

# MASTER PLAN KNIGHTDALE FIRE STATION #1

7477 FORESTVILLE ROAD  
KNIGHTDALE, NC

CLH DESIGN PROJECT NUMBER: 22-150



### PROJECT TEAM

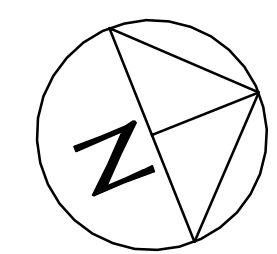
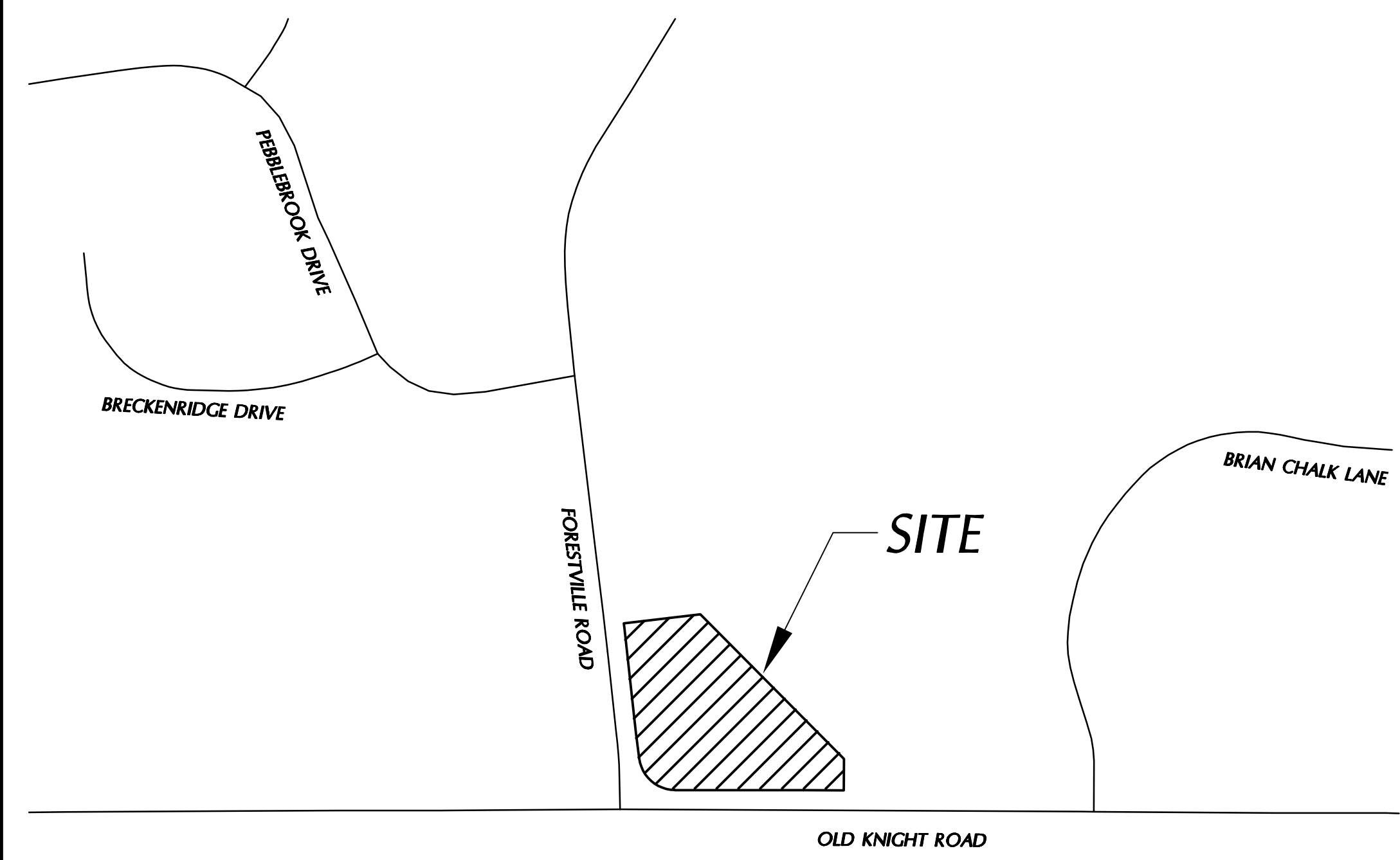
**CIVIL ENGINEERING AND  
LANDSCAPE ARCHITECTURE**  
CLH DESIGN, PA  
400 REGENCY FOREST DR., STE. 120  
CARY, NC 27518

**ARCHITECTURAL**  
DUNN & DALTON ARCHITECTS  
401 NORTH HERRITAGE STREET  
KINSTON, NORTH CAROLINA 28501

### SITE DATA

|                    |  |
|--------------------|--|
| PROJECT:           | TOWN OF KNIGHTDALE FIRE STATION #1   |
| OWNER:             | TOWN OF KNIGHTDALE<br>134 N MAIN STREET<br>KNIGHTDALE, NC 27526  |
| OWNER CONTACT:     | CHIEF LOREN CONE<br>TOWN OF KNIGHTDALE<br>967 STEEPLE SQUARE CT.<br>KNIGHTDALE, NC 27545<br>PHONE: 919-217-2294<br>LOREN.CONE@KNIGHTDALENC.GOV                   |
| DESIGNER CONTACT:  | CLH DESIGN, PA<br>TROY OLSON, PLA<br>400 REGENCY FOREST DRIVE, SUITE 120<br>CARY, NC 27518<br>PHONE: 919-319-6716<br>FAX: 919-319-7516<br>TOLSON@CLHDESIGNPA.COM |
| PROJECT ADDRESS:   | 7477 FORESTVILLE RD<br>KNIGHTDALE, NC 27545  |
| PIN:               | 1754680519   |
| PID:               | 0491286  |
| REFERENCE:         | DB 018857 PG 687   |
| ZONING:            | NMX PUD  |
| WATERSHED:         | NEUSE RIVER  |
| BUILDING SETBACKS: | FRONT = 10-FT<br>SIDE YARD = 10-FT<br>REAR YARD = 30-FT  |
| TOTAL PARCEL AREA: | 3.64 ACRES   |

NOTE: STORMWATER AND EROSION CONTROLS TO BE SERVED THRU FORESTVILLE VILLAGE PUD. SEE APPROVED TOWN OF KNIGHTDALE PROJECT NO. ZMA-8-20.



VICINITY MAP (NTS)

### INDEX OF DRAWINGS

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### CORPUD CERTIFICATION STATEMENTS

**PUBLIC  
SEWER COLLECTION / EXTENSION SYSTEM**  
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.  
CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
AUTHORIZATION TO CONSTRUCT \_\_\_\_\_  
DATE \_\_\_\_\_

**PUBLIC  
WATER DISTRIBUTION / EXTENSION SYSTEM**  
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.  
CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
AUTHORIZATION TO CONSTRUCT \_\_\_\_\_  
DATE \_\_\_\_\_

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

### TOWN OF KNIGHTDALE CERTIFICATION STATEMENT

TOWN APPROVED STANDARDS SHALL CONTROL. IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLATS), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

TOWN CERTIFICATION. THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.  
BY: \_\_\_\_\_ TOWN ENGINEER DATE: \_\_\_\_\_

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.  
BY: \_\_\_\_\_ ADMINISTRATOR DATE: \_\_\_\_\_

PROFESSIONAL DESIGN ENGINEER CERTIFICATION. THESE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND WITH THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.  
I, \_\_\_\_\_ PE, CERTIFY THAT THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE HAVE BEEN THOROUGHLY CHECKED AND FOUND TO BE APPLICABLE TO THIS PROJECT. ALL EXCEPTIONS TO THE APPLICABLE TOWN STANDARDS HAVE BEEN PREVIOUSLY APPROVED BY THE TOWN OF KNIGHTDALE AND SAID EXCEPTIONS ARE SHOWN ON SHEET(S) \_\_\_\_\_ OF THESE DRAWINGS.  
SEAL

BY: \_\_\_\_\_ PE  
DATE: \_\_\_\_\_

DO NOT USE FOR CONSTRUCTION  
SEALS

KNIGHTDALE FIRE STATION #1  
NEW FIRE STATION  
7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
TOWN OF KNIGHTDALE  
22-150

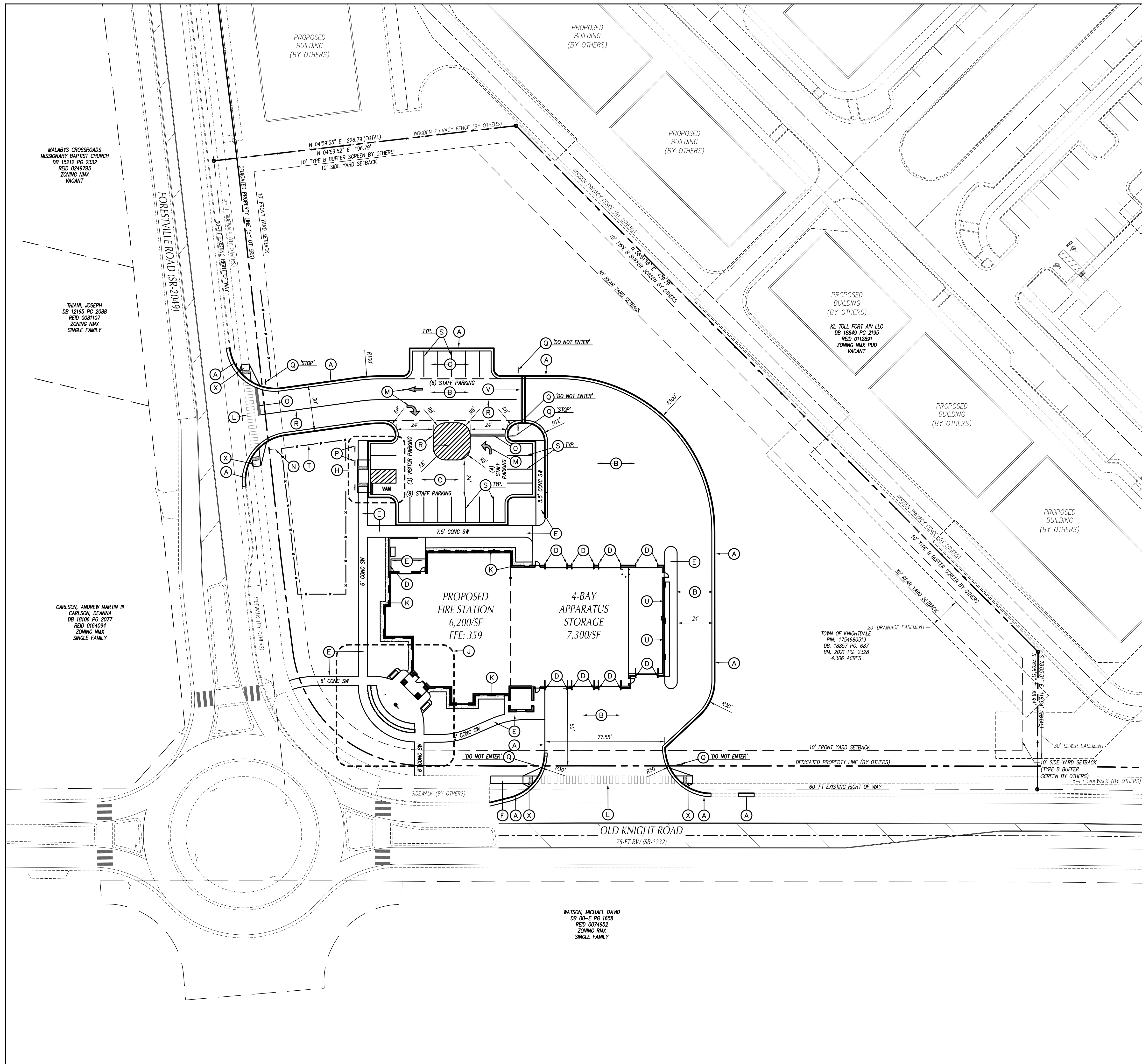
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DESIGNED BY: TRO/PL  
DRAWN BY: TRO  
DATE: DEC 12, 2022  
PROJECT NO: 22-150  
FILE:

