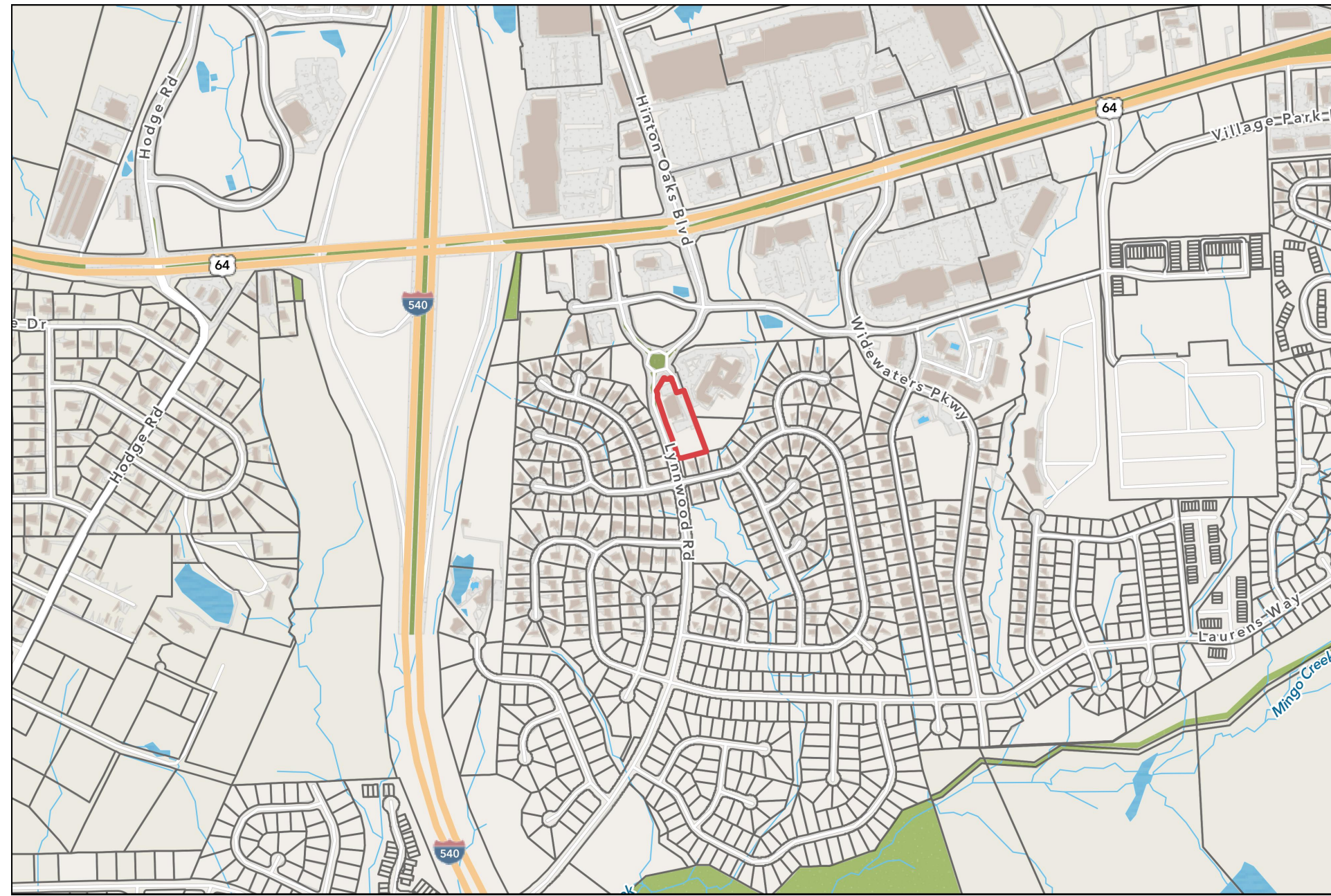


WAKE VETERINARY HOSPITAL MASTER PLAN SUBMITTAL

KNIGHTDALE TRANSACTION #: ZMA-14-21



VICINITY MAP

SCALE: 1" = 800'

SHEET INDEX	
COV	COVER
L100	EXISTING CONDITIONS
L101	DEMOLITION PLAN
L200	LAYOUT PLAN & MATERIALS PLAN
L201	SITE DETAILS
L202	SITE DETAILS
L203	SIGNS & MARKINGS PLAN
L300	GRADING PLAN
L400	LANDSCAPE PLAN
L401	PLANTING NOTES & DETAILS
C100	STORMWATER PLAN
C101	SUBGRADE PLAN
U100	WATER + SEWER PLAN
22-0228A	DUKE ENERGY LIGHTING PLAN
A1.13	BUILDING ELEVATIONS
A1.14	BUILDING ELEVATIONS
A3.01	BUILDING SECTIONS

SITE DATA SUMMARY	
PROJECT NAME	WAKE VET HOSPITAL
EXISTING STREET ADDRESS	1007 TANDAL PLACE, KNIGHTDALE, NC
LOT AREA (CURRENT)	74,488 SF (1.71 AC)
CURRENT ZONE	RMX
PROPOSED ZONE	NMX - CD
OVERLAY DISTRICT(S)	N/A
PARCEL NUMBER	1744532798
REAL ID NUMBER	0164389
DEED BOOK / DEED PAGE	BM 017298 / PG 02413
EXISTING BUILDING USE	VETERINARY HOSPITAL
PROPOSED BUILDINGS USES	VETERINARY HOSPITAL
EXISTING IMPERVIOUS AREA	28,718 SF
PROPOSED IMPERVIOUS AREA	41,632 SF
NET CHANGE IN IMPERVIOUS AREA	12,914 SF
WATER ALLOCATION POLICY	N/A

CONTACT INFORMATION

PROPERTY OWNER
ROWDY RIDGEBACKS HOLDING LLC
4935 RALEIGH ROAD PKWY W
WILSON, NC 27896
PHONE: 919.266.9852
EMAIL: GEORGEHNEIMDVM@THEVETSPETS.COM

CIVIL ENGINEER
FINCH & ASSOCIATES
309 N BOYLAN AVE
RALEIGH, NC
CONTACT: JAY WATSON
PHONE: 919.933.1212
EMAIL: JWATSON@FINCH-ASSOCIATES.COM

LANDSCAPE ARCHITECT
SITE COLLABORATIVE, INC.
821 WAKE FOREST RD
RALEIGH, NC 27604
CONTACT: GRAHAM H. SMITH
PHONE: 919.805.3586
EMAIL: GRAHAM@SITECOLLABORATIVE.COM

ARCHITECT
CLINE DESIGN ASSOCIATES
125 N. HARRINGTON ST.
RALEIGH, NC 27601
PHONE: 919.833.6413 EXT. 4146
EMAIL: CARLW@CLINEDSIGNASSOC.COM

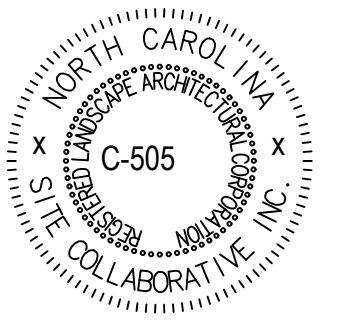
VEHICLE PARKING			
	AREA (SF)	MAXIMUM SPACES PERMITTED 6 per 1000 GFA	MINIMUM SPACES REQUIRED 1/3 OF MAX
EXISTING BUILDING (VET HOSPITAL)	8,354	50	25
PROPOSED ADDITION	6,197	37	19
TOTAL	14,551	87	44
TOTAL EXISTING SPACES	37		
TOTAL PROPOSED SPACES	60		
DIFFERENCE	23		

ACCESSIBLE PARKING		
TOTAL # OF SPACES	REQUIRED	PROVIDED
60	4	4

BICYCLE PARKING	
REQUIRED	PROVIDED
5	6



821 Wake Forest Road
Raleigh, NC 27604 | 919.805.3586



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Wake Veterinary Hospital
Rowdy Ridgebacks Holdings LLC
1007 Tandal Place, Knightdale, NC

PROJECT NUMBER:
20063

PROJECT PHASE:
MASTER PLAN
SUBMISSION #1

DATE:
04.25.2022

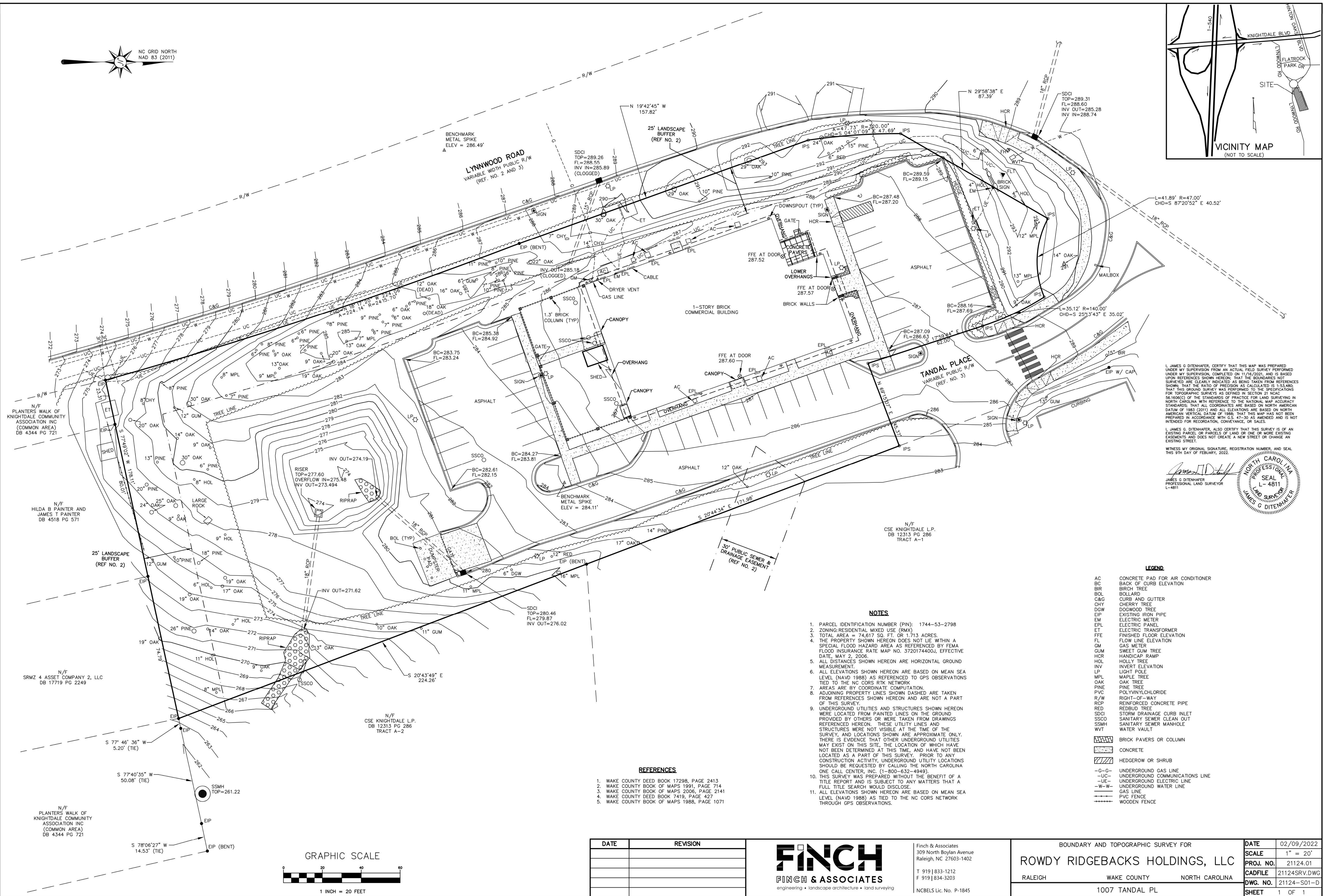
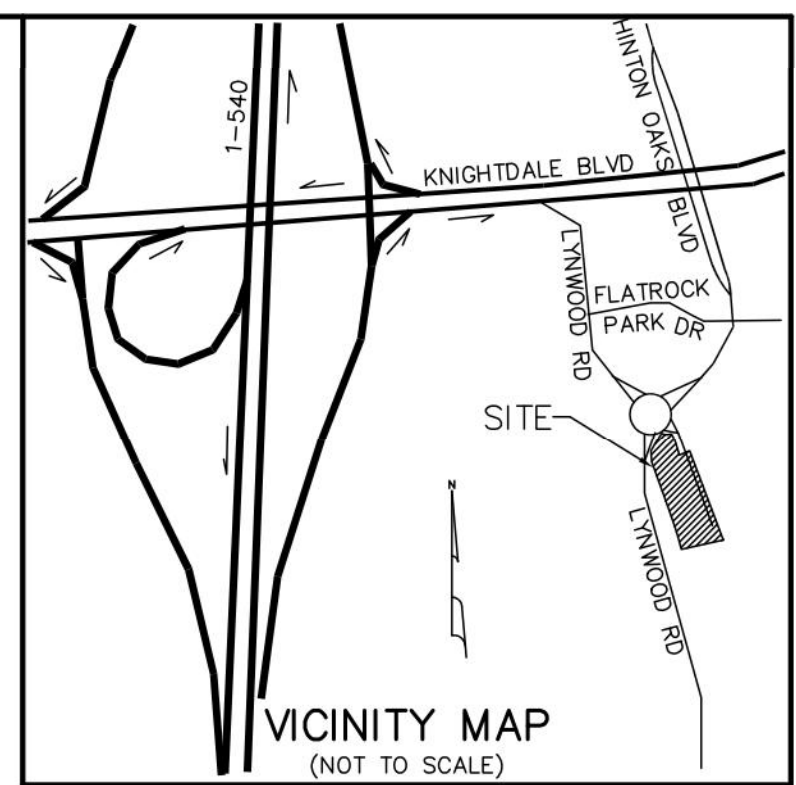
06.27.2022

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

COV



I, JAMES G. DITENHAER, CERTIFY THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY PERFORMED UNDER MY SUPERVISION, COMPLETED ON 11/09/2022, AND IS BASED UPON REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SHOWN ARE CLEARLY INDICATED AS BEING TAKEN FROM REFERENCES SHOWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:53,480; THAT THIS SURVEY WAS PERFORMED TO THE SPECIFICATIONS FOR TOPOGRAPHIC SURVEYS AS DEFINED IN SECTION 21 NCAC 56.100(c) OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA WITH REFERENCE TO THE NATIONAL MAP ACCURACY STANDARDS; THAT ALL COORDINATES ARE BASED ON NORTH AMERICAN DATUM OF 1983 (NAD 83) AND ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988; THAT THIS MAP HAS NOT BEEN PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED AND IS NOT INTENDED FOR RECORDATION, CONVEYANCE, OR SALES.

I, JAMES G. DITENHAER, ALSO CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

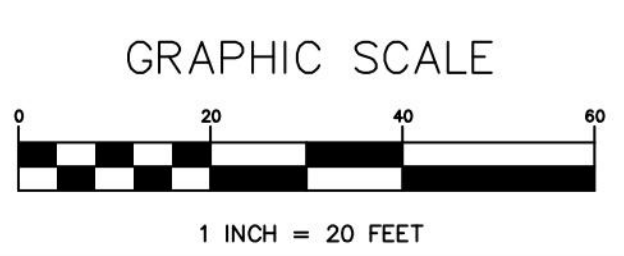
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 9TH DAY OF FEBRUARY, 2022.

James G. Ditenhaer
 JAMES G. DITENHAER
 PROFESSIONAL LAND SURVEYOR
 L-4811

- LEGEND**
- AC CONCRETE PAD FOR AIR CONDITIONER
 - BC BACK OF CURB ELEVATION
 - BIR BIRCH TREE
 - BOL BOLLARD
 - C&G CURB AND GUTTER
 - CHY CHERRY TREE
 - DGW DOGWOOD TREE
 - EIP EXISTING IRON PIPE
 - EM ELECTRIC METER
 - EPL ELECTRIC PANEL
 - ET ELECTRIC TRANSFORMER
 - FFE FINISHED FLOOR ELEVATION
 - FL FLOW LINE ELEVATION
 - GM GAS METER
 - GUM SWEET GUM TREE
 - HCR HANDICAP RAMP
 - HOL HOLLY TREE
 - INV INVERT ELEVATION
 - LP LIGHT POLE
 - MPL MAPLE TREE
 - OAK OAK TREE
 - PINE PINE TREE
 - PVC POLYVINYLCHLORIDE
 - R/W RIGHT-OF-WAY
 - RCP REINFORCED CONCRETE PIPE
 - RED REDBUD TREE
 - SDCI STORM DRAINAGE CURB INLET
 - SSMH SANITARY SEWER CLEAN OUT
 - SSMH SANITARY SEWER MANHOLE
 - WWT WATER VAULT
 - BRICK PAVERS OR COLUMN
 - CONCRETE
 - HEDGEROW OR SHRUB
 - UNDERGROUND GAS LINE
 - UNDERGROUND COMMUNICATIONS LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND WATER LINE
 - GAS LINE
 - PVC FENCE
 - WOODEN FENCE

- NOTES**
1. PARCEL IDENTIFICATION NUMBER (PIN): 1744-53-2798
 2. ZONING: RESIDENTIAL MIXED USE (RMX)
 3. TOTAL AREA = 74,617 SQ. FT. OR 1.713 ACRES.
 4. THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS REFERENCED BY FEMA FLOOD INSURANCE RATE MAP NO. 3720174400J, EFFECTIVE DATE, MAY 2, 2006.
 5. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND MEASUREMENT.
 6. ALL ELEVATIONS SHOWN HEREON ARE BASED ON MEAN SEA LEVEL (NAVD 1988) AS REFERENCED TO GPS OBSERVATIONS TIED TO THE NC CORS RTK NETWORK.
 7. THERE IS EVIDENCE THAT OTHER UNDERGROUND UTILITIES MAY EXIST ON THIS SITE, THE LOCATION OF WHICH HAVE NOT BEEN DETERMINED AT THIS TIME, AND HAVE NOT BEEN LOCATED AS A PART OF THIS SURVEY. PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).
 8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 9. ALL ELEVATIONS SHOWN HEREON ARE BASED ON MEAN SEA LEVEL (NAVD 1988) AS TIED TO THE NC CORS NETWORK THROUGH GPS OBSERVATIONS.

- REFERENCES**
1. WAKE COUNTY DEED BOOK 17298, PAGE 2413
 2. WAKE COUNTY BOOK OF MAPS 1991, PAGE 714
 3. WAKE COUNTY BOOK OF MAPS 2006, PAGE 2141
 4. WAKE COUNTY DEED BOOK 7419, PAGE 427
 5. WAKE COUNTY BOOK OF MAPS 1988, PAGE 1071



DATE	REVISION



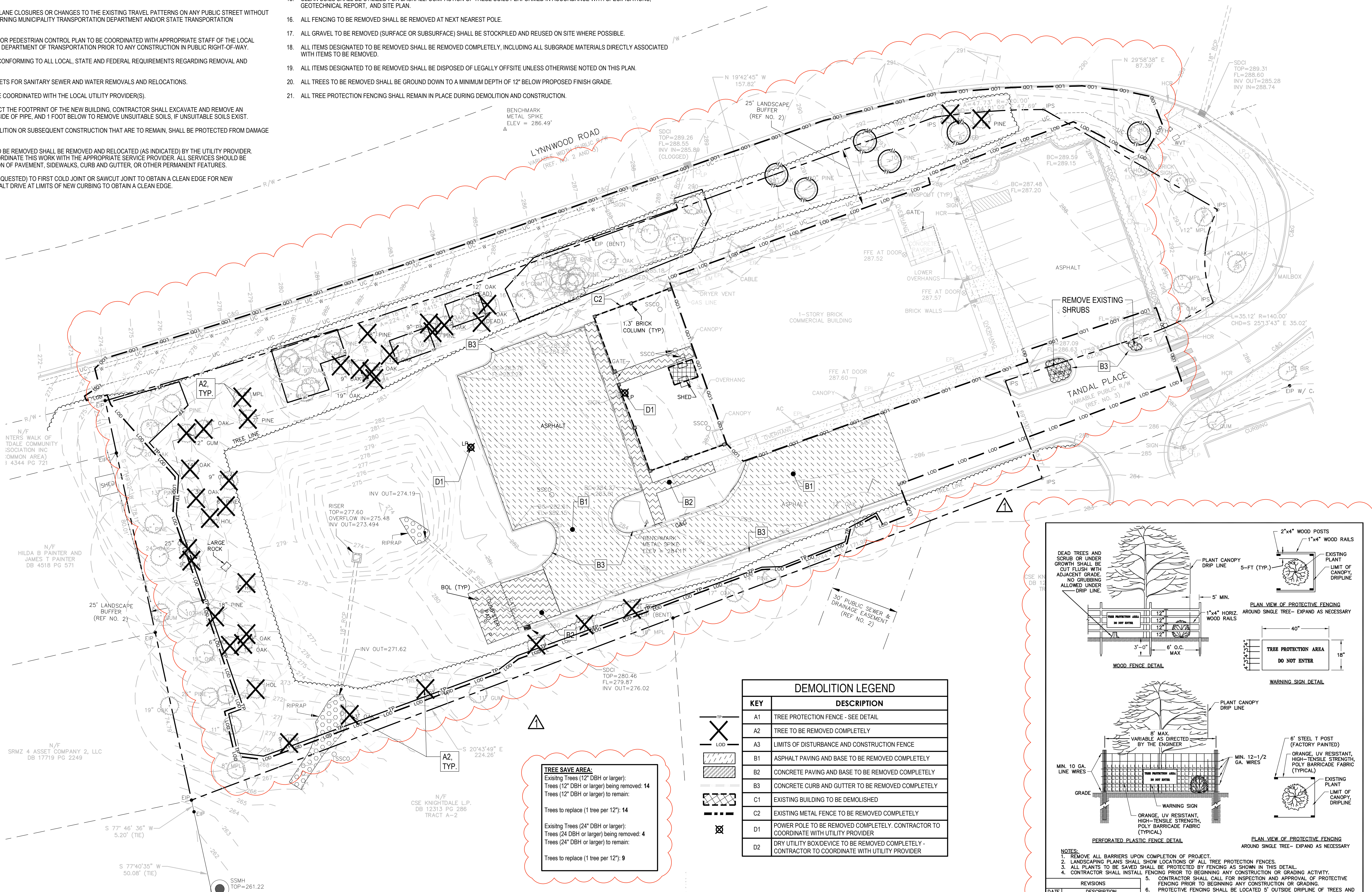
Finch & Associates
 309 North Boylan Avenue
 Raleigh, NC 27603-1402
 T 919 | 833-1212
 F 919 | 834-3203
 NCBELS Lic. No. P-1845

BOUNDARY AND TOPOGRAPHIC SURVEY FOR			DATE
ROWDY RIDGEBACKS HOLDINGS, LLC			02/09/2022
RALEIGH WAKE COUNTY NORTH CAROLINA			SCALE 1" = 20'
1007 TANDAL PL			PROJ. NO. 21124.01
			CADFILE 21124SRV.DWG
			DWG. NO. 21124-S01-D
			SHEET 1 OF 1

