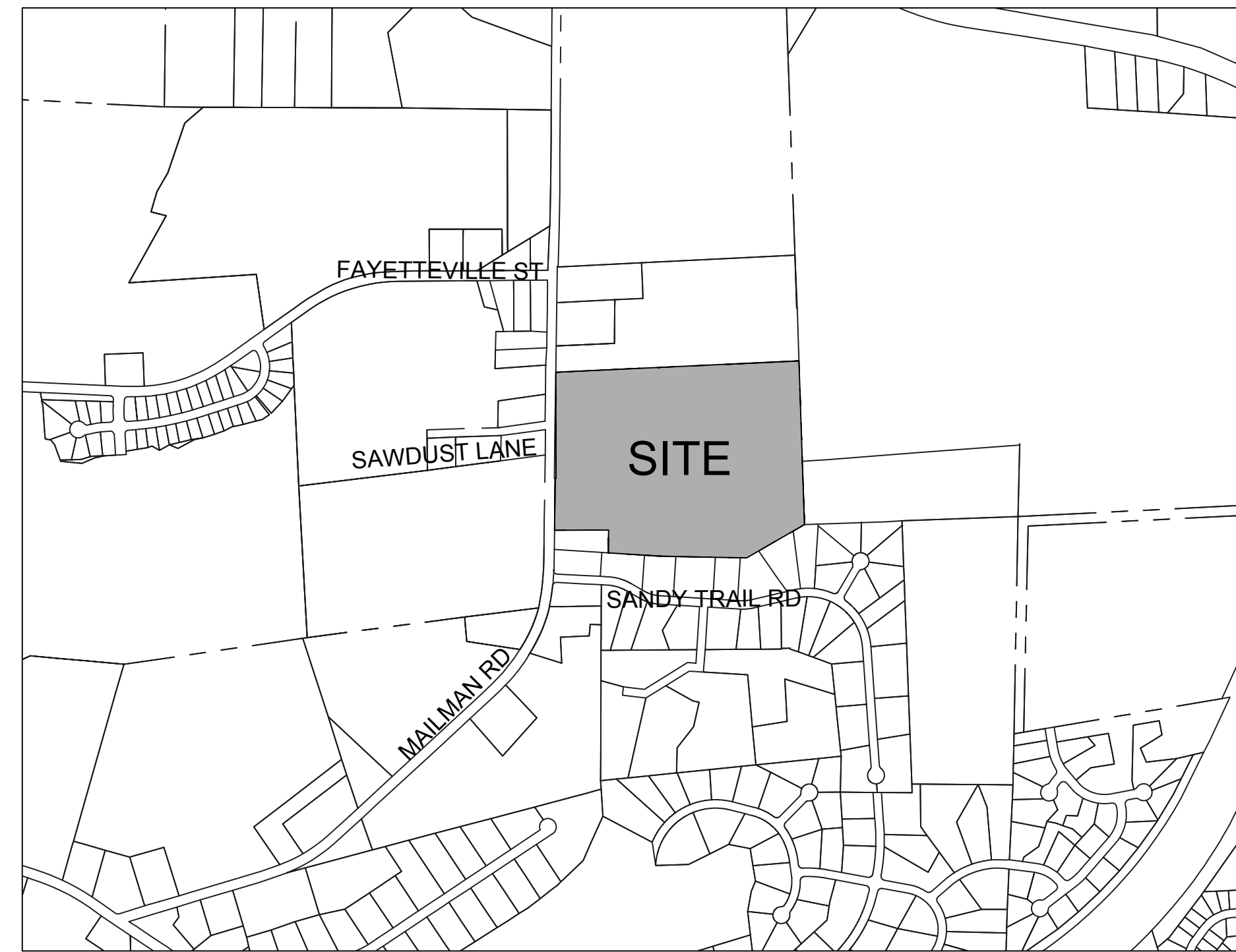


# MAILMAN POST MASTER PLAN

TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

## SITE DATA

PROJECT:	MAILMAN POST	
ENGINEER:	TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-866-4509 FAX: 919-859-5663 BETH BLACKMON, PE EMAIL: BETH.BLACKMON@TIMMONS.COM	
DEVELOPER:	EF ONE, LLC CRAIG DUERR 6801 WINDING RIDGE RD ZEBULON, NC 17579 PHONE: 919-601-6962 EMAIL: LANDALTERNATIVESNC@GMAIL.COM	
PROPERTY LOCATION:	417 MAILMAN ROAD KNIGHTDALE, NC 27545	
PIN:	1763-08-8851, 1763-08-3716, 1763-09-5280, 1763-09-5560, 1753-98-9828, 1753-98-9764	
EXISTING ZONING:	RT & GR8	
PROPOSED ZONING:	GR8 PUD	
TOWNSHIP:	ST. MATTHEWS	
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL	
TOTAL DEVELOPED TRACT AREA:	35.85 ACRES	
TOTAL PROPOSED UNITS:	155 SINGLE FAMILY 38 FRONT LOADED + 117 REAR LOADED	
TOTAL OPEN SPACE:	9.19 ACRES	
TOTAL ON STREET PARKING:	34 SPACES	
SETBACKS:	FRONT LOAD FRONT: 10' DRIVEWAY LENGTH: 20' REAR: 20' SIDE: 5'	REAR LOAD FRONT: 10' REAR: 20' DRIVEWAY LENGTH: 20' SIDE: 3'



VICINITY MAP

## OWNERS OF RECORD

GIOVANNI MORTARINO TRUSTEE  
2830 CHARLEMAGNE DR  
VIRGINIA BEACH, VA 23451

POPE, JASON RICHARD POPE, MARKIE S  
417 MAILMAN RD  
KNIGHTDALE, NC 27545

PUBLIC SERVICE COMPANY OF NORTH CAROLINA  
INC. SCANA LAND DEPT  
220 OPERATION WAY  
CAYCE, SC 29003

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	PRELIMINARY SITE PLAN
C2.1	OPEN SPACE PLAN
C3.0	PRELIMINARY UTILITY PLAN
C3.1	OFF SITE PRELIMINARY UTILITIES
C4.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
C5.0	PRELIMINARY LIGHTING PLAN
C6.0	LANDSCAPE PLAN
C7.0	SIGNS AND MARKINGS PLAN

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REVISION DESCRIPTION	DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
	5/23/2022	331	E. ANGE	B. BLACKMON	NTS

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

MAILMAN POST  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
COVER SHEET

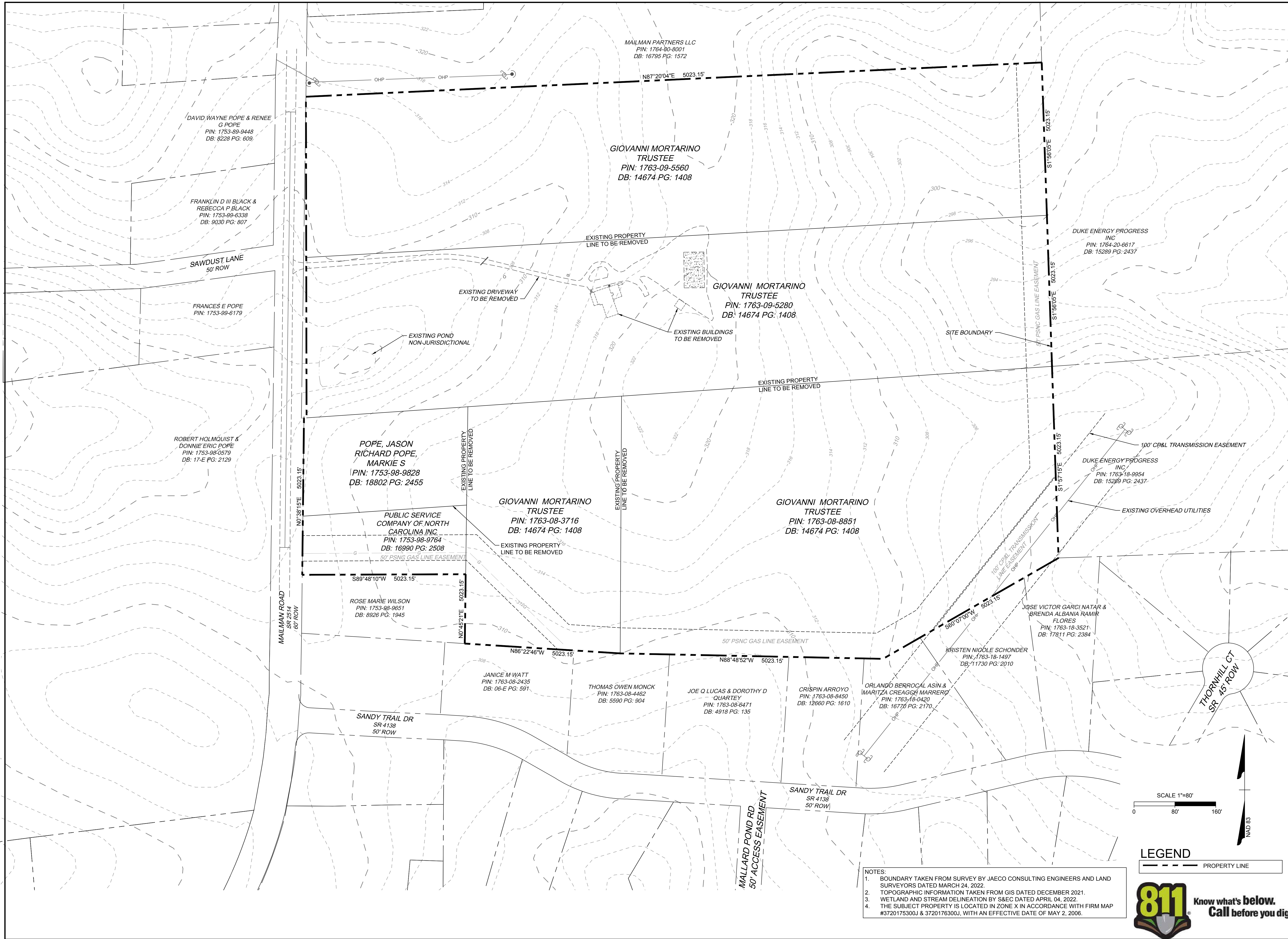
JOB NO.  
49750  
SHEET NO.  
C0.0

CONSTRUCTION DRAWING APPROVAL  
REQUIRED FOR DEVELOPMENT



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DATE	REVISION DESCRIPTION
5/23/2022	

DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 80'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

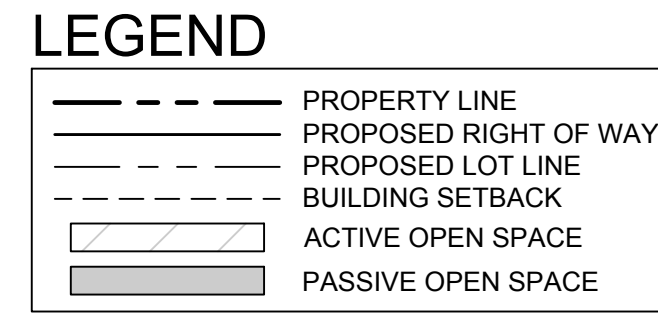
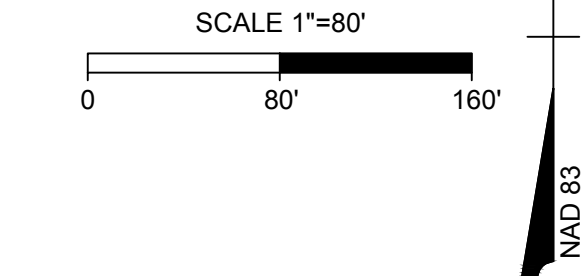
**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**EXISTING CONDITIONS**

JOB NO.	49750
SHEET NO.	C1.0

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MAILMAN PARTNERS LLC  
PIN: 1764-00-8001  
DB: 16795 PG: 1572



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CONSTRUCTION

DAVID WAYNE POPE & RENEE  
G POPE  
PIN: 1753-99-9448  
DB: 8228 PG: 609

FRANKLIN D III BLACK &  
REBECCA P BLACK  
PIN: 1753-99-6338  
DB: 9030 PG: 807

FRANCES E POPE  
PIN: 1753-99-6179

ROBERT HOLMQUIST &  
DONNIE ERIC POPE  
PIN: 1753-98-0579  
DB: 17-E PG: 2129

ROSE MARIE WILSON  
PIN: 1753-98-9651  
DB: 8926 PG: 1945

JANICE M WATT  
PIN: 1763-08-2435  
DB: 06-E PG: 591

THOMAS OWEN MONCK

JOF O LUCAS & DOROTHY D

CRISPIN ARROYO

ORLANDO BERROCAL ASIN &  
MADITTA DEARFULI MADDOCCI

KRISTEN NICOLE SCHONDER  
PIN: 1763-18-1497  
DB: 11730 PG: 2010

JQSE VICTOR GARCIA NATAR &  
BRENDA ALBANIA RAMIR  
FLORES  
PIN: 1763-18-9954  
DB: 15269 PG: 2437

DUKE ENERGY PROGRESS  
INC  
PIN: 1764-20-6617  
DB: 15289 PG: 2437

DUKE ENERGY PROGRESS  
INC  
PIN: 1763-18-9954  
DB: 15269 PG: 2437

**STREET TABLE**

STREET	ROW	LENGTH (LF)
ROAD A	64	1347
ROAD A	54	327
ROAD B	54	2119
ROAD C	54	235
ROAD D	54	1063
ROAD E	54	723
ROAD F	54	750
ROAD G	54	750
ROAD H	54	356
ALLEY I	20	750
ALLEY J	20	750
ALLEY K	20	719
<b>TOTAL W/ ALLEYS</b>	<b>9889</b>	
<b>TOTAL W/O ALLEYS</b>	<b>7670</b>	