COVER SHEET  
**C000**







- KEY NOTES**
- (A) 24" CURB & GUTTER, SEE DETAIL SHEET C801.
  - (B) HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET C801.
  - (C) HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C801.
  - (D) SEE ARCHITECTURAL PLANS FOR BOLLARDS, PATIO WALL AND ETC.
  - (E) ON-SITE CONCRETE SIDEWALK, SEE DETAIL SHEET C801.
  - (F) TOWN OF KNIGHTDALE CONCRETE SIDEWALK, SEE DETAIL SHEET C802.
  - (G) STANDARD CURB & GUTTER TERMINUS, SEE DETAIL SHEET C801.
  - (H) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C802.
  - (I) ACCESSIBLE PARKING STALL WITH STRIPING, WHEEL STOP AND SIGNAGE, SEE DETAILS SHEET C801 AND BELOW.
  - (J) SEE ENTRY ENLARGEMENT ON SHEET C102.
  - (K) SPLASH PAD / MOW STRIP, SEE DETAIL SHEET C803.
  - (L) HI-VIS CROSS WALK, SEE TRAFFIC CONTROL NOTES THIS SHEET.
  - (M) DIRECTIONAL ARROW, SEE TRAFFIC CONTROL NOTES THIS SHEET.
  - (N) DIRECTIONAL SIGNAGE, SEE DETAIL SHEET C802.
  - (O) STOP BAR, SEE TRAFFIC CONTROL NOTES THIS SHEET.
  - (P) SPECIAL PARKING SIGNAGE, SEE DETAIL SHEET C801.
  - (Q) TRAFFIC CONTROL SIGNAGE, SEE TRAFFIC CONTROL NOTES THIS SHEET.
  - (R) SOLID YELLOW, SEE TRAFFIC CONTROL NOTES THIS SHEET.
  - (S) PARKING SPACE STRIPING, SEE TRAFFIC CONTROL NOTES THIS SHEET.
  - (T) WOODEN SPLIT RAIL FENCE, SEE DETAIL SHEET C801.
  - (U) GREEN SCREEN PANEL ATTACHED TO BUILDING, SEE ARCHITECTURAL SHEETS.
  - (V) DUAL TRENCH DRAIN (TRUCK WASH WASTE TO SEWER / STORM WATER TO BMP), SEE DETAIL SHEET C801.
  - (W) SITE LIGHT POLE BY DUKE ENERGY (APPROXIMATE LOCATION). COORDINATE INSTALLATION & SCHEDULE WITH DUKE ENERGY.
  - (X) TOWN OF KNIGHTDALE WHEELCHAIR CURB CUT, SEE DETAIL SHEET C802.

- GENERAL STAKING NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, RALEIGH WATER, AND NCDOT STANDARDS AND SPECIFICATIONS.
  2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
  4. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  6. ALL FACE OF RADIUS ARE 4 FT UNLESS OTHERWISE SHOWN.
  7. ALL PARKING SPACES SHALL BE 10' WIDE X 18 FT DEEP MIN.
  8. (AC) DENOTES ACCESSIBLE PARKING SPACE.
  9. (VAN) DENOTES VAN ACCESSIBLE PARKING SPACE.
  10. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  11. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
  12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
  13. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

**TRAFFIC CONTROL NOTES**

1. ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

| SIGN               | MUTCD STD. | SIZE    |
|--------------------|------------|---------|
| STOP               | R1-1       | 30"x30" |
| DO NOT ENTER (ONE) | R5-1       | 30"x30" |

2. ALL SIGNS SHALL BE MOUNTED WITH 7'-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3'-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.

| MARKING                  | NCDOT STD.        | SIZE  | COLOR  |
|--------------------------|-------------------|-------|--------|
| PARKING SPACES           | 1205.07(H-VIS)    | 4-IN  | WHT.   |
| CROSSWALK                | 1205.07(STANDARD) | 24-IN | WHT.   |
| DIRECTIONAL ARROWS       | 1205.08           | 8-IN  | WHT.   |
| NO PARKING - FIRE LANE * | 1205.01           | 4-IN  | YEL.   |
| SOLID                    | 1205.01           | 4-IN  | YELLOW |
| DIAGONAL                 | 1205.09           | 4-IN  | YEL.   |
| STOP BAR                 | -                 | 24-IN | WHT.   |

\* NO PARKING - FIRE LANE MARKING SHALL BE THERMOPLASTIC AND CONFORM TO TOWN OF KNIGHTDALE STANDARD DETAIL 3.31 FIRE LANE MARKING AND CONSIST OF A 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS.

4. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE LINES WHICH SHALL BE ALKYD-RESIN TYPE PAINT.
5. ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY CLH DESIGN PRIOR TO SIGN INSTALLATION.
6. CENTER ALL DIRECTIONAL ARROWS WITHIN TRAVEL LANE.
7. COORDINATE FIRE LANE MARKINGS WITH TOWN OF KNIGHTDALE FIRE MARSHAL.
8. ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM REFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.



DO NOT USE FOR CONSTRUCTION

SEALS

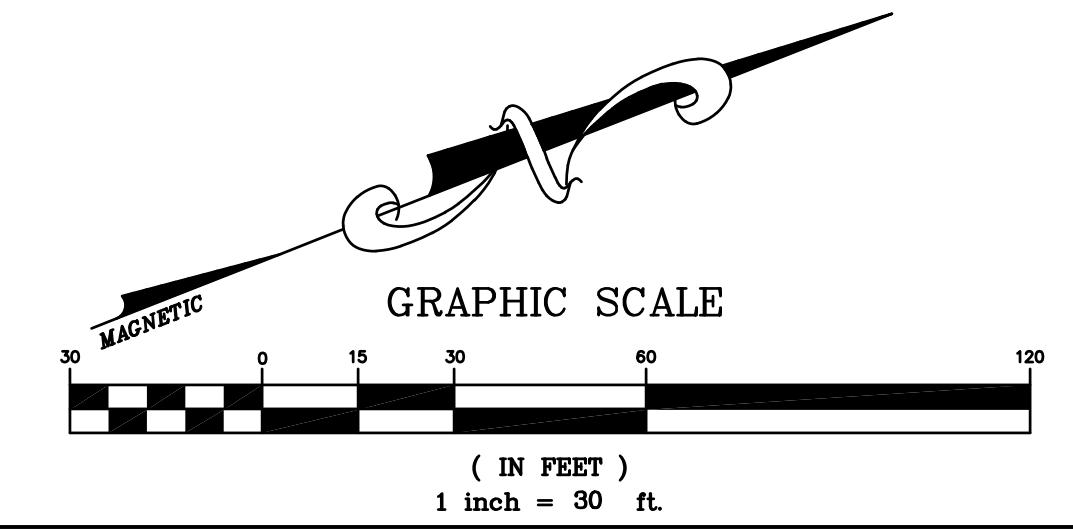
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**TOWN OF KNIGHTDALE**  
**22-150**