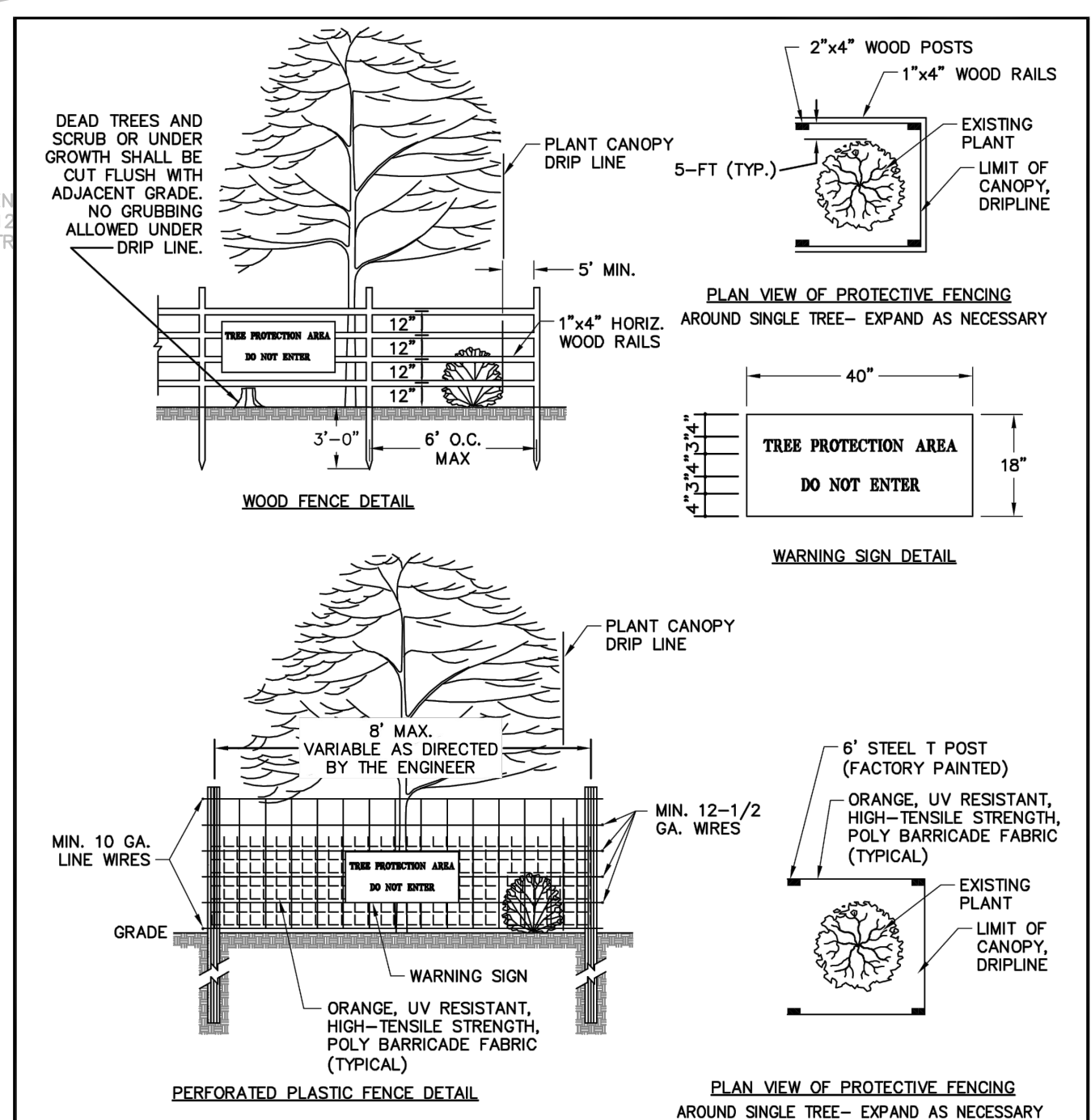
DEMOLITION NOTES

- THE CONTRACTOR SHALL NOTIFY THE N.C. ONE CALL CENTER AT 811 OR 1-800-632-4949 PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING WORK.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE LOCAL GOVERNING MUNICIPALITY OR THE STATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL NOT MAKE ANY LANE CLOSURES OR CHANGES TO THE EXISTING TRAVEL PATTERNS ON ANY PUBLIC STREET WITHOUT PRIOR APPROVAL FROM THE LOCAL GOVERNING MUNICIPALITY TRANSPORTATION DEPARTMENT AND/OR STATE TRANSPORTATION DEPARTMENT.
- LANE CLOSURE, TRAFFIC CONTROL PLAN, OR PEDESTRIAN CONTROL PLAN TO BE COORDINATED WITH APPROPRIATE STAFF OF THE LOCAL GOVERNING MUNICIPALITY AND/OR STATE DEPARTMENT OF TRANSPORTATION PRIOR TO ANY CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING REMOVAL AND DISPOSAL OF MATERIALS AND DEBRIS.
- CONTRACTOR SHALL REFER TO CIVIL SHEETS FOR SANITARY SEWER AND WATER REMOVALS AND RELOCATIONS.
- RELOCATION OF EXISTING UTILITIES TO BE COORDINATED WITH THE LOCAL UTILITY PROVIDER(S).
- WHERE UTILITIES (TO BE REMOVED) IMPACT THE FOOTPRINT OF THE NEW BUILDING, CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF PIPE, AND 1 FOOT BELOW TO REMOVE UNSUITABLE SOILS, IF UNSUITABLE SOILS EXIST.
- CLEANOUTS LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION THAT ARE TO REMAIN, SHALL BE PROTECTED FROM DAMAGE AND RAISED TO FLUSH WITH NEW GRADE.
- ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THIS WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE RE-INSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURB AND GUTTER, OR OTHER PERMANENT FEATURES.
- REMOVE EXISTING CONCRETE (WHERE REQUESTED) TO FIRST COLD JOINT OR SAWCUT JOINT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION. SAWCUT EXISTING ASPHALT DRIVE AT LIMITS OF NEW CURBING TO OBTAIN A CLEAN EDGE.

- CONTRACTOR SHALL RETAIN AND STOCKPILE CONCRETE WHEELSTOPS WHICH ARE IN USEABLE CONDITION FOR RE-INSTALLATION AT THE END OF THE PROJECT.
- CONTRACTOR SHALL RESTORE THE LAYDOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOBILIZATION AT THE CONCLUSION OF THE PROJECT.
- CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS PERFORMED IN ACCORDANCE WITH SPECIFICATIONS, GEOTECHNICAL REPORT, AND SITE PLAN.
- ALL FENCING TO BE REMOVED SHALL BE REMOVED AT NEXT NEAREST POLE.
- ALL GRAVEL TO BE REMOVED (SURFACE OR SUBSURFACE) SHALL BE STOCKPILED AND REUSED ON SITE WHERE POSSIBLE.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL TREES TO BE REMOVED SHALL BE GROUND DOWN TO A MINIMUM DEPTH OF 12" BELOW PROPOSED FINISH GRADE.
- ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING DEMOLITION AND CONSTRUCTION.

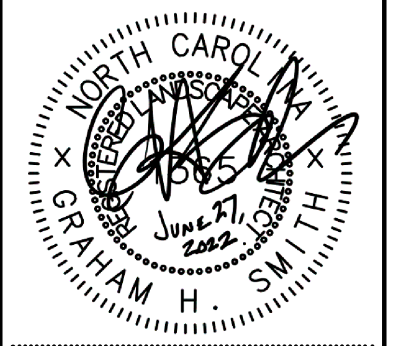
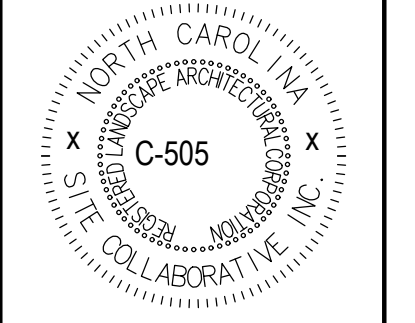
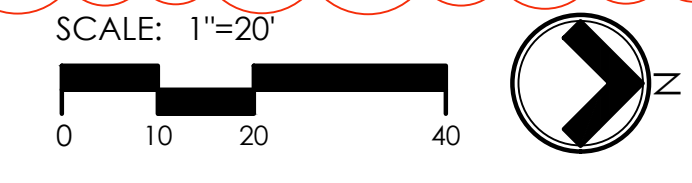


KEY	DESCRIPTION
A1	TREE PROTECTION FENCE - SEE DETAIL
A2	TREE TO BE REMOVED COMPLETELY
A3	LIMITS OF DISTURBANCE AND CONSTRUCTION FENCE
B1	ASPHALT PAVING AND BASE TO BE REMOVED COMPLETELY
B2	CONCRETE PAVING AND BASE TO BE REMOVED COMPLETELY
B3	CONCRETE CURBS AND GUTTER TO BE REMOVED COMPLETELY
C1	EXISTING BUILDING TO BE DEMOLISHED
C2	EXISTING METAL FENCE TO BE REMOVED COMPLETELY
D1	POWER POLE TO BE REMOVED COMPLETELY. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
D2	DRY UTILITY BOX/DEVICE TO BE REMOVED COMPLETELY - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER



REVISIONS	DESCRIPTION	DATE

TOWN OF KNIGHTDALE STANDARD DETAILS	PLANT PROTECTIVE FENCING	STD. NO. 2.10
--	--------------------------	------------------



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Wake Veterinary Hospital
 Rowdy Ridebacks Holdings LLC
 1007 Tandal Place, Knightdale, NC

PROJECT NUMBER:
20063

MASTER PLAN
SUBMISSION #1

04.25.2022

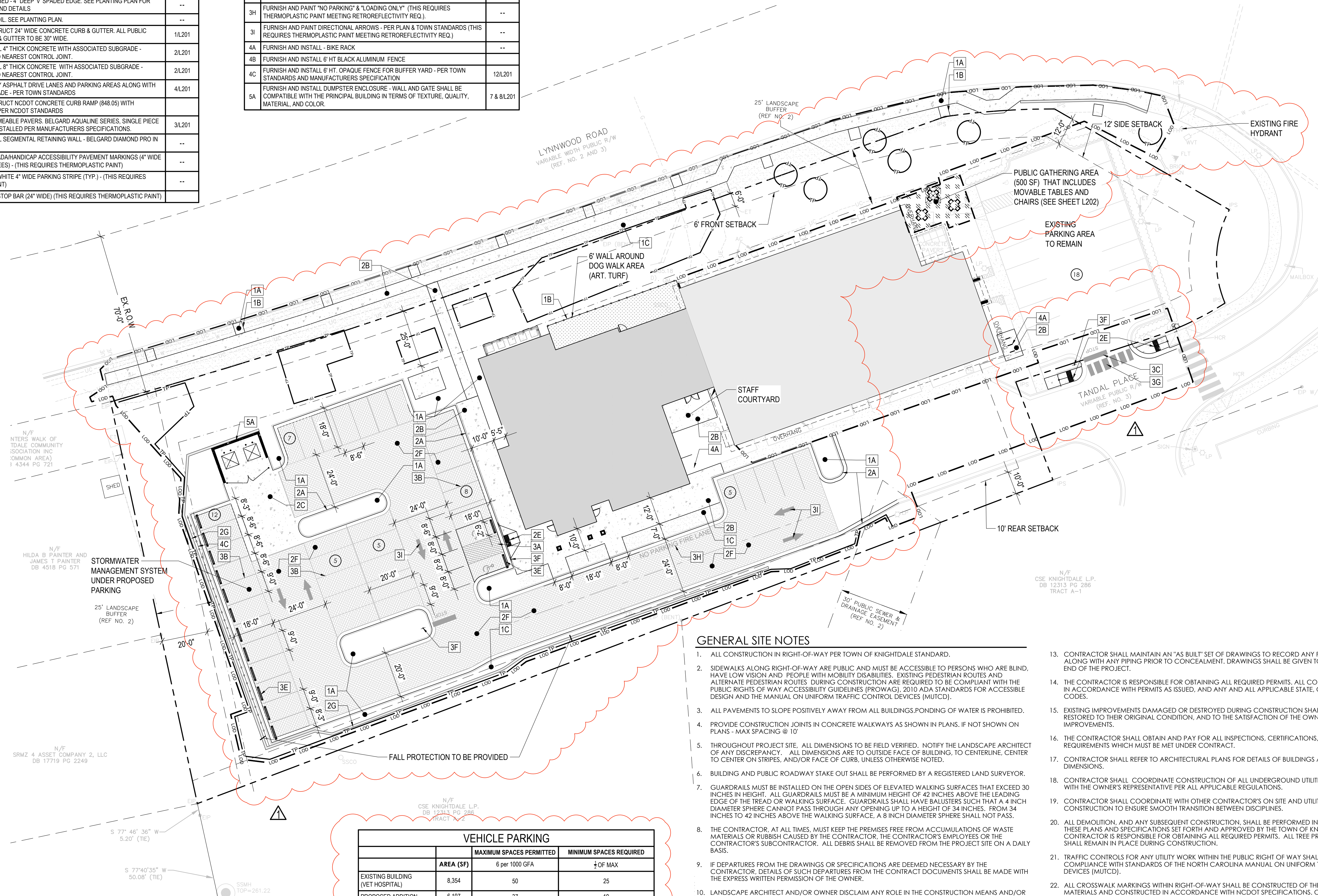
06.27.2022

DEMOLITION PLAN

SHEET NUMBER:
L101

KEY	DESCRIPTION	DETAIL / SHEET
1A	PLANTING BED - TRIPLE SHREDDED HARDWOOD MULCH - SEE PLANTING PLAN	--
1B	LIMITS OF PLANTING BED - 4" DEEP V SPADED EDGE. SEE PLANTING PLAN FOR ADDITIONAL NOTES AND DETAILS	--
1C	SOD ON AMENDED SOIL. SEE PLANTING PLAN	--
2A	FURNISH AND CONSTRUCT 24" WIDE CONCRETE CURB & GUTTER. ALL PUBLIC STREET/ROAD CURB & GUTTER TO BE 30" WIDE.	1/L201
2B	FURNISH AND INSTALL 4" THICK CONCRETE WITH ASSOCIATED SUBGRADE - SAWCUT EXISTING TO NEAREST CONTROL JOINT.	2/L201
2C	FURNISH AND INSTALL 8" THICK CONCRETE WITH ASSOCIATED SUBGRADE - SAWCUT EXISTING TO NEAREST CONTROL JOINT.	2/L201
2D	FURNISH HEAVY DUTY ASPHALT DRIVE LANES AND PARKING AREAS ALONG WITH ASSOCIATED SUBGRADE - PER TOWN STANDARDS	4/L201
2E	FURNISH AND CONSTRUCT NCDOT CONCRETE CURB RAMP (848.05) WITH TRUNCATED DOMES PER NCDOT STANDARDS	4/L201
2F	VEHICLE-RATED PERMEABLE PAVERS. BELGARD AQUALINE SERIES, SINGLE PIECE HATTERAS COLOR. INSTALLED PER MANUFACTURERS SPECIFICATIONS.	3/L201
2G	FURNISH AND INSTALL SEGMENTAL RETAINING WALL - BELGARD DIAMOND PRO IN PLANTATION COLOR	--
3A	FURNISH AND PAINT ADA/HANDICAP ACCESSIBILITY PAVEMENT MARKINGS (4" WIDE STRIPES AT 45 DEGREES) - (THIS REQUIRES THERMOPLASTIC PAINT)	--
3B	FURNISH AND PAINT WHITE 4" WIDE PARKING STRIPE (TYP.) - (THIS REQUIRES THERMOPLASTIC PAINT)	--
3C	FURNISH AND PAINT STOP BAR (24" WIDE) (THIS REQUIRES THERMOPLASTIC PAINT)	--

3D	FURNISH AND INSTALL TOWN STANDARD 'STOP' SIGN (R1-1 / 30")	--
3E	FURNISH AND INSTALL PRECAST CONCRETE WHEELSTOP PER PARKING SPACE	11/L201
3F	FURNISH AND INSTALL TOWN STANDARD 'HANDICAP PARKING' SIGN	10/L201
3G	FURNISH AND PAINT CROSSWALK - PER TOWN STANDARDS (THIS REQUIRES THERMOPLASTIC PAINT)	--
3H	FURNISH AND PAINT "NO PARKING" & "LOADING ONLY" (THIS REQUIRES THERMOPLASTIC PAINT MEETING RETROREFLECTIVITY REQ.)	--
3I	FURNISH AND PAINT DIRECTIONAL ARROWS - PER PLAN & TOWN STANDARDS (THIS REQUIRES THERMOPLASTIC PAINT MEETING RETROREFLECTIVITY REQ.)	--
4A	FURNISH AND INSTALL - BIKE RACK	--
4B	FURNISH AND INSTALL 6' HT BLACK ALUMINUM FENCE	--
4C	FURNISH AND INSTALL 6' HT OPAQUE FENCE FOR BUFFER YARD - PER TOWN STANDARDS AND MANUFACTURERS SPECIFICATION	12/L201
5A	FURNISH AND INSTALL DUMPSTER ENCLOSURE - WALL AND GATE SHALL BE COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL, AND COLOR.	7 & 8/L201



GENERAL SITE NOTES

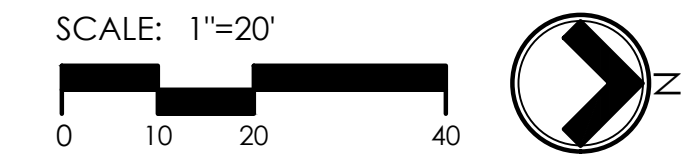
- ALL CONSTRUCTION IN RIGHT-OF-WAY PER TOWN OF KNIGHTDALE STANDARD.
- SIDEWALKS ALONG RIGHT-OF-WAY ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- BUILDING AND PUBLIC ROADWAY STAKE OUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED 30 INCHES IN HEIGHT. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE. GUARDRAILS SHALL HAVE BALUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENINGS UP TO A HEIGHT OF 34 INCHES. FROM 34 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE, A 8 INCH DIAMETER SPHERE SHALL NOT PASS.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE TOWN OF KNIGHTDALE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH NCDOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND NCDOT STANDARDS.
- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.

VEHICLE PARKING			
	AREA (SF)	MAXIMUM SPACES PERMITTED	MINIMUM SPACES REQUIRED
EXISTING BUILDING (VET HOSPITAL)	8,354	50	25
PROPOSED ADDITION	6,197	37	19
TOTAL	14,551	87	44

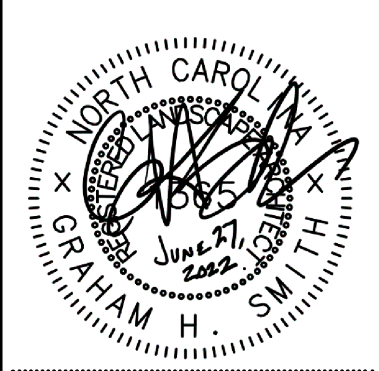
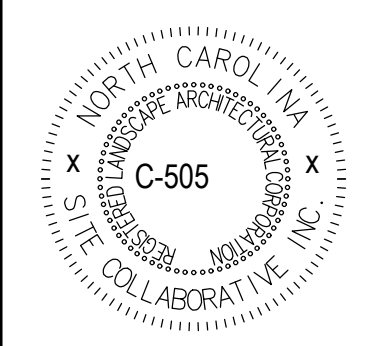
TOTAL EXISTING SPACES	37
TOTAL PROPOSED SPACES	60
DIFFERENCE	23

ACCESSIBLE PARKING		
TOTAL # OF SPACES	REQUIRED	PROVIDED
60	4	4

BICYCLE PARKING	
REQUIRED	PROVIDED
5	6



821 Wake Forest Road
Raleigh, NC 27604 | 919.805.3596



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Wake Veterinary Hospital
Rowdy Ridebacks Holdings LLC
1007 Tandall Place, Knightdale, NC

PROJECT NUMBER:
20063

MASTER PLAN
SUBMISSION #1

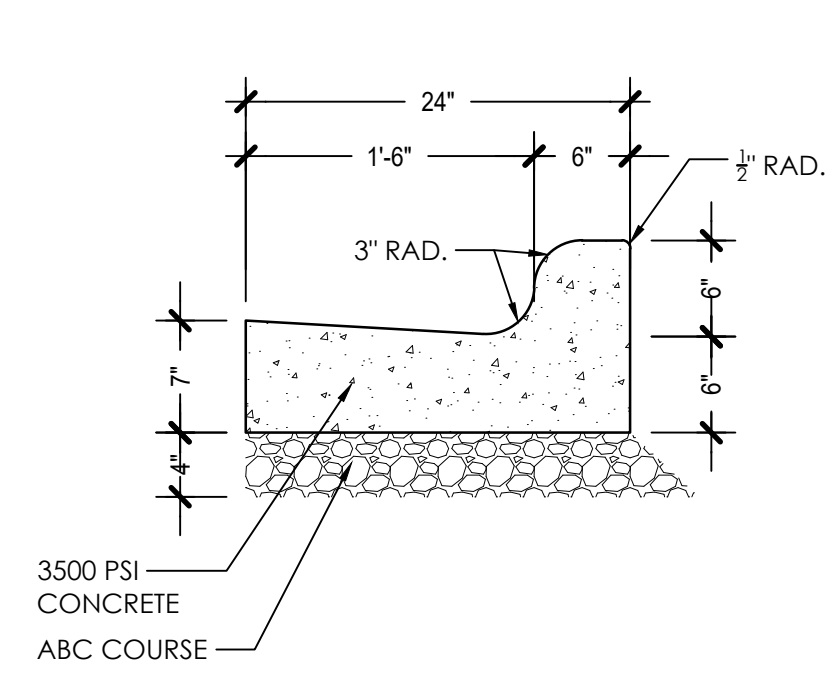
04.25.2022

06.27.2022

LAYOUT &
MATERIALS

SHEET NUMBER:

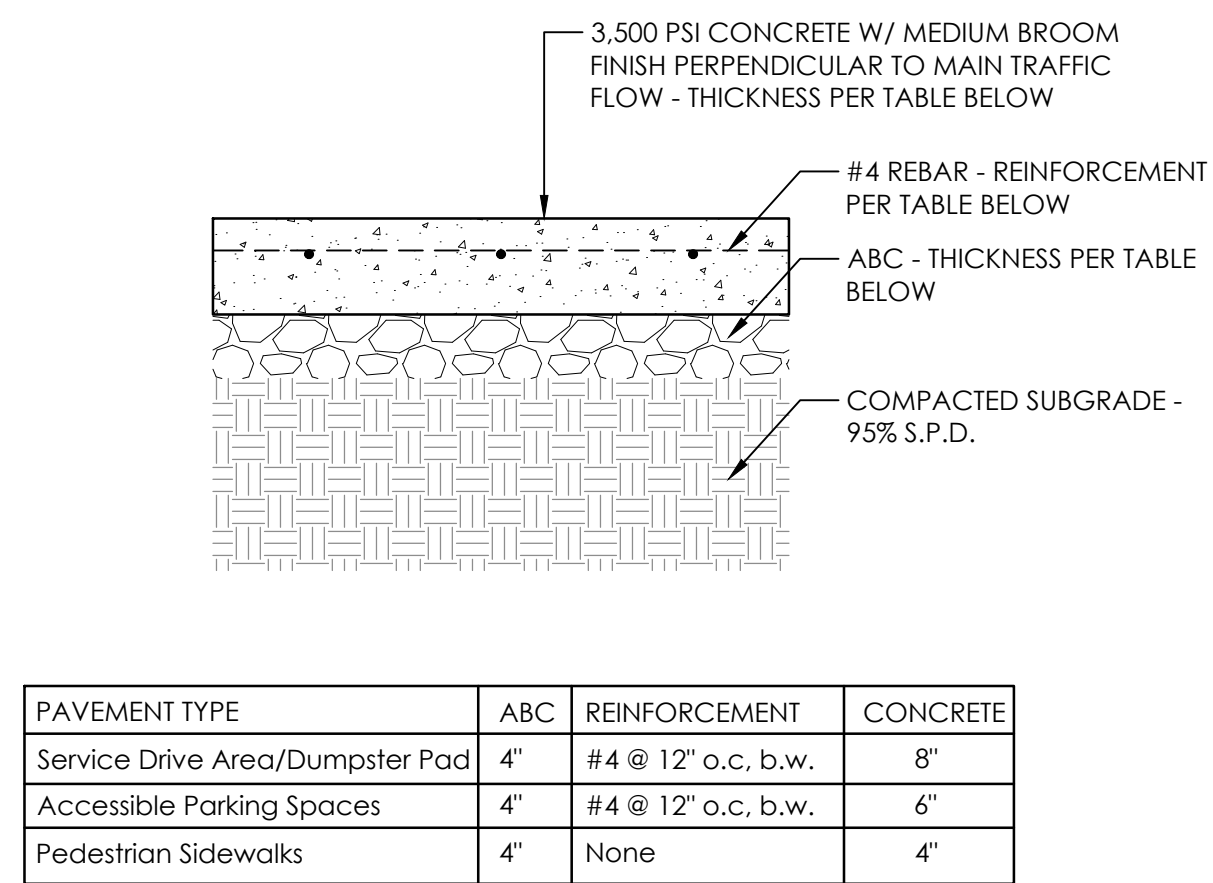
L200



- NOTES:
- UTILIZE THIS DETAIL FOR ALL CURB & GUTTER WITHIN SITE ONLY.
 - CONTRACTION / CONTROL JOINTS SHALL BE SPACED AT 10' INTERVALS (15' SPACING ALLOWED WHEN MACHINE IS USED.) EXPANSION / CONTRACTION JOINTS SHALL BE SPACED AT A MAX. SPACING OF 50'.
 - FINISH ALL CONCRETE WITH CURING COMPOUND.

