





# DRAWING SHEET INDEX

## GENERAL

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## STRUCTURAL

SHEET	SHEET NAME
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## PLUMBING

SHEET	SHEET NAME
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## MECHANICAL

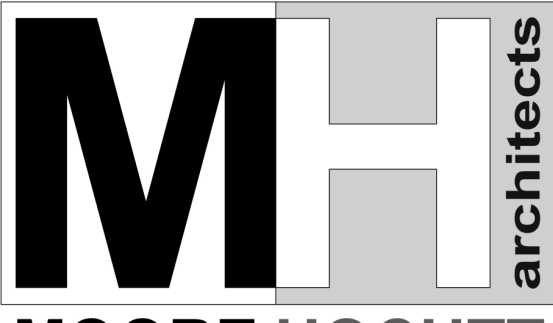
SHEET	SHEET NAME
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## ELECTRICAL

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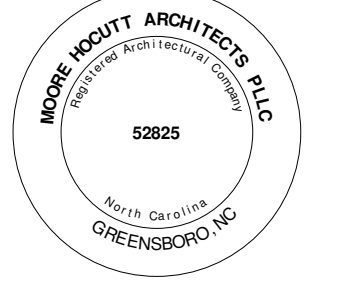
## FIRE ALARM

SHEET	SHEET NAME
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**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
 KNIGHTDALE, NC 27545

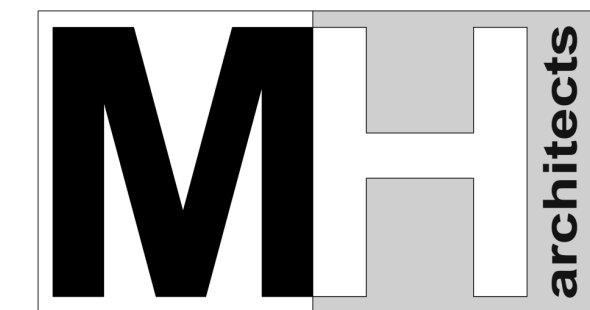
REVISIONS		
No.	Description	Date

Designed By MLM  
 Drawn By -  
 Checked By JRH  
 Date 01/19/21  
 Project No. MHA-P21-17

DRAWING INDEX

NCHFA PRELIMINARY APPLICATION  
**NOT FOR CONSTRUCTION**  
 01/19/21

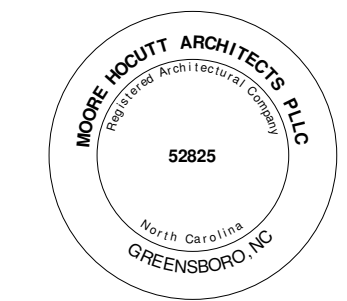
# G101



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**BUILDING TYPE I**

UNIT MARK	UNIT INFORMATION	UNIT SQUARE FOOTAGE		# OF UNITS	LEVEL 1		# OF UNITS	LEVEL 2		# OF UNITS	LEVEL 3		BUILDING TYPE I		QTY OF BUILDING TYPE	
		HEATED SF	GROSS SF		HEATED SF	GROSS SF		HEATED SF	GROSS SF		HEATED SF	GROSS SF	# OF UNITS	HEATED SF		GROSS SF
1BDR "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	753	817	1	753	817	0	0	0	0	0	0	1	753	817	2
1BDR "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	817	0	0	0	0	0	0	1	753	817	1	753	817	
1BDR "B"	1 BEDROOM, 1 BATH, TYPE "B" WITH TUB	753	817	1	753	817	2	1506	1634	1	753	817	4	3012	3268	
2BDR "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	921	998	1	921	998	0	0	0	0	0	0	1	921	998	
2BDR "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	998	0	0	0	1	921	998	0	0	0	1	921	998	
2BDR "B1"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	5	4605	4990	5	4605	4990	6	5526	5988	16	14736	15968	
					0	0		0	0		0	0	0	0	0	
	UNIT TOTALS			8	7032	7622	8	7032	7622	8	7032	7622	24	21096	22866	
	COMMON/AMENITY SPACE												48	42192	45732	
	EXTERIOR ROOF AREAS	1594													3188	
	<b>BUILDING GROSS TOTAL</b>														<b>67934</b>	

**BUILDING TYPE II**

UNIT MARK	UNIT INFORMATION	UNIT SQUARE FOOTAGE		# OF UNITS	LEVEL 1		# OF UNITS	LEVEL 2		# OF UNITS	LEVEL 3		BUILDING TYPE II		QTY OF BUILDING TYPE	
		HEATED SF	GROSS SF		HEATED SF	GROSS SF		HEATED SF	GROSS SF		HEATED SF	GROSS SF	# OF UNITS	HEATED SF		GROSS SF
1BDR "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	753	817	1	753	817	1	753	817	0	0	0	2	1506	1634	1
1BDR "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	817	0	0	0	0	0	0	0	0	0	0	0	0	
1BDR "B"	1 BEDROOM, 1 BATH, TYPE "B" WITH TUB	753	817	3	2259	2451	3	2259	2451	4	3012	3268	10	7530	8170	
2BDR "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	921	998	1	921	998	0	0	0	1	921	998	2	1842	1996	
2BDR "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	998	0	0	0	1	921	998	1	921	998	2	1842	1996	
2BDR "B1"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	5	4605	4990	5	4605	4990	4	3684	3992	14	12894	13972	
2BDR "B2"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	2	1842	1996	2	1842	1996	2	1842	1996	6	5526	5988	
	UNIT TOTALS			12	10380	11252	12	10380	11252	12	10380	11252	36	31140	33756	
	COMMON/AMENITY SPACE												36	31140	33756	
	EXTERIOR ROOF AREAS	1790													1790	
	<b>BUILDING GROSS TOTAL</b>														<b>48590</b>	

**NCHFA PROJECT AMENITIES**

- OUTDOOR SITTING AREAS (REQUIRED)
- MULTI-PURPOSE ROOM (REQUIRED)
- GAZEBO (REQUIRED)
- COVERED DROP-OFF (ELECTIVE)
- COVERED PICNIC AREA (ELECTIVE)
- RESIDENT COMPUTER CENTER (ELECTIVE)

**PROJECT TOTALS**

	BUILDING I	BUILDING II	TOTAL
# OF UNITS	48	36	84
HEATED SF	42192	31140	73332
GROSS SF	67934	48590	116524

**KNIGHT'S COURT  
SENIOR APARTMENTS**

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REVISIONS		
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**PROJECT DATA**

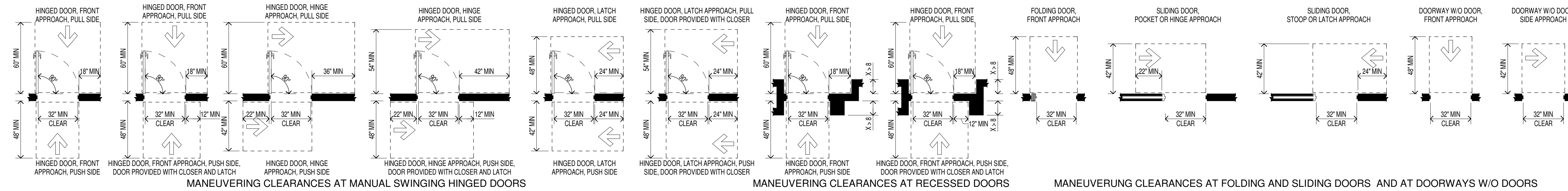
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01/19/21

**G107**

# ABBREVIATIONS

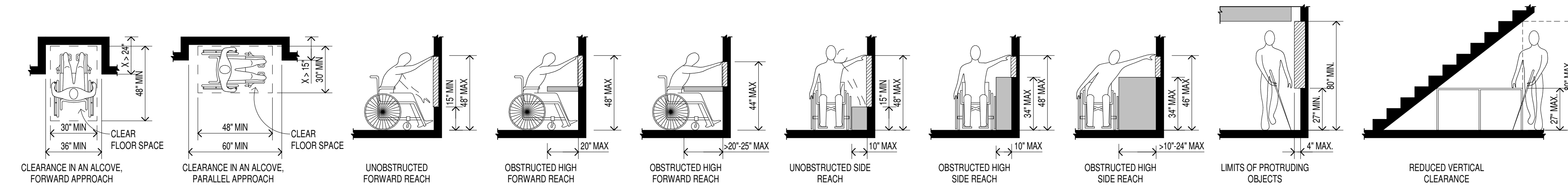
SYMBOL DENOTES ABBREVIATION IN TEXT OR KEYNOTES. SOME ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.

ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION
"(X)"	DENOTES FIRST LETTER IN THE GROUP	COMP	COMPARTMENT	FLASH	FLASHING	LAD	LADDER	PLAT	PLATFORM	STOR	STORAGE
#	NUMBER	CONC	CONCRETE	FLDG	FOLDING	LAM	LAMINATE(D)(ION)	PLK	PLANK	STR	STRINGER
&	AND	COND	CONDITION, CONDENSATE	FLEX	FLEXIBLE	LAU	LAUNDRY	PLYWD	PLYWOOD	STRUCT	STRUCTURAL
~	APPROXIMATELY	CONF	CONFERENCE	FLG	FLOORING	LAV	LAVATORY	PNL	PANEL	STWY	STAIRWAY
@	AT	CONN	CONNECT, CONNECTION	FLR	FLOOR	LB	LOAD	PNT	PAINT(D)	SUB FL	SUBFLOOR
∠	ANGLE	CONSTR	CONSTRUCTION	FLR PL	FLOOR PLATE	LBL	LABEL	POL	POLISHED	SUPP	SUPPORT
∅	DIAMETER	CONT	CONTINUE, CONTINUOUS	FLJOUR	FLOOR JOINT	LBR	LUMBER	POPC	PORCELAN	SURF	SURFACE
(A)	AIR CONDITIONING UNIT	CONTR	CONTRACTOR	FLOR MAT	FLOOR MAT	LDG	LOADING, LANDING	PORT	PORTABLE	SUSP	SUSPENDED
AB	ANCHOR BOLT	COORD	COORDINATE	FN	FENCE	LG	LENGTH	PP PL	PUSH/PULL PLATE	SV	SHEET VINYL
ABV	ABOVE	CORR	CORRIDOR	FOC	FACE OF CONCRETE	LH	LEFT HAND(ED)	PR	PAIR	SW	SWITCH
ACC	ACCESSIBLE	CPT	CARPET	FOF	FACE OF FINISH	LN	LINEAR	PRE-W	PRE-ENGINEERED WALL	SYM	SYMBOL
ACI	AMERICAN CONCRETE INSTITUTE	CRCMF	CIRCUMFERENCE	FOM	FACE OF MASONRY	LKR	LOCKER	PREFAB	PREFABRICATE(D)	SYMM	SYMMETRICAL
ACPL	ACCOUSTICAL PLASTER	CRES	CORROSIVE RESISTANCE STEEL	FOS	FACE OF STUD	LD	LEAD-LINED DOOR	PREFIN	PREFINISHED	SYS	SYSTEM
ACS DR	ACCESS DOOR	CRS	COURSE(S)	FOW	FACE OF WOOD / WALL	LLH	LONG LEG HORIZONTAL	PREFM	PREFORMED	(T)	TERRAZZO
ACS PNL	ACCESS PANEL	CS	CAST STONE	FP	FIRE PARTITION, FIREPROOF	LLO	LONG LEG OUT	PRELM	PRELIMINARY	T&G	TONGUE AND GROOVE
ACT	ACCOUSTICAL CEILING TILE	CSK	COUNTERSUNK	FRPF	FIREPROOF(ED)(ING)	LLV	LONG LEG VERTICAL	PRKG	PARKING	TAN	TANGENT
ADA	AMERICANS W/ DISABILITIES ACT	CSMT	CASEMENT	FR	FIRE RESISTANT, FRAME	LNTL	LINEAL	PRM	PRIMER(ED)	TB	TOWEL BAR
ADDM	ADDENDUM	CT	CERAMIC TILE	FRMG	FRAMING	LONG	LONGITUDINAL	PROJ	PROJECT	TEL	TELEPHONE
ADH	ADHESIVE	CTP	CERAMIC TILE PANEL	FRP	FIBERGLASS REINFORCED PLASTIC	LR	LONG LEG OUT	PT	PRESSURE TREATED, POINT	TEMP	TEMPERED, TEMPORARY
ADJ	ADJACENT, ADJOINING	CTR	CENTER	FRT	FIRE RETARDANT	LS	LOW SPINKLER	PTD	PAPER TOWEL DISPENSER	TER	TERRAZZO
ADMIN	ADMINISTRATION	CTS	COUNTER SINK	FS	FULL SIZE	LT	LIGHT	PTN	PARTITION	TH	TRUSS HEAD
ADO	AUTOMATIC DOOR OPERATOR	CUB	CUBICLE	FSF	FIRE SAFETY	LT WT	LIGHTWEIGHT	PTR	PAPER TOWEL RECEPTACLE	THK	THICK(NESS)
AFF	ABOVE FINISHED FLOOR	CV	CEILING VENT	FSP	FIRE STAND PIPE	LTG	LIGHTING	PVC	POLYVINYL CHLORIDE	THRES	THRESHOLD
AGGR	AGGREGATE	CWH	CONDUCTIVE VINYL HOMOGENEOUS	FSTNR	FASTENER	LTVG	LIGHTING	PVMT	PAVEMENT	TOB	TOP OF BEAM
AHU	AIR HANDLING UNIT	CW	CASEWORK	FT	FEET	LVR	LOUVER	PW	PASS WINDOW	TOC	TOP OF CURB, (CONCRETE)
ALT	ALTERNATE	CYL	CYLINDER	FTG	FOOTING	LWC	LIGHTWEIGHT CONCRETE	(Q)	QUERY TILE	QT	QUARTER
ALLM	ALUMINUM	(D)	DEPTH	FURN	FURNITURE	(M)	MENS	QTR	QUARTER	TOF	TOP OF
AND	AND(ED)	d	DEPTH (AS IN NAIL-10#)	FUT	FUTURE	M	MACHINE	QTY	QUANTITY	TOILE	TOILET
APPD	APPROVED	DAT	DATUM	FW	FIRE WATER	MACH	MACHINE	TOP	TOP OF	TOLE	TOLERANCE
APPROX	APPROXIMATE	DBL	DOUBLE	FWC	FABRIC WALL COVERING	MAINT	MAINTENANCE	TOPO	TOPOGRAPHY	TOP	TOP OF
ARCH	ARCHITECTURAL, ARCHITECT	DBL ACT DR	DOUBLE ACTING DOOR	(G)	GAGE	MATL	MATERIAL(S)	R	RADIUS, RANGE	TOS	TOP OF STEEL, (SLAB)
ASB	ASBESTOS	DEG	DEGREE	GA	GAGE	MAX	MAXIMUM	RAB	RABBETED	TOW	TOP OF WALL
ASC	ABOVE SUSPENDED CEILING	DEMO	DEMOLITION	GALV	GALVANIZED	MB	MARKER BOARD, MACHINE BOLTS	RB	RUBBER BASE, RESILIENT BASE	TPD	TILE PAPER DISPENSER
ASPH	ASPHALT	DEPR	DEPRESSION	GALV STL	GALVANIZED STEEL	MC	MEDICAL CABINET	RBR	RUBBER	TPN	TILE PARTITION
ATC	ACCOUSTICAL TILE CEILING	DEPT	DEPARTMENT	GB	GRAB BAR	MCJ	MASONRY CONTROL JOINT	RCP	REFLECTED CEILING PLAN	TR	TILE ROOM
AVG	AVERAGE	DET	DETAIL	GC	GENERAL CONTRACTOR	MCO	METAL-CASED OPENING	RD	ROOF DRAIN	TRANS	TRANSOM, (TRANSVERSE)
AWT	ACCOUSTICAL WALL TREATMENT	DF	DRINKING FOUNTAIN	GCSB	GYPSUM CORE SHEETING BOARD	MDF	MEDIUM DENSITY FIBERBOARD	RDEG	RIDGE	TRTD	TREATED
(B)	BALCONY	DH	DOUBLE HUNG	GEN	GENERAL	MDS	METAL DIVIDER STRIP	REC	RECESSED	TS	TAPPED & SANDED, TUBE STEEL
BALC	BALCONY	DIA	DIAMETER	GFE	GOVERNMENT FURN. EQUIPMENT	MECH	MECHANICAL	REC RM	RECREATIONAL ROOM	TSTAT	THERMOSTAT
BATT INSUL	BATT INSULATION	DIAG	DIAGONAL	GFE/CI	GFE CONTRACTOR INSTALLED	MECH RM	MECHANICAL ROOM	REF	REFERENCE	TT	TERRAZZO TILE RESINUS MATRIX
BD	BOARD	DIM	DIMENSION	GFR CONC	GLASS FIBER REINFORCED CONC.	MED	MEDIUM	REFL	REFLECT	TV	TELEVISION
BDRY	BOUNDARY	DISP	DISPENSER	GFR GYP	GLASS FIBER REINFORCED GYPC.	MEMB	MEMBRANE	REFR	REFRIGERATION	TYP	TYPICAL
BEV	BEVEL	DIST	DISTRIBUTION, DISTANCE	GIP	GALVANIZED IRON PIPE	MES	METAL EDGE STRIP	REG	REGISTER, REGLECT	UCNTR	UNDERCOUNTER
BG	BUMPER GUARD	DIV	DIVISION	GKT	GASKET(ED)	MEZ	MEZZANINE	REIN	REINFORCED(ING)(MENT)	UL	UNDERWRITERS LABORATORIES
BHMA	BUILDERS HARDW. MFGS ASSOC.	DMPF	DAMP PROOFING	GL	GLASS	MFG	MANUFACTURING	REM	REMOVE(ABLE)	UNFN	UNFINISHED
BITUM	BITUMINOUS	DMT	DEMOUNTABLE	GL BLK	GLASS BLOCK	MFR	MANUFACTURER	REQD	REQUIRED	UNO	UNLESS NOTED OTHERWISE
BJT	BED JOINT	DN	DOWN	GLF	GLASS FIBER	MGT	MATTE-GLAZED TILE	RESIL	RESILIENT	UR	URINAL
BK	BACKER	DR	DOOR, DRAIN	GLZ	GLAZING	MH	MANHOLE	REST RM	RESTROOM	UTIL	UTILITY
BKJ	BACKER	DR CL	DOOR CLOSER	GLZ CMU	GLAZED CONC. MASONRY UNITS	MIN	MINIMUM	RET	RETURN		
BKLD	BUILDING	DRB	DRAIN BOARD	GND	GROUND	MIRR	MIRROR	REV	REVISION		
BLKG	BLOCKING	DS	DOWNSPOUT, DOUBLE STRENGTH	GNOV	GOVERNMENT	MISC	MISCELLANEOUS	RFG	ROFFING		
BLW	BELOW	DT	DRAIN TILE	GPL	GYPSUM LATH	ML	METAL LATH, MONOLITHIC	ROV	ROOF	(V)	VAPOR BARRIER
BM	BEAM, BENCH MARK	DTW(S)	DOWELS	GPT	GYPSUM TILE	MLDG	MOLDING	RH	ROOF HATCH, RIGHT HAND	VAB	VARIABLE VARNISH
BO	BOTTOM OF	DW(S)	DOWELS	GR LN	GRADE LINE	MLWK	MILLWORK	RHR	RIGHT HAND REVERSE	VAR	VARIABLE VARNISH
BOT	BOTTOM	DWR	DRAWER	GRAN	GRANITE	MO	MASONRY OPENING	PK	RACK	VB	VINYL BASE
BR	BEDROOM	DWTR	DUMBWATER	GRTG	GRATING	MOD	MODULAR, MODIFY, MODIFIED	RLG	RAILING	VCT	VINYL COMPOSITION TILE
BRG	BRACING	DX	DIRECT EXPANSION	GT	GROUT	MRS	MARBLE	RM	ROOM	VENT	VENTILATION
BRG PL	BEARING PLATE	(E)	EAST	GUT	GUTTER	MRD	METAL ROOF DECKING	RND	ROUND	VERT	VERTICAL
BRK	BRICK	E	EAST	GVL	GRAVEL	MT	METAL THRESHOLD, MOUNT	RO	ROUGH OPENING	VEST	VESTIBULE
BRKT	BRACKET	EA	EACH	GWT	GYPSUM WALL TILE	MTD	MOUNTED	ROW	RIGHT OF WAY	VF	VINYL FABRIC
BS	BOTH SIDES	EAC	EACH	GYP	GYPSUM	MTR	METAL FURRING	RP	RETRACTABLE PARTITION	VG	VERTICAL GRAIN
BMT	BASEMENT	EB	EXPANSION BOLT	GYP BD	GYPSUM BOARD	MTL	METAL	RPRT	RAISED PATTERN RUBBER TILE	VH	VINYL HOMOGENEOUS, (SEAMLESS)
BTWN	BETWEEN	EF	EACH FACE	GYP PLAS	GYPSUM PLASTER	MULL	MULLION	RSS	RESILIENT SHEET	VH	VERIFY IN FIELD
BUR	BUILT-UP ROOFING	EIFS	EXTERIOR INSUL. & FINISH SYSTEM	(H)	HOLLOW CORE	MVB	MOVABLE	RSR	RISER	VJ	VINYL
BW	BOTH WAYS	EJ	EXPANSION JOINT	HB	HOSE BIB	MWF	MEMBRANE WALL FLASHING	RT	RESILIENT TILE	VJ	V-JOINT(ED)
(C)	CENTER TO CENTER	EL	ELEVATION GRADE OR BUILDING	HC	HOLLOW CORE	(N)	NORTH	RTF	RUBBER TILE FLOOR	VOL	VOLUME
CAB	CABINET	ELEV	ELEVATOR, ELEVATION BUILDING	HCP	HANDICAPPED	N	NORTH	RUBB	RUBB(ED) CONCRETE	VOL	VENEER PLASTER
CB	CATCH BASIN, CONTROL BOX	EMBT	EMBEDMENT	HD	HEAD, HEAVY DUTY	NREQD	NOT REQUIRED	RVS	REVERSE	VS	VENT STACK
CBB	CEMENTITIOUS (BACKER) BOARD	EMER	EMERGENCY	HDBD	HARDBOARD	NA	NOT APPLICABLE	RVT	RIVET	VT	VINYL TILE
CBP	COMPOSITE BUILDING PANEL	ENCL	ENCLOSURE	HDBD	HARDBOARD	NAT	NATURAL	RWC	RAINWATER CONDUCTOR	VTR	VENT THRU ROOF
CD	CONSTRUCTION DOCUMENTS	ENGR	ENGINEERING	HDTJ	HEAD JOINT	NAT	NATURAL	(S)	SOUTH	VWC	VINYL WALL COVERING
CDR	CARD HEADER	ENTR	ENTRANCE, ENTERING	HDPE	HIGH DENSITY POLYETHYLENE	NAT	NATURAL	S	SOUTH	(W)	WEST, WATT
CEM	CEMENT	EP	ELECTRIC PANEL BOARD	HDR	HEADER	NIC	NOT IN CONTRACT	SAFB	SOUND ATTENUATION FIRE BLANKET	WFS	WOMENS
CEM PLAS	CEMENT PLASTER	EPF	EXPLOSION PROOF	HDW	HARDWARE	NL	NAILABLE	SAN	SANITARY	W	WITH
CER	CERAMIC	EPY	EPOXY COATING	HDWD	HARDWOOD	NO	NUMBER, NORMALLY OPEN	SAN	SANITARY	WC	WHEELCHAIR
CFE	CONTRACTOR FURN. EQUIPMENT	EQ	EQUAL	HES	HIGH EARLY-STRENGTH CEMENT	NOM	NOMINAL	SBLK	SOLID BLOCK	WO	WITHOUT
CFI	CONTRACTOR FURN. & INSTALLED	EQIP	EQUIPMENT	HGT	HEIGHT	NSF	NET SQUARE FEET	SC	SOLID CORE	WO	WITHOUT
CFL	CONDUCTIVE FLOORING	ESCAL	ESCALATOR	HKT	HOOK(S)	NTS	NOT TO SCALE	SCHED	SCHEDULE	WW	WALL TO WALL
CFLG	COUNTERFLASHING	EST	ESTIMATE(D)	HM	HOLLOW METAL	(O)	OPEN	SCR	SCREEN	WBL	WOOD BLOCKING
CG	CORNER GUARD	EW	EACH WAY	HNDRL	HANDRAIL	OBSC	OBSCURE	SCRN	SCREEN	WC	WATER CLOSET
CH BD	CHALKBOARD	EW	ELECTRIC-WATER COOLER	HORIZ	HORIZONTAL	OC	ON CENTER	SC	STRUCTURAL CLAY TILE	WOO	WOOD CASED OPENING
CHFR	CHAMFER	EXC	EXCAVATE	HR	HOUR	OD	OUTSIDE DIAMETER	SCUT	SCUTTLE	WO	WOOD, WOOD DOOR
CHM	CHIMNEY	EXD	EXIT DEVICE	HS	HIGH STRENGTH	OF	OUTSIDE FACE	SD	STORM DRAIN, SMOKE DETECTOR	WDSP	WASTE DISPOSER
CHK	CHECK	EXIST	EXISTING	HSGYP	HIGH STRENGTH GYPSUM PLASTER	OFI	OWNER FURN. CONTR. INSTALLED	SECT	SECTION	WDF	WINDOW
CIP	CAST-IN-PLACE	EXP	EXPANSION	HSKPG	HOUSEKEEPING	OPD	OVERFLOW DRAIN	SECY	SECRETARY	WDF	WIRE FLANGE, WIDE FLANGE
CIRC	CIRCULAR, CIRCULATION	EXP	EXPOSED	HT	HEIGHT	OFF	OFFICE	SFLG	SAFETY GLASS	WG	WIRE GLASS
CJ	CONTROL, (CONSTRUCTION) JOINT	EXT	EXTERIOR	EXTR	EXTRUDED	HWAC	HEATING, VENTIL. & AIR CONDIT.	SG	SHEET GLASS	WH	WALL HUNG
CKD	CHECKERED	(I)	INTERNATIONAL BUILDING CODE	(J)	JUNCTION BOX	HWH	HOT WATER HEATER	SHR	SHOWER	WWSH	WORK SHOP
CL RM	CLASSROOM	IBC	INTERNATIONAL BUILDING CODE	IC	INTERCOM	(K)	KITCHEN	SHT	SHEET	WM	WIRE MESH, WALK OFF MAT
CL CL	CENTER LINE	IC	INTERCOM	ID	INSIDE DIAMETER	OPNG	OPENING	SHTG	SHEATHING	WP	WEATHERPROOF(ING), WALL PROTECTION
CLG	CEILING	FA	FIRE ALARM, FRESH AIR	IN	INCH	OPP	OPPOSITE	SHV	SHELVING	WR	WASTE RECEPTACLE
CLG HT	CEILING HEIGHT	FAAP	FIRE ALARM ANNUNCIATOR PANEL	INCL	INCLUDED	OPQ	OPPOSITE	SIM	SIMILAR	WRB	WARDROBE
CLGL	CLEAR GLASS	FAC	FIRE APPARATUS CLOSET	INCL	INCLUDED	(P)	POLE	SKLT	SKYLIGHT	WSC	WAINSCOT
CLG	CALKING	FBD	FIBERBOARD	INSF	INSULATING FILL	P	POLE	SLNT	SEALANT	WT	WEIGHT, WINDOW TREATMENT
CLG	CALKING	INSUL	INSULATION (INSULATED)	INT	INTERIOR	PAR	PARAPET, PARALLEL	SLV	SLEEVE	WTH	WIDTH
CL	CONTRACT LIMIT LINE	INT	INTERIOR	INV	INVERT	PAS	PASSAGE, PASSENGER	SP FN	SPECIAL FINISH	WFF	WELDED WIRE FABRIC
CLO	CLOSET	INVT	INVERT	IP	IP	PASS	PASSAGE, PASSENGER	SPC	SPECIAL FINISH	WMM	WOVEN WIRE MESH
CLOS	CLOSURE	IP	IP	IP	IP	PB	PARTICLE BOARD	SPCL	SPECIAL FINISH	(X)	EXPOSED
CLR	CLEARANCE	IP	IP	IP	IP	PB	PARTICLE BOARD	SPD	SOUNDPROOF DOOR	XFMR	TRANSFORMER
CLWG	CLEAR WIRED GLASS	IP	IP	IP	IP	PB	PARTICLE BOARD	SPC	SPECIAL FINISH		
CMP	CORRUGATED METAL PIPE	(J)	JUNCTION BOX	PC	PIECE	PBS	PUSH BUTTON STATION	SPC	SPECIAL FINISH		
CMPST	COMPOSITE	FE	FIRE EXTINGUISHER	JAN CLO	JANITORS CLOSET	PC	PIECE	SPF	SOUNDPROOF	(Y)	YARD
CMPTR	COMPUTER	FEB	FIRE EXTINGUISHER BRACKET	JF	JOINT FILLER	POC	PRECAST CONCRETE	SPH	SPACE HEATER	YO	YARD DRAIN
CMT	CERAMIC MOSAIC (TILE)	FEC	FIRE EXTINGUISHER CABINET	JST	JOIST	POP	PORTLAND CEMENT PLASTER	SPKR	SPEAKER		
CMU	CONCRETE MASONRY UNIT	FF	FACTORY FINISH	JT	JOINT	PERF	PERFORATE(D)	SO	SQUARE		
CNR	CORNER	FF	FINISH FLOOR	JT	JOINT	PERIM	PERIMETER	SS	SERVICE SINK, STANDING SEAM	(Z)	NOT USED
CNTR	COUNTER	FGL	FIBER GLASS	(K)	KITCHEN	PERP	PERPENDICULAR	SST	STAINLESS STEEL		
CO	CLEAN OUT	FH	FIRE HYDRANT, FLAT HEAD	KIT	KITCHEN	PH	PHASE	SSURF	SOLID SURFACE(ING)		
COL	COLUMN, (COLOR)	FHC	FIRE HOSE CABINET	KOP	KNOCKOUT PANEL	PHAR	PHARMACY	STAGG	STAGGERED		
COM	COMMON	FHR	FIRE HOSE RACK	KPL	KICK PLATE	PIV	POST INDICATING VALVE	STD	STANDARD		
COMB	COMBUSTION, COMBUSTABLE	FHS	FIRE HOSE STATION	(L)	LABORATORY	PL	PROPERTY LINE, PLATE	STG	STAGG		
COMM	COMMERCIAL, (COMMUNICATION)	FN	FINISH	FTX	FIXTURE	PL GL	PLATE GLASS	STFF	STIFFENER		
		FJT</									



