areas will be passive open space.

7.6 Tree Coverage

In addition to open space areas, the Town of Knightdale’s UDO requires a minimum area of tree coverage. Per this UDO, Forestville Yard is required to provide a total of 2.66 acres of tree coverage. Forestville Yard is proposing to provide 2.75 acres.

7.7 Perimeter Buffers

The master plans show buffers around the site to provide visual breaks between uses and public roads. We are proposing a 20’ Type B buffer along Forestville Road that abuts the development portions of the property. Other buffers that abut residential zoned property are shown to be a 20’ Type B buffer.

No buffer shall be required along residential streets or collector streets. However, street trees shall be provided along all streets.

No buffer shall be provided in utility or storm drainage easements.

Any disturbed areas of a buffer area shall be replanted to meet the standards of a Type B buffer as shown on the landscape plans.

7.7 Enhanced Landscaping & Open Space

Open space areas within the Forestville Yard community shall be developed to provide both a visual and functional approach to useable areas. The open space areas have been enhanced with additional landscaping, pedestrian style lighting, outdoor commercial games and outdoor seating areas. The goal for this development is to make the open space areas extensions of back yards that are open to the community to be used for gathering areas. These areas are designed and placed throughout the community to provide an inviting space that promotes fellowship and an active lifestyle. Each open space area within Forestville Yard shall provide at least one amenity such as but not limited to:

- Playground with IPEMA certified equipment
- Pickle ball courts
- Outdoor, commercial grade games such as foosball table, corn hole or table tennis.
- Community garden
- Dog waste stations
- Benches
- Picnic tables
- Gazebo
- Walking trail
- Outdoor exercise equipment
- Outdoor library book box

Near the entrance of the neighborhood there will be a resort style pool with plenty of shade and pool deck to entice residents to spend their Saturday at home. Outside of the pool area will be a playground for small children and benches for the adults. The goal for this area is to create an inviting space that is both fun and functional.

Across Forestville Road away from the quietness of the neighborhood, there will be a fenced in community pickleball courts. Pickleball has become a very popular activity for people of all ages. Many municipalities have begun converting tennis courts in their town parks to pickleball courts and this is an amenity will allow these residents to enjoy the game without getting in their vehicle to drive somewhere. This is a unique amenity that not many neighborhoods are equipped with.

The central open space area located in the courtyard of the townhomes is aimed to provide community space for the neighborhood. East of Street B will be a community garden that allows residents to use the area for growing fruits, vegetables and herbs that can be shared with other residents. Adjacent to that garden will be a gathering space with ample seating for celebrations and outdoor cooking. A large, open multi-purpose field will occupy the open area west of Street B. This space will allow for residents to play soccer, throw a baseball or fly a kite. This will also serve as a gathering space for neighborhood food truck rodeos.