**SITE DATA**

**DEVELOPER:**  
EF ONE, LLC  
6801 TRINITY RIDGE ROAD  
ZEBULON, NC 27597  
CRAIG DUERR  
919-601-6962

**ENGINEER:**  
TIMMONS GROUP  
BETH BLACKMON, PE  
5410 TRINITY ROAD, STE 102  
RALEIGH, NC 27607  
PHONE: 919-866-4509

**OWNER ON RECORD:**  
GIOVANNI MORTARINO TRUSTEE  
2830 CHARLEMAGNE DR  
VIRGINIA BEACH, VA 23451

**POPE, JASON RICHARD POPE, MARKIE S**  
417 MAILMAN RD  
KNIGHTDALE, NC 27545

**PUBLIC SERVICE COMPANY OF NORTH CAROLINA**  
INC, SCANA LAND DEPT  
220 OPERATION WAY  
CAYCE, SC 29003

PIN # = 1763-08-8851, 1763-08-3716, 1763-09-5280,  
1763-09-5560, 1753-98-9828, & 1753-98-9764  
DB 14674 PG 1408; DB 18802 PG 2455; DB 16990 PG 2508  
FIRM MAP# = 3720175300J & 3720176300J EFF 05/02/2006

TOTAL EXISTING TRACT = 35.85 acres  
EXISTING ZONING = RT  
PROPOSED ZONING = GR8 PUD

TOTAL PROPOSED NUMBER OF LOTS = 155  
PROPOSED DENSITY = 4.32 du/a

FRONT LOADED LOTS = 38  
MINIMUM LOT SIZE REQUIRED: 6,600 sq.ft.  
AVERAGE LOT SIZE PROVIDED: 8,322 sq.ft.  
MINIMUM LOT WIDTH: 60'  
FRONT SETBACK: 10'  
DRIVEWAY LENGTH: 20'  
CORNER SIDE SETBACK: 10'  
REAR SETBACK: 20'

ALLEY LOADED LOTS = 117  
MINIMUM LOT SIZE REQUIRED: 2,700 sq.ft.  
AVERAGE LOT SIZE PROVIDED: 2,707 sq.ft.  
MINIMUM LOT WIDTH: 30'  
FRONT SETBACK: 10'  
DRIVEWAY LENGTH: 20'  
SIDE SETBACK: 3'  
CORNER SIDE SETBACK: 10'  
REAR SETBACK: 20'

**SURVEY NOTE**

CLUSTER MAILBOXES TO BE LOCATED WITHIN NEIGHBORHOOD ACTIVE OS 1. KIOSK LOCATION SHALL BE APPROVED BY USPS PRIOR TO SUBDIVISION APPROVAL. IF TEMPORARY LOCATIONS ARE REQUIRED, APPROVAL OF LOCATIONS SHALL BE RECEIVED FROM USPS. MAIL KIOSK WILL HAVE ADA COMPLIANT RAMPS AND PARKING SPACES.

A HOMEOWNERS ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS, PRIVATE ALLEYS, AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE (UDO).

**GENERAL SITE NOTES**

- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ROADS AND DRIVEWAYS SHALL COMPLY WITH NCDOT AND TOWN OF KNIGHTDALE STANDARDS.
- SIGN PERMITS SHALL BE REQUIRED FOR ANY ENTRANCE SIGNAGE. PERMITS SHALL BE REQUIRED PRIOR TO FABRICATION OR INSTALLATION OF SIGNS. SIGNAGE SHALL BE RESTRICTED TO AN ON-SITE LOCATION.
- THE WATER AND SEWER SYSTEMS SHALL COMPLY WITH CITY OF RALEIGH STANDARDS.
- ALL DESIGN AND CONSTRUCTION METHODS SHALL COMPLY WITH WAKE COUNTY'S SEDIMENTATION AND EROSION CONTROL REGULATIONS. AN EROSION CONTROL PLAN SHALL BE APPROVED BY WAKE COUNTY PRIOR TO ANY GRADING.
- CONSTRUCTION DRAWINGS SHALL BE SUBMITTED AND APPROVED BY THE TOWN OF KNIGHTDALE AND CITY OF RALEIGH PRIOR TO CONSTRUCTION.
- ALL STREETS WITHIN THE SUBDIVISION WILL HAVE A POSTED SPEED LIMIT OF 25 MPH.
- RESTRICTIVE COVENANTS SHALL BE APPROVED AND RECORDED PRIOR TO RECORDING OF FINAL PLAT.
- STORMWATER CONTROL MEASURES SHALL BE CONTAINED IN AND ACCESSED VIA OPEN SPACE MAINTAINED AND OWNED BY THE HOMEOWNERS ASSOCIATION. A MAINTENANCE PLAN MUST BE DEVELOPED TO ADDRESS THE STORMWATER CONTROL MEASURES.
- PRIVATE STORM DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
- SUBDIVISION LOTS MUST BE LOTS OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.
- PER UDO CH 17.3 G.2. ALL UTILITIES SHALL BE PLACED UNDERGROUND, INCLUDING EXISTING POLES ON OLD KNIGHT RD.

**GENERAL SITE MODIFICATIONS**  
9.3.B OF THE UDO PROHIBITS MASS GRADING ON ALL FRONT-LOADED LOTS 60' OR GREATER IN WIDTH. ALL REAR LOADED UNITS INCLUDED IN THIS PUD ARE EXEMPT FROM THIS REQUIREMENT BY RIGHT, DUE TO THEIR NARROW LOT WIDTH. THE SINGLE FAMILY LOTS NOT EXEMPT, INCLUDE LESS THAN 25% OF THE TOTAL NUMBER OF LOTS. THESE LOTS WERE ENLARGED IN SIZE AT THE SPECIFIC REQUEST OF KNIGHTDALE PLANNING STAFF AND ARE LOCATED AROUND THE PROPERTY BORDER. AN EXCEPTION TO THESE REQUIREMENTS IS REQUESTED TO ALLOW FOR THE ENTIRE DEVELOPMENT TO BE ELIGIBLE FOR MASS GRADING, RATHER THAN ONLY PORTIONS OF THE DEVELOPMENT. MASS GRADING IS WARRANTED FOR PERIMETER LOT AREAS TO BE ABLE TO CREATE AN ENHANCED STREETScape, TO AVOID STANDING WATER, AND MOST IMPORTANTLY TO ALLOW THE SEWER DEPTHS TO BE SHALLOW ENOUGH TO PRECLUDE THE NEED FOR THE CITY OF RALEIGH TO OPERATE A PUMP STATION ON-SITE. IN ADDITION, THIS EXEMPTION WOULD ALLOW FOR A FAR MORE EFFICIENT CONSTRUCTION PROCESS.

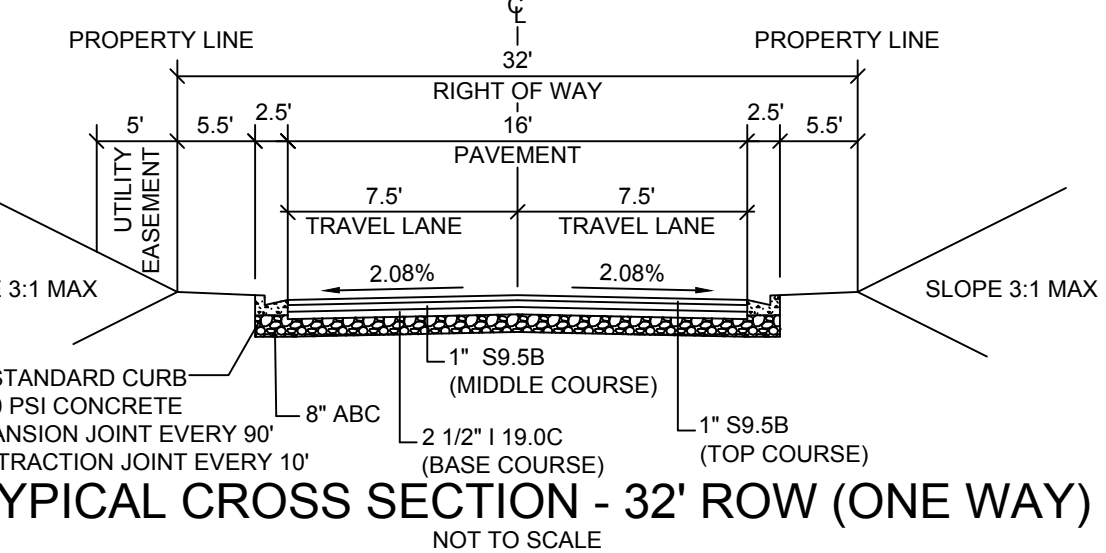
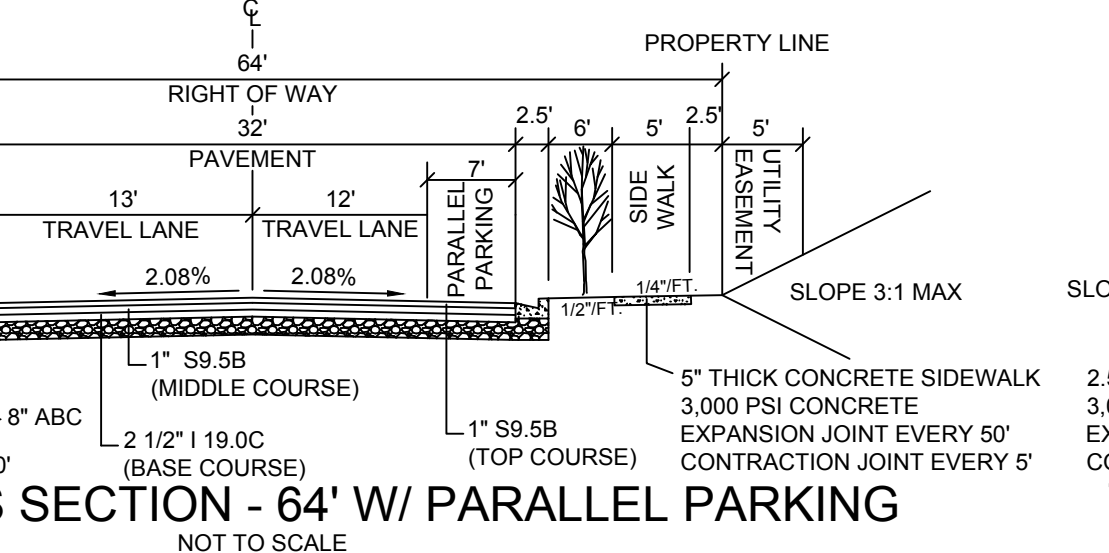
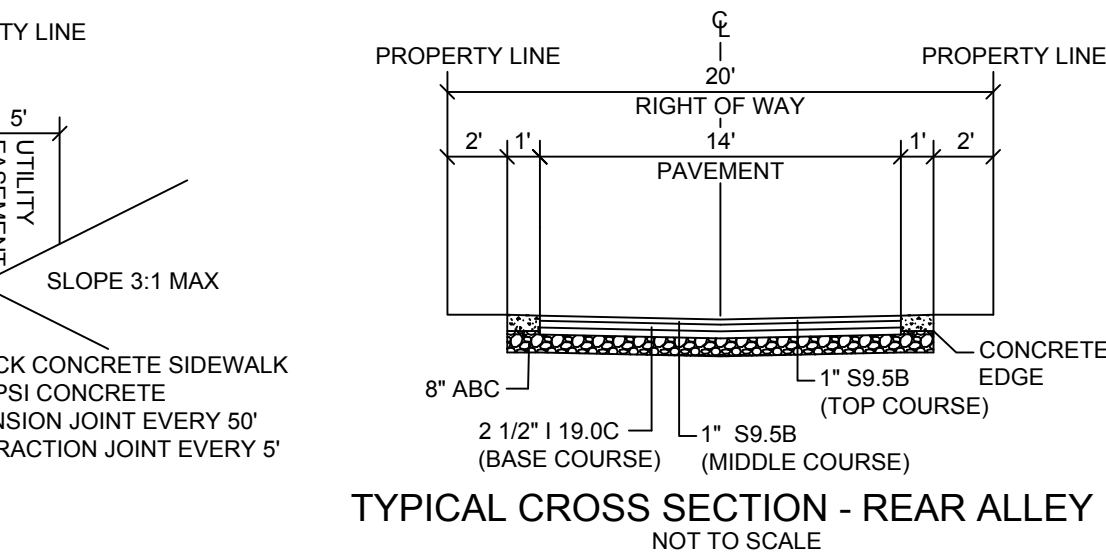
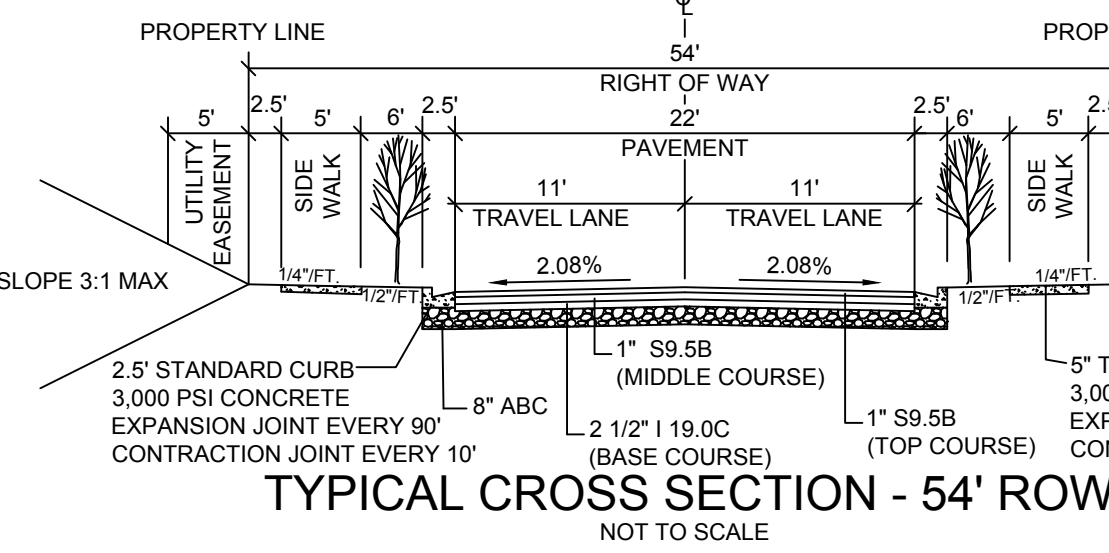
**DISTRIBUTION OF USES**  
TABLE 11.1.B IN THE KNIGHTDALE UDO REQUIRES A MIN. 10% / MAX 40% DUPLEX / TOWNHOUSE, MIN. 5% / MAX. 40% MULTIFAMILY, AND MIN 15% / MAX 60% SINGLE FAMILY. AN EXCEPTION TO THESE REQUIREMENTS IS REQUESTED TO EXCLUDE THE REQUIREMENT FOR MULTIFAMILY AND TOWNHOME USE.