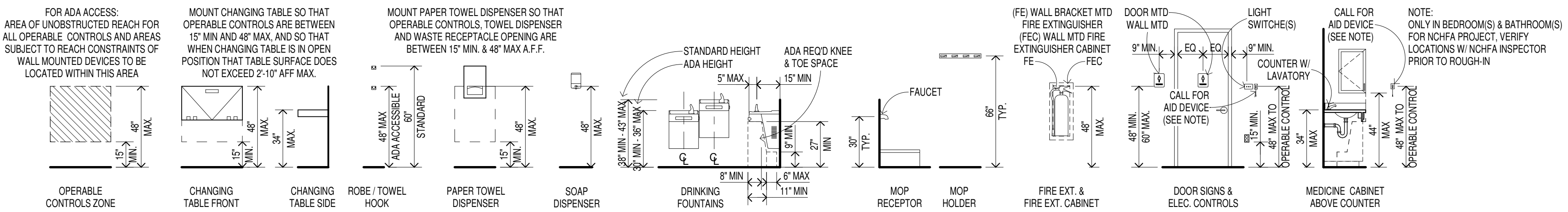
**ACCESSIBLE ROUTES**

NOT TO SCALE



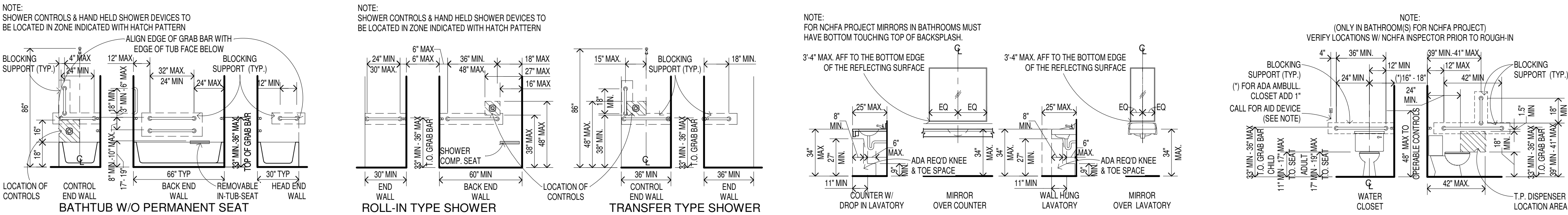
**MANEUVERING SPACE & REACH RANGES**

NOT TO SCALE



**MOUNTING HEIGHTS TYP.**

NOT TO SCALE



**BATHTUB TYP.**

NOT TO SCALE

**SHOWER TYP.**

NOT TO SCALE

**VANITY SINK & LAVATORY TYP.**

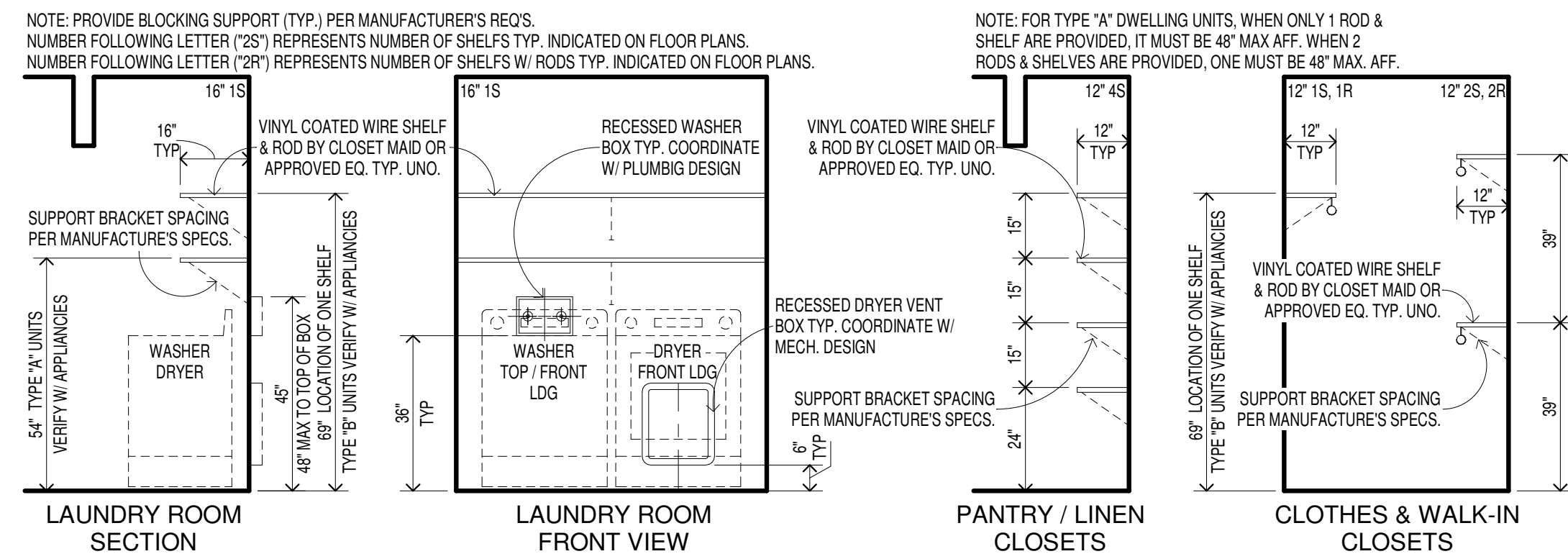
NOT TO SCALE

**TOILET FLOOR MTD. W/ TANK**

NOT TO SCALE

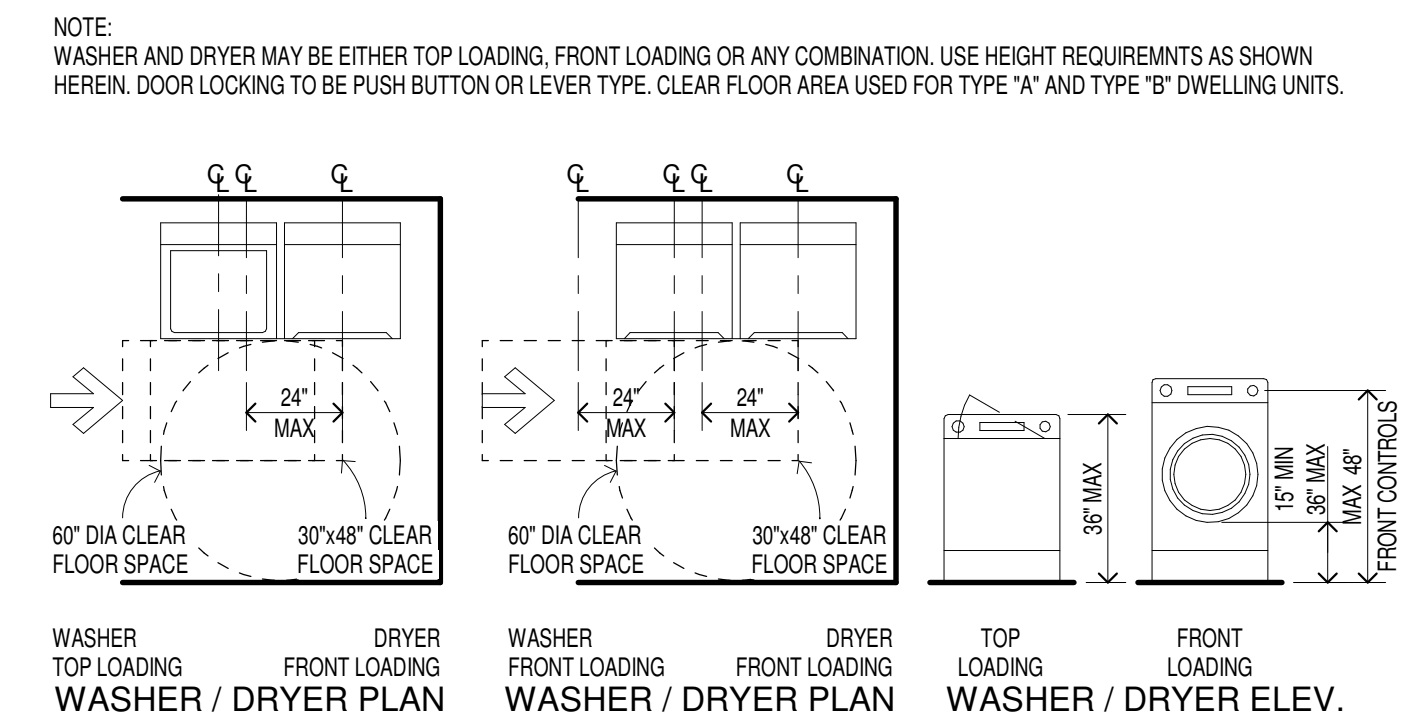
**GENERAL ACCESSIBILITY NOTES**

- AS PER ICC ANS I 117.1 2009 SECTION 1003.5, ALL PRIMARY ENTRY DOORS AND OTHER DOORS INTENDED FOR USER PASSAGE WITHIN A FULLY ACCESSIBLE UNIT (TYPE A) AND TYPE B ENTRY DOORS MUST HAVE 18" CLEAR ON THE PULL SIDE OF THE DOOR. DOORS TO HABITABLE ROOMS MUST HAVE A MIN. 3'-0" DOOR & INCLUDE LEVER HARDWARE PER NCHFA 2019 OAP REQ'S.
- IN TYPE "A" (HC) UNITS, WHERE OPERABLE WINDOWS ARE PROVIDED IN THE LIVING ROOM, DINING ROOM AND BEDROOMS, ALL OPERABLE WINDOW IN EACH AREA MUST BE ACCESSIBLE WITH OPERATING CONTROLS AT 48" MAX AFF PER ICC ANS I 117.1 2009 SECTION 308. WINDOW SILLS MUST BE 24" AFF WHERE OVER 72" DROP TO AREA BELOW.
- ALL OPERABLE PARTS (SWITCHES, OUTLETS, CONTROLS) IN TYPE "A" ACCESSIBLE DWELLING UNITS SHALL COMPLY WITH SECTION 1003.9 & TYPE "B" ACCESSIBLE UNITS SHALL COMPLY WITH SECTION 1004.9 OF THE ICC/ANSI A117.1-2009. SWITCHES AND OUTLETS ARE PROVIDED AT SIDE WALLS AND/OR BASE CABINET FRONTS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
- TYPE "A" UNIT OVENS - THE LOCATION OF THE CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS, HOOD LIGHT & VENT TO BE ON SEPARATE SWITCHES WITH ACCESSIBLE REACH RANGE.
- WORKSPACES IN TYPE "A" KITCHENS TO BE 34" AFF MEASURED FROM THE FLOOR TO THE COUNTER OR SINK RIM, WHICHEVER IS HIGHER.
- ALL DOOR HARDWARE IS TO BE LEVER TYPE AND CABINET HARDWARE TO BE LOOP OR D SHAPE HANDLES.
- SOME ABBREVIATIONS, SYMBOLS OR CONDITIONS SHOWN ON THIS SHEET MAY NOT APPLY TO THIS PROJECT.
- GRAB BAR REINFORCEMENT MUST BE SUFFICIENT TO PERMIT THE INSTALLATION OF REAR AND SIDE WALL GRAB BARS THAT FULLY MEET ALL ADA REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, RECD LENGTH, INSTALLATION HEIGHT, AND STRUCTURAL STRENGTH.
- HAND OPERATED METERING FAUCETS AT LAVATORIES & SINKS SHALL REMAIN OPEN FOR MIN. 10 SECONDS.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES & SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES & SINKS.
- FLUSH VALVE CONTROLS & FLUSH TANK CONTROLS POSITION SHALL BE ON THE OPEN SIDE OF THE WATER CLOSET.
- WASHING MACHINES & DRYERS: TOP LOADING MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 36" MAX. A.F. FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED MIN 15" & MAX. 36" A.F. FLOOR.
- TYPE "B" KITCHENS TO MEET ICC/ANSI A117.1-2009 SECTION 1004.12.
- STANDARD CABINETS AND STANDARD APPLIANCES MAY BE USED IN TYPE "B" UNITS.
- TYPE "A" ACCESSIBLE KITCHENS TO MEET ICC/ANSI A117.1 2009 SECTION 1003.12.
- EXPOSED PIPES UNDER SINK SHALL BE PROTECTED OR INSULATED AGAINST CONTACT. NO SHARP OR ABRASIVE SURFACES ALLOWED.
- PROVIDE RANGE / OVEN WITH FRONT PANEL CONTROLS.
- REFRIGERATOR / FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE WITHIN 54" MAX. AFF.
- CABINETS SHALL BE PERMITTED UNDER SINK PROVIDED IT CAN BE REMOVED WITHOUT REMOVING THE SINK; THE FLOOR FINISH EXTENDS UNDERNEATH & THE WALLS BEHIND & SURROUNDING THEM ARE FINISHED. (PER ICC A117.1 2009 1003.12.4.1 EXCEPTION 2)



**SHELF HEIGHTS TYP.**

NOT TO SCALE



**LAUNDRY ROOM TYP.**

NOT TO SCALE

NCHFA PRELIMINARY APPLICATION

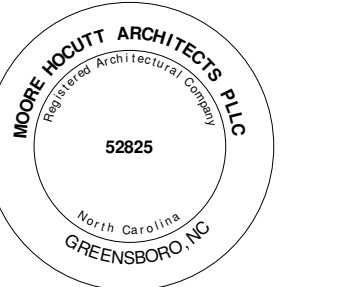
**NOT FOR CONSTRUCTION**

01/19/21



**MOORE HOCUTT**  
 3300 BATTLEGROUND AVE.  
 SUITE 306  
 GREENSBORO, NC 27410  
 P 336.897.0305  
 www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
 KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By **MLM**  
 Drawn By **JRH**  
 Checked By **JRH**  
 Date **01/19/21**  
 Project No. **MHA-P21-17**

**ACCESSIBILITY INFORMATION**

**G109**

# NCHFA

## Design Quality Standards and Requirements

### II. BUILDING AND UNIT DESIGN PROVISIONS

#### A. EXTERIOR DESIGN AND MATERIALS

- Building design must use different roof planes and contours to break up roof lines. Wide window and door trim must be used to better accent siding. If horizontal banding is used between floor levels, use separate color tones for upper and lower levels. If possible, use horizontal and vertical siding applications to add detail to dormers, gables, and extended front facade areas.
- The use of no or very low maintenance materials is required for exterior building coverings on all new construction projects. These include high quality vinyl siding, brick, or fiber cement siding. The use of metal siding is prohibited. Vinyl siding must have a .044 inch thickness or greater and a limited lifetime warranty. Where band boards attach to and are part of the vinyl siding application, metal z-flashing must be installed behind, on top of, and below bands.
- All exterior trim, including fascia and soffits, window and door trim, gable vents, etc. must also be constructed of no or very low maintenance materials.
- All buildings must include seamless gutters and aluminum drip edge on all gable rakes and fascia boards. Drip edge must extend a minimum of 2 inches under the shingles. Downspouts must be installed so as not to drain across pedestrian path of travel.
- All building foundations must have a minimum of 12 inches exposed brick or masonry veneer above finished grade level (after landscaping).
- Breezeway and stairwell ceilings must be constructed of materials rated for exterior exposure.
- A minimum 48-inch path of travel is required through building breezeways.
- Buildings and units must be identified using clearly visible signage and numbers. Building and unit identification signage must be well lit from dusk till dawn and meet ANSI A117.1, Section 703 standards.
- Omitted
- Stairs in breezeways and building stairwells (not to include unit interiors) must have a minimum clear width of 40 inches between handrails and be completely under roof cover. Handrails must be 1 1/2 to 1 3/4 inches in diameter.
- Exterior railings must be made of vinyl, aluminum or steel (no wood).
- Anti-fungal dimensional (architectural) shingles with a minimum 30-year warranty are required for all shingle roof applications. All other types of roof coverings or installations must have a minimum 30-year warranty.
- Covered drop-offs must have a minimum 13-foot vehicle headroom clearance.
- In vinyl siding applications all exterior penetrations must be installed in plastic J-boxes.
- Weep holes must be below finished slab elevation and not covered with sod, mulch, finished grade or landscaping.
- All property entrances must have a monument sign with brick or stone columns and lighting.
- All HVAC condensate drain lines may not drain on brick veneers or siding materials.
- Exterior hallways, corridors or breezeways and interior hallways and corridors may not have a slope greater than 2% in any direction.
- The Agency will not approve any four-story residential buildings without an elevator where parking is only provided on the 1<sup>st</sup> floor.

#### B. DOORS AND WINDOWS

- All primary unit entries must either be within a breezeway or have a minimum roof covering of 3 feet deep by 5 feet wide, including a corresponding porch or concrete pad.
- High durability, insulated doors (such as steel and fiberglass) are required at all exterior locations. Single lever deadbolts and eye viewers are required on all main entry doors to residential units.
- Exterior doors for Type A units must include spring hinges.
- Insulated, double pane, vinyl windows meeting current North Carolina Model Energy Code are required for new construction and rehabilitation projects (if replacing windows).
- Windows must not be located over tub or shower units.
- Install a continuous bead of silicone caulk behind all nail fins before installing new vinyl windows per manufacturer's specifications.

#### C. INTERIOR DESIGN AND MATERIALS

- All residential units must meet minimum unit size requirements. The square footage measurements below will be for heated square feet only, measured interior wall to interior wall, and do not include exterior wall square footage. Unheated areas such as patios, decks, porches, stoops, or storage rooms cannot be included.

Single Room Occupancy (SRO)	250 square feet
Studio	375 square feet
Efficiency	450 square feet
1 Bedroom	660 square feet
2 Bedroom	900 square feet
3 Bedroom	1,100 square feet
4 Bedroom	1,250 square feet

For additional requirements see the Definitions section at the end of this Appendix.
- All units must have a separate dining area, except for SRO, Studio, and Efficiency units (see Definitions for description). Dining areas may not be positioned in kitchens within a 60-inch clear floor space of any cabinets or appliances. Dining areas may not be positioned close to hallway openings or where walking paths of travel is used by the residents.
- Newly constructed residential units must have an exterior storage closet (interior common area not for congregate) with a minimum of 16 unobstructed square feet. Storage closets may not have any dimension smaller than 36 inches in width or depth. Water heaters may not be installed in exterior storage closets.
- Carpet and pad must meet FHA minimum standards. Carpets in Type A units must be glue-down type without padding.
- Kitchens, dining areas, and entrance areas must have vinyl, VCT or other non-carpet flooring.
- The minimum width of interior hallways in residential units is 40 inches.
- For new construction, interior doors must be constructed of two, four or six panel hardboard, solid core birch or solid core luan. Hollow core, flat-panel doors are prohibited.
- Interior doors must have a minimum of three (3) hinges.
- Bi-fold, pocket, louvered, and by-pass doors are prohibited.
- Residential floors and common tenant walls must have sound insulation batts.
- All bedroom closets, interior storage rooms, coat closets, and laundry rooms/closets must have a 4-inch-tall by 8-inch-wide minimum pass-thru grille above doors for air circulation in those areas that do not get conditioned. Closets or rooms deeper than 48 inches must be served by heating and cooling systems with its own supply diffuser.
- There must be a minimum of 3/4 inch air space under all interior doors measured from finished floor for air circulation.
- All interior and exterior mechanical and storage closets must have finished floor coverings. Interior closets must have either carpet, sheet vinyl or VCT flooring. Exterior storage closets may have sealed, painted concrete floors.
- Signage for designated common areas and all units must be in Braille and meet ANSI A117.1,

#### Section 703 standards.

- The following areas must contain moisture resistant drywall: ceilings and walls of bathrooms, laundry rooms, mechanical closets, exterior storage closets, and behind kitchen sink base.
- One elevator must be provided for every 60 units on a per building basis with a minimum of 48 units in a building. The elevator(s) must be centrally located within a given building and sized to be 60 inches x 60 inches minimum. This provision does not apply to buildings with a breezeway.
- All interior stair handrails must be mounted on a continuous wood backer board.
- Accessible cabinets with removable fronts must be manufactured to be removable with only a screwdriver.
- Shoe molding must be installed in areas where glue-down or laminate flooring is installed. Vinyl/rubber base can only be installed on walls with metal framing or masonry/block walls.
- In all Type A units, a 60-inch minimum turning radius is required into and throughout all usable areas of the kitchen, in accessible bathroom, in laundry rooms, and in closets that exceed 48 inches in depth.
- All interior common areas, hallways, and enclosed corridors must be served by heating and cooling systems. All enclosed building stairwells must be served with heating and air conditioning.
- Seal all penetrations through walls and ceiling with appropriate and like sealants to prevent moisture and air leakage.

