

MAILMAN POST

MASTER PLAN

MAILMAN ROAD

KNIGHTDALE, NC

DATE: JUNE 26, 2023

ZMA-10-22

PROJECT DATA:

NAME OF PROJECT:

MAILMAN POST

ADDRESS: 438 MAILMAN ROAD, ST. MATTHEW'S, NC 27545

PIN(S): 1763-08-8851, 1763-08-3716, 1763-09-5280, 1763-09-5560, 1753-98-9828, 1753-98-9764, 1753-98-0579, PORTION OF 1753-89-9448

DEED REFERENCE: DB. 14674 PG. 1408, DB. 18802 PG. 2455, DB. 16990 PG. 2508, DB 17-E PG 2129, DB. 8228 PG. 609

LANDOWNERS:

GIOVANNI MORTARINO TRUSTEE
2830 CHALEMAGNE DRIVE, VIRGINIA BEACH, VA 23451

POPE, JASON RICHARD, MARKIE S
417 MAILMAN RD, KNIGHTDALE, NC 27545

PUBLIC SERVICE COMPANY OF NORTH CAROLINA, INC
SCANA LAND DEPT
220 OPERATION WAY, CAYCE, SC 29033

POPE HEIRS, ET AL,
PO BOX 142, KNIGHTDALE, NC 27545

POPE, DAVID WAYNE POPE, RENEE G
1305 FAYETTEVILLE ST, KNIGHTDALE, NC 27545

PREPARED BY:

MCKIM & CREED, INC.
1730 VARSITY DRIVE, SUITE 500, RALEIGH, NC 27606
PHONE: (919) 233-8091
CONTACT: LUKE TURNER, KLTurner@mckimcreed.com

DEVELOPER:

TURNBRIDE EQUITIES
4800 HAMPDEN LANE, SUITE 200, BETHESDA, MD 20814
PHONE: (301) 366-6222
CONTACT: ELI EISENSTADT, ee@turnbridgeeq.com

CURRENT ZONING: RT (WEST), GR3-PUD (EAST)

CURRENT USE: SF RESIDENTIAL & VACANT

PROPOSED ZONING: GR-3-PUD GENERAL RESIDENTIAL-3, PLANNED UNIT DEVELOPMENT

PROPOSED USE: SF RESIDENTIAL

TOTAL PROJECT AREA 73.75 ACRES

PROPOSED DENSITY: 3.99 DU/A

RIVER BASIN: NEUSE

SURFACE WATER CLASSIFICATION: C, NSW

FIRM PANEL #(s): 3720176300K & 3720175300K EFFECTIVE 07/19/2022

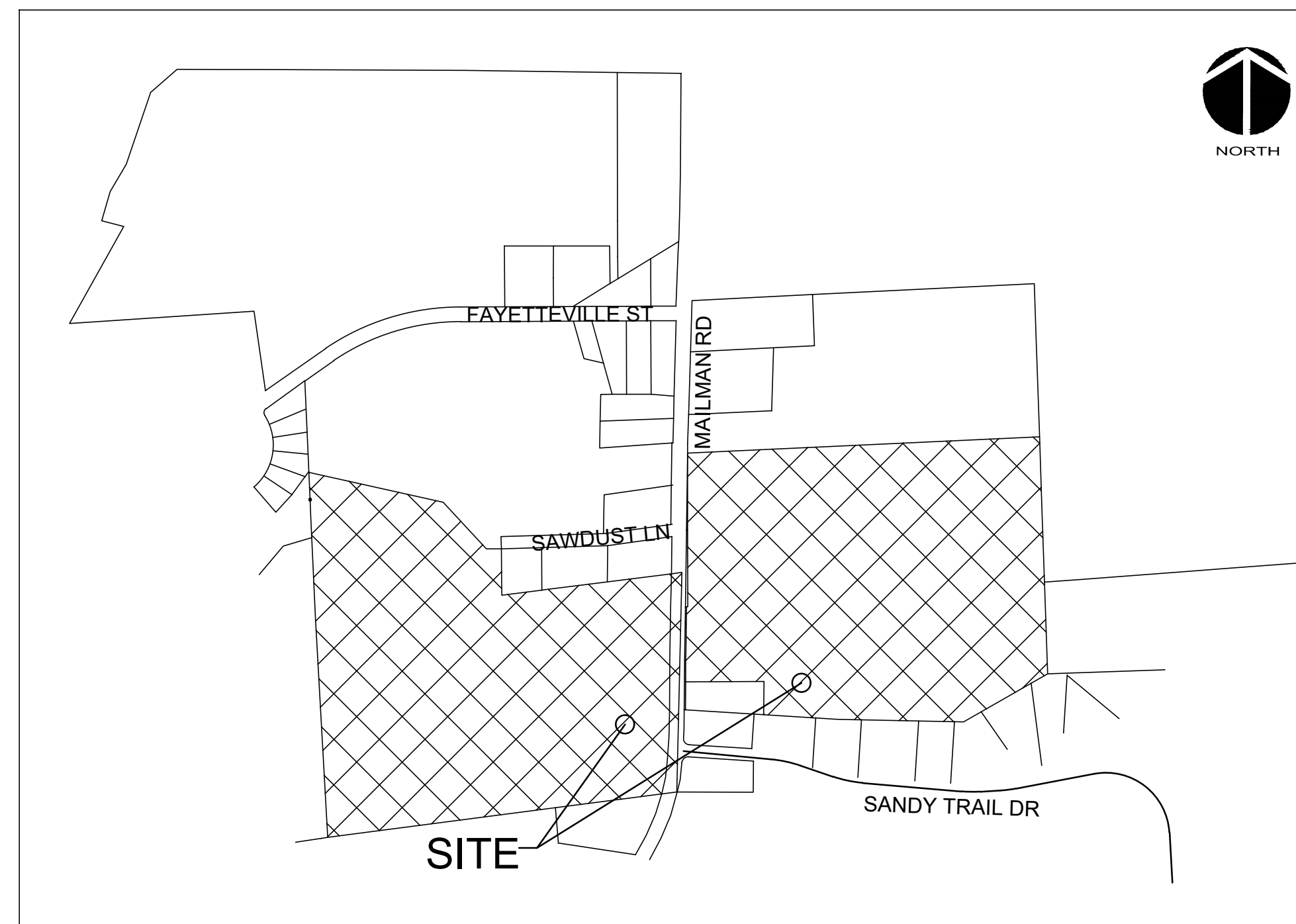
OPEN SPACE:

ACTIVE OPEN SPACE PROVIDED: 4.50 ACRES

PASSIVE OPEN SPACE PROVIDED: 19.20 ACRES (5.07 ACRES OF CANOPY SAVE PROVIDED)

PARKING PROVIDED: 44 SPACES

CONNECTIVITY INDEX: 1.51



VICINITY MAP

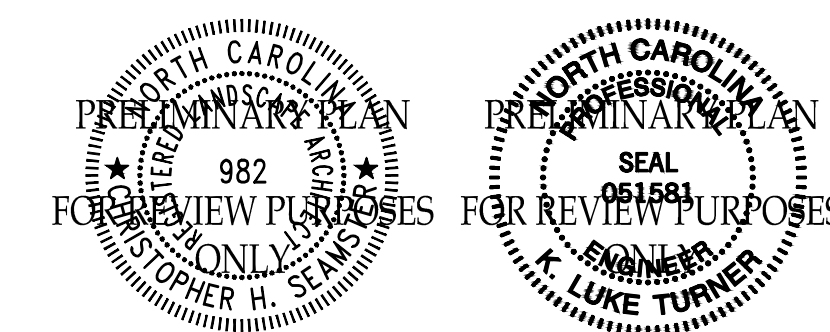
NTS

SHEET LIST TABLE	
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C3.2	SITE PLAN - EAST
C3.3	STREET SECTION
C3.4	SIGN AND MARKING PLAN - WEST
C3.5	SIGN AND MARKING PLAN - EAST
C6.1	LIGHTING PLAN - WEST
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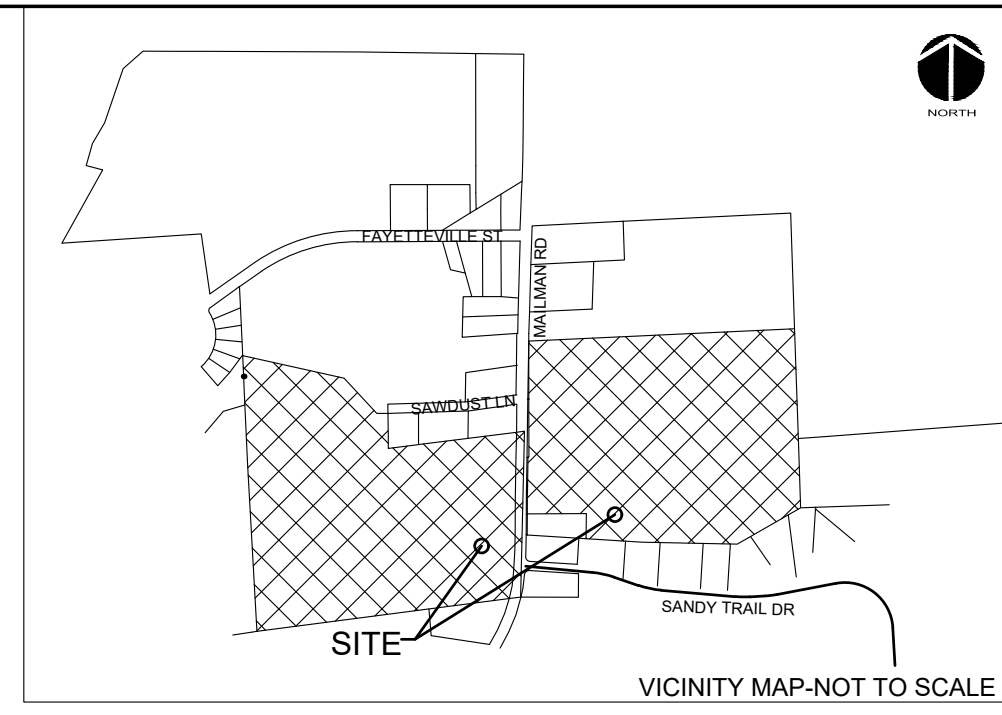


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PRELIMINARY
DO NOT USE FOR CONSTRUCTION



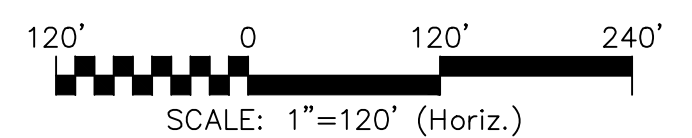
- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - EXISTING R/W
 - EXISTING GAS LINE
 - OVERHEAD POWERLINE
 - EXISTING EASEMENT
 - EXISTING POND
 - RIPARIAN BUFFER LINE
 - EXISTING CONTOUR
 - EXISTING WETLANDS

- PROPERTY OWNERS:**
- GIOVANNI MORTARINO
2830 CHARLEMAGNE DR
VIRGINIA BEACH, VA 23451
 - JASON RICHARD AND MARKIE S. POPE
417 MAILMAN RD
KNIIGHTDALE, NC 27545
 - PUBLIC SERVICE COMPANY OF NORTH CAROLINA INC.
SCANA LAND DEPT
220 OPERATION WAY
CAYCE, SC 29033
 - ROBERT HOLMQUIST AND DONNIE ERIC POPE
PO BOX 142
KNIIGHTDALE, NC 27545
 - DAVID WAYNE AND RENEE G. POPE
1305 FAYETTEVILLE ST
KNIIGHTDALE, NC 27545

***** NOTICE TO CONTRACTOR *****

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.

SURVEY REFERENCES:
 DEED BOOK 14674, PAGE 1408
 DEED BOOK 16990, PAGE 25083
 DEED BOOK 15864, PAGE 1083
 DEED BOOK 17-E, PAGE 2129
 DEED BOOK 8228, PAGE 609



I:\09493\0001\ENG-80-DRAWINGS\81-PRODUCTION_SHEETS\2-WORKING_DWG\C2-0 EXISTING CONDITIONS - DEMOLITION.DWG --- 06/26/2023 16:32:41

REV NO.	DESCRIPTIONS	DATE

SEAL
 PRELIMINARY PLAN
 FOR REVIEW PURPOSES ONLY

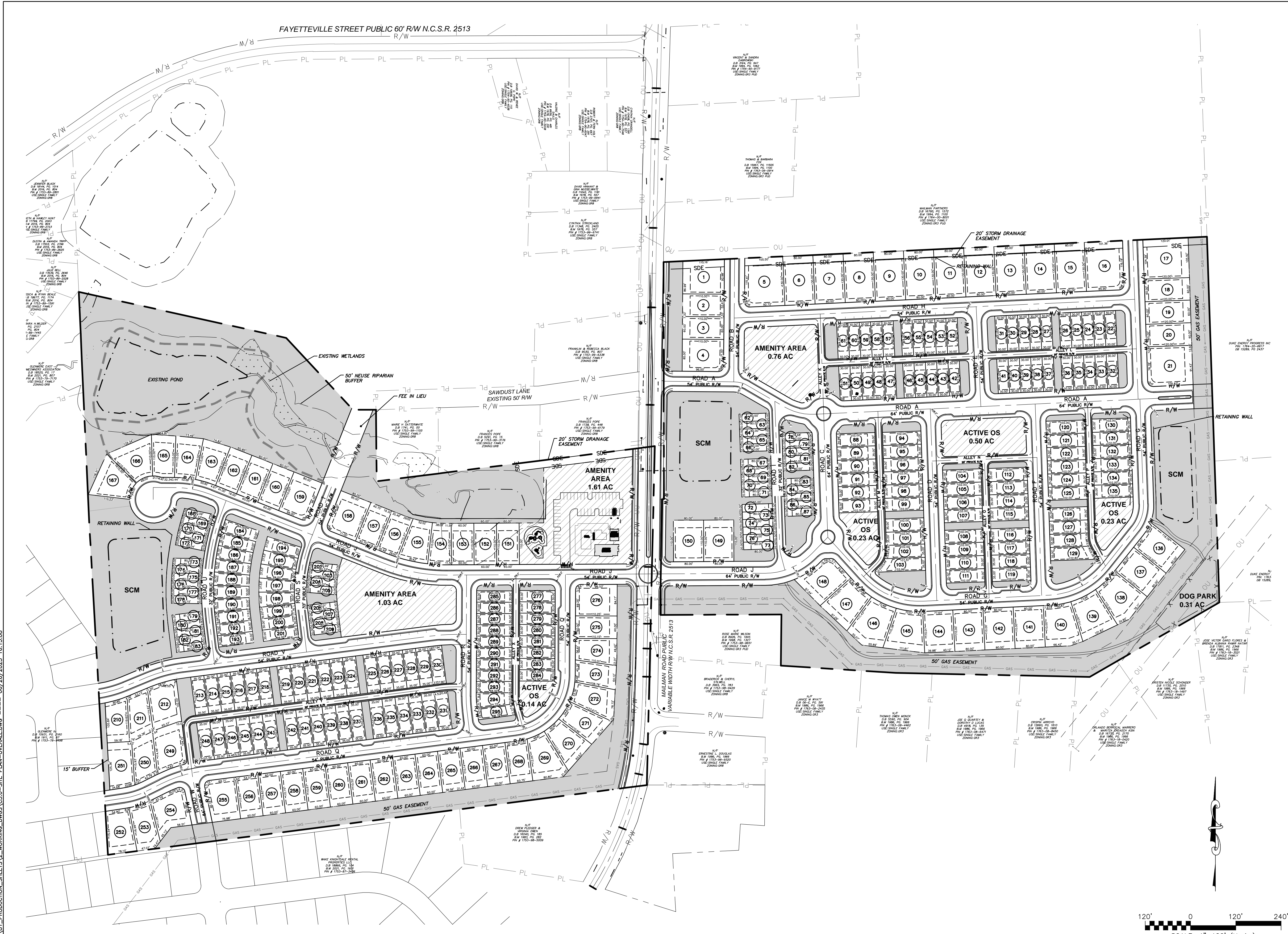
SEAL
 PRELIMINARY PLAN
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TURNBRIDGE EQUITIES

MAILMAN POST
 EXISTING CONDITIONS AND DEMOLITION PLAN

DATE: JUNE 26, 2023	SCALE: HORIZONTAL: 1"=120'	M&C FILE NUMBER: 09493-0001
MCE PROJ. #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C2.0
DRAWN: CEC	STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		



SITE DATA

DEVELOPER:
TURNBRIDGE EQUITIES
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD 20814
JASON DAVIS
646-503-5717
jd@turnbridgeeq.com

APPLICANT:
LAND ALTERNATIVES
403 APRIL BLOOM LANE
CARY, NC 27519
CRAIG DUERR, PE
919-601-6882
landalternativesnc@gmail.com

ENGINEER:
MCKIM & CREED, INC.
1730 VARSITY DRIVE, SUITE 500
RALEIGH, NC 27606
K. LUKE TURNER, PE
919-233-8091
kturner@mckimcreed.com

CURRENT ZONING: RT, GR8, GR3 PUD

PARCEL PIN: 1763-08-8851, 1763-08-3716, 1763-09-5280,
1763-09-5560, 1763-09-9828, 1753-98-9764,
1753-89-9448, 1753-98-0579, 1753-99-1155

PROPERTY ADDRESS: 409 MAILMAN ROAD

EXISTING USE: VACANT.

PROPOSED USE: SINGLE FAMILY RESIDENTIAL.

TOTAL SITE AREA: 73.75 ACRES

TOTAL HOUSING UNITS: 295

20' X 80' REAR-LOAD TH LOTS: 50 TOTAL
30' X 94' REAR-LOAD SF LOTS: 77 TOTAL
35' X 102' REAR-LOAD SF LOTS: 84 TOTAL
60' X 110' FRONT-LOAD SF LOTS: 46 TOTAL
80' X 110' FRONT-LOAD SF LOTS: 38 TOTAL

PASSIVE OPEN SPACE REQUIRED: 4.4 ACRES

PASSIVE OPEN SPACE AS SHOWN: 19.2 ACRES
PASSIVE OPEN SPACE (WEST SIDE): 11.45 ACRES
PASSIVE OPEN SPACE (EAST SIDE): 7.75 ACRES

ACTIVE OPEN SPACE REQUIRED: 4.4 ACRES

ACTIVE OPEN SPACE AS SHOWN: 4.5 ACRES
ACTIVE OPEN SPACE (WEST SIDE): 2.78 ACRES
ACTIVE OPEN SPACE (EAST SIDE): 1.72 ACRES

LOT QUANTITIES:

(38) 80' X 110' FRONT-LOAD SF LOTS
(46) 60' X 110' FRONT-LOAD SF LOTS
(84) 35' X 102' REAR-LOAD SF LOTS
(77) 30' X 94' REAR-LOAD SF LOTS
(50) 20' X 80' REAR-LOAD TH

PHASING PLAN AND TIMETABLE

PHASE 1 (MAILMAN WEST):

- HORIZONTAL CONSTRUCTION (GRADING, ROADS, UTILITIES, ETC.) Q3 2024 - Q3 2025
- VERTICAL CONSTRUCTION (HOME AND BUILDING CONSTRUCTION) Q3 2025 - Q3 2026

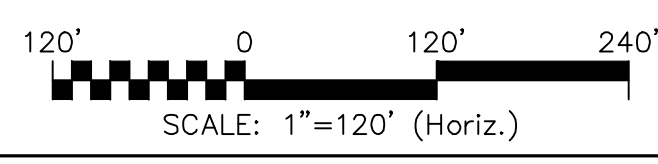
PHASE 2 (MAILMAN EA):

- HORIZONTAL CONSTRUCTION (GRADING, ROADS, UTILITIES, ETC.) Q4 2024 - Q4 2025
- VERTICAL CONSTRUCTION (HOME AND BUILDING CONSTRUCTION) Q4 2025 - Q4 2026

*NOTE: CONSTRUCTION SCHEDULE MAY VARY AS THESE ARE GENERAL TIMELINES.