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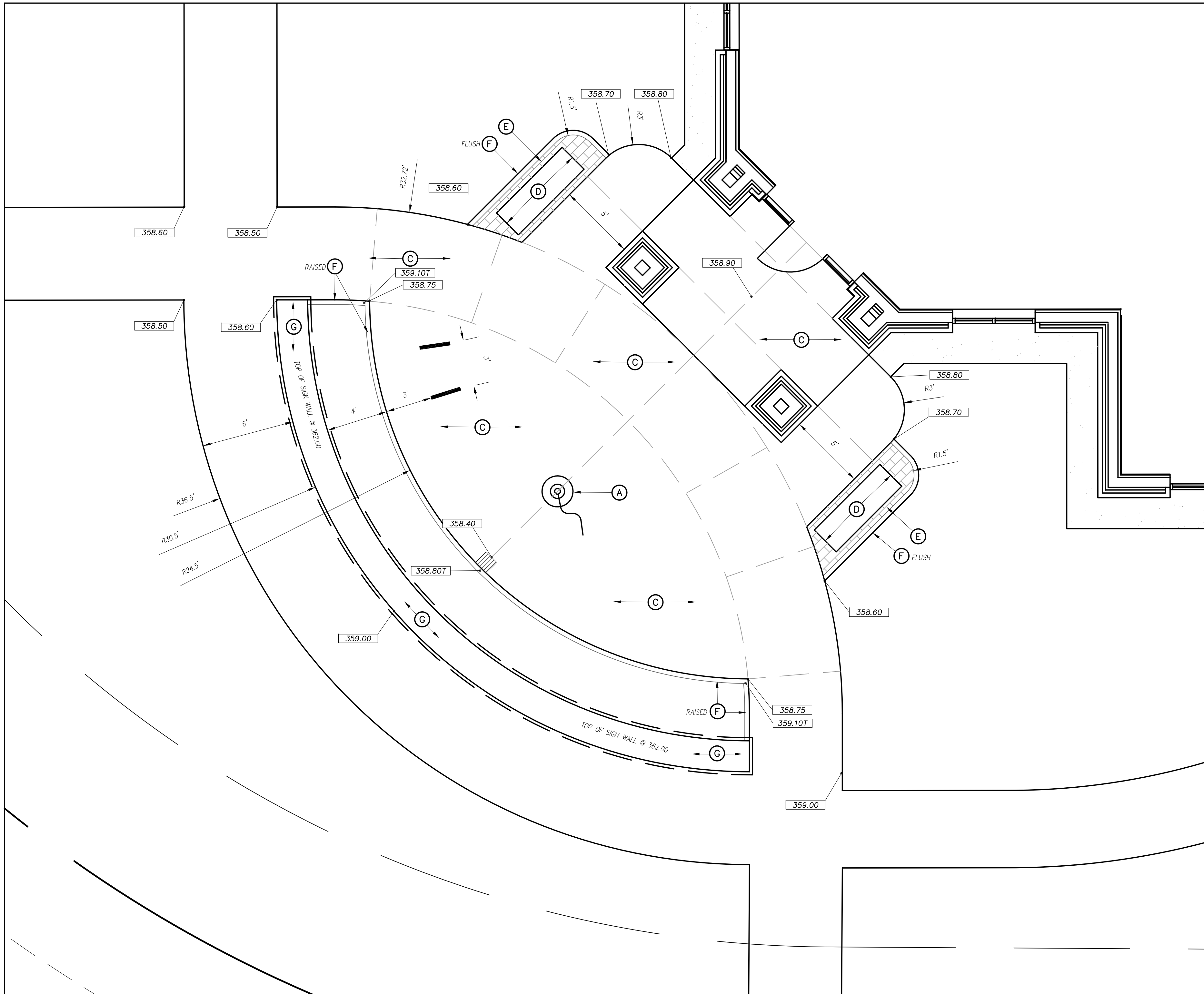
DESIGNED BY: TRO/PL  
 DRAWN BY: TRO  
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**STAKING & PAVEMENT MARKING PLAN**

**C101**







**KEY NOTES**

- (A) FLAGPOLE, SEE DETAIL SHEET C08.02.
- (B) BIKE RACK BY MAGLUN (150 MODEL), SEE DETAIL SHEET C08.02.
- (C) CONCRETE SIDEWALK, SEE DETAIL SHEET C08.01.
- (D) BACKLESS STEEL BENCH ON PAVERS (807 BACKLESS IN SILVER), SEE DETAIL SHEET C08.01.
- (E) BRICK PAVERS TO MATCH BUILDING, SEE DETAIL SHEET C08.01.
- (F) BRICK BAND (SOLDIER), SEE DETAIL SHEET C08.01.
- (G) TOWN FIRE STATION SIGN, SEE DETAIL SHEET C08.02.

--- SCORE JOINT

■ 12X12 DRAIN INLETS  
SEE C300 AND C500 SERIES  
FOR ADDITIONAL INFO.

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 4 ft.

**CLH DESIGN**  
CLH Design, PA  
400 Regency Forest Dr.  
Suite 120  
Cary, NC 27518  
Phone: 919.319.6716  
Fax: 919.319.7516  
LA: C-106 PE: C-1595

**KNIGHTDALE**  
start something

DO NOT USE FOR CONSTRUCTION

SEALS

**KNIGHTDALE FIRE STATION #1**  
**NEW FIRE STATION**  
7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
**TOWN OF KNIGHTDALE**  
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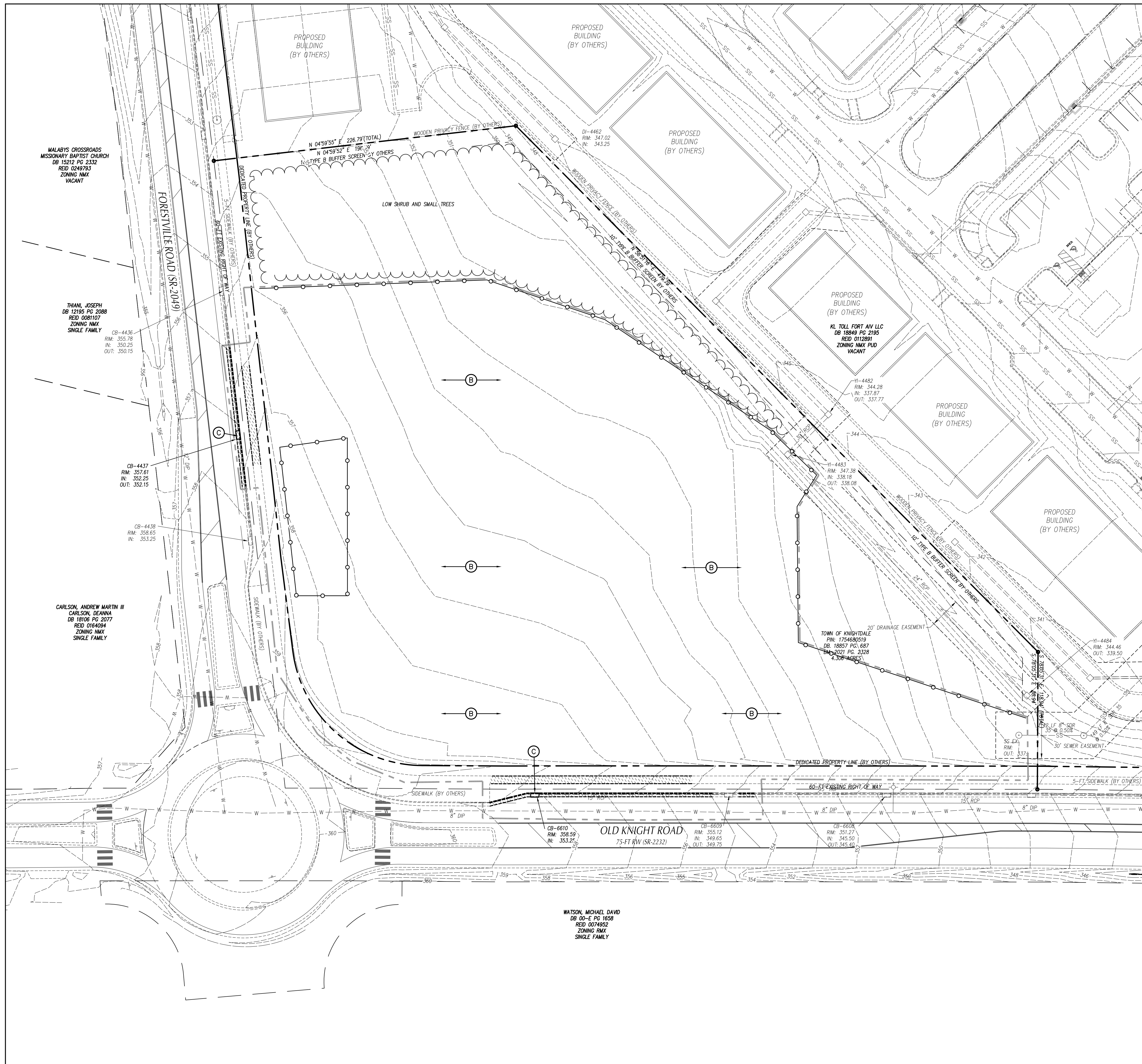
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FILE:

**ENTRY ENLARGEMENT**

**C102**





**LEGEND**

| STRUCTURES/UTILITIES TO BE REMOVED    | STRUCTURES/UTILITIES TO REMAIN                             |
|---------------------------------------|--|
| OVERHEAD ELECTRICAL ----- E -----     | OVERHEAD ELECTRICAL ----- E -----                          |
| UNDERGROUND ELECTRICAL ----- UE ----- | UNDERGROUND ELECTRICAL ----- UE -----                      |
| FIRE PROTECTION ----- FP -----        | FIRE PROTECTION ----- FP -----                             |
| GAS ----- G -----                     | GAS ----- G -----  |
| SANITARY SEWER ----- SS -----         | SANITARY SEWER ----- SS -----                              |
| TELEPHONE ----- T -----               | TELEPHONE ----- T -----                                    |
| UNDERGROUND TELEPHONE ----- UT -----  | UNDERGROUND TELEPHONE ----- UT -----                       |
| FIBER OPTIC ----- FO -----            | FIBER OPTIC ----- FO -----                                 |
| WATER ----- W -----                   | WATER ----- W -----  |
| FORCE MAIN ----- FM -----             | FORCE MAIN ----- FM -----                                  |
| STORM DRAIN ----- SD -----            | STORM DRAIN ----- SD -----                                 |
| INDIVIDUAL TREE TO BE REMOVED.        | INDIVIDUAL TREE TO REMAIN.                                 |
| LIGHT POLE                            | LIGHT POLE   |
| UTILITY POLE                          | UTILITY POLE   |
| MANHOLE                               | MANHOLE  |
| CLEAN OUT                             | CLEAN OUT  |
| DROP INLET/CATCH BASIN                | DROP INLET/CATCH BASIN                                     |
| FIRE HYDRANT                          | FIRE HYDRANT   |
| WATER VALVE                           | WATER VALVE  |
| CONSTR./CLEARING LIMITS               | PAVEMENT, S/W, C&G TO BE REMOVED.                          |
| TREE PROTECTION FENCE                 | BUILDING/STRUCTURE TO BE REMOVED. SEE ARCHITECTURAL PLANS. |

- KEY NOTES**
- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET \_\_\_\_\_
  - (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
  - (C) REMOVE STRUCTURE/UTILITY.
  - (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.