#### D. BEDROOMS

- The primary bedroom must have at least 130 square feet, excluding the closet(s).
- Secondary bedrooms must have at least 110 square feet, excluding the closet(s).
- Every bedroom must have a closet with a shelf, closet rod and door. The average size of all bedroom closets in each unit type must be at least 7 linear feet.
- In Type A units, a hard-wired call for aid station is required in all bedrooms.

#### E. BATHROOMS

- A recessed medicine cabinet must be installed in every full bathroom in each residential unit. A glass door on the medicine cabinet may not have sharp edges that may cause bodily injury.
- The average size of all vanities in each unit type must be at least 36 inches. Type A units must have a code compliant removable vanity base below sink for storage. Floors and walls under vanities must be finished. Removal of bases must be done so with a screwdriver only. Vanities with removable fronts must be manufactured for that purpose. The Agency will not allow field altered vanities.
- Mirrors in bathrooms must be low enough to reach the counter backsplashes.
- All full bathrooms must have an overhead ceiling light and exhaust fan on the same switch. Vanity lights must be provided and be on a separate switch.
- All bathrooms must include an exhaust fan rated at 70 CFM (minimum) vented to the exterior of the building using hard ductwork along the shortest run possible.
- All new construction and adaptive re-use projects must comply with QAP Section IV(F)(4) and Appendix B Section VIII regarding additional Type A bathrooms, including roll-in showers. All roll-in showers must have a collapsible water dam or beveled threshold that meets code. All roll-in showers must have a flat, usable minimum floor space of 36 inches by 60 inches and have an adjustable shower rod and weighted curtain installed before occupancy. Shower floor may not be used for code required 60-inch clear floor space in bathrooms.
- Approaches to roll-in showers must be level, not sloped.
- All domestic water line cut off valves must have metal handles, not plastic.
- In all Type A units, the grab bars must be installed per ANSI A117.1 specifications around toilets and in the tub/showers. In roll-in showers the shower head with wand must be installed on a sliding bar and within code required reach ranges by the seat. An additional diverter must be installed to provide water to a shower head on the short shower wall in front of the seat, mounted 80 inches above finished floor.
- In Type A units, a hard-wired call for aid station is required in all bathrooms.
- Offset toilet flanges are prohibited.
- Wood blocking must be installed for bathroom accessories, including towel bars, towel rings, toilet tissue holders, robe hooks, etc.

#### F. KITCHENS

- New cabinets must include dual side tracks on drawers. Door fronts, styles, and drawer fronts must be made with solid wood or wood/plastic veneer products. Particle board or hardboard doors, styles, and drawer fronts are prohibited.
- The minimum aisle width between cabinets and/or appliances is 42 inches.
- A pantry cabinet or closet in or near each kitchen must be provided (does not include SRO, studio or efficiency units). Pantry cabinet or closet door must be 24 inches minimum width and depth. Shelving must be 20 inches deep minimum.
- All residential units must have either a dry chemical fire extinguisher mounted and readily visible and accessible in every kitchen, including kitchen in community building if present, an automatic fire suppression canister mounted in each range hood, or heat limiting devices permanently installed on ranges that limit burners from reaching temperatures high enough to ignite grease, cloth, or plastic.
- Each kitchen must have at the least the following minimum linear footage of countertop that are at or below 36 inches in height above finished floor, excluding the sink and range space:

SRO	4.5 linear feet
Studio	5.0 linear feet
Efficiency	5.0 linear feet
1 Bedroom	8.0 linear feet
2 Bedroom	10.0 linear feet
3 Bedroom	11.0 linear feet
4 Bedroom	13.0 linear feet

Bar tops may not be counted.
- All residential units must have a frost-free Energy Star rated refrigerator with a freezer compartment and factory provided ice maker. Ice maker boxes must be installed with cold water supply line in the wall and centered behind the refrigerator only. Ice maker must be connected and operational. For Type A units the refrigerator must be side by side or bottom freezer drawer type. Water and ice dispensers in the doors, if installed, may not have any controls over 48 inches above finished floor. Doors must open beyond 90 degrees to allow bin removal. The following are the minimum sizes:

0-2 Bedroom	14 cubic feet
3 Bedroom	16 cubic feet
4 Bedroom	18 cubic feet
- All residential units must have an Energy Star rated dishwasher and be installed beside the kitchen sink.
- All residential units must have a double bowl kitchen sink.
- In Type A units:
  - kitchen sinks must be rear-draining and have sink bottoms insulated if bottom of sink is at or below 29 inches above finished floor;

- pull-out worktops are prohibited;
  - workstations must be installed beside the range with no wall to the left or right of the workstation;
  - Removable fronts are required on accessible sink base cabinets and work station cabinets. Floors and walls under sink base and work station must be finished. Removal of door fronts must be done so with a screwdriver only. Cabinets with removable fronts must be manufactured for that purpose. The Agency will not allow field altered vanities. Cutting side panels, cabinet bottoms or backs and removal of plumbing pipes and/or electrical wires will not be allowed.
  - the wall cabinet mounted over the work station must be 48 inches maximum above finished floor to the top of the bottom shelf; and
  - both the range hood fan and light must have separate remote switches mounted over the work station.
  - Pantry cabinets/closets must have 30 inches x 48 inches clear floor space centered on the door.
- In Type A units and common areas, kitchen ranges with cooktop can be no higher than 34 inches above floor.
  - Anti-tip devices must be installed on all kitchen ranges and be securely fastened to the floor. Walls behind or directly beside ranges must be covered with a splash panel. The panel should span from the range to the hood and be plastic, laminate or aluminum. Ranges must be installed to fit flush to the wall. Range cord receptacles must be recessed in the wall behind the range.
  - Base and shoe molding must be installed behind all ranges and refrigerators. No exposed subfloor should be visible between flooring products and sides of cabinets and walls.

#### G. LAUNDRY ROOM CLOSETS

- If providing laundry hookups, a laundry room closet is required which must have a 36-inch minimum depth measured from back wall to back of closet doors, must accommodate a full sized (27 inches to 30 inches) clothes washer and dryer adjacent to each other, and cannot be designed for "stacked" appliances.
- Dryer vent connection box must be galvanized metal and be 2 inches maximum above finished floor.
- Washer water shutoff valves must be installed right side up with the hose connection below the shutoff handle.
- In Type A and Type B units, each clothes washer and dryer must be centered for a side approach only in a four foot clear floor space area. The washer and dryer clear floor space areas may overlap. The clear floor spaces at each appliance may not use door openings or the ability to remove laundry room/closet doors in achieving the required parallel approach clear floor space. All electrical, plumbing, and venting rough-ins must be centered behind each washer and dryer.
- Laundry rough-ins or equipment may not be installed in bedroom closets or in non-doored areas within a bathroom.

#### H. PROVISIONS FOR ALL SENIOR HOUSING

- All senior residential units must be equipped with a hard-wired call for aid station in all bedrooms and full bathrooms. The aid station must be wired to an exterior warning device which consists of a strobe light and an audible alarm.
- Provide loop or "D" shaped handles on cabinet doors and drawers.
- Exhaust vents and lighting above ranges must be wired to remote switches for both the light and fan near the range in an accessible location.
- Provide solid blocking at all toilets and tub/shower units for grab bar installation.
- Provide a minimum 18 inch grab bar in all tub/shower units. The grab bar must be installed centered vertically at 48 inches A.F.F. on the wall opposite the controls.

#### I. PROVISIONS FOR SIGHT AND HEARING-IMPAIRED UNITS

- Two percent of the total number of units constructed, or a minimum of one, must be able to be equipped for residents with sight and hearing impairments. These requirements include the following:
- The unit(s) must be roughed in to allow for smoke alarms with strobe lights in every bedroom, bathroom, and living area.
  - The units must have a receptacle next to telephone jacks in units for future installation of TTY devices.
  - The unit must be Type A.
  - Lighted doorbell button connected to an audible and strobe alarm installed in each bedroom, bedroom, and common area is required for each sight and hearing-impaired unit.
- The requirements of this provision can be satisfied by adding the elements described above to the additional Accessible units with roll-in showers required by QAP Section IV(F)(4) such that at least two percent (2%) of all units are properly equipped to serve persons with sight and/or hearing impairments.

### III. MECHANICAL, SITE AND INSULATION PROVISIONS

#### A. PLUMBING PROVISIONS

- All rental units require at least one full bathroom.
- Three bedroom units require at least 1.75 bathrooms (including one bath with upright shower and one bath with full tub).
- Four bedroom units require at least two (2) full bathrooms.
- All tubs and showers must have slip resistant floors. For new construction projects, all tubs and showers must be one-piece and a minimum of 32 inches in width and 58 inches in length.
- All electric water heaters must have a Uniform Energy Factor of 0.92 efficiency or an Energy Factor of at least 0.95 efficiency and be a minimum of 40 gallons (50-gallon minimum for 3 bedroom and larger). This cannot be achieved by using an insulated water heater jacket.
- In new construction and adaptive re-use projects, all water heater tanks must be placed in an overflow pan piped to the exterior of the building, regardless of location and floor level unless a primed p-trap is installed. The temperature and relief valve must also be piped to the exterior. Water heaters must be placed in closets to allow for their removal and inspection by or through th closet door, may not be installed over the clothes washer or dryer space. Water heaters required to be elevated above the finished floor must have a water heater stand or wood platform designed for that installation and be professionally finished/painted. Water heaters may not be installed in exterior storage closets or in unconditioned spaces.
- A frost-proof exterior faucet must be installed on an exterior wall of the community/office building
- All tub/shower control knobs must be single lever handled and offset towards the front of the tub/shower.
- Provide lever faucet controls for the kitchen and bathroom sinks.

- All bathroom faucets, shower heads, and toilets must be EPA WaterSense rated.
- Domestic water lines are not allowed in unconditioned spaces, including breezeways and community building attics.
- In all Type A and Type B units, tubs and showers must have wood blocking installed on the bathing fixture.
- In all Type A units, the toilets, tubs, and showers must have grab bars installed. See ANSI A117.1 for mounting heights and locations. The grab bar installed behind the toilet must be a minimum of 36 inches in length.
- All plumbing pipes must be installed inside wall cavities. Connections to water and sewer lines may not be made through floors or cabinet bottoms.
- Unit water shut-off valves must be located 16 inches to 48 inches above floor and in a reachable location to the resident and be clearly marked with signage.
- All wall-hung sinks must have solid blocking behind fixture and the fixture mounted to plywood rather than sheetrock. Wall hung sinks may not be installed in residential units.
- Step-in showers (36 inches x 60 inches) may be installed in residential units. For one-bedroom and two-bedroom units with only one bathroom, fifty percent (50%) of the bathing fixtures may be step-in showers. For units having two full bathrooms, one bathing fixture may be a step-in shower while the other bathroom must have a tub/shower fixture. You may not have a step-in shower in both bathrooms. The above guidance does not apply to Type A units.

#### 3. ELECTRICAL PROVISIONS

- Provide overhead lighting, a ceiling fan, telephone jack, and a cable connection in every bedroom and living room. If using ceiling fans with light kits, the fan and light must have separate switches.
- Any walk-in closets must also have a switched overhead light. A walk-in closet is defined as any closet deeper than 36 inches from the back wall to the back of the closet door in the closed position.
- Switches and thermostats must not be located more than 48 inches above finished floor height.
- Receptacles, telephone jacks, and cable jacks must not be located less than 16 inches above finished floor height.
- Switched exterior lighting is required at each unit entry door for resident use on buildings with porches and breezeways.
- Additional exterior light fixtures not specific to a unit must be wired to a "house" panel. The fixtures must be activated by a photo cell placed on the east or north side of the buildings.
- All exterior stairways must have light fixtures wired to a "house" panel and activated by a photo cell placed on the east or north side of the buildings.
- Projects with gas heating and/or appliances must provide a hard-wired carbon monoxide detector with a battery back-up in each residential unit.
- All non-residential and residential spaces must have separate electrical systems.
- Initially-installed bulbs in residential units and common areas must be compact fluorescent, LED or pin-based lighting in 80% of all fixtures.
- All telephone lines must be toned and tagged properly to each unit.
- All exterior storage closets must have a switched overhead light.
- All call for aid devices must be installed beside or below ceiling light switches in bedrooms and bathrooms.
- Each building must have a cable termination and demarcation box for cable vendor connection.

#### 2. HEATING, VENTILATING AND AIR CONDITIONING PROVISIONS

- All non-residential areas and residential units must have their own separate heating and air conditioning systems.
- Through the wall HVAC units are prohibited in all but Studio, Efficiency, and SRO units. They are allowed in laundry rooms and management offices where provided.
- HVAC interior air handlers must be enclosed from return air grille to blower motor/filter.
- The use of duct board is prohibited. Galvanized metal must be used for plenums and mixing boxes.
- Connections in duct system must be sealed with mastic and fiberglass mesh.
- All openings in duct work at registers and grilles must be covered after installation to keep out debris during construction.
- Fresh air returns must be a minimum of 12 inches above the floor.
- Electric mechanical condensate pumps are not allowed.
- Supply ducts in unconditioned attics must be insulated with an R-8 or greater value.
- Range hoods and micro-hoods must be vented to the exterior of the building with galvanized sheet metal using the shortest possible run.
- All hub drains serving HVAC condensate lines must be piped to the outside. Piping to the sanitary sewer is not allowed unless a primed p-trap is installed.
- Exterior exhaust vents must be mechanically sealed to siding and/or brick veneers.
- Venting for exhaust fans may not terminate in roof soffits.
- Total dryer vent run may not exceed 35 feet, including deductions for elbows.
- Dryer exhaust ducts may not be vented through the roof.
- Clothes washer and dryer connections must be centered behind the appliance.
- All units 1,100 square feet or greater which use heat pumps must use a minimum of 2-ton equipment.

#### D. BUILDING ENVELOPE AND INSULATION

- Framing must provide for complete building insulation including the use of insulated headers on all exterior walls, framing roofs, and ceilings to allow the full depth of ceiling insulation to extend over the top plate of the exterior walls of the building, and framing all corners and wall intersections to allow for insulation.
- Seal at doors, windows, plumbing and electrical penetrations to prevent moisture and air leakage.

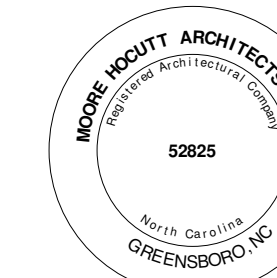
#### E. SITEWORK AND LANDSCAPING

- Provide positive drainage at all driveways, parking areas, ramps, walkways and dumpster pads to prevent standing water.
- No sidewalks may exceed a 2% cross slope regardless of where located. Provide a non-skid finish to all walkways.
- Switchbacks are not permitted from handicap parking spaces or access aisles to building entrance in new construction projects.
- All water from roof and gutter system must be piped away from buildings and discharged no less than 6 feet from building foundation.
- Lots must be graded so as to drain surface water away from foundation walls. The grade away from foundation walls must fall a minimum of 6 inches within the first 10 feet.
- No part of the disturbed site may be left uncovered or unstabilized once construction is complete.
- Minimum landscaping budgets of \$300 per residential unit are required. This allowance is for plants and trees only and may not be used for fine grading, seeding and straw or sod.
- Sitework changes after application award are not permitted without Agency approval.