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING R/W
- PROPOSED R/W
- ROAD CENTERLINE
- PROPOSED LOT LINE
- GAS EASEMENT
- PERIMETER BUFFER
- STORM DRAINAGE EASEMENT
- SCM
- RETAINING WALL
- RIPARIAN BUFFER LINE
- WETLANDS
- COMMON OPEN SPACE
- ACTIVE OPEN SPACE



I:\09493\001\ENG\80-DRAWINGS\81-PRODUCTION-SHEETS\2-WORKING-DWG\C3.0-SITE PLAN-OVERALL.DWG 06/26/2023 16:15:08

REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

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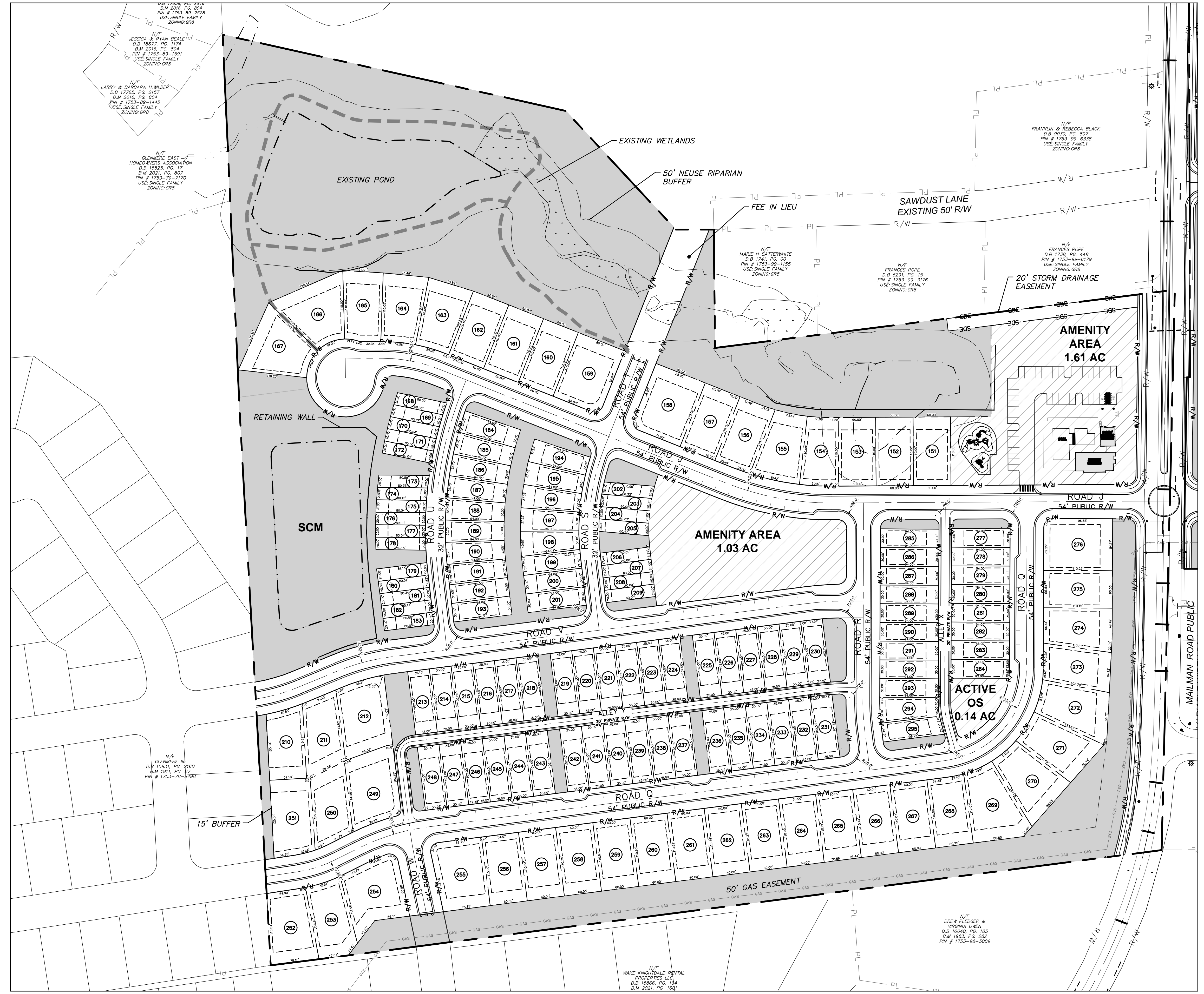
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TURNBRIDGE EQUITIES

MAILMAN POST
SITE PLAN

DATE: JUNE 26, 2023	SCALE: 1"=120'	MAC FILE NUMBER: C3.0
MCE PROJ. #: 09493-0001	HORIZONTAL: 1"=120'	DRAWING NUMBER: C3.0
DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION	

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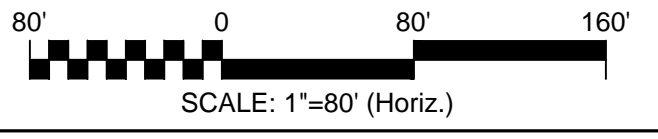


- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - EXISTING R/W
 - - - PROPOSED R/W
 - ROAD CENTERLINE
 - - - PROPOSED LOT LINE
 - GAS EASEMENT
 - PERIMETER BUFFER
 - STORM DRAINAGE EASEMENT
 - SCM
 - RETAINING WALL
 - RIPARIAN BUFFER LINE
 - WETLANDS
 - COMMON OPEN SPACE
 - ACTIVE OPEN SPACE

WEST SIDE LOT QUANTITIES:

- (7) 80' X 110' FRONT-LOAD SF LOTS
- (41) 60' X 110' FRONT-LOAD SF LOTS
- (36) 35' X 102' REAR-LOAD SF LOTS
- (37) 30' X 94' REAR-LOAD SF LOTS
- (24) 20' X 80' REAR-LOAD TH

TOTAL # OF UNITS FOR WEST SIDE: 145



REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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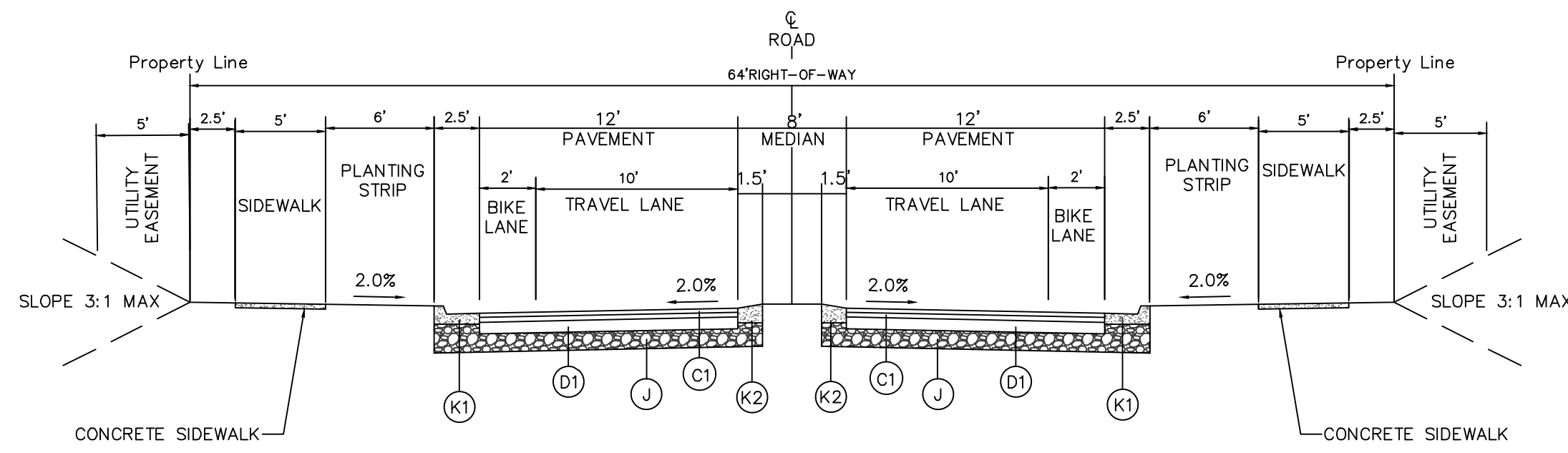
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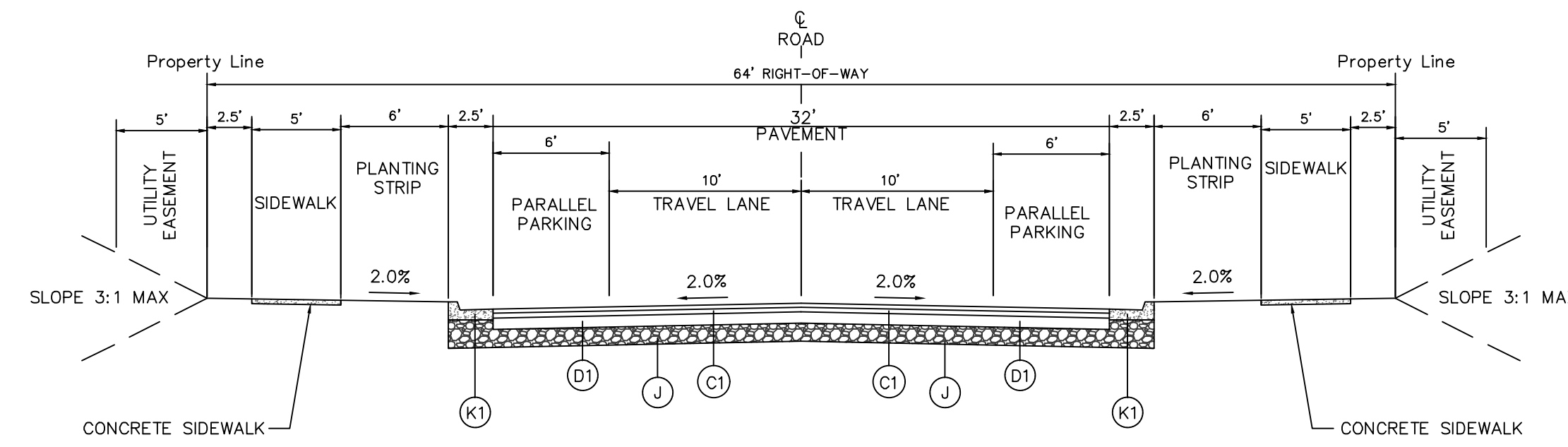
TURNBRIDGE EQUITIES

MAILMAN POST
SITE PLAN - WEST

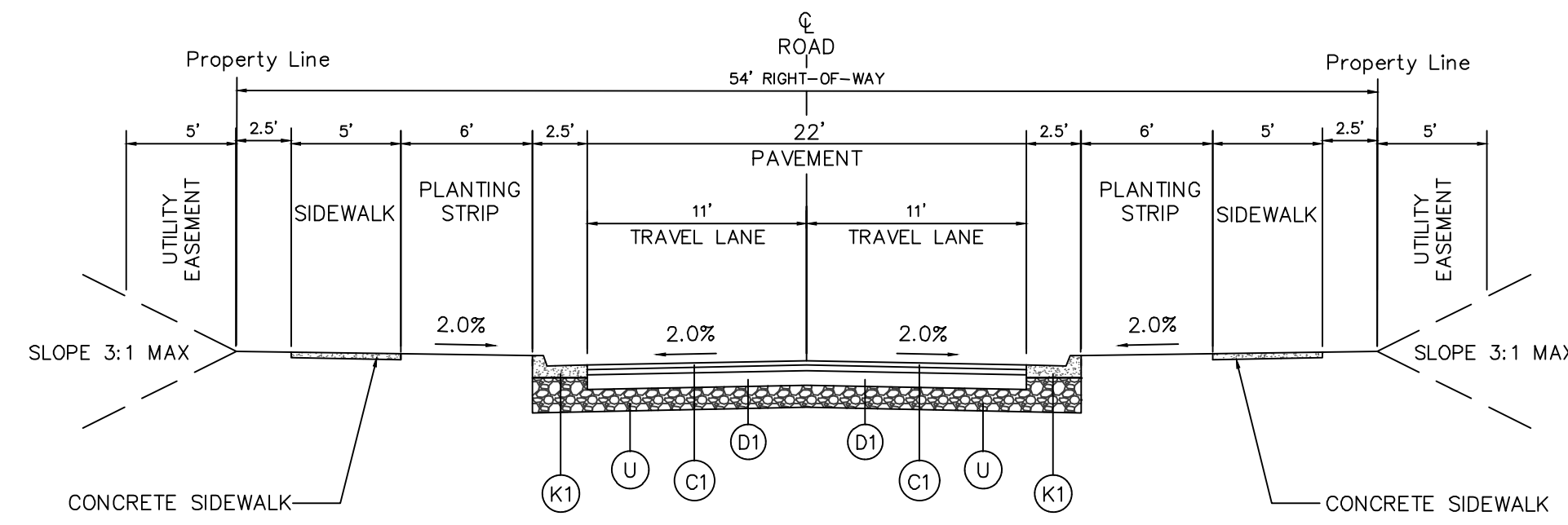
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DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR.: CHS		
STATUS: PRELIMINARY		
NOT FOR CONSTRUCTION		



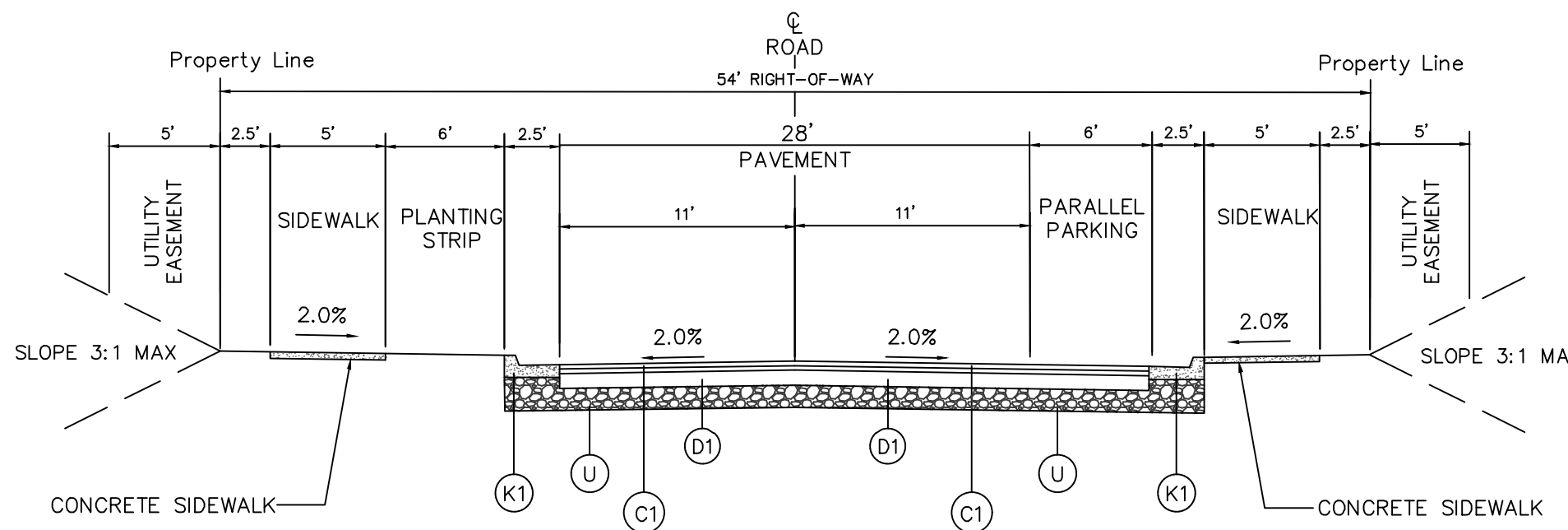
TYPICAL CROSS SECTION - 64' ROW W/ MEDIAN
NOT TO SCALE



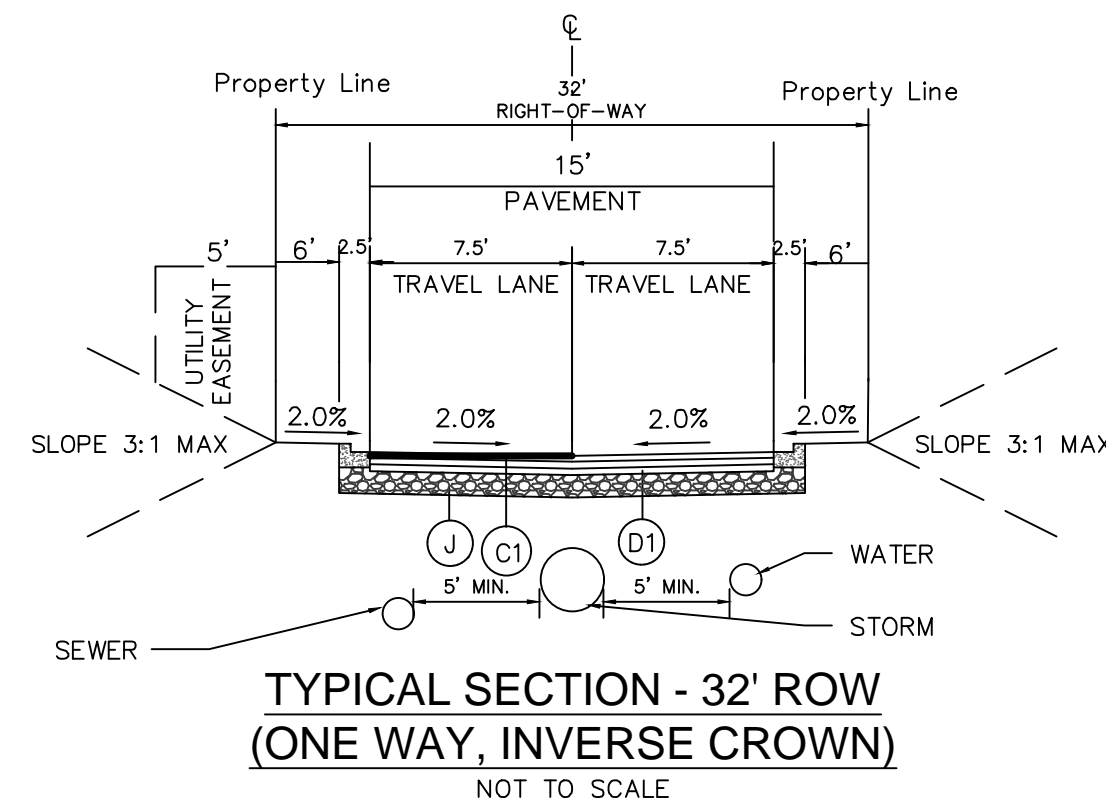
TYPICAL CROSS SECTION - 64' ROW W/ PARALLEL PARKING
NOT TO SCALE