**GASLINE ENCROACHMENT**  
IF DOMINION ENERGY WILL NOT SUPPORT A GASLINE ENCROACHMENT AT THE END OF THE 64' RIGHT-OF-WAY, ON THE EAST SIDE OF THE STREET, AT THE TIME OF PERMITTING, THEN THE DEVELOPER SHALL PAY THE TOWN OF KNIGHTDALE A FEE IN LIEU OF THE REMAINING ROAD COMPLETION IN AN AMOUNT MUTUALLY AGREED UPON BY THE DEVELOPER AND THE TOWN OF KNIGHTDALE PER SECTION 10.3.A. OF THE UDO.

**TRANSPORTATION NETWORK**  
AN EXCEPTION TO SECTION 10.4.B OF THE UDO, TO ALLOW A 32' PARALLEL RIGHT OF WAY STREET SECTION, A MODIFIED ONE WAY LOCAL STREET, TO SERVE HOMES FRONTING ON OPEN SPACE AREAS IS REQUESTED.  
SECTION 11.3.B.1 OF THE UDO REQUIRES THAT ANY DEVELOPMENT THAT EMBRACES ONLY 1/2 SIDE OF AN EXISTING OR PLANNED ARTERIAL OR COLLECTOR WILL ONLY BE REQUIRED TO DEDICATE ADDITIONAL TYP FOR THAT PORTION OF THE STREET WITH WHICH THE DEVELOPMENT HAS FRONTAGE. DEDICATION OF 15' ROW IS IDENTIFIED ON THE MASTER PLAN TO ACCOMMODATE HALF THE ULTIMATE RIGHT-OF-WAY ALONG MAILMAN ROAD FOR A 2-LANE DIVIDED URBAN AVENUE SECTION SUBJECT TO THE TRAFFIC IMPACT ANALYSIS FINDINGS ON ACCEPTABLE LEVELS OF SERVICE.

**SETBACKS AND DRIVEWAYS**  
SECTION 3.4 OF THE UDO REQUIRES THAT ANY LOT LESS THAN 80' IN WIDTH BE ACCESSED VIA AN ALLEY OR REAR LANE ACCESS. ADDITIONALLY, SECTION 6.5 OF THE UDO REQUIRES REAR SETBACKS BE A MINIMUM OF 25'. AN EXCEPTION TO THESE REQUIREMENTS IS REQUESTED TO ALLOW THE MINIMUM LOT WIDTH STANDARD TO BE REDUCED TO 60' AND REAR SETBACK BE REDUCED TO 20' TO BE ADEQUATELY DEVELOPED WITHIN THE SITE CONSTRAINTS. LOTS ADJACENT TO THE SANDY TRAIL SUBDIVISION TO THE SOUTH SHALL BE MIN. 80' WIDTH.

**SETBACKS AND DRIVEWAYS**  
REQUEST THAT SIDE SETBACKS BE REDUCED TO 3' FOR REAR LOAD LOTS AND 5' FOR FRONT LOAD LOTS INSTEAD OF 20% OF THE LOT WIDTH, MIN 3'-5" AS REQUIRED IN SECTION 6.5 OF THE UDO. PER SECTION 3.4 OF THE UDO, DRIVEWAY LENGTHS ARE TO BE A MINIMUM OF 20'. AN EXCEPTION IS REQUESTED TO REDUCE DRIVEWAY LENGTHS TO A MINIMUM OF 20'.



**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

MAILMAN POST  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SITE PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
5/23/2022	

DESIGNED BY: E. ANGE  
CHECKED BY: B. BLACKMON  
SCALE: 1" = 80'

JOB NO. 49750  
SHEET NO. C2.0

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CONSTRUCTION

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REVISION DESCRIPTION	DATE
	5/23/2022
	331
	E. ANGE
	B. BLACKMON
	SCALE 1"=80'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

## OPEN SPACE PLAN

JOB NO. 49750  
SHEET NO. C2.1

**PASSIVE OPEN SPACE**

PASSIVE OS 1	11,492 SF	0.26 AC
PASSIVE OS 2	56,239 SF	1.29 AC
PASSIVE OS 3	128,840 SF	2.96 AC
PASSIVE OS 4	7,770 SF	0.18 AC
PASSIVE OS 5	34,442 SF	0.79 AC
PASSIVE OS 6	25,598 SF	0.59 AC
<b>TOTAL</b>	<b>264,382 SF</b>	<b>6.07 AC</b>

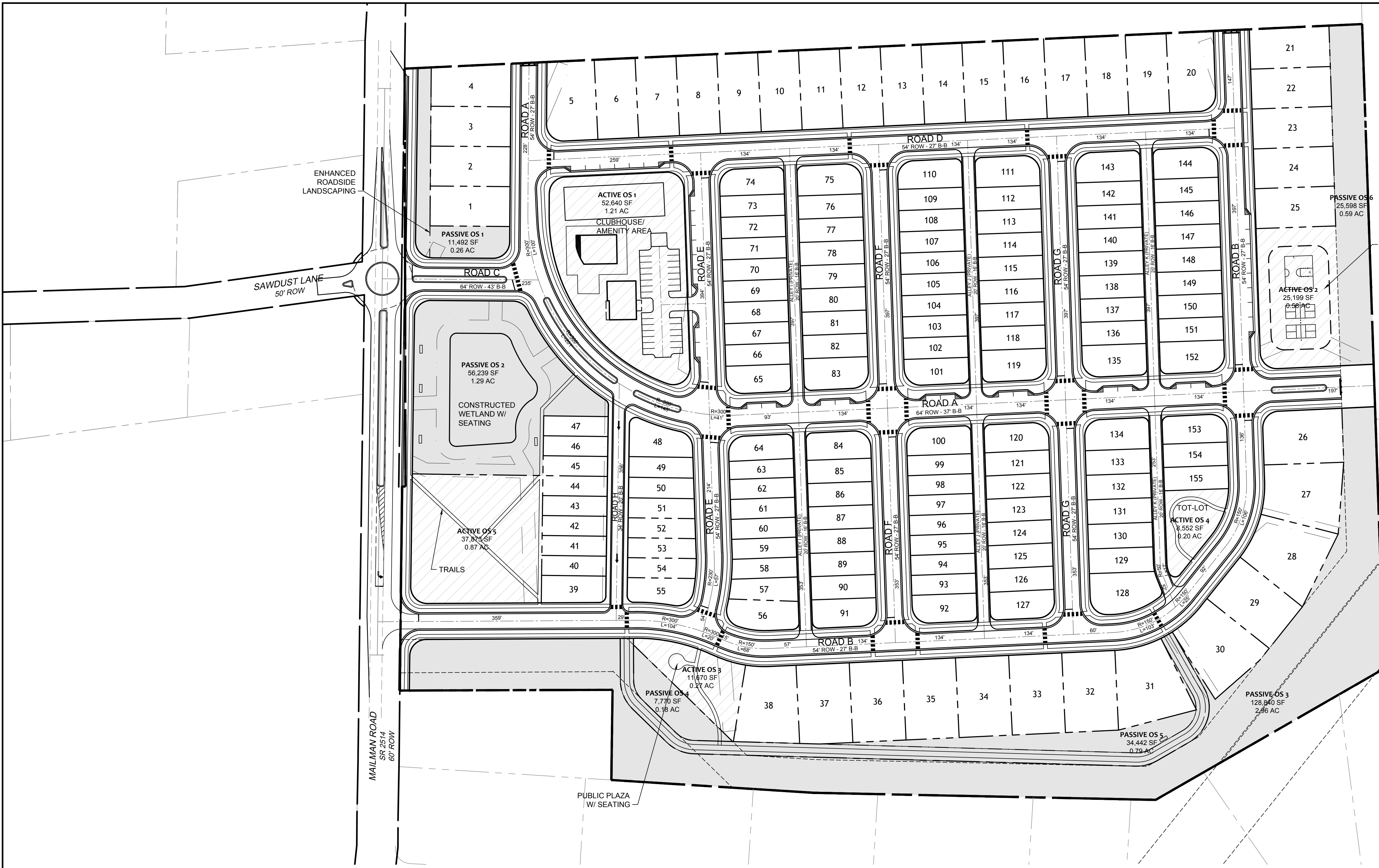
**ACTIVE OPEN SPACE**

ACTIVE OS 1	52,640 SF	1.21 AC
ACTIVE OS 2	25,199 SF	0.58 AC
ACTIVE OS 3	11,670 SF	0.27 AC
ACTIVE OS 4	8,552 SF	0.20 AC
ACTIVE OS 5	37,873 SF	0.87 AC
<b>TOTAL</b>	<b>135,934 SF</b>	<b>3.12 AC</b>

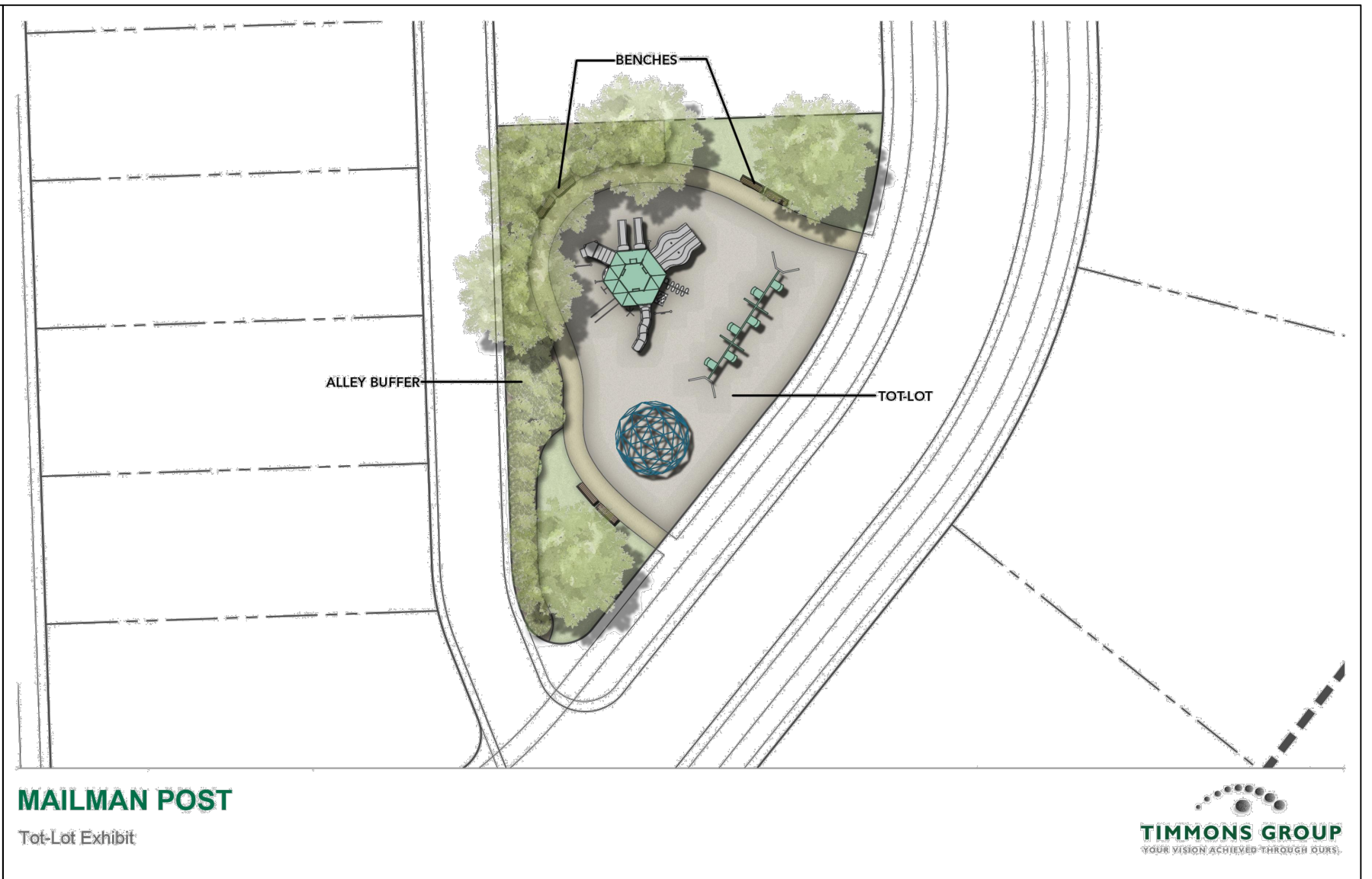
**OPEN SPACE DATA**

TOTAL BEDROOMS:  
155 UNITS \* 3.5 = 543 BEDROOMS

543 BEDROOMS \* 520 = 282,360 SF REQUIRED  
W/ CLUBHOUSE & POOL CREDIT = 211,770 SF  
PASSIVE OPEN SPACE REQUIRED = 105,885 SF  
PASSIVE OPEN SPACE PROVIDED = 264,382 SF  
ACTIVE OPEN SPACE REQUIRED = 105,885 SF  
ACTIVE OPEN SPACE PROVIDED = 135,934 SF

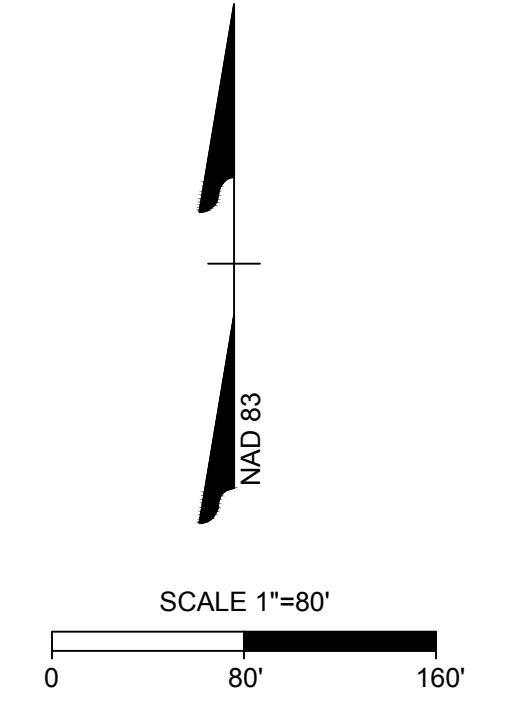


PICCEBALL & HALF-COURT  
BASKETBALL OVER SCM



**LEGEND**

---	PROPERTY LINE
- - -	PROPOSED RIGHT OF WAY
- - -	PROPOSED LOT LINE
- - -	BUILDING SETBACK
▨	ACTIVE OPEN SPACE
▩	PASSIVE OPEN SPACE