1 CURB & GUTTER - ON SITE

SCALE: 1" = 1'-0"

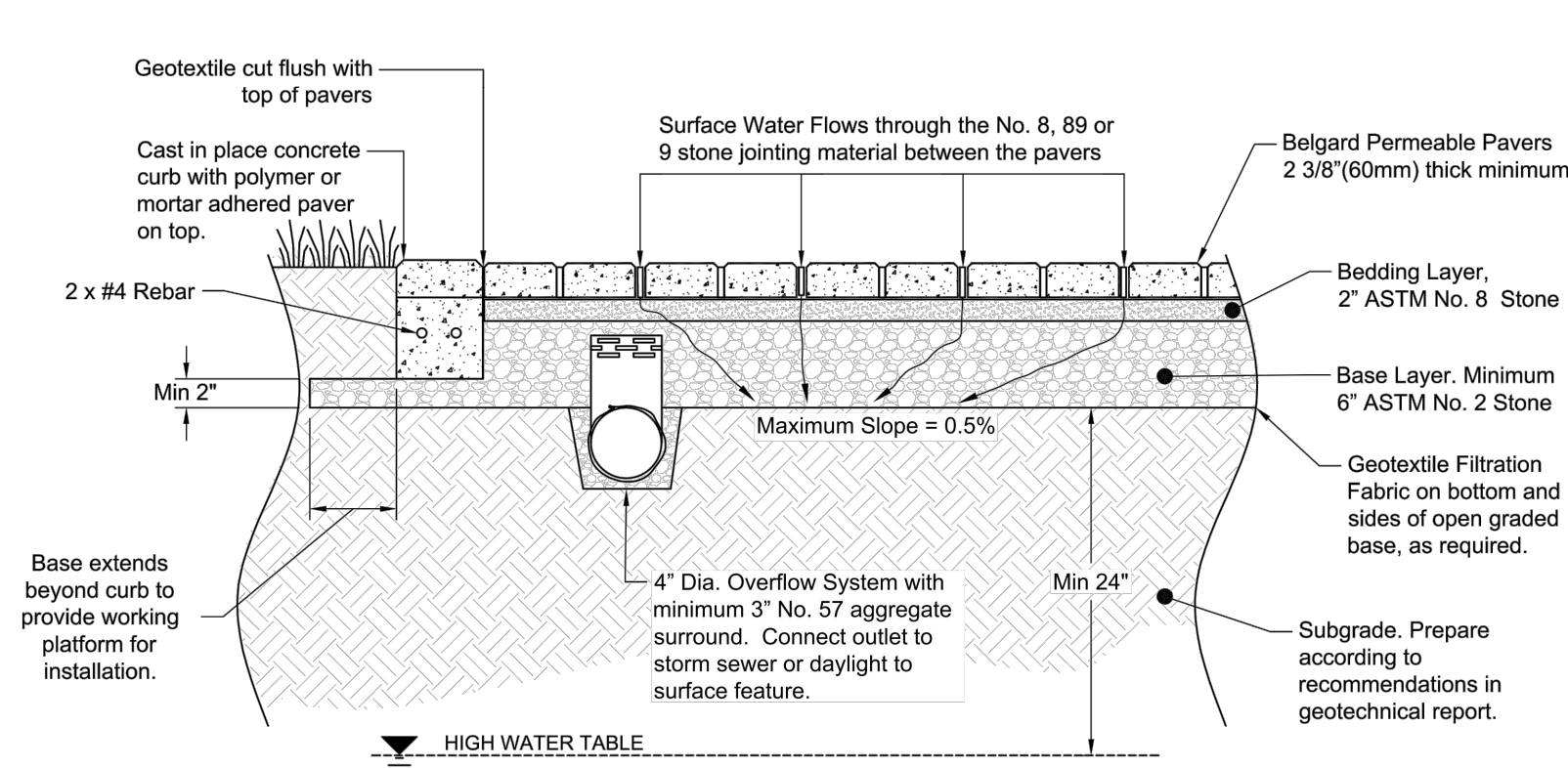


PAVEMENT TYPE	ABC	REINFORCEMENT	CONCRETE
Service Drive Area/Dumpster Pad	4"	#4 @ 12" o.c. b.w.	8"
Accessible Parking Spaces	4"	#4 @ 12" o.c. b.w.	6"
Pedestrian Sidewalks	4"	None	4"

- NOTES:
- CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING.
 - SEE PLANS FOR JOINT LOCATIONS.
 - SEE 4/L201 FOR JOINT DETAIL.

2 CONCRETE PAVING

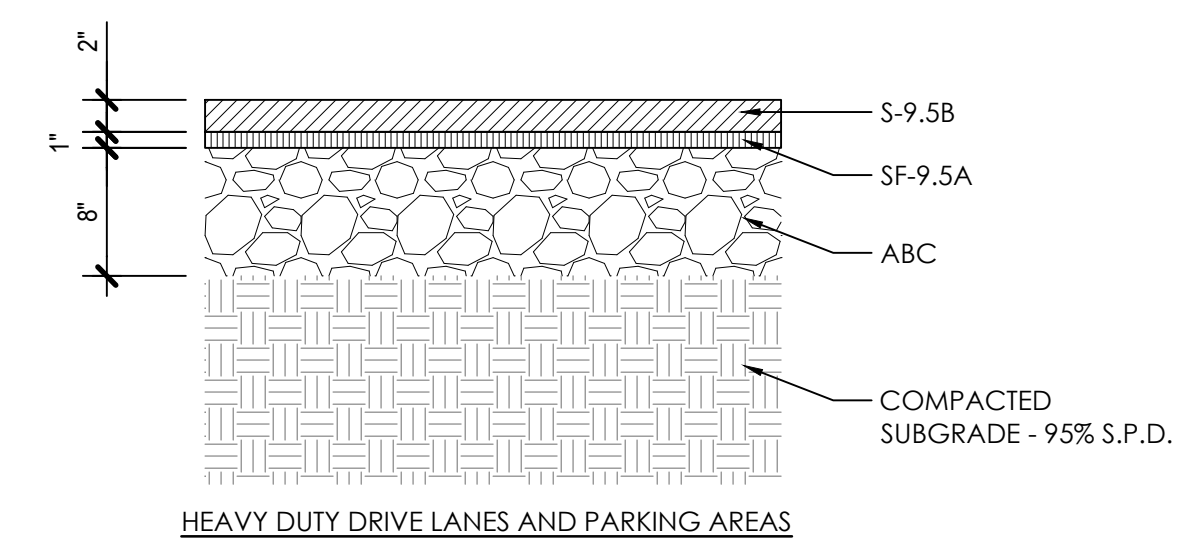
SCALE: 1" = 1'-0"



- Design Notes:
- Cross section as shown is suitable for pedestrian or commercial plaza use only. Depth of base subject to site specific hydraulic and structural requirements. Contact Oldcastle Architectural for design assistance.
 - Paver dimensions subject to aspect and plan ratio requirements based on traffic loading, including any maintenance and/or emergency vehicles.
 - Geotechnical engineer needs to balance structural stability and soil infiltration when recommending subgrade conditions.
 - Optional overflow system may be required to manage extreme rainfall events, or if pavement surface receives runoff from adjacent impervious surfaces or roofs. Locate vertical riser pipes away from vehicular traffic areas.
 - Where the filtration geotextile is used, verify with the manufacturer that the material is not subject to clogging.
 - Cast in place curb can be without paver on top. In such case, top of curb should be level with concrete paver field.

3 BELGARD VEHICLE-RATED PERMEABLE PAVER

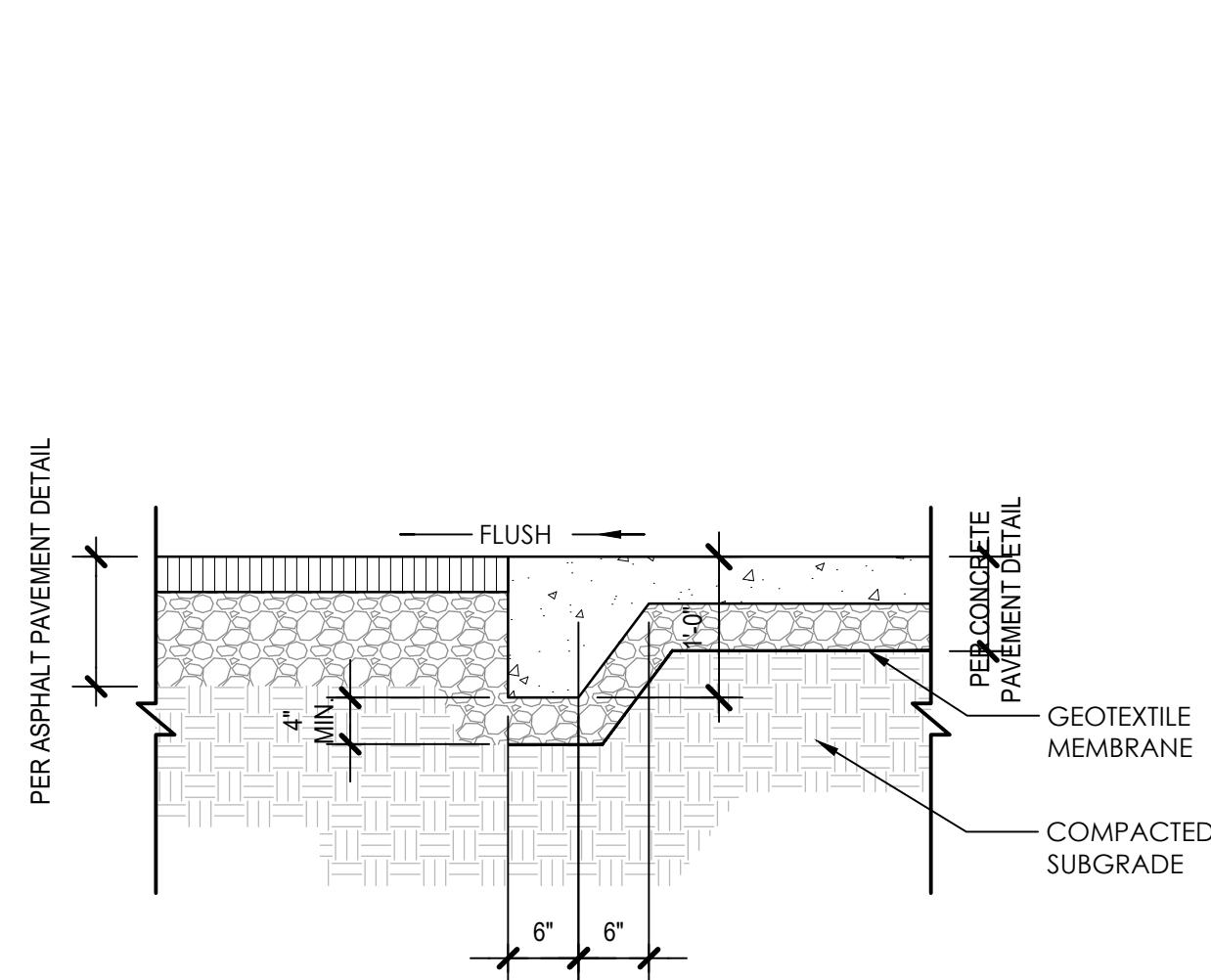
SCALE: 1" = 1'-0"



- NOTES:
- CONTRACTOR TO VERIFY PAVEMENT DESIGN WITH GEOTECHNICAL REPORT PRIOR TO INSTALLATION.

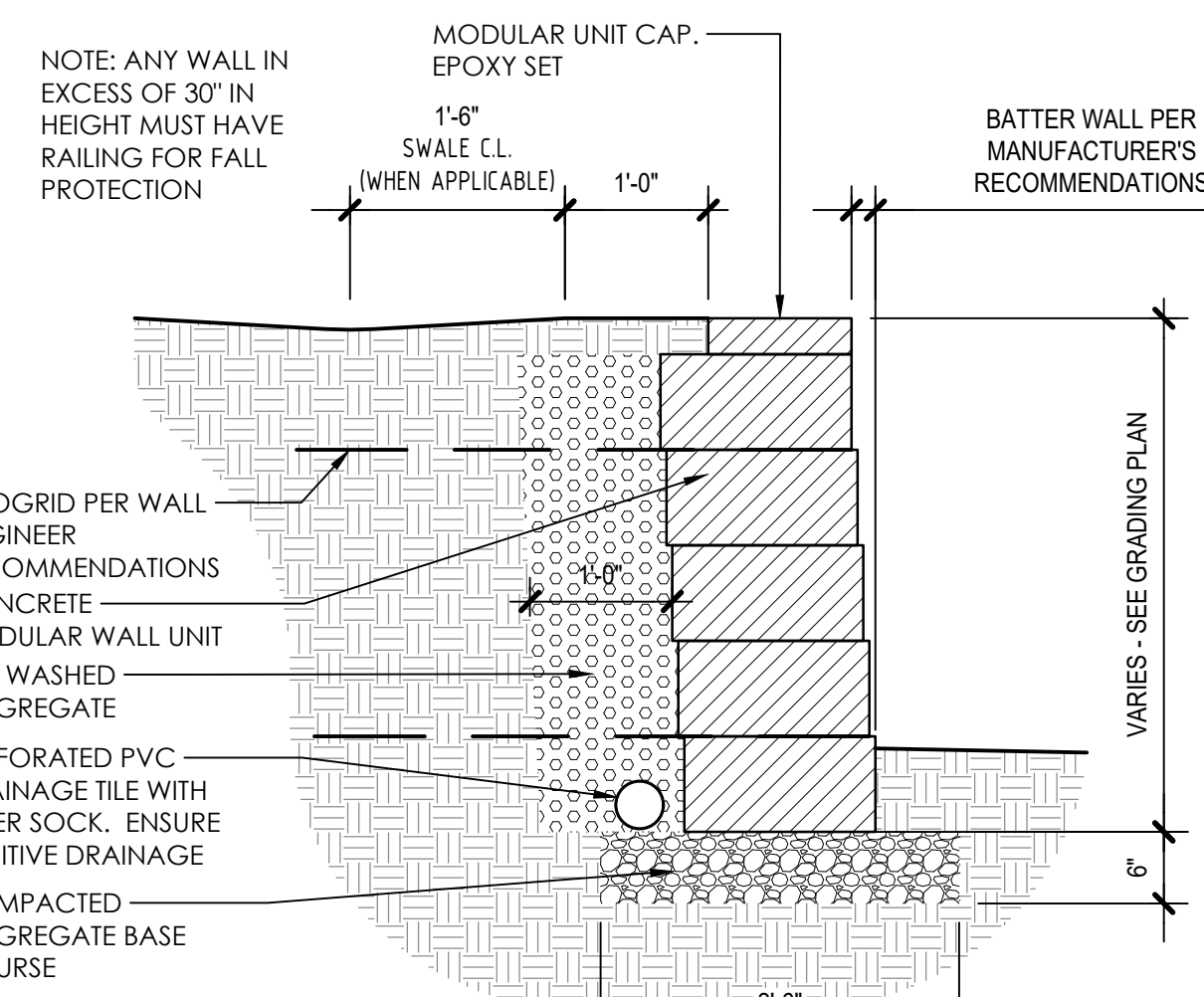
4 ASPHALT PAVING

SCALE: 1" = 1'-0"



5 ASPHALT TO CONCRETE TRANSITION

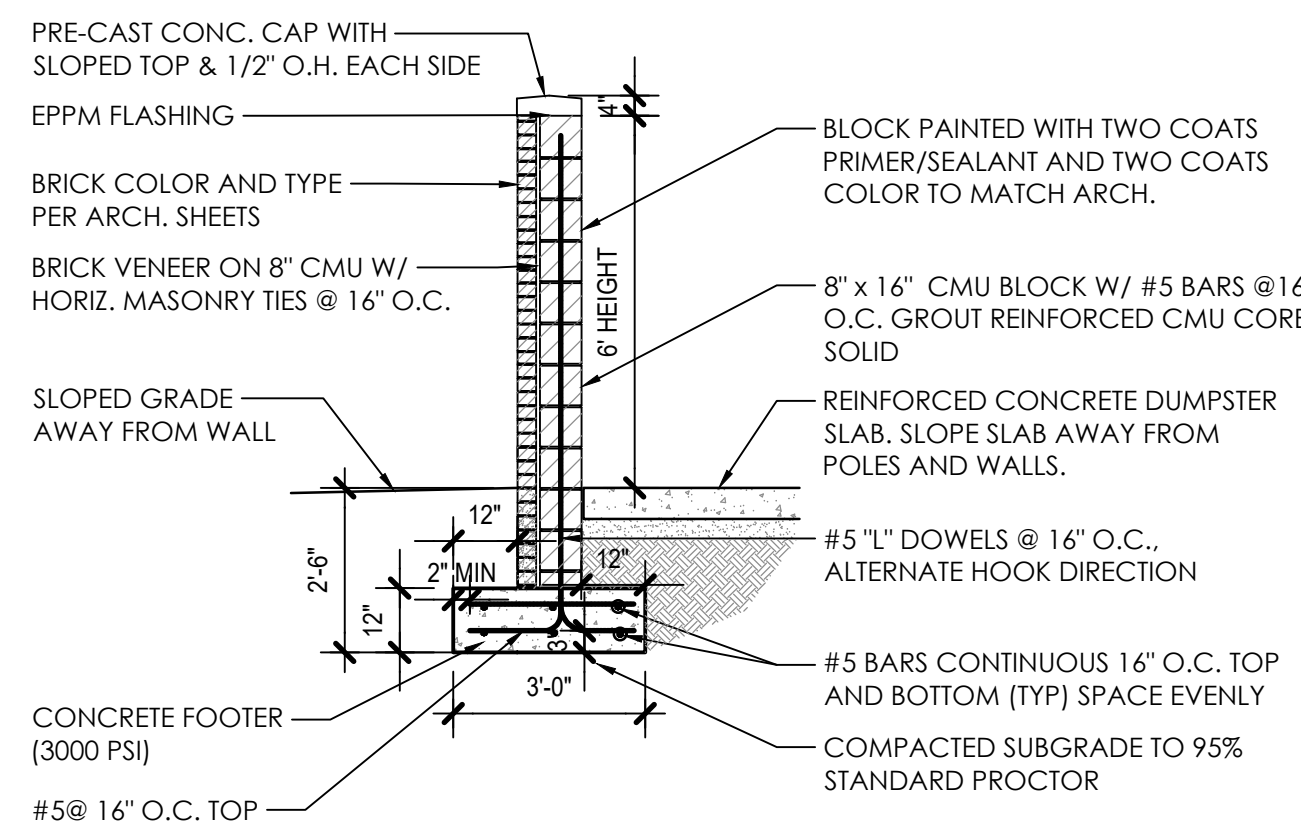
SCALE: 3/4" = 1'-0"



- NOTE:
- DO NOT UTILIZE THIS DETAIL FOR WALL HEIGHTS GREATER THAN 4'. WALLS EXCEEDING 4' HEIGHT WILL REQUIRE SEAL FROM STRUCTURAL ENGINEER.
 - WALL LENGTH NOT TO EXCEED 100' WITHOUT AN INTERRUPTION IN THE WALL PLANE. THIS MAY BE ACHIEVED THROUGH THE USE OF COLUMNS, LANDSCAPE AREAS, CHANGE IN MATERIAL, ETC.
 - BELGARD ANCHOR DIAMOND PRO 'SHEFFIELD' COLOR. -SEE SHEET L-2.2

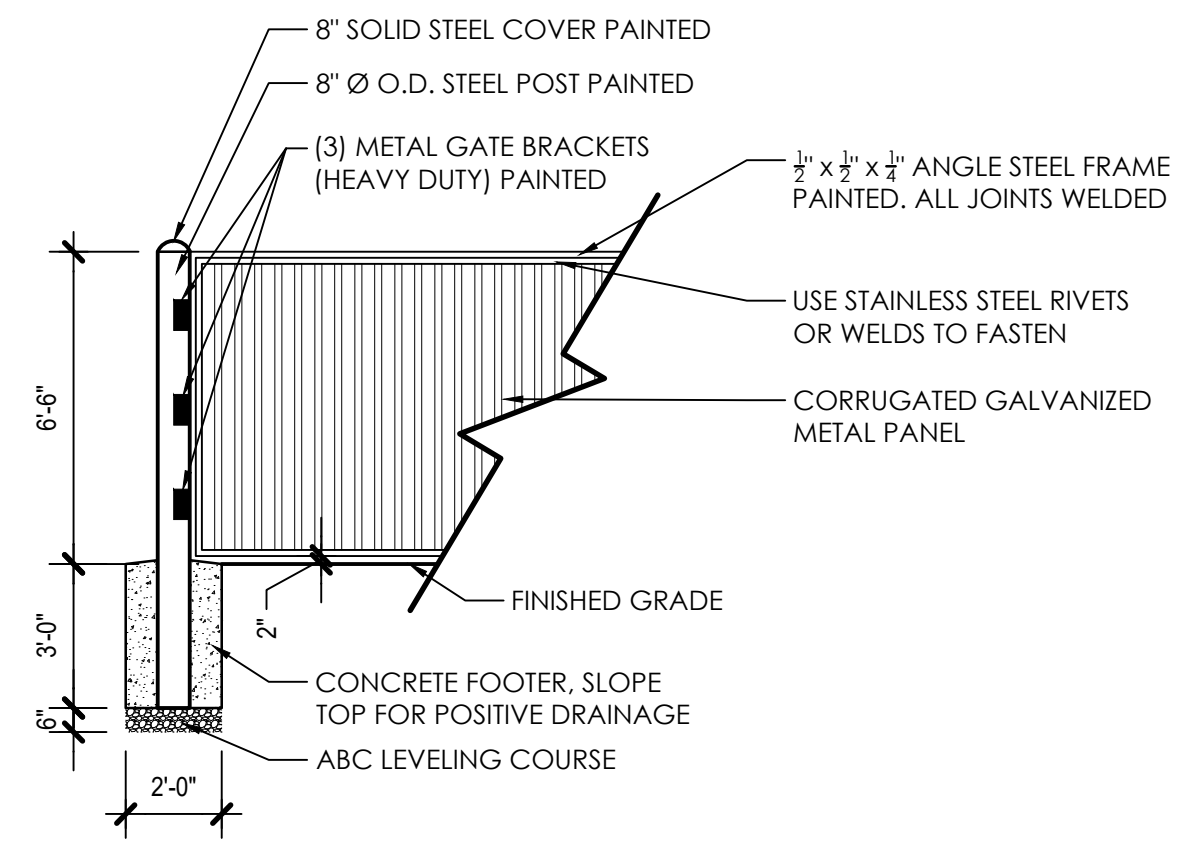
6 SEGMENTAL RETAINING WALL

SCALE: 1/2" = 1'-0"



7 DUMPSTER ENCLOSURE

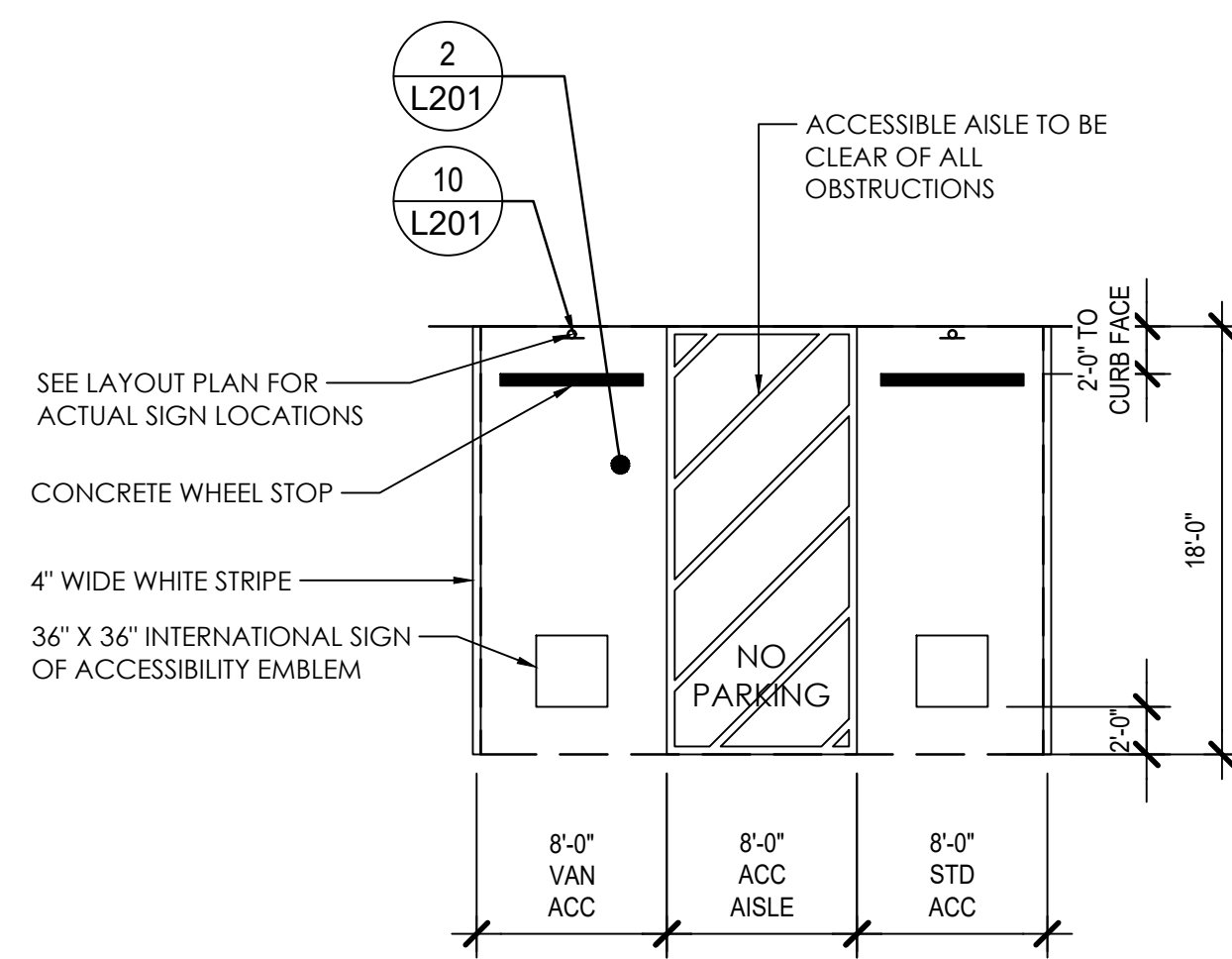
SCALE: 3/4" = 1'-0"



- NOTE:
- ALL SURFACES PAINTED WITH TWO COATS PRIMER/SEALANT AND TWO COATS COLOR TO MATCH ARCHITECTURE.