3300 BATTLEGROUND AVE.  
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**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM  
Drawn By -  
Checked By JRH  
Date 01/19/21  
Project No. MHA-P21-17

NCHFA DESIGN QUALITY  
STANDARDS AND  
REQUIREMENTS

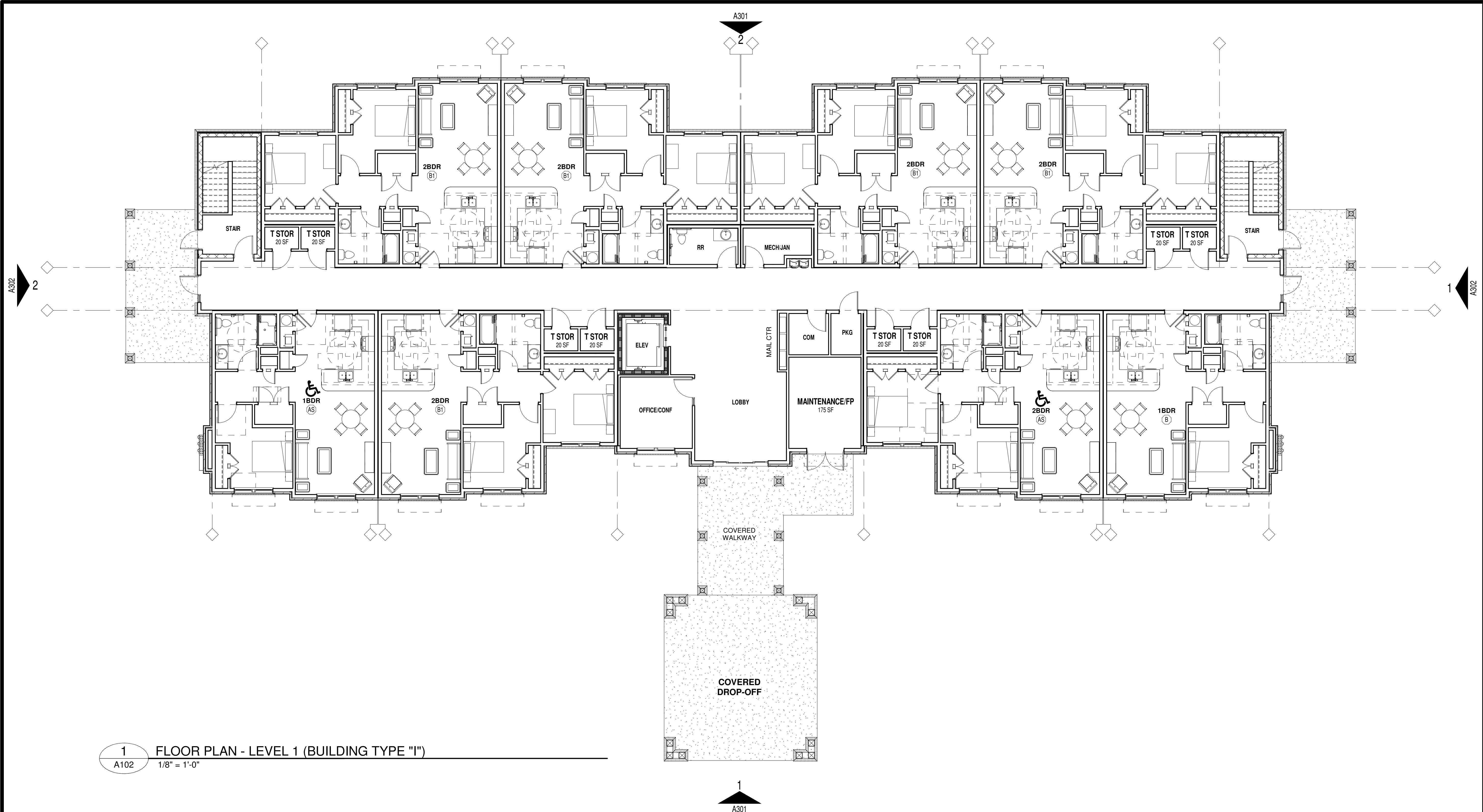
**G110**

NCHFA PRELIMINARY APPLICATION  
**NOT FOR CONSTRUCTION**  
01/19/21









**1** FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")  
A102 1/8" = 1'-0"

**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
KNIGHTDALE, NC 27545

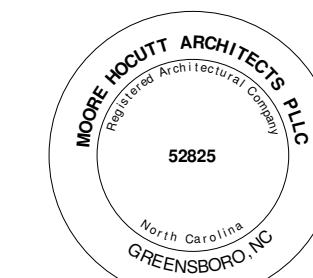
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FLOOR PLAN - LEVEL 1  
(BUILDING TYPE "I")

NCHFA PRELIMINARY APPLICATION  
**NOT FOR CONSTRUCTION**  
01/19/21

**A102**



**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
KNIGHTDALE, NC 27545

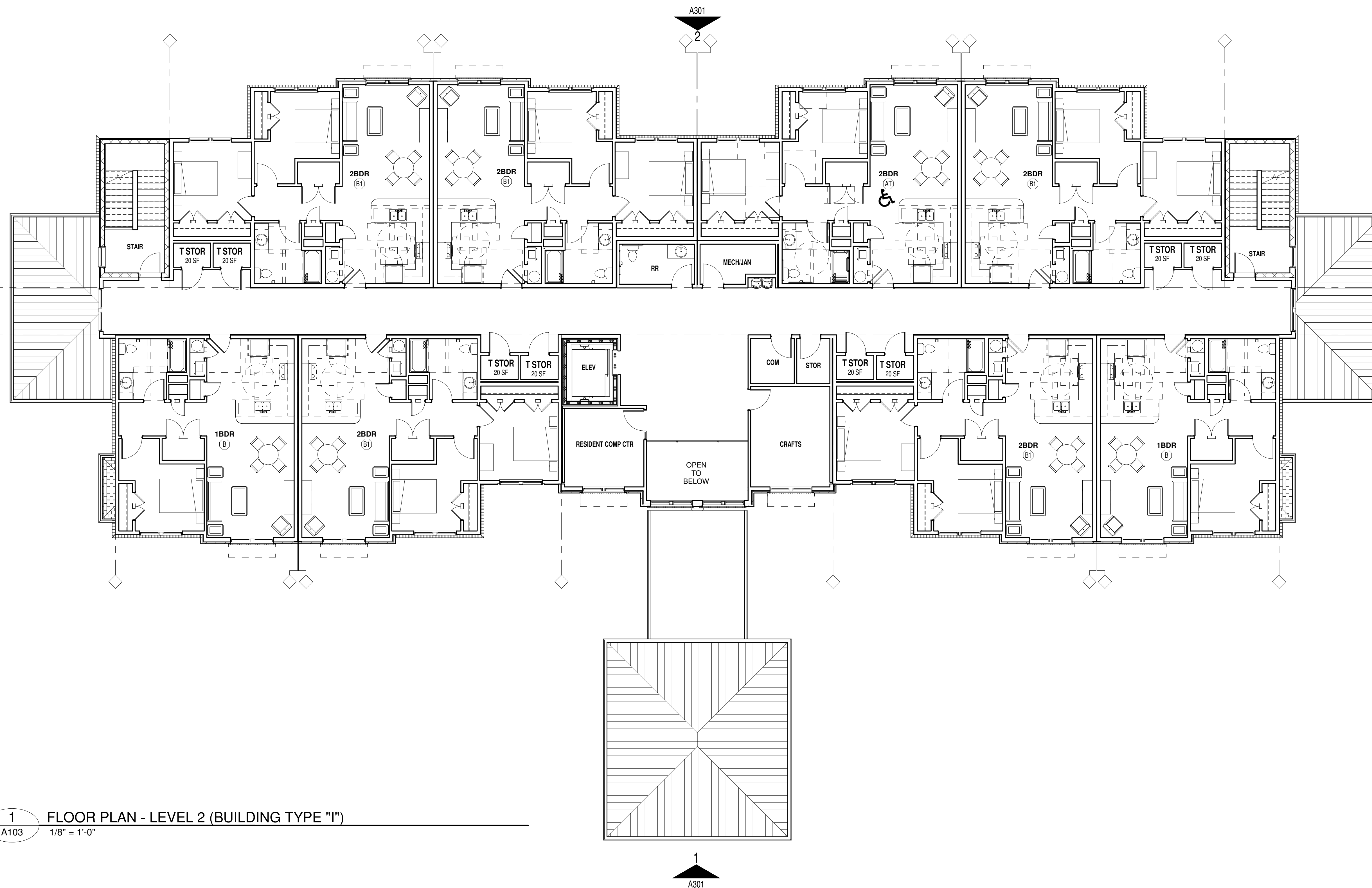
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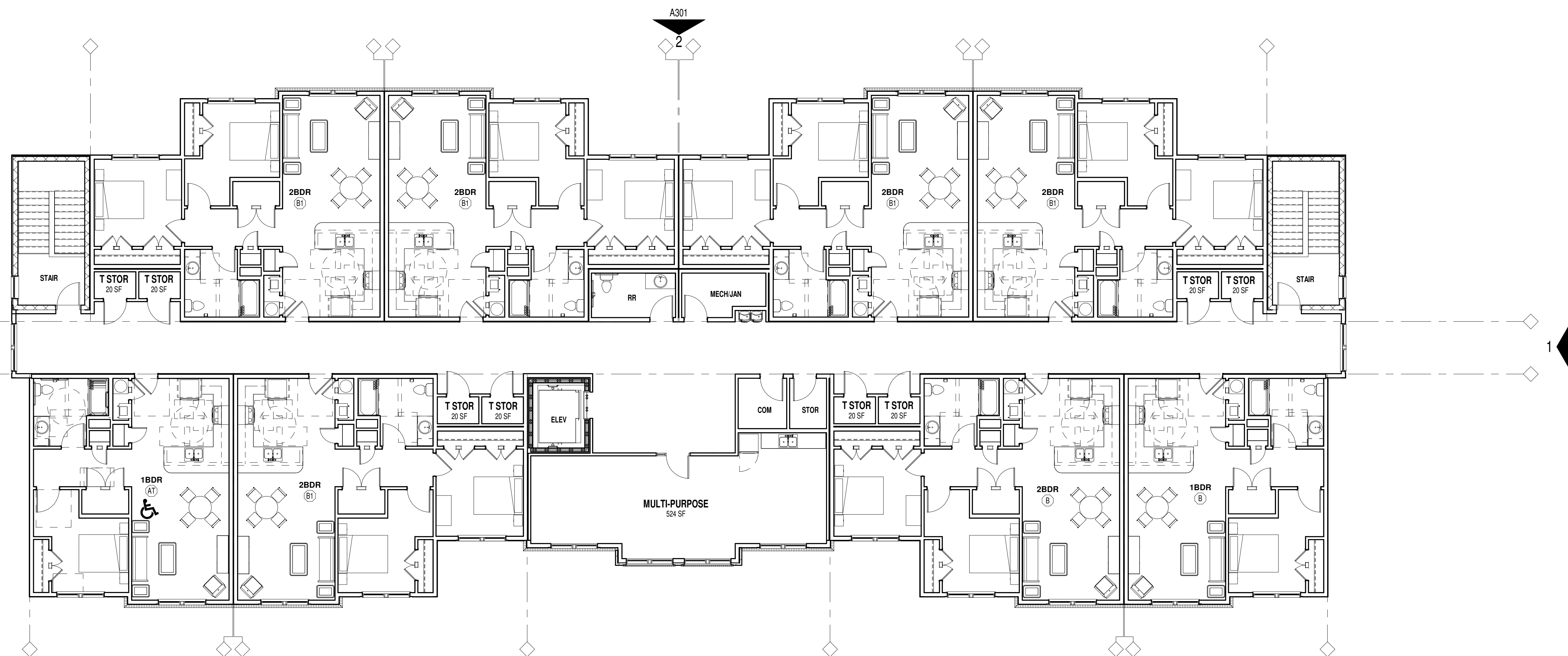
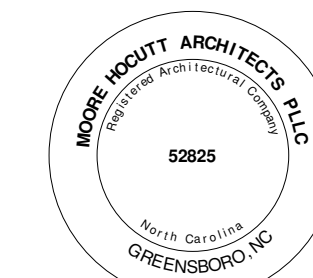
FLOOR PLAN - LEVEL 2  
(BUILDING TYPE "I")

**A103**

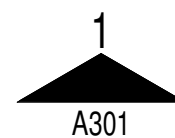
NCHFA PRELIMINARY APPLICATION  
**NOT FOR CONSTRUCTION**  
01/19/21



**1** FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")  
A103 1/8" = 1'-0"



**1** FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")  
A104 1/8" = 1'-0"



**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

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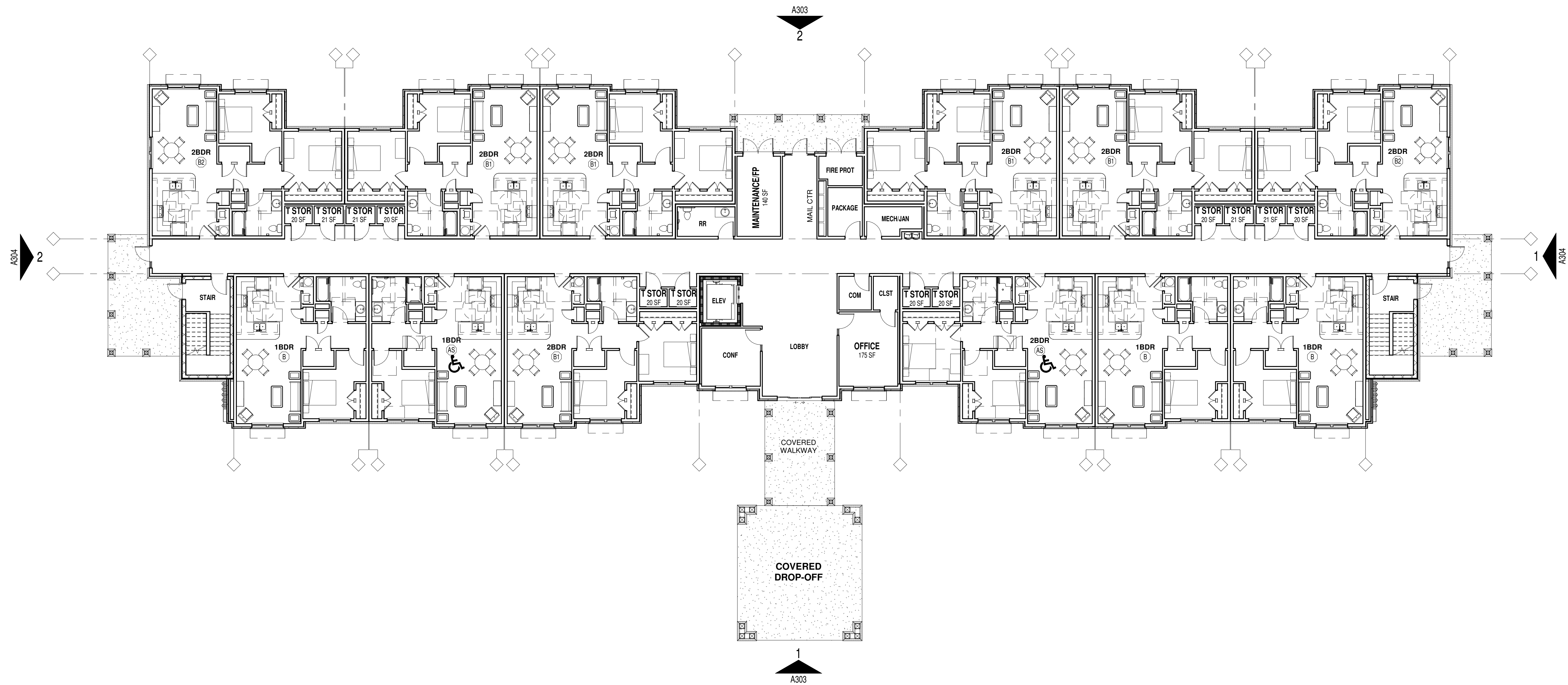
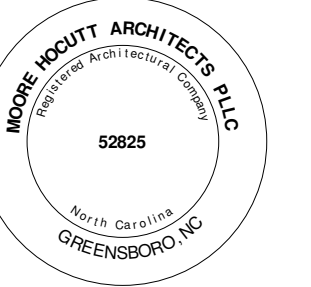
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FLOOR PLAN - LEVEL 3  
(BUILDING TYPE "I")