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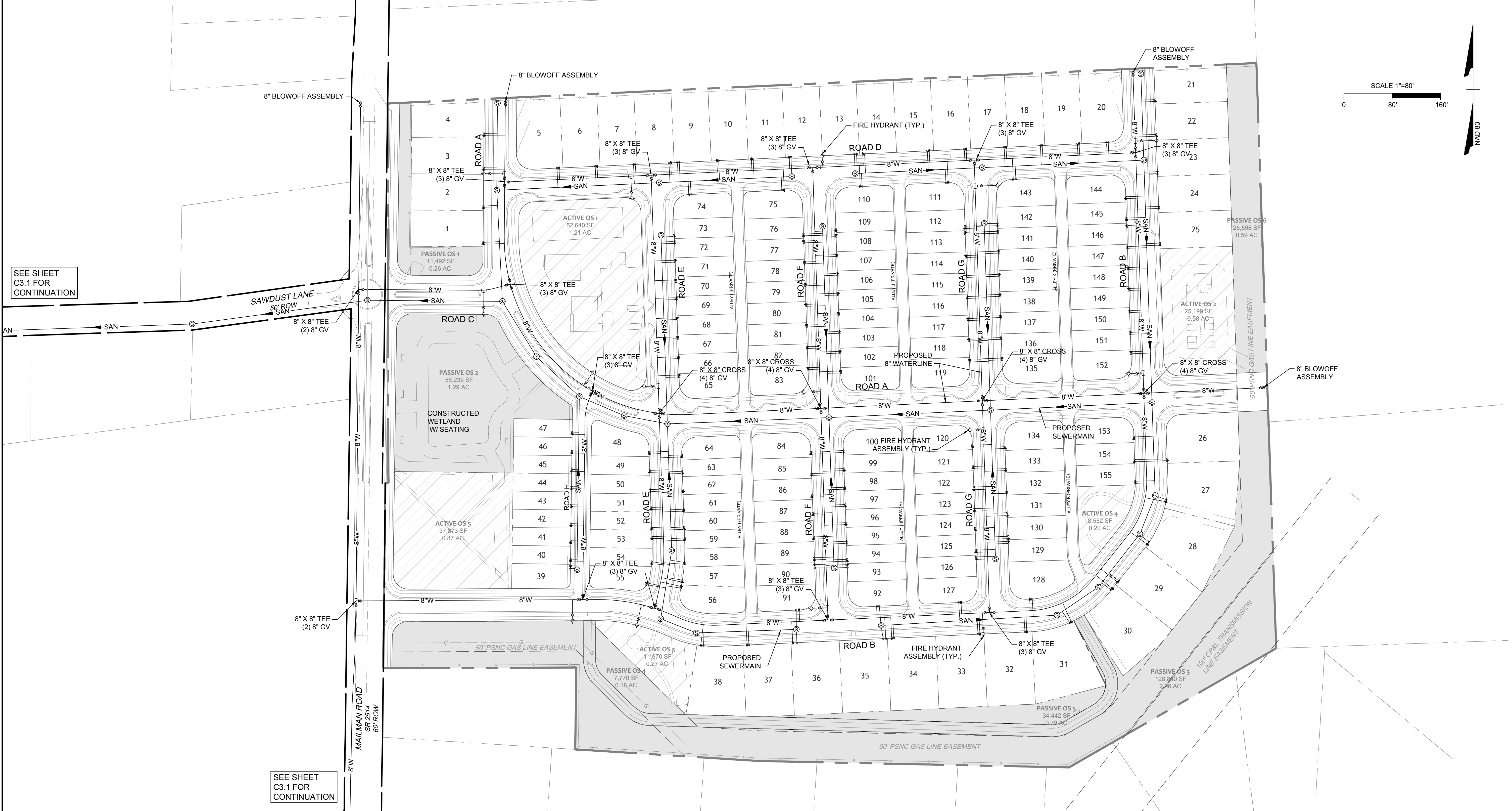
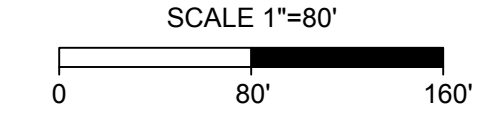
YOUR VISION ACHIEVED THROUGH OURS.

DATE  
5/23/2022  
DRAWN BY  
331  
DESIGNED BY  
E. ANGE  
CHECKED BY  
B. BLACKMON  
SCALE  
1" = 80'

**TIMMONS GROUP**

**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY UTILITY PLAN**  
NORTH CAROLINA LICENSE NO. C-1652

JOB NO.  
49750  
SHEET NO.  
C3.0



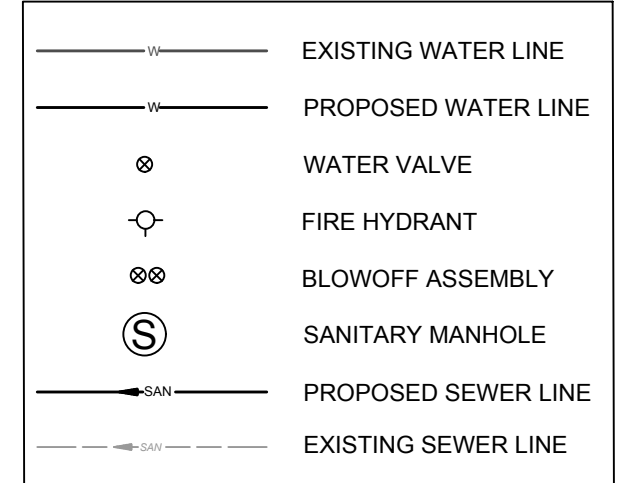
SEE SHEET  
C3.1 FOR  
CONTINUATION

SEE SHEET  
C3.1 FOR  
CONTINUATION

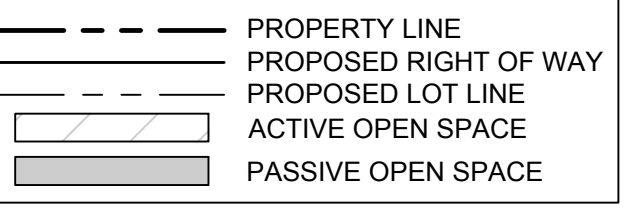
**UTILITY NOTES**

1. ALL UTILITY DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES (CORDPU) STANDARDS AND SPECIFICATIONS. UTILITY DESIGN SHALL ALSO MEET FIRE FLOW REQUIREMENTS OF NCFC.
2. UTILITY SIZES AND LOCATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CONSTRUCTION DRAWING APPROVAL. THIS SHALL INCLUDE BUT NOT LIMITED TO FIRE HYDRANT LOCATIONS.
3. ANY EXISTING WATER AND SEWER LINES TO BE USED AS PART OF THE FINAL DESIGN OF THE PROJECT, SHALL BE LOCATED BY SURVEY, TESTED BY A LICENSED CONTRACTOR AND APPROVED BY THE CITY OF RALEIGH INSPECTOR PRIOR TO SUBMITTAL OF CONSTRUCTION DRAWINGS.
4. AS PART OF CONSTRUCTION DRAWING SUBMITTAL, FIRE FLOW CALCULATIONS SHALL BE PROVIDED SHOWING COMPLIANCE WITH NCFC. PROJECT MAY BE DEVELOPED IN PHASES AND ALL PHASES SHALL BE REQUIRED TO MEET THE MINIMUM REQUIRED FIRE FLOWS PER OCCUPANCY PROPOSED IN EACH PHASE.
5. AN APPROVED WATER SUPPLY FOR FIRE SUPPRESSION (TEMPORARY OR PERMANENT) SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE.
6. UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR THIS PROJECT. PLANS TO BE PREPARED BY NC PROFESSIONAL ENGINEER.
7. RIGHT OF WAY AND/OR EASEMENT DEDICATION PLAT IS REQUIRED FOR THIS PROJECT (PRIOR TO CITY ACCEPTANCE OF UTILITIES).
8. ALL NECESSARY WETLAND, RIPARIAN BUFFER AND FLOODPLAIN PERMITS FROM USACE, NCDWQ & FEMA SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
9. PROJECT SHALL EXTEND PUBLIC WATER MAINS ALONG ALL INTERIOR AND ABUTTING RIGHT OF WAYS OF DEVELOPMENT.
10. FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED AT EVERY INTERSECTION AND AT 500' (RESIDENTIAL) MAX INTERVALS ALONG SITE FRONTAGE.
11. ALL MAINS UP TO 12 INCHES IN SIZE SHALL BE DESIGNED WITH A BLOW-OFF ASSEMBLY THE SAME SIZE AS THE DIAMETER OF THE PIPE.
12. ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
13. PROJECT SHALL EXTEND PUBLIC GRAVITY SEWER TO PERIPHERY OF DEVELOPMENT BASED ON NATURAL TOPOGRAPHY.
14. ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS SHALL BE A MINIMUM OF 30 FEET.
15. THE SANITARY SEWER DESIGN SHALL BE EVALUATED DURING THE CONSTRUCTION DRAWING REVIEW TO ENSURE ADJACENT PROPERTIES HAVE ACCESS TO SANITARY SEWER WHERE FEASIBLE AND IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS.
16. ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER. THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY MAP AND BY DEED OF EASEMENT PRIOR TO CONSTRUCTION APPROVAL. THE EASEMENTS SHALL BE DEDICATED TO THE CITY OF RALEIGH AND ENTITLED "CITY OF RALEIGH SANITARY SEWER EASEMENT".
17. MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES AND LABEL IN PROFILES; ANY UTILITY CROSSINGS ARE SUBJECT TO MINIMUM REQUIREMENTS.
18. CONSTRUCTION APPROVAL WILL BE REQUIRED FOR ANY EXTENSIONS OF PUBLIC WATER OR SEWER MAINS.
19. PLAT RECORDATION REQUIRED AFTER CONSTRUCTION APPROVAL PRIOR TO BUILDING PERMIT.
20. DOT ENCROACHMENT AGREEMENT REQUIRED.
21. PRIVATE WATER SERVICES SIZED 3" - 2" SHOULD BE TYPE "K" SOFT COPPER AND IN ACCORDANCE WITH PU HANDBOOK, APP. B. STANDARD WATER DETAIL W-23 AND W-25. IF WATER METERS CANNOT BE LOCATED WITHIN THE RIGHT-OF-WAY THEY MUST BE WITHIN RECORDED "CITY OF RALEIGH WATERLINE EASEMENTS".
22. EXISTING POLES ON OLD KNIGHT RD TO BE RELOCATED UNDERGROUND.

**UTILITY LEGEND**



**LEGEND**

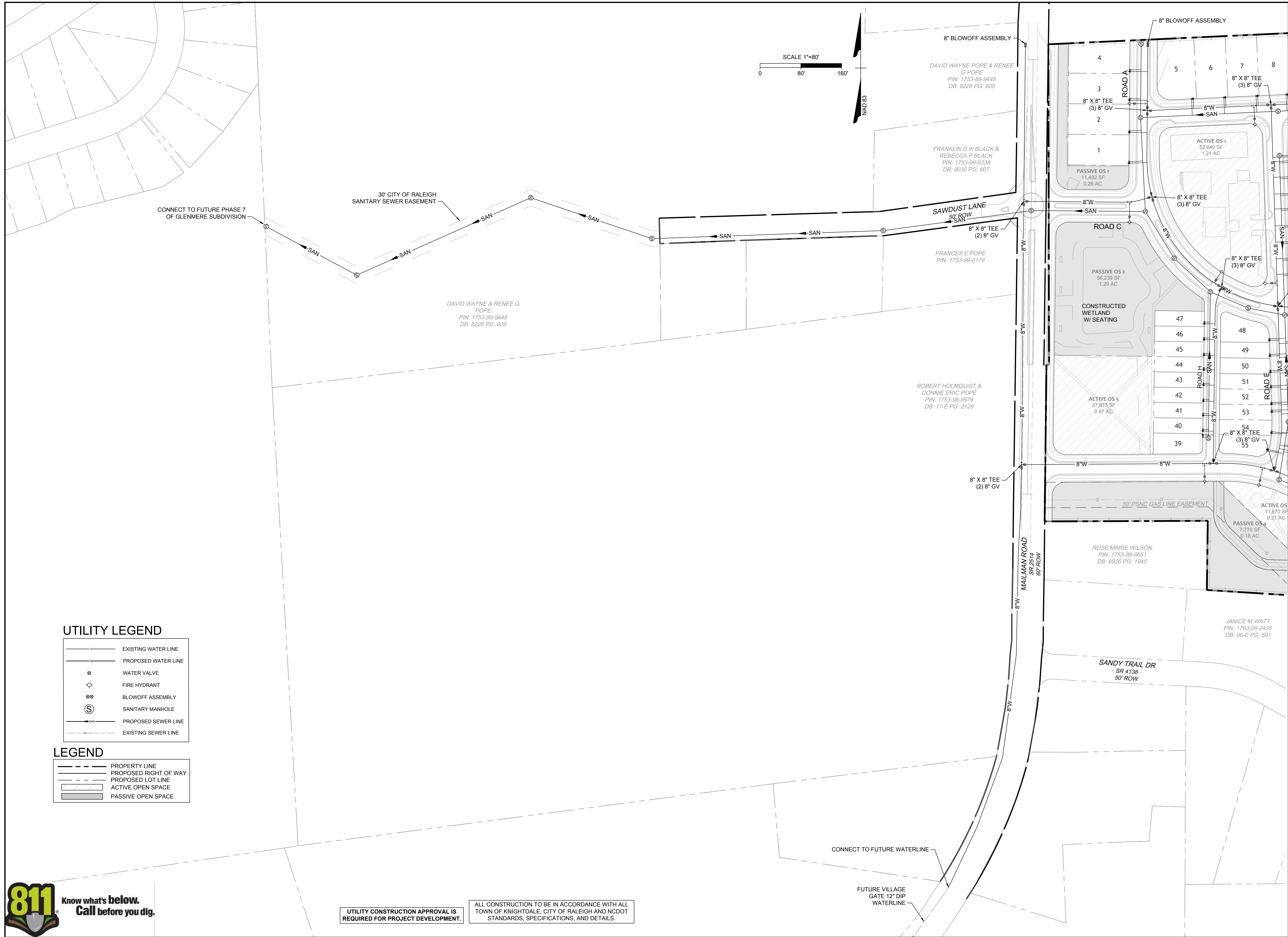


UTILITY CONSTRUCTION APPROVAL IS  
REQUIRED FOR PROJECT DEVELOPMENT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL  
TOWN OF KNIGHTDALE, CITY OF RALEIGH AND NCDOT  
STANDARDS, SPECIFICATIONS, AND DETAILS.