- GENERAL NOTES**
1. ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
  2. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
  3. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
  4. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
  5. EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY TRUE LINE SURVEYING, PERFORMED 9/15/21. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
  6. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
  7. TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2'-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
  8. PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
  9. VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
  10. CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
  11. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT. AREAS TO BE PROTECTED, REPAIRED AND CLEARED SHALL ALSO INCLUDE ANY STAGING AREAS, ACCESS ROADS AND OTHER EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS THAT ARE TO REMAIN.
  12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
  13. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
  14. DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET C202 FOR PAVEMENT REPAIR DETAILS.
  15. THIS SITE IS/IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP, 37201774500J DATED 5/2/2006 AS BEING WITHIN ZONE "X-OTHER AREA".
  16. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNLESS THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

**REVISIONS**

| NO. | DATE | DESCRIPTION |
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|     |      |             |

DESIGNED BY: TRO/PL  
 DRAWN BY: TRO  
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**EXISTING CONDITIONS & DEMOLITION PLAN**

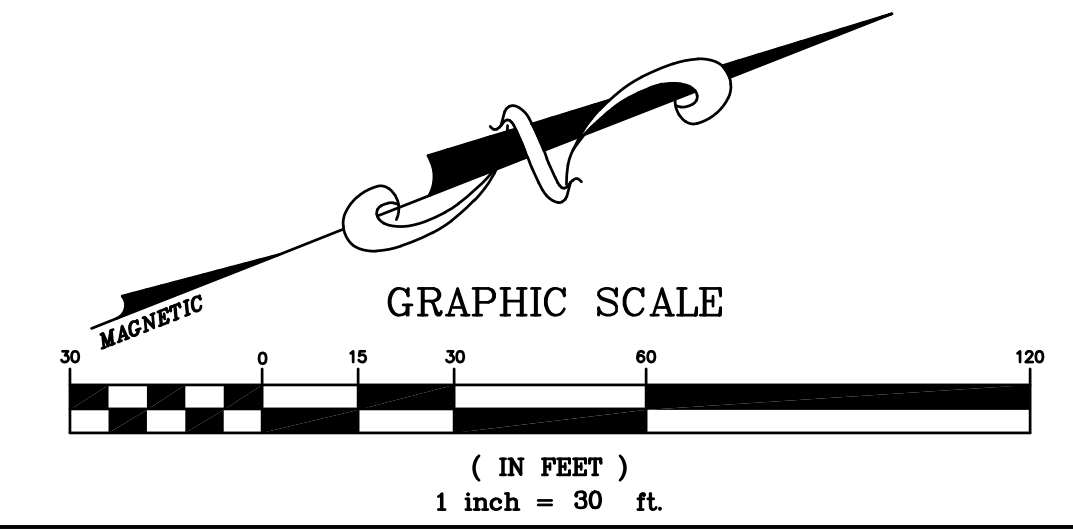
**C201**

CLH Design, PA  
 400 Regency Forest Dr.  
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 LA: C-106 PE: C-1595

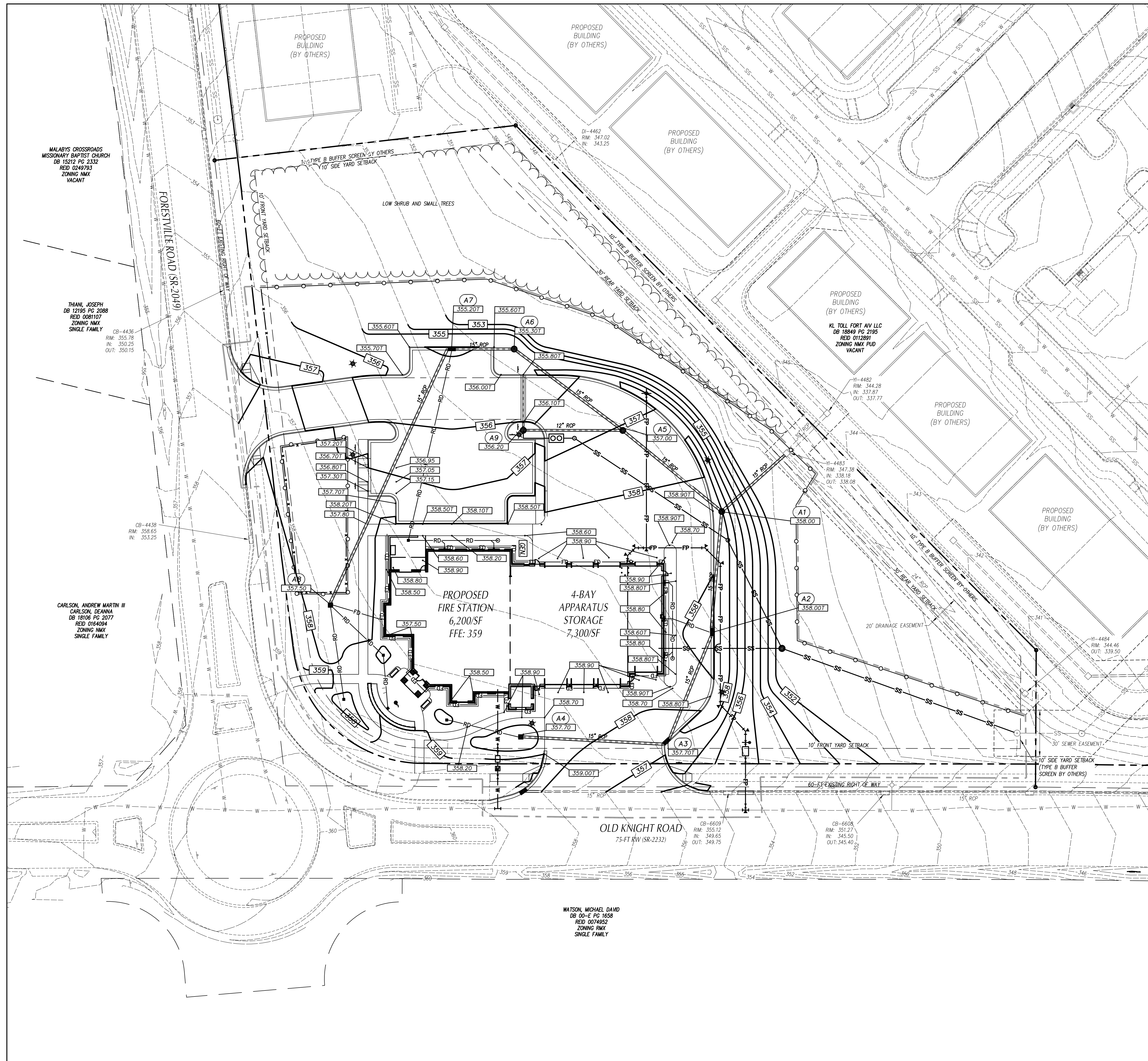
DO NOT USE FOR CONSTRUCTION

SEALS

**KNIGHTDALE FIRE STATION #1**  
**NEW FIRE STATION**  
 7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
**TOWN OF KNIGHTDALE**  
**22-150**







**GRADING LEGEND**

- EXISTING CONTOURS
- FINAL CONTOURS
- EXISTING SURVEY SPOT ELEVATION
- PROPOSED TOP OF CURB SPOT ELEVATION
- PROPOSED GROUND/PAYMENT ELEVATION
- PROPOSED FINISHED GRADE AT TOP OF WALL ELEVATION
- PROPOSED FINISHED GRADE AT BOTTOM OF WALL ELEVATION
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- PROPOSED FOUNDATION DRAIN DISCHARGE LINE. SEE ARCH. PLANS FOR DRAIN PIPE LOCATIONS ALONG BUILDING WALLS.
- PROPOSED ROOF DRAIN
- TREE PROTECTION FENCE

- GENERAL GRADING NOTES**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS, NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, NCDOT DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, NCEQ AND NPDES PERMITS, NCCRC AND OSHA REQUIREMENTS.
  2. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER AND ARE DENOTED TO TOP OF CURB, UNLESS OTHERWISE SHOWN.
  3. TOTAL DENUDE AREA = 4.40 AC
  4. CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. AS NEEDED TO MATCH FINISH GRADE.
  5. ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY. (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)
  6. ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY. SEE DETAIL ON SHEET C702.
  7. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE.
  8. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  9. THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
  10. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
  11. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
  12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
  13. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS WHERE NEW CONSTRUCTION JOIN OR CONNECT TO EXISTING PAVEMENT, CURB AND OTHER ROAD STRUCTURES. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR.
  14. ALL SUBGRADES AND FILL PLACEMENT SHALL BE MONITORED AND TESTED BY THE OWNER'S INDEPENDENT TESTING AGENCY.
  15. FILL SOILS SHALL BE MOISTURE CONDITIONED TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT AND COMPACTED TO NOT LESS THAN 95% OF THE STANDARD PROCTOR MAX DRY DENSITY (MDD) EXCEPT THE FINAL FOOT WHERE COMPACTATION SHALL BE NOT LESS THAN 98% MDD IN PAVEMENT, BUILDING AND OTHER STRUCTURAL AREAS. COMPACTATION WITHIN THE NCDOT R/W SHALL MEET NCDOT REQUIREMENTS. POND EMBANKMENTS SHALL BE COMPACTED TO NOT LESS THAN 98% MDD. LAWN AND OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% MDD.
  16. ON-SITE HIGHLY-PLASTIC SOILS SHALL NOT BE USED AS FILL WITHIN 4'-FT OF PROPOSED SUBGRADES IN PAVEMENT, BUILDING OR OTHER STRUCTURAL AREAS.
  17. OFF-SITE BORROW SOILS SHALL CONSIST OF SILTY AND CLAYEY SANDS OR LOW PLASTICITY SILTS AND CLAYS HAVING UNIFIED SOIL CLASS OF SM, SC, ML OR CL; SHALL HAVE A PLASTICITY INDEX OF LESS THAN 20 AND SHALL HAVE A STANDARD PROCTOR MAX DRY DENSITY OF AT LEAST 90-PPC.
  18. ALL OBJECTIONABLE MATERIALS INCLUDING STONES SHALL BE REMOVED FROM FILL MATERIALS AND TOPSOIL.
  19. ALL EARTH SUBGRADES SHALL BE PROOF-ROLLED UNDER THE OBSERVATION OF THE OWNER'S INDEPENDENT TESTING AGENCY. ANY SOILS THAT FAIL TO TIGHTEN UP AFTER PROOF-ROLLING AND CONTINUE TO RUT OR PUMP SHALL BE MOISTURE CONDITIONED AND RECOMPACTED. PROOF-ROLLING AND MOISTURE CONDITIONING SHALL BE REPEATED UNTIL SATISFACTORY TO THE TESTING AGENCY.
  20. SOIL MATERIAL THAT IS DEEMED UNSUITABLE TO REMAIN IN PLACE BY THE OWNER'S INDEPENDENT TESTING AGENCY SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE TESTING AGENCY.
  21. ALL AREAS OF THE SITE WHERE GRADE IS RAISED BY MORE THAN 6'-FT SHALL BE MONITORED FOR SETTLEMENT BY A LICENSED SURVEYOR TO VERIFY THAT FILL INDUCED SETTLEMENTS HAVE SUBSIDED PRIOR TO CONSTRUCTION OF NEW IMPROVEMENTS.

