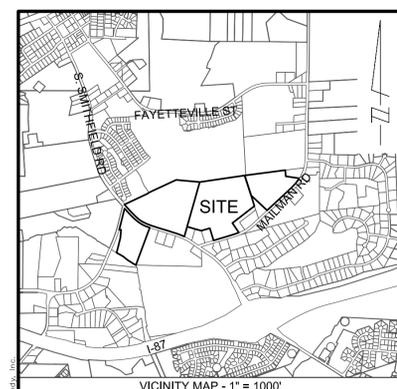


NO.	DATE	BY	DESCRIPTION
1	09/22/20	DCR	ADDED CONTOURS & UTILITIES
2	09/22/20	DCR	DESCRIPTION
3	09/22/20	DCR	BY
4	09/22/20	DCR	REVISIONS



NOTE:
 1. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 3. ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
 4. NO TITLE SEARCH PERFORMED FOR THIS SURVEY.
 5. OTHER INSTRUMENTS OF RECORD MAY AFFECT THIS PROPERTY.
 6. NO MOSS MONUMENT WITHIN 2.000 FEET OF PROPERTY.
 7. FEMA FLOOD HAZARD AREAS SHOWN PER FIRM NUMBER 3720175300J, DATED MAY 02, 2006, (ZONES X & AE).
 8. PROPERTIES ARE ZONED RT.
 9. THE COORDINATES SHOWN ON THIS PLAT WERE DERIVED BY REAL TIME NETWORK (RTN) GLOBAL POSITIONING SYSTEM (GPS). THIS METHOD RESULTS IN (NAD 83) POSITIONS AND NORTH AMERICAN VERTICAL DATUM 88 (MEAN SEA LEVEL) ELEVATIONS USING THE CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) MAINTAINED BY NORTH CAROLINA GEODETIC SURVEY. CLASS A SURVEY, 0.033 FT POSITIONAL ACCURACY, VRS FIELD PROCEDURE, GEOID2A AND UNITS IN FEET.

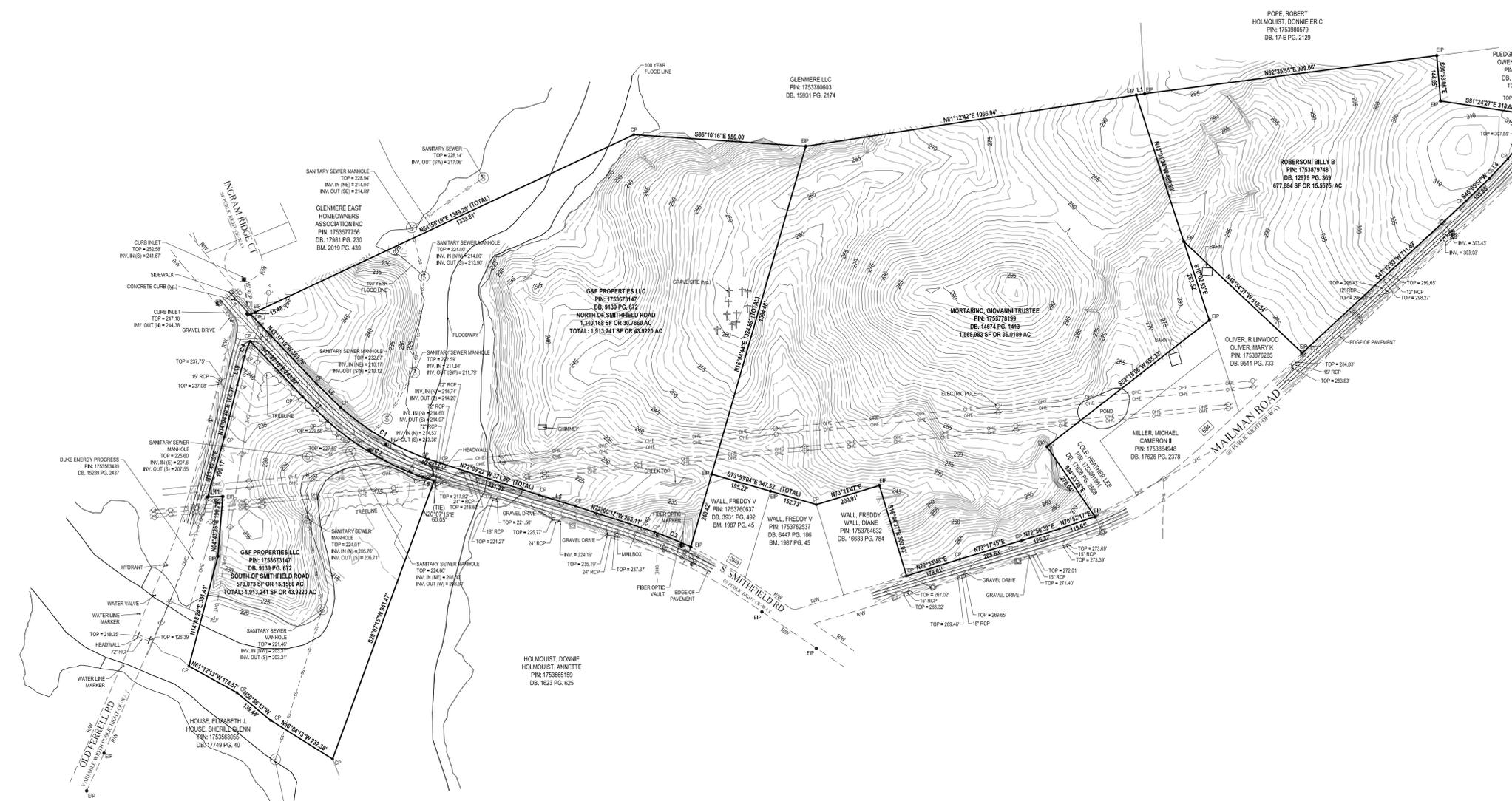
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C1	850.14	328.52	N59°30'54"W	326.48
C2	910.14	354.06	S59°29'37"E	351.83
C3	1576.96	124.94	N67°41'15"W	124.91
C4	220.65	51.04	N20°22'28"E	50.93

LINE	DIRECTION	DISTANCE
L1	N81°24'43"E	27.05
L2	S33°10'02"W	67.89
L3	S38°35'46"W	101.42
L4	S43°38'34"W	84.84
L5	N73°00'25"W	120.66
L6	N45°35'31"W	107.02
L7	S45°35'31"E	109.52
L8	N73°09'22"W	36.96
L10	N14°14'21"E	96.43
L11	S87°50'22"W	48.43

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK _____ PAGE _____ OR OTHER REFERENCE SOURCE _____; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 10.000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).
 THIS _____ DAY OF _____, 2020.
 SEAL
 PROFESSIONAL LAND SURVEYOR

NC GRID (NAD 83/2011)
 SCALE: 1" = 200'

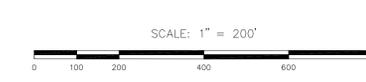
REFERENCES:
 DB. 9159 PG. 672
 DB. 12979 PG. 369
 DB. 14674 PG. 1413



LEGEND	
○	CP = CALCULATED POINT
●	EIP = EXISTING IRON PIPE
⊙	SANITARY SEWER MANHOLE
⊚	TELEPHONE PEDESTAL
⊛	ELECTRIC POLE
⊜	WATER VALVE
⊝	FIRE HYDRANT
⊞	GUY WIRE
⊟	FIBER OPTIC MARKER
⊠	FIBER OPTIC VAULT
⊡	WATER LINE MARKER
⊢	STREET SIGN
⊣	GRAVE SITE
⊤	CURB INLET
⊥	MAILBOX
⊦	RIGHT-OF-WAY
XXX	DENOTES ADDRESS
---	STORM LINE
---	SANITARY SEWER LINE
---	WATER LINE

OWNERS:
 G&F PROPERTIES LLC
 EDWARD J GEHRKE II MANAGER
 PO BOX 767
 WENDELL NC 27581-0767
 MORTARINO GIOVANNI TRUSTEE
 2830 CHARLEMAGNE DR
 VIRGINIA BEACH VA 23451-1358
 ROBERSON, BILLY B
 1213 INGAN TRAIL DR
 RALEIGH NC 27609-6439