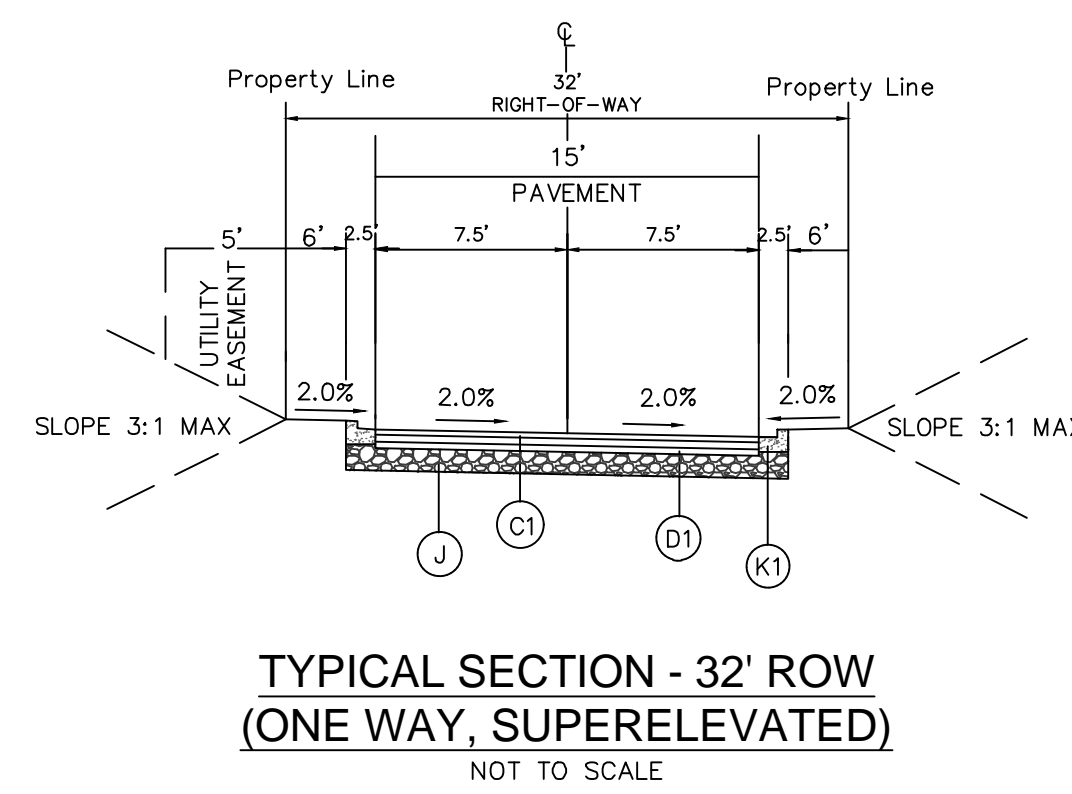
TYPICAL CROSS SECTION - 54' ROW
NOT TO SCALE



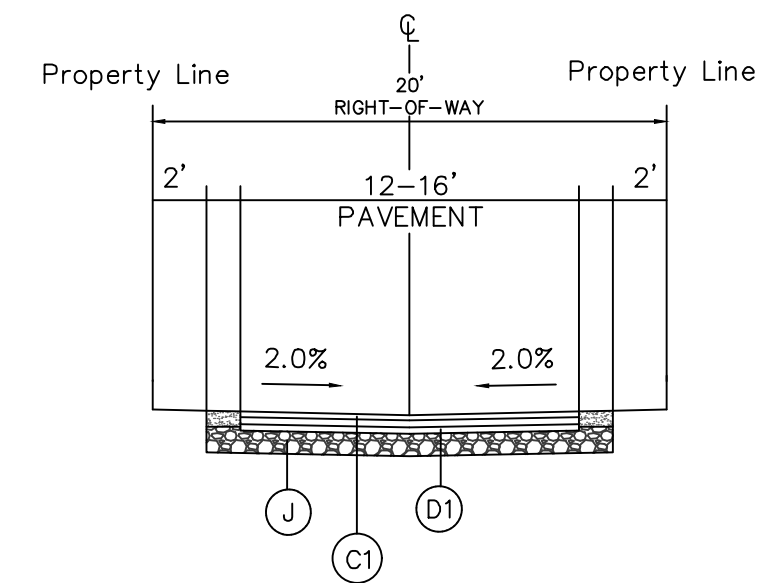
TYPICAL CROSS SECTION - 54' ROW
W/ PARALLEL PARKING
NOT TO SCALE



TYPICAL SECTION - 32' ROW
(ONE WAY, INVERSE CROWN)
NOT TO SCALE

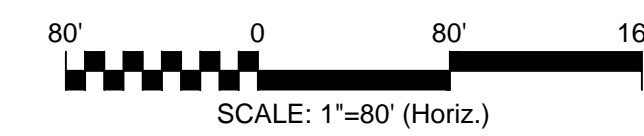


TYPICAL SECTION - 32' ROW
(ONE WAY, SUPERELEVATED)
NOT TO SCALE



TYPICAL SECTION - REAR ALLEY
NOT TO SCALE

PAVEMENT SCHEDULE	
(C1)	1.5" S9.5B ASPHALT SURFACE COURSE AT AN AVERAGE RATE OF 110 LBS. PER SQ. YARD.
(D1)	2.5" I19.0B INTERMEDIATE COURSE AT AN AVERAGE RATE OF 220 LBS. PER SQ. YARD.
(J)	8" COMPACTED ABC STONE BASE COURSE
(K)	30" VALLEY CURB AND GUTTER
(K1)	30" STANDARD CURB AND GUTTER
(K2)	18" MEDIAN CURB AND GUTTER
(U)	COMPACTED SUBGRADE



I:\09493\001\ENG\80-DRAWINGS\1-PRODUCTION-SHEETS\2-WORKING-DWG\C3.0-SITE PLAN-OVERALL.DWG - 06/26/2023 16:15:32

REV. NO.	DESCRIPTIONS	DATE

SEAL
PRELIMINARY PLAN
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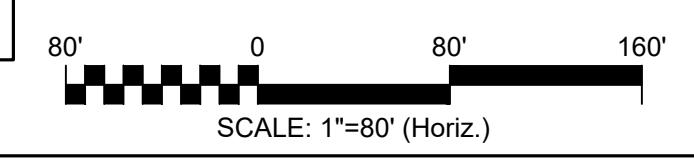
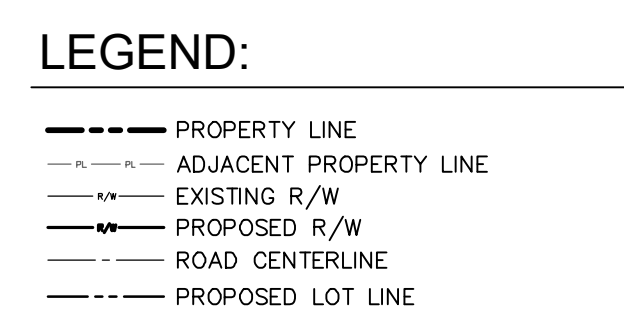
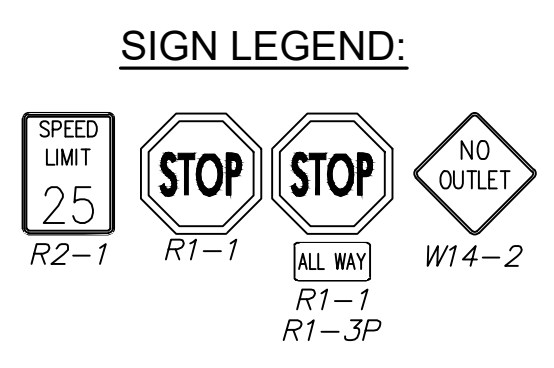
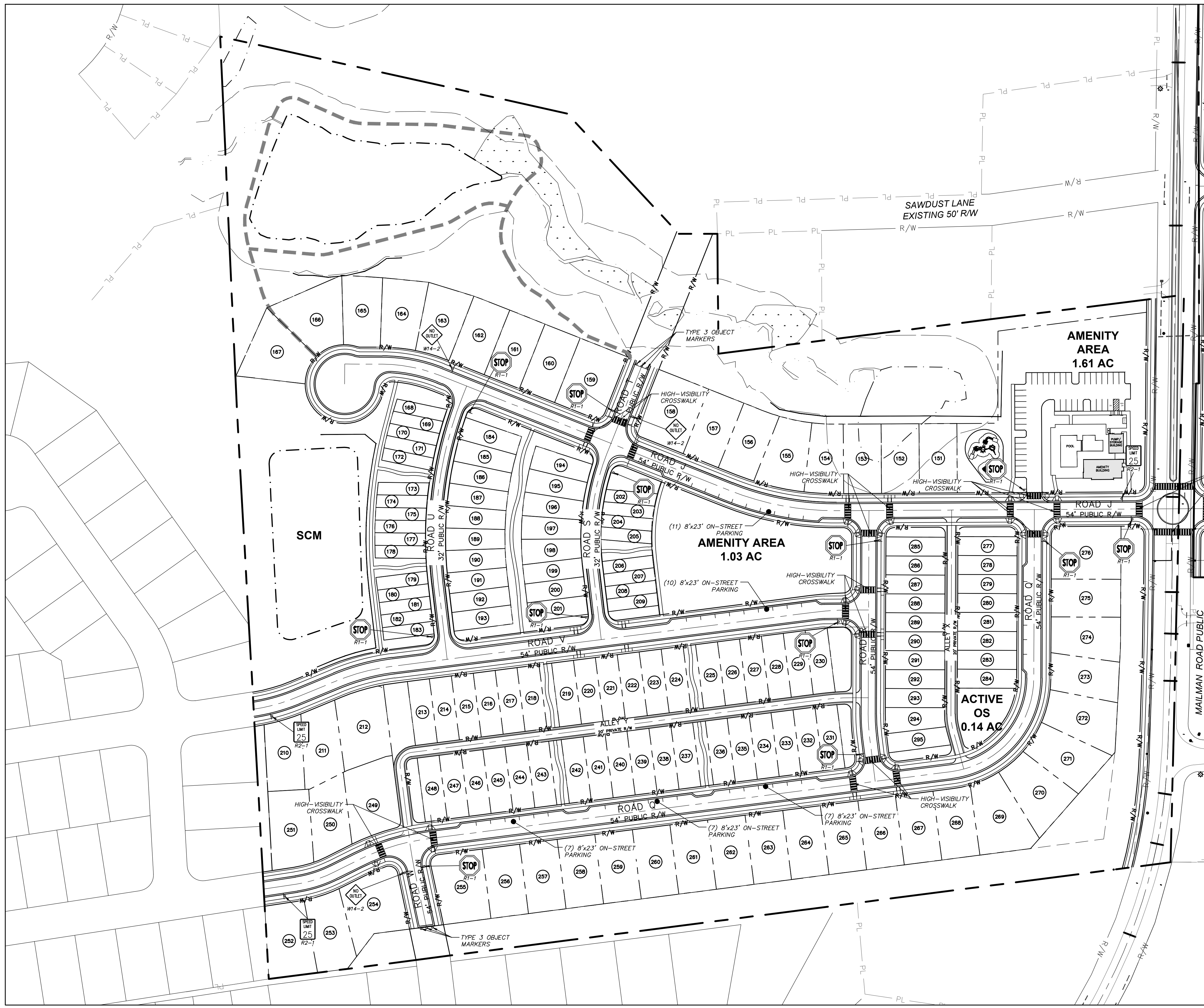
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MAILMAN POST

STREET CROSS SECTIONS

DATE: JUNE 26, 2023	SCALE: 1"=80'	MAC FILE NUMBER: C3.0-SITE PLAN-OVERALL.dwg
MCE PROJ. #: 09493-0001	HORIZONTAL: 1"=80'	DRAWING NUMBER: C3.3
DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY	REVISION:	
NOT FOR CONSTRUCTION		



MCKIMCREED.COM \NASJIAN\DATA\PROJ\09493\001\ENG\80-DRAWINGS\81-PRODUCTION-SHEETS\2-SIGN PLAN.DWG - 06/26/2023 16:26:58

REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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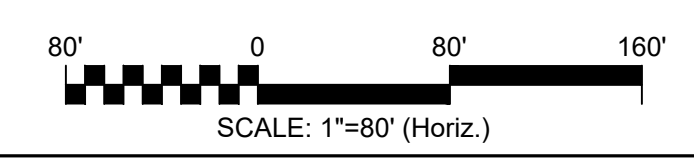
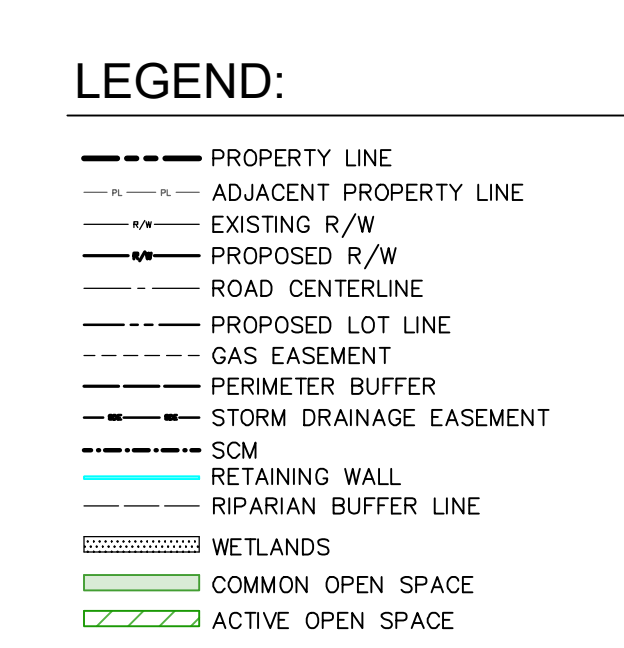
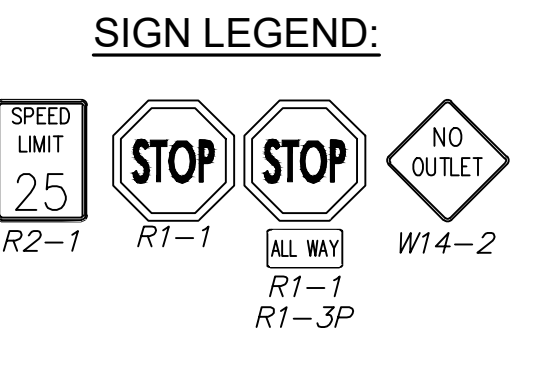
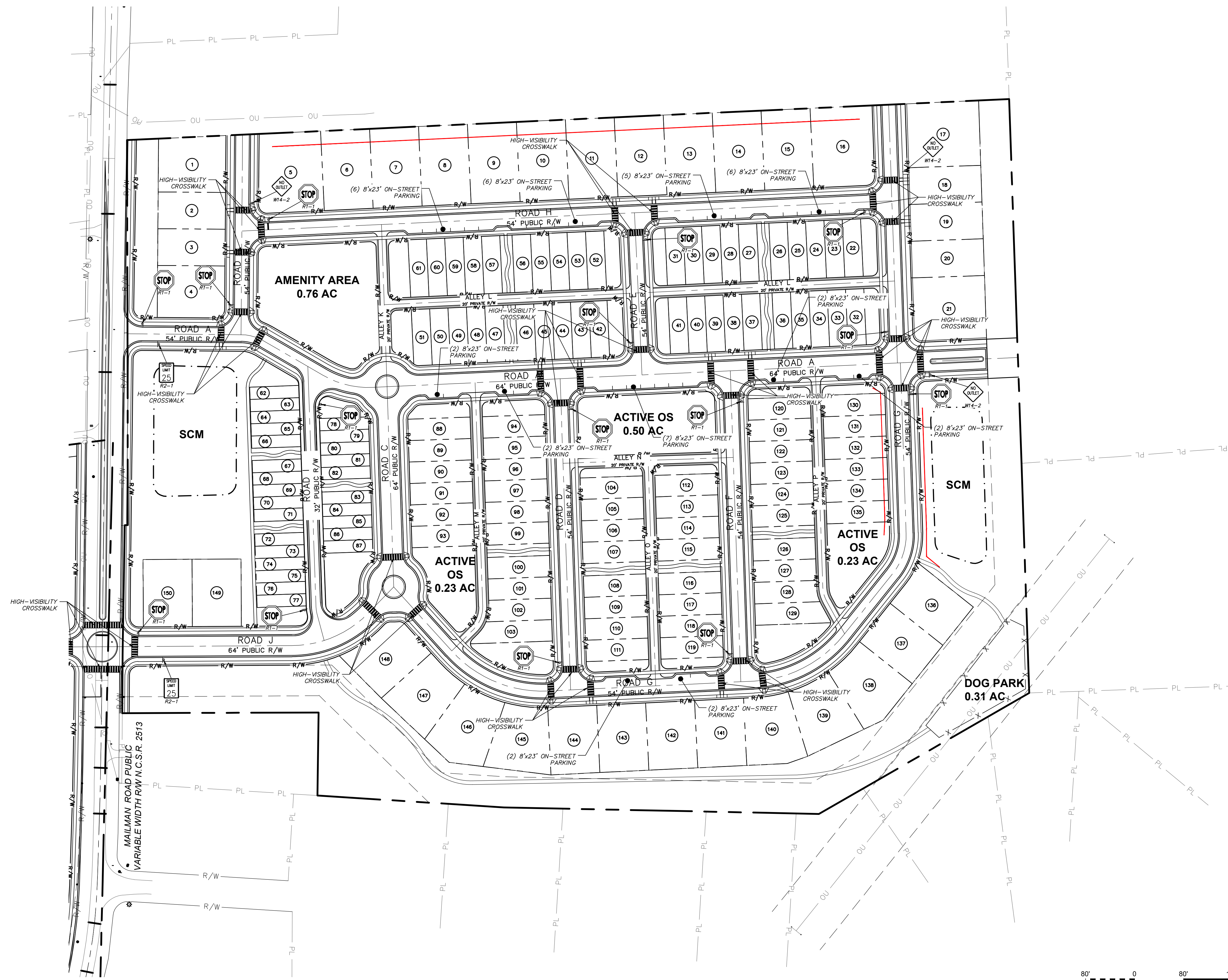
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MAILMAN POST

SIGNAGE PLAN - WEST

DATE: JUNE 26, 2023	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: C3-08N PLAN.dwg
MCE PROJ #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C3.4
DRAWN: CEC		
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY	REVISION:	
NOT FOR CONSTRUCTION		



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REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