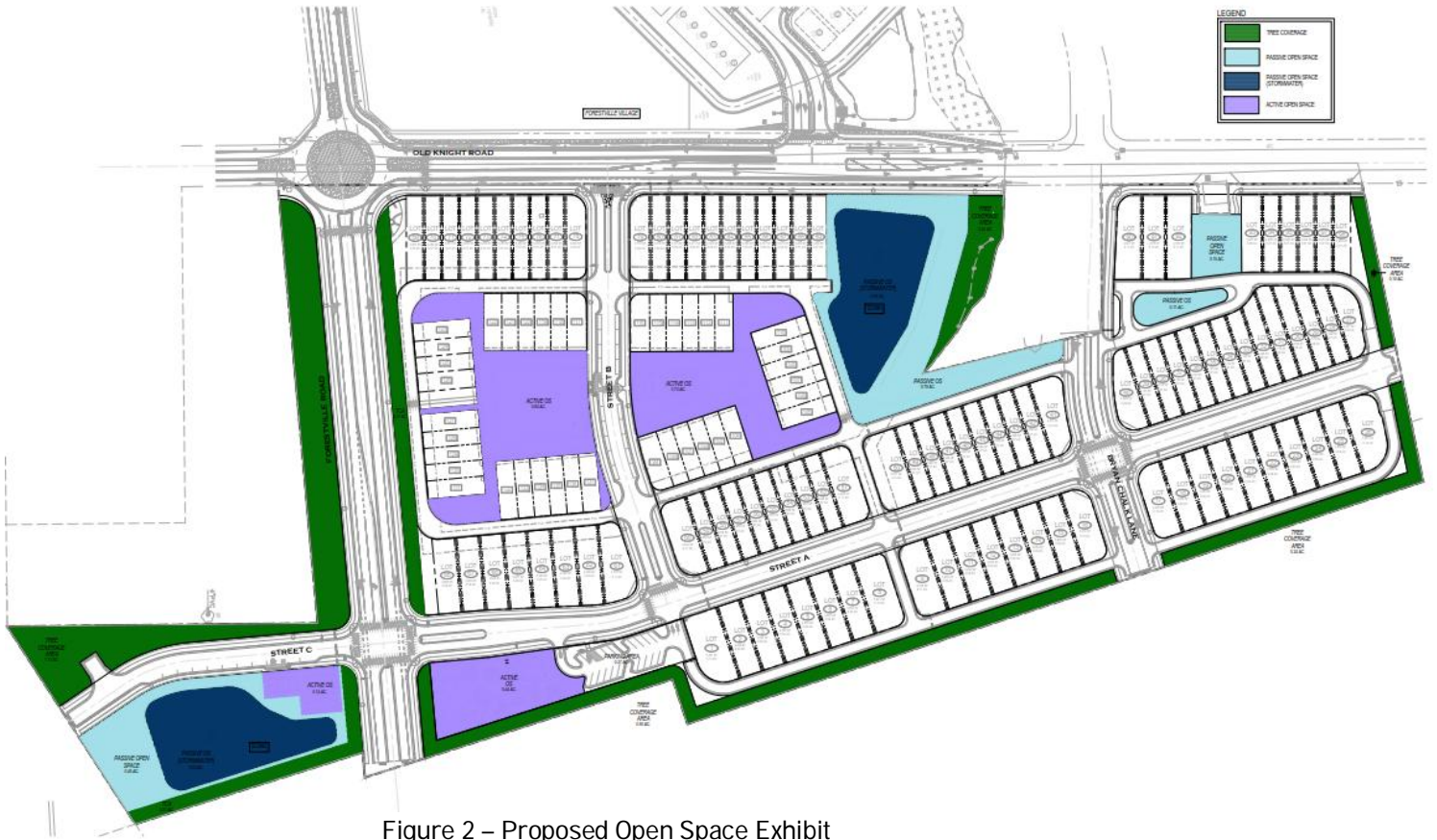


Figure 2 – Proposed Open Space Exhibit

7.8 Design Exceptions

Forestville Yard aims to comply with all of the Town of Knightdale's UDO requirements however the following are deviations requested to ensure the neighborhood is a successful functioning community.

- Minimum 35' driveway length for single family homes in residential zoning districts. Since all single family homes in Forestville Yard are rear loaded, the project requests that the minimum driveway length be 20' as measured from the rear alley right of way line to the face of the garage.
- Minimum lot width for single family is 30'. Forestville Yard requests a minimum single family lot width of 26'.

7.9 Additional Committed Elements

Forestville Yard is committed to providing a development that the Town of Knightdale can use a template for success. As such the following is a committed condition to ensure the neighborhood is a successful, well maintained community.

- The private, recorded legal documents governing the subdivision shall obligate the homeowners association to maintain the landscaping on all lots.

8.0 Architectural Standards

8.1 Single Family Detached, Rear Loaded - Residential Standards

1. All single family homes shall have a minimum 1,800 square feet of heated gross floor area.
2. All single family homes shall have a 2-car garage.
3. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
4. All homes shall have a minimum foundation height of 18". Foundation shall contain 18 inches of brick/stone veneer on all sides.
5. All homes shall have 30-year architectural shingles.
6. Covered rear entries with direct home access on lots greater than 30'.
7. Full porches per elevation including metal roofs, decorative gable vents, and custom bracketry.
8. Garage doors must contain windows, decorative details, or carriage-style adornments.
9. Multiple design window grill patterns and columns for diversity and individual appeal
10. Exterior adornments including four-sided wrapped windows, columns, stone, board/batten, and metal roofs.
11. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
12. The visible side of a home on a corner lot facing the public street shall contain at least 2 decorative elements such as, but not limited to, the following elements.

- Windows
- Bay Window
- Recessed Window
- Decorative Window
- Trim around the Windows
- Wrap around porch or Side Porch
- Two or More Building Materials
- Decorative Brick/Stone
- Decorative Trim
- Decorative Shake
- Decorative Air Vents on Gable
- Decorative Gable
- Decorative Cornice
- Column
- Portico
- Balcony
- Dormer