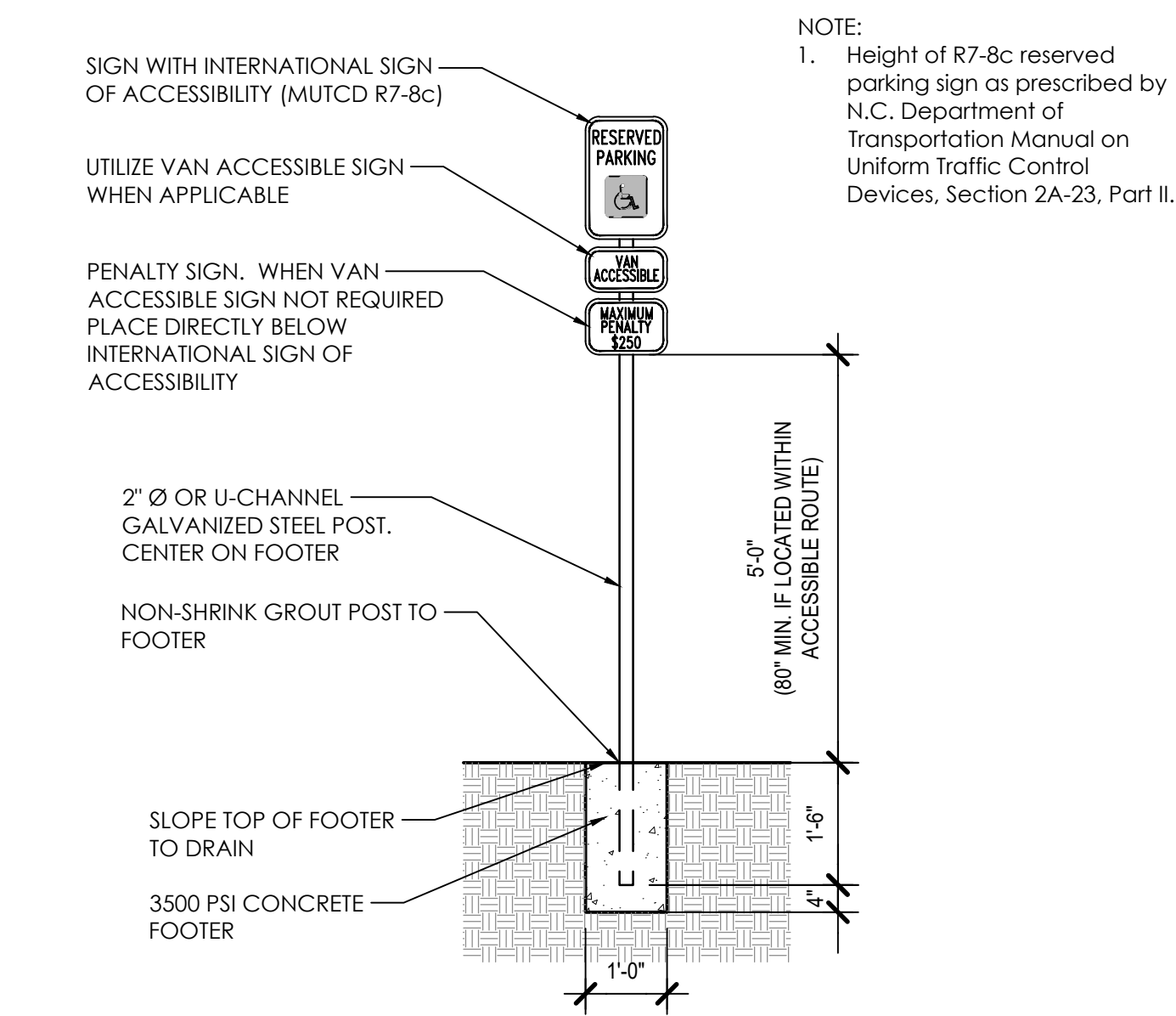
8 DUMPSTER ENCLOSURE GATE

SCALE: 1/4" = 1'-0"



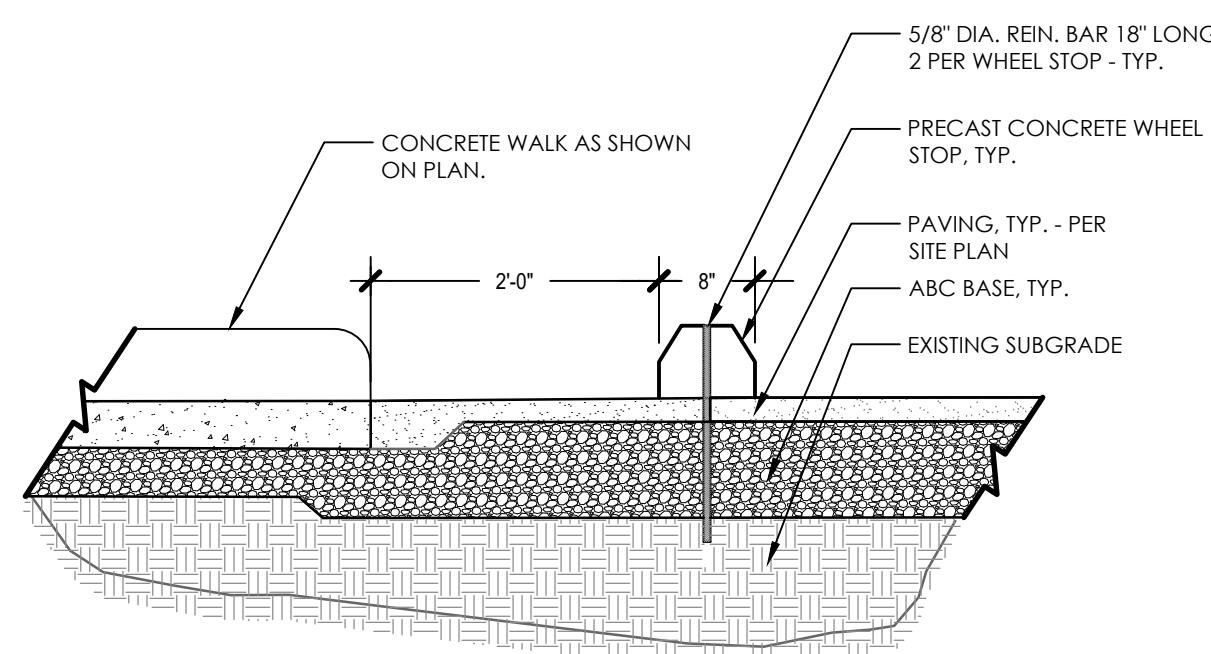
9 ACCESSIBLE PARKING SPACE

SCALE: 1/8" = 1'-0"



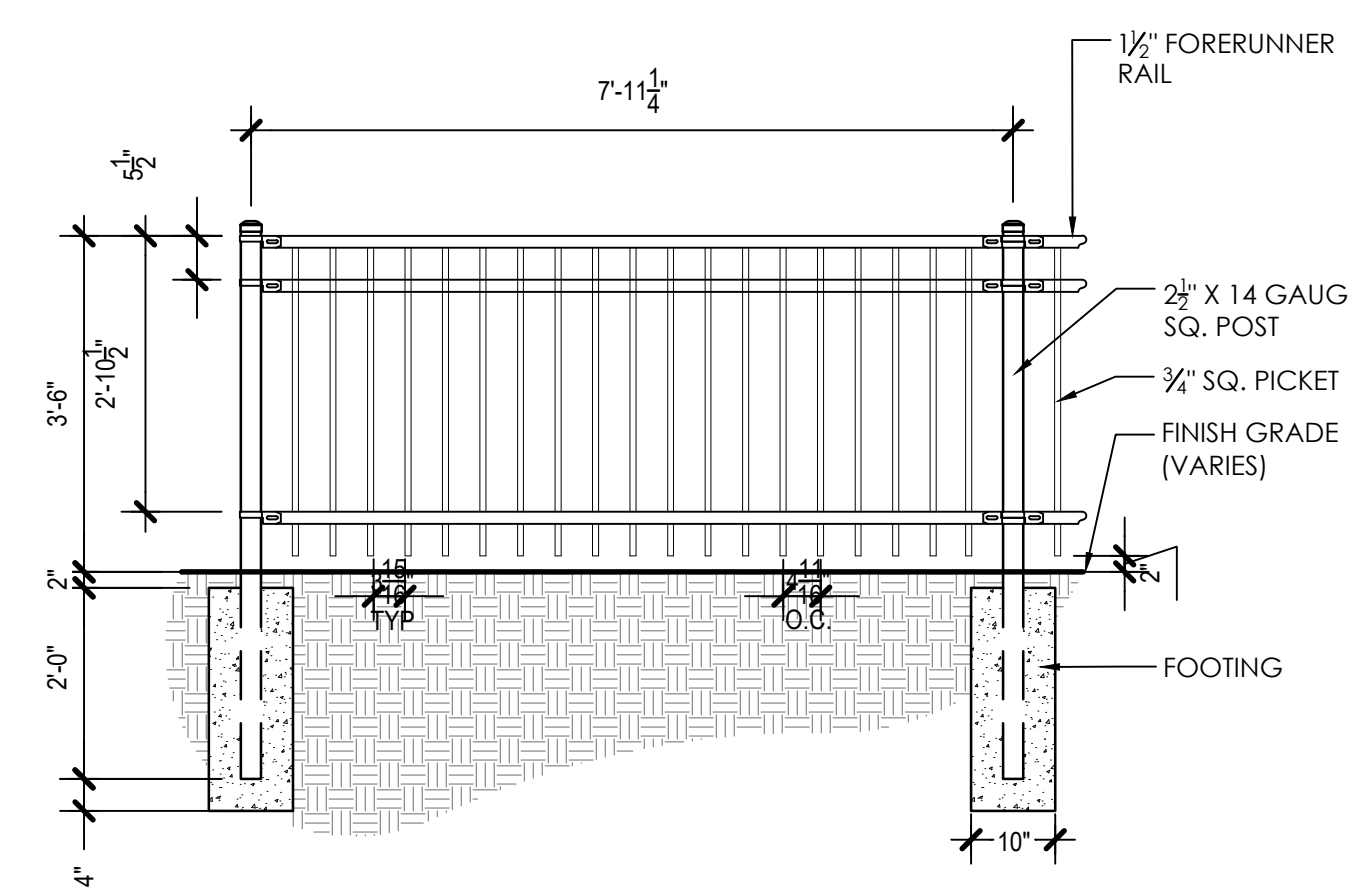
10 ACCESSIBLE SIGN

SCALE: 1/2" = 1'-0"



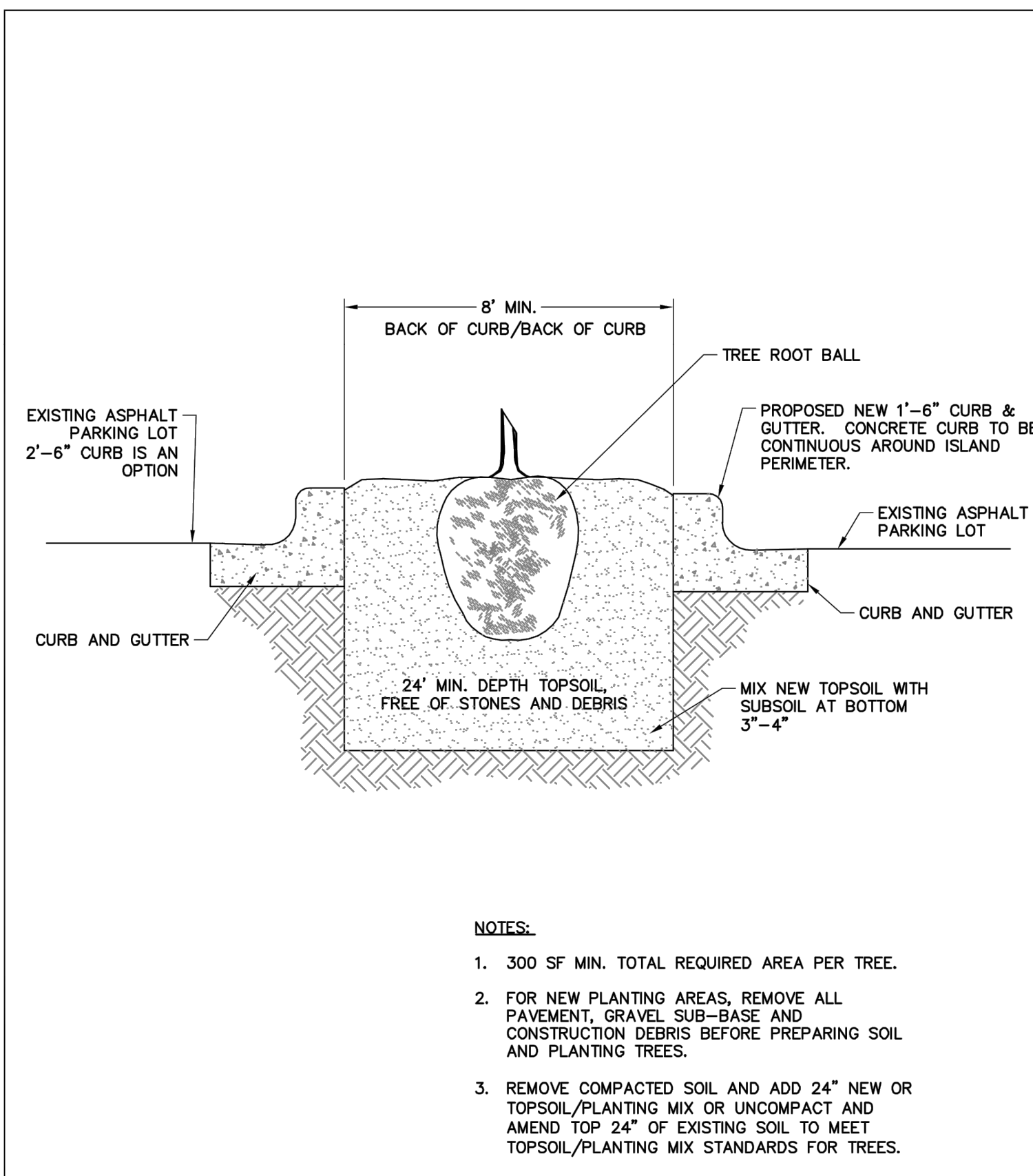
11 CONCRETE WHEEL STOP

SCALE: 1/2" = 1'-0"



12 STEEL DECORATIVE FENCE

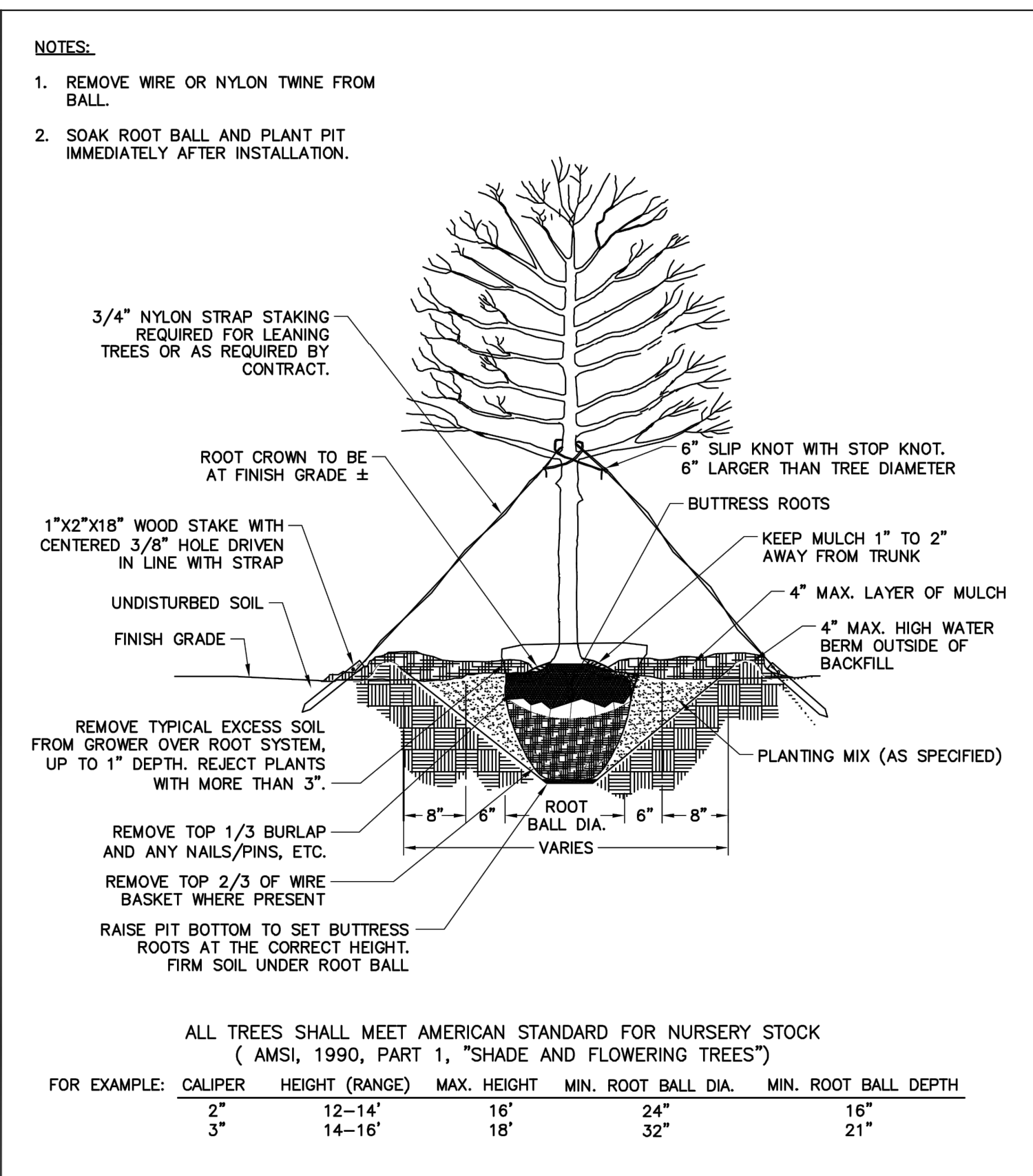
SCALE: 1/2" = 1'-0"



- NOTES:**
- 300 SF MIN. TOTAL REQUIRED AREA PER TREE.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
 - REMOVE COMPACTED SOIL AND ADD 24\"/>

REVISIONS		DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING ISLAND IN PARKING LOTS	STD. NO.	3.23
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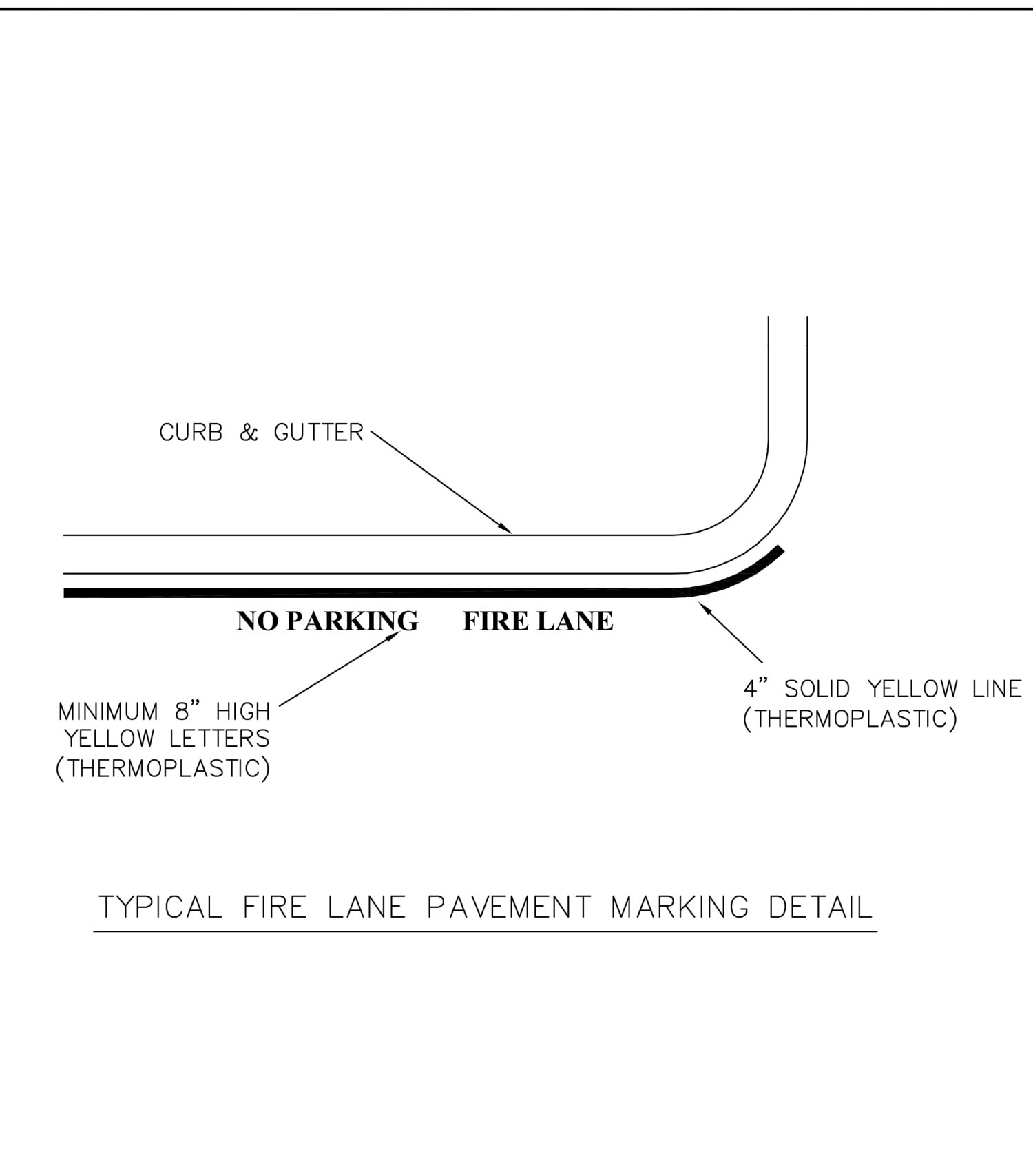
ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMSI, 1990, PART 1, "SHADE AND FLOWERING TREES")

FOR EXAMPLE:

CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	16'	24"	16"
3"	14-16'	18'	32"	21"