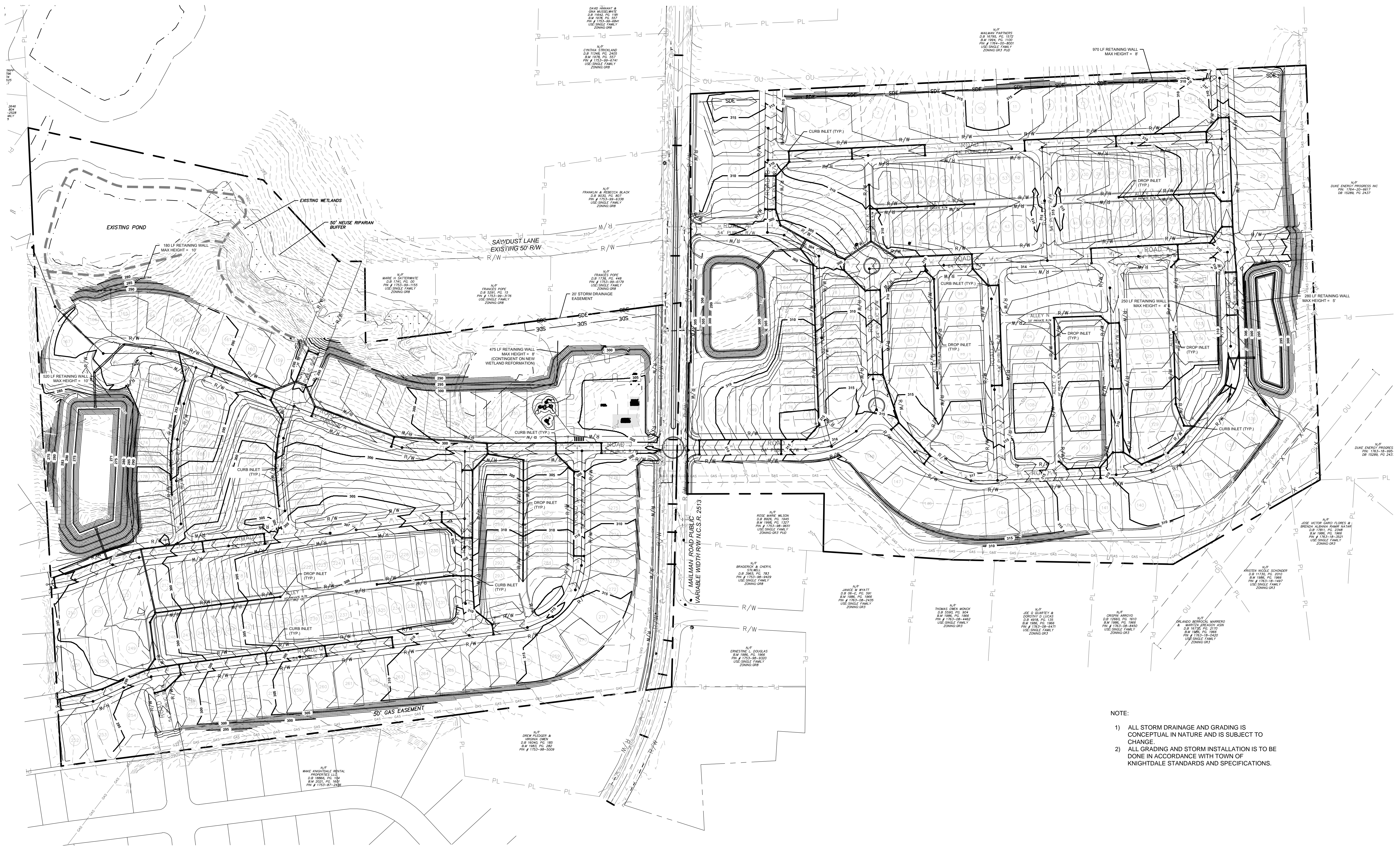
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TURNBRIDGE
EQUITIES

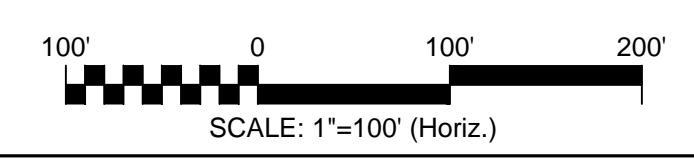
MAILMAN POST
SIGNAGE PLAN - EAST

DATE: JUNE 26, 2023	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: C:\GREN PLAN.dwg
MCE PROJ #: 094493-0001	VERTICAL: N/A	DRAWING NUMBER: C3.5
DRAWN: CEC		
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY		REVISION:
NOT FOR CONSTRUCTION		

I:\09493\001\ENG-80-DRAWINGS\1-PRODUCTION-SHEETS\2-WORKING-DWG\C7.O GRADING PLAN.DWG ----- 06/26/2023 14:35:41



- NOTE:
- 1) ALL STORM DRAINAGE AND GRADING IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE.
 - 2) ALL GRADING AND STORM INSTALLATION IS TO BE DONE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.



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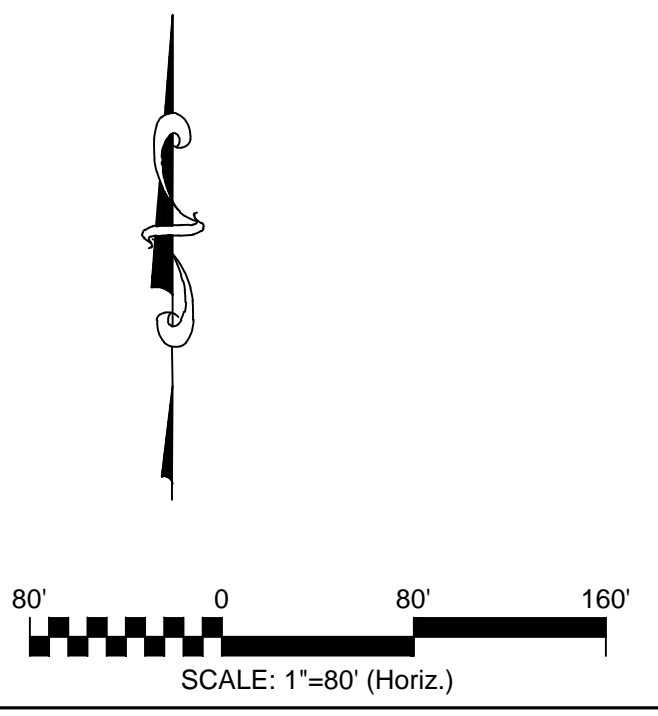
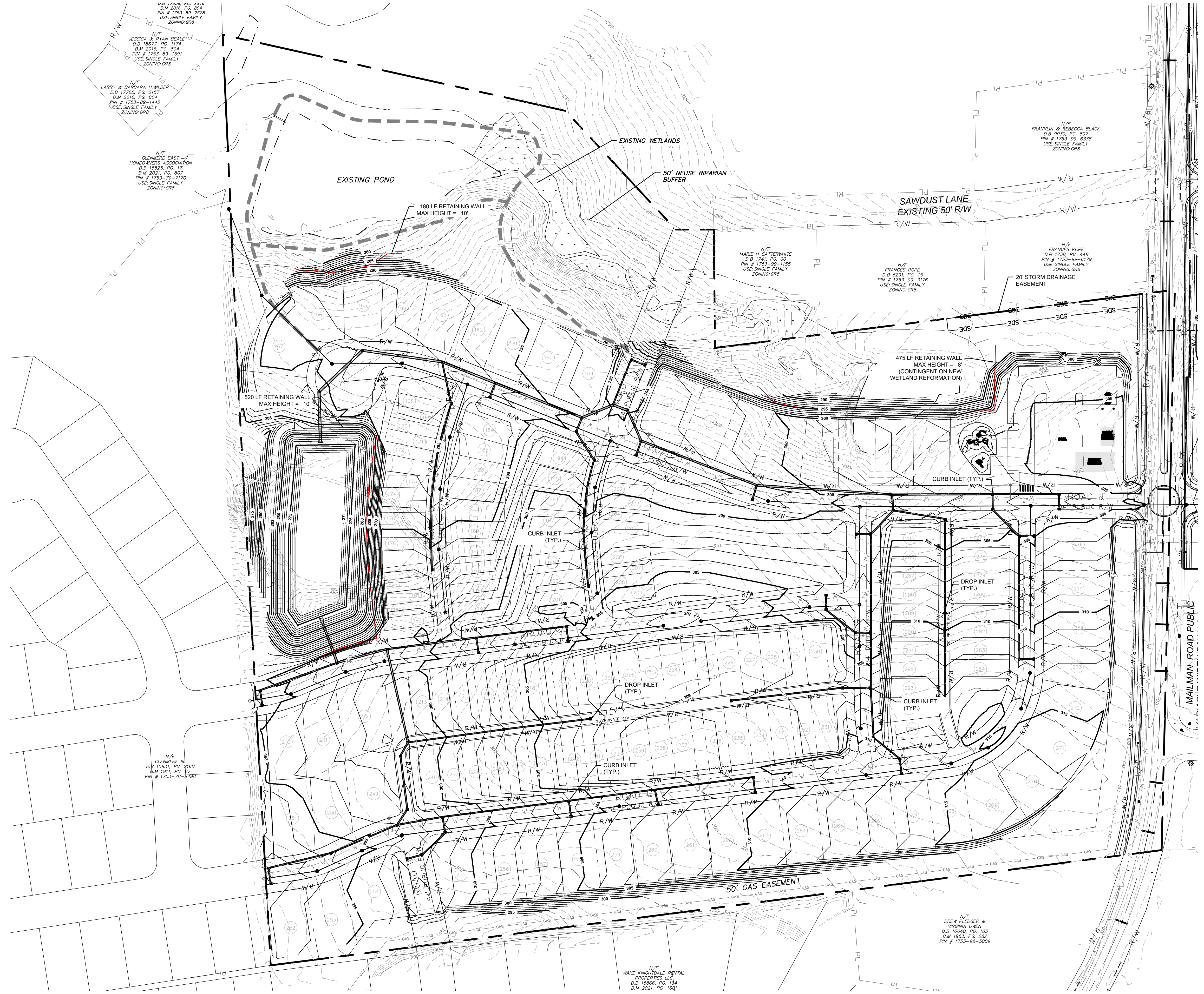
MAILMAN POST

OVERALL GRADING AND STORM DRAINAGE PLAN

DATE:	JUNE 19, 2023
MCE PROJ. #:	09493-0001
DRAWN:	CEC
DESIGNED:	KLT
CHECKED:	KLT
PROJ. MGR.:	CHS
STATUS:	PRELIMINARY NOT FOR CONSTRUCTION

SCALE	MAC FILE NUMBER
HORIZONTAL:	C7.O GRADING PLAN.dwg
1"=100'	DRAWING NUMBER
VERTICAL:	C7.0
N/A	REVISION

I:\09493\001\ENG-Drawings\1-PRODUCTION-SHEETS\2-WORKING-DWG\C7.0 GRADING PLAN.DWG ----- 06/26/2023 14:35:50



REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

McKIM & CREED
1730 Varsity Drive, Suite 500
Raleigh, North Carolina 27606
Phone: (919)233-8091, Fax: (919)233-8031
F-1222
www.mckimcreed.com

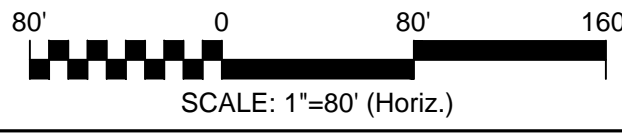
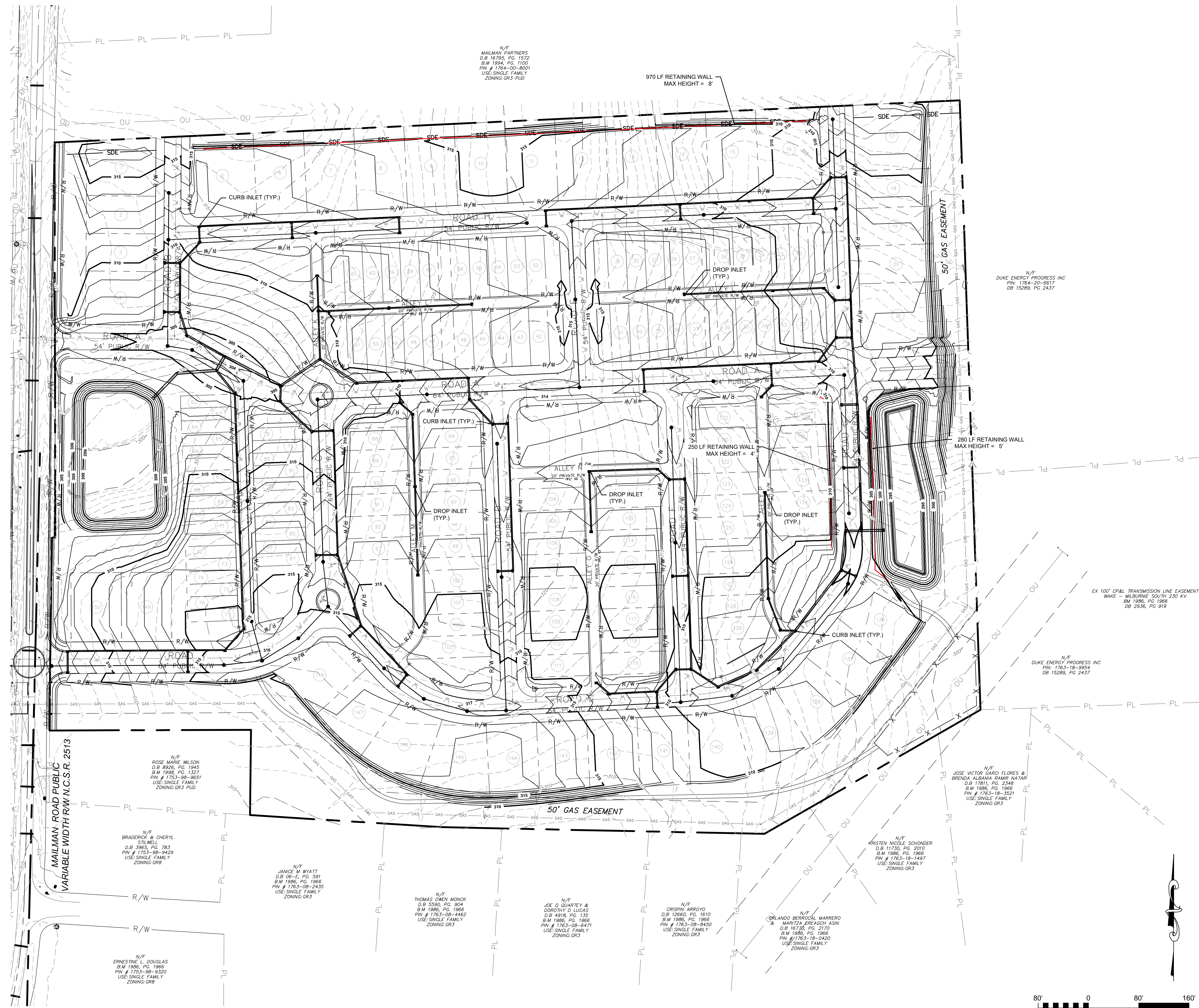
**TURNBRIDGE
EQUITIES**

MAILMAN POST

GRADING AND STORM
DRAINAGE PLAN -
ENLARGEMENT

DATE:	JUNE 19, 2023	SCALE:	1"=80'	MAC FILE NUMBER:	C7.0 GRADING PLAN.dwg
MCE PROJ. #:	09493-0001	HORIZONTAL:	1"=80'	DRAWING NUMBER:	C7.1
DRAWN:	CEC	VERTICAL:	N/A	REVISION:	
DESIGNED:	KLT				
CHECKED:	KLT				
PROJ. MGR.:	CHS				
STATUS:	PRELIMINARY				
	NOT FOR CONSTRUCTION				

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REV. NO.	DESCRIPTIONS	DATE

SEAL
PRELIMINARY PLAN
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SEAL
PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

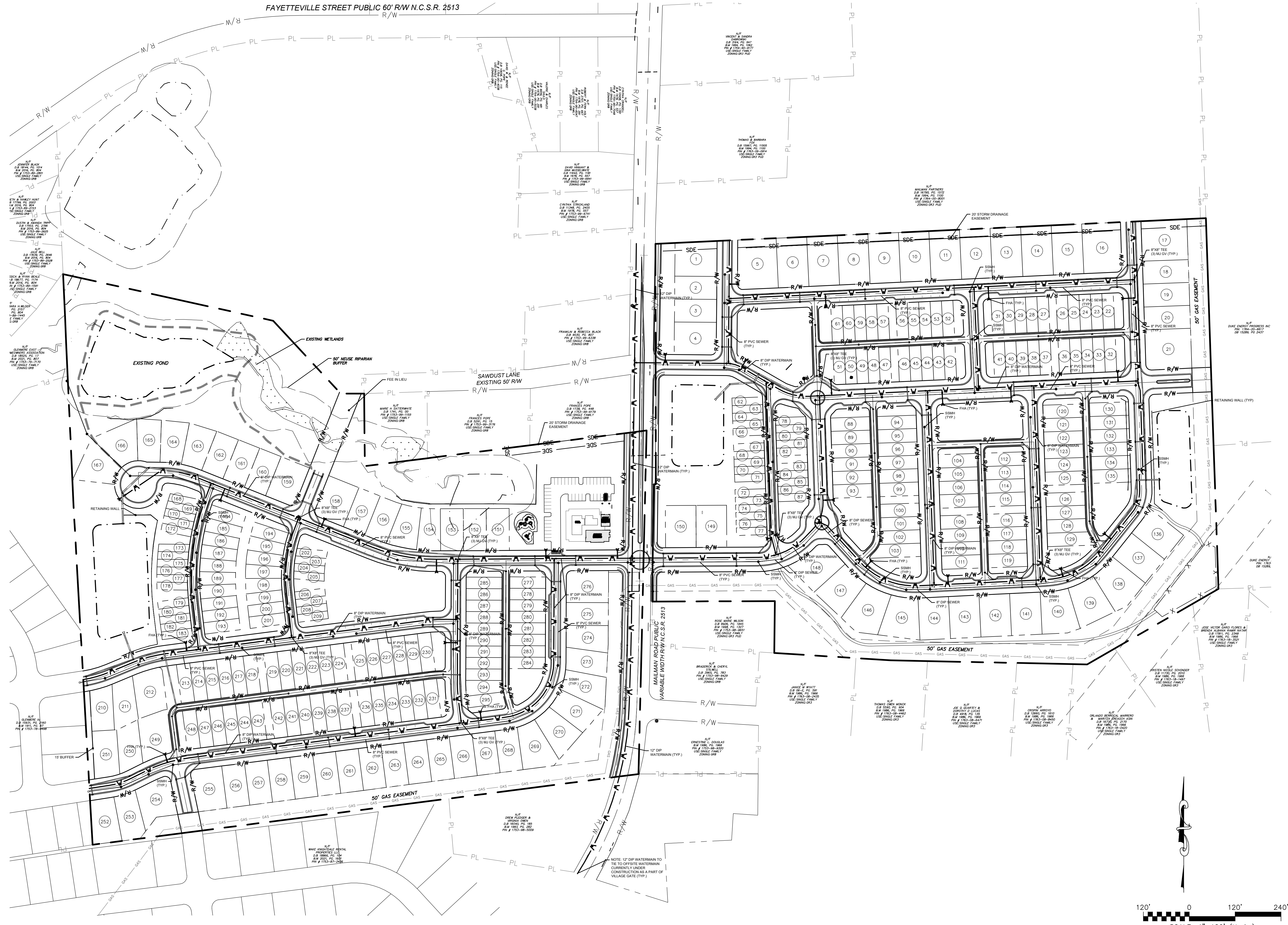
MCKIM & CREED
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TURNBRIDGE EQUITIES