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SCALE 1"=80'  
0 80' 160'

NAD 83

**UTILITY LEGEND**

- EXISTING WATER LINE
- PROPOSED WATER LINE
- WATER VALVE
- FIRE HYDRANT
- BLOWOFF ASSEMBLY
- SANITARY MANHOLE
- PROPOSED SEWER LINE
- EXISTING SEWER LINE

**LEGEND**

- PROPERTY LINE
- PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE



UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR PROJECT DEVELOPMENT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

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5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.853.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
5/23/2022

DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 80'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**

MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**OFF SITE PRELIMINARY UTILITIES**

JOB NO.  
49750

SHEET NO.  
C3.1

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**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**

MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**PRELIMINARY STORMWATER MANAGEMENT PLAN**

JOB NO.  
49750

SHEET NO.  
C4.0

**NOTES**

1. THE STORM DRAINAGE LAYOUT IS CONCEPTUAL AND SUBJECT TO CHANGE. APPROVAL BY TOWN STAFF IS REQUIRED.
2. THE STORM DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TOWN OF KNIGHTDALE UDO AND ENGINEERING STANDARDS & SPECIFICATIONS.
3. THE STORMWATER PLAN SHALL PROVIDE FOR ADEQUATE NITROGEN REDUCTION AND ATTENUATION OF STORMWATER RUNOFF.
4. FENCINGS AND LANDSCAPING FOR ALL PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE REQUIREMENTS FOR EACH TYPE OF MEASURE PROPOSED.
5. STORMWATER CONTROL MEASURES SHALL BE LOCATED IN OPEN SPACE AREAS DEDICATED TO AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION (HOA).
6. A MAINTENANCE PLAN ALONG WITH A MEMORANDUM OF AGREEMENT MUST BE DEVELOPED FOR ALL STORMWATER CONTROL MEASURES (SCMS) INSTALLED TO ACHIEVE NITROGEN LOADING AND/OR FLOW ATTENUATING REQUIREMENTS AS PART OF THIS PROJECT. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO PLAT RECORDATION. PROOF OF SAID RECORDING WILL BE REQUIRED AT THE TIME OF PLAT RECORDATION.
7. MAINTENANCE AND ACCESS EASEMENTS ARE REQUIRED FOR ALL SCMS.
8. AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DEPT. MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.

**LEGEND**

- PROPERTY LINE
- - - PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.





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CHECKED BY  
B. BLACKMON  
SCALE  
1" = 80'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY LIGHTING PLAN**

JOB NO.  
49750  
SHEET NO.  
C5.0

**Outdoor Lighting**  
**Roadway LED**

The Roadway LED is a green solution and great for streets, walkways, parking lots. This energy efficient luminaire reduces the light output to a level that increases visibility and reduces light pollution. Choose low to medium light output in order to improve safety for motorists on a roadway. Available with one to four fixtures per pole. Depending on the fixture configuration selected.

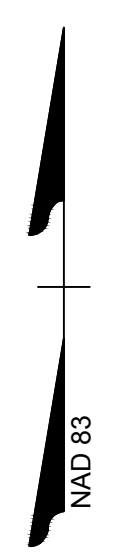
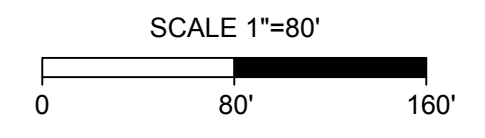
LED  
CFL (existing only) 50 | 70 | 110 | 150 | 200 | 280 watts

Mounting heights 15, 20, 25, 30, 35

Colors Black, Grey, Green

Poles Stake A, C, Road

For additional information, visit  
www.timmons.com/lighting  
or call us at 919.866.4951  
800.826.2882 ext 101  
800.826.2882 (TX)



- LEGEND**
- PROPERTY LINE
  - PROPOSED RIGHT OF WAY
  - PROPOSED LOT LINE
  - ACTIVE OPEN SPACE
  - PASSIVE OPEN SPACE

- LIGHTING LEGEND**
- LED STREET LIGHTS  
(7,000 LUMENS LED 75 ROADWAY LIGHT)  
ALUMINUM POLE - HEIGHT 30'



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5/23/2022	
331	
E. ANGE	
B. BLACKMON	
SCALE 1" = 80'	

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAILMAN POST

MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

LANDSCAPE PLAN

JOB NO.  
49750  
SHEET NO.  
C6.0

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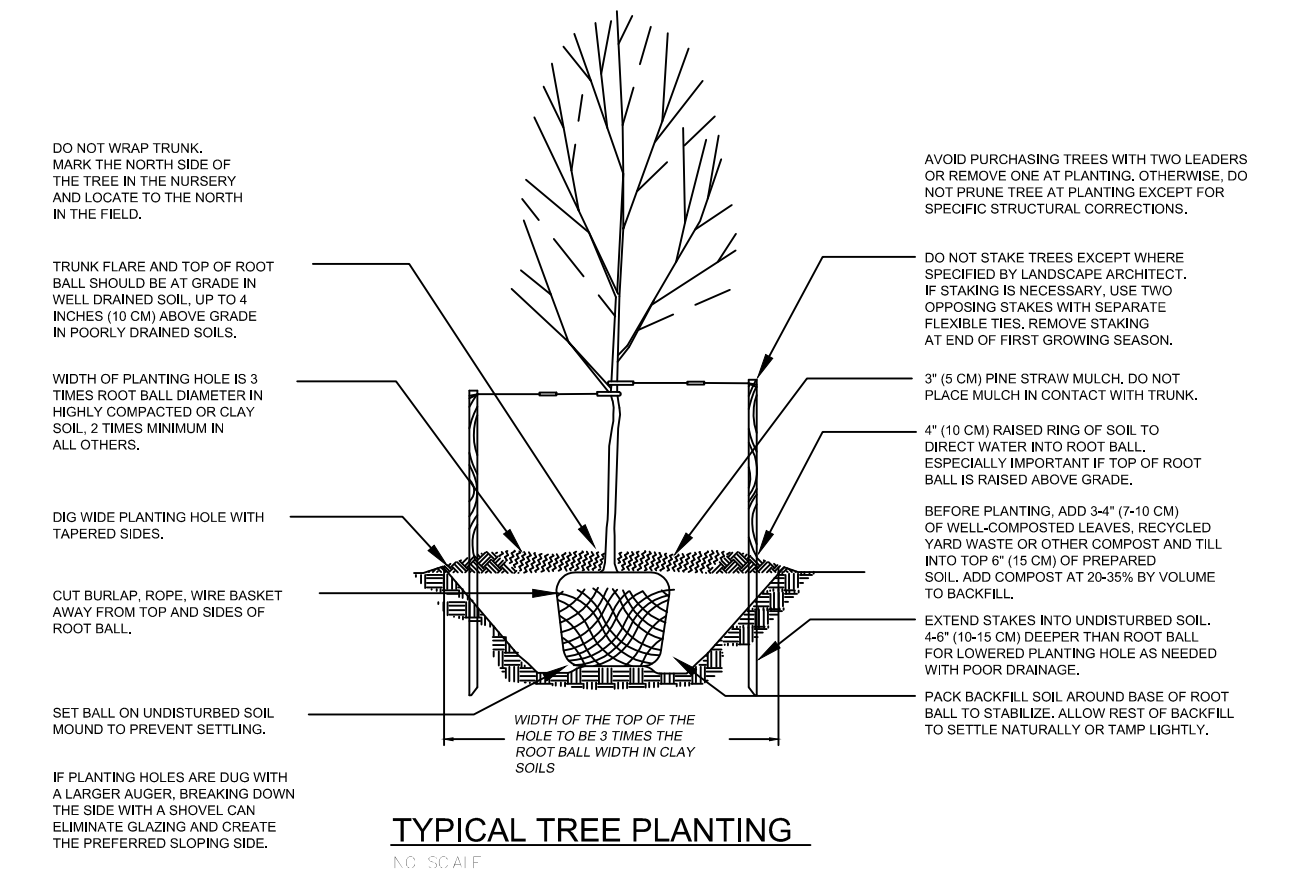


**LEGEND**

- PROPERTY LINE
- TREE SAVE AREA
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE

BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE	REMARKS
ACER SACCHARUM	SUGAR MAPLE	2.5" CAL, 12' MIN.	B&B	STREET TREES	SINGLE STRAIGHT LEADER, FULL & HEAVY.
ULMUS PARVIFOLIA	LACEBARK ELM	2.5" CAL, 12' MIN.	B&B	STREET TREES	SINGLE STRAIGHT LEADER, FULL & HEAVY.
QUERCUS ACUTISSIMA	SAWTOOTH OAK	2.5" CAL, 12' MIN.	B&B	STREET TREES	SINGLE STRAIGHT LEADER, FULL & HEAVY.
PISTACIA CHINENSIS	CHINESE PISTACHIO	2.5" CAL, 12' MIN.	B&B	STREET TREES	SINGLE STRAIGHT LEADER, FULL & HEAVY.
ACER BUERGERANUM	TRIDENT MAPLE	2.5" CAL, 12' MIN.	B&B	STREET TREES	SINGLE STRAIGHT LEADER, FULL & HEAVY.

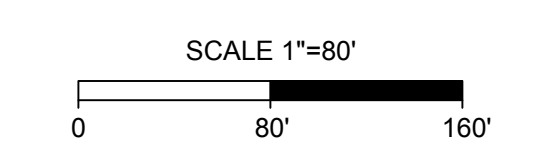
**CANOPY SAVE DATA**  
CANOPY SAVE REQUIRED: 100,460 SF  
CANOPY SAVE PROVIDED: 131,125 SF



- NOTES**
- STREET TREES SHALL BE LOCATED WITHIN THE RIGHT OF WAY.
  - STREET TREES SHALL BE PLANTED BY EACH BUILDER PRIOR TO RECEIVING C.O. FOR HOUSE.
  - ALL LANDSCAPING SHOULD BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE'S UDO.
  - ALL PLANT MATERIALS TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.
  - CONTRACTOR ENGAGED IN LANDSCAPE IMPLEMENTATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
  - SUBSTITUTIONS OF PLANT MATERIALS SPECIFIED CAN ONLY OCCUR WITH PRIOR APPROVAL BY LANDSCAPE ARCHITECT.
  - ALL NEW TREES TO HAVE A 5" DIAMETER SHREDDED HARDWOOD MULCH RING AT 4" DEEP UNLESS OTHERWISE NOTED OR LOCATED IN A PLANT BED PER SITE PLAN.
  - LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIALS FOR A ONE YEAR PERIOD FOLLOWING SUBSTANTIAL COMPLETION.
  - AREAS DAMAGED BY LANDSCAPE CONTRACTOR TO BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO THE OWNER.
  - ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
  - ALL ABOVE GROUND UTILITIES MUST BE SCREENED.



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331  
DESIGNED BY  
E. ANGE  
CHECKED BY  
B. BLACKMON  
SCALE  
1" = 80'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
MAILMAN POST  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
SIGNS AND MARKINGS PLAN

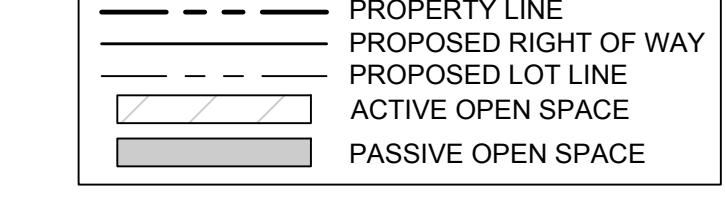
JOB NO.  
49750  
SHEET NO.  
C7.0

**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTINGS.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE TOWN OF KNIGHTDALE AND/OR NCDOT PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE TOWN OF KNIGHTDALE, THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL NCDOT STANDARDS AND SPECIFICATIONS.
- THE TOWN OF KNIGHTDALE REQUIRES ALL REGULATORY PAVEMENT MARKINGS TO BE HI-VIS THERMOPLASTIC, EXCEPT FOR PARKING SPACE STRIPING WHICH MAY BE WHITE PAINT, PER DETAIL 4.06.

**LEGEND**



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**TIMMONS GROUP**

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ENGINEERING FIRM:

**TIMMONS GROUP**

5401 TRINITY RD, SUITE 102  
RALEIGH | NC 27607



MAILMAN POST

**PUD SUBMITTAL**  
PREPARED FOR:  
TOWN OF KNIGHTDALE  
MAY, 2022

## DRAFT COMMUNITY VISION

Mailman Post will be a neighborhood that brings people together while providing connections to the broader Knightdale community. As part of an outstanding master-planned community, residents will be just minutes from great shopping, dining, and schools, with easy access to I-87 and NC540. The proposed development will include 155 residential units comprised of 38 front loaded single family detached homes and 117 rear loaded single family detached dwellings.

Affordability is a goal, but it will not be at the expense of aesthetics, interior features, or energy efficiency. Architecture will acknowledge Knightdale's growth and desire for more density while paying homage to the town's rural roots. The majority of garages will be located in the rear of homes, making the people and the land, not the automobile, the focus of the neighborhood. Single family detached homes surrounding active open spaces will promote a sense of community.