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01/19/21

**A104**



**1 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")**  
A107 3/32" = 1'-0"

**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

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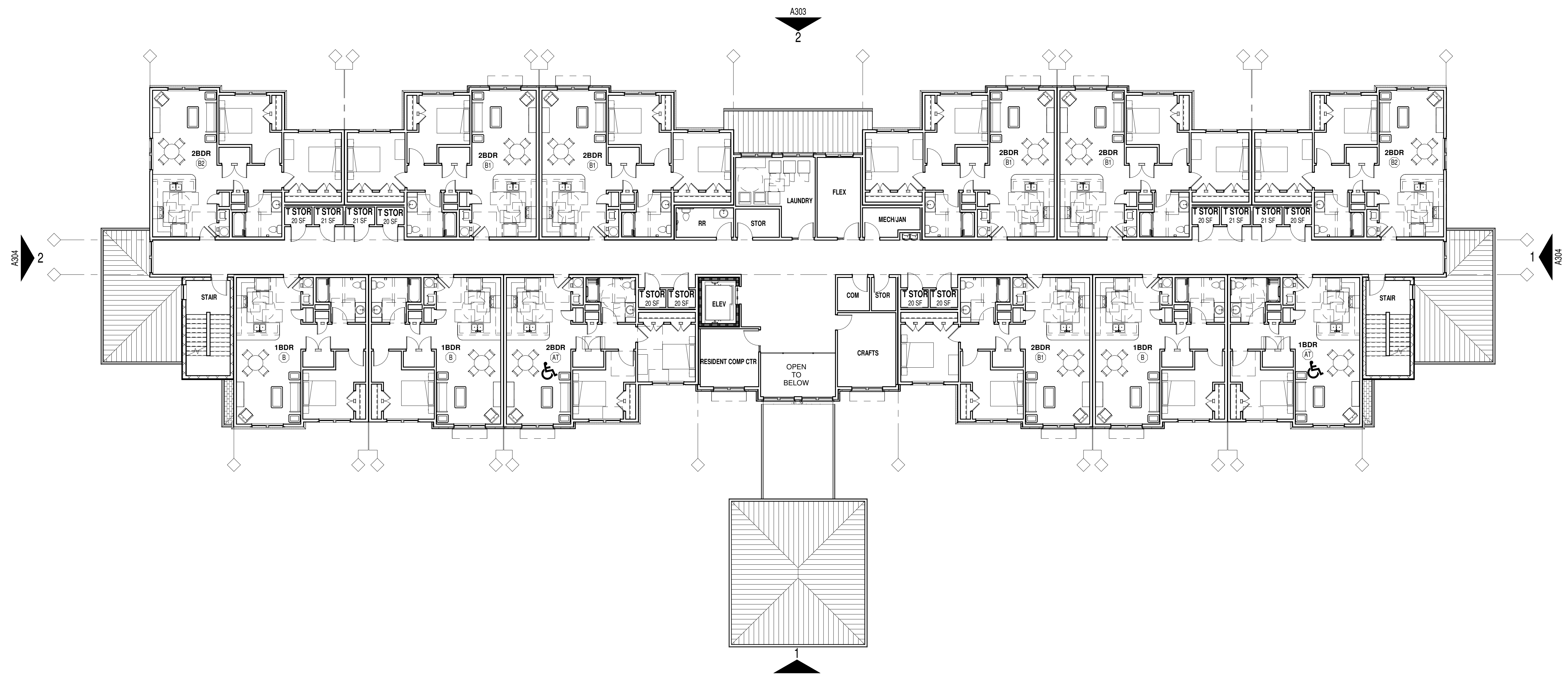
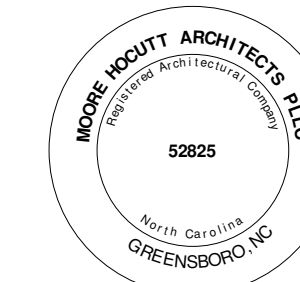
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FLOOR PLAN - LEVEL 1  
(BUILDING TYPE "II")

**A107**

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**1** FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")  
A108 3/32" = 1'-0"

**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
KNIGHTDALE, NC 27545

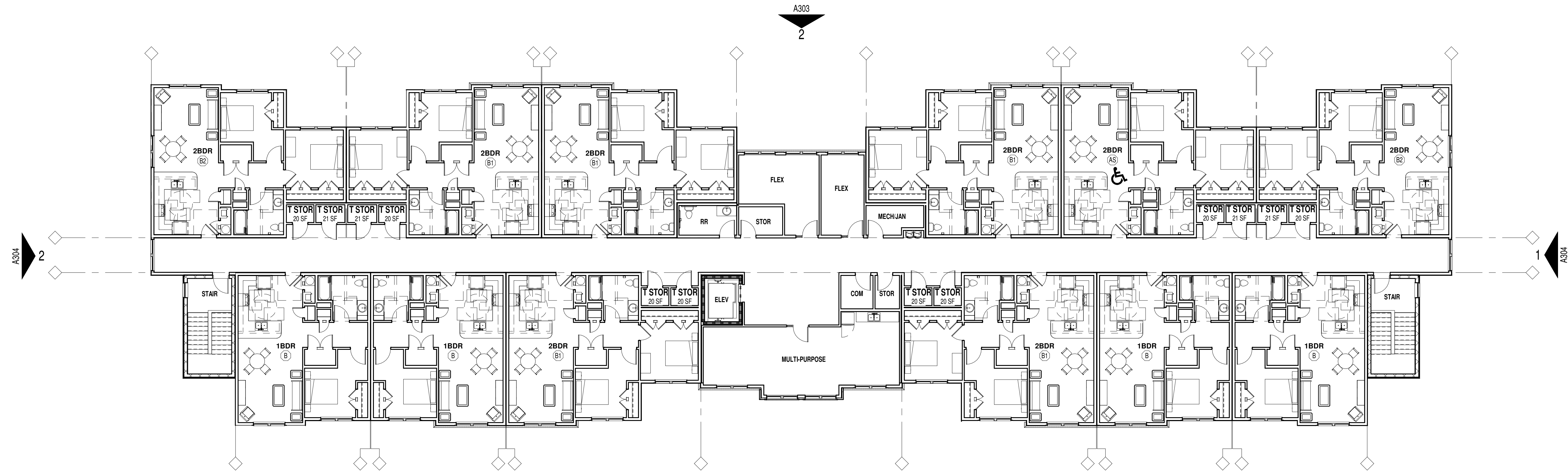
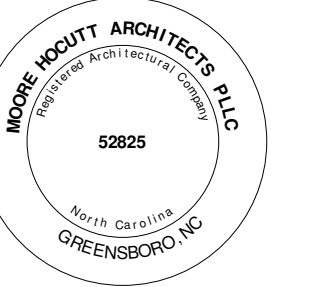
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FLOOR PLAN - LEVEL 2  
(BUILDING TYPE "II")

**A108**

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**NOT FOR CONSTRUCTION**  
01/19/21



**1** FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")  
A109 3/32" = 1'-0"

**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
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FLOOR PLAN - LEVEL 3  
(BUILDING TYPE "II")

**A109**

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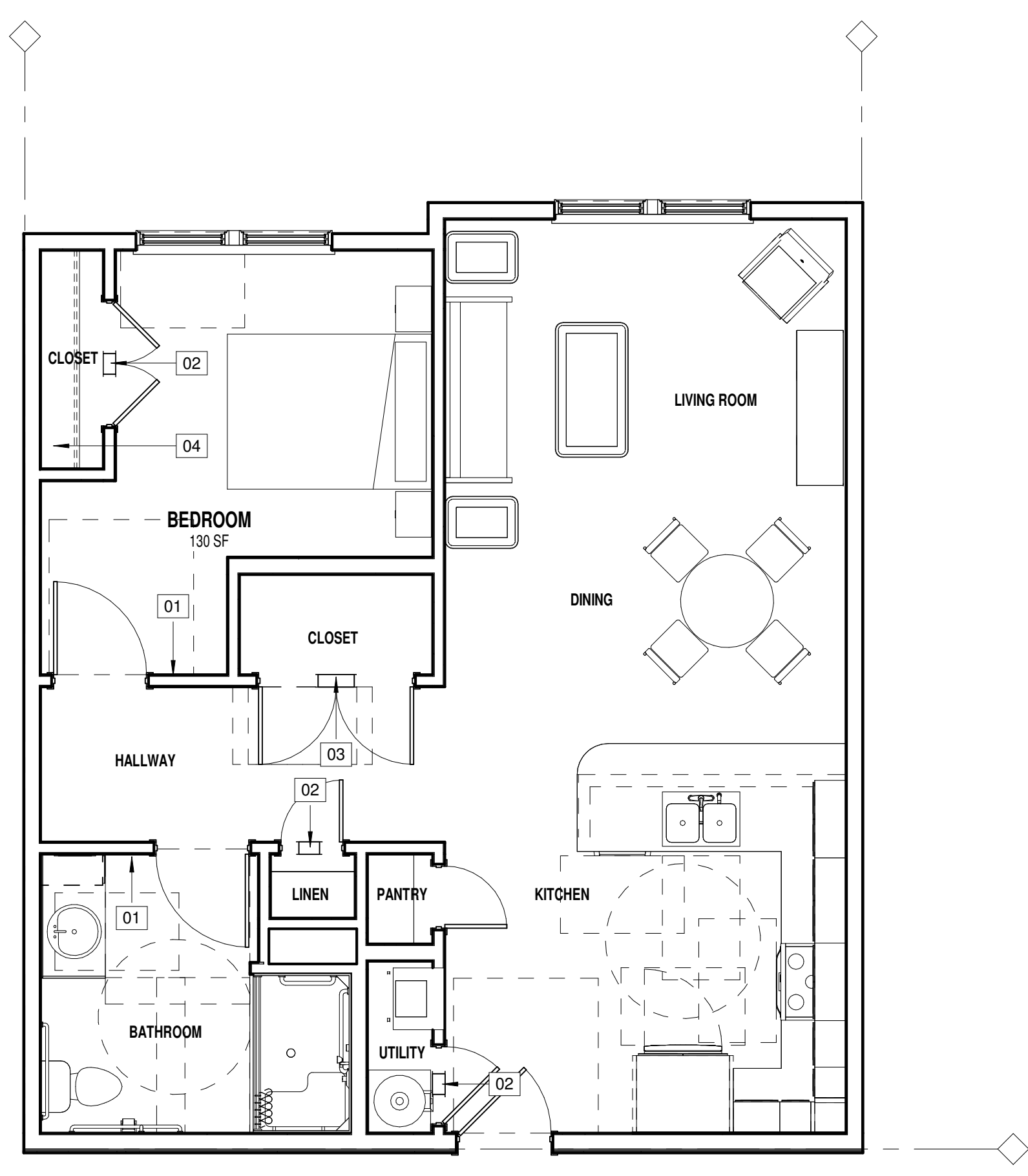
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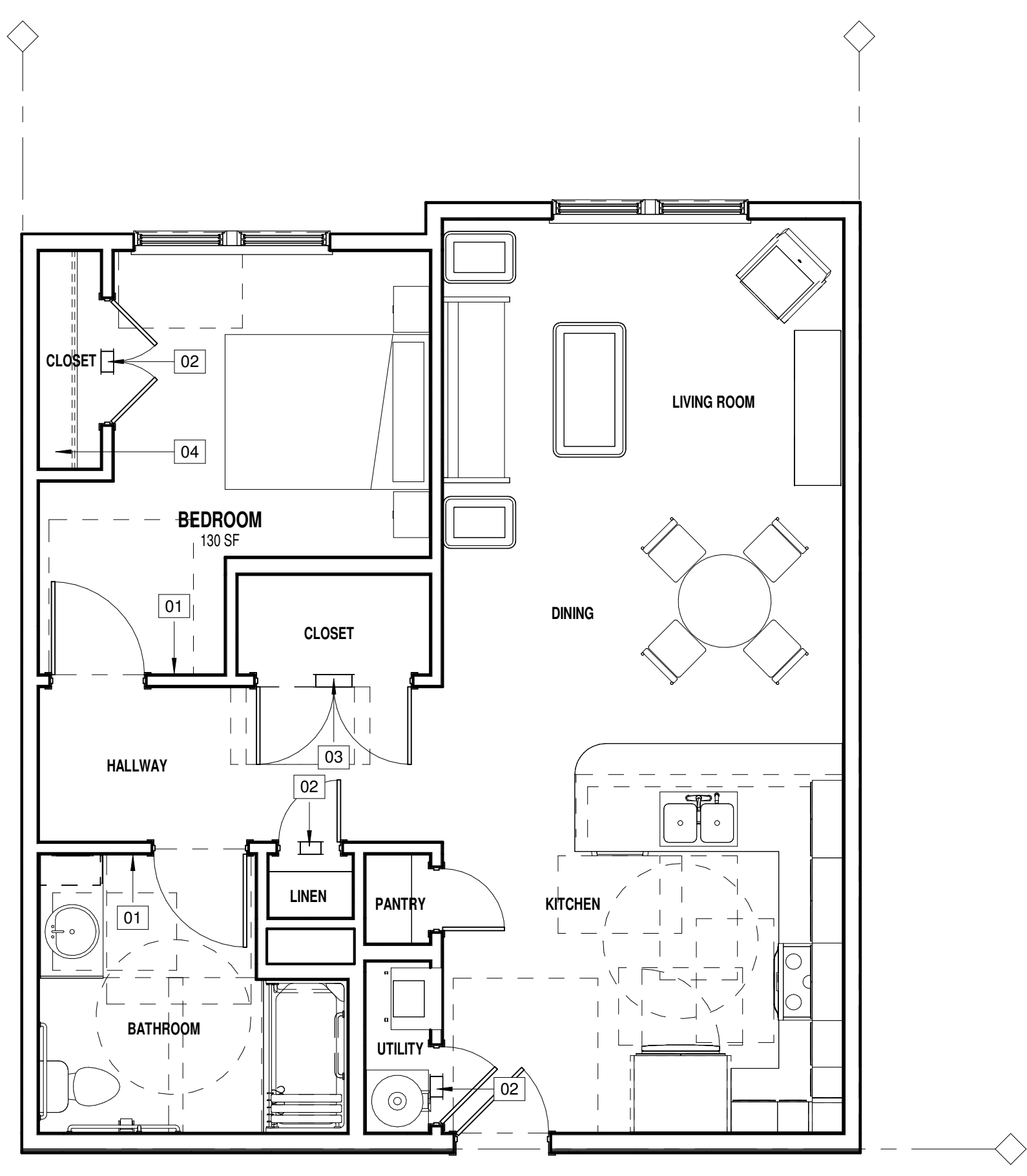
**ENLARGED UNIT PLAN KEYNOTES**

**MARK KEYNOTE**

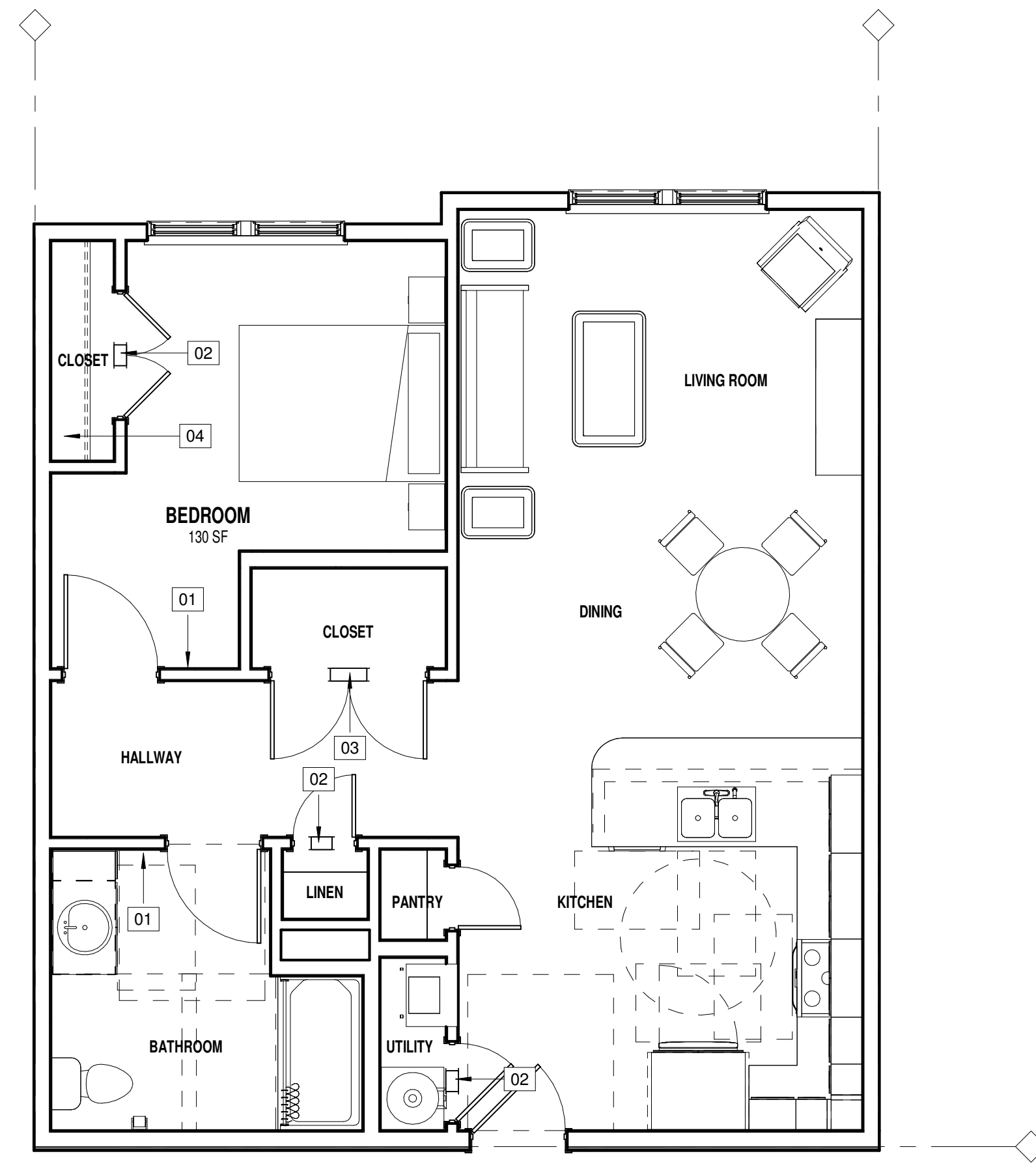
- 01 CALL FOR AID STATION.
- 02 TRANSFER GRILLE (8"x4").
- 03 TRANSFER GRILLE (14"x8").
- 04 CLOSET SHELF AND ROD (MIN. 7LF).