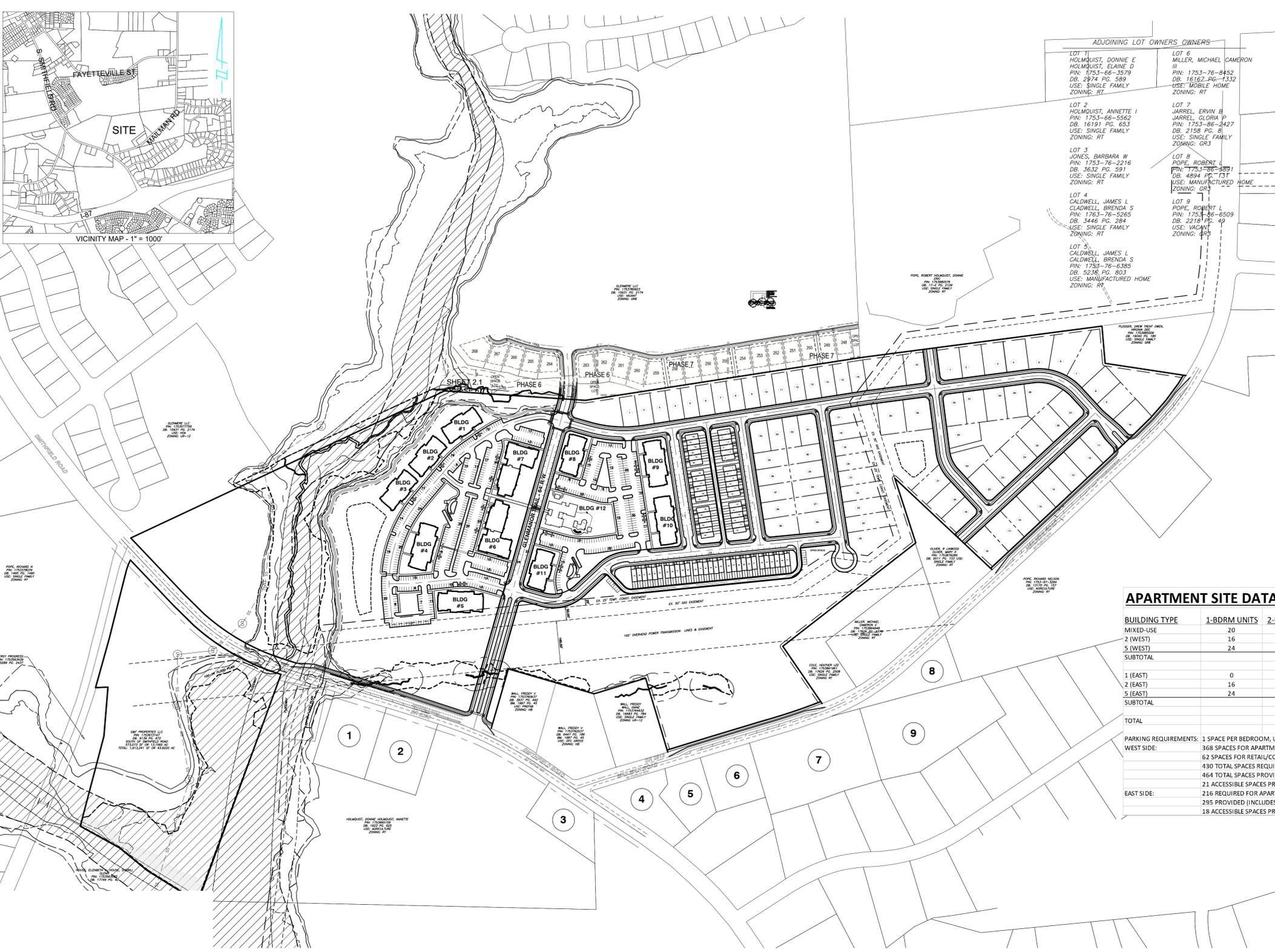
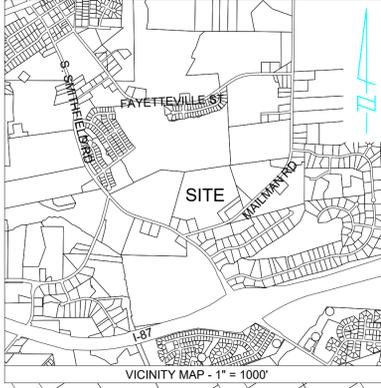
NOTE:
 THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND STRUCTURES, FIELD MARKINGS AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, FIELD LOCATIONS AND THE TYPE OF UTILITIES/STRUCTURES SHOULD BE VERIFIED.



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6510 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NORTH CAROLINA 27607
 PHONE: (919) 851-4422 or (603) 954-1679
 FAX: (919) 851-4422
 CERTIFICATION NUMBERS: NCBSLS (C-010), NCBLS (C-0267)

BOUNDARY & TOPOGRAPHIC SURVEY
 FOR
KNIGHTDALE MIXED USE
 WAKE COUNTY
 NORTH CAROLINA

SHEET
 2
 OF
 2



PROPERTY OWNERS:
 GAF PROPERTIES, LLC
 P.O. BOX 767
 WENDELL, NC 27591-0767

ENGINEER:
 BASS, NIXON AND KENNEDY, INC.
 6310 CHAPEL HILL ROAD, STE 250
 RALEIGH, NC 27607
 919-851-4422
 CONTACT: MARTY D. BIZZELL, PE

GIOVANNI MORTARINA
 CPESC
 2830 CHARLEMAGNE DR.
 VIRGINIA BEACH, VA 23451-1358

BILLY B. ROBERSON
 1213 INDIAN TRAIL DRIVE
 RALEIGH, NC 27609-5439

SITE DATA

PROJECT NAME: KNIGHTDALE MIXED USE
SITE ACRES: 75.87 ACRES (AFTER RECOMBINATION)
EXISTING LAND USE: VACANT
PROPOSED LAND USE: RESIDENTIAL/MIXED USE
CURRENT ZONING: RURAL TRANSITIONAL (RT)
PROPOSED ZONING: PLANNED UNIT DEVELOPMENT
UNDERLYING ZONING: NMX

Lot and Building Dimensional Requirements

Building Type	House	Townhouse	Apartment	Mixed-Use
Lot Width (min)*	60'	20'	n/a	n/a
Front Setback (min)	10'	15'	0'	0'
Front Setback (max)	n/a	25'	25'	10'
Minimum Driveway	35'	20' (rear)	n/a	n/a
Side Setback (min)	20% of lot (5' min)	10' between bldgs	10' between bldgs	0' within development
Rear Setback (min)	25'	20'	n/a	0'
Rear Setback (All)	20' from centerline	20' from R/W	15' from centerline	0'
Maximum Height	3 stories	3 stories	4 stories	4 stories

* All single family lots 60' and wider will be front loaded per PUD

SINGLE FAMILY SITE DATA

DESCRIPTION	QUANTITY
SITE ACREAGE:	95.5 ACRES (NORTH OF SMITHFIELD RD)
60' SINGLE FAMILY LOTS	39
80' SINGLE FAMILY LOTS	37
20' TOWNHOME LOTS (REAR LOADED)	65
TOTAL SINGLE FAMILY AND TOWNHOMES	141

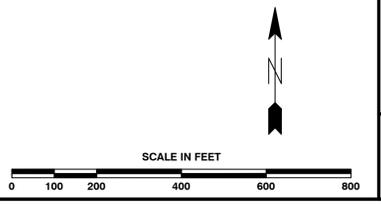
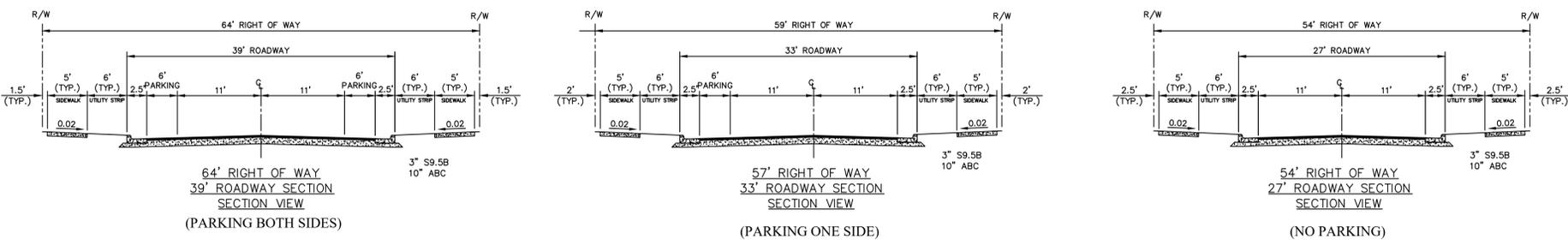
APARTMENT SITE DATA

BUILDING TYPE	1-BDRM UNITS	2-BDRM UNITS	3-BDRM UNITS	RETAIL SPACE	# OF BUILDING TYPE	TOTAL UNITS	TOTAL RETAIL
MIXED-USE	20	18	0	7,720	2	76	15,440
2 (WEST)	16	16	0	0	3	96	0
5 (WEST)	24	0	16	0	2	80	0
SUBTOTAL						252	15,440
1 (EAST)	0	16	16	0	1	32	
2 (EAST)	16	16	0	0	2	64	
5 (EAST)	24	0	16	0	1	40	
SUBTOTAL						136	
TOTAL						388	15,440

PARKING REQUIREMENTS: 1 SPACE PER BEDROOM, UP TO 2 PER UNIT
 WEST SIDE:
 368 SPACES FOR APARTMENTS
 62 SPACES FOR RETAIL/COMMERCIAL
 430 TOTAL SPACES REQUIRED
 464 TOTAL SPACES PROVIDED (INCLUDES 26 ON-STREET PARKING SPACES)
 21 ACCESSIBLE SPACES PROVIDED
 EAST SIDE:
 216 REQUIRED FOR APARTMENTS
 295 PROVIDED (INCLUDES 67 SPACES FOR POOL/CLUB/MAIL KIOSK)
 18 ACCESSIBLE SPACES PROVIDED

WETLANDS EXIST ON-SITE
FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF KNIGHTDALE AND NCDOT



BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 851-4422 OR (800) 354-1879 FAX: (919) 851-8868
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

KNIGHTDALE MIXED USE
 SMITHFIELD ROAD
 TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