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LA: C-106 PE: C-1595

DO NOT USE FOR CONSTRUCTION

SEALS

**KNIGHTDALE FIRE STATION #1**  
NEW FIRE STATION  
7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545

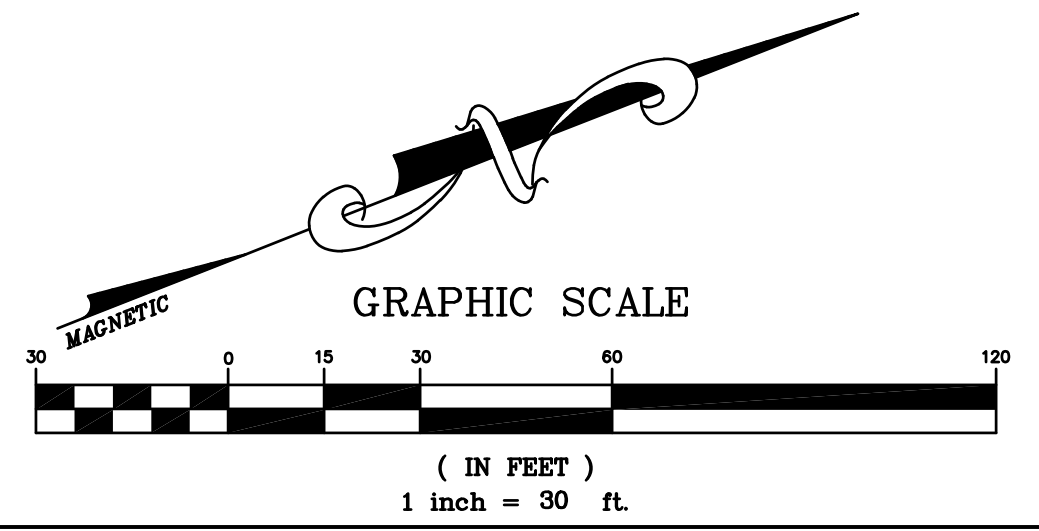
**TOWN OF KNIGHTDALE**  
**22-150**

| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|------|-------------|
|           |     |      |             |

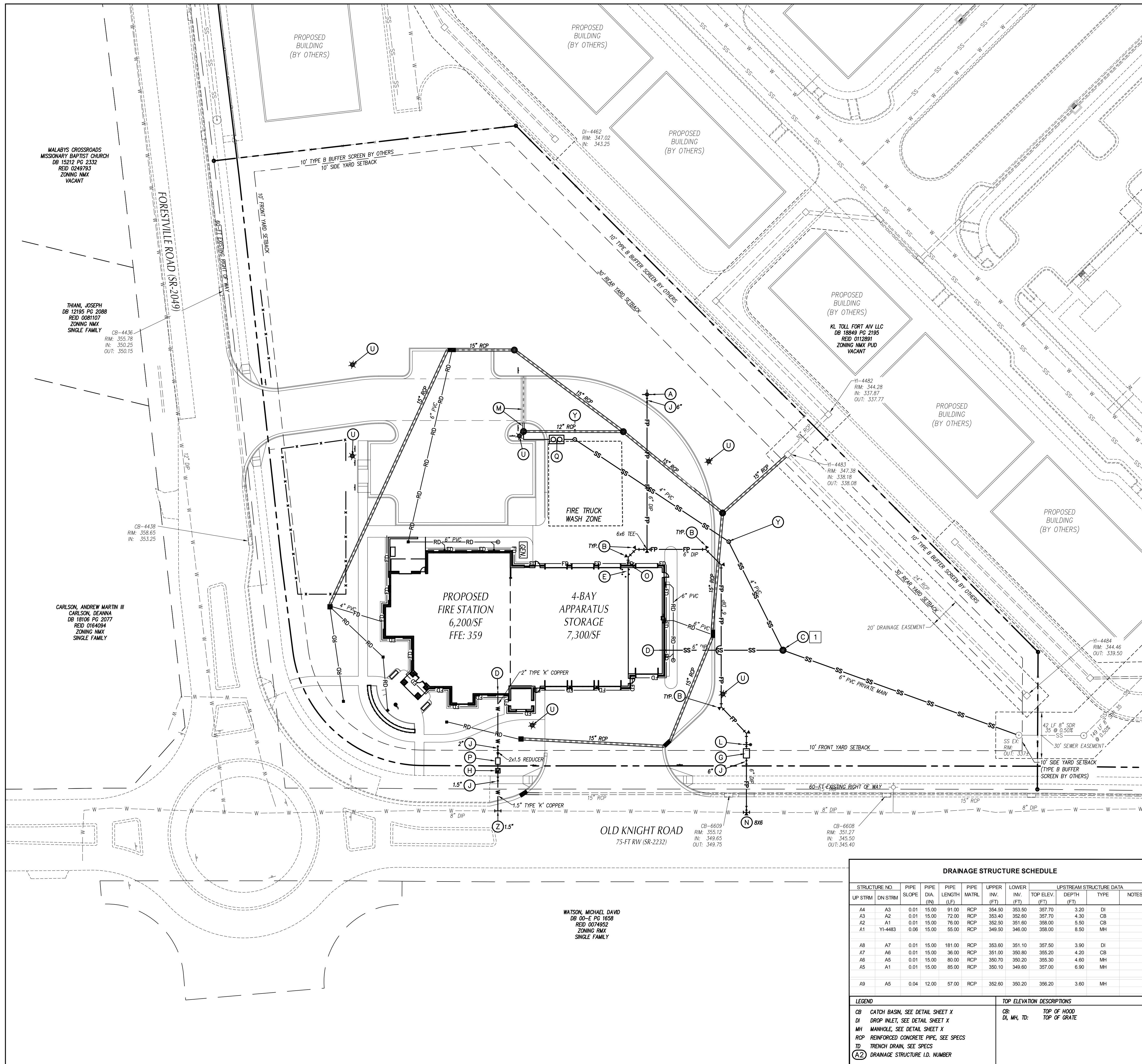
DESIGNED BY: TRO/PL  
DRAWN BY: TRO  
DATE: DEC 12, 2022  
PROJECT NO: 22-150  
FILE:

**GRADING PLAN**

**C301**







### UTILITY LEGEND

|  | EXISTING | PROPOSED |
|--|----------|----------|
| CHILLED WATER                                      | ---CW--- | ---CW--- |
| ELECTRICAL (OVERHEAD)                              | ---E---  | ---E---  |
| ELECTRICAL (UNDERGROUND)                           | ---UE--- | ---UE--- |
| FOUNDATION DRAIN (SEE ARCHITECTURAL)               | ---FD--- | ---FD--- |
| GAS  | ---G---  | ---G---  |
| SANITARY SEWER                                     | ---SS--- | ---SS--- |
| TELEPHONE (OVERHEAD)                               | ---T---  | ---T---  |
| TELEPHONE (UNDERGROUND)                            | ---UT--- | ---UT--- |
| WATER  | ---W---  | ---W---  |
| ROOF DRAIN   | ---RD--- | ---RD--- |
| FIRE PROTECTION                                    | ---FP--- | ---FP--- |
| STORM DRAIN  | ---SD--- | ---SD--- |
| TREE PROTECTION FENCING, SEE EROSION CONTROL PLANS | ---X---  | ---X---  |
| LIGHT POLE   | ☆ LP     | ☆ LP     |
| UTILITY POLE                                       | ⊙ PP     | ⊙ PP     |
| MANHOLE  | ⊙ MH     | ⊙ MH     |
| CLEAN OUT  | ⊙ CO     | ⊙ CO     |
| DROP INLET/CATCH BASIN                             | □ Di, CB | □ Di, CB |
| FIRE HYDRANT                                       | ⊙ FH     | ⊙ FH     |
| WATER VALVE  | ⊙ WV     | ⊙ WV     |
| POST INDICATOR VALVE (PIV)                         | ⊙ PIV    | ⊙ PIV    |
| FIRE DEPARTMENT CONNECTION (FDC)                   | ⊙ FDC    | ⊙ FDC    |
| THRUST BLOCKING                                    | ⊙ TB     | ⊙ TB     |
| SANITARY SEWER STRUCTURE IDENTIFICATION            | 1        | 1        |

- ### GENERAL NOTES-UTILITY
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
  - INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3'-FT.
  - INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 3'-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 4'-FT TO FINISH GRADE IN TRAFFIC AREAS.
  - INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
  - WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10'-FT.
  - SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24-IN TO STORM DRAINAGE PIPES.
  - COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATA.
  - VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
  - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
  - ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSBG AND OSHA REQUIREMENTS.
  - THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
  - CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-DOWNS WITH THE OWNER.
  - SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
  - ALL ROOF DRAINS SHALL BE 8" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.
  - ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.
  - ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
  - NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
  - ALL WATER SHALL BE TYPE "K" SOFT COPPER.

- ### UTILITY KEY NOTES
- (A) FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET C903.
  - (B) THRUST BLOCKING, TYP. SEE DETAIL SHEET C903.
  - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET C904. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
  - (D) EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS.
  - (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION, SEE DETAIL SHEET C902. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
  - (F) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C902.
  - (G) 6-IN MILKINS 375DA REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA), OR EQUAL FROM CORPLUD LIST OF APPROVED ASSEMBLIES, WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C902 & C903 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
  - (H) 1.5" DOMESTIC WATER METER, SEE DETAIL SHEET C902.
  - (J) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C903.
  - (K) DOWNSPOUT CONNECTOR ROOT, SEE DETAIL SHEET C902.
  - (L) POST INDICATOR VALVE W/ TAMPER SWITCH, SEE DETAIL SHEET C903 AND SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
  - (M) 4-IN BALL VALVE (TRUCK WASH VALVE) IN CAST IRON BOX, SEE TRENCH DRAIN DETAIL SHEET C901.
  - (N) TAPPING SLEEVE, VALVE AND BLOCKING ASSEMBLY SEE SPECIFICATIONS.
  - (O) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET C903.
  - (P) 1.5-IN MILKINS 375A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA), OR EQUAL FROM CORPLUD LIST OF APPROVED ASSEMBLIES, WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C902 & C903. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
  - (Q) 1000/GAL OIL/WATER SEPARATOR, SEE DETAIL SHEET C901 AND SPECS.
  - (R) N/A
  - (S) N/A
  - (T) APPROXIMATE LOCATION GAS METER AND GAS SERVICE LINES. SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
  - (U) SITE LIGHT POLE BY DUKE ENERGY (APPROXIMATE LOCATION). COORDINATE INSTALLATION & SCHEDULE WITH DUKE ENERGY.
  - (V) N/A
  - (W) N/A
  - (Y) NEW SANITARY SEWER CLEANOUT, TYP. SEE DETAIL SHEET C904.
  - (Z) 1.5" SERVICE SADDLE AND VALVE.