13. All homes shall have windows with decorative trim on all sides of the home.

14. Front porches, when provided, shall be at least six-feet (6') deep and 50% of the front façade.

15. Eaves shall project between 8-12 inches from the wall of the structure.

8.2 Townhome, Rear Loaded – Residential Standards

1. All townhome units shall be raised from the finished grade a minimum of 12" and shall have stem wall or raised slab foundations that shall be covered on all sides with brick or stone. Areas under porches may be enclosed with lattice (vinyl or painted wood).
2. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
3. Raised covered front entries with stained craftsman door and large glass.
4. Exterior adornments including four-sided wrapped windows, columns, stone, and metal roofs.
5. Minimum 6:12 roof pitches with architectural shingles and dormers per elevation
6. Garage doors must contain windows, decorative details, or carriage-style adornments.
7. Design Criteria such as, but not limited to, the following elements:
 - 16" Offsets Between Townhomes
 - 6' deep covered porches & 30% of the front façade
 - Trim around Windows and Doors
 - Two or More Building Materials per Townhome
 - Decorative Brick/Stone
 - Decorative Shake
 - Decorative Brackets and Columns
 - Decorative Gable and Dormer Roofs with 12" Soffit

9.0 Parking and Loading

Parking and loading requirements for the residential areas shall conform to the parking standards listed in the Town of Knightdale UDO Chapter 10.

10.0 Signs

Signage for this project will comply with UDO Chapter 12. The developer shall submit a master sign plan that shows signage locations and details of signage patterns throughout the development.

11.0 Natural Resource and Environmental Data

- 11.1 This project drains to Beaverdam Creek and Marks Creek which are located in the Neuse River Basin. Per environmental investigation conducted by Mitchell Environmental Group, there are not jurisdictional streams or areas of wetlands on the project site. A small linear wetland is located near Old Knight Road near Knightdale High School.

12.0 Stormwater Management

Forestville Yard will meet all applicable requirements and standards as described in Chapter 6 of the Knightdale UDO. This project will meet all stormwater reduction requirements including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff for the 1 year and 10 year storm events. This project will commit to providing attenuation for the 2 year and 25 year storms as well.

The project will use approved devices to control the stormwater sediment runoff. These devices may include wet detention basins, constructed wetlands, bioretention areas, sand filters or any other approved stormwater control measure. Stormwater control devices shall be landscaped and constructed to be an amenity to the development and shall blend into the surroundings such that they can be used for water allocation points.

13.0 Public Facilities

All internal public streets will have sidewalks on both sides of the street. Roadway improvements will be required along Old Knight Road and these improvements will be coordinated with the Town of Knightdale and NCDOT. The roadway widening along Wimberly Road shall be based on the Town's thoroughfare plan. Additionally the project will extend Forestville Road to the limits of the parent property.

14.0 Phasing

The project shall be developed in multiple phases and construction would likely start in 2022. A detailed map of the proposed phasing is illustrated in the Master Plans.

15.0 Neighborhood Meeting

Notifications were sent out via the USPS on July 7 for a virtual neighborhood meeting on July 20, 2021. We started the zoom call right at 5 PM on 7/21 with representatives from Curry Engineering, Envision Homes, the Town of Knightdale and the property owner. At 5:19 another resident logged on and we asked (town included) if they preferred for us to go through the presentation or if they had specific questions. After getting no reply either verbally or written, we were going to begin the presentation and the resident logged off. The Town called the meeting shortly after that when there were no more attendees.

END OF REPORT



TOWN OF KNIGHTDALE

950 Steeple Square Court
Knightdale, NC 27545
KnightdaleNC.gov

ORDINANCE #22-02-16-003
AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE
OF THE TOWN OF KNIGHTDALE
WHICH INCLUDES THE ZONING DISTRICT MAP

ZMA-12-20 Forestville Yard Planned Unit Development

WHEREAS, the Town of Knightdale has received a petition to amend the zoning of the property from Rural Transition (RT) to Residential Mixed Use Planned Unit Development (RMX-PUD); and

WHEREAS, the Town Council finds the proposed Zoning Map Amendment is consistent with the KnightdaleNext 2035 Comprehensive Plan as it addresses several of the guiding principles such as creating a compact development while promoting a specific community design, expanding home choices in Knightdale, and enhancing community transportation facilities through the extension of Forestville Road as a Complete Street. Further, it is consistent with the General Growth Framework Map as a Target Investment Area. The proposal is also consistent with the Growth & Conservation Map's designation as a Mixed-Density Neighborhood Place Type and falls within the Mixed Density Neighborhood Focus Area Study; and

WHEREAS, the request is reasonable and in the public interest as it aids in developing a vibrant, sustainable, and safe community design in which people not only desire to visit, but to also live, work, and play;

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Knightdale, North Carolina:

SECTION 1: That the Unified Development Ordinance of the Town of Knightdale Code, which includes the Zoning District Map, be amended to rezone approximately 26.60 ± acres located in the Town of Knightdale's Extra Territorial Jurisdiction, at 1008 Old Knight Road and identified as Wake County PINs 1754-68-7706, 1754-69-5569, and 1754-79-0018 from Rural Transition (RT) to Residential Mixed Use Planned Unit Development (RMX-PUD) as indicated.