OVERALL SITE PLAN

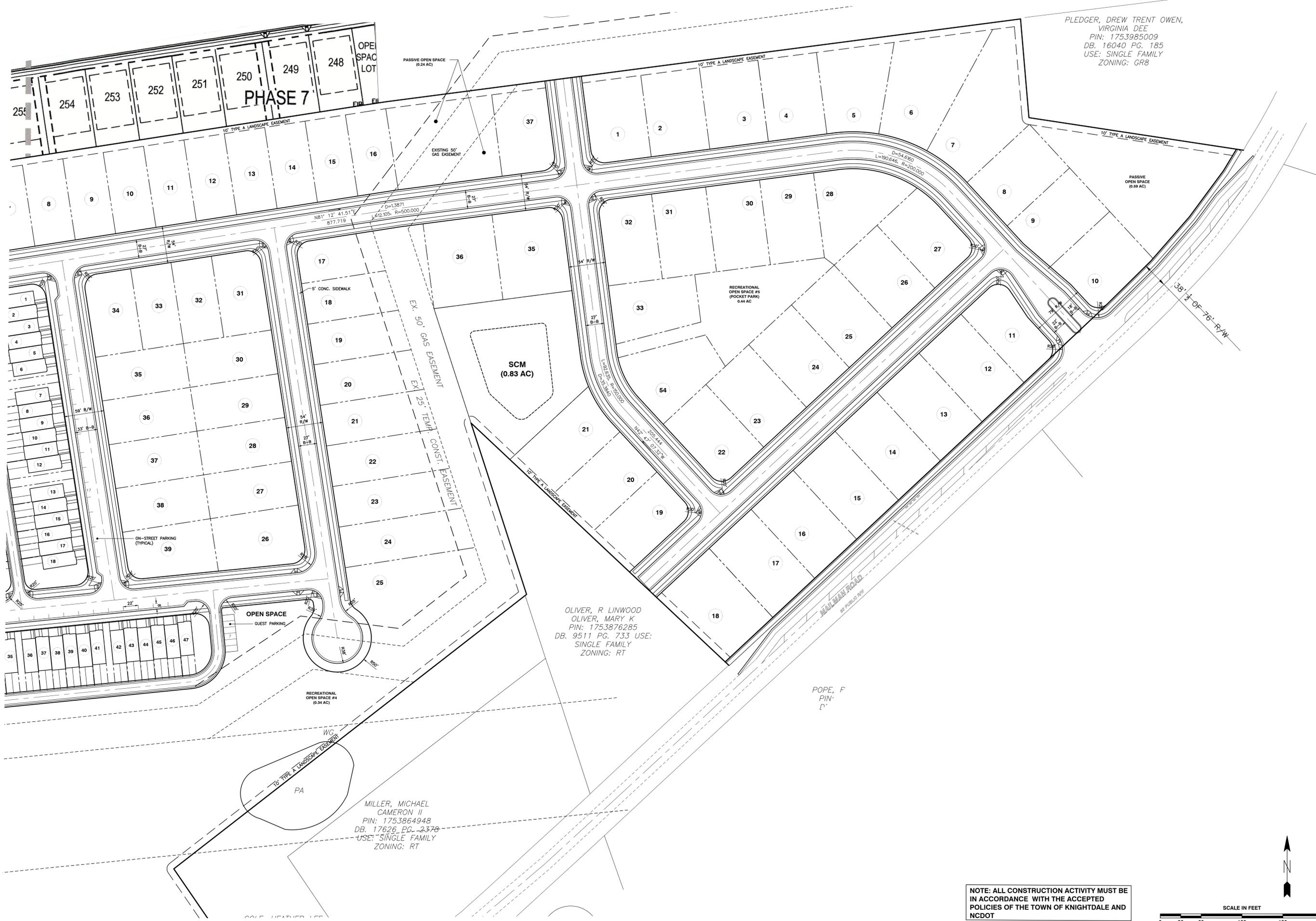
SHEET C1.1

DATE: 11-20-20
 DRAWN BY: IP
 JOB NO.: 03-20097
 SCALE: 1" = 200'

NO. DATE DESCRIPTION REVISIONS BY

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

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BANK

BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS

6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919) 851-1822 OR (919) 854-1879 FAX: (919) 851-8868
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

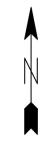
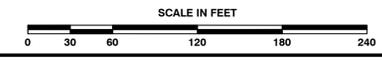
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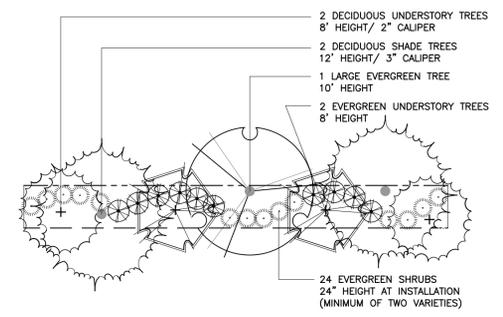
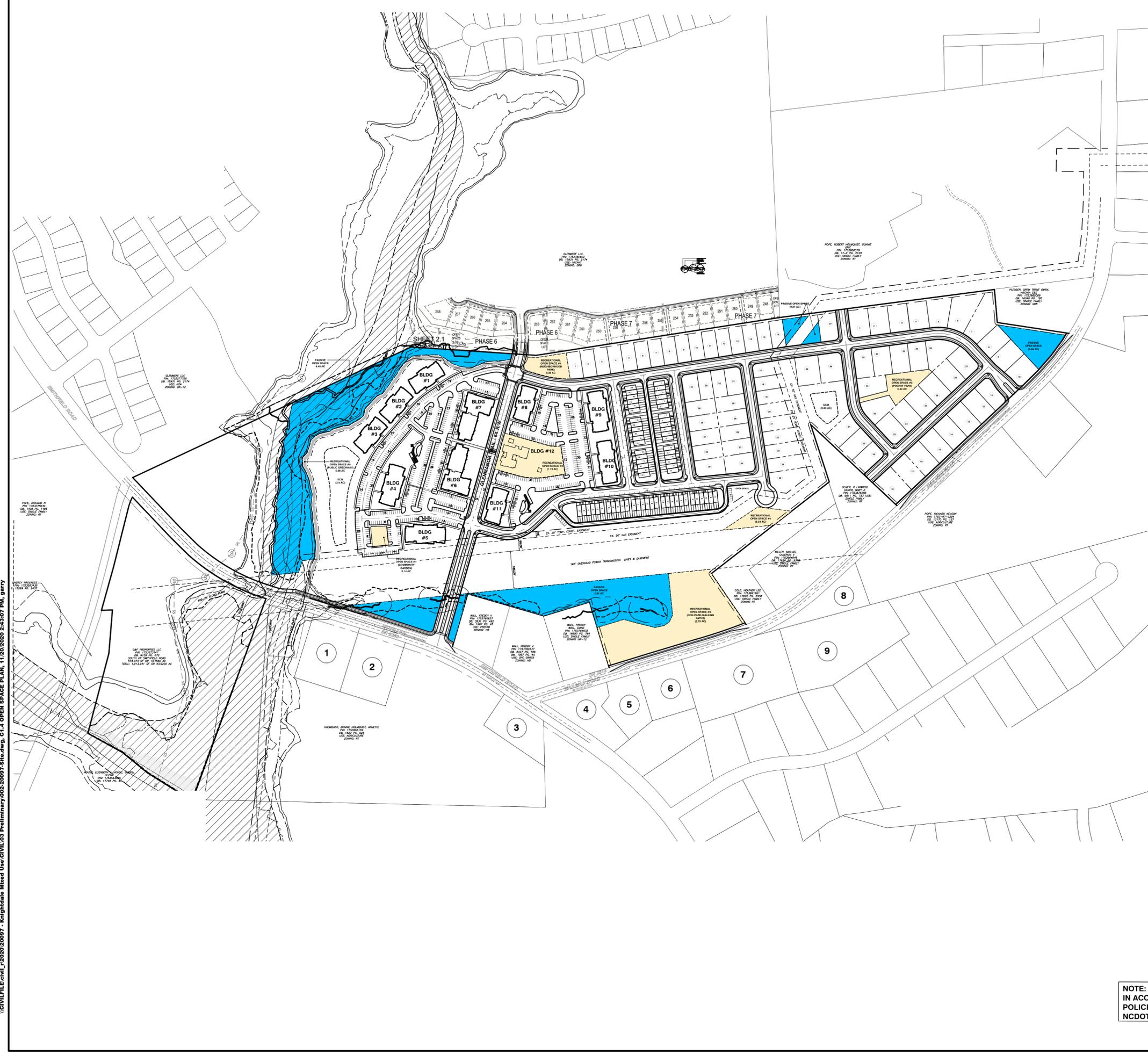
11-20-20 IP
DATE DRAWN BY
JOB NO. ENLARGED SITE PLAN
EAST
SCALE: 1" = 60'
CHK BY: MDB

KNIGHTDALE MIXED USE
SMITHFIELD ROAD
TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

SHEET
C1.3

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF KNIGHTDALE AND NCDOT





MODIFIED 10' TYPE A BUFFER
SCALE: 1" = 20'

RECREATION OPEN SPACE CALCULATIONS

SINGLE FAMILY 76 X 3.5 =	266 BEDROOMS
TOWNHOMES 65 X 3 =	195 BEDROOMS
APARTMENTS 388	648 BEDROOMS
TOTAL:	1,109 BEDROOMS

GROSS DENSITY:	529/75.87 = 7.0 D.U.A.
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ALL LOTS ARE OUTSIDE 1/2 MILE PROXIMITY ZONE:
1,109 X 550 = 609,950 SF (14.00 ACRES OR 18.46% OF SITE)

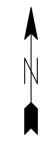
REQUIRED ACTIVE OPEN SPACE:	14.00 X 0.5 = 7.0 ACRES
NEIGHBORHOOD AMENITY PROVIDED:	1.73 ACRES
GREENWAY:	0.80 ACRES
PUBLIC PLAZA:	0.52 ACRES
COMMUNITY GARDEN:	0.14 ACRES
NEIGHBORHOOD PARKS:	1.16 ACRES
DOG PARK/WALKING TRAILS:	2.7 ACRES
TOTAL:	(9.3% OF SITE) 7.05 ACRES