MAILMAN POST
GRADING AND STORM DRAINAGE PLAN - ENLARGEMENT

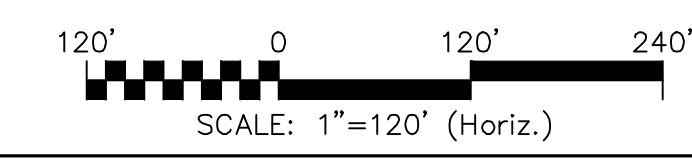
DATE: JUNE 19, 2023	SCALE: 1"=80'	MAC FILE NUMBER: C7.0 GRADING PLAN.dwg
MCE PROJ.# 09493-0001	HORIZONTAL: 1"=80'	DRAWING NUMBER: C7.2
DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR.: CHS		
STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION	

FAYETTEVILLE STREET PUBLIC 60' R/W N.C.S.R. 2513



UTILITY DATA
 8" WATER MAIN: ±12300 LF
 12" WATER MAIN: ±1680 LF
 NUMBER OF SANITARY SEWER MANHOLES: 74
 8" SEWER MAIN: ±10900 LF

- UTILITY NOTES**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR OR SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERLINE, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 18" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-118 S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
 - INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDMQU, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
 - NCDDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A LIC / BLDG PERMIT. CONTACT (919) 996-9923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION
 - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID
- * EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE



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REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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PRELIMINARY PLAN
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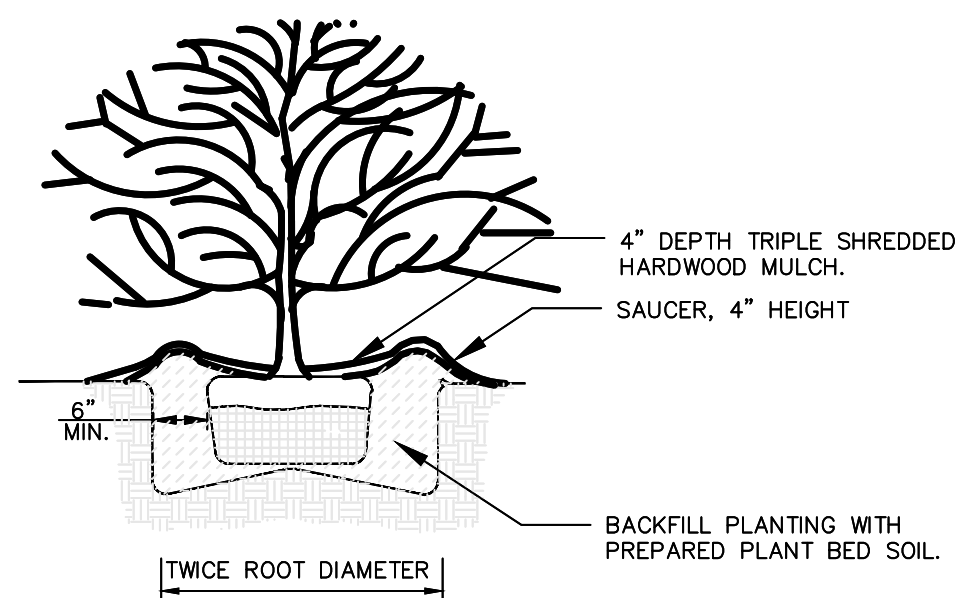
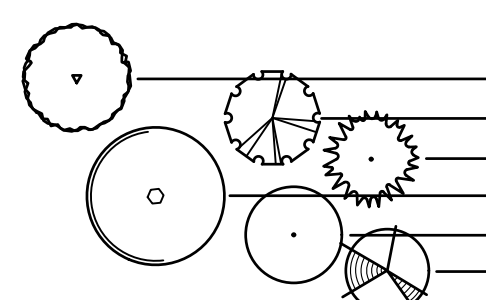
TURNBRIDGE EQUITIES

MAILMAN POST
 UTILITY PLAN - OVERALL

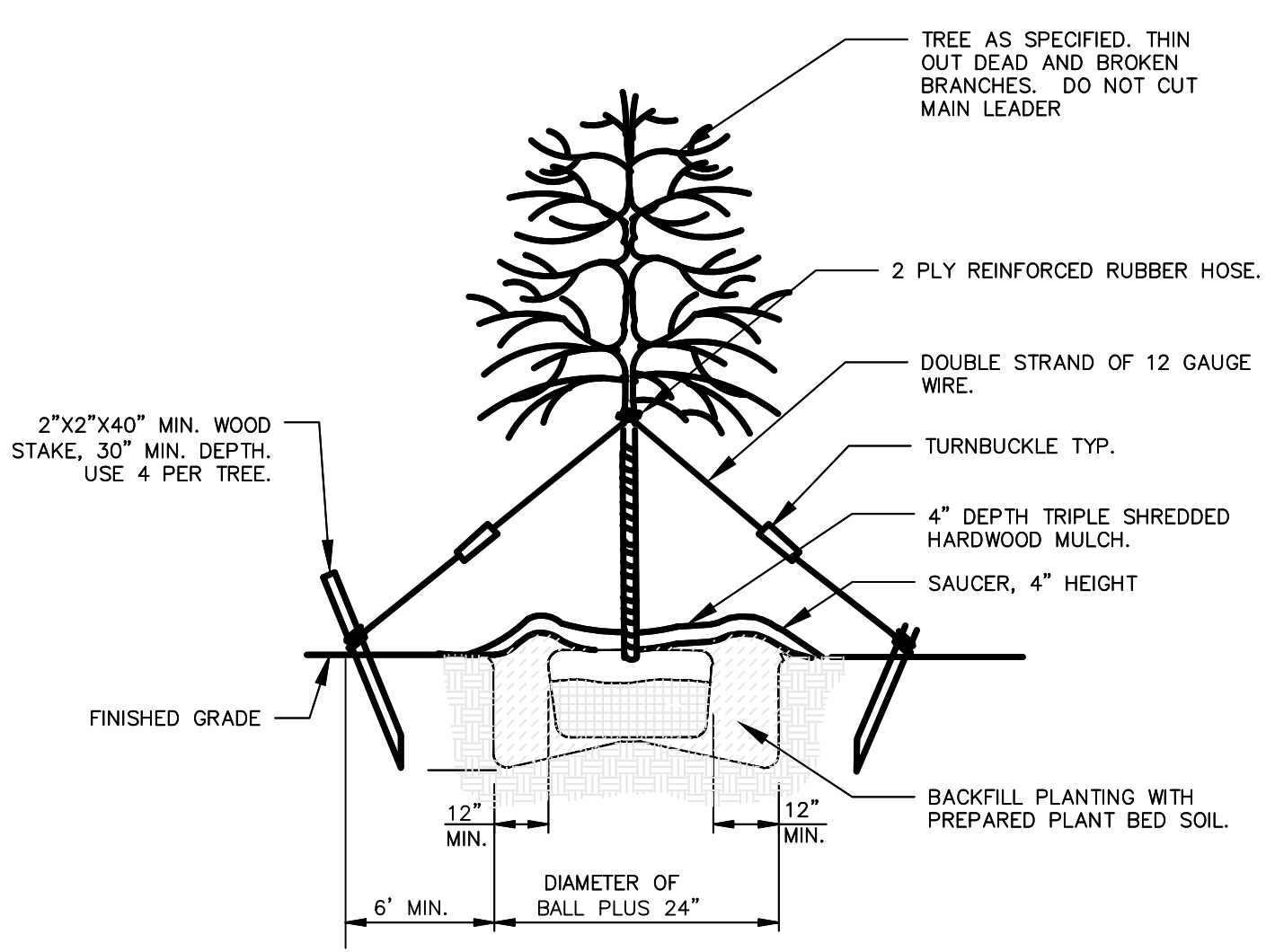
DATE: JUNE 26, 2023	SCALE: HORIZONTAL: 1"=120'	MAC FILE NUMBER: CSO-UTILITY-PLAN.DWG
MCE PROJ #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C8.0
DRAWN: CEC		
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR. CHS		
STATUS: PRELIMINARY		REVISION:
		NOT FOR CONSTRUCTION

Sym.	Botanical Name	Common Name	Qty.	Caliper	Height	Spread	Comments
Trees							
AR	Ulmus parvifolia	Lacebark Elm	116	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
GT	Acer saccharum	Sugar Maple	19	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
LI	Quercus acutissima	Sawtooth Oak	79	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
PC	Pistacia chinensis	Chinese Pistachio	115	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
QS	Acer buergerianum	Trident Maple	84	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
UP	Prunus subhirtella	Japanese Flowering Cherry	19	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Shrubs							
ICR	Ilex cornuta 'Rotundifolia'	Chinese Holly	166	----	18"-24"	----	3 gal. container, 3' o.c.

NOTE: QUANTITIES SUBJECT TO CHANGE DURING CONSTRUCTION DRAWINGS



SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL-LARGE TREE
NOT TO SCALE

GENERAL NOTES - APPLY TO ALL LANDSCAPE SHEETS

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- ALL MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE TOWN OF WENDELL UNIFIED DEVELOPMENT ORDINANCE (UDO) STANDARDS.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ALL WORK WITHIN THE NCDOT ROW SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NEEDED PERMITS, AGREEMENTS AND SUPPLY NOTIFICATIONS OF CLOSURES FROM THE NCDOT.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL (CADD) FILE PROVIDED THROUGH THE CLIENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES FOR ELECTRIC, DRAINAGE, AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER LOCAL CODES.
- UTILITIES ARE SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL UTILITY INFORMATION.

SITE PLANNING NOTES

- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AS AMENDED, AND ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- UNLESS NOTED ON THE DRAWINGS ALL BUFFERS, WETLANDS, STREAM CHANNELS, SETBACKS AND TREE PROTECTION AREAS SHALL BE PROTECTED WITH NO CONSTRUCTION ACCESS, STORAGE OR USE OF ANY KIND. THE CONTRACTOR SHALL KEEP CONSTRUCTION ACTIVITIES OUTSIDE OF THE BUFFERS INDICATED ON THE PLANS.
- ALL DIMENSIONS INDICATING "VERIFY" SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SMOOTH LAYOUT ALIGNMENTS BETWEEN EXISTING CONDITIONS AND PROPOSED SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING THE WORK SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.
- ITEMS LABELED AS "BY OTHERS" OR "NIC" ARE FOR COORDINATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ANY SUCH ITEMS WITH THE OWNER'S REPRESENTATIVE.
- REFER TO THE TOWN OF WENDELL UDO CHAPTER 8 TREE PROTECTION AND LANDSCAPING SECTION 8.6 BUFFERS AND SCREENING AND SECTION 8.8 STREET TREE PLANTINGS FOR PLANNING REQUIREMENTS FOR PLANTINGS.

PLANTING NOTES

- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT, RIP RAP, AND TEMPORARY STONE STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- TEMPORARY EROSION CONTROL SEED MUST BE FULLY REMOVED PRIOR TO PREPARATION OF PERMANENT SEED, SOD OR LANDSCAPE BEDS.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT. ALL GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. BAB MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- FURNISHED PLANT MATERIAL SHALL MEET THE MINIMUM HEIGHT OR MINIMUM SPREAD DIMENSIONS SHOWN IN THE PLANT LIST HEADINGS. THE CONTRACTOR SHALL UTILIZE THE MOST STRINGENT DIMENSION SHOWN ON THE PLANT LIST.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- PLANT THE OUTER EDGES OF EACH PLANTING GROUP FOLLOWING THE BED OUTLINE ACCORDING TO THE PLAN. ONCE A SATISFACTORY MATCHED OUTLINE SHAPE IS OBTAINED, FILL THE CENTER OF EACH AREA WITH PLANTS ACCORDING TO THE PLAN AND SPACING NOTES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS INCLUDING CONSTRUCTION ACCESS OUTSIDE PROJECT LIMITS.
- SPACING OF TREES SHOULD ALLOW FOR A CLEAR VIEW OF BUILDINGS AND LAND USE.

PLANTING NOTES

- STREET TREES SHALL BE PLANTED AS CANOPY TREES INSTALLED AT AN AVERAGE DISTANCE OF 40' O.C.; YET IN SOME LOCATIONS FACTORS SUCH AS EASEMENTS, UTILITIES, UTILITY COORDINATION, DRIVEWAYS, BLOCK LENGTHS ETC. MAY RESULT IN A +/- DEVIATION. ANY TREE LOCATIONS CONFLICTING WITH PROPOSED UTILITIES SHALL BE RESOLVED IN THE FIELD.
- NO MORE THAN 40% OF ONE TREE SPECIES SHALL BE USED THROUGHOUT THE PROJECT.
- STREET TREES SHALL BE PLACED AT LEAST 8' FROM LIGHT POLES AND 10' FROM ELECTRICAL TRANSFORMERS FOR SERVICE; CONTRACTOR TO FIELD VERIFY ALL LIGHT AND UTILITY LOCATIONS PRIOR TO INSTALLATION.
- STREET TREES SHALL BE PLANTED INSIDE OF THE RIGHT-OF-WAY, BETWEEN THE CURB AND THE SIDEWALK, AND ARE TO BE LOCATED WITHIN THE PROVIDED PLANTING EASEMENT.
- WHERE PLANTINGS ARE NOT REQUIRED BY THE TOWN OF WENDELL UDO, BUT ARE SHOWN ON THE PLAN FOR REFERENCE ONLY WITH THE NOTATION NIC (NOT IN CONTRACT), DESIGN IS SUBJECT TO CHANGE WITHOUT NOTIFICATION.
- ALL MEDIANS SHALL BE SEEDDED AND STABILIZED USING A COMMON BERMUDA TURF.

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REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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PRELIMINARY PLAN
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F-1222
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TURNBRIDGE EQUITIES

MAILMAN POST
LANDSCAPING DETAILS

DATE: JUNE 26, 2023
MCE PROJ. #: 09493-0001
DRAWN: ALP
DESIGNED: ALP/ALM
CHECKED: KLT
PROJ. MGR: CHS

SCALE
HORIZONTAL: 1"=80'
VERTICAL: N/A

MAC FILE NUMBER: 010-LANDSCAPING-PLAN.dwg
DRAWING NUMBER: **C10.3**

STATUS: **PRELIMINARY**
NOT FOR CONSTRUCTION

PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT REZONING

FOR

MAILMAN POST

PREPARED FOR:

TOWN OF KNIGHTDALE
JUNE 26, 2023

PREPARED BY:



McKIM & CREED, INC.

1730 VARSITY DRIVE, SUITE 500
RALEIGH, NORTH CAROLINA 27606
919.233.8091

MAILMAN POST

PROJECT DATA:

NAME OF PROJECT:

MAILMAN POST

ADDRESS: 438 MAILMAN ROAD, ST. MATTHEW'S, NC 27545

PIN(S): 1763-08-8851, 1763-08-3716, 1763-09-5280, 1763-09-5560, 1753-98-9828, 1753-98-9764, 1753-98-0579, PORTION OF 1753-89-9448

DEED REFERENCE: DB. 14674 PG. 1408, DB. 18802 PG. 2455, DB. 16990 PG. 2508, DB 17-E PG 2129, DB. 8228 PG. 609

LANDOWNERS:

GIOVANNI MORTARINO TRUSTEE
2830 CHALEMAGNE DRIVE, VIRGINIA BEACH, VA 23451

POPE, JASON RICHARD, MARKIE S
417 MAILMAN RD, KNIGHTDALE, NC 27545

PUBLIC SERVICE COMPANY OF NORTH CAROLINA, INC
SCANA LAND DEPT
220 OPERATION WAY, CAYCE, SC 29033

POPE HEIRS, ET AL,
PO BOX 142, KNIGHTDALE, NC 27545

POPE, DAVID WAYNE POPE, RENEE G
1305 FAYETTEVILLE ST, KNIGHTDALE, NC 27545

PREPARED BY:

MCKIM & CREED, INC.
1730 VARSITY DRIVE, SUITE 500, RALEIGH, NC 27606
PHONE: (919) 233-8091
CONTACT: LUKE TURNER, KLTurner@mckimcreed.com

DEVELOPER:

TURNBRIDE EQUITIES
4800 HAMPDEN LANE, SUITE 200, BETHESDA, MD 20814
PHONE: (301) 366-6222
CONTACT: ELI EISENSTADT, ee@turnbridgeeeq.com

CURRENT ZONING: RT (WEST), GR3-PUD (EAST)

CURRENT USE: SF RESIDENTIAL & VACANT

PROPOSED ZONING: GR-3-PUD GENERAL RESIDENTIAL-3, PLANNED UNIT DEVELOPMENT

PROPOSED USE: SF RESIDENTIAL

TOTAL PROJECT AREA 73.75 ACRES

PROPOSED DENSITY: 3.99 DU/A

RIVER BASIN: NEUSE

SURFACE WATER CLASSIFICATION: C, NSW

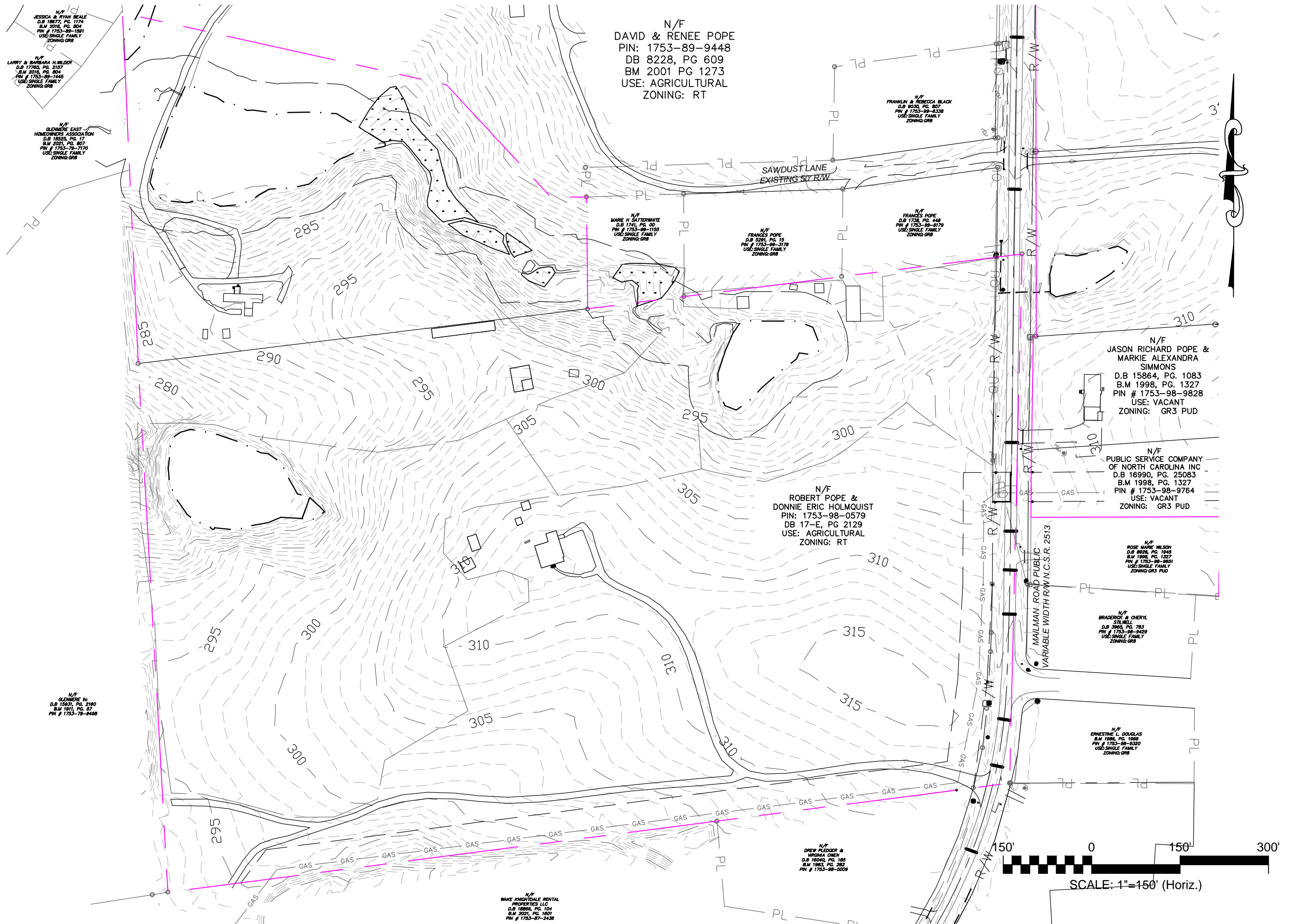
FIRM PANEL #(S): 3720176300K & 3720175300K EFFECTIVE 07/19/2022