SECTION 2. That the additional conditions contained within the application identified as ZMA-12-20 and PUD document, and listed below apply as additional zoning conditions to the parcels of land identified as PINs 1754-68-7706, 1754-69-5569, and 1754-79-0018:

1. All single-family rear-loaded dwellings shall be served by driveways measuring 20-feet long from the edge of the right-of-way.
2. Approximately 57 single-family rear-loaded units shall be a minimum of 26-feet in width at the front setback line.

3. A 20-foot-wide Type B Buffer shall be provided along the northern and eastern project boundaries, adjacent to parcels currently zoned Rural Transition.
4. The private, recorded legal documents governing the subdivision shall obligate the homeowner's association to maintain the landscaping on all lots.
5. Architectural Standards: In addition to the elevations, the applicant agrees to the Single-Family Dwelling Architectural Standards found in UDO Ch. 5.7 and the additional conditions listed below:
 - a. All single-family homes shall have a minimum 1,800 square feet of heated gross floor area.
 - b. All single-family homes shall have a two-car garage.
 - c. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
 - d. All homes shall have a minimum foundation height of 18 inches. Foundations shall contain 18 inches of brick/stone veneer on front and sides.
 - e. Raised front entries with hipped and gable roofs per elevation.
 - f. All homes shall have 30-year architectural shingles.
 - g. Covered rear entries with direct home access.
 - h. Full porches per elevation including metal roofs, decorative gable vents, and custom bracketry.
 - i. Garage doors must contain windows, decorative details, or carriage-style adornments.
 - j. Multiple design window grill patterns and columns for diversity and individual appeal.
 - k. Exterior adornments including four-sided wrapped windows, columns, stone, board/batten, and metal roofs.
 - l. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
 - m. The visible side of a home on a corner lot facing the public street shall contain at least two (2) decorative elements such as, but not limited to, the following:
 - i. Windows
 - ii. Bay Windows
 - iii. Recessed Windows
 - iv. Decorative Windows
 - v. Trim around the Windows
 - vi. Wrap Around or Side Porches

- vii. Two or More Building Materials
 - viii. Decorative Brick/Stone
 - ix. Decorative Trim
 - x. Decorative Shake
 - xi. Decorative Air Vents on Gable
 - xii. Decorative Gable
 - xiii. Decorative Cornice
 - xiv. Column
 - xv. Portico
 - xvi. Balcony
 - xvii. Dormer
 - n. Front porches, when provided, shall be at least six (6) feet deep and 50% of the front facade.
 - o. Eaves shall project between 8-12 inches from the wall of the structure.
6. Architectural Standards: In addition to the elevations, the applicant agrees to the Townhome Dwelling Architectural Standards found in UDO Ch. 5.8 and the additional conditions listed below:
- a. All townhome units shall be raised from the finished grade a minimum of 12 inches and shall have stem wall or raised slab foundations that shall be covered on all sides with brick or stone. Areas under porches may be enclosed with lattice (vinyl or painted wood).
 - b. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
 - c. Raised covered front entries with stained craftsman door and large glass.
 - d. Exterior adornments including four sided wrapped windows, columns, stone, and metal roofs.
 - e. Minimum 6:12 roof pitches with architectural shingles and dormers, per elevations.
 - f. Garage doors must contain windows, decorative details, or carriage-style adornments.
 - g. Design criteria such as, but not limited to, the following elements:
 - i. Offsets of 16' between townhome units
 - ii. Front Porches shall be at least six (6) feet deep
 - iii. Trim around windows and doors
 - iv. Two or more building materials per townhome
 - v. Decorative Brick/Stone

- vi. Decorative Shake
 - vii. Decorative Brackets and Columns
 - viii. Decorative Gable and Dormer Roofs with 12' Soffit
7. The submitted site plan (Exhibit A) and Planned Unit Development document (Exhibit B) will serve as the site-specific development plan. However, the applicant must submit Construction Drawings to the Town for approval that are in conformance with the approved conditions of the RMX-PUD zoning district, master plan comments, Unified Development Ordinance, and comments from the August 12, 2021 DRC meeting.

SECTION 3. That all laws and clauses of law in conflict herewith are hereby repealed to the extent of said conflict.

SECTION 4. That if this ordinance or application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions of this ordinance which can be given separate effect and to the end the provisions of this ordinance are declared to be severable.

SECTION 5. That this ordinance has been adopted following a duly advertised public hearing of the Town Council and following review and recommendation by the Land Use Review Board.

SECTION 6. That this ordinance shall be enforced as provided in G.S. 160A-175 or as provided for in the Knightdale Town Code

SECTION 7. That this ordinance shall become effective upon its adoption by Town Council.

Adopted this 16th day of February, 2022

Jessica Day, Mayor

ATTEST and SEAL:

Heather M. Smith, Town Clerk