

Fall 2011— ISSUE 5—November 2011

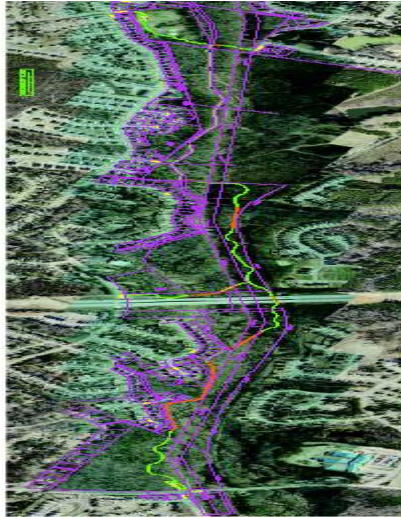
Greenway Plan Approved by TRC

On October 26th, 2011 the Technical Review Committee conditionally approved the greenway for the Mingo Creek watershed. The greenway has been planned since the late 1980s as a way to unify Knightdale along its central core.

The greenway planning gained added urgency after the Town was awarded to pay for a majority of the construction costs. In addition, the City of Raleigh, as part of its construction of a greenway on the western side of the Neuse River from Falls Lake to the Johnston County line, was awarded a grant to build a bridge over the Neuse at the logical end of the Mingo Creek greenway.

With that connection, the greenway will link into Raleigh's 120 miles of greenways stretching from the Johnston County line to Durham and linking into the Mountains to the sea trail.

The greenway will begin at a trailhead near the railroad



crossing at Hodge road across from Princeton Manor and continue through to Mingo Creek Park at the terminus of Parkside Commons Drive. Intermediate trailheads will be located at Southampton Drive and Lynnwood Road adjacent to 540.

With the approval of the TRC, the project now goes into the final design phase. Because of requirements of the grant, the project must be underway by early spring to qualify for the funding.

IMPORTANT DATES

- November 7, 2011
Planning and Engineering Committee, 6pm
- November 8, 2011
World Town Planning Day
- November 11, 2011
Town Offices Closed for Holiday
- December 12, 2011
Planning and Engineering, 6pm
Land Use Review Board, 7pm
- December 26 + 27, 2011
Town Offices Closed for Holiday
- January 2, 2012
Town Offices Closed for Holiday
- January 9, 2012
Planning and Engineering, 6pm
Land Use Review Board, 7pm
- February 13, 2012
Planning and Engineering, 6pm
Land Use Review Board, 7pm*
*Expiration of some LURB three year terms.



Arbor Day, New Park Celebrated

On October 8, 2011 the Town celebrated 'Arbor Day' in commemoration of the Town's commitment to trees. The event took place at the new Knightdale Park, which was hosting an open house that included information about the plans for the event.

Mayor Killen and members of the Land Use Review Board, in their capacity as members of the Town's Tree Board, read a proclamation of the Town's celebration and planted an Eastern Red-

bud that will ultimately bound the southern side of a stand of mature trees. The Parks and Recreation department led hayrides around the property so citizens could get an idea of what would ultimately be where on the park property. Fall was celebrated with inflatable toys, crafts and other activities for children, a bluegrass band and a demonstration by the Knightdale Department of Public Safety. About 100 people attended.

KRX Route Change Leads to Increased Ridership



The addition of a park and ride stop on McKnight drive has led to an increase in ridership on the Town's express bus route to Downtown Raleigh. The new stop added a shelter in October adjacent to Wal-mart. It improved Triangle Transit's services in Eastern Wake extending those services for the first time into the heart of Knightdale.

The Town hopes that the stop is just the beginning of public transportation options in Knightdale. Staff has been engaged with the county agencies responsible for allocating funds for transportation to ensure that Knightdale is a key part of the future transit network.

TALES FROM BOONE— The Department of Engineering's Update

Town Considers Stormwater as Utility

The engineering department is proceeding with a plan to include a modest utility fee for storm water related costs. The fee will be based on a standard dwelling unit cost for all residential properties in the town, and for impervious surface area on commercial properties in town. The utility will enable the town to invest in storm water infrastructure such as easement maintenance and street cleaning.