OPEN SPACE:

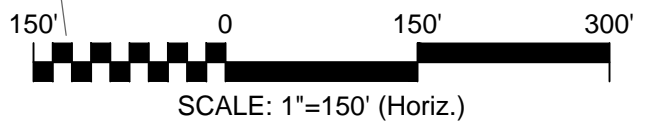
ACTIVE OPEN SPACE PROVIDED: 4.50 ACRES

PASSIVE OPEN SPACE PROVIDED: 19.20 ACRES (5.07 ACRES OF CANOPY SAVE PROVIDED)

FRONT LOAD SINGLE FAMILY LOT STANDARDS FOR 80' WIDE LOTS:	MINIMUM LOT SIZE: 8,800 SF MINIMUM LOT WIDTH: 80' FRONT SETBACK: 10' DRIVEWAY LENGTH: 25' SIDE SETBACK: 5' CORNER SIDE SETBACK: 10' REAR SETBACK: 20'
FRONT LOAD SINGLE FAMILY LOT STANDARDS FOR 80' WIDE LOTS:	MINIMUM LOT SIZE: 6,600 SF MINIMUM LOT WIDTH: 60' FRONT SETBACK: 10' DRIVEWAY LENGTH: 25' SIDE SETBACK: 5' CORNER SIDE SETBACK: 10' REAR SETBACK: 20'
REAR LOAD SINGLE FAMILY LOT STANDARDS:	MINIMUM LOT SIZE: 2,700 SF MINIMUM LOT WIDTH: 30' FRONT SETBACK: 10' DRIVEWAY LENGTH: 20' SIDE SETBACK: 3' CORNER SIDE SETBACK: 10' REAR SETBACK: 20'
REAR LOAD TOWNHOME LOT STANDARDS:	MINIMUM LOT SIZE: 1,600 SF MINIMUM LOT WIDTH: 20' FRONT SETBACK: 10' DRIVEWAY LENGTH: 20' BUILDING SEPARATION: 10' REAR SETBACK: 20'



EXISTING CONDITIONS - WEST



EXISTING CONDITIONS - EAST

Vision & Intent

According to Section 12.2.G.3.g of the Knightdale Unified Development Ordinance, approval of development through a Planning Unit Development Overlay District rezoning, “is a privilege and will be considered by the Town only in direct response to the accrual of tangible benefits from the planned unit development to the Town or the neighborhood in which it would be located.” The Town evaluates such requests based on the cumulative benefits offered by the PUD, which go beyond standard zoning prerequisites. Considering this, Mailman Post’s design has taken into account the following factors in exchange for the Planned Unit Development designation:

KnightdaleNext 2035 Comprehensive Plan

In the 2035 Comprehensive Plan’s Growth Framework Map, the location of Mailman Post falls within the Targeted Investment Area and the Rural Living Placetype. However, considering the recent surge in development and projected growth at both ends of Mailman Road with Project Hope and Village Gate, it would be more suitable to designate this region as a Mixed-Density Neighborhood Placetype or a Single-Family Neighborhood Placetype. This adjustment would align with the expanding residential housing options between the intersections, allowing residents to reside near a planned mixed-use complex.

Although the KnightdaleNext 2035 Comprehensive Plan takes a playbook approach to reflect present realities, it does deviate from the Rural Living designation on the Growth and Conservation Map. To ensure inclusivity and cater to a diverse range of residents, Mailman Post proposes to embody the characteristics of a Mixed-Density Neighborhood Placetype. This design incorporates a variety of housing styles, lot sizes, and price ranges.

Public Welfare

The design of Mailman Post is crafted with utmost consideration for minimizing the potential fire hazards, preserving the unobstructed flow of light and air to neighboring properties, and safeguarding the overall health, safety, and well-being of the public at large.

Impact on Other Property

Mailman Post, nestled within the residential sector of the Town of Knightdale, is designed to seamlessly integrate with the surrounding land uses. The development has been planned to have no adverse impact on the future utilization or development of nearby properties, assuring that local property values will remain unaffected.

Impact on Public Facilities and Resources

Mailman Post prioritizes the provision of ample utilities, road connections, drainage systems, and other necessary facilities. The development ensures that these crucial elements are either already in place or will be diligently constructed to allow for their seamless integration.

Archaeological, Historical or Cultural Impact

To maintain the natural beauty and ecological balance, great care will be taken to preserve as much of the existing tree canopy and riparian buffers where appropriate. It is worth noting that along the southern and eastern borders of the project, a natural gas pipeline traverses the site, while overhead transmission wires can be found in the southeastern corner. These existing facilities will not be disturbed by the Mailman Post project.

The project takes great care in prioritizing the creation of communal meeting areas. These thoughtfully designed spaces offer a wealth of amenities, including a clubhouse and pool, providing residents with ample opportunities for relaxation and recreation. Furthermore, a host of additional amenities such as playground equipment, a walking trail, pickleball courts and a play lawn have been crafted to foster social connection and encourage meaningful interactions among residents. These active open spaces serve as versatile community gathering spots, adaptable for a myriad of purposes.

Parking and Traffic

In order to alleviate congestion on existing public routes and ensure unimpeded access for emergency vehicles, Mailman Post has put forth a comprehensive plan encompassing essential parking facilities and road connections. Consistent with Knightdale’s inclination toward employing roundabouts at intersections of collector and arterial roadways, a roundabout has been proposed for Mailman Road and within the project.

In accordance with the Transportation Plan, a 64-foot collector road will be constructed, spanning from east to west. A notable feature within Mailman Post is the provision of on-street parking available along various internal roadways. To enhance connectivity and accommodate future expansion, the project includes the incorporation of a number of stubbed roadways to adjacent properties. With the completion of these roads, Knightdale moves closer to the realization of its envisioned transportation system--an integrated street network encompassing both major thoroughfares and minor streets.

Adequate Buffering

Mailman Post has been thoughtfully designed to incorporate landscaping and open spaces, for the benefit of both residents and visitors. The neighboring property consists of a Duke Power station, unoccupied properties, and an existing residential complex. The existing gas easement, power line easement and preservation of existing tree canopy at the perimeter and around the existing riparian buffer provide additional buffering between the Mailman Post project and surrounding properties.

Performance

The applicant boasts an impressive portfolio of successful projects in the Triangle and across the southeastern US and mid-Atlantic area. Recognizing the significance of Mailman Post, the applicant is actively engaged in close collaboration with their development team.



GENERAL SITE MODIFICATIONS

9.3.B of the UDO prohibits mass grading on all front-loaded lots 60' or greater in width. All rear loaded units included in this PUD are exempt from this requirement by right, due to their narrow lot width. The single family lots not exempt, include less than 25% of the total number of lots. These lots were enlarged in size at the specific request of Knightdale planning staff and are located around the property border. An exception to these requirements is requested to allow for the entire development to be eligible for mass grading, rather than only portions of the development. Mass grading is warranted for perimeter lot areas to be able to create an enhanced streetscape, to avoid standing water, and most importantly to allow the sewer depths to be shallow enough to preclude the need for the City of Raleigh to operate a pump station on-site. The exception to the mass grading is requested based on the Integrated Design and Surface Water Drainage Modification Standards. Additionally, mass grading will allow for construction equipment to operate in a safer manner as turnover to residents occurs, reduce noise during construction, and will be more environmentally friendly.

SETBACKS AND DRIVEWAYS

Section 6.5 of the UDO requires rear setbacks be a minimum of 25'. An exception to these requirements is requested to allow the rear setback be reduced to 20' to be adequately developed within the site constraints. Per Section 3.4 of the UDO, driveway lengths are to be a minimum of 35'. Request to allow driveways to be reduced to 20' minimum. These exceptions are requested based on the Beneficial Common Open Space, Landscape Conservation and Visual Enhancement and Integrated Design Modifications Standards. Compact development better protects the natural environment, increasing the amount of open space and creating a more integrated design for the community.

DENSITY DEVIATION

Proposed density is higher than allowed in GR3. GR3 base zoning is requested for the PUD because of the existing rural nature of the area and the Comprehensive Plan Future Land Use Category of Rural Living. While the proposed density is higher than the 3.0 DUA allowed in GR3, it is significantly less than the 8.0 DUA allowed in GR8.

DISTRIBUTION OF USES

Table 11.1.B in the Knightdale UDO requires a Min. 10% / Max. 40% Duplex / Townhouse, Min. 5% / Max. 40% Multifamily, and Min. 15% / Max. 60% Single Family. An exception to these requirements is requested to exclude the requirement for Multifamily use. The currently proposed use mix is 17% townhomes and 83% single family. The development is located at the edge of Knightdale's jurisdiction with predominately existing single family uses. The exception to the distribution of uses is requested based on the Integrated Design and Place Making Modification Standards. The PUD shall be developed in such a way to be harmonious with the surroundings.

TRANSPORTATION NETWORK

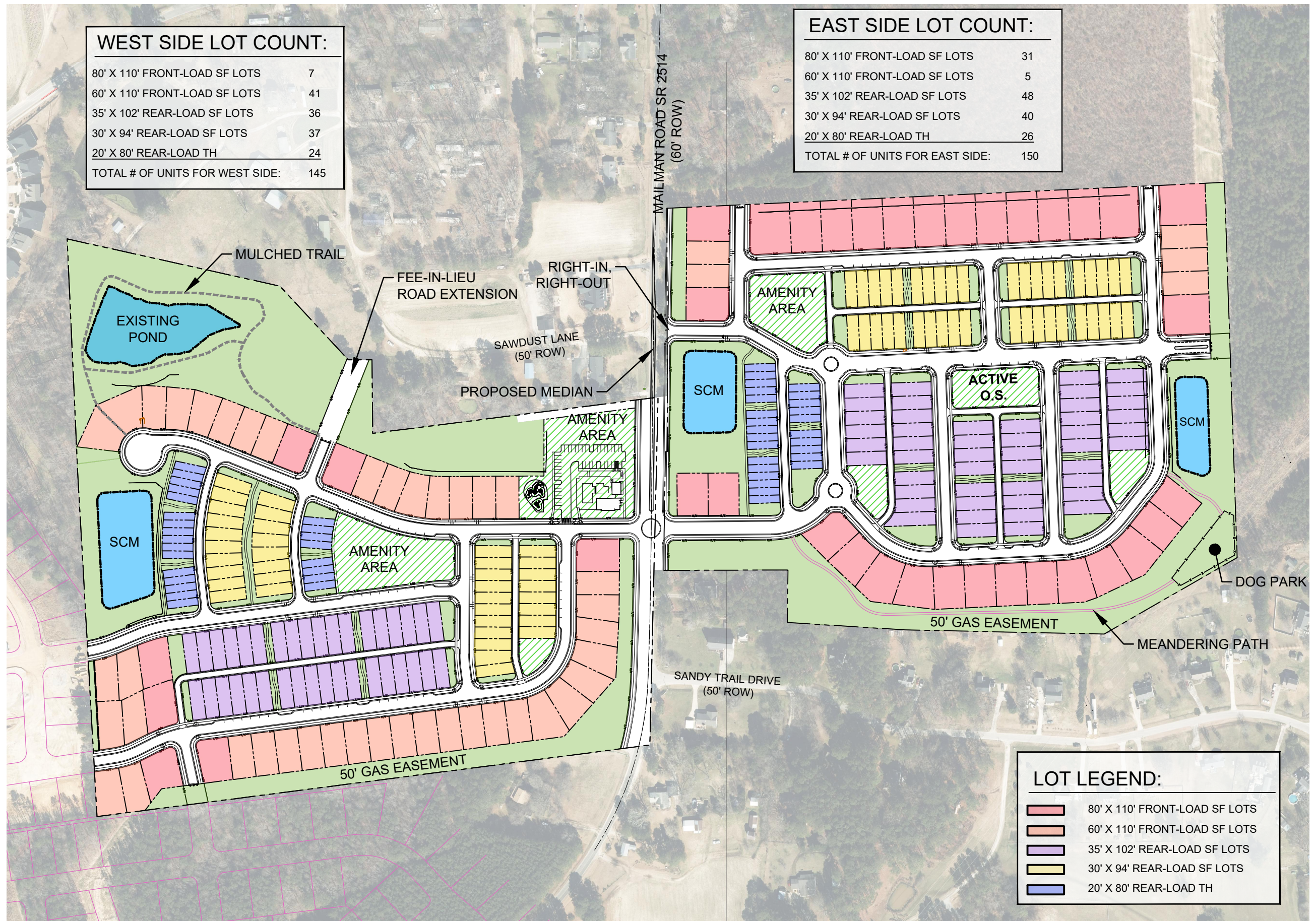
An exception to Section 10.4.B of the UDO to allow a 32' Public Right of Way street section, a modified One Way Local Street, to serve homes fronting on open space areas is requested. Creating Beneficial Open Space is the Modification Standard basis for this requested exception. Reducing the size of right of ways increases the usable open space. Pedestrian connectivity with a sidewalk along the front of these homes will still be provided.

WEST SIDE LOT COUNT:

80' X 110' FRONT-LOAD SF LOTS	7
60' X 110' FRONT-LOAD SF LOTS	41
35' X 102' REAR-LOAD SF LOTS	36
30' X 94' REAR-LOAD SF LOTS	37
20' X 80' REAR-LOAD TH	24
TOTAL # OF UNITS FOR WEST SIDE:	145

EAST SIDE LOT COUNT:

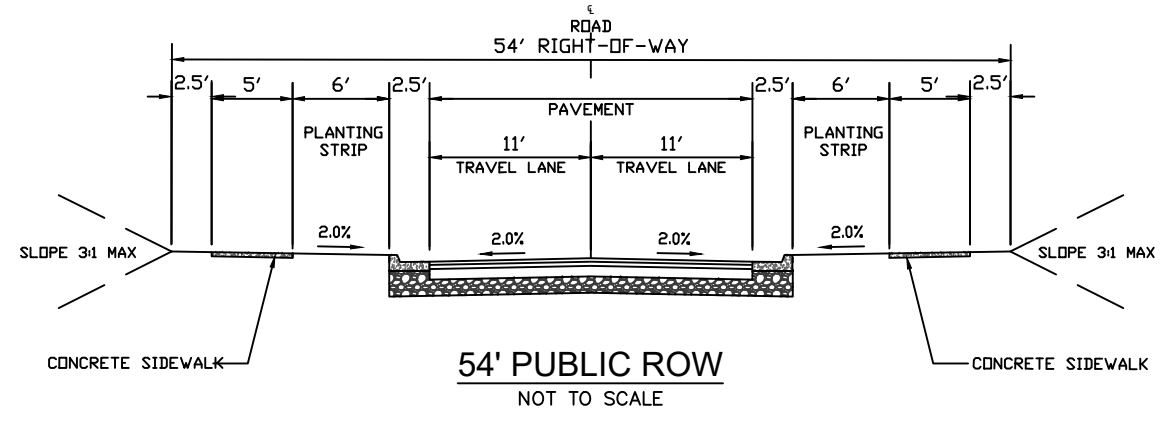
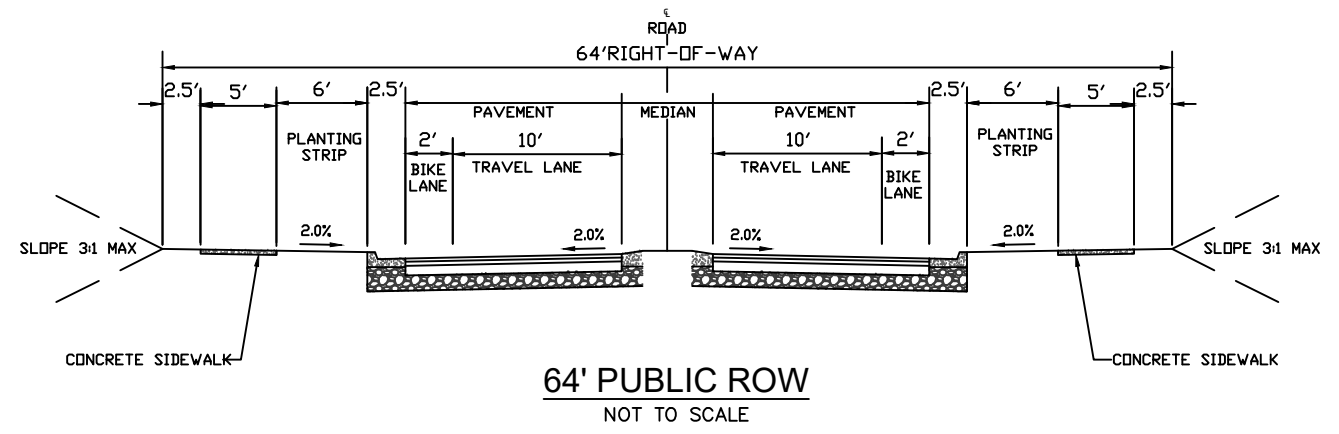
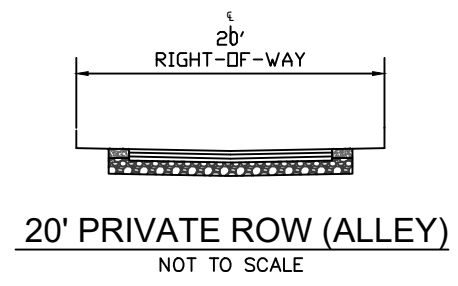
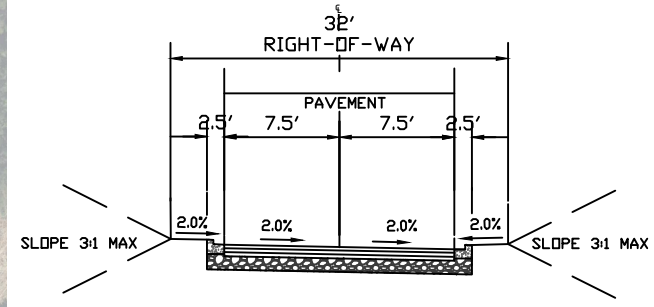
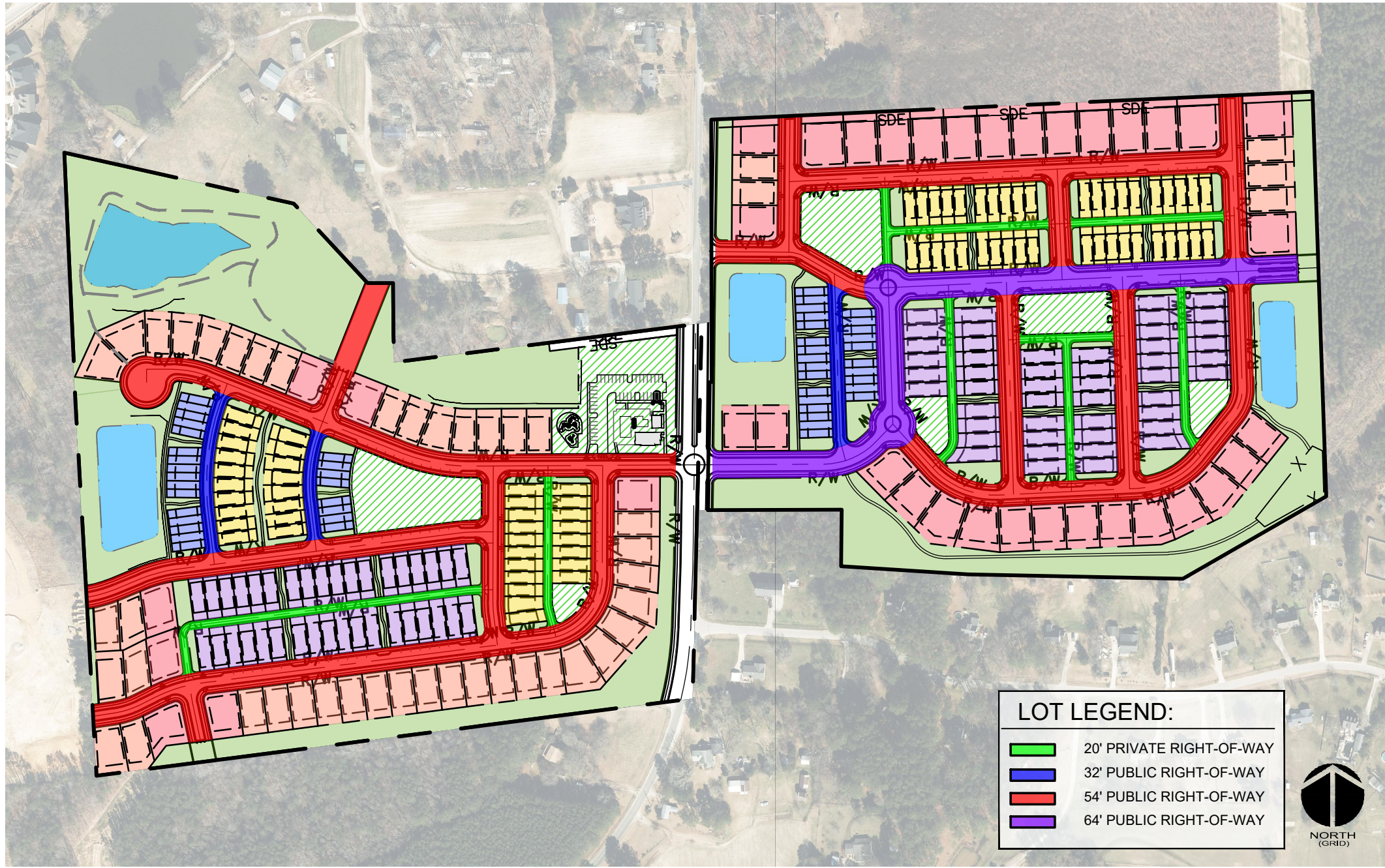
80' X 110' FRONT-LOAD SF LOTS	31
60' X 110' FRONT-LOAD SF LOTS	5
35' X 102' REAR-LOAD SF LOTS	48
30' X 94' REAR-LOAD SF LOTS	40
20' X 80' REAR-LOAD TH	26
TOTAL # OF UNITS FOR EAST SIDE:	150