### DRAINAGE STRUCTURE SCHEDULE

| STRUCTURE NO. | PIPE DIA. | PIPE SLOPE | PIPE LENGTH (LF) | PIPE MATL. | UPPER INV. (FT) | LOWER INV. (FT) | TOP ELEV. (FT) | DEPTH (FT) | TYPE | NOTES |
|---------------|-----------|------------|------------------|------------|-----------------|-----------------|----------------|------------|------|-------|
| A4            | A3        | 0.01       | 15.00            | RCP        | 354.50          | 353.50          | 357.70         | 3.20       | DI   |       |
| A3            | A2        | 0.01       | 15.00            | RCP        | 353.40          | 352.60          | 357.70         | 4.30       | CB   |       |
| A2            | A1        | 0.01       | 15.00            | RCP        | 352.50          | 351.60          | 358.00         | 5.50       | CB   |       |
| A1            | Y1-4483   | 0.08       | 15.00            | RCP        | 349.50          | 346.00          | 358.00         | 8.50       | MH   |       |
| A8            | A7        | 0.01       | 15.00            | RCP        | 353.60          | 351.10          | 357.50         | 3.90       | DI   |       |
| A7            | A6        | 0.01       | 15.00            | RCP        | 351.00          | 350.80          | 355.20         | 4.20       | CB   |       |
| A6            | A5        | 0.01       | 15.00            | RCP        | 350.70          | 350.20          | 355.30         | 4.60       | MH   |       |
| A5            | A1        | 0.01       | 15.00            | RCP        | 350.10          | 349.60          | 357.00         | 6.90       | MH   |       |
| A9            | A5        | 0.04       | 12.00            | RCP        | 352.80          | 350.20          | 356.20         | 3.60       | MH   |       |

### LEGEND

| LEGEND     | TOP ELEVATION DESCRIPTIONS          |
|------------|-------------------------------------|
| CB         | CATCH BASIN, SEE DETAIL SHEET X     |
| DI         | DROP INLET, SEE DETAIL SHEET X      |
| MH         | MANHOLE, SEE DETAIL SHEET X         |
| RCP        | REINFORCED CONCRETE PIPE, SEE SPECS |
| TD         | TRENCH DRAIN, SEE SPECS             |
| (A-Z)      | DRAINAGE STRUCTURE I.D. NUMBER      |
| CB         | TOP OF HOOD                         |
| DI, MH, TD | TOP OF GRATE                        |

### GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

CLH Design, PA  
400 Regency Forest Dr.  
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DO NOT USE FOR CONSTRUCTION

SEALS

**KNIGHTDALE FIRE STATION #1**  
NEW FIRE STATION  
7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
**TOWN OF KNIGHTDALE 22-150**

### REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

DESIGNED BY: TRO/PL  
DRAWN BY: TRO  
DATE: DEC 12, 2022  
PROJECT NO: 22-150  
FILE:

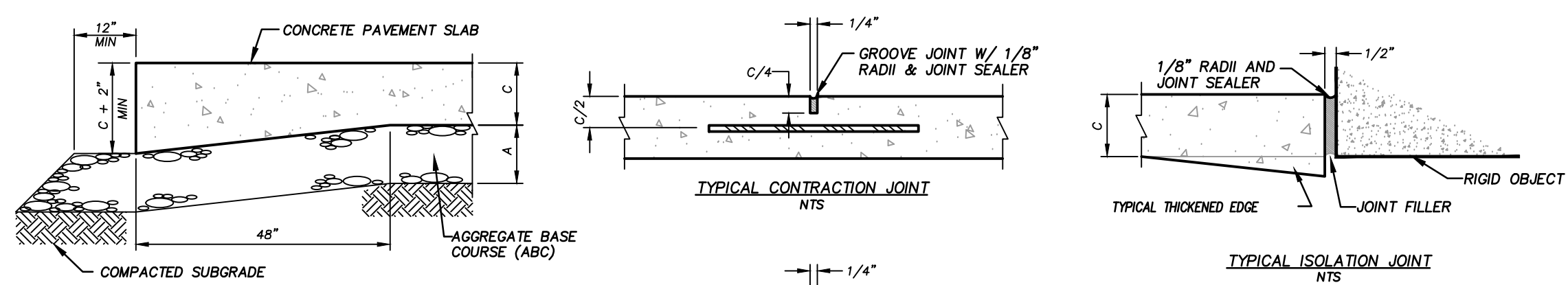
**UTILITY PLAN**

**C501**







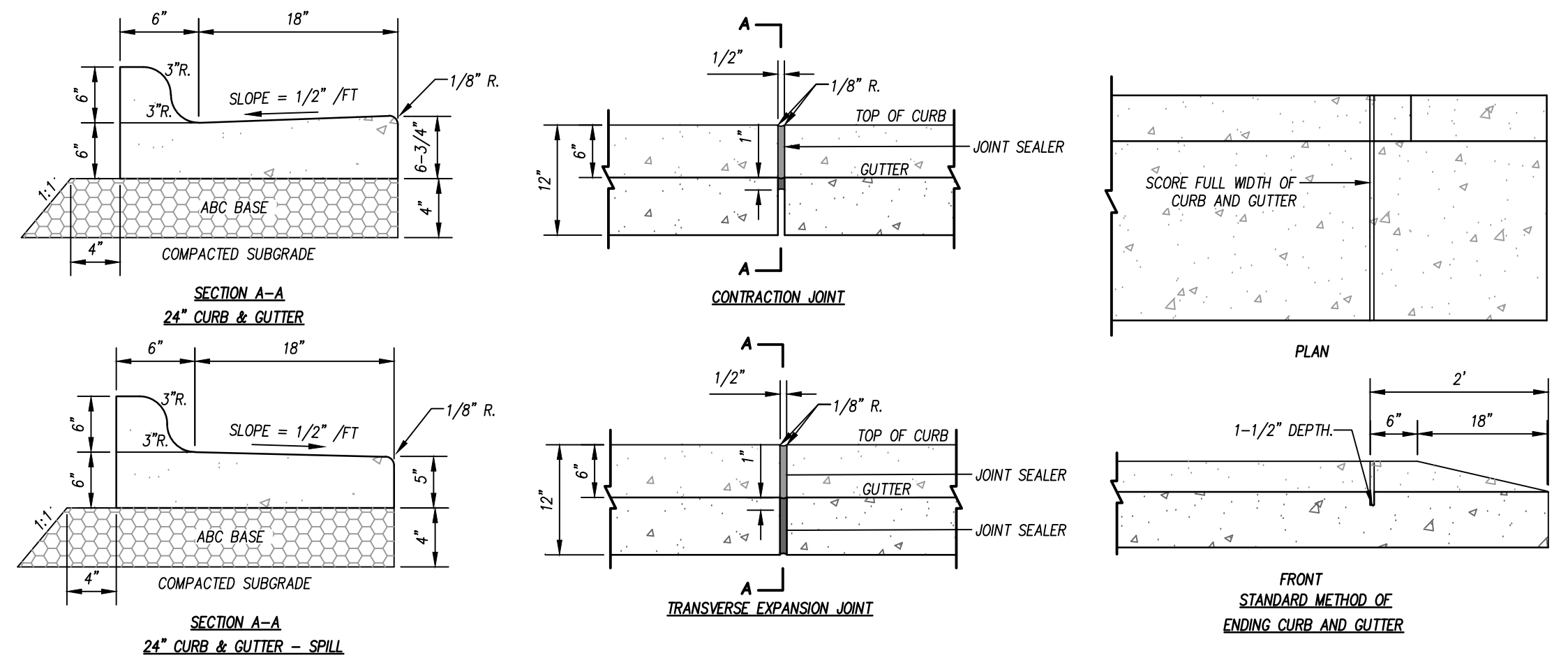


**CONCRETE PAVEMENT DIMENSIONS**

|                          |        |
|--------------------------|--------|
| CONC SLAB THICKNESS, C = | 7.5"   |
| ABC THICKNESS, A =       | 4"     |
| DOWEL DIAMETER           | 1-1/4" |

- NOTES:**
- ALL CONCRETE SHALL BE OF NCDOT TYPE AA PORTLAND CEMENT CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI (ASTM C39) AND A MIN. MODULUS OF RUPTURE OF 650-PSI (AASHTO T97/ASTM C78).
  - CONTRACTION JOINTS SHALL BE SPACED AT 15 FT O.C.E.W. MAX.
  - ISOLATION JOINTS SHALL BE PLACED WHERE CONCRETE PAVEMENT ABUTS ANY RIGID OBJECT.
  - JOINING PLAN IN ACCORDANCE WITH ACI-330R-08 SHALL BE APPROVED BY SITE DESIGN ENGINEER PRIOR TO POURING SLAB.
  - JOINTS IN CURB & GUTTER SHALL BE ALIGNED WITH JOINTS IN ADJOINING CONCRETE PAVEMENT.

**HEAVY DUTY CONCRETE PAVEMENT** N.T.S.



- NOTES:**
- ALL CONCRETE SHALL BE 4,000 P.S.I. @ 28 DAYS
  - CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS, SPACING MAY BE INCREASED TO 15' IF MACHINE IS USED.
  - CONTRACTION JOINTS SHALL BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.
  - EXPANSION JOINTS SHALL BE SPACED AT 90' MAX INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS.
  - ALL JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER.
  - SEE SPECIFICATION SECTION 32 13 13 FOR ADDITIONAL INFORMATION