The layout is based on a principals of infill development with an emphasis on common gathering spaces rather than private individual yards. Amenities will be extensive. Being part of the Mailman Post master-planned community provides access to a resort-style pool and clubhouse. Amenities are planned to bring people together and stimulate communication and personal interaction including playground equipment, walking trail, pickleball courts, play lawn, and a public plaza.

The project is inconsistent with some components of the 2035 Comprehensive Plan, however with recent development in the area and the subject property's location within a Targeted Investment Area, a Mixed-Density Neighborhood or Single Family neighborhood Placetype is more appropriate for the growing area. The KnightdaleNext Playbook Approach provides guidance and a mechanism for when a parcel may be considered for revisions to the Growth and Conservation Map. The approach describes new realities that may support an amendment : "Any changes considered to the Map should be evaluated against the community vision, guiding principals, and the Growth Framework Map to determine if they are in the best long-term interests of the Town and its residents, businesses, and property owners." This area of the ETJ has seen significant growth with Project Hope and Village Gate developing on each end of Mailman Road.

### Vision

The vision for Knightdale includes neighborhoods that will feel a sense of connection by traditions, family, roads, greenways, bicycle routes and walkways, and the shared history of Knightdale's uniqueness. Mailman Post will offer three (3) different home series, ensuring an aesthetic continuity along Mailman Road. The collector road running through Mailman Post will align across from Sawdust Lane, completing the first segment of road construction as called for by Knightdale's Transportation Plan. In addition, road stubs to the north will enable future connectivity as development of the surrounding parcels continues.

### Guiding Principles

- **Infill Development and Redevelopment** – The grid layout and predominant use of alleys represents classic infill design language, this grid design which is particularly appropriate for a small parcel even located in the ETJ.
- **Parks and Recreation** – The layout contains multiple parks for its residents to enjoy. The proposed design includes 20% open space.
- **Transportation** – The plan for Mailman Post emphasizes several modes of transportation including an east-west collector from Mailman Road to the eastern property boundary. Multi-use paths along Mailman Road will link to sidewalks with the community to provide pedestrian connectivity. Narrow front streets encourage walking and biking throughout the community.
- **Compact Development Patterns** – The proposed development continues the usage of the four (4) different lot sizes and utilizes more of the smaller, alley-loaded lots to make the 36-acre site more efficient.
- **Community Design** – Mailman Post will deliver the same uniquely Knightdale look and feel that as other communities that has proven to be a hit with buyers, Town officials, and Knightdale constituents.
- **Great Neighborhoods and Expanded Home Choices** – With three (3) different series of plans, homes ranging from almost 1,500 square feet to almost 3,000 square feet across a broad array of prices, and a diverse set of amenities will be able to meet the needs of young professionals, downsizers, single parents, and other home buyer segments.
- **Growth & Conservation Map** - The property has a Placetype of Rural Living, which is the same Placetype as other similar communities that have been reclassified as Single Family Neighborhood and rezoned GR-8.

**SITE DATA TABLE**

PROJECT:	MAILMAN POST
ENGINEER:	TIMMONS GROUP BETH BLACKMON, PE 5410 TRINITY ROAD, STE. 102 RALEIGH, NC 27607 PHONE: (919) 866-4509 FAX: (919) 859-5663 EMAIL: BETH.BLACKMON@TIMMONS.COM
DEVELOPER:	EF ONE, LLC CRAIG DUERR 6801 WINDING RIDGE ROAD ZEBULON, NC 27597 PHONE: (919) 601-6962 EMAIL: LANDALTERNATIVESNC@GMAIL.COM
LAND OWNER:	GIOVANNI MORTARINO TRUSTEE 2830 CHARLEMAGNE DRIVE VIRGINIA BEACH, VA 23451  POPE, JASON RICHARD POPE, MARKIE S 417 MAILMAN RD KNIGHTDALE, NC 27545  PUBLIC SERVICE COMPANY OF NORTH CAROLINA INC, SCANA LAND DEPT 220 OPERATION WAY CAYCE, SC 29033
TAX ID:	1763-08-8851, 1763-08-3716, 1763-09-5280, 1763-09-5560, 1753-98-9828, 1753-98-9764
DEED REFERENCE:	DB. 14674 PG. 1408; DB. 18802 PG. 2455; DB. 16990 PG. 2508
TOWNSHIP:	ST. MATTHEW'S
EXISTING ZONING:	RT & GR8
CURRENT USE:	SINGLE-FAMILY RESIDENTIAL & VACANT
PROPOSED USE:	SINGLE-FAMILY RESIDENTIAL
PROPOSED ZONING:	GR-8 PUD GENERAL RESIDENTIAL-8 (GR-8), PUD (PLANNED UNIT DEVELOPMENT)
TOTAL PROJECT AREA:	35.9 ACRES
PROPOSED DENSITY:	4.32 DU/A
RIVER BASIN:	NEUSE
SURFACE WATER CLASSIFICATION:	C; NSW
WATERSHED:	NONE
FIRM PANEL #:	3720175300J & 3720176300J EFFECTIVE 05/02/2006

FRONT LOAD SINGLE FAMILY LOT STANDARDS:	MINIMUM LOT SIZE: 6,600 SF MINIMUM LOT WIDTH: 60' FRONT SETBACK: 10' DRIVEWAY LENGTH: 20' SIDE SETBACK: 5' CORNER SIDE SETBACK: 10' REAR SETBACK: 20'
REAR LOAD SINGLE FAMILY LOT STANDARDS:	MINIMUM LOT SIZE: 2,700 SF LOT WIDTH: 30' FRONT SETBACK: 10' SIDE SETBACK: 3' CORNER SIDE SETBACK: 10' REAR SETBACK: 20' DRIVEWAY LENGTH: 20'



**COMMUNITY LOCATION**

**TRANSPORTATION NETWORK**

An exception to Section 10.4.B of the UDO to allow a 32' Public Right of Way street section, a modified One Way Local Street, to serve homes fronting on open space areas is requested.

Section 11.3.B.1. of the UDO requires that any development that embraces only 1 side of an existing or planned arterial or collector will only be required to dedicate additional R/W for that portion of the street with which the development has frontage. Dedication of 15' R/W is identified on the Master Plan to accommodate half the ultimate right-of-way along Mailman Road for a 2-lane divided Urban Avenue section subject to the Traffic Impact Analysis findings on acceptable levels of service.

**SETBACKS AND DRIVEWAYS**

Section 3.4 of the UDO requires that any lot less than 80' in width be accessed via an alley or rear lane access. Additionally, Section 6.5 of the UDO requires rear setbacks be a minimum of 25'. An exception to these requirements is requested to allow the minimum lot width standard to be reduced to 60' and rear setback be reduced to 20' to be adequately developed within the site constraints. Lots adjacent to the Sandy Trail subdivision to the south shall be min. 80' width. Request that side setbacks be reduced to 3' for rear load lots and 5' for front load lots instead of 20% of the lot width, min. 3-5' as required in Section 6.5 of the UDO. Per Section 3.4 of the UDO, driveway lengths are to be a minimum of 35'. An exception is requested to reduce driveway lengths to a minimum of 20'.

**GENERAL SITE MODIFICATIONS**

9.3.B of the UDO prohibits mass grading on all front-loaded lots 60' or greater in width. All rear loaded units included in this PUD are exempt from this requirement by right, due to their narrow lot width. The single family lots not exempt, include less than 25% of the total number of lots. These lots were enlarged in size at the specific request of Knightdale planning staff and are located around the property border. An exception to these requirements is requested to allow for the entire development to be eligible for mass grading, rather than only portions of the development. Mass grading is warranted for perimeter lot areas to be able to create an enhanced streetscape, to avoid standing water, and most importantly to allow the sewer depths to be shallow enough to preclude the need for the City of Raleigh to operate a pump station on-site. In addition, this exemption would allow for a far more efficient construction process.

**DISTRIBUTION OF USES**

Table 11.1.B in the Knightdale UDO requires a Min. 10% / Max. 40% Duplex / Townhouse, Min. 5% / Max. 40% Multifamily, and Min. 15% / Max. 60% Single Family. An exception to these requirements is requested to exclude the requirement for Multifamily and Townhome use.

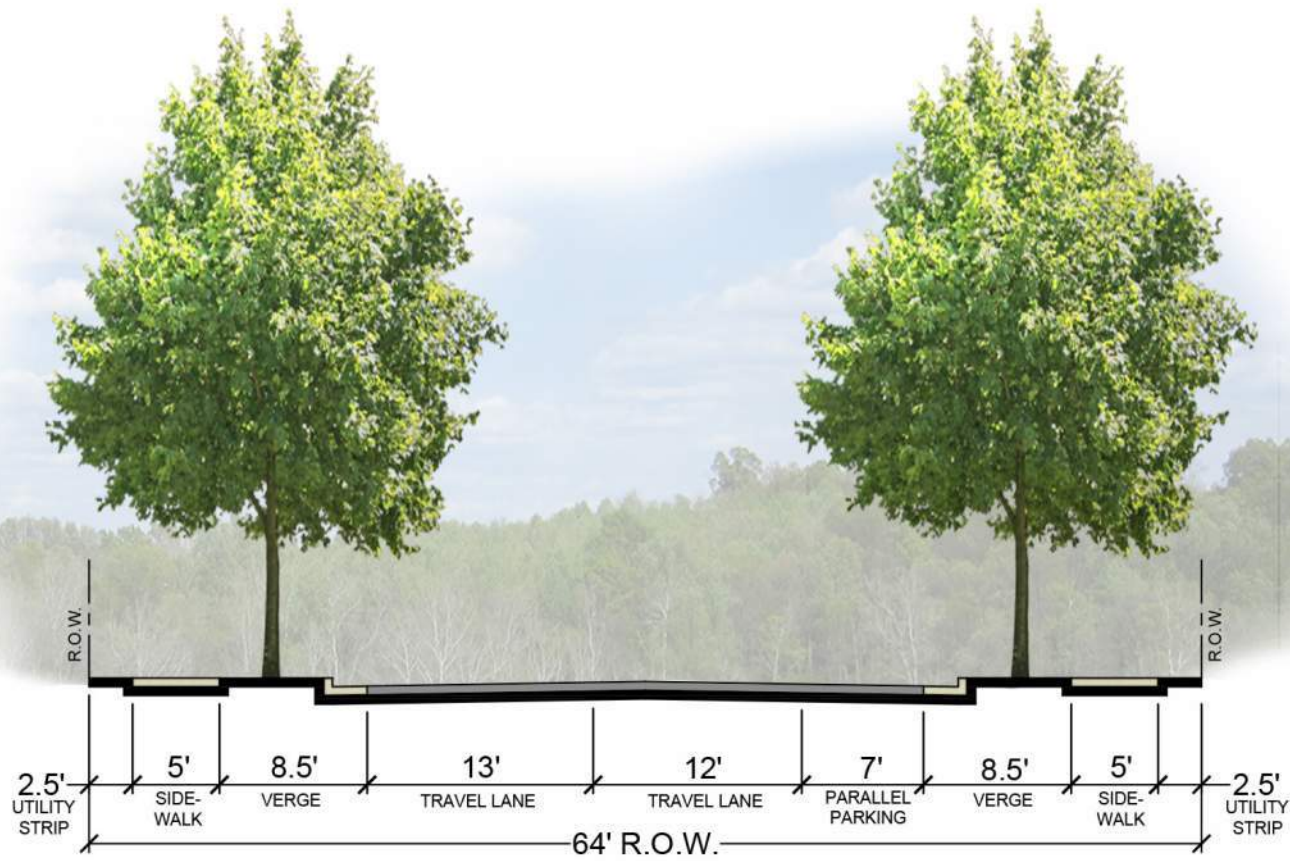
**GASLINE ENCROACHMENT**

If Dominion Energy will not support a gasline encroachment at the end of the 64' right-of-way, on the east of the site, at the time of permitting; then the developer shall pay the Town of Knightdale a fee in lieu of the remaining road completion in an amount mutually agreed upon by the developer and the Town of Knightdale per Section 10.3.A of the UDO.