LOT LEGEND:

	80' X 110' FRONT-LOAD SF LOTS
	60' X 110' FRONT-LOAD SF LOTS
	35' X 102' REAR-LOAD SF LOTS
	30' X 94' REAR-LOAD SF LOTS
	20' X 80' REAR-LOAD TH

COMMUNITY MASTER PLAN



STREET SECTIONS



Front Elevation

TOWNHOME - 20'X80' LOTS



Elevation 'A'



Elevation 'A'



Elevation 'A'



Elevation 'A'



Elevation 'B'



Elevation 'B'



Elevation 'B'



Elevation 'B'



Elevation 'C'



Elevation 'C'



Elevation 'C'



Elevation 'C'

TOWNHOME - 20'X80' LOTS



Front Elevation 'A'



Front Elevation 'B'



Front Elevation 'C'



Front Elevation 'A'
Opt. Side Load Garage



Front Elevation 'B'
Opt. Side Load Garage



Front Elevation 'C'
Opt. Side Load Garage

SINGLE FAMILY - 30'X94' LOTS



Front Elevation 'A'



Front Elevation 'B'



Front Elevation 'C'



Front Elevation 'A'
Opt. Side Load Garage

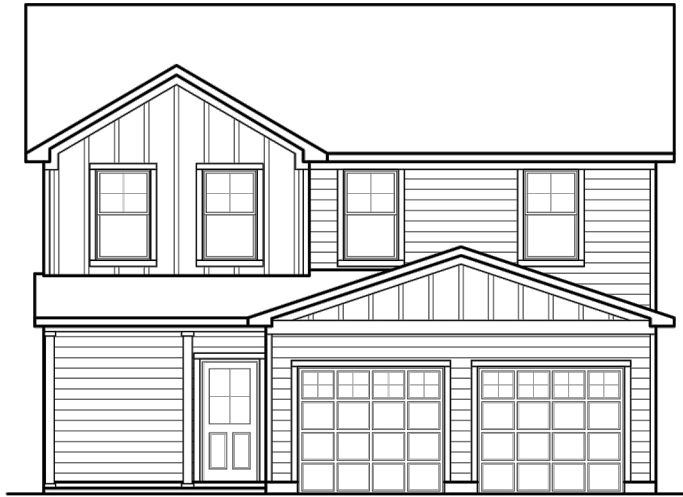


Front Elevation 'B'
Opt. Side Load Garage



Front Elevation 'C'
Opt. Side Load Garage

SINGLE FAMILY - 35'X102' LOTS



Front Elevation 'A'



Front Elevation 'B'



Front Elevation 'C'



Front Elevation 'A'
Opt. Side Load Garage

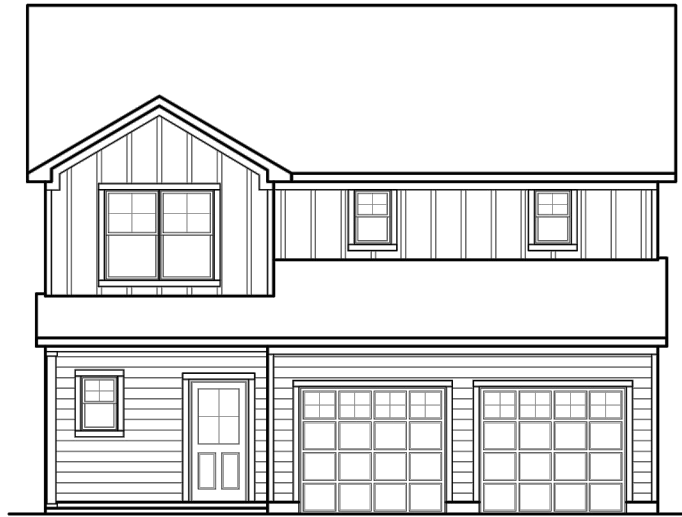


Front Elevation 'B'
Opt. Side Load Garage



Front Elevation 'C'
Opt. Side Load Garage

SINGLE FAMILY - FRONT LOAD LOTS



Front Elevation 'A'



Front Elevation 'B'



Front Elevation 'C'



Front Elevation 'A'
Opt. Side Load Garage



Front Elevation 'B'
Opt. Side Load Garage



Front Elevation 'C'
Opt. Side Load Garage

SINGLE FAMILY - FRONT LOAD LOTS

DRAFT ARCHITECTURAL STANDARDS

- Single family detached homes on lots at least 60 feet wide shall be 2-story with a minimum heated area of 1,700 square feet.
- Single family detached homes on lots less than 60-feet wide shall be 2-story with rear loaded garages and a minimum heated area of 1,400 square feet.
- Single family attached homes (i.e. townhomes) shall be at least 2-story with rear loaded garages and a minimum heated area of 1,100 square feet.
- All foundations shall be raised at a minimum of 18-inches above average finished grade on all sides, except rear alleys where the foundation may taper along the sides to the garage finish floor elevation at the rear to allow driveways to connect with alleys. The front façade shall contain a minimum of 2 stair risers up to the porch or stoop. Stem walls or raised slab foundations shall be covered with brick stone on the front façade.
- All front facades shall have a combination of 2 or more of the following materials (not including foundations): stone, brick, lap siding, fiber cement siding, shakes or board and batten. Materials shall be different but complementary colors. Vinyl may be used only for soffits, fascia and corner boards.
- Main roof pitches (excluding porches) fronting the street shall be at least 7:12 and every gable end shall have a minimum 12-inch overhang.
- For every 30-feet (or fraction) of continuous side elevation (calculated on a per floor basis), there shall be a window or door added to the side elevations. Any siding break on the side of the home such as a fireplace, side porch, wall offsets may be used as an alternate to windows.
- All front or side load single family detached homes shall have a front porch with a minimum depth of 6-feet and/or a minimum 100 square feet patio or deck
- All rear load single family detached homes shall have a front porch with a minimum depth of 5-feet and/or a minimum 100 square feet patio, deck, terrace, or courtyard.
- All single family attached homes (i.e. townhomes) shall have a front porch with a minimum depth of 4-feet and/or a minimum 100 square feet rear patio, deck, terrace, or courtyard.
- A minimum 25% of single family detached homes on lots at least 60-feet wide and less than 80-feet wide shall have a masonry skirt on the front facade.
- A minimum 75% of single family detached homes on lots at least 80-foot wide shall have side entry garages.
- Garage doors on single family detached homes with front loaded garages shall have glass window inserts and carriage style hardware.
- Garage doors on single family detached homes with front loaded garages may not exceed 48% of the total front facade width.
- A maximum 50% of single family detached homes with rear load garages may have 1-car garages with a minimum courtyard of 200 square feet.
- All front doors shall have glass inserts.
- A minimum of 25% of the 60-wide or greater lots shall have either a bedroom on the 1st floor or balcony on the 2nd floor.
- A minimum of 50% of the 20-foot wide lots with single family attached homes shall have either a 2-car garage, bedroom on the 1st floor, or terrace on the 2nd floor.
- A minimum 15-foot wide open space area shall be located at the side of all lots less than 60-feet wide abutting public right-of-way. Applicant will work with staff during the construction drawing review process on programming these spaces with pedestrian walkways, landscaping, and seating areas.

MASS GRADING TO TIE INTO
RETAINING WALL AND
REDUCE WETLAND AND
STREAM IMPACTS

SCM #1

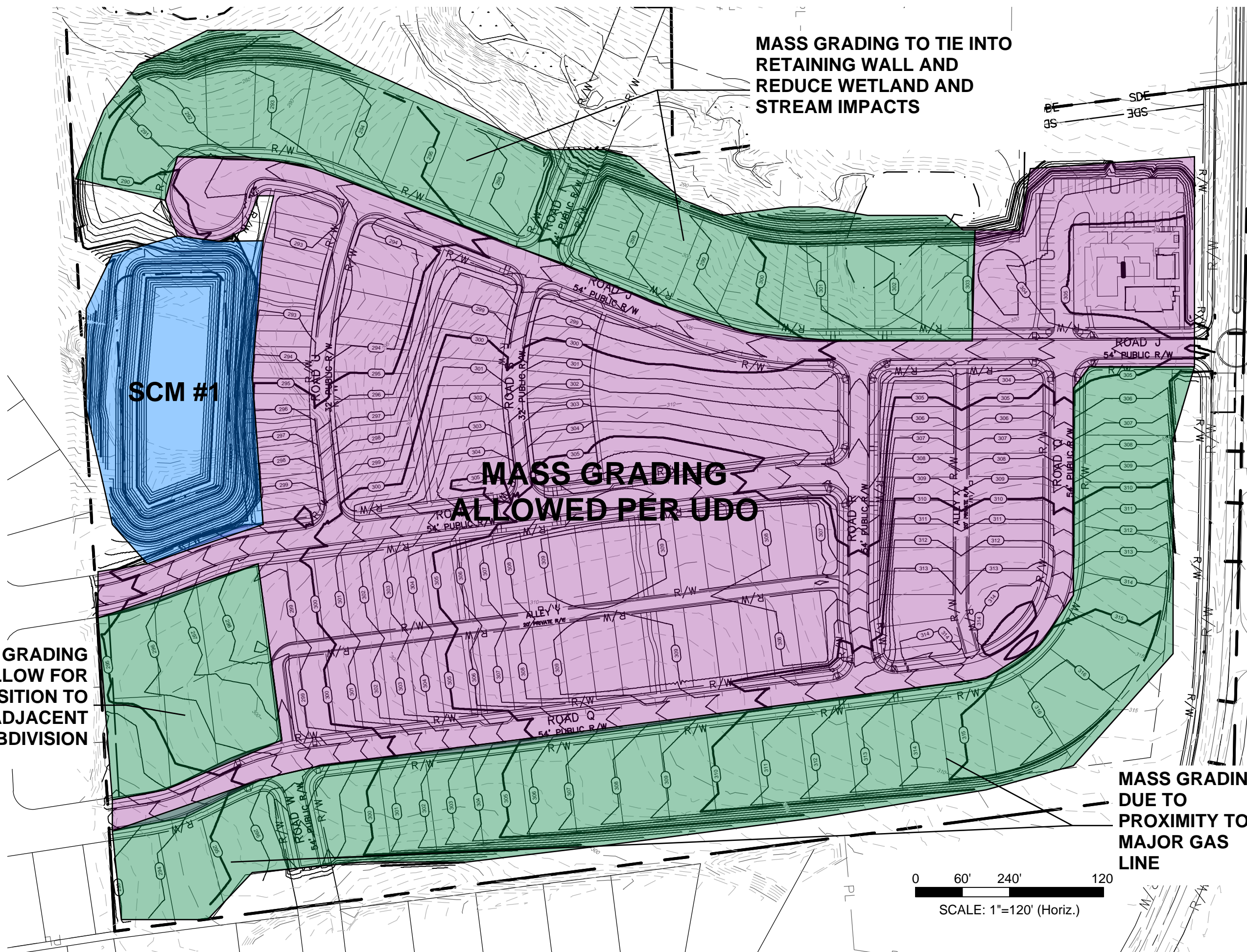
MASS GRADING
ALLOWED PER UDO

MASS GRADING
TO ALLOW FOR
TRANSITION TO
ADJACENT
SUBDIVISION

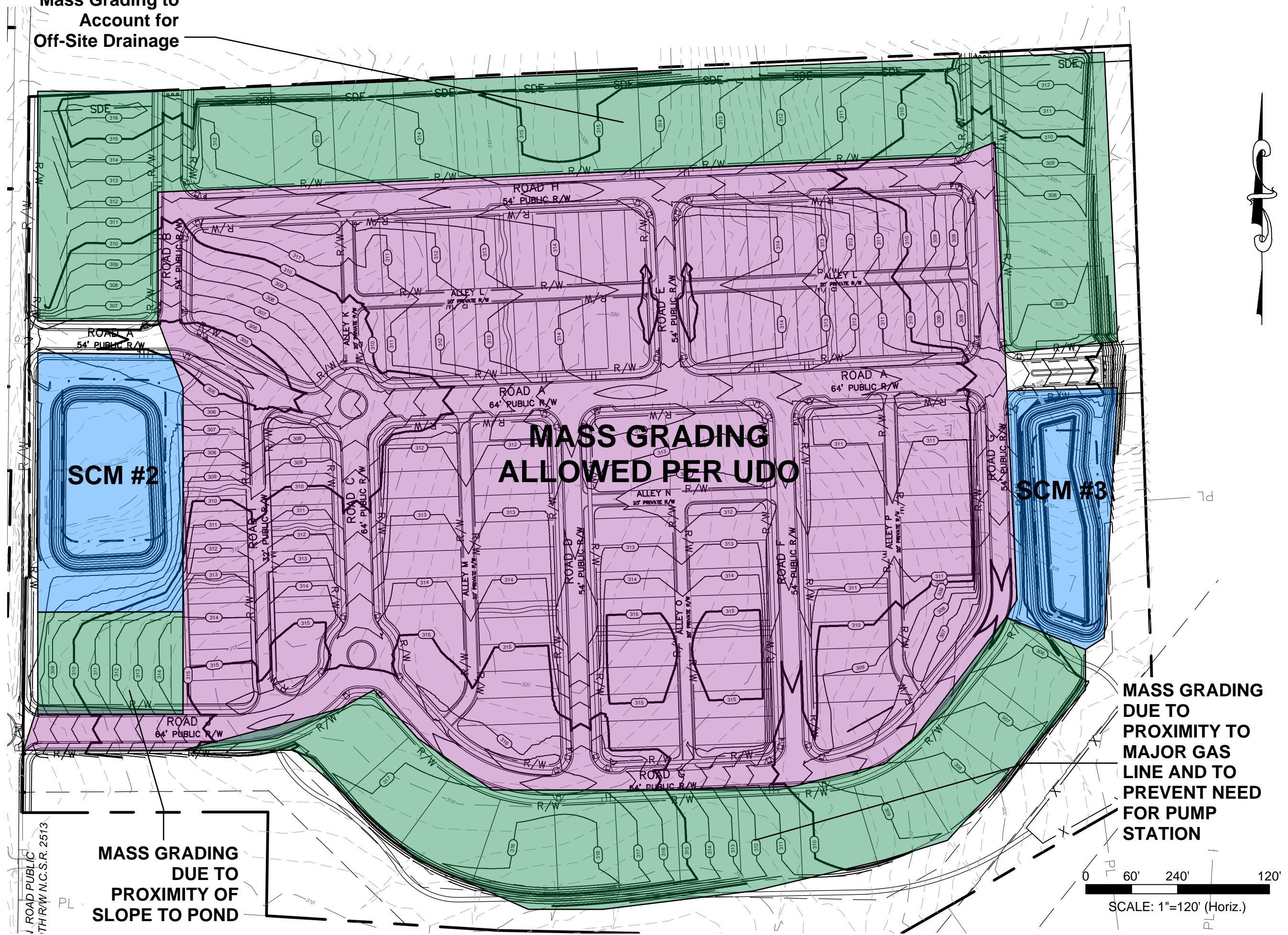
MASS GRADING
DUE TO
PROXIMITY TO
MAJOR GAS
LINE

0 60' 240' 120'
SCALE: 1"=120' (Horiz.)