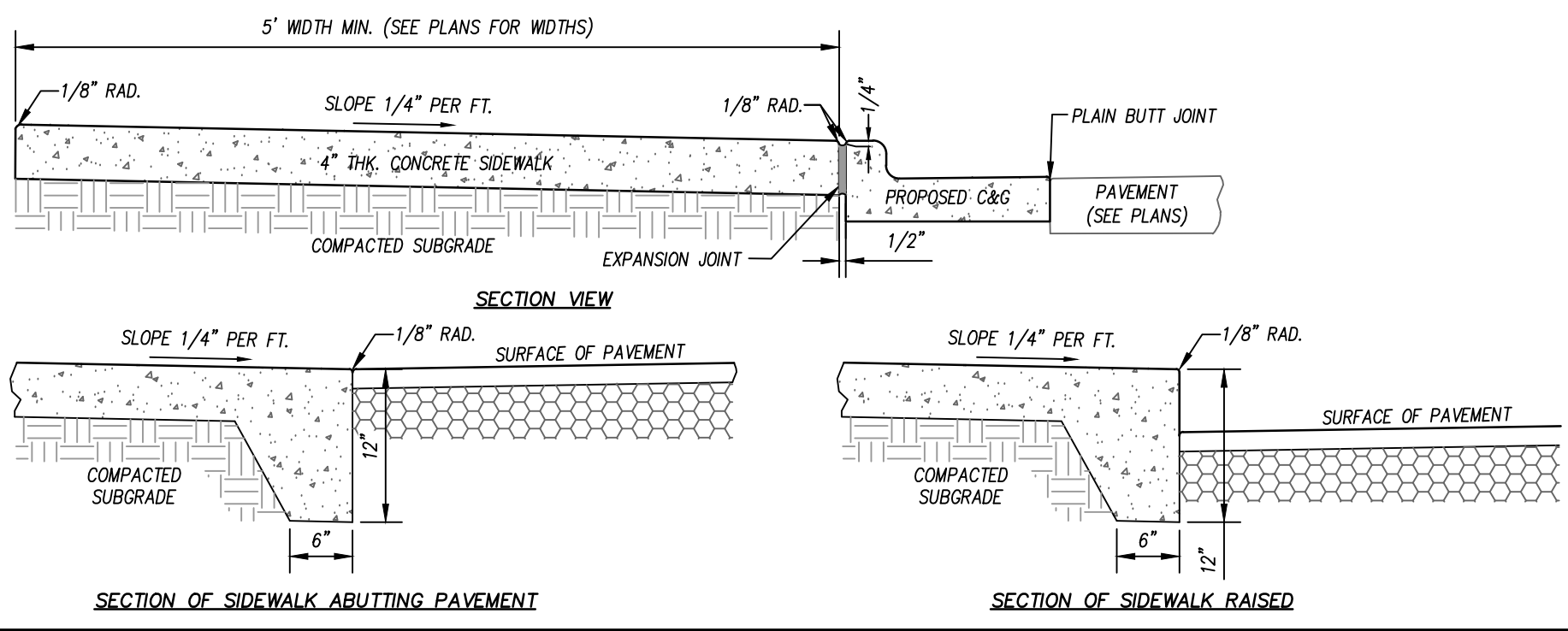
**ONSITE CONCRETE CURB AND GUTTER** N.T.S.

DETAIL IS FOR ON-SITE PAVING OPERATIONS ONLY.

|                       | LIGHT DUTY ASPHALT  | HEAVY DUTY ASPHALT     |
|-----------------------|---------------------|------------------------|
| SURFACE COURSE        | TYPE S-9.5C<br>2-IN | TYPE S-9.5C<br>1.5-IN  |
| BINDER COURSE         | -                   | TYPE I-19.0C<br>2.5-IN |
| AGGREGATE BASE COURSE | 8-IN                | 8.5-IN                 |

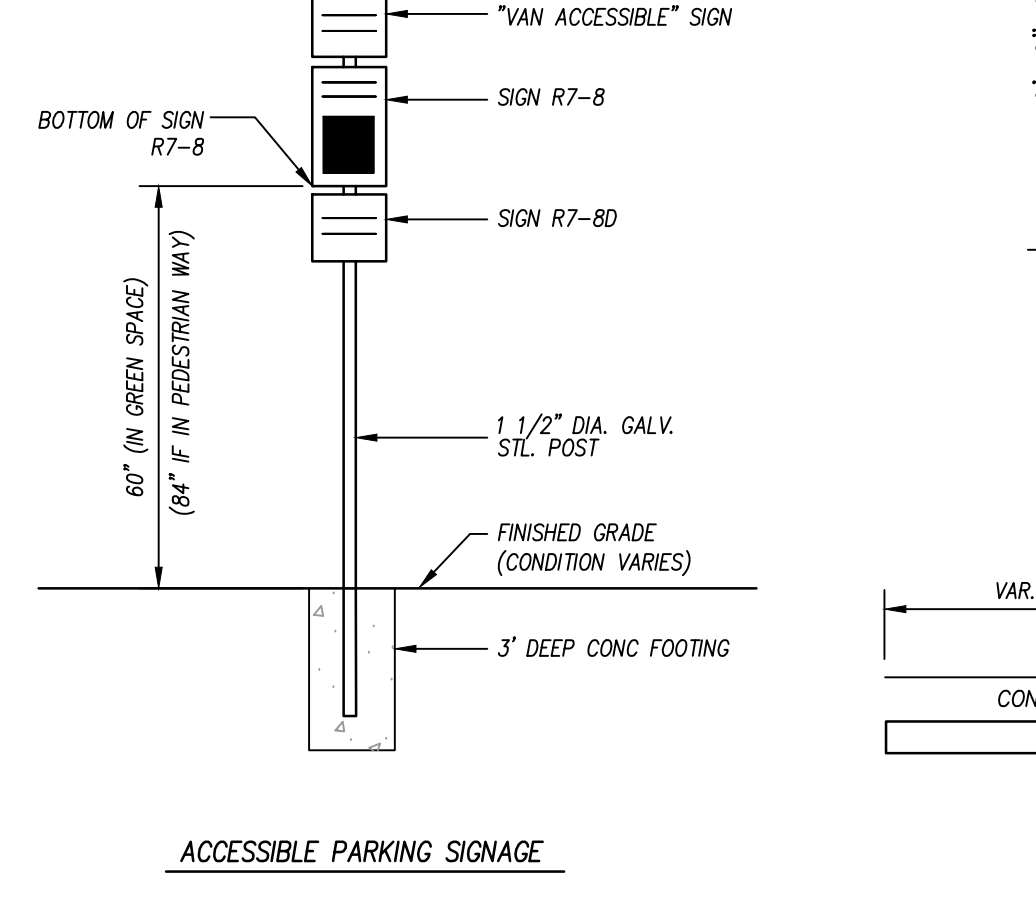
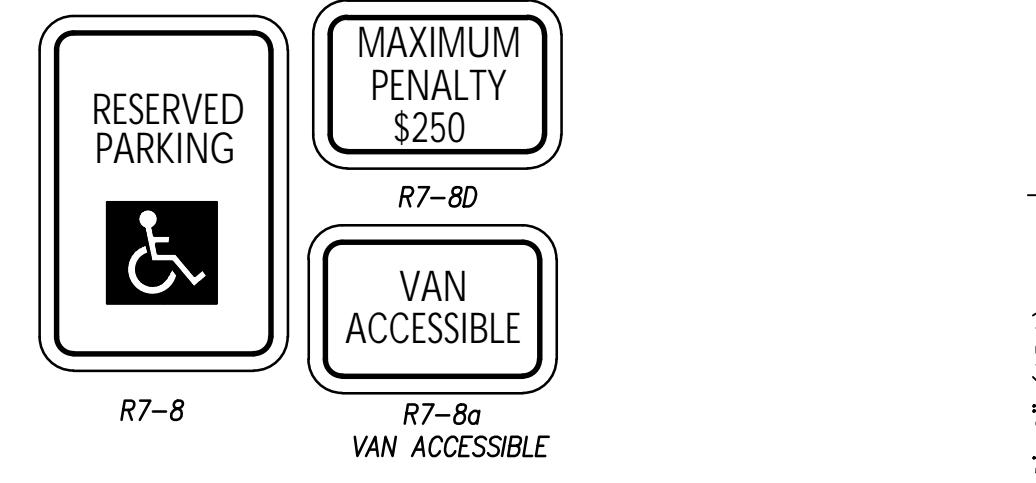
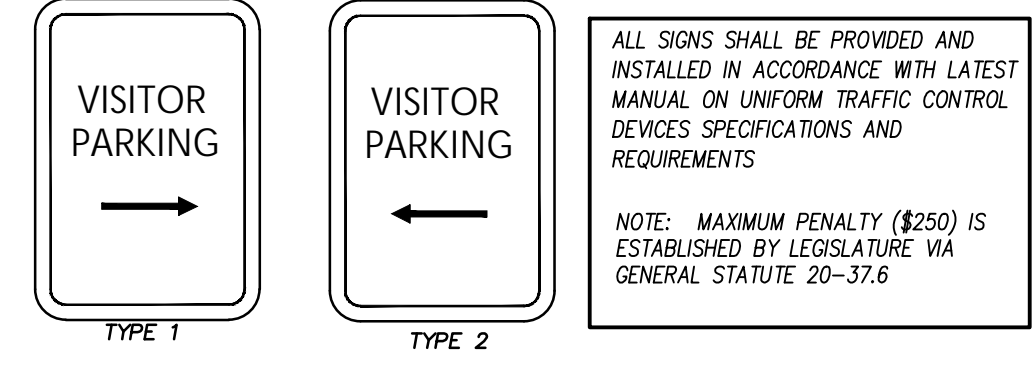
COMPACTED SUBGRADE \*TWO LIFTS