REQUIRED PASSIVE OPEN SPACE:	6.75 ACRES
PASSIVE OPEN SPACE PROVIDED:	(15.4% OF SITE) 11.7 ACRES
TOTAL OPEN SPACE PROVIDED:	(24.7% OF SITE) 18.75 ACRES

WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF KNIGHTDALE AND NCDOT



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919) 851-8222 OR (800) 354-1879 • FAX: (919) 851-8868
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

11-20-20	IP	DATE	DRAWN BY
03-20097	JOB NO.	DATE	DRAWN BY
OPEN SPACE PLAN			
SCALE: 1" = 200'	CHK BY: MDB		

KNIGHTDALE MIXED USE
SMITHFIELD ROAD
TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

SHEET C1.4

\\CVLFILE\cvtl_032020_20097 - Knightdale Mixed Use\CIVIL\03 Preliminary\003-20097-Site.dwg, C1.4 OPEN SPACE PLAN, 11/20/2020 2:43:07 PM, gerry

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

Table of Contents

Part 1 | Vision and Intent

Part 2 | Existing Conditions

Part 3 | Planned Unit Development Master Plan

Part 4 | UDO and Comprehensive Plan Consistency

Part 5 | Design Guidelines

Part 6 | Recreational Open Space and Amenities

Part 7 | Public Facilities

Part 8 | Landscaping

Part 9 | Neighborhood Meeting Report

Part 10 | Zoning Conditions

Knightdale Mixed-Use at Smithfield Road

Knightdale Mixed-Use at Smithfield Road is a mixed-use, walkable development adjacent at the northwest corner of Smithfield Road and Mailman Road. Knightdale Mixed-Use at Smithfield Road will be developed on vacant property located approximately one-half mile north of I-87. The development will be transformed into a place where people can live, shop, work and play in one community. Knightdale Mixed-Use at Smithfield Road will:

Provide exceptional design, character, and quality

Knightdale Mixed-Use at Smithfield Road Station is a neighborhood mixed-use development adjacent that will provide quality housing options and a mixed-use center in a walkable community. The design of the apartment and mixed-use buildings will be more urban in nature to create the feel of a vibrant town setting. There will be a mix of styles and building types. The single-family and townhome portions of the development will be separated from the more urban mixed-use and apartment areas and will incorporate similar design style to create a cohesive neighborhood.

Provide high quality community amenities

Knightdale Mixed-Use at Smithfield Road will have a varied assortment of amenities that will benefit the people who work and live in the development. The amenities provided will include several pocket parks, a large dog park, a section of public greenway along the stream, a community pool and clubhouse, and a community garden. The amenities will be spread throughout the development and connected by a public sidewalk network.

Incorporate creative design in the layout of the buildings

The mixed-use buildings will be located along Glen Manor trail, positioned close to the public street. They will be centered on a public plaza that centers on the

clubhouse building across the street. A pedestrian connection will be provided to connect the two central components of the development.

Ensure compatibility with surrounding land uses and neighborhood character

Knightdale Mixed-Use at Smithfield is located in an area designated for future mixed-use development in the Knightdale Comprehensive Plan. The development is bordered on the north by a single-family subdivision, and as such, the development backing up to the single-family homes will also be limited to single-family, or appropriate landscape separation buffers will be provided.

Encourage the creation of mixed density neighborhoods, neighborhood nodes, and mixed-use centers

Knightdale Mixed-Use at Smithfield Road will contain a mix of single-family homes, townhomes and apartments as well as vertical mixed-use buildings containing commercial/retail space and apartments on the ground floor with apartments above.

Further the goals of the Comprehensive Plan including the growth framework and growth and conservation map

Knightdale Mixed-Use at Smithfield Road will be located on a vacant parcel situated south of a parcel currently being developed as single-family residential and will continue the progression of development to Smithfield Road

Provide greater efficiency in the layout and provision of roads, utilities and other infrastructure.

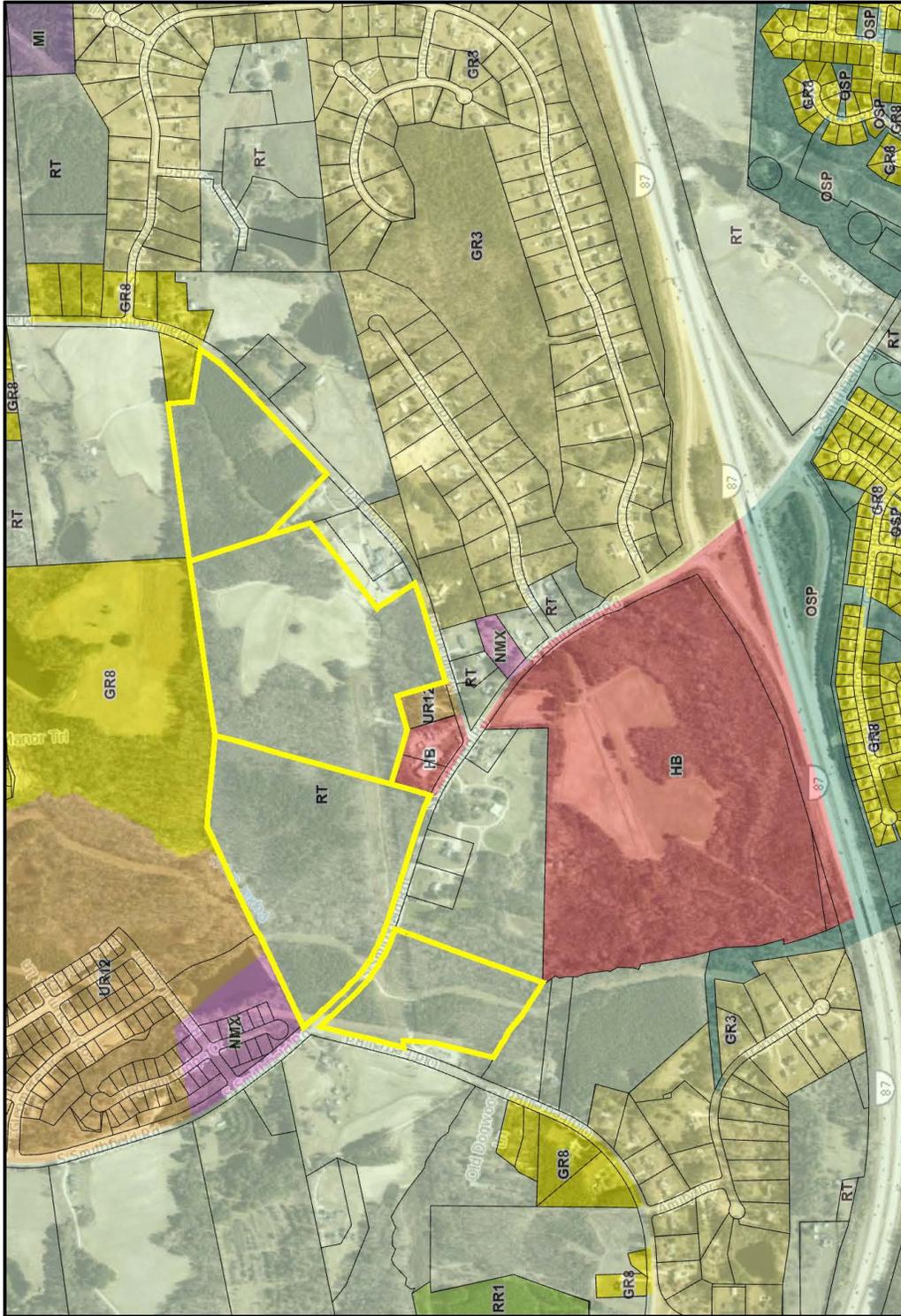
Knightdale Mixed-Use at Smithfield Road is designed to maximize the use of developable area while leaving environmentally sensitive areas undisturbed for the enjoyment of residents and concentrating development along main roads and the interior of the site.

PART 2| EXISTING CONDITIONS

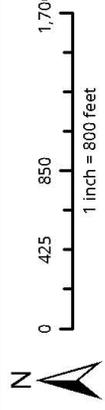
Knightdale Mixed-Use at Smithfield Road is located on parcels fronting on Smithfield Road and Mailman Road approximately one-half mile north of I-87. The properties do not have a current street address as they are undeveloped. The Wake County PIN's are 1753-67-3147 (portion), 1753-77-8199, and 1753-87-9748. The parcel slopes from west to east and drains under Smithfield road. The parcels are bisected by a Duke Energy easement and a proposed Dominion Energy easement running east to west. The site contains a mixture of evergreen and hardwood forestation as well as a cleared pasture area at the center of the site.