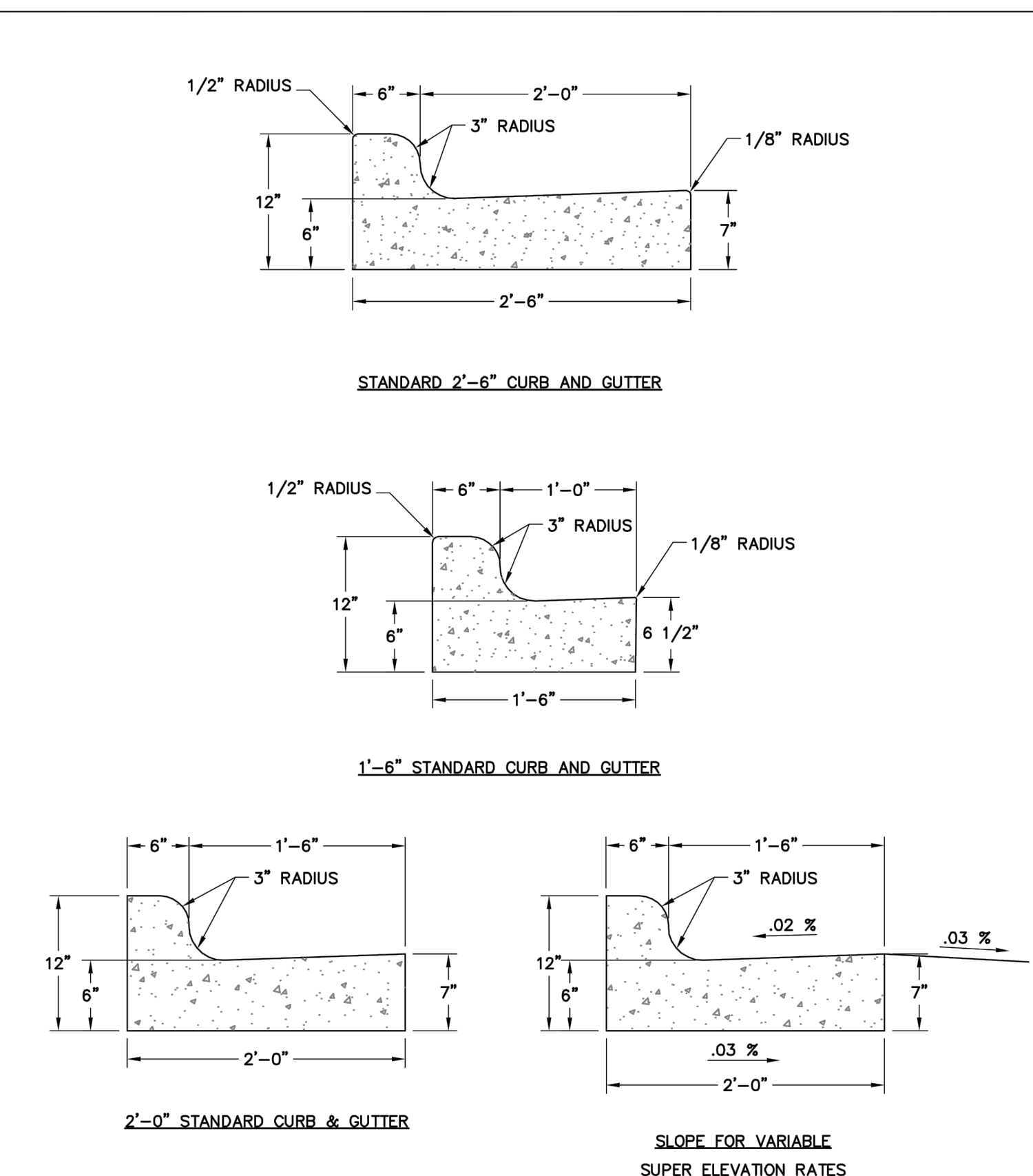
REVISIONS		DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)	STD. NO.	3.25
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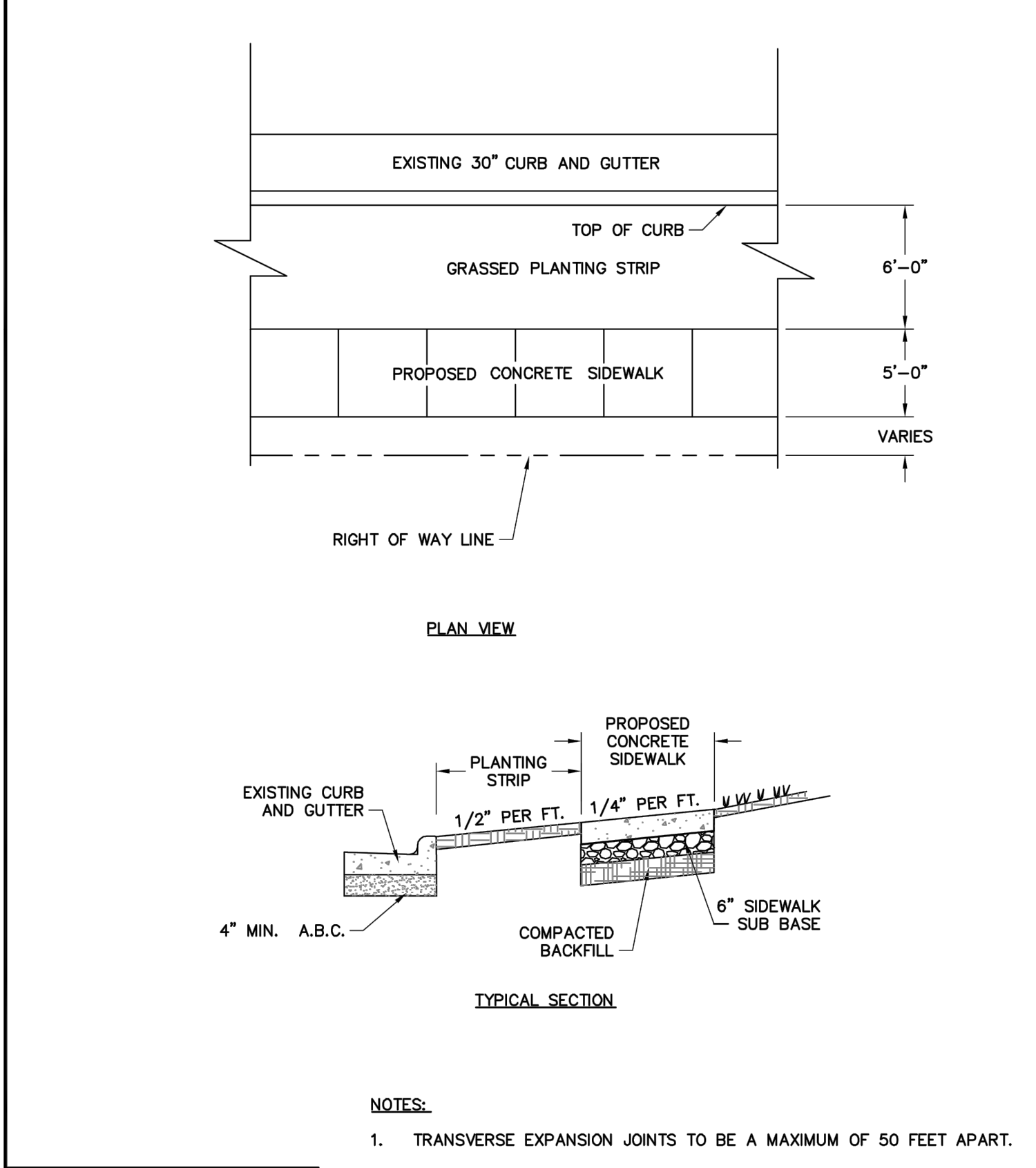
REVISIONS		DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	FIRE LANE PAVEMENT MARKING	STD. NO.	3.31
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REVISIONS		DATE	DESCRIPTION

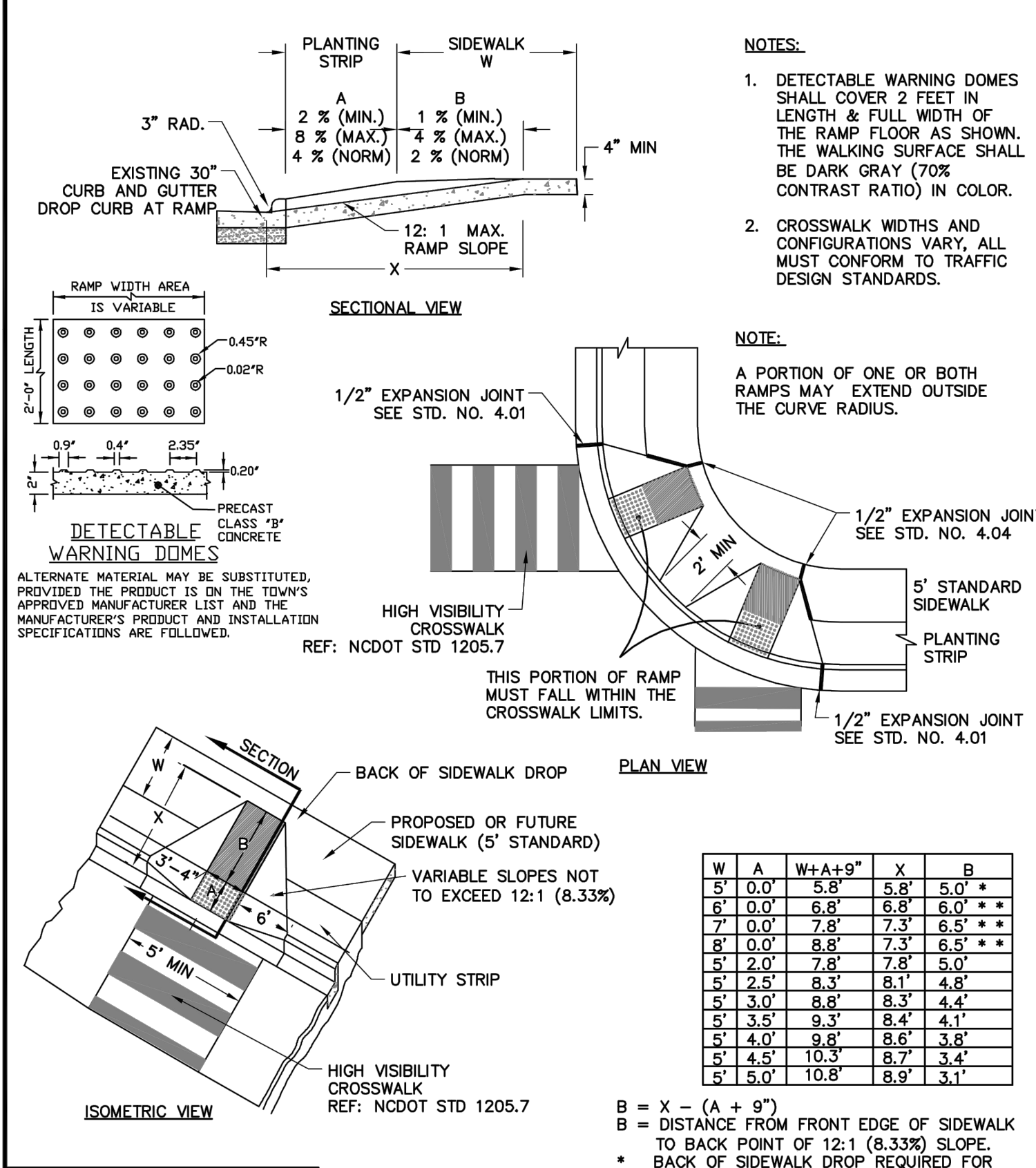
TOWN OF KNIGHTDALE STANDARD DETAILS	CURB AND GUTTER	STD. NO.	4.01
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- NOTES:**
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET APART.
 - CONTROL JOINTS TO BE AT 5 FEET O.C.
 - ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.
 - SIDEWALK SUB BASE TO BE A MIXTURE OF 70 PERCENT #57 STONE AND ASTM C33 SAND OR EQUAL.

REVISIONS		DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	CONCRETE SIDEWALKS	STD. NO.	4.04
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NOTE:

A PORTION OF ONE OR BOTH RAMPS MAY EXTEND OUTSIDE THE CURVE RADIUS.

NOTE:

A PORTION OF ONE OR BOTH RAMPS MAY EXTEND OUTSIDE THE CURVE RADIUS.

W	A	W+A+9'	X	B
5'	0.0'	5.8'	5.8'	5.0'
6'	0.0'	6.8'	6.8'	6.0'
7'	0.0'	7.8'	7.3'	6.5'
8'	0.0'	8.8'	7.3'	6.5'
5'	2.0'	7.8'	7.8'	5.0'
5'	2.5'	8.3'	8.1'	4.8'
5'	3.0'	8.8'	8.3'	4.4'
5'	3.5'	9.3'	8.4'	4.1'
5'	4.0'	9.8'	8.6'	3.8'
5'	4.5'	10.3'	8.7'	3.4'
5'	5.0'	10.8'	8.9'	3.1'

B = X - (A + 9')

B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (8.33%) SLOPE.

* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES

** BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES OF 0.04.

REVISIONS		DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	WHEELCHAIR RAMP CURB CUT	STD. NO.	4.06
-------------------------------------	--------------------------	----------	------

COURTYARD

COURTYARD TABLE SET
All Courtyard pieces are Exclusive By Design™.

KEYSHIELD® METAL FINISH
The trademarked KEYSHIELD® finish protects each piece of furniture from chipping, cracking, and UV damage while providing unparalleled corrosion resistance. Steel products are finished with a two-coat powder coating process applied to a 7-15 mil thickness. Substrate preparation includes sandblasting to a white finish to remove all surface contaminants. The raw product then receives a corrosion-inhibiting phosphate coating prior to the application of the powder coating. The first coat applied to the substrate is zinc rich epoxy powder primer used exclusively on sandblasted parts. The second coat is a colored polyester powder coating. Both coats are electrostatically applied and oven cured according to powder coating manufacturing specifications to create a smooth, satin-like finish and a low-emitting non-porous armor.

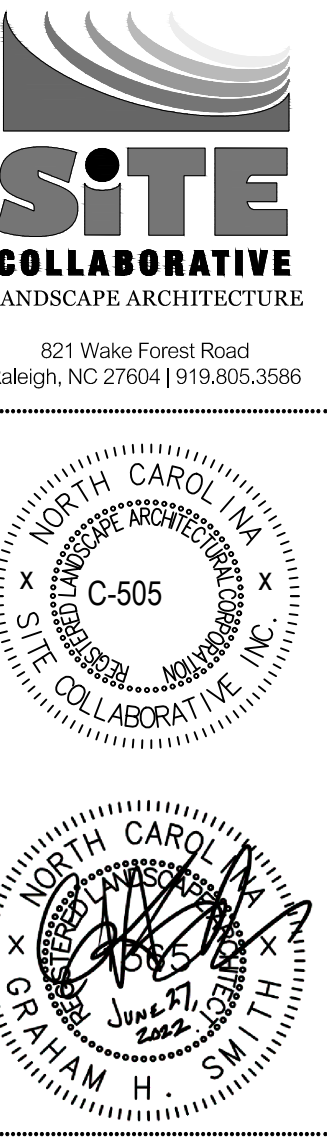
SOME ASSEMBLY REQUIRED
The Courtyard table set is manufactured to provide ultimate stability and avoid damage during transit to the site. Minor assembly is required. Instructions are included with each shipment.

MATERIALS
Commercial-grade materials, 25% recycled raw steel, 100% recyclable steel and sustainable hardwood; chairs completely welded for optimum strength and stability according to Keystone Ridge Designs, Inc. CAD drawing; table top must be bolted to legs during site installation; table: 11 gauge solid 40" round table top, 11 gauge x 1" OD legs accented with 3/8" OD leg spacers; chairs: 1/2" square solid legs with 1" OD solid top and bottom rails; 3/16" x 1-1/2" flat evenly-spaced seat slats.

TABLE DIMENSIONS:
CY6 WITH ARMS: TABLE DIAMETER 40", TABLE HEIGHT 30", WEIGHT 308 lbs.
CY6-N WITHOUT ARMS: TABLE DIAMETER 40", TABLE HEIGHT 30", WEIGHT 308 lbs.

PROPRIETARY STATEMENT
Keystone Ridge Designs, Inc.® is proud to offer the design community exceptional site amenities. Due to the time and resources invested in designing, manufacturing and marketing Keystone Ridge Designs' products and services, we pursue design patents, copyrights, trademarks and service marks whenever possible. Any unlawful duplication or misrepresentation of Keystone Ridge Designs' products will be rigorously protected.

670 Mercer Road | Butler, PA 16001-1840
Toll-free: 1-800-284-8208 | Phone: 724-284-1213 | Fax: 724-284-1253
www.keystoneridgedesigns.com



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Wake Veterinary Hospital
Rowdy Ridebacks Holdings LLC
1007 Tandal Place, Knightdale, NC

PROJECT NUMBER:
20063

PROJECT PHASE:
MASTER PLAN
SUBMISSION #1

DATE:
04.25.2022

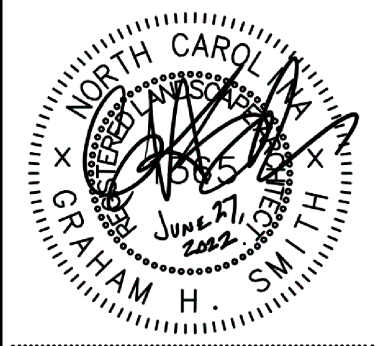
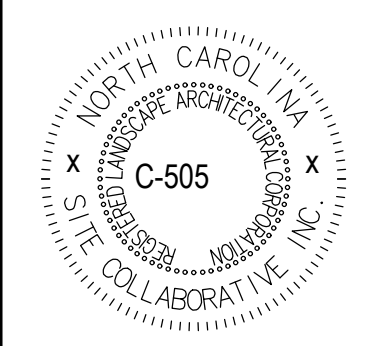
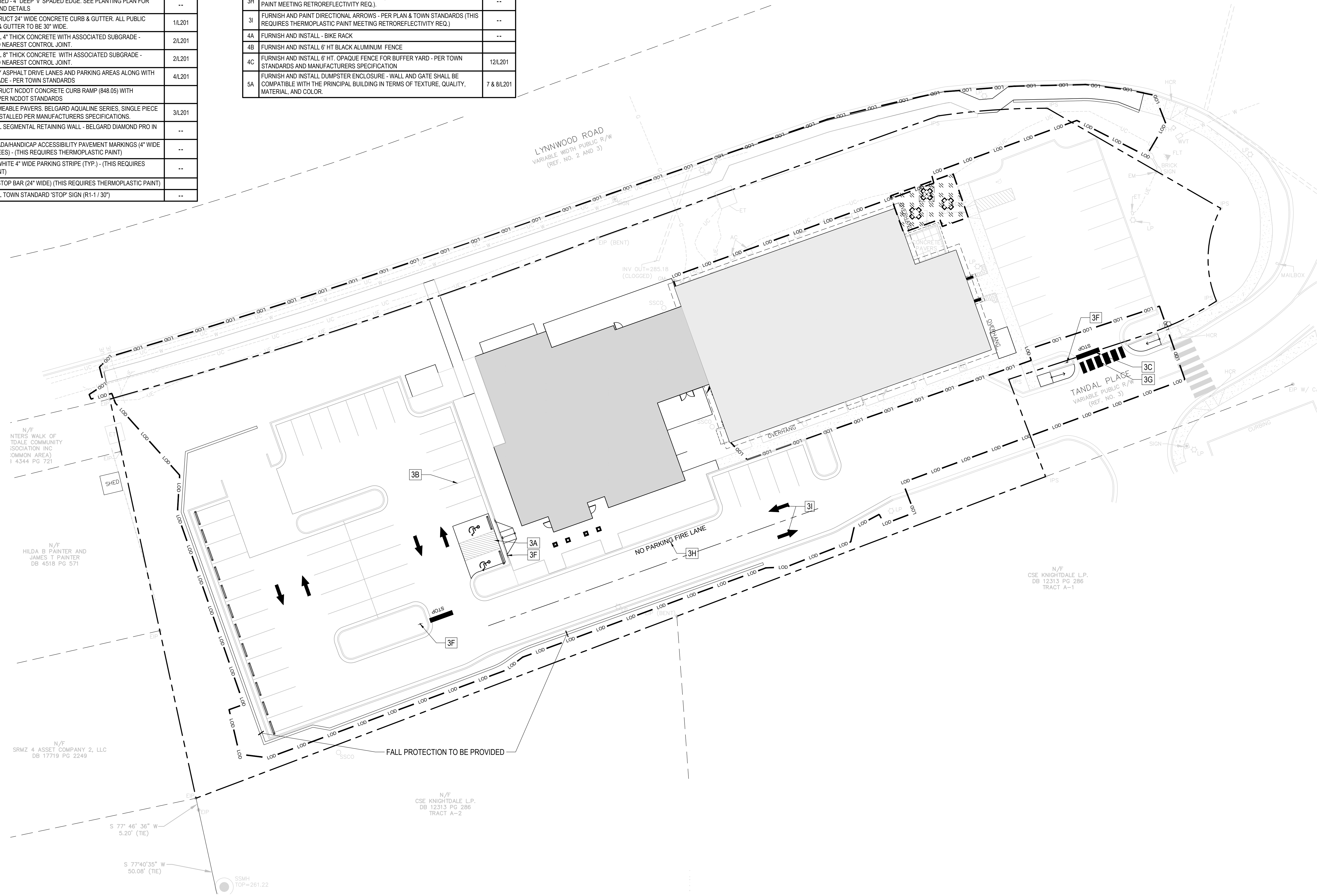
06.27.2022

SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
L202

KEY	DESCRIPTION	DETAIL / SHEET
1A	PLANTING BED - TRIPLE SHREDDED HARDWOOD MULCH - SEE PLANTING PLAN	--
1B	LIMITS OF PLANTING BED - 4" DEEP V' SPADED EDGE. SEE PLANTING PLAN FOR ADDITIONAL NOTES AND DETAILS	--
2A	FURNISH AND CONSTRUCT 24" WIDE CONCRETE CURB & GUTTER. ALL PUBLIC STREET/ROAD CURB & GUTTER TO BE 30" WIDE.	1/L201
2B	FURNISH AND INSTALL 4" THICK CONCRETE WITH ASSOCIATED SUBGRADE - SAWCUT EXISTING TO NEAREST CONTROL JOINT.	2/L201
2C	FURNISH AND INSTALL 8" THICK CONCRETE WITH ASSOCIATED SUBGRADE - SAWCUT EXISTING TO NEAREST CONTROL JOINT.	2/L201
2D	FURNISH HEAVY DUTY ASPHALT DRIVE LANES AND PARKING AREAS ALONG WITH ASSOCIATED SUBGRADE - PER TOWN STANDARDS	4/L201
2E	FURNISH AND CONSTRUCT NCDOT CONCRETE CURB RAMP (848.05) WITH TRUNCATED DOMES PER NCDOT STANDARDS	
2F	VEHICLE-RATED PERMEABLE PAVERS. BELGARD AQUALINE SERIES, SINGLE PIECE HATTERAS COLOR. INSTALLED PER MANUFACTURERS SPECIFICATIONS.	3/L201
2G	FURNISH AND INSTALL SEGMENTAL RETAINING WALL - BELGARD DIAMOND PRO IN PLANTATION COLOR	--
3A	FURNISH AND PAINT ADA/HANDICAP ACCESSIBILITY PAVEMENT MARKINGS (4" WIDE STRIPES AT 45 DEGREES) - (THIS REQUIRES THERMOPLASTIC PAINT)	--
3B	FURNISH AND PAINT WHITE 4" WIDE PARKING STRIPE (TYP.) - (THIS REQUIRES THERMOPLASTIC PAINT)	--
3C	FURNISH AND PAINT STOP BAR (24" WIDE) (THIS REQUIRES THERMOPLASTIC PAINT)	--
3D	FURNISH AND INSTALL TOWN STANDARD 'STOP' SIGN (R1-1/30')	--

3E	FURNISH AND INSTALL PRECAST CONCRETE WHEELSTOP PER PARKING SPACE	11/L201
3F	FURNISH AND INSTALL TOWN STANDARD 'HANDICAP PARKING' SIGN	10/L201
3G	FURNISH AND INSTALL 'ONE WAY' TRAFFIC SIGN (R6-1R / 36" x 12") PER NCDOT TRAFFIC STANDARDS	--
3H	FURNISH AND PAINT "NO PARKING FIRE LANE" (THIS REQUIRES THERMOPLASTIC PAINT MEETING RETROREFLECTIVITY REQ.)	--
3I	FURNISH AND PAINT DIRECTIONAL ARROWS - PER PLAN & TOWN STANDARDS (THIS REQUIRES THERMOPLASTIC PAINT MEETING RETROREFLECTIVITY REQ.)	--
4A	FURNISH AND INSTALL - BIKE RACK	--
4B	FURNISH AND INSTALL 6' HT. BLACK ALUMINUM FENCE	
4C	FURNISH AND INSTALL 6' HT. OPAQUE FENCE FOR BUFFER YARD - PER TOWN STANDARDS AND MANUFACTURERS SPECIFICATION	12/L201
5A	FURNISH AND INSTALL DUMPSTER ENCLOSURE - WALL AND GATE SHALL BE COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL, AND COLOR.	7 & 8/L201