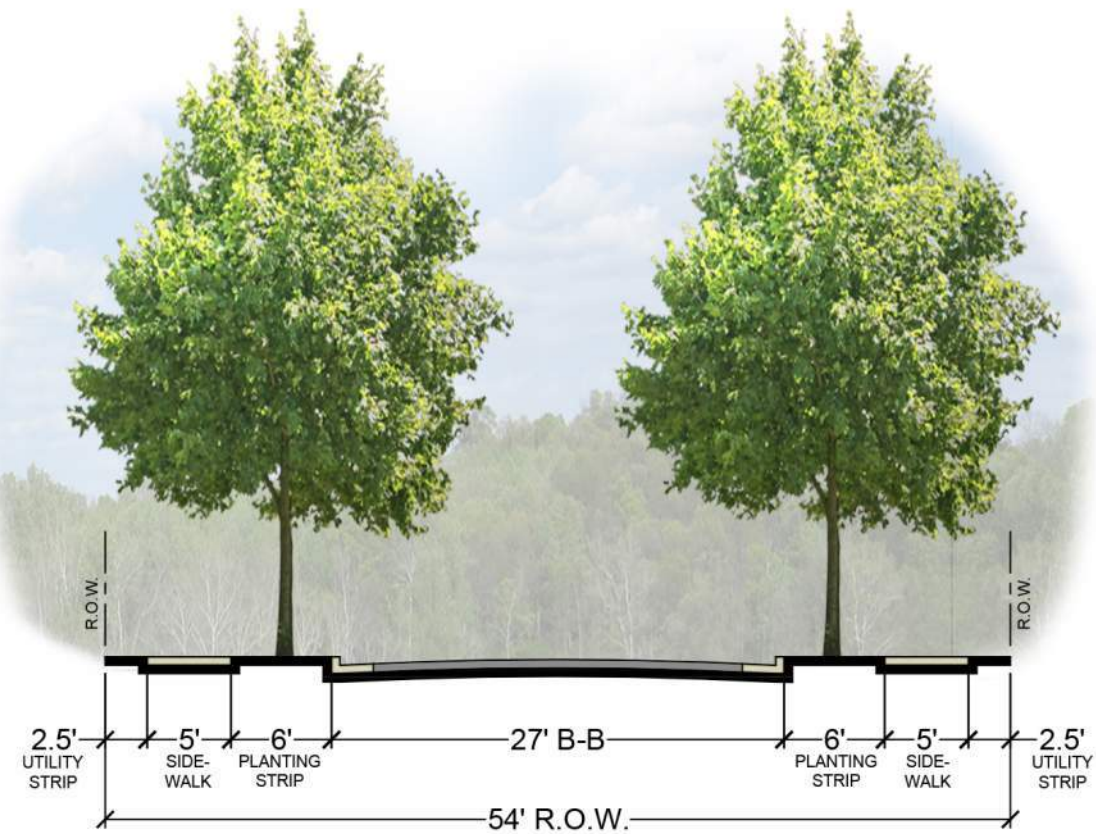
# COMMUNITY MASTER PLAN



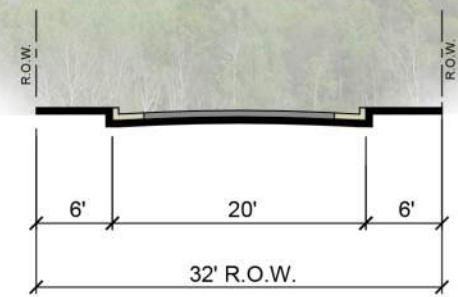
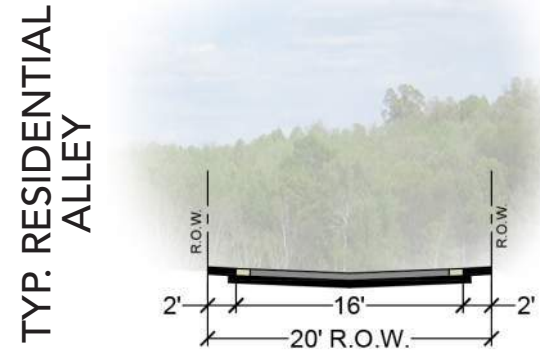
# SECTION A



# SECTION B



# SECTION C



SINGLE FAMILY HOMES - 30' X 100' LOTS



RESIDENTIAL PRODUCT



SINGLE FAMILY HOMES - 35' X 100' LOTS



RESIDENTIAL PRODUCT

SINGLE FAMILY HOMES - 60' X 110' LOTS



RESIDENTIAL PRODUCT

## DRAFT ARCHITECTURAL STANDARDS

- Single family detached homes on lots less than 60-feet wide shall be rear loaded 2-story with a minimum heated area of 1,400 square feet.
- Single family detached homes on lots at least 60 feet wide shall be front loaded 2-story with a minimum heated area of 1,900 square feet.
- Single family detached homes shall have raised foundations at a minimum of 18" above the average finished grade on all sides, except for rear alleys where the foundation may taper along the sides to the garage finish floor elevation at the rear to allow driveways to connect with alleys. The front façade shall contain a minimum of 2 stair risers up to the porch or stoop. Stem walls or raised slab foundations shall be covered with brick stone on the front façade.
- Unless all brick or stone, single family detached homes shall have a combination of 2 or more of the following materials on the front façade (not including foundations): stone, brick, lap siding, fiber cement siding, shakes or board and batten. Materials shall be different but complementary colors. Vinyl may be used only for soffits, fascia and corner boards.
- Main roof pitches (excluding porches) fronting the street shall be at least 7:12 and every gable end shall have a minimum 12-inch overhang.
- For every 30-feet (or fraction) of continuous side elevation (calculated on a per floor basis), there shall be a window or door added to the side elevations. Any siding break on the side of the home such as a fireplace, side porch, wall offsets may be used as an alternate to windows.
- Single family detached homes shall have a front porch with a minimum depth of 5-feet and a minimum 10-feet x 10-feet rear patio or deck.
- Garages on front loaded single family detached homes shall not protrude more than 6-feet from the front porch or stoop.
- Garage doors on front loaded single family detached homes shall have glass window inserts and carriage style hardware and may not exceed 48% of the total front façade width.
- All garages shall accommodate space for 2-cars.
- All front doors shall have glass inserts.



**TOTAL BEDROOMS:**  
 155 UNITS \* 3.5 = 543 BEDROOMS

**OPEN SPACE CALCULATIONS:**  
 543 BDRMS. \* 520 = 282,360 SF REQUIRED  
 W/ CLUBHOUSE & POOL CREDIT = 211,770 SF  
 PASSIVE OPEN SPACE REQUIRED = 105,885 SF  
 PASSIVE OPEN SPACE PROVIDED = 264,382 SF  
 ACTIVE OPEN SPACE REQUIRED = 105,885 SF  
 ACTIVE OPEN SPACE PROVIDED = 135,934 SF

**CANOPY SAVE:**

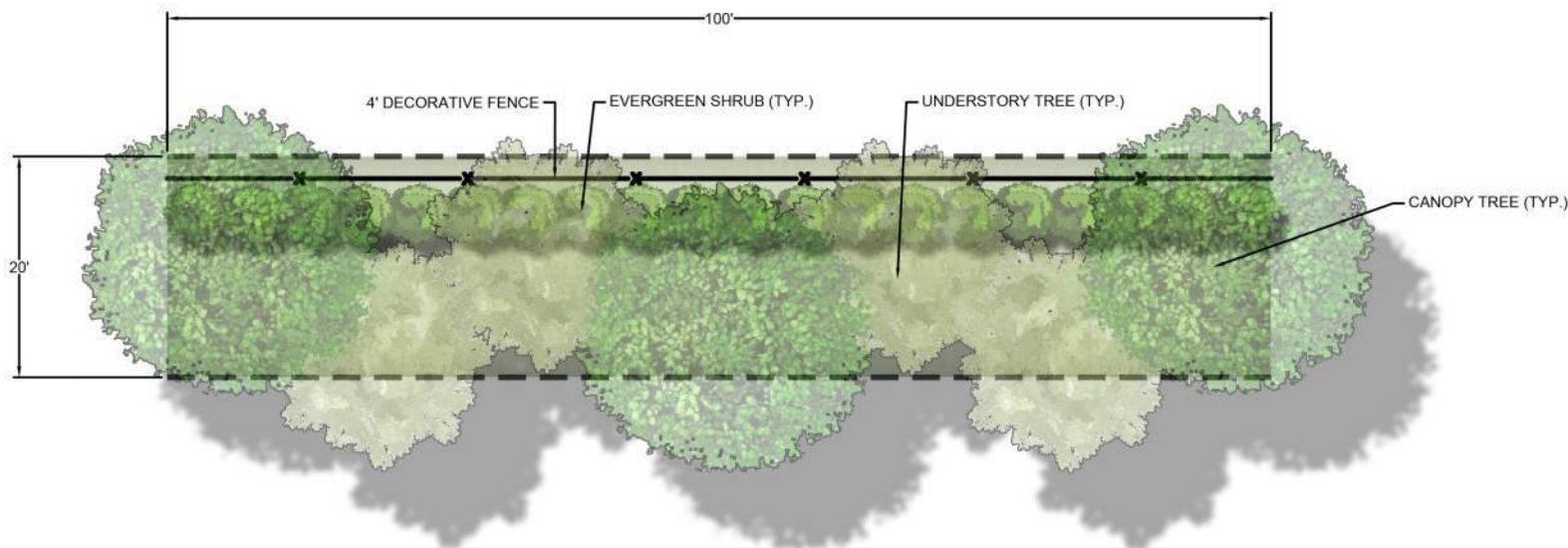
CANOPY SAVE REQUIRED:	100,460 SF
CANOPY SAVE PROVIDED:	131,125 SF

COMMUNITY AMENITIES

WHITE SPLIT-RAIL FENCE WITH MASONRY COLUMNS EVERY 50'

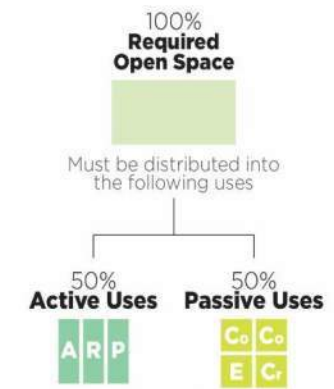


TYPICAL ENHANCED ROADSIDE LANDSCAPING



Mailman Post Allocation Points:

ITEM	POINTS
Major Subdivision:	15
Residential Architectural Standards	15
Pickleball Court	5
Clubhouse without kitchen 1500-2499 sf	5
Resort Style Pool	2
IPEMA Certified Playground Equipment	4
Private greenway - more than 1000 linear feet	1
Enhanced Roadside landscaping	2
Stormwater - wetland	5
On-street public parking	4
<b>Total</b>	<b>58</b>

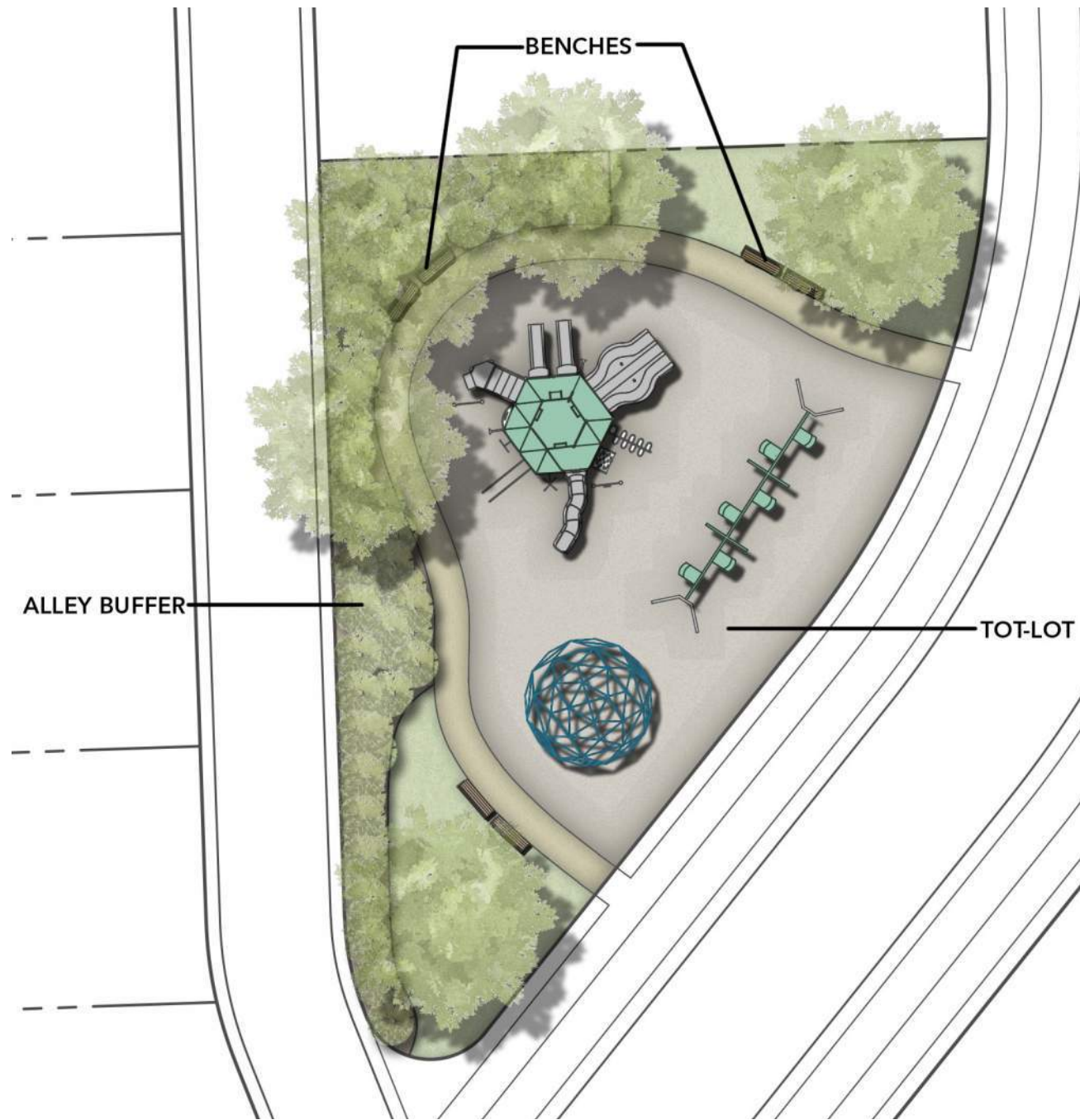


Both uses must consist of the elements below. Fill the circles to indicate which elements to include.