DRAFT

CURRENT ZONING MAP/VICINITY MAP



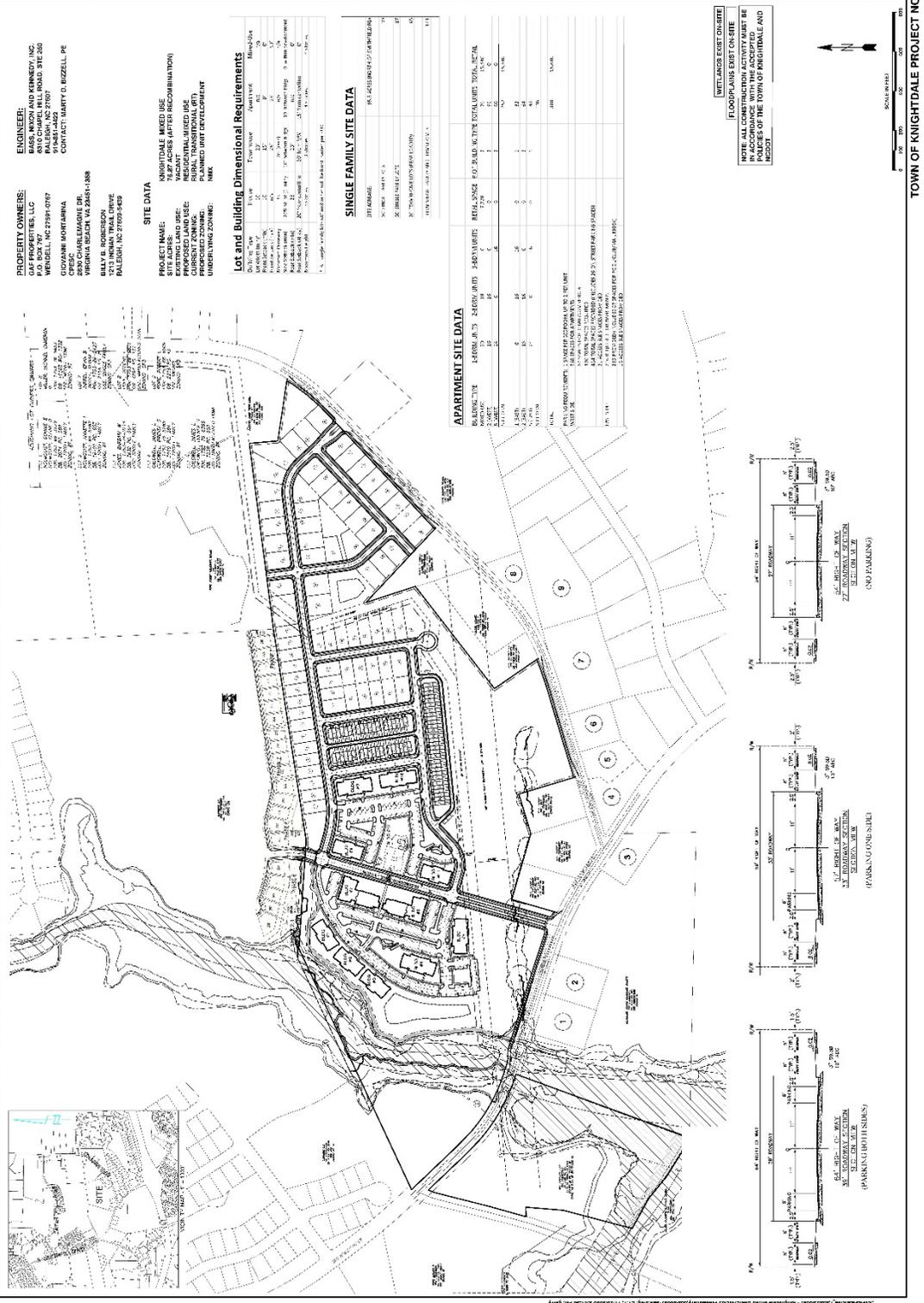
Disclaimer
 Maps make every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



SITE IMPROVEMENTS AND DIMENSIONS

TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

C1.1	KNIGHTDALE MIXED USE SMITHFIELD ROAD	DATE: 11/20/20 JOB NO. 2020-0001	SCALE: 1" = 200' SITE PLAN OVERALL
BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS 8310 CHAPEL HILL ROAD, SUITE 200, RALEIGH, NC 27617 TELEPHONE: (919) 871-0000 FAX: (919) 871-0000 CERTIFICATION NUMBERS: NCBELS (C-019), NCBOKA (C-0207)			



PROPERTY OWNERS:
 BASS, NIXON & KENNEDY, INC.
 P.O. BOX 967
 WENDELL, NC 27981-0297
 919-871-0000
 919-871-0002
 CONTACT: MARY D. RIZZELL, PE

ENGINEER:
 BASS, NIXON & KENNEDY, INC.
 8310 CHAPEL HILL ROAD, SUITE 200
 RALEIGH, NC 27617
 919-871-0000
 919-871-0002
 CONTACT: MARY D. RIZZELL, PE

SITE DATA
 PROJECT NAME: KNIGHTDALE MIXED USE
 EXISTING ZONING: RESIDENTIAL MEDIUM DENSITY (RM-100)
 PROPOSED LAND USE: RESIDENTIAL MIXED USE
 PROPOSED ZONING: MIXED USE DEVELOPMENT (MUD)
 UNDERLYING ZONING: MUD

Lot and Building Dimensional Requirements

Lot Area (sq. ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Min. Front Setback (ft.)	Min. Side Setback (ft.)	Min. Rear Setback (ft.)	Min. Building Height (ft.)	Max. Building Area (sq. ft.)	Max. Building Footprint (sq. ft.)	Max. Building Coverage (%)
10,000 - 15,000	30	40	10	5	5	35	10,000	5,000	50
15,000 - 20,000	35	45	10	5	5	35	15,000	7,500	50
20,000 - 25,000	40	50	10	5	5	35	20,000	10,000	50
25,000 - 30,000	45	55	10	5	5	35	25,000	12,500	50
30,000 - 35,000	50	60	10	5	5	35	30,000	15,000	50
35,000 - 40,000	55	65	10	5	5	35	35,000	17,500	50
40,000 - 45,000	60	70	10	5	5	35	40,000	20,000	50
45,000 - 50,000	65	75	10	5	5	35	45,000	22,500	50
50,000 - 55,000	70	80	10	5	5	35	50,000	25,000	50
55,000 - 60,000	75	85	10	5	5	35	55,000	27,500	50
60,000 - 65,000	80	90	10	5	5	35	60,000	30,000	50
65,000 - 70,000	85	95	10	5	5	35	65,000	32,500	50
70,000 - 75,000	90	100	10	5	5	35	70,000	35,000	50
75,000 - 80,000	95	105	10	5	5	35	75,000	37,500	50
80,000 - 85,000	100	110	10	5	5	35	80,000	40,000	50
85,000 - 90,000	105	115	10	5	5	35	85,000	42,500	50
90,000 - 95,000	110	120	10	5	5	35	90,000	45,000	50
95,000 - 100,000	115	125	10	5	5	35	95,000	47,500	50
100,000 - 105,000	120	130	10	5	5	35	100,000	50,000	50
105,000 - 110,000	125	135	10	5	5	35	105,000	52,500	50
110,000 - 115,000	130	140	10	5	5	35	110,000	55,000	50
115,000 - 120,000	135	145	10	5	5	35	115,000	57,500	50
120,000 - 125,000	140	150	10	5	5	35	120,000	60,000	50
125,000 - 130,000	145	155	10	5	5	35	125,000	62,500	50
130,000 - 135,000	150	160	10	5	5	35	130,000	65,000	50
135,000 - 140,000	155	165	10	5	5	35	135,000	67,500	50
140,000 - 145,000	160	170	10	5	5	35	140,000	70,000	50
145,000 - 150,000	165	175	10	5	5	35	145,000	72,500	50
150,000 - 155,000	170	180	10	5	5	35	150,000	75,000	50
155,000 - 160,000	175	185	10	5	5	35	155,000	77,500	50
160,000 - 165,000	180	190	10	5	5	35	160,000	80,000	50
165,000 - 170,000	185	195	10	5	5	35	165,000	82,500	50
170,000 - 175,000	190	200	10	5	5	35	170,000	85,000	50
175,000 - 180,000	195	205	10	5	5	35	175,000	87,500	50
180,000 - 185,000	200	210	10	5	5	35	180,000	90,000	50
185,000 - 190,000	205	215	10	5	5	35	185,000	92,500	50
190,000 - 195,000	210	220	10	5	5	35	190,000	95,000	50
195,000 - 200,000	215	225	10	5	5	35	195,000	97,500	50
200,000 - 205,000	220	230	10	5	5	35	200,000	100,000	50
205,000 - 210,000	225	235	10	5	5	35	205,000	102,500	50
210,000 - 215,000	230	240	10	5	5	35	210,000	105,000	50
215,000 - 220,000	235	245	10	5	5	35	215,000	107,500	50
220,000 - 225,000	240	250	10	5	5	35	220,000	110,000	50
225,000 - 230,000	245	255	10	5	5	35	225,000	112,500	50
230,000 - 235,000	250	260	10	5	5	35	230,000	115,000	50
235,000 - 240,000	255	265	10	5	5	35	235,000	117,500	50
240,000 - 245,000	260	270	10	5	5	35	240,000	120,000	50
245,000 - 250,000	265	275	10	5	5	35	245,000	122,500	50
250,000 - 255,000	270	280	10	5	5	35	250,000	125,000	50
255,000 - 260,000	275	285	10	5	5	35	255,000	127,500	50
260,000 - 265,000	280	290	10	5	5	35	260,000	130,000	50
265,000 - 270,000	285	295	10	5	5	35	265,000	132,500	50
270,000 - 275,000	290	300	10	5	5	35	270,000	135,000	50
275,000 - 280,000	295	305	10	5	5	35	275,000	137,500	50
280,000 - 285,000	300	310	10	5	5	35	280,000	140,000	50
285,000 - 290,000	305	315	10	5	5	35	285,000	142,500	50
290,000 - 295,000	310	320	10	5	5	35	290,000	145,000	50
295,000 - 300,000	315	325	10	5	5	35	295,000	147,500	50
300,000 - 305,000	320	330	10	5	5	35	300,000	150,000	50
305,000 - 310,000	325	335	10	5	5	35	305,000	152,500	50
310,000 - 315,000	330	340	10	5	5	35	310,000	155,000	50
315,000 - 320,000	335	345	10	5	5	35	315,000	157,500	50
320,000 - 325,000	340	350	10	5	5	35	320,000	160,000	50
325,000 - 330,000	345	355	10	5	5	35	325,000	162,500	50
330,000 - 335,000	350	360	10	5	5	35	330,000	165,000	50
335,000 - 340,000	355	365	10	5	5	35	335,000	167,500	50
340,000 - 345,000	360	370	10	5	5	35	340,000	170,000	50
345,000 - 350,000	365	375	10	5	5	35	345,000	172,500	50
350,000 - 355,000	370	380	10	5	5	35	350,000	175,000	50
355,000 - 360,000	375	385	10	5	5	35	355,000	177,500	50
360,000 - 365,000	380	390	10	5	5	35	360,000	180,000	50
365,000 - 370,000	385	395	10	5	5	35	365,000	182,500	50
370,000 - 375,000	390	400	10	5	5	35	370,000	185,000	50
375,000 - 380,000	395	405	10	5	5	35	375,000	187,500	50
380,000 - 385,000	400	410	10	5	5	35	380,000	190,000	50
385,000 - 390,000	405	415	10	5	5	35	385,000	192,500	50
390,000 - 395,000	410	420	10	5	5	35	390,000	195,000	50
395,000 - 400,000	415	425	10	5	5	35	395,000	197,500	50
400,000 - 405,000	420	430	10	5	5	35	400,000	200,000	50
405,000 - 410,000	425	435	10	5	5	35	405,000	202,500	50
410,000 - 415,000	430	440	10	5	5	35	410,000	205,000	50
415,000 - 420,000	435	445	10	5	5	35	415,000	207,500	50
420,000 - 425,000	440	450	10	5	5	35	420,000	210,000	50
425,000 - 430,000	445	455	10	5	5	35	425,000	212,500	50
430,000 - 435,000	450	460	10	5	5	35	430,000	215,000	50
435,000 - 440,000	455	465	10	5	5	35	435,000	217,500	50
440,000 - 445,000	460	470	10	5	5	35	440,000	220,000	50
445,000 - 450,000	465	475	10	5	5	35	445,000	222,500	50
450,000 - 455,000	470	480	10	5	5	35	450,000	225,000	50
455,000 - 460,000	475	485	10	5	5	35	455,000	227,500	50
460,000 - 465,000	480	490	10	5	5	35	460,000	230,000	50
465,000 - 470,000	485	495	10	5	5	35	465,000	232,500	50
470,000 - 475,000	490	500	10	5	5	35	470,000	235,000	50
475,000 - 480,000	495	505	10	5	5	35	475,000	237,500	50
480,000 - 485,000	500	510	10	5	5	35	480,000	240,000	50
485,000 - 490,000	505	515	10	5	5	35	485,000	242,500	50
490,000 - 495,000	510	520	10	5	5	35	490,000	245,000	50
495,000 - 500,000	515	525	10	5	5	35	495,000	247,500	50
500,000 - 505,000	520	530	10	5	5	35	500,000	250,000	50
505,000 - 510,000	525	535	10	5	5	35	505,000	252,500	50
510,000 - 515,000	530	540	10	5	5	35	510,000	255,000	50
515,000 - 520,000	5								