Mr. Boone presented the outlines of his plan at the October 10th Planning and Engineering Committee meeting. The committee discussed the plan and was favorable to the Town engineer putting together a formal proposal. The utility would likely come into effect for fiscal year 2013, which begins July 1, 2012.

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IN BRIEF



Political Sign Removal

The Planning Department would like to remind everyone that political signs must be removed within 7 days after the election on November 8. After this time, the Town's Code Enforcement Officer will be collecting all signs in the right of way and disposing of them at the Public Works Department on Robertson Street.



Town Celebrates Community Planning Month, World Town Planning Day

The Planning Department commemorated national Community Planning Month with a proclamation by Town Council and increased awareness activities around Town. For World Town Planning day, on November 8, the Department will put a table in the lobby with information about current projects.

LURB to have Vacancy in February

Town Clerk Suzanne Yeatts is accepting applications for the Land Use Review Board. When the current term concludes in February, at least one seat will open. Any citizen interested in serving the Town through guidance of its development decisions is encouraged to apply. Call Suzanne at 919-217-2220.

Pedestrian Plan Contract Awarded

After an RFQ process, the Town selected Withers and Ravenel to conduct the Pedestrian Planning process as defined by the grant the Town was awarded in August. The Town received six responses to the RFQ and selected the firm after intense analysis.

Poplar Creek Village Mungo Homes Model Complete

Mungo Homes continued its push into Knightdale with the completion of its model home in the Poplar Creek subdivision off Poole Road. Mungo decided to invest in Poplar Creek over the summer and have already permitted 5 homes in the subdivision.



Park Plan approved by TRC

The Knightdale Community Park master plan was approved by TRC on September 28, 2011. The Park planning now proceeds to cost analysis.

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Council to Review Street Tree Plan

On November 7, 2011 Town Council will take up whether to approve a street tree plan for the Town. The Plan, 8 months in the making, outlines best practices for filling in trees along Town maintained roads.

The Land Use Review Board's preferences for corridors to fill in street trees were used to identify three key areas that would need to be addressed. These were, McKnight Drive, First Avenue and Laurens Way. The LURB decided that McKnight Drive's eastern end would be the most appropriate for an initial street tree project, and included in the street tree plan is this recommendation.

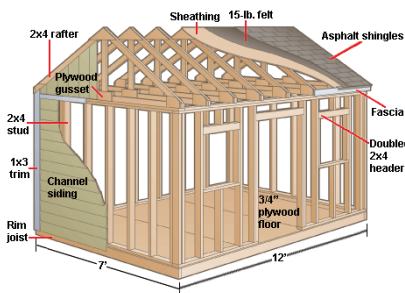
The Planning Department was allocated funds to carry out this project in the 2012 budget. The acceptance of the plan will put in motion the first street tree project which in turn will signal the Town's commitment to attractive streetscapes and improvement to existing corridors. The Plan will be included in the Town's application for recertification as a Tree City USA.

CODE ENFORCEMENT

Do you need a Building Permit?

The Town of Knightdale issues building permits for all property within the Town limits and its extraterritorial jurisdiction. Inspections are handled by the Wake County Department of Planning and Inspections who coordinates with Knightdale's Planning Department. Knightdale has a dedicated residential and trade inspector.

Some important things to remember are at right. >



- All work that alters or creates a foundation requires a permit.
- Sheds and other pre-made accessory buildings require a building permit if they exceed 12' x 12' feet or 144 square feet.
- In the Town's jurisdiction, accessory buildings must be five feet from the property line in the rear yard of the main structure and a maximum of two (2) accessory structures is allowed in most residential zones. (not RR1)
- Farm uses are exempt from the Town's development code and building permits.
- All additions change the footprint of a building or its accessory structures require a setback inspection from the Town.
- All permits will receive a building final inspection from Wake County and a Certificate of Occupancy inspection by the Town.