- (Fill 1 circle below) **Community A**
  - Neighborhood Amenities\*
  - Resort Style Pool
  - Clubhouse
  - Golf Course
- (Fill 1 circle below) **Recreation R**
  - IPEMA Certified Playground
  - Tennis/Pickleball Courts
  - Baseball/Softball Field
  - Football/Soccer Field
  - Multi-Use Hard Court
  - Bocce Courts
- (Fill 1 circle below) **Public P**
  - Public Park Facility
  - Public Greenway
  - Public Plaza
- Co Community** (Fill 2 circles below)
  - Pavilions
  - Gazebos
  - Community Garden
  - Permanent Yard Games
  - Fire Pit
  - Hardscaped & Landscaped Squares
  - Benches and/or seat walls
  - Historic Resources\*
  - Private Greenway
- E Environmental** (Fill 1 circle below)
  - Parkways\*
  - Preservation of Natural Resources
  - Rain Garden
  - Constructed Wetland
  - Stream Restoration
- C Creative** (Fill 1 circle below)
  - Outdoor Display of Public Art
  - Gateway Landscaping or Structure
  - Enhanced Roadside Landscaping



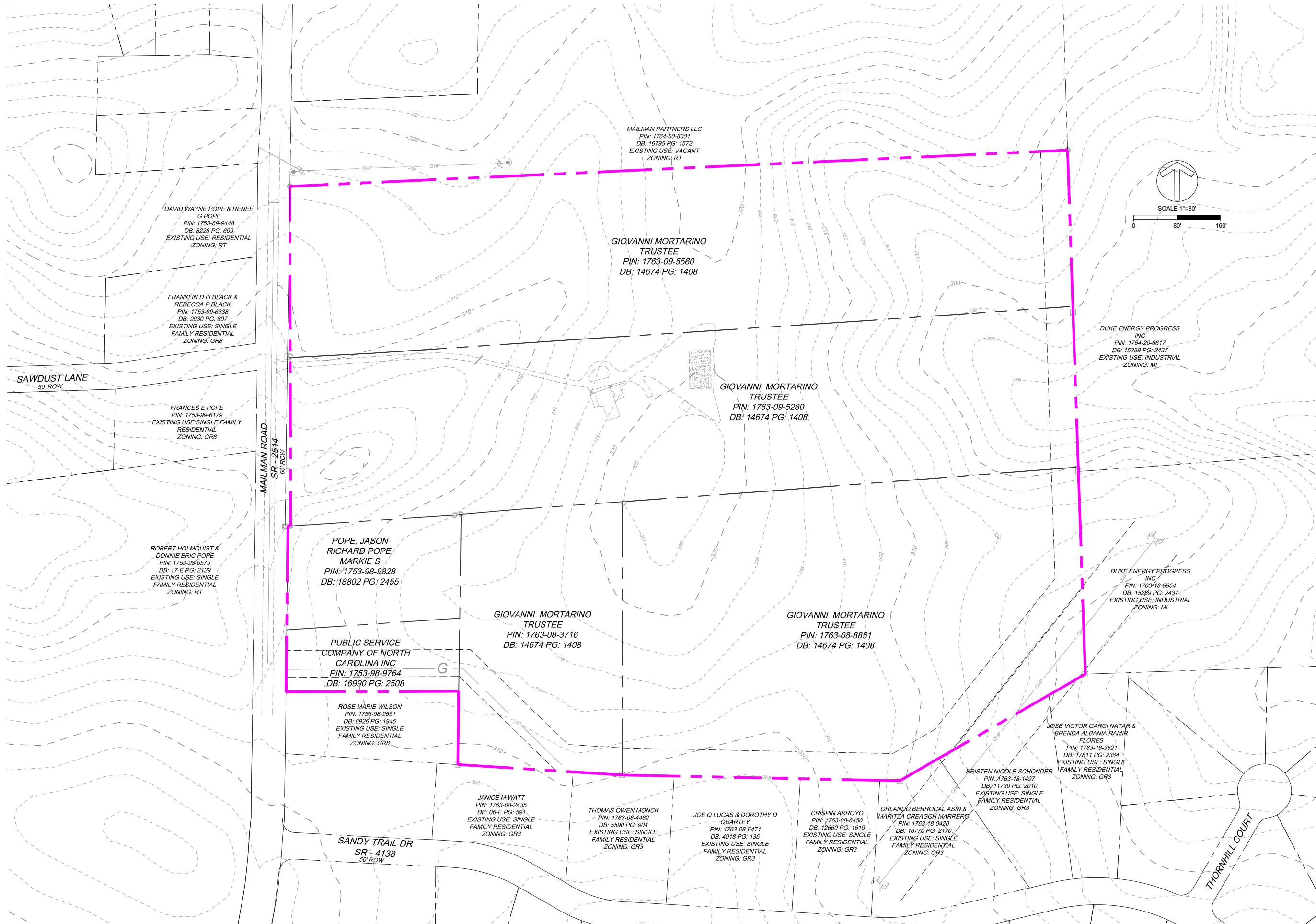
COMMUNITY AMENITIES



**CONCEPTUAL TOT-LOT**

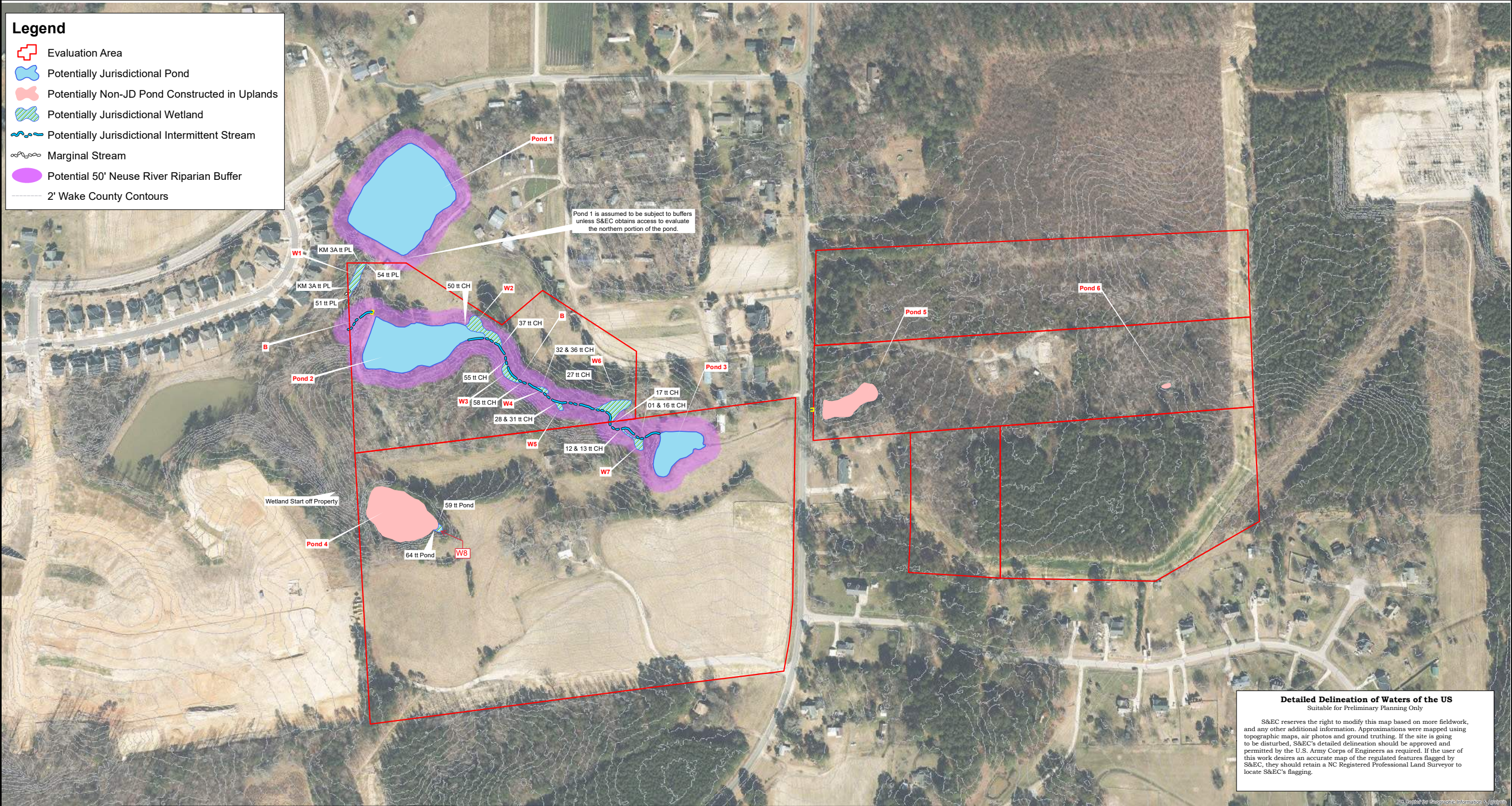


**CONCEPTUAL PUBLIC PLAZA**



**EXISTING CONDITIONS**





**Detailed Delineation of Waters of the US**  
 Suitable for Preliminary Planning Only

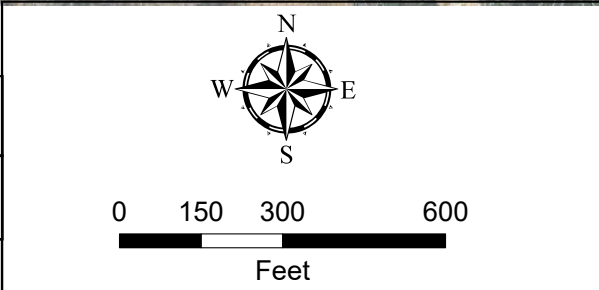
S&EC reserves the right to modify this map based on more fieldwork, and any other additional information. Approximations were mapped using topographic maps, air photos and ground truthing. If the site is going to be disturbed, S&EC's detailed delineation should be approved and permitted by the U.S. Army Corps of Engineers as required. If the user of this work desires an accurate map of the regulated features flagged by S&EC, they should retain a NC Registered Professional Land Surveyor to locate S&EC's flagging.

**Project No.**  
11309.W4

**Project Mgr.:**  
SB

**Scale:**  
1" = 150'

**04/04/2022**



**Wetland Sketch Map**

438 Mailman Road Property  
Wake County, NC

**Source:**  
Aerials from NC One Map

**Soil & Environmental Consultants, PA**

8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone: (919) 846-5900 • Fax: (919) 846-9467  
 sandec.com

Owner  
ARROYO, CRISPIN  
BLACK, FRANKLIN D III BLACK, REBECCA P  
DOUGLAS, ERNESTINE L  
DUKE ENERGY PROGRESS INC  
FLORES, JOSE VICTOR GARCI NATAR, BRENDA ALBANIA RAMIR  
FOX, BARBARA K FOX, THOMAS J  
GLODIC, MICHAEL JOSEPH III  
HINNANT, DAVID TROY MUSSELWHITE, GINA LYNNETTE  
JORGENSEN, KEN  
MAILMAN PARTNERS, LLC  
MARRERO, ORLANDO BERROCAL ASIN, MARITZA CREAGCH  
MONCK, THOMAS OWEN  
MORTARINO, GIOVANNI TRUSTEE  
POPE, DAVID WAYNE POPE, RENEE G  
POPE, FRANCES E  
POPE, JASON RICHARD POPE, MARKIE S  
POPE, ROBERT HOLMQUIST, DONNIE ERIC  
PUBLIC SERVICE COMPANY OF NORTH CAROLINA INC  
QUARTEY, JOE Q LUCAS, DOROTHY D  
SCHONDER, KRISTEN NICOLE  
SMITH, DIANE L  
STILWELL, BRADERICK J STILWELL, CHERYL B  
STRICKLAND, CYNTHIA E  
WATT, JANICE M  
WILSON, ROSE MARIE

Mail Address 1  
5325 SANDY TRAIL DR  
402 MAILMAN RD  
5300 SANDY TRAIL DR  
TAX DEPT - DEC41B  
5337 SANDY TRAIL DR  
311 MAILMAN RD  
5308 SANDY TRAIL DR  
330 MAILMAN RD  
5409 THORNHILL CT  
164 OLD ROBERTS RD  
5329 SANDY TRAIL DR  
5317 SANDY TRAIL DR  
2830 CHARLEMAGNE DR  
1305 FAYETTEVILLE ST  
406 MAILMAN RD  
417 MAILMAN RD  
DONNIE HOLMQUIST  
SCANA LAND DEPT  
5321 SANDY TRAIL DR  
5333 SANDY TRAIL DR  
5405 THORNHILL CT  
5301 SANDY TRAIL DR  
352 MAILMAN RD  
5309 SANDY TRAIL DR  
425 MAILMAN RD

Mail Address 2  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-8430  
KNIGHTDALE NC 27545-9698  
550 S TRYON ST  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-8429  
KNIGHTDALE NC 27545-9698  
KNIGHTDALE NC 27545-8428  
KNIGHTDALE NC 27545-9682  
BENSON NC 27504-8000  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-9699  
VIRGINIA BEACH VA 23451-1358  
KNIGHTDALE NC 27545-8560  
KNIGHTDALE NC 27545-8430  
KNIGHTDALE NC 27545-8431  
PO BOX 142  
220 OPERATION WAY  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-9682  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-8428  
KNIGHTDALE NC 27545-9699  
KNIGHTDALE NC 27545-8431

Mail Address 3  
  
  
CHARLOTTE NC 28202-4200  
  
  
  
  
  
  
KNIGHTDALE NC 27545-0142  
CAYCE SC 29033-3701

ADJACENT PROPERTY OWNERS



**Meeting Sign-in Sheet**

<b>Project:</b>	Mailman Post	<b>Meeting Date:</b>	12-May-22
<b>Faciliator:</b>	Timmons Group	<b>Place/ Room:</b>	Zoom 5pm

Name	Address	Phone	Email
Beth Blackmon	5410 Trinity Rd, Suite 102, Raleigh NC 27607	919-866-4509	beth.blackmon@timmons.com
Elizabeth Ange	5410 Trinity Rd, Suite 102, Raleigh NC 27607	984-255-2366	elizabeth.ange@timmons.com
Craig Duerr	6801 Winding Ridge Rd, Zebulon, NC 27597	919-601-6962	landalternativesNC@gmail.com
Kevin Lewis	Town of Knightdale Planning Department	919-217-2243	kevin.lewis@knightdalenc.gov
Baohong Wan	940 Main Campus Dr, Ste 500, Raleigh NC 27606	919-741-5526	bwan@VHB.com
Rose Wilson	425 Mailman Road, Knightdale NC 27545		
Kristen Schonder	5333 Sandy Trail Drive	919-522-8854	



**Summary of Discussion From the Neighborhood Meeting**

<b>Project:</b>	Mailman Post	<b>Meeting Date:</b>	Thursday, May 12, 2022
<b>Applicant:</b>	Timmons Group - Beth Blackmon	<b>Place/ Room:</b>	Zoom
<b>Contact Information:</b>	beth.blackmon@timmons.com 919-866-4509	<b>Time:</b>	5:00 PM

Summary of questions/ comments and responses from the neighborhood meeting:

- 
- Questions/ Concern #1:** Where will the fences be?
- Applicant Response:** Fences will be on the southern and northern property lines. The Duke transmission center will not have a fence.
- 
- Questions/ Concern #2:** How will the water work?
- Applicant Response:** The site will be annexated into the town of Knightdale and water and sewer will be public. Water will be extended from another subdivision going in nearby to the south and will extend north on Mailman Road. Sewer will extend across the street and connect to Glenmere.
- 
- Questions/ Concern #3:** Where is gas from?
- Applicant Response:** We haven't gotten that far and will not know where the gas is coming from yet.
-