**1** ONE BEDROOM UNIT - TYPE "AS"   
A201 1/4" = 1'-0"



**2** ONE BEDROOM UNIT - TYPE "AT"   
A201 1/4" = 1'-0"



**3** ONE BEDROOM UNIT - TYPE "B"   
A201 1/4" = 1'-0"

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**SENIOR APARTMENTS**

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KNIGHTDALE, NC 27545

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ENLARGED UNITS

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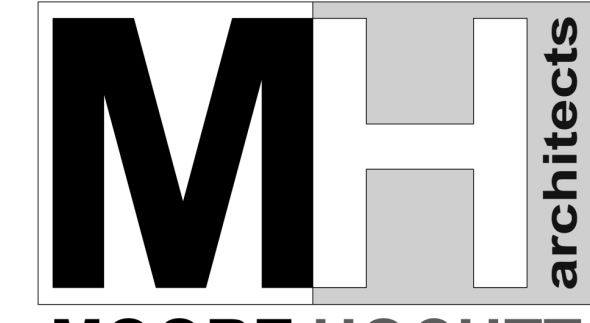
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**ENLARGED UNIT PLAN KEYNOTES**

**MARK KEYNOTE**

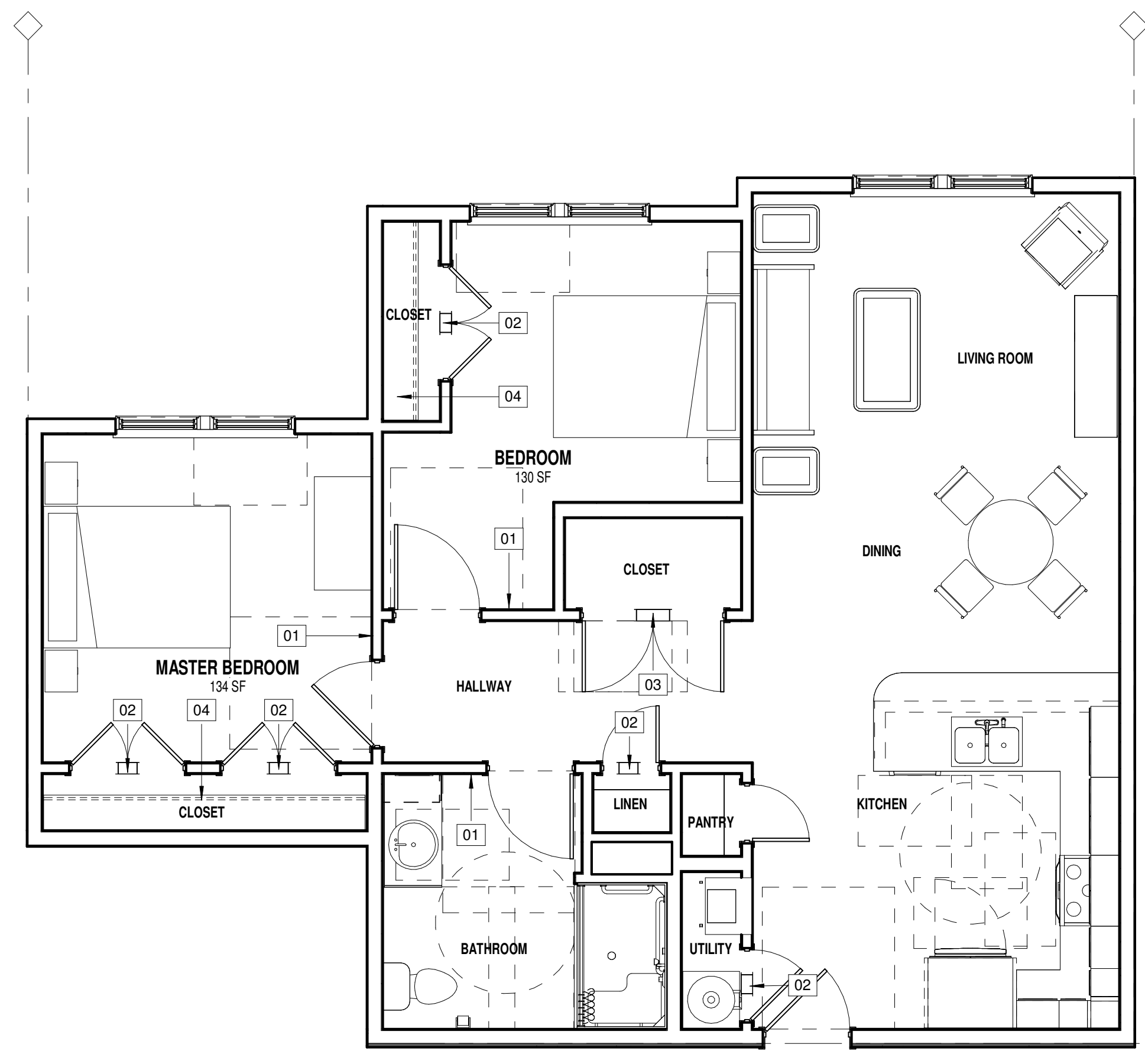
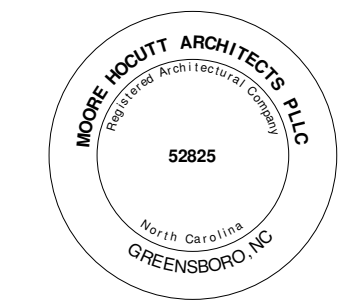
- 01 CALL FOR AID STATION.
- 02 TRANSFER GRILLE (8"x4").
- 03 TRANSFER GRILLE (14"x8").
- 04 CLOSET SHELF AND ROD (MIN. 7LF).



**MOORE HOCUTT**

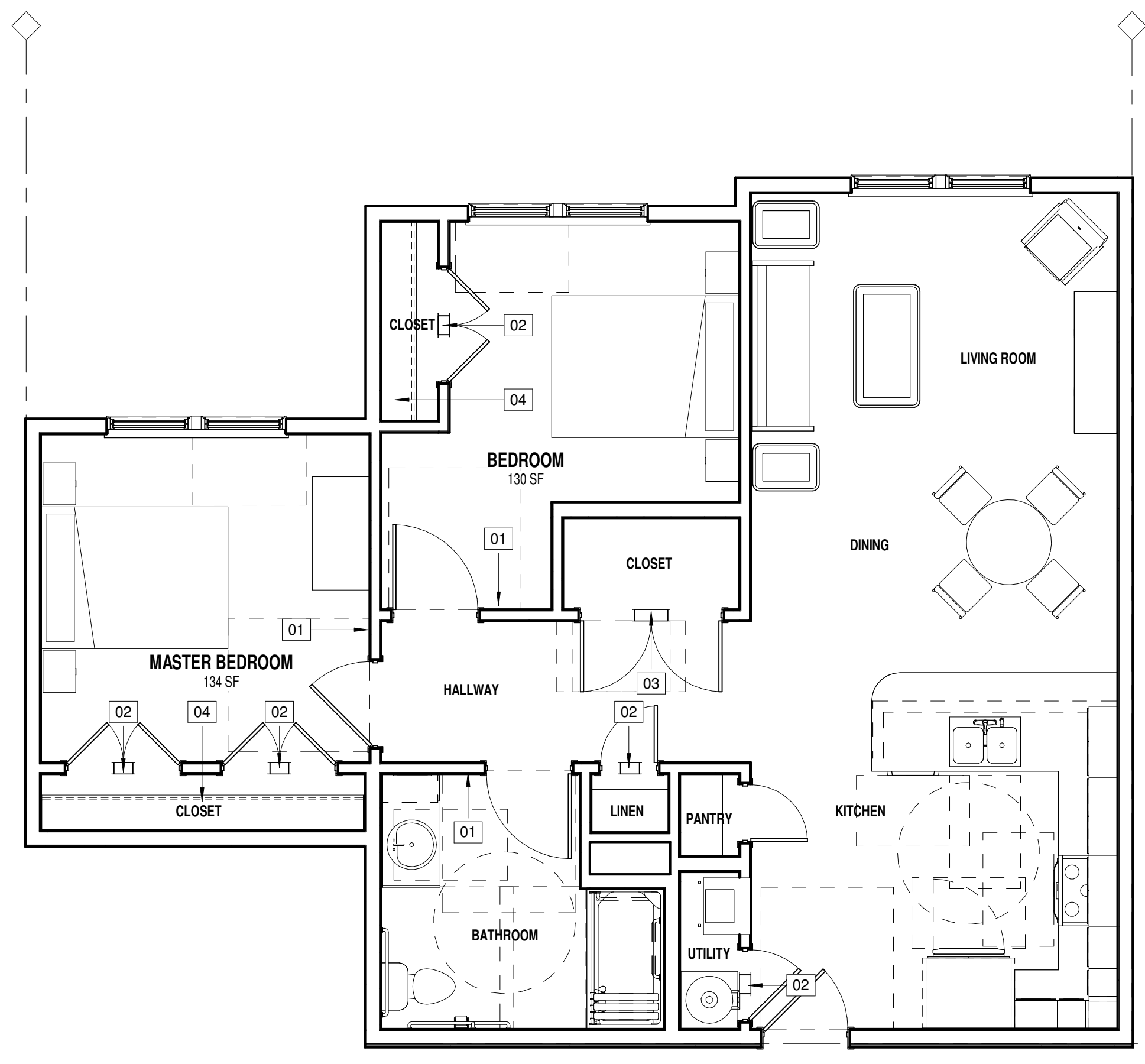
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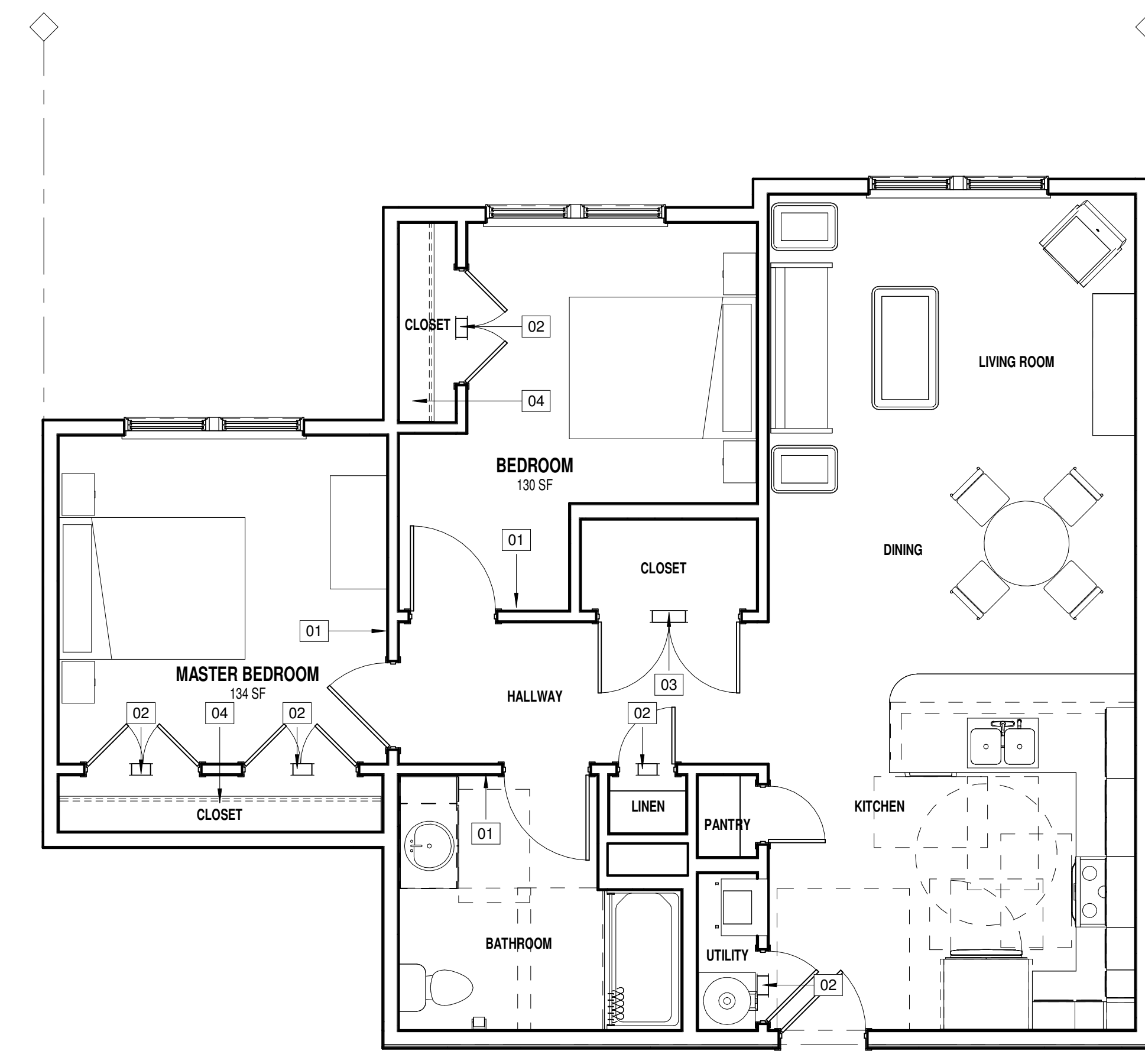
**1** TWO BEDROOM UNIT - TYPE "AS" &

A202 1/4" = 1'-0"