PART 3| PLANNED UNIT DEVELOPMENT MASTER PLAN

Development Details

Knightdale Mixed-Use at Smithfield Road is mixed-use development with 388 apartment units, 76 single-family dwellings and 65 townhomes and 15,440 sf of office/retail space designed to the Neighborhood Mixed-Use Planned Unit Development standards of the Knightdale UDO. The development will provide several quality housing choices and workspaces for residents as well as an expansive choice of amenities for residents in the development, including a pool, clubhouse, greenway, dog park and several community parks. The development will also contain community retail shops for residents and visitors.

In order to improve access for residents and visitors, on-street parking will be provided along Glenmanor Trail and along the public streets in front of the townhomes. There are approximately 129 on-street parking spaces proposed for the development.

Overall Development Mix

Apartment Data:

The apartments in the development will be a mix of one bedroom, two bedroom and three bedroom units. The current anticipated mix of units is as follows:

Total apartment units:	388 dwelling units
One bedroom units:	192 units
Two bedroom units:	132 units
Three bedroom units:	64 units

Single-Family Data:

Total single-family units:	141 dwelling units
60' wide lots:	39 dwelling units
80' wide lots:	37 dwelling units
Townhome units:	65 dwelling units

Commercial/Retail Data:

Total non-residential square footage:	15,440 square feet
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PART 4| UDO AND COMPREHENSIVE PLAN CONSISTENCY

UDO Consistency

Knightdale Mixed-Use at Smithfield Road is designed to meet the requirements of the UDO where practical and applicable.

Consistent with 10.3(G)(2) and (3) of the UDO, the project will utilize combined/shared parking to satisfy parking requirements.

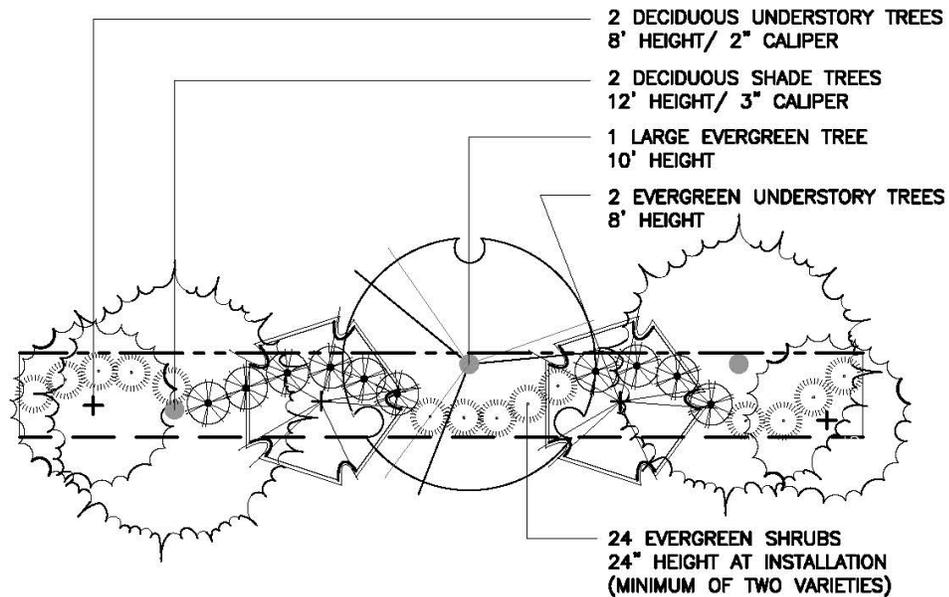
The applicant is seeking 2 modifications to provisions of the UDO as part of this PUD. The requested modifications are listed below.

Modification to Type C Buffer Yard Requirement

The buffer table in Section 8.6(A) of the UDO requires a Type C buffer yard between NMX base zoned properties and adjacent GR8 zoned properties. A Type C buffer has a width of 50'. Typically, no buffer is required between parcels developed as single-family residential.

A modified 10' Type A buffer which exceeds the standard of UDO Section 8.6(B)(1) is proposed for the perimeter of the development where single-family lots are located along the boundary adjacent to single-family lots. This includes PIN: 1753-78-0603 (portion east of Glenmanor Trail), 1753-98-0579, 1753-98-5009, 1753-87-

6285, 1753-86-1961. Both the quantity and size of trees and shrubs will be increased as indicated in the graphic below for a typical 100' section of the buffer.



MODIFIED 10' TYPE A BUFFER

SCALE: 1" = 20'

All other portions of the development will meet the Buffer standards set forth in the Knightdale UDO. The buffer modification is consistent with the UDO in that it exceeds the typical standard of no buffer between single-family residential development.

Modification to Driveway Locations

Note (a) attached to the Lot and Building Dimensional Requirements in Section 2.9(B)(2) of the Town of Knightdale UDO states for lots less than 80 feet wide, alley/rear lane access to all off-street parking areas is required except when such lots front onto an approved cul-de-sac, in which case shared driveways shall be required. For in-fill lots less than 80 feet wide where no alley/rear lane access exists, shared driveways will be required. For lots 80 feet wide or greater, access to off-street parking is permitted from the fronting street or rear lane/alley.

To promote a more uniform development where a mix of 60 foot wide and 80 foot wide lots are proposed, all lots will provide off-street parking accessed from the fronting street. This will provide a more uniform streetscape and eliminate the need for parallel alleys that would significantly increase the impervious area and footprint of the development.

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Knightdale Next 2035 Comprehensive Plan Consistency

Knightdale Mixed-Use at Smithfield Road is consistent with the Growth Framework Map, Growth and Conservation Map, and the following guiding Principles in the Knightdale Next 2035 Comprehensive Plan (“KCP”)

1. Unique Activity Areas:

This principle encourages the development of unique activity centers that include a mix of uses and activities close together, providing people with new options for places to live, work, shop and participate in civic life. Knightdale Mixed-Use at Smithfield Road provides a mix of residential and office/retail uses, providing Knightdale with a new place to live, work and shop at the eastern gateway into town..