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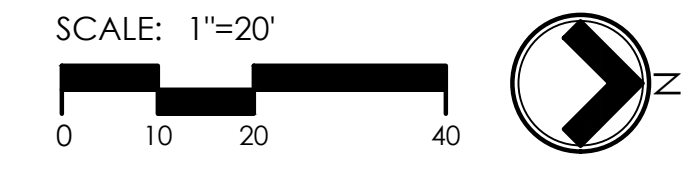
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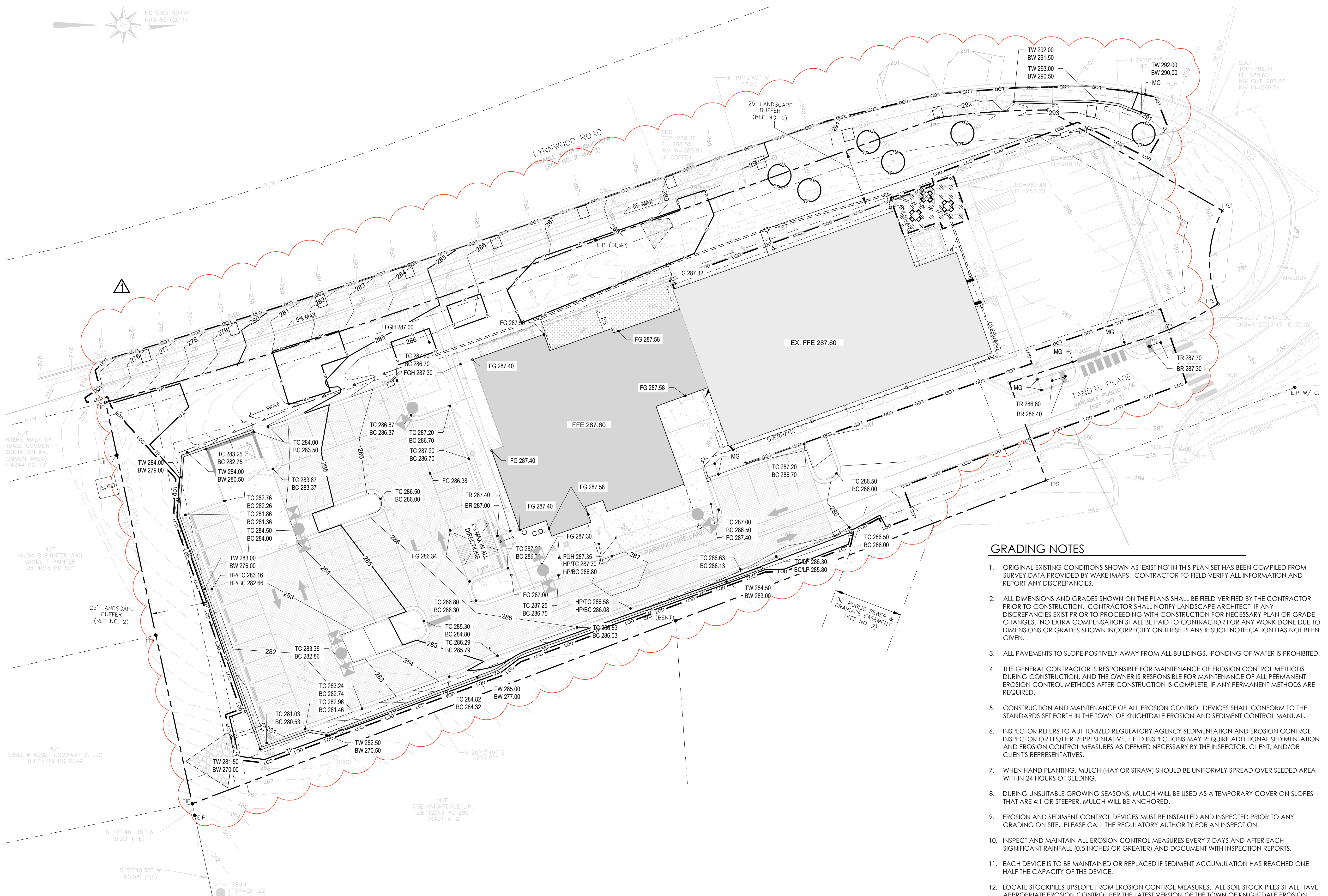
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TRAFFIC SIGNS & MARKINGS PLAN

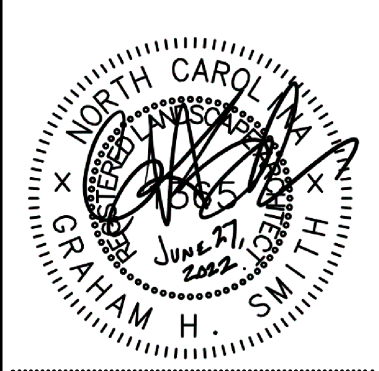
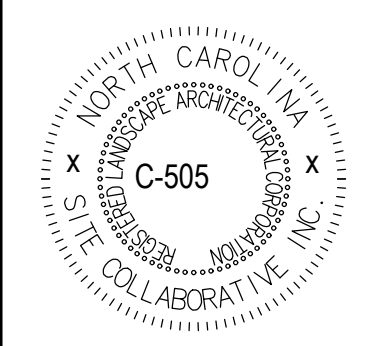
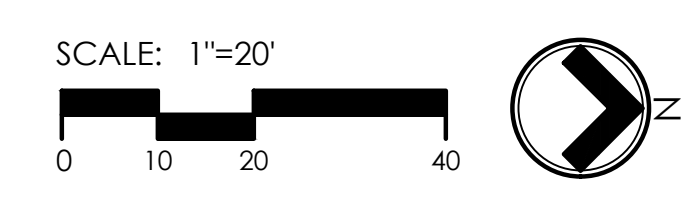
SHEET NUMBER:
L202





GRADING NOTES

1. ORIGINAL EXISTING CONDITIONS SHOWN AS 'EXISTING' IN THIS PLAN SET HAS BEEN COMPILED FROM SURVEY DATA PROVIDED BY WAKE IMAPS. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE. IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE TOWN OF KNIGHTDALE EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER. MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UPSLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE TOWN OF KNIGHTDALE EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.



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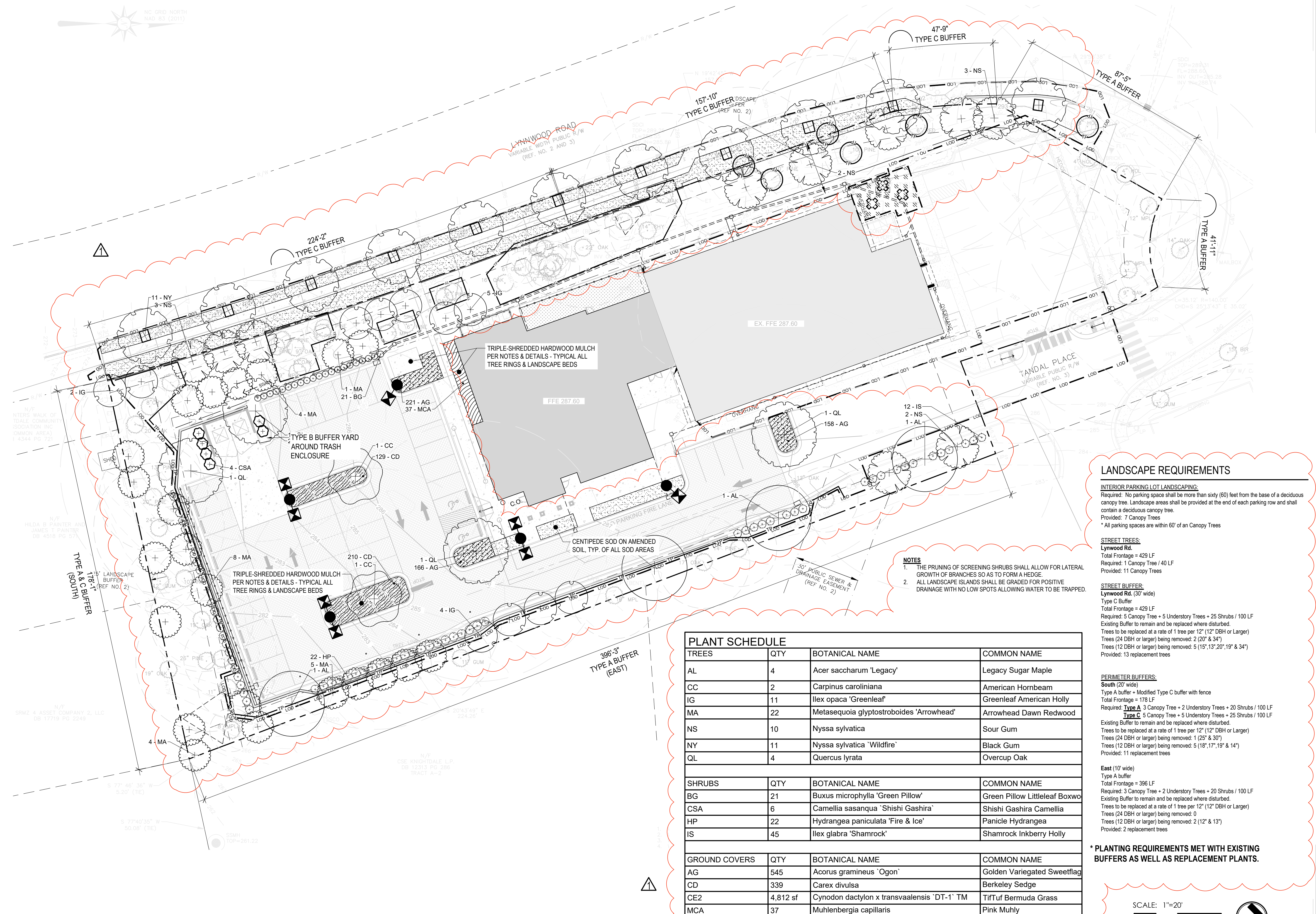
PROJECT NUMBER:
20063

MASTER PLAN
SUBMISSION #1

04.25.2022
06.27.2022

GRADING PLAN

SHEET NUMBER:
L300



TRIPLE-SHREDDED HARDWOOD MULCH
PER NOTES & DETAILS - TYPICAL ALL
TREE RINGS & LANDSCAPE BEDS

CENTIPEDE SOD ON AMENDED
SOIL, TYP. OF ALL SOD AREAS

TRIPLE-SHREDDED HARDWOOD MULCH
PER NOTES & DETAILS - TYPICAL ALL
TREE RINGS & LANDSCAPE BEDS

TYPE B BUFFER YARD
AROUND TRASH
ENCLOSURE

- NOTES**
1. THE PRUNING OF SCREENING SHRUBS SHALL ALLOW FOR LATERAL GROWTH OF BRANCHES SO AS TO FORM A HEDGE.
 2. ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.

LANDSCAPE REQUIREMENTS

INTERIOR PARKING LOT LANDSCAPING:
Required: No parking space shall be more than sixty (60) feet from the base of a deciduous canopy tree. Landscape areas shall be provided at the end of each parking row and shall contain a deciduous canopy tree.
Provided: 7 Canopy Trees
* All parking spaces are within 60' of an Canopy Trees

STREET TREES:
Lynwood Rd.
Total Frontage = 429 LF
Required: 1 Canopy Tree / 40 LF
Provided: 11 Canopy Trees

STREET BUFFER:
Lynwood Rd. (30' wide)
Type C Buffer
Total Frontage = 429 LF
Required: 5 Canopy Tree + 5 Understory Trees + 25 Shrubs / 100 LF
Existing Buffer to remain and be replaced where disturbed.
Trees to be replaced at a rate of 1 tree per 12" (12" DBH or Larger)
Trees (24 DBH or larger) being removed: 2 (20' & 34')
Trees (12 DBH or larger) being removed: 5 (15', 13', 20', 19' & 34')
Provided: 13 replacement trees

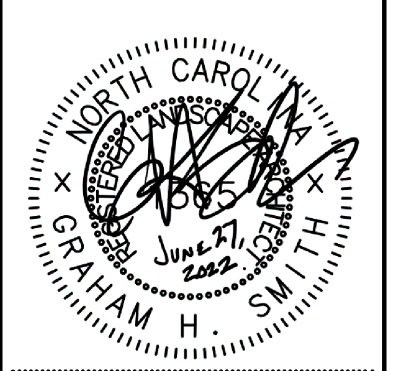
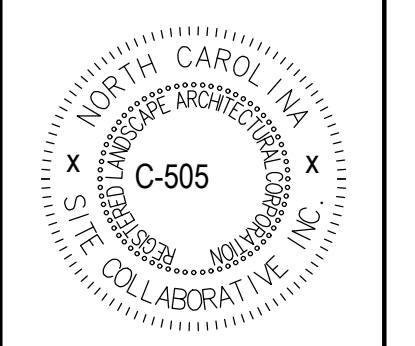
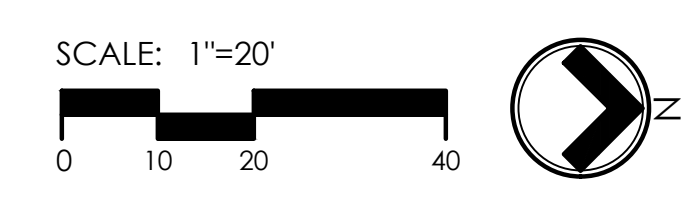
PERIMETER BUFFERS:
South (20' wide)
Type A buffer + Modified Type C buffer with fence
Total Frontage = 178 LF
Required: **Type A** 3 Canopy Tree + 2 Understory Trees + 20 Shrubs / 100 LF
Type C 5 Canopy Tree + 5 Understory Trees + 25 Shrubs / 100 LF
Existing Buffer to remain and be replaced where disturbed.
Trees to be replaced at a rate of 1 tree per 12" (12" DBH or Larger)
Trees (24 DBH or larger) being removed: 1 (25' & 30')
Trees (12 DBH or larger) being removed: 5 (18', 17', 19' & 14')
Provided: 11 replacement trees

East (10' wide)
Type A buffer
Total Frontage = 396 LF
Required: 3 Canopy Tree + 2 Understory Trees + 20 Shrubs / 100 LF
Existing Buffer to remain and be replaced where disturbed.
Trees to be replaced at a rate of 1 tree per 12" (12" DBH or Larger)
Trees (24 DBH or larger) being removed: 0
Trees (12 DBH or larger) being removed: 2 (12' & 13')
Provided: 2 replacement trees

* PLANTING REQUIREMENTS MET WITH EXISTING
BUFFERS AS WELL AS REPLACEMENT PLANTS.

PLANT SCHEDULE			
TREES	QTY	BOTANICAL NAME	COMMON NAME
AL	4	Acer saccharum 'Legacy'	Legacy Sugar Maple
CC	2	Carpinus caroliniana	American Hornbeam
IG	11	Ilex opaca 'Greenleaf'	Greenleaf American Holly
MA	22	Metasequoia glyptostroboides 'Arrowhead'	Arrowhead Dawn Redwood
NS	10	Nyssa sylvatica	Sour Gum
NY	11	Nyssa sylvatica 'Wildfire'	Black Gum
QL	4	Quercus lyrata	Overcup Oak
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
BG	21	Buxus microphylla 'Green Pillow'	Green Pillow Littleleaf Boxwo
CSA	6	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Camellia
HP	22	Hydrangea paniculata 'Fire & Ice'	Panicle Hydrangea
IS	45	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME
AG	545	Acorus gramineus 'Ogon'	Golden Variegated Sweetflag
CD	339	Carex divulsa	Berkeley Sedge
CE2	4,812 sf	Cynodon dactylon x transvaalensis 'DT-1' TM	TifTuf Bermuda Grass
MCA	37	Muhlenbergia capillaris	Pink Muhly

* SEE SHEET L401 FOR ADDITIONAL INFORMATION
REGARDING PLANT SCHEDULE



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Wake Veterinary Hospital
Rowdy Ridebacks Holdings LLC
1007 Tandall Place, Knightdale, NC

PROJECT NUMBER:
20063
MASTER PLAN
SUBMISSION #1
04.25.2022
06.27.2022

LANDSCAPE PLAN

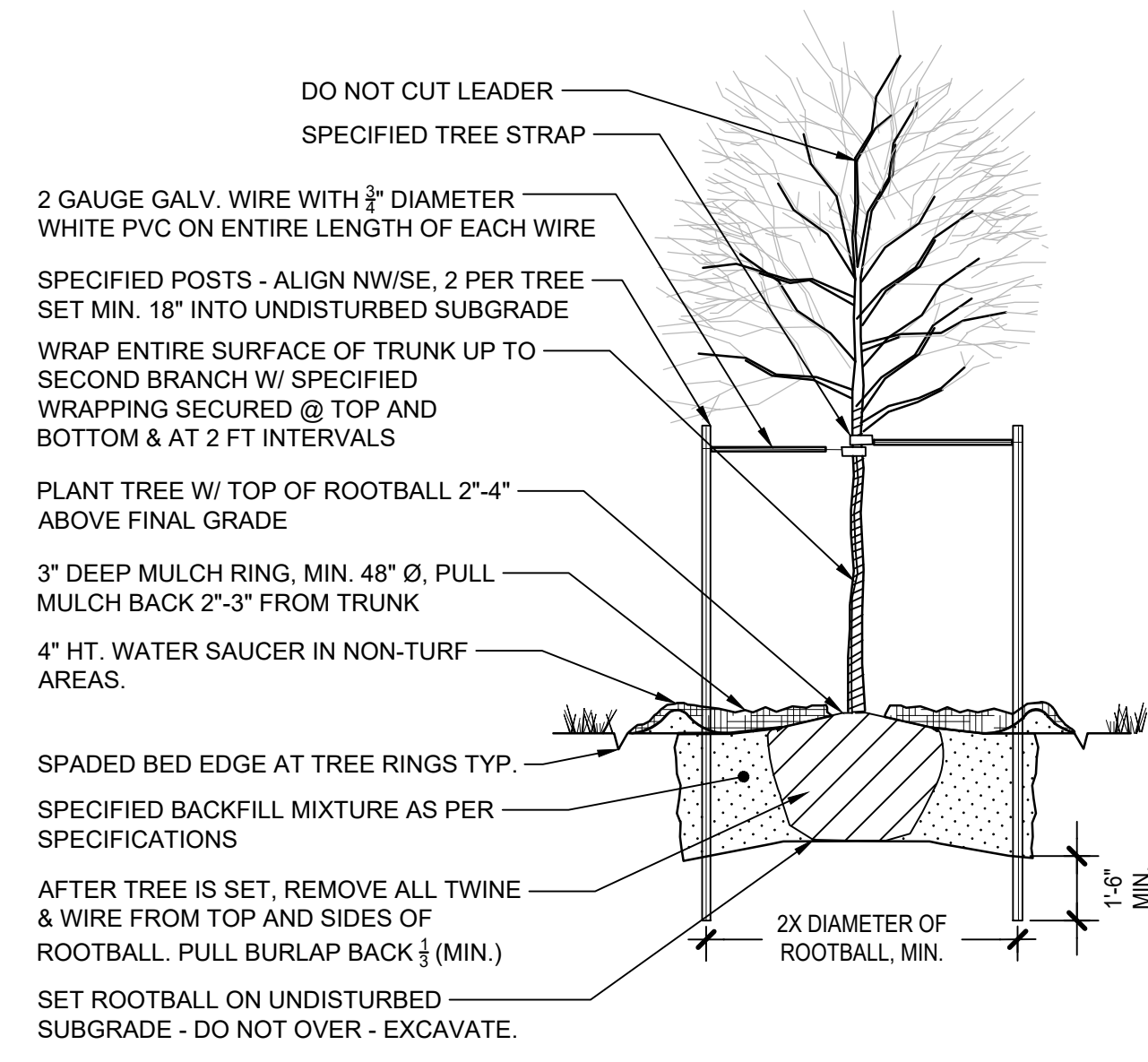
SHEET NUMBER:
L400

PLANTING NOTES

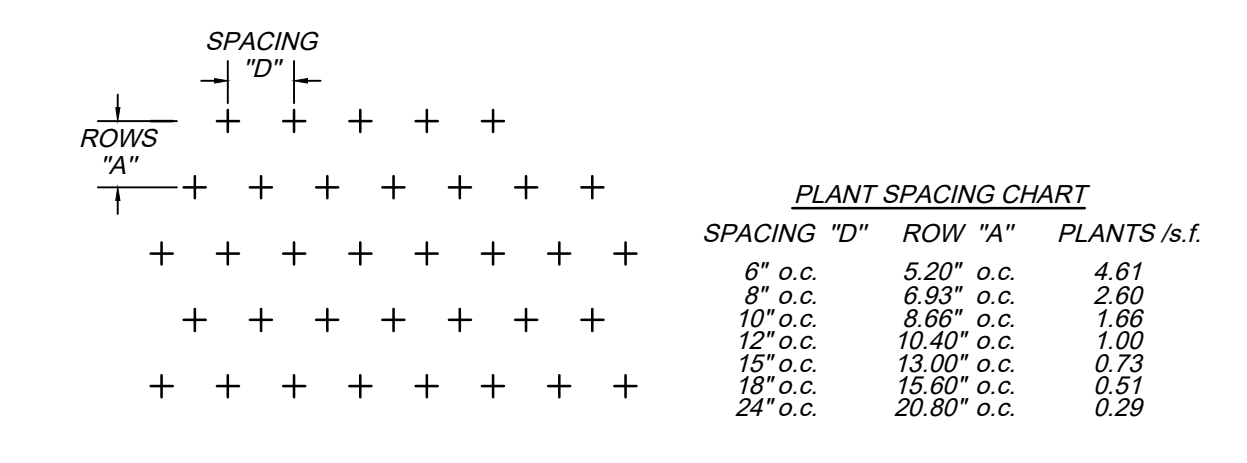
- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES. MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FIXTURES. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNEE PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY PLANT/MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNEE AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
 - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
 - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION:
 - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL.
 - APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
 - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.