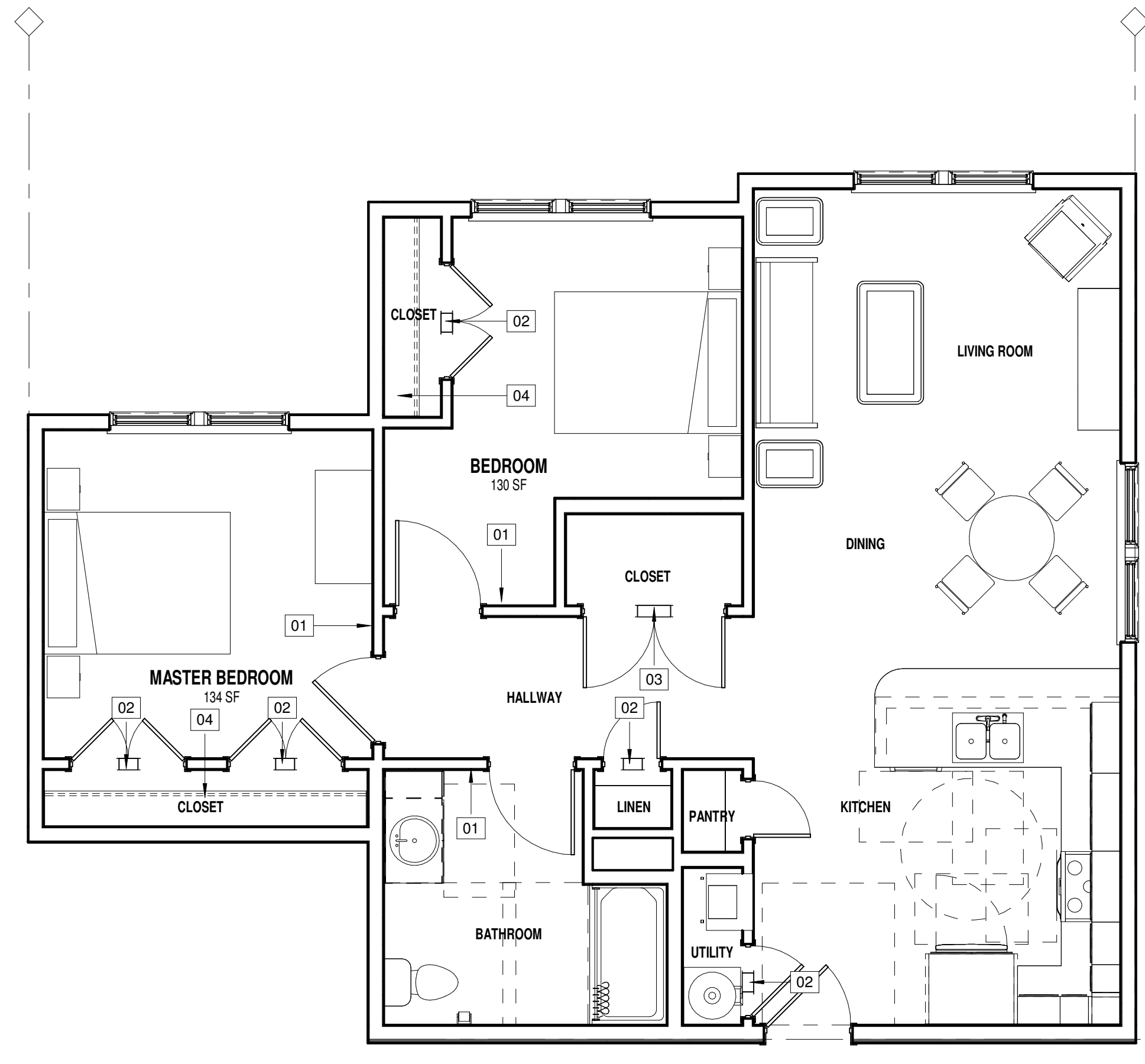
**2** TWO BEDROOM UNIT - TYPE "AT" &

A202 1/4" = 1'-0"



**3** TWO BEDROOM UNIT - TYPE "B1"

A202 1/4" = 1'-0"



**4** TWO BEDROOM UNIT - TYPE "B2"

A202 1/4" = 1'-0"

**KNIGHT'S COURT**  
**SENIOR APARTMENTS**

LYNNWOOD ROAD  
KNIGHTDALE, NC 27545

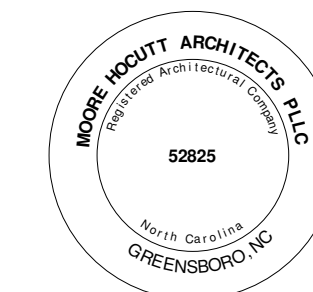
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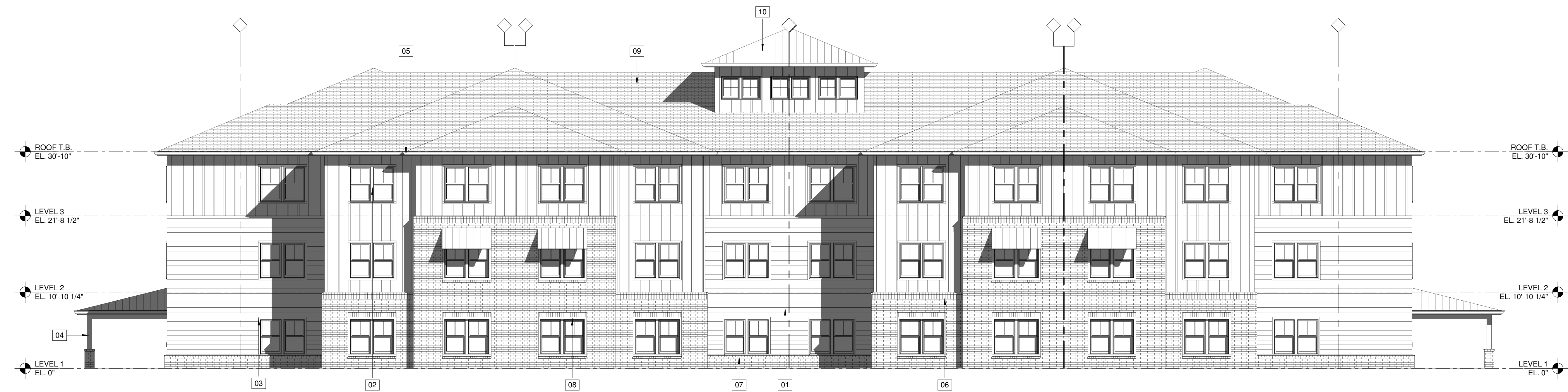
ENLARGED UNITS

NCHFA PRELIMINARY APPLICATION  
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01/19/21

**A202**



**1** EXTERIOR ELEVATIONS (BUILDING TYPE "I")  
A102/A301 1/8" = 1'-0"



**2** EXTERIOR ELEVATIONS (BUILDING TYPE "I")  
A102/A301 1/8" = 1'-0"

### KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	FIBER CEMENT COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

### GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30" IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.

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KNIGHTDALE, NC 27545

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EXTERIOR ELEVATIONS  
(BUILDING TYPE "I")

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# A301

REVISIONS		
No.	Description	Date

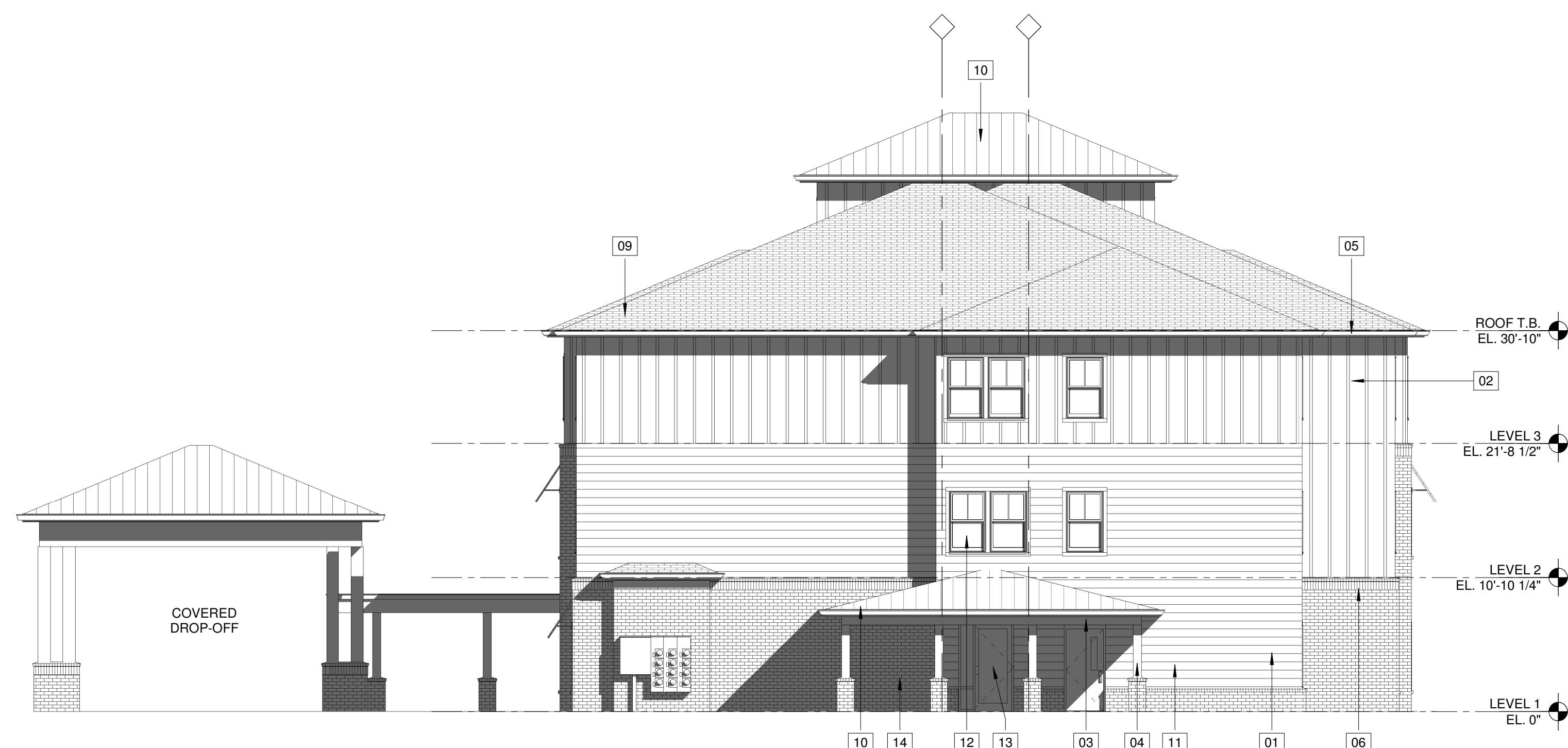
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 Project No. MHA-P21-17

**EXTERIOR ELEVATIONS  
(BUILDING TYPE "I")**

**A302**

NCHFA PRELIMINARY APPLICATION  
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01/19/21



**1 EXTERIOR ELEVATIONS (BUILDING TYPE "I")**  
1/8" = 1'-0"



**2 EXTERIOR ELEVATIONS (BUILDING TYPE "I")**  
1/8" = 1'-0"

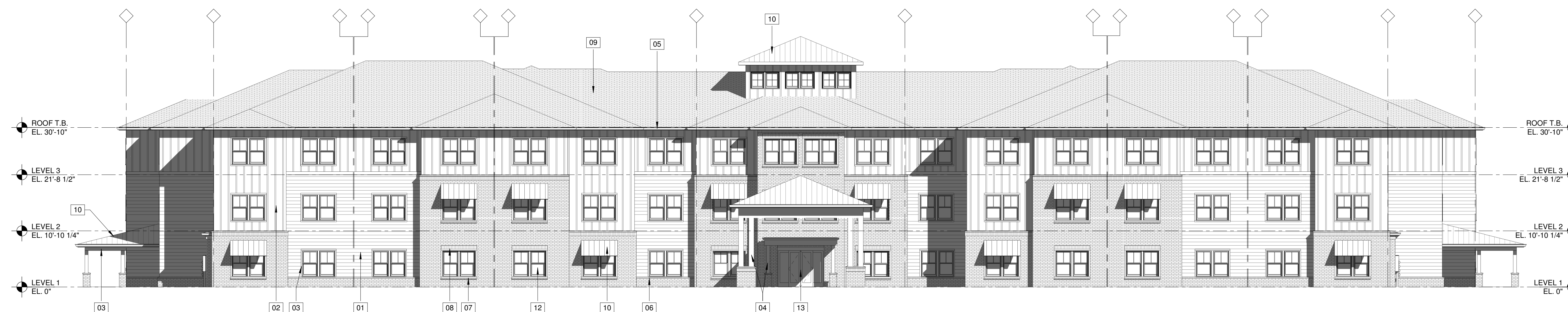
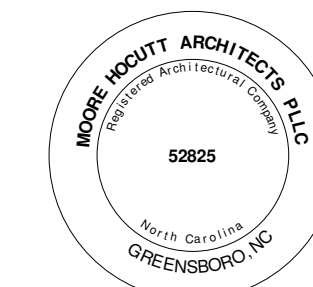
**KEYNOTES - EXTERIOR ELEVATIONS**

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	FIBER CEMENT COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

**GENERAL ELEVATION NOTES**

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
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- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
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- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.



**1** EXTERIOR ELEVATIONS (BUILDING TYPE "II")  
A107/A303 3/32" = 1'-0"



**2** EXTERIOR ELEVATIONS (BUILDING TYPE "II")  
A107/A303 3/32" = 1'-0"

### KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	FIBER CEMENT COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

### GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30" IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.

**KNIGHT'S COURT**

**SENIOR APARTMENTS**

LYNNWOOD ROAD  
KNIGHTDALE, NC 27545

### REVISIONS

No.	Description	Date

Designed By MLM  
 Drawn By -  
 Checked By JRH  
 Date 01/19/21  
 Project No. MHA-P21-17

EXTERIOR ELEVATIONS  
(BUILDING TYPE "II")

NCHFA PRELIMINARY APPLICATION  
**NOT FOR CONSTRUCTION**

**A303**

01/19/21

REVISIONS		
No.	Description	Date

Designed By MLM  
 Drawn By -  
 Checked By JRH  
 Date 01/19/21  
 Project No. MHA-P21-17

EXTERIOR ELEVATIONS  
 (BUILDING TYPE "II")

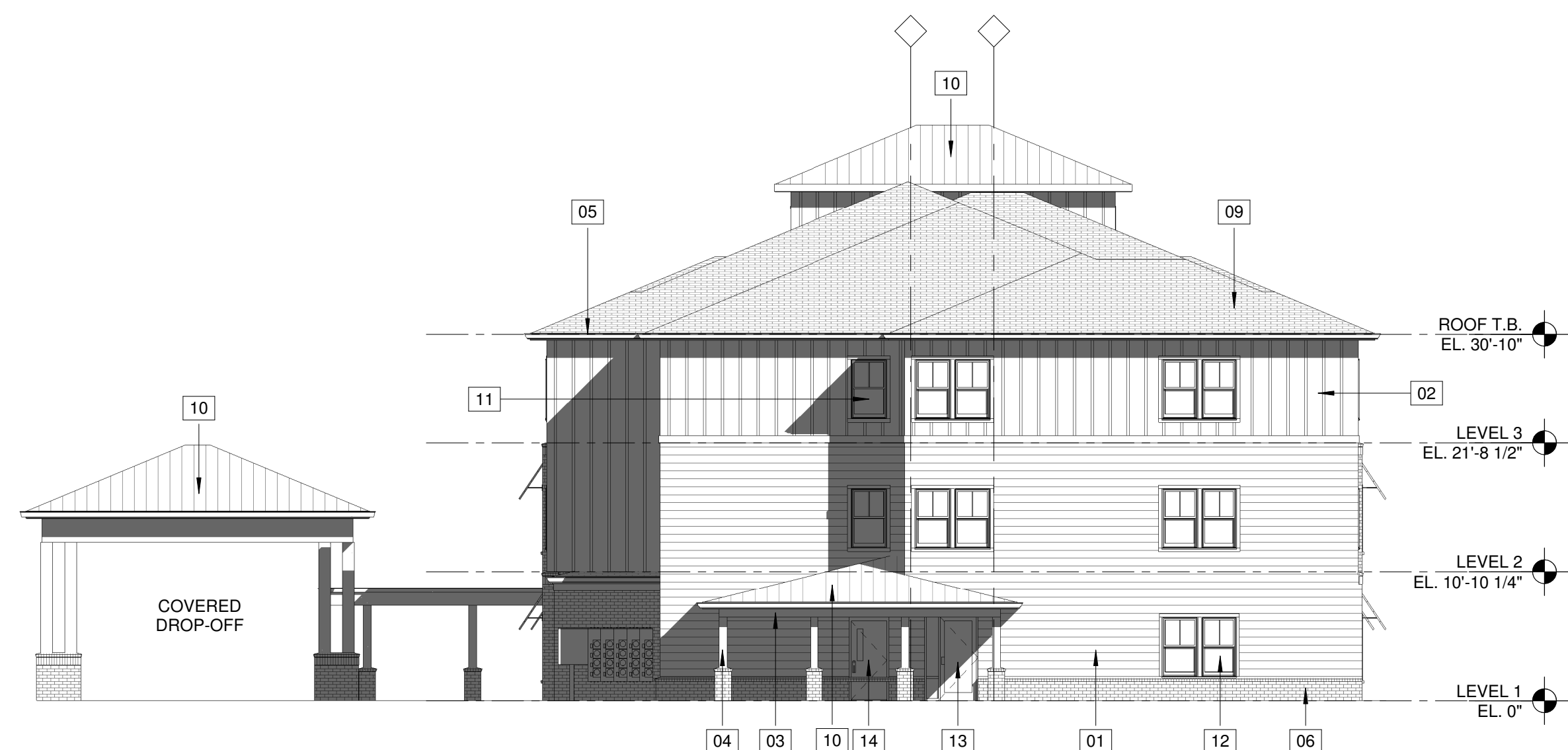
**A304**

NCHFA PRELIMINARY APPLICATION  
**NOT FOR CONSTRUCTION**

01/19/21



**2** EXTERIOR ELEVATIONS (BUILDING TYPE "II")  
 A107 | A304 3/32" = 1'-0"



**1** EXTERIOR ELEVATIONS (BUILDING TYPE "II")  
 A107 | A304 3/32" = 1'-0"

**KEYNOTES - EXTERIOR ELEVATIONS**

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	FIBER CEMENT COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

**GENERAL ELEVATION NOTES**

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
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