MASS GRADING JUSTIFICATION



Mass Grading to Account for Off-Site Drainage



MASS GRADING JUSTIFICATION

**MASS GRADING
ALLOWED PER UDO**

SCM #2

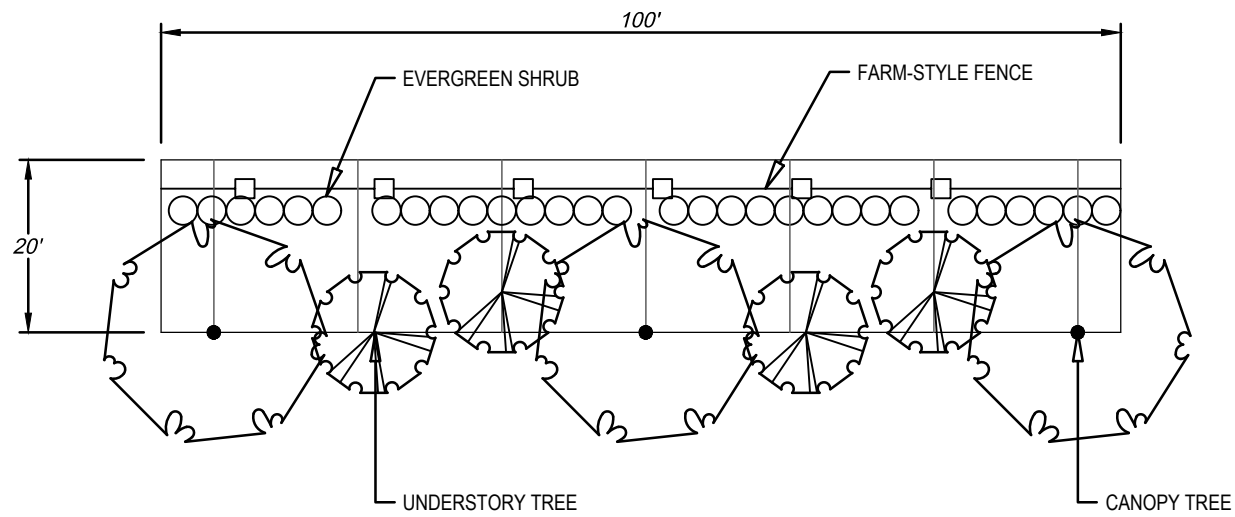
SCM #3

**MASS GRADING
DUE TO
PROXIMITY OF
SLOPE TO POND**

**MASS GRADING
DUE TO
PROXIMITY TO
MAJOR GAS
LINE AND TO
PREVENT NEED
FOR PUMP
STATION**

0 60' 240' 120'
SCALE: 1"=120' (Horiz.)

J ROAD PUBLIC
THRU N.C.S.R. 2513



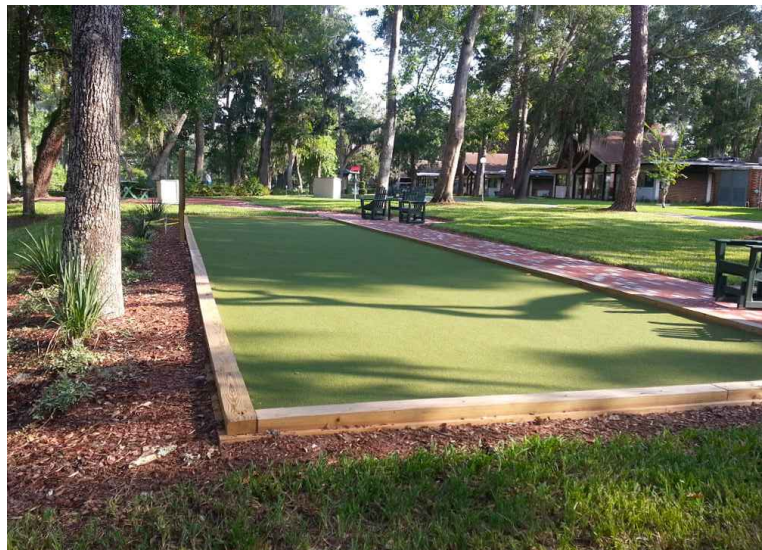
ENHANCED ROADSIDE
LANDSCAPING SECTION

Mailman Allocation Points

<u>Base:</u>	<u>Points</u>
Major Subdivision	15
<u>Bonus:</u>	
Conservation of Natural Habitat	1
On-Street Public Parking	4
House & Townouse Residential Architectural Standards	15
Outdoor Public Display of Art (2)	8
Construction of 2000 LF of 6' Wide Private Greenway	2
Resort Style Pool	2
Clubhouse without Kitchen 1500-2499 SF	5
Multi-Use Hard Court (Pickleball)	5
IPEMA Certified Playground Equipment	4
Total	61

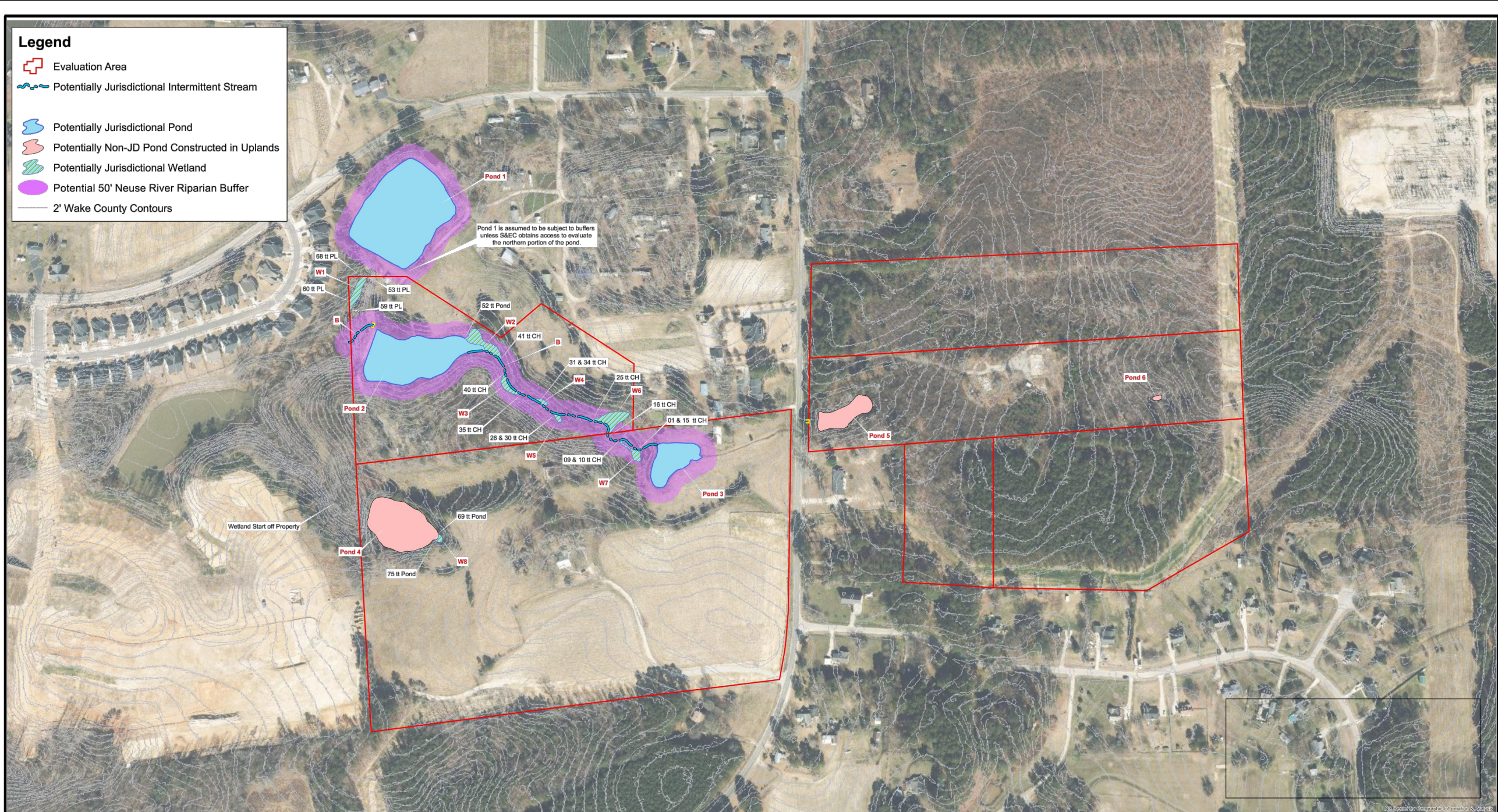


FARM-STYLE FENCING



COMMUNITY AMENITIES

WETLAND DELINEATION

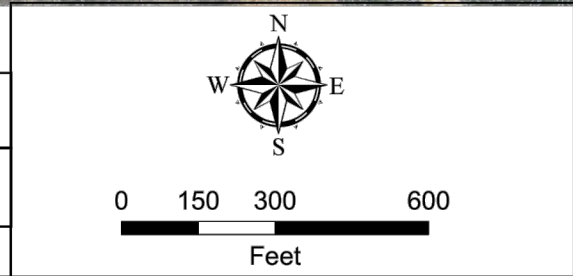


Project No.
11309.W8

Project Mgr.:
SB

Scale:
1" = 150'

05/19/2023



Wetland Sketch Map
438 Mailman Road Property
Wake County, NC

Source:
Aerials from NC One Map

Soil & Environmental Consultants, PA
8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone: (919) 846-5900 • Fax: (919) 846-9467
sandec.com

Owner

ARROYO, CRISPIN
BLACK, FRANKLIN D III BLACK, REBECCA P
DOUGLAS, ERNASTINE L
DUKE ENERGY PROGRESS INC.
FLORES, JOSE VICTOR GARCI NATAR, BRENDA ALBANIA RAMIR
FOX, BARBARA K FOX, THOMAS, J
GLODIC, MICHAEL JOSEPH III
HINNANT, DAVID TROY MUSSELWHITE, GINA LYNNETTE
JORGENSEN, KEN
MAILMAN PARTNERS, LLC
MARRERO, ORLANDO BERROCAL ASIN, MARITZA CREAGCH
MONCK, THOMAS OWEN
MARTARINO, GIOVANNI TRUSTEE
POPE, DAVID WAYNE POPE, RENEE G
POPE, FRANCES E
POPE, JASON RICHARD POPE, MARKIE S
POPE, ROBERT HOLMQUIST, DONNIE ERIC
PUBLIC SERVICE COMPANY OF NORTH CAROLINA INC.
QUARTEY, JOE Q LUCAS, DORORTH D
SCHONDER, KRISTEN NICOLE
SMITH, DIANE L
STILWELL, BRADERICK J STILWELL, CHERYL B
STRICKLAND, CYNTHIA E
WATT, JANICE M
WILSON, ROSE MARIE

Mail Address 1

5325 SANDY TRAIL DR
402 MAILMAN RD
5300 SANDY TRAIL DR
TAX DEPT - DEC41B
5337 SANDY TRAIL DR
311 MAILMAN ROAD
5308 SANDY TRAIL DR
330 MAILMAN RD
5409 THORNHILL CT
164 OLD ROBERTS RD
5329 SANDY TRAIL DR
5317 SANDY TRAIL DR
2830 CHARLEMAGNE DR
1305 FAYETTEVILLE ST
406 MAILMAN RD
417 MAILMAN RD
PO BOX 142
SCANA LAND DEPT
5321 SANDY TRAIL DR
5333 SANDY TRAIL DR
5405 THORNHILL CT
5301 SANDY TRAIL DR
352 MAILMAN RD
5309 SANDY TRAIL DR
425 MAILMAN RD

Mail Address 2

KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-8430
KNIGHTDALE NC 27545-9698
550 STRYON ST
KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-8429
KNIGHTDALE NC 27545-9698
KNIGHTDALE NC 27545-8428
KNIGHTDALE NC 27545-9682
BENSON NC 27504-8000
KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-9699
VIRGINIA BEACH VA 23451-1358
KNIGHTDALE NC 27545-8560
KNIGHTDALE NC 27545-8430
KNIGHTDALE NC 275458431
KNIGHTDALE NC 27545-0142
220 OPERATION WAY
KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-9682
KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-8428
KNIGHTDALE NC 27545-9699
KNIGHTDALE NC 27545-8431

Mail Address 3

CHARLOTTE NC 28202-4200

CAYCE SC 29033-3701

ADJACENT PROPERTY OWNERS

**Neighborhood Meeting Sign-In Sheet
Mailman Post - Amendment to PUD / Master Plan**

Owner	Mailing Address	Signature	Email
ARROYO, CRISPIN	5325 SANDY TRAIL DR		
ASKINS, AARON D & SHAWN TA L	527 MAILMAN RD		
BEALE, RYAN ALLEN & JESSICA LEE	460 CEDAR POND CT		
BELL, JULIE	464 CEDAR POND CT		
BLACK, FRANKLIN D III & REBECCA P	402 MAILMAN RD		
DAVIDSON HOMES LLC	336 JAMES RECORD RD SW		
DAY, SANDRA L & WILLIAM B JR.	452 CEDAR POND CT		
DOUGLAS, ERNESTINE L	5300 SANDY TRAIL DR		
DUKE ENERGY PROGRESS	TAX DEPT - DEC41B		
FLORES, JOSE V & NATAR, BRENDA A	5337 SANDY TRAIL DR		
FOX, BARBARA K & THOMAS J	311 MAILMAN RD		
GLENMERE EAST HOMEOWNERS ASSOC	8311 BANDFORD WAY STE 1		
GLENMERE EAST HOMEOWNERS ASSOC	JOSEPH C LASSITER		
GLENMERE LLC	5956 SHERRY LN STE 1000		
GLENMERE LLC	5956 SHERRY LN STE 1000		
GLODIC, MICHAEL JOSEPH III	5308 SANDY TRAIL DR		
GUNTHER, KRISTINE & KARL	472 CEDAR POND CT		
HINNANT, DAVID T & MUSSELWHITE, GINA L	330 MAILMAN RD		
JORGENSEN, KEN	5409 THORNHILL CT		
MAILMAN PARTNERS, LLC	164 OLD ROBERTS RD		

**Neighborhood Meeting Sign-In Sheet
Mailman Post - Amendment to PUD / Master Plan**

Owner	Mailing Address	Signature	Email
MARRERO, ORLANDO B & ASIN, MARITZA C	5329 SANDY TRAIL DR		
MONCK, THOMAS OWEN	5317 SANDY TRAIL DR	<i>Tom Owen</i>	Tomowen@att.net
MORTARINO, GIOVANNI TRUSTEE	2830 CHARLEMAGNE DR	<i>Ellen Baker</i>	jebbaker@bellsouth.net
PLEDGER, DREW T & OWEN, VIRGINIA D	528 MAILMAN RD		
POPE, DAVID WAYNE & RENEE G	1305 FAYETTEVILLE ST		
POPE, FRANCES E	406 MAILMAN RD		
POPE, JASON RICHARD & MARKIE S	417 MAILMAN RD		
POPE, ROBERT & HOLMQUIST, DONNIE ERIC	DONNIE HOLMQUIST		
PUBLIC SERVICE COMPANY OF NC	SCANA LAND DEPT		
QUARTEY, JOE Q & LUCAS, DOROTHY D	5321 SANDY TRAIL DR		
SATTERWHITE, MARIE H HEIRS	1305 FAYETTEVILLE ST		
SCHONDER, KRISTEN NICOLE	5333 SANDY TRAIL DR		
SMITH, DIANE L	5405 THORNHILL CT		
STILWELL, BRADERICK J & CHERYL B	5301 SANDY TRAIL DR		
STRICKLAND, CYNTHIA E	352 MAILMAN RD		
TRIPP, DUSTIN MICHAEL & AMANDA	468 CEDAR POND CT		
WAKE KNIGHTDALE RENTAL PROPERTIES LLC	440 W MARKET ST		
WATT, JANICE M	5309 SANDY TRAIL DR		
WILDER, LARRY & BARBARA H	456 CEDAR POND CT		
WILSON, ROSE MARIE	425 MAILMAN RD		

NEIGHBORHOOD MEETING MINUTES

Mailman Post – Amendment to PUD / Master Plan

Meeting Date/Time: Tuesday, June 20, 2023 from 6:00 pm to 7:00 pm
Meeting Location: Hampton Inn & Suites, 405 Hinton Oak Blvd., Knightdale, NC 27545
Development Team: Turnbridge – Jason Davis, Eli Eisenstadt, and Luke Peterson
McKim & Creed – Chris Seamster and Luke Turner
Parker Poe- Russell Killen
Land Alternatives – Craig Duerr
Town of Knightdale: Planning – Jason Brown and Kevin Lewis

Question/Concern #1: Loss of Trees due to Existing Gasline Easement

Applicant clarified that a tree save area is planned between the rear of lots and the 50' gasline easement and a fence is planned along the property line with the Sandy Pine subdivision.

Question/Concern #2: Proximity of Proposed Homes to Southern Property Line

Applicant clarified that there would generally be 75' or more from the rear of the proposed homes to the property line with the Sandy Pine subdivision (50' gasline easement + tree save + 20' rear setback).

Question/Concern #3: Run-off due to Existing Gasline

Applicant clarified that a significant amount of the existing drainage would be routed to two (2) proposed stormwater control measures (SCMs).

Question/Concern #4: Traffic on Smithfield Road and Eagle Rock Road

Applicant clarified that a Traffic Impact Analysis (TIA) has been completed, which did not identify any improvements required as a part of the Project. It is understood that Village Gate will be required to install a traffic signal at the intersection of Mailman Road and Smithfield Road and that Project Hope (Raleigh Rescue Mission) / The Retreat at Robertson (Lennar) will be required to install a westbound left turn lane at the intersection of Eagle Rock Road and Mailman Road.

Question/Concern #5: Construction Traffic from Village Gate

Applicant clarified that a roundabout is proposed on Mailman Road at the main entrance to the East and West side of Mailman Post which will help with traffic calming and pedestrian connectivity. Applicant further clarified that required traffic controls will be implemented for construction activities.

Neighborhood Meeting Minutes - Mailman Post

Question/Concern #6: Improvements to Mailman Road

Applicant clarified that the existing 2-lane ditch section will be widened to a 2-lane median divided section with curb & gutter section and sidewalks along the frontage of the East and West sides. Staff clarified that a speed limit reduction from 50 mph to 35 mph was requested by Project Hope for the unposted section of Mailman Road north of Fayetteville Street. It is understood that NCDOT approved a reduction to 45 mph which is the same as the section of Mailman Road south of Fayetteville Street.

Question/Concern #7: Emergency Access

Applicant clarified that the East side will have two (2) connections to Mailman Road, two (2) street stubs to the north, one (1) street stub to the east. Applicant clarified that the West side will have one (1) connection to Mailman Road, two (2) street connections to Glenmere, one (1) street connection to Village Gate, and one (1) street stub to the north. Applicant further clarified that both sides meet the Town of Knightdale UDO requirement for two (2) points of access for more than 100 dwelling units for emergency access and that proposed street stubs are less than 150-feet in compliance with NC Fire Code.

Question/Concern #8: Too Many Townhomes

Applicant clarified that less than 20% of the dwelling units are planned as townhomes.

Question/Concern #9: Home Price

Applicant clarified that the home prices would be typical of the current market in Knightdale.

Question/Concern #10: Timeline

Staff clarified that if the Amendment to the PUD / Master Plan was submitted on June 26th which is the submittal date that the Applicant is targeting, the review / approval process is anticipated to be as follows:

- 8/17/23 - Joint Public Hearing
- 9/11/23 - Land Use Review Board for Recommendation
- 10/18/23 - Town Council for Action

Staff further clarified that the next step would be the construction drawing process which typically takes between 6 to 8 months for review and approval.