SEEDING/SODDING NOTES

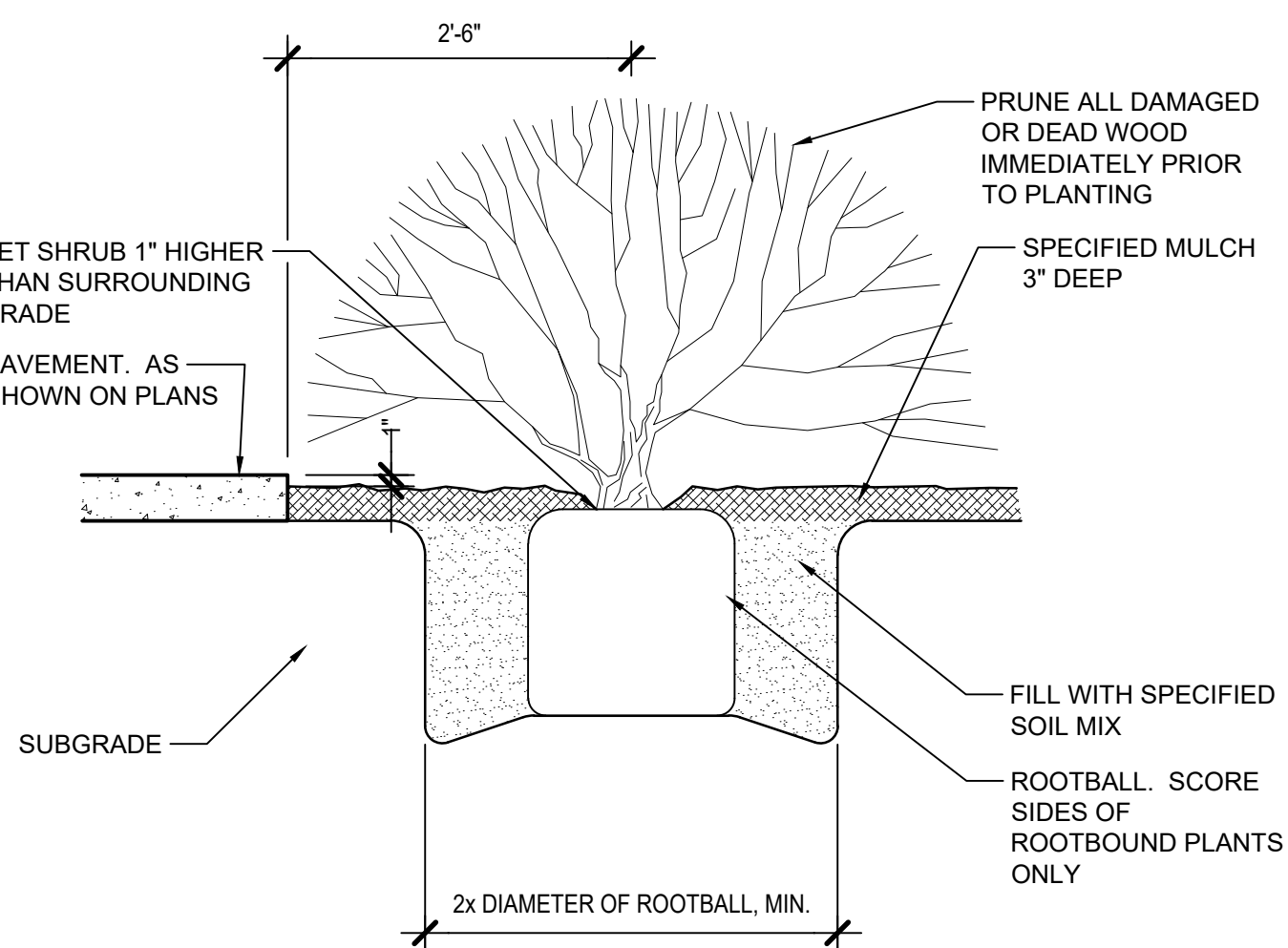
- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- ALL SEEDED/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOD.
- NO SEEDED/SODDED AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADING.
- SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
 - ROOTS ARE THOROUGHLY KNIT TO THE SOIL
 - ABSENCE OF VISIBLE JOINTS
 - ALL AREAS SHOW A UNIFORM STAND OF SPECIFIED GRASS IN HEALTHY CONDITION
 - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUALITY GUARANTEE:
 - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOD DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
 - SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOD DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY IRRIGATED DURING THE GROW-IN PERIOD AND SHALL BE RESPONSIBLE IF THE SOD SUFFERS IRREPARABLE HARM.
- SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE. ANY WORK AND SOD WHICH IN THE LANDSCAPE ARCHITECTS OPINION FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.
- SOD STANDARDS:
 - GENERAL HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL; FREE OF OBJECTABLE WEEDS; UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY; HEALTHY, VIGOROUS ROOT SYSTEM; INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
 - EACH PIECE OF SOD: SANDY-LOAM SOIL BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
 - THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
 - THATCH: NOT TO EXCEED 1/2" UNCOMPRESSED.
 - SIZE: CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:
 - SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
 - PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
 - DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
 - DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED WITHIN 36 HOURS.
 - DO NOT STACK SOD MORE THAN 2 FEET DEEP.



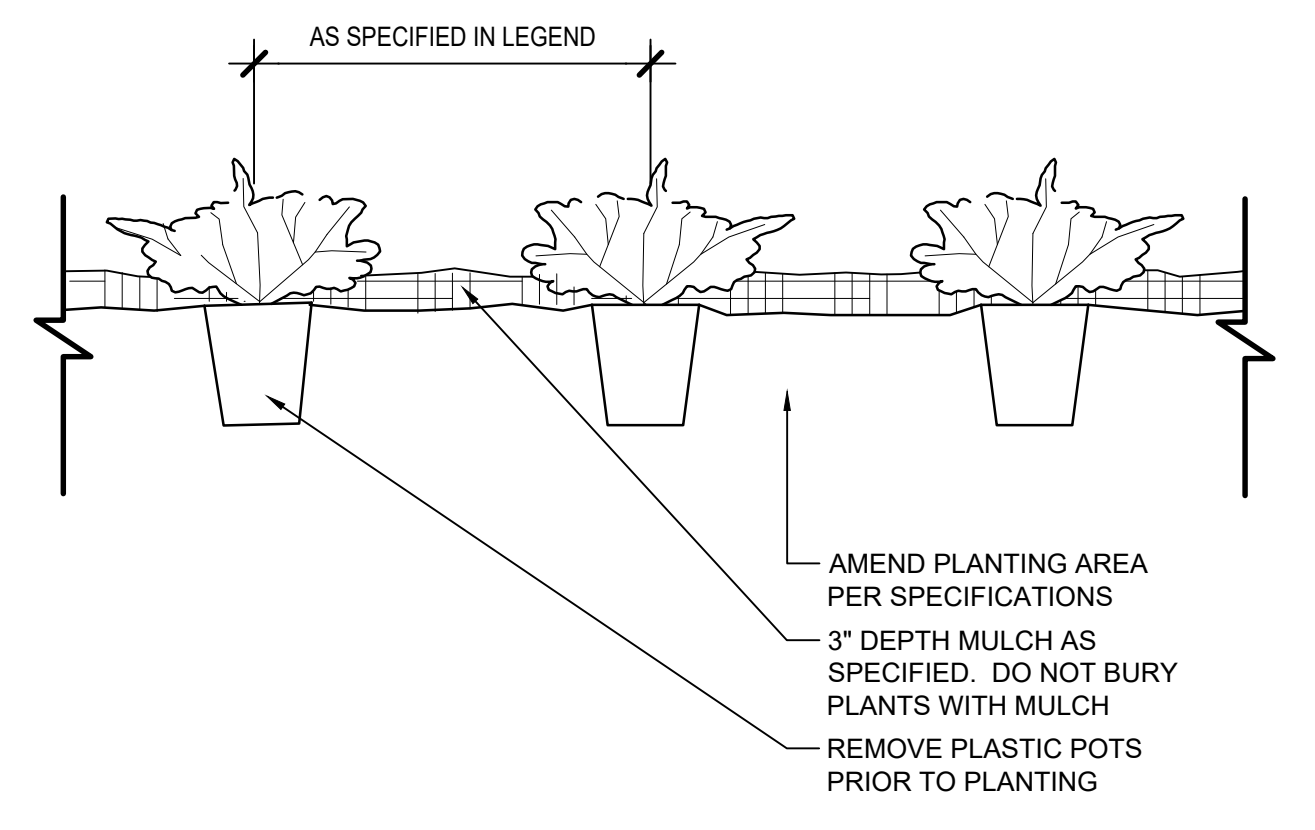
1 TREE PLANTING SCALE: 1/4" = 1'-0"



2 TRIANGULAR SPACING FOR GROUNDCOVERS SCALE: NTS



3 SHRUB PLANTING SCALE: 3/4" = 1'-0"

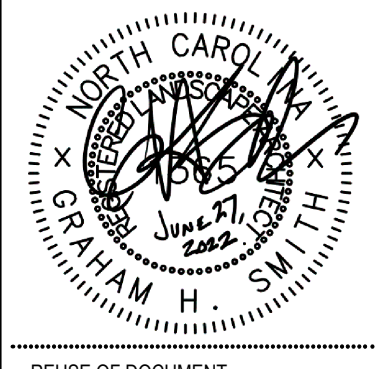
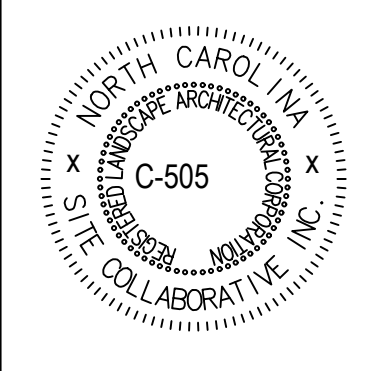


4 GROUND COVER SCALE: 1" = 1'-0"

PLANT SCHEDULE								
TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	B&B OR CONT.		REMARKS
AL	4	Acer saccharum 'Legacy'	Legacy Sugar Maple	10'-12'	3"-3 1/2"	B&B		Strong, Central Leader Buffer & Canopy Tree
CC	2	Carpinus caroliniana	American Hornbeam	8'-10'	2"	B & B		Strong central leader Parking Lot
IG	11	Ilex opaca 'Greenleaf'	Greenleaf American Holly	6'-7'	2 1/2"	B & B		Buffer Replacement Tree
MA	22	Metasequoia glyptostroboides 'Arrowhead'	Arrowhead Dawn Redwood	6'-7'	1 1/2"-2"	B & B		Buffer Replacement Tree
NS	10	Nyssa sylvatica	Sour Gum	10'-12'	3"	B & B		Strong central leader Buffer & Understory Tree
NY	11	Nyssa sylvatica 'Wildfire'	Black Gum	10'-12'	3"-3 1/2"	CONTAINER		Strong, Central Leader Street Tree
QL	4	Quercus lyrata	Overcup Oak	10'-12'	3"	B & B		Strong central leader Parking Lot
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE			
BG	21	Buxus microphylla 'Green Pillow'	Green Pillow Littleleaf Boxwood	12"	2'			
CSA	6	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Camellia	Container	36" HT			Full, Dense
HP	22	Hydrangea paniculata 'Fire & Ice'	Panicle Hydrangea	6" MIN.				
IS	45	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	18"	18"			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CONT. SIZE	SPACING	REMARKS
AG	545	Acorus gramineus 'Ogon'	Golden Variegated Sweetflag	4" pot	8"		12" o.c.	
CD	339	Carex divulsa	Berkeley Sedge	12"	12"	1 GAL.	18" o.c.	
CE2	4,812 sf	Cynodon dactylon x transvaalensis 'DT-1' TM	TifTuf Bermuda Grass	---		Seed		
MCA	37	Muhlenbergia capillaris	Pink Muhly	1 gal			30" o.c.	



821 Wake Forest Road
Raleigh, NC 27604 | 919.805.3596



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Wake Veterinary Hospital
Rowdy Ridebacks Holdings LLC
1007 Tandal Place, Knightdale, NC

PROJECT NUMBER:
20063

PROJECT PHASE:
MASTER PLAN
SUBMISSION #1
DATE:
04.25.2022
06.27.2022

SHEET TITLE:
**PLANTING
NOTES &
DETAILS**

SHEET NUMBER:

L401



Outdoor Lighting Shoebox "S" Pedestrian LED



The energy-efficient Shoebox "S" Pedestrian LED combines a decorative, contemporary style with versatility and ample lighting effect that is perfect for streets, parking lots, commercial buildings and residential communities. The Shoebox "S" Pedestrian LED provides excellent color rendition along with a controlled light pattern that reduces glare and keeps the light directed only where you want it.

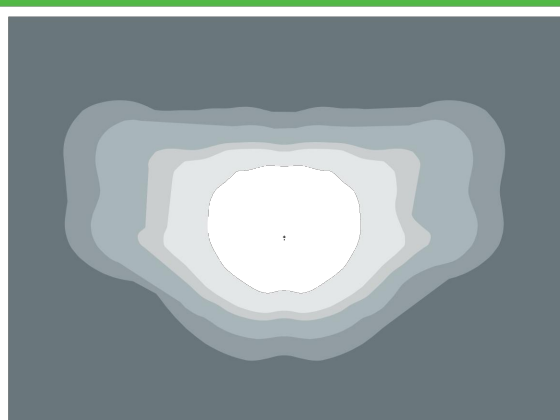
LED (Light Emitting Diode)	50 watts
Mounting heights	12', 13', 16'
Color	Black
Poles	Smooth round concrete Fluted concrete Fiberglass Decorative aluminum
Applications	Neighborhoods Parks Shopping centers

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.



Outdoor Lighting Shoebox "S" Pedestrian LED

Light source: LED (white)
Wattage: 50
Lumens: 3,730
Light pattern: IESNA Type III (oval)
IESNA Backlight - Uplight - Glare (BUG) Rating: B1-U0-G1
Color temperature: 4,000K



light distribution pattern

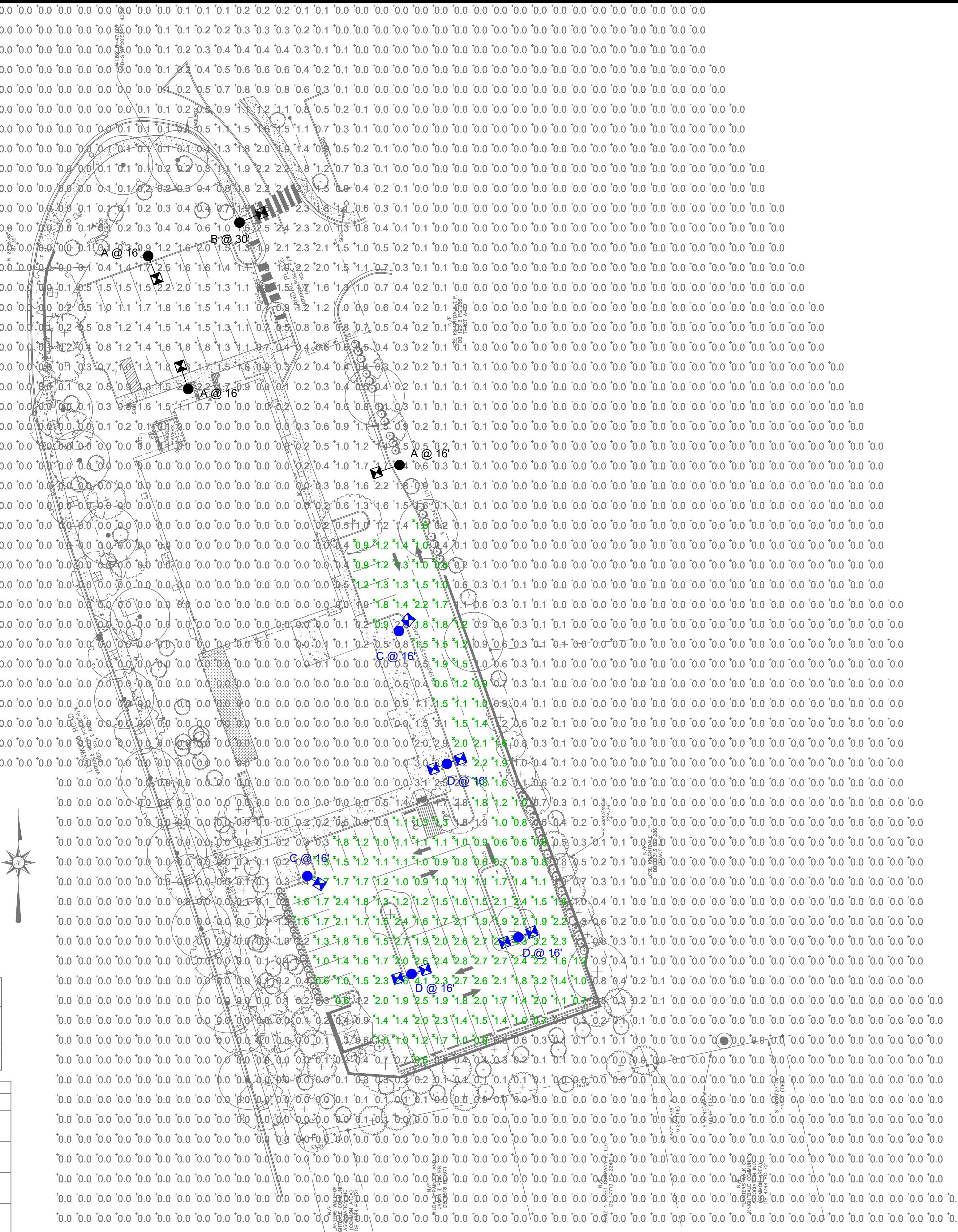
Poles available:		
Name	Mounting height	Color
Fiberglass	16'	Black
Style V	12', 16'	Black
Style VI	12'	Black
Style VII	13'	Black

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
New Parking	✕	1.6 fc	4.3 fc	0.6 fc	7.2:1	2.7:1

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
●	A	3	Existing 50w Shoebox - Type IV - 3000K	16	382	0.85
●	B	1	Existing 150w Roadway - Type III - 4000K	1	19201	0.85
●	C	2	Proposed 50w Shoebox - Type IV - 3000K	16	382	0.85
●	D	3	Proposed 50w Shoebox - Type IV - 3000K	16	382	0.85



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REV#	DATE	REVISION	BY
Rev A	06/21/22	Pedestrian Shoebox	NJ

Customer approval	_____
Date	_____

LIGHTING DESIGN TOLERANCE
The calculator footcandle light levels on this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (fencing or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



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1007 TANDAL PLACE	
Knightdale, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 30'
Date	06/21/2022 Size "Arch D"
Description	LED 50w Shoebox
Drawing No.	22-0228A Sht. 1 OF 1

STORM DRAINAGE SCHEDULE

Key	Type of Structure	Inlet Elevation	Invert In	Invert Out	Pipe Out Length	Pipe Out Slope	Pipe Out (in)	Velocity
1	Drop Inlet	287.4		286.4	16.5	0.61%	6	2.2
2	Drop Inlet	287.4	286.3	286.2	39	0.77%	8.04	3.0
3	Drop Inlet	287.3	285.9	285.8	6	3.33%	8.04	6.3
4	Drop Inlet	287.7	285.6	285.5	55	0.73%	8.04	3.0
5	Drop Inlet	287.3		285.8	8	8.75%	6	8.4
6	Drop Inlet	286.7	285.1	285	45	1.33%	8.04	4.0
7	Drop Inlet	287		285	8	7.50%	6	7.8
8	Catch Basin	286.7	284.4	284.3	60	1.83%	8.04	4.7
9	Catch Basin	286.7	283.2	283.1	60	2.17%	8.04	5.1
10	Catch Basin	286.5	281.8	281.7	11.5	7.83%	8.04	9.7
11	Catch Basin	286.7	280.8	280.7				0.0
12	Drop Inlet	287.4		286.4	24	0.83%	6	2.6
13	Drop Inlet	287.3	286.2	286.1	38	0.53%	8.04	2.5
14	Drop Inlet	287.4	285.9	285.8	43	0.70%	8.04	2.9
15	Drop Inlet	287.4	285.5	285.4	35	3.43%	8.04	6.4
16	Drop Inlet	287.2	284.2	284.1	14	7.14%	8.04	9.3
17	Drop Inlet	287.2	283.1	283	22	7.45%	8.04	9.5
18	Catch Basin	286.5	281.36					
19	Catch Basin	286.5	281.3	281.2				
20	Catch Basin	286.8	281.08	280.98				
21	Curb Inlet	280.69		267.13	13	1.00%	18	5.9
22	Flared End Section		267	267				
23	Flared End Section		285.49	285.39			15	
24	Curb Inlet	285.9		281.3				

OUTLET PROTECTION SCHEDULE

KEY	TYPE STRUCTURE	INVERT	PIPE SIZE	DISCHARGE	VELOCITY	PAD LENGTH	PAD WIDTH	STONE DIAMETER
D1	STONE DISSIPATOR	267.0	18"	10 CFS	5.9	20	21.5	9"
D2	STONE DISSIPATOR	282.5	15"	8.1 CFS	7.8	12	13.25	6"

DEVELOPMENT INFORMATION

SITE AREA: 1.713 ACRES
 TOTAL BUILT-UPON AREA: 57,487 SF/ 1.320 ACRES
 IMPERVIOUS PERCENTAGE: 56%

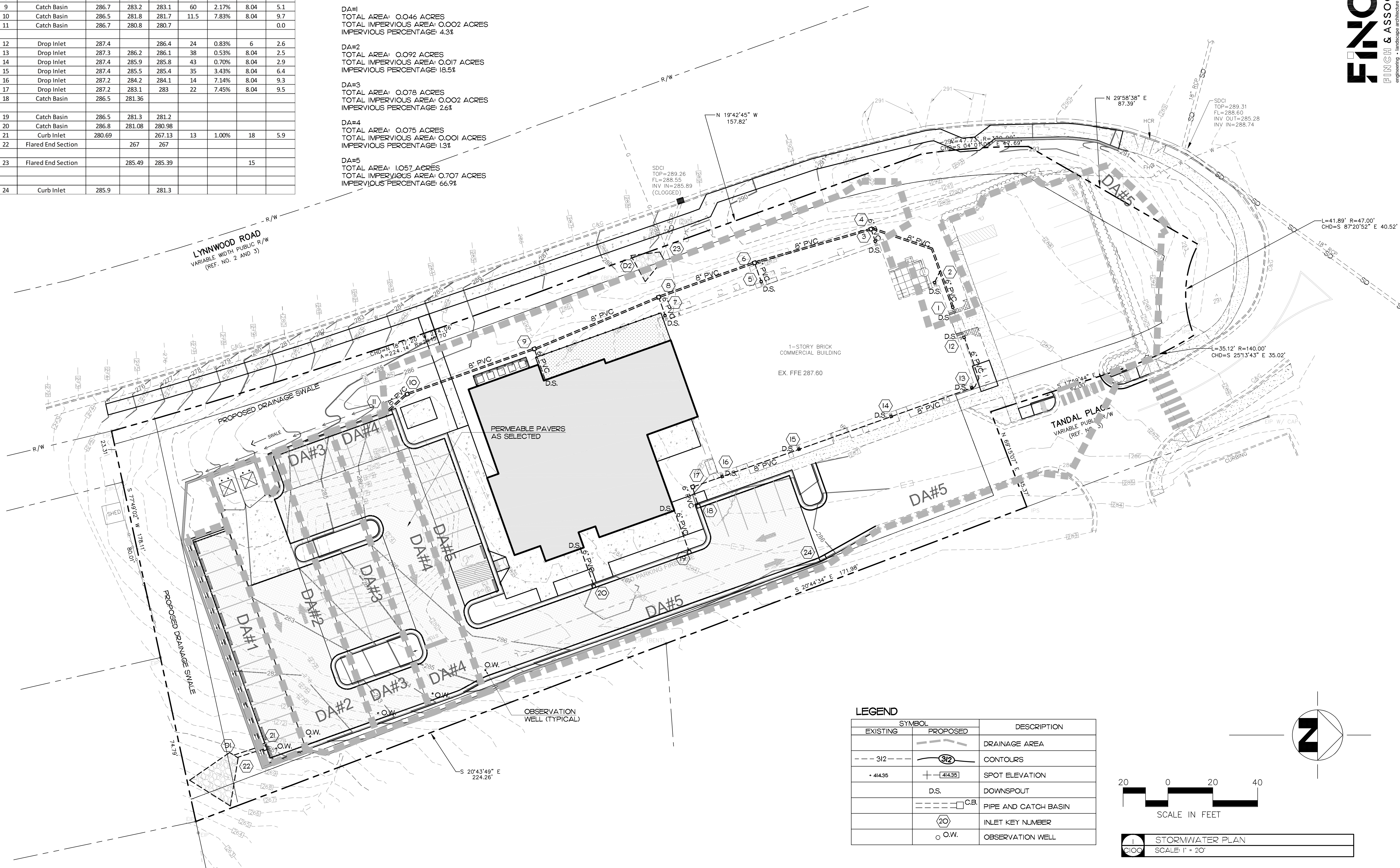
DA#1
 TOTAL AREA: 0.046 ACRES
 TOTAL IMPERVIOUS AREA: 0.002 ACRES
 IMPERVIOUS PERCENTAGE: 4.3%

DA#2
 TOTAL AREA: 0.092 ACRES
 TOTAL IMPERVIOUS AREA: 0.017 ACRES
 IMPERVIOUS PERCENTAGE: 18.5%

DA#3
 TOTAL AREA: 0.078 ACRES
 TOTAL IMPERVIOUS AREA: 0.002 ACRES
 IMPERVIOUS PERCENTAGE: 2.6%

DA#4
 TOTAL AREA: 0.075 ACRES
 TOTAL IMPERVIOUS AREA: 0.001 ACRES
 IMPERVIOUS PERCENTAGE: 1.3%

DA#5
 TOTAL AREA: 1.057 ACRES
 TOTAL IMPERVIOUS AREA: 0.707 ACRES
 IMPERVIOUS PERCENTAGE: 66.9%



LEGEND

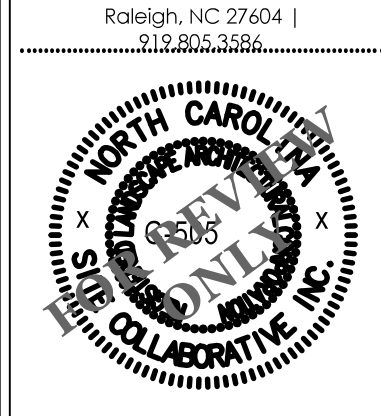
EXISTING	SYMBOL	PROPOSED	DESCRIPTION
- - - 312 - - -			DRAINAGE AREA
- - - 312 - - -			CONTOURS
+ 414.35			SPOT ELEVATION
			D.S.
			C.B.
			PIPE AND CATCH BASIN
			INLET KEY NUMBER
			O.W.
			OBSERVATION WELL

20 0 20 40
 SCALE IN FEET

STORMWATER PLAN
 SCALE: 1" = 20'