2. Infill development and redevelopment:

This guiding principle aims to promote infill development for vacant areas within the Town of Knightdale. The Growth Framework Map designates this site as within a Target Investment Area, in which infill development, including increased residential density are encourages. Knightdale Mixed-Use at Smithfield Road is consistent with this guideline developing a mixed-use project with apartments, single-family residential and neighborhood scale office/commercial development on property that is currently vacant.

3. Park and recreation:

This principle aims to promote and expand opportunities where people can be more involved in an active lifestyle represented by the presences of high quality parks located near where people live.

4. Compact Development patterns:

The principal aims to guide future growth into more compact and efficient development patterns, encouraging infill development and identified activity

center. The Principal acknowledges that increased densities with a mix of residential and nonresidential uses are needed to accommodate town growth.

5. Community Investment:

Knightdale Mixed-Use at Smithfield Road will include street improvements, walkable sidewalks, landscaping, and other investments in the public realm that will create active public spaces with a prominent place for pedestrians.

6. Economic Vitality:

This guideline seeks to promote a healthy and sustainable business environment. Knightdale Mixed-Use at Smithfield Road is a mixed-use development that will include office/retail space and apartments as well as single-family residential dwellings and townhomes, creating a vibrant place and building an attractive community that will improve the tax base and increase access to employment opportunities in the Town of Knightdale.

7. Great neighborhoods and expanded home choices:

This principle aims to promote vibrant neighborhoods that provide greater access to a range of housing choices that people need at various stages of life. Knightdale Mixed-Use at Smithfield Road will provide apartments, townhomes, and single-family detached homes within a mixed-use development that will make the Town a more livable community.

DESIGN GUIDELINES



ELEVATION 10 ELEVATION 7 ELEVATION 8 ELEVATION 11 ELEVATION 12 ELEVATION 9

Right Where You Want to Be!



Better Value. Better Living.™



ELEVATION 1

ELEVATION 4

ELEVATION 2

ELEVATION 6

ELEVATION 3

ELEVATION 5

Right Where You Want to Be!



Better Value. Better Living.™



ELEVATION 4



ELEVATION 5



ELEVATION 7



ELEVATION 10



ELEVATION 12



ELEVATION 2

Right Where You Want to Be!



Better Value. Better Living.™

R22-216-18



ELEVATION 1



ELEVATION 4



ELEVATION 5 (OPT. 3RD CAR GARAGE SHOWN)



ELEVATION 6



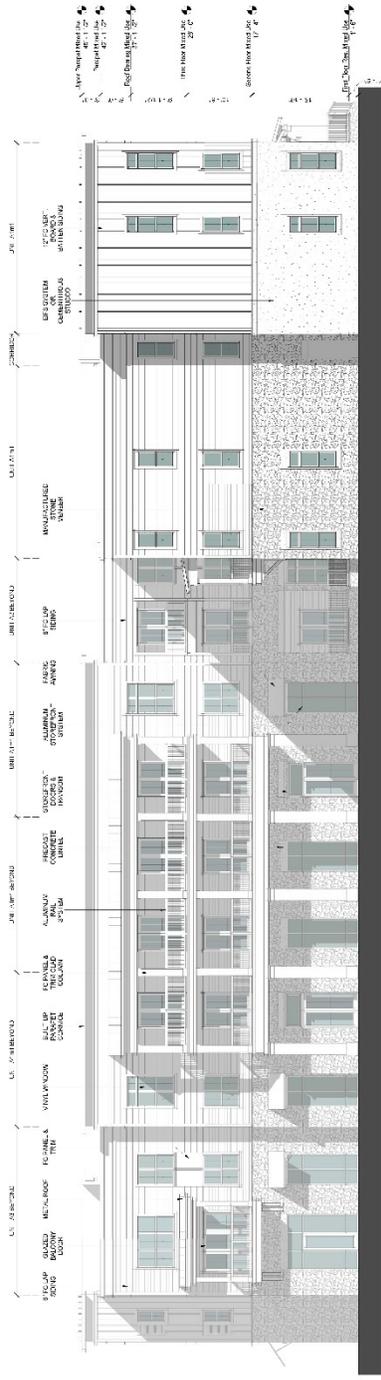
ELEVATION 7

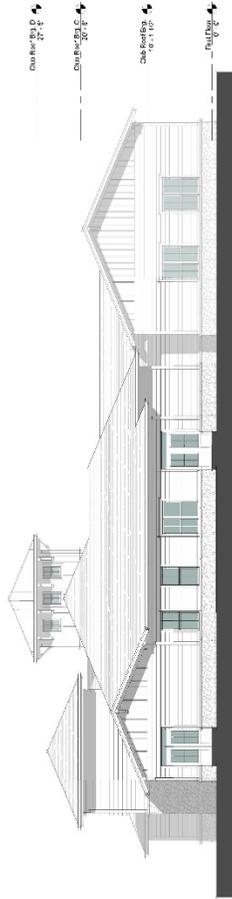
Right Where You Want to Be!



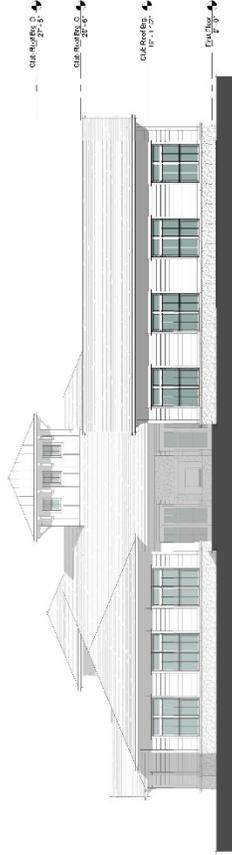
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RI18 10-23-17_12082018

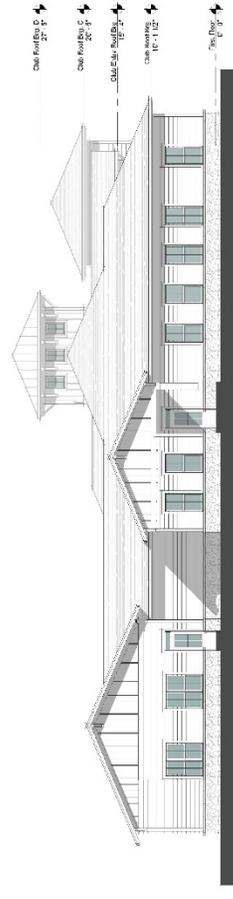




CLUBHOUSE - RIGHT SIDE ELEVATION 4
1/8" = 1'-0"



CLUBHOUSE - REAR ELEVATION 3
1/8" = 1'-0"



CLUBHOUSE - LEFT SIDE ELEVATION 2
1/8" = 1'-0"



CLUBHOUSE - FRONT ELEVATION 1
1/8" = 1'-0"

Knightdale Mixed Use
at S. Smithfield Rd. + Mainman Rd.
Knightdale, NC



Clubhouse - Exterior Elevations A2.61
1/8" = 1'-0"
02/18/21 | 11/18/2020
© 2020 Cline Design Associates, PA. This graphic is for illustrative purposes only and is subject to change.

PART 6 | RECREATIONAL OPEN SPACE AND AMENITIES

Knightsdale Mixed-Use at Smithfield Road will provide both active and passive recreation areas within the development.

Within the development approximately 24.7% of the total land area will be dedicated as open space. A total of 816,750 square feet (18.75 acres of the property will be dedicated.



RECREATION OPEN SPACE CALCULATIONS

SINGLE FAMILY 76 X 3.5 =	266 BEDROOMS
TOWNHOMES 65 X 3 =	195 BEDROOMS
APARTMENTS 388	648 BEDROOMS
TOTAL:	1,109 BEDROOMS

GROSS DENSITY: 529/75.87 = 7.0 D.U.A.

ALL LOTS ARE OUTSIDE ½ MILE PROXIMITY ZONE:
1,109 X 550 = 609,950 SF (14.00 ACRES OR 18.46% OF SITE)