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Wake Veterinary Hospital
 Rowdy Ridebacks Holdings LLC
 1007 Tandall Place, Knightdale, NC

PROJECT NUMBER:
20063

PROJECT PHASE:
MASTER PLAN
SUBMISSION #2

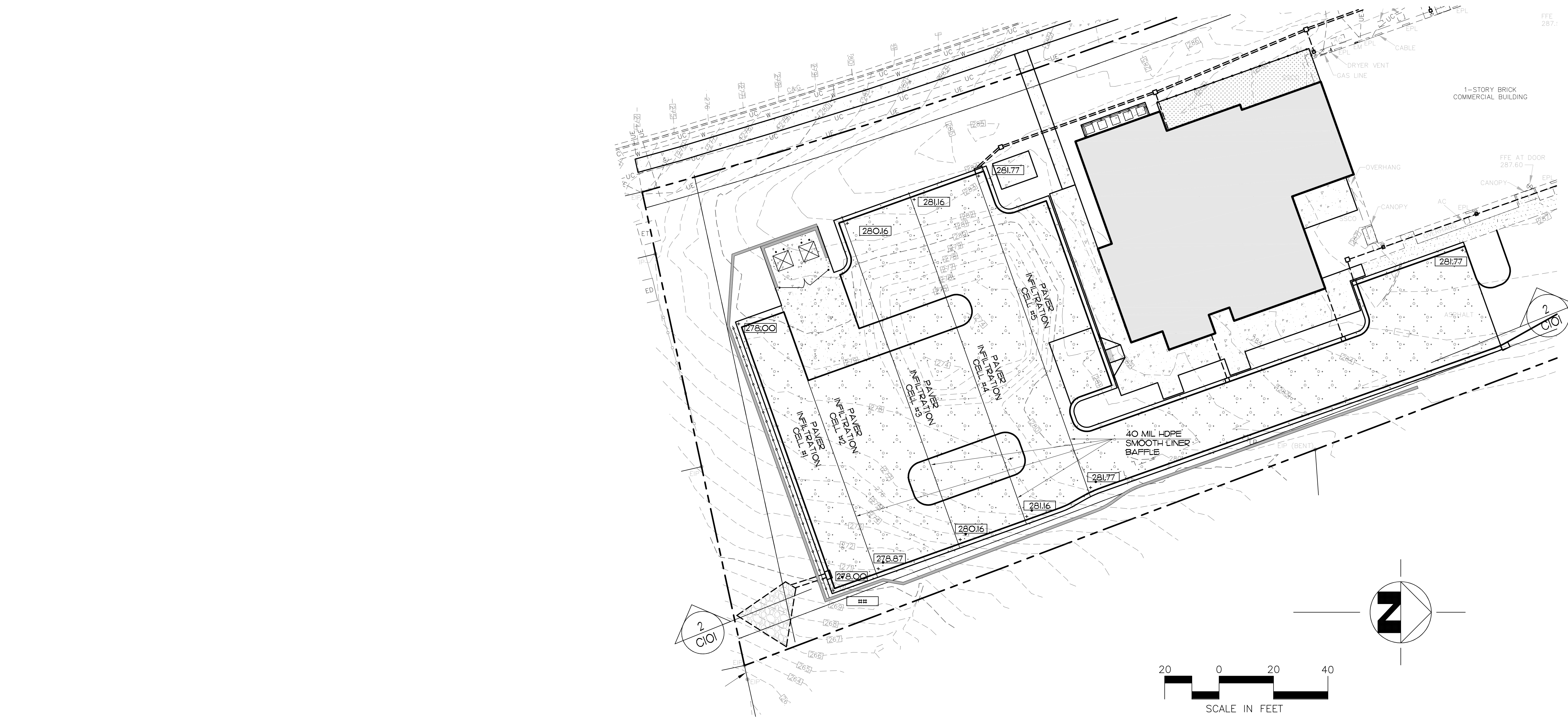
DATE:
04.25.2022

6/27/2022

SHEET TITLE:
STORMWATER
PLAN

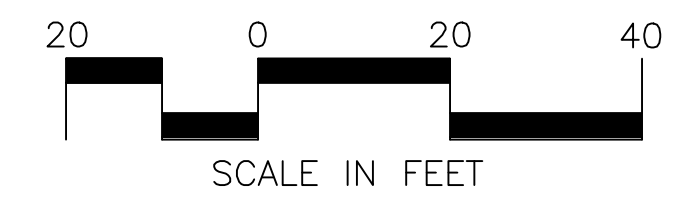
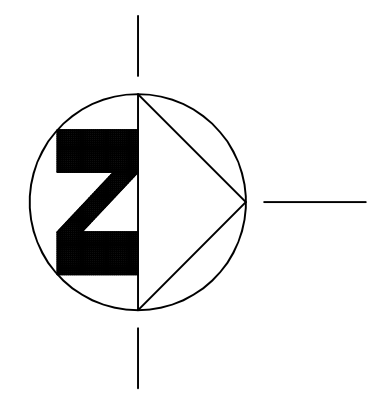
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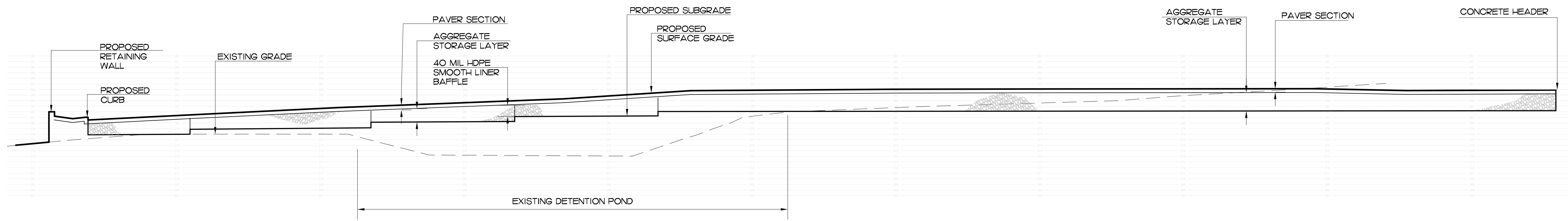


1-STORY BRICK COMMERCIAL BUILDING

40 MIL HDPE SMOOTH LINER Baffle



1 PERMEABLE PAVERS SUBGRADE PLAN
 SCALE: 1" = 20'



2 PERMEABLE PAVERS SUBGRADE SECTION
 SCALE: 1" = 10'

Wake Veterinary Hospital
 Rowdy Ridebacks Holdings LLC
 1007 Tandal Place, Knightdale, NC

PROJECT NUMBER:
 20063
 PROJECT PHASE:
 MASTER PLAN
 SUBMISSION #2
 DATE:
 04.25.2022
 6/27/2022

SHEET TITLE:
 STORMWATER
 PLAN

SHEET NUMBER:

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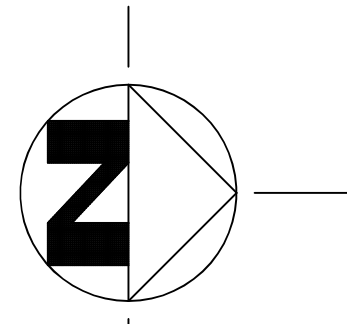
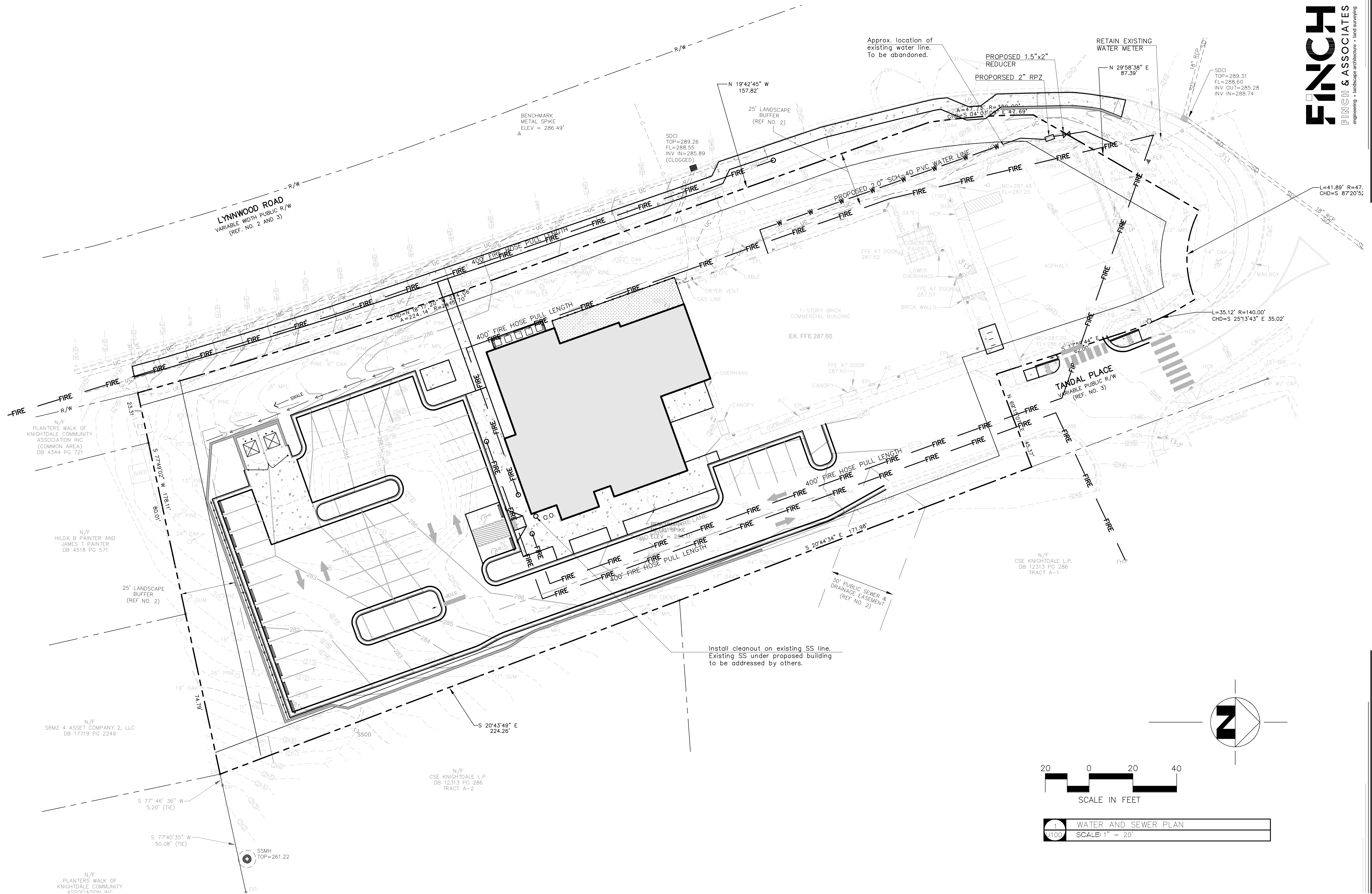


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1 WATER AND SEWER PLAN
100 SCALE 1" = 20'

Wake Veterinary Hospital
Rowdy Ridebacks Holdings LLC
1007 Tandall Place, Knightdale, NC

PROJECT NUMBER:
20063

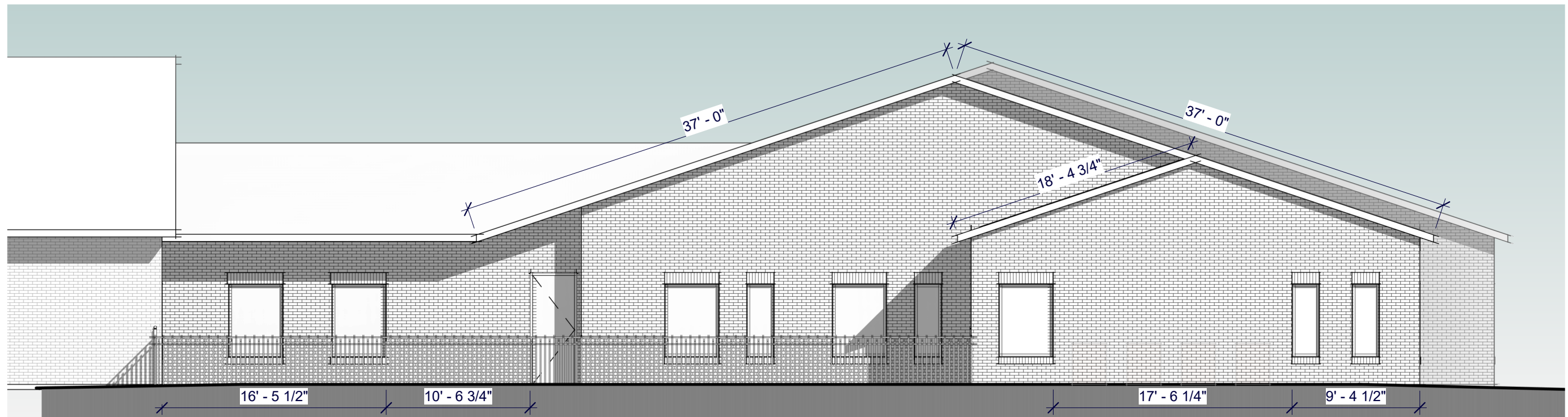
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MASTER PLAN
SUBMISSION #2

DATE:
04.25.2022
6/27/2022

SHEET TITLE:
WATER AND
SEWER PLAN

SHEET NUMBER:

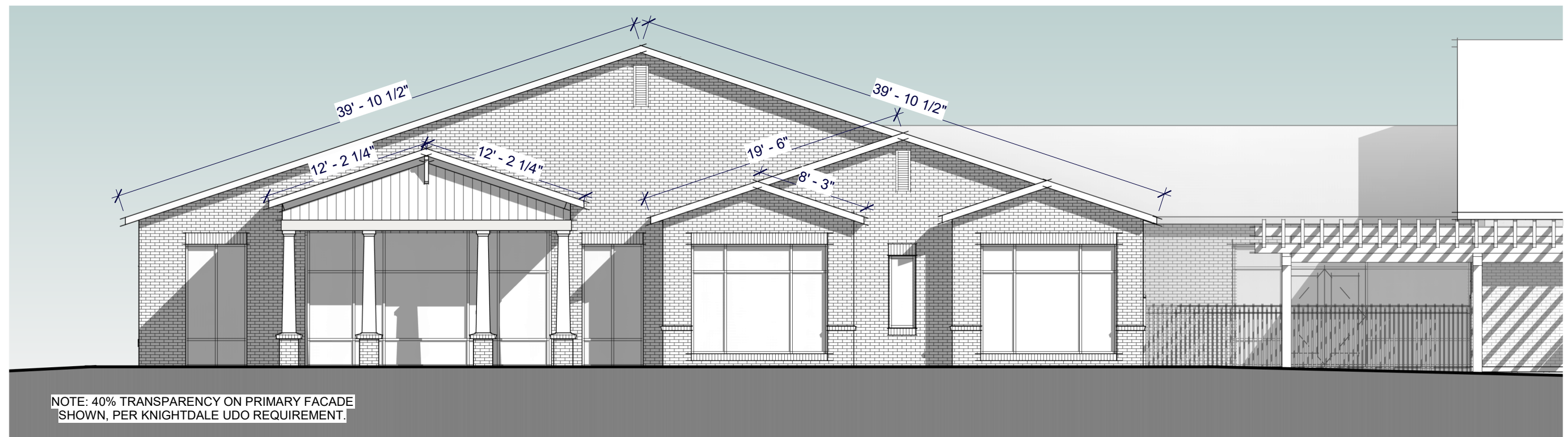
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NORTH ELEVATION

2

1/8" = 1'-0"



SOUTH ELEVATION

1

1/8" = 1'-0"



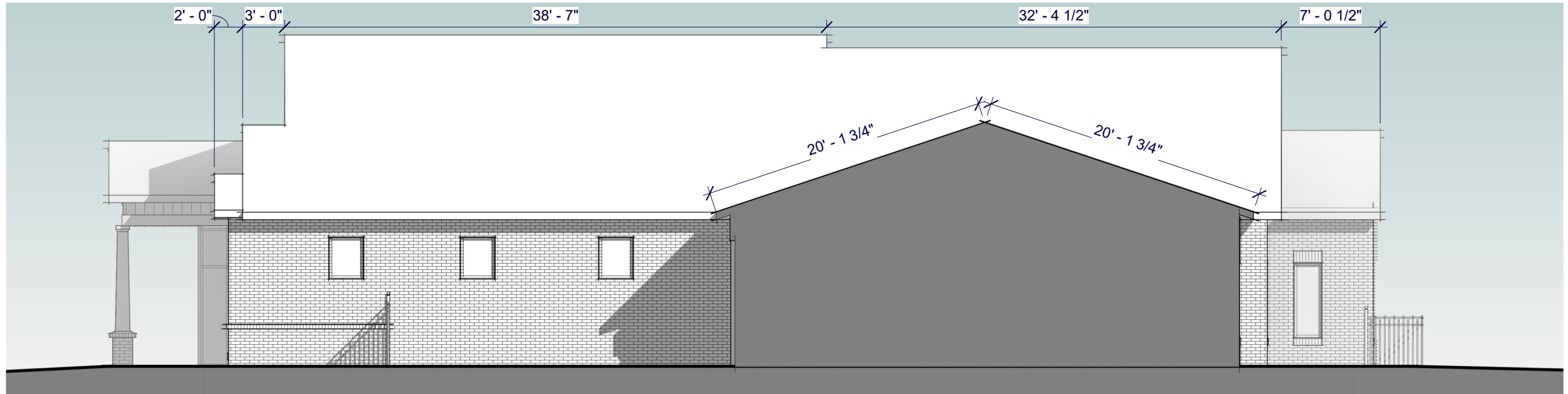
WAKE ANIMAL HOSPITAL ADDITION
 1007 TANDAL PLACE
 KNIGHTDALE, NC 27545

NORTH AND SOUTH ELEVATIONS D
 1/8" = 1'-0"

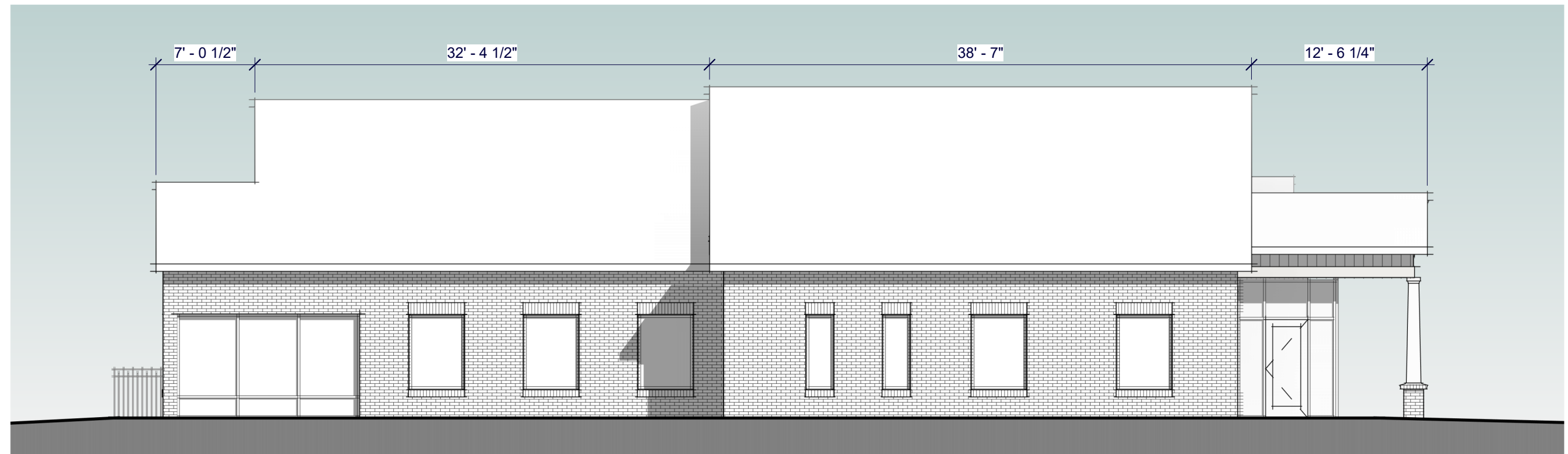
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020156 | 03.25.2021

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EAST ELEVATION 2
 1/8" = 1'-0"



WEST ELEVATION 1
 1/8" = 1'-0"



WAKE ANIMAL HOSPITAL ADDITION
 1007 TANDAL PLACE
 KNIGHTDALE, NC 27545

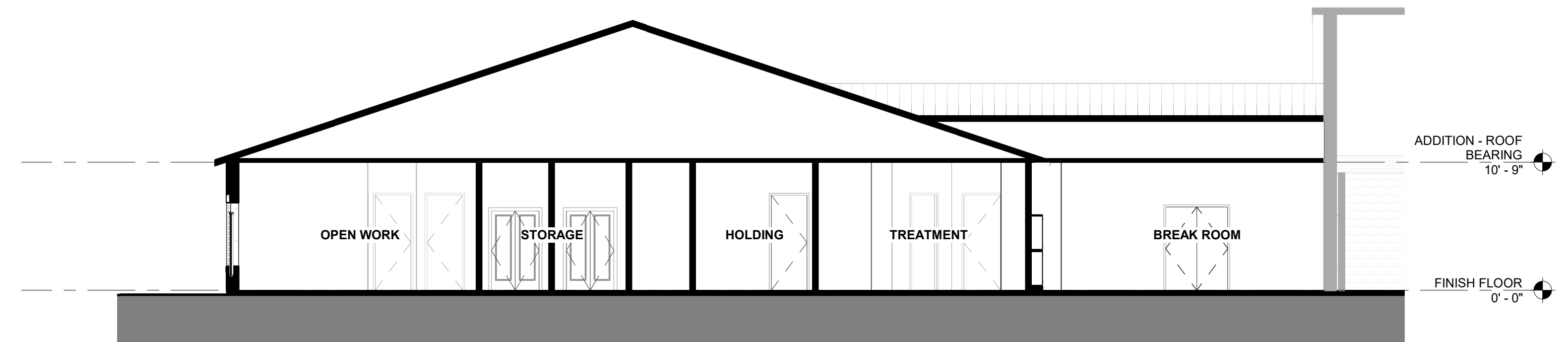
WEST AND EAST ELEVATIONS D
 1/8" = 1'-0"

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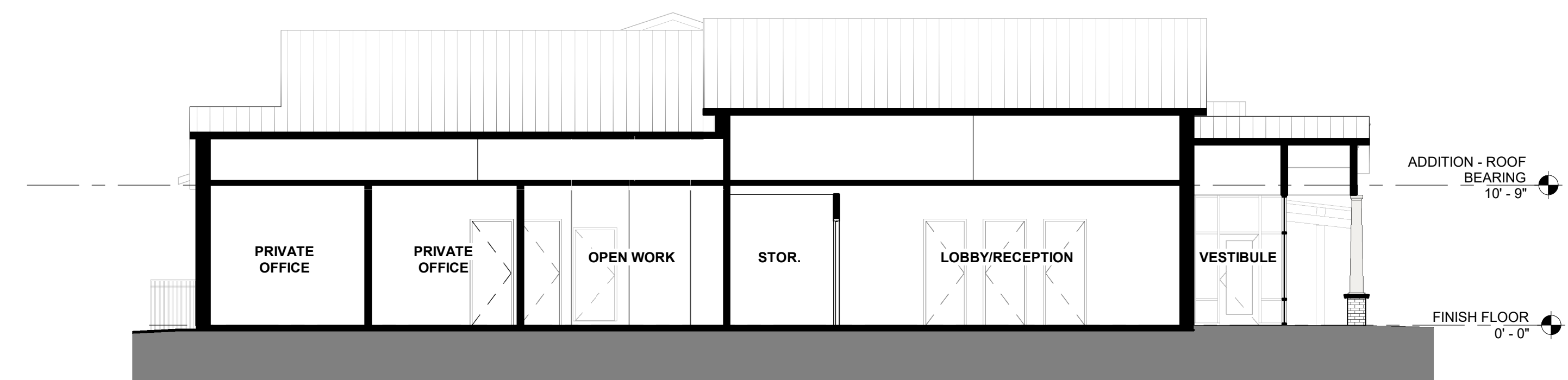
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020156 | 03.25.2021

PROPOSED EXPANSION



BUILDING SECTION B 2
1/8" = 1'-0"



BUILDING SECTION A 1
1/8" = 1'-0"

PROJECT:	020156
DATE:	03.25.2021
REVISIONS:	DATE

DRAWN BY: Author
CHECKED BY: CW

BUILDING SECTIONS

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