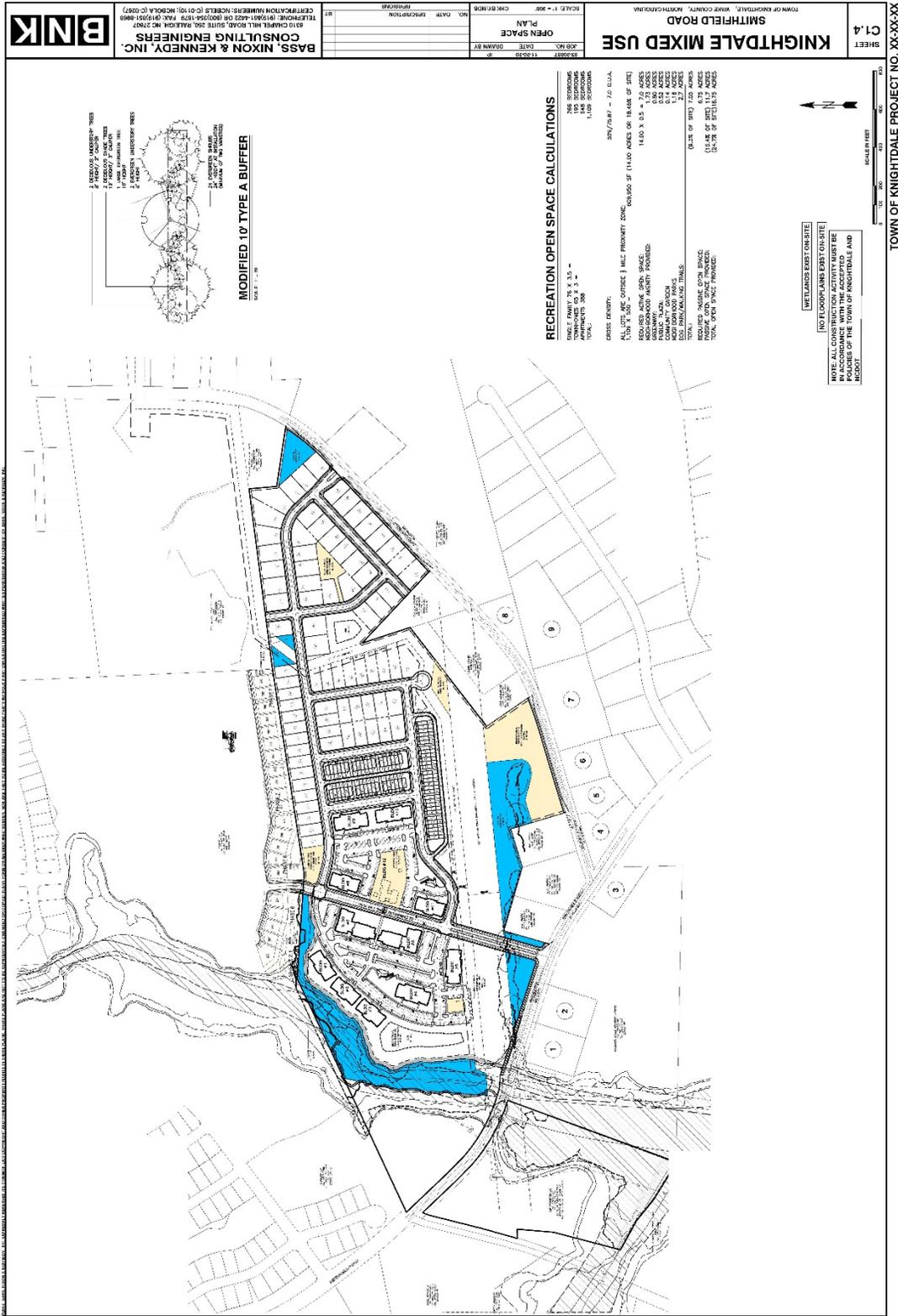
REQUIRED ACTIVE OPEN SPACE:	14.00 X 0.5 = 7.0 ACRES
NEIGHBORHOOD AMENITY PROVIDED:	1.73 ACRES
GREENWAY:	0.80 ACRES
PUBLIC PLAZA:	0.52 ACRES
COMMUNITY GARDEN	0.14 ACRES
NEIGHBORHOOD PARKS	1.16 ACRES
DOG PARK/WALKING TRAILS:	2.7 ACRES

TOTAL: (9.3% OF SITE) 7.05 ACRES

REQUIRED PASSIVE OPEN SPACE:	6.75 ACRES
PASSIVE OPEN SPACE PROVIDED:	(15.4% OF SITE) 11.7 ACRES
TOTAL OPEN SPACE PROVIDED:	(24.7% OF SITE) 18.75 ACRES



OPEN SPACE MAP



KNIGHTDALE MIXED USE
SMITHFIELD ROAD
TOWN OF KNIGHTDALE, WARE COUNTY, NORTH CAROLINA

OPEN SPACE PLAN

SCALE: 1" = 50'

DATE: 11/20/2019

PROJECT: 19-000000

NO. DATE REVISION

BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
8310 CHAPEL HILL ROAD, SUITE 200, RALEIGH, NC 27617
TELEPHONE: (919) 480-0000 FAX: (919) 480-0885
CERTIFICATION NUMBERS: NCEELS (C-01), NCECALA (C-027)

BNK

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

TOWN OF KNIGHTDALE PROJECT NO. XX-XXX-XX

PART 7 | PUBLIC FACILITIES

New public street

Knightdale Mixed-Use at Smithfield Road will feature a new, pedestrian-friendly public street running north to south along the middle section side of the Property. The new street will meet the standards of the Town of Knightdale. Among other things, the street will be designed as a mixed-use street and includes on-street parallel parking, a brick-paved portion, and benches.

Stormwater

Knightdale Mixed-Use at Smithfield Road is located within the Neuse River basin. The proposed development shall have two Wet Detention ponds. The proposed development shall be subject to stormwater management requirements found in Chapter 6 of the UDO.

Water and Sewer

Water and sewer within Knightdale Mixed-Use at Smithfield Road are designed to meet the standards required by the UDO.

Water Allocation Policy Compliance

This project is a Mixed-Use Development (Greenfield). Newly constructed or substantially rehabilitated collection of vertically mixed retail, office and residential uses in a multi-story building on a previously undeveloped parcel.

50 base points

Bonus Points

Bonus Point Categories for items over and above the UDO or Standard Specification Requirements.

- Category 2A - Open Space >2 acres – 2 points
- Category 2B – Stormwater Wet Pond with Fountain – 4 Points
- Category 2C – Building/Site Design – House – 15 Points
- Category 3A – Outdoor Enhancement (Public Art) – 4 Points
- Category 4A – Public Greenway > 1,000 LF – 4 Points
- Category 4B – Pool (Resort Style) – 2 Points
- Section 4C – Outdoor Deck/Patio > 1,000 sf – 1 Point
- Section 4D – Pool Amenities (Jacuzzi/Hot Tub/Whirlpool) – 2 Points
- Section 4E – Clubhouse (Full Kitchen & less than 4,000 sf meeting space) – 9 Pts.

WATER ALLOCATION POINTS

Base Points = 50

Bonus Points = 43

TOTAL WATER ALLOCATION POINTS = 93

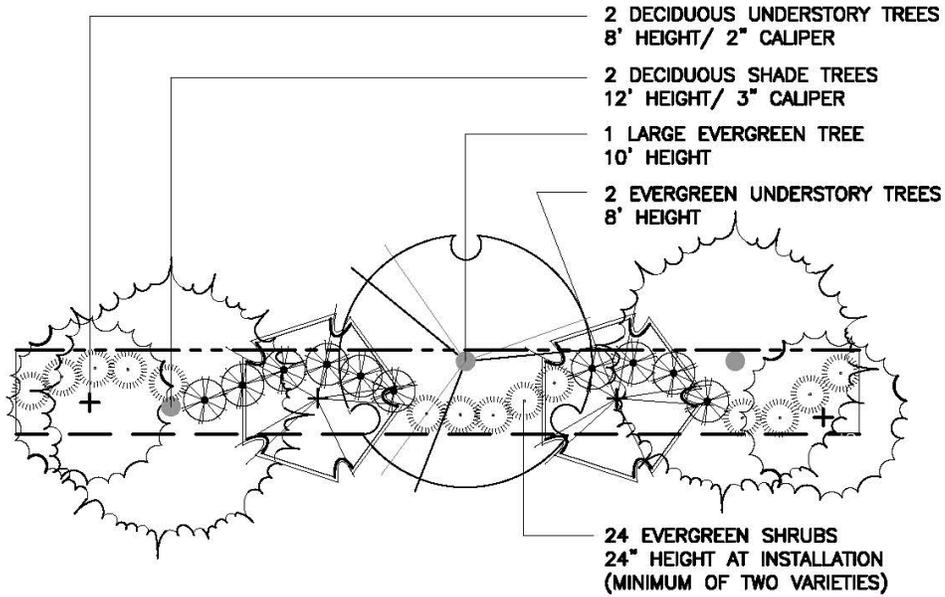
Annexation

An Annexation Petition will be submitted for the property prior to development.

PART 8| LANDSCAPING

A Modified 10' Type A Buffer Yard is proposed in all locations where single-family residential lots abut adjacent property developed or proposed as single-family residential.

All other buffers will be installed per Town of Knightdale UDO standards.



MODIFIED 10' TYPE A BUFFER

SCALE: 1" = 20'



PART 9| NEIGHBORHOOD MEETING REPORT

To be provided with first Plan submittal

DRAFT

SIGN IN SHEET

To be provided with first Plan submittal

DRAFT

PART 10| ZONING CONDITIONS

1. The following principal uses, if otherwise allowed in the NMX district, shall be prohibited uses on the property: Cremation facilities, Drive-Thru service, vehicle services (maintenance, body work, repair), outdoor amusements, outdoor recreation facilities and neighborhood manufacturing. Public safety facility establishments that serve primarily as jails, prisons, or other types of incarceration facilities are prohibited. All other public safety facility uses otherwise allowed in the NMX district are permitted.
2. Consistent with the Design Guidelines for this project:
 - a. Apartment or Mixed-Use buildings constructed on the property will have a roof with the following slope: no more than one (1) inch of vertical rise for every one (1) foot of horizontal run. Each building's roof will have raised parapets around the perimeter.
 - b. Mechanical equipment for the mixed-use and apartment buildings constructed on the property will be located on the roof and will be screened by parapets at the edge of the roof.
 - c. Vinyl siding is not permitted. Vinyl windows, decorative elements and trim are permitted.
 - d. Anti-monotony: No single-family dwelling shall be constructed with an exterior elevation or color palette that is identical to the unit on either side.
 - e. Any side or rear façade of a single-family dwelling visible from an existing public right of way shall have a covered or enclosed porch and/or decorative trim or shutters around all windows.
 - f. Each single-family and townhome dwelling must have a front door with a minimum of 25% glazing, transom, and/or door sidelights.

- g. Each single-family and townhome dwelling must have a covered porch with decorative posts, to include a minimum of 24" massing at the base constructed of masonry material.

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