**ASPHALT PAVEMENT SECTIONS** N.T.S.

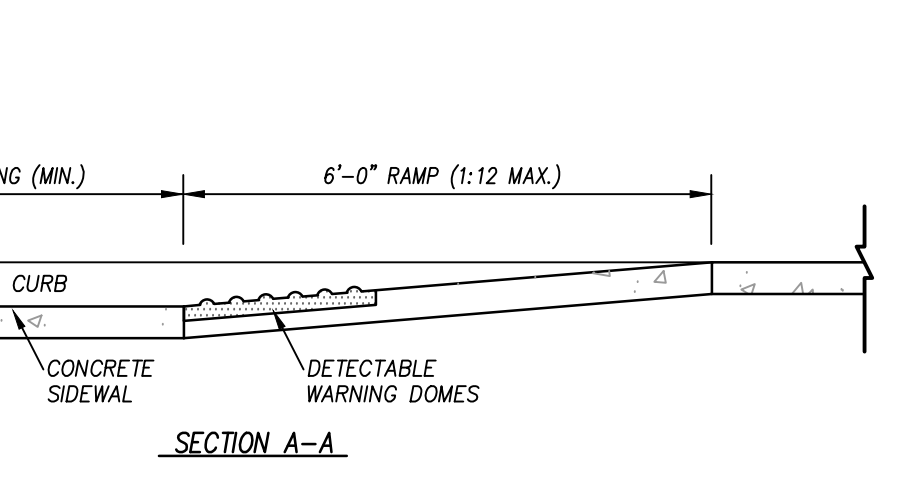
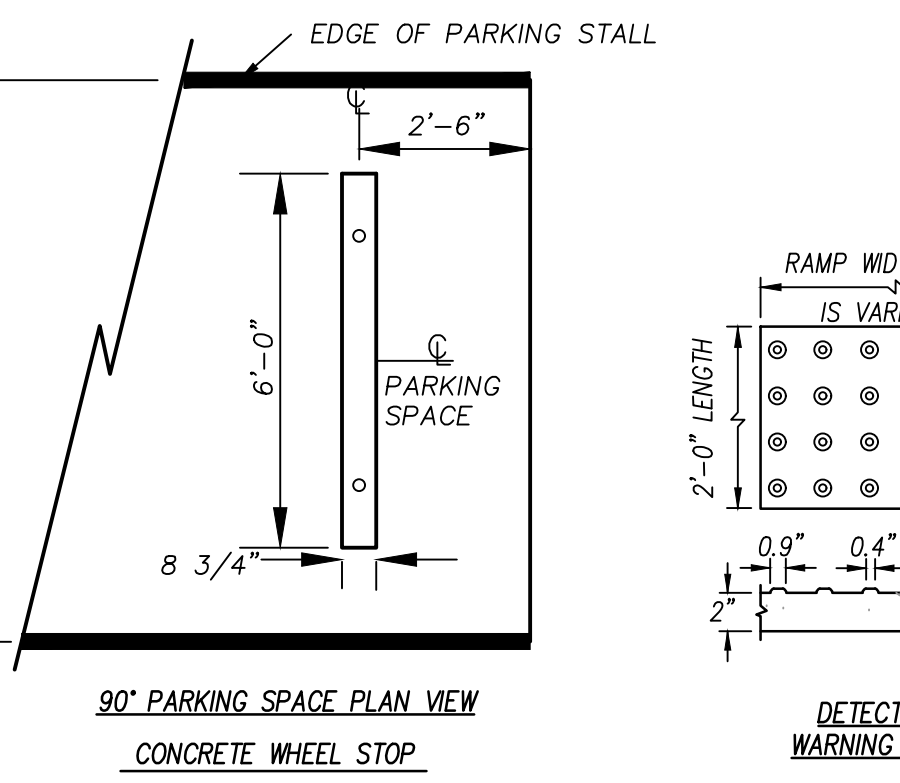
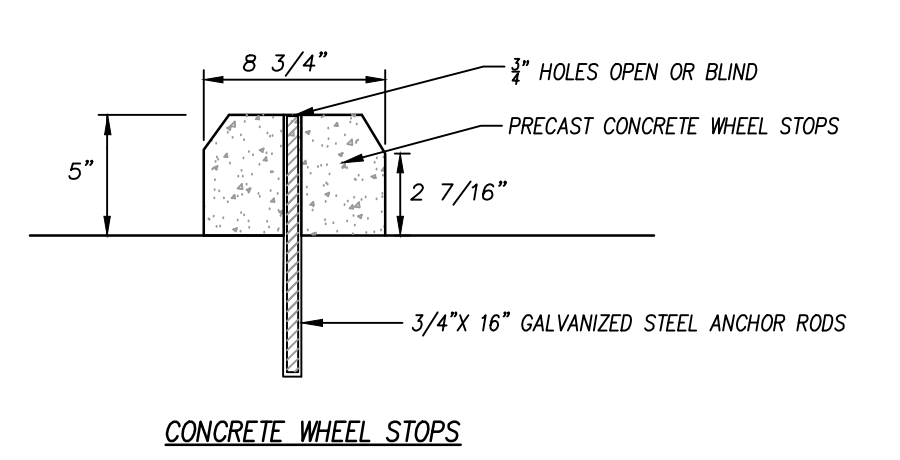


- GENERAL NOTES:**
- A GROOVE JOINT 1" DEEP WITH 1/8" RADI AND JOINT SEALER SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT INTERVALS THE WIDTH OF THE SIDEWALK UNLESS INDICATED OTHERWISE. SEE SPECS FOR ADDITIONAL JOINT SPACING REQUIREMENTS.
  - ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS.
  - A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  - ALL CONCRETE SHALL BE 4,000 P.S.I. @ 28 DAYS
  - PROVIDE BROOM FINISH (SEE SPECS 321313 CONCRETE PAVING) OR AS NOTED ON PLANS AND DETAILS.
  - ALL SIDEWALK SHOULDERS SHALL BE 1" TOLERANCE OF ADJACENT GREEN SPACE.

**ONSITE CONCRETE SIDEWALK** N.T.S.

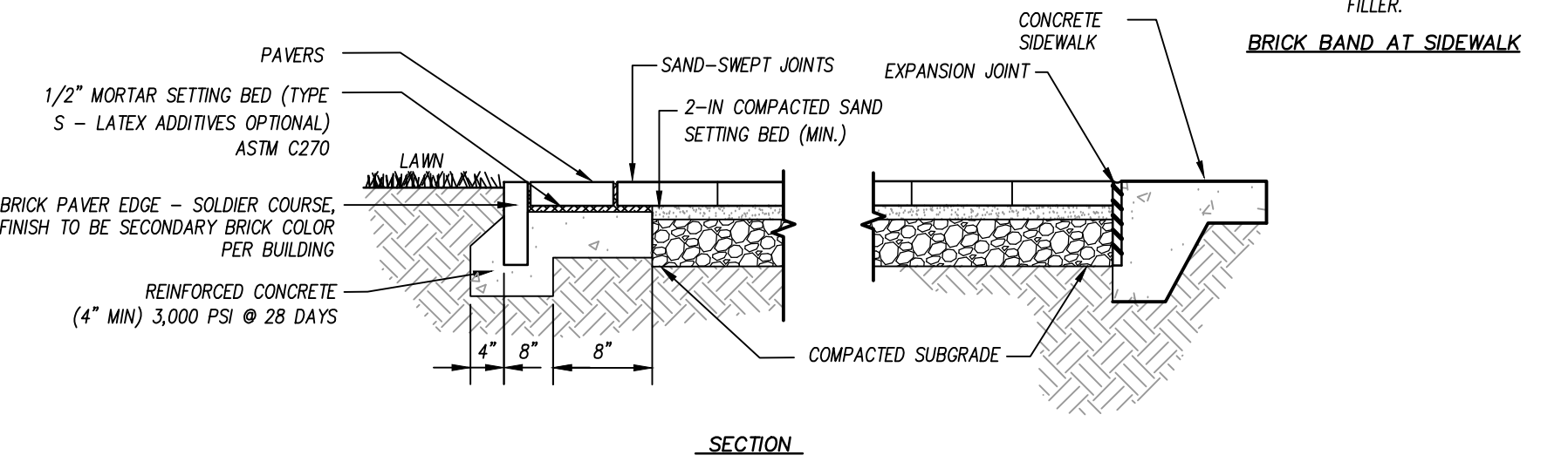


**ACCESSIBLE PARKING SIGNAGE**

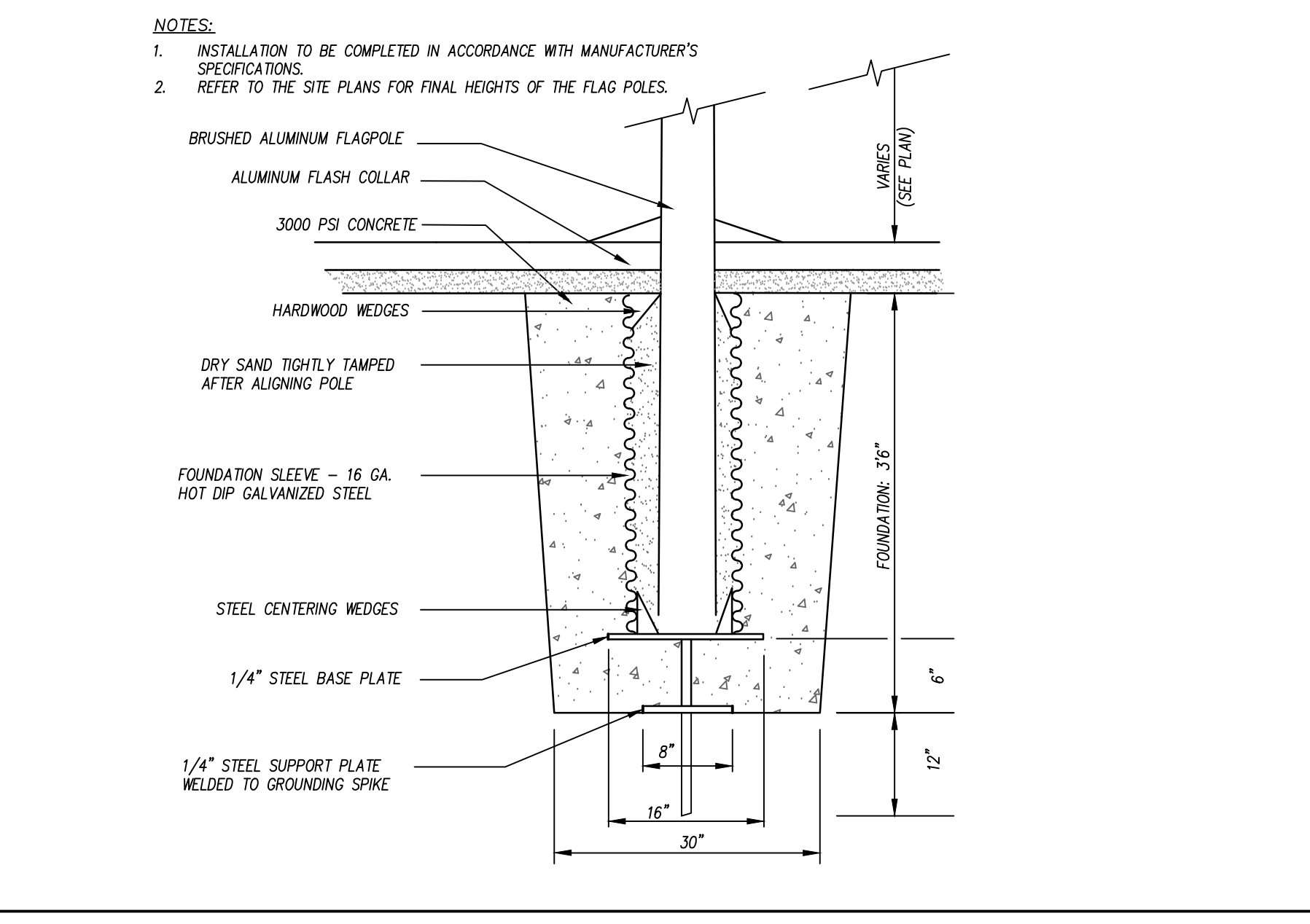


**ACCESSIBLE CURB RAMP**

- NOTES:**
- PAVERS SHALL HAVE A SRI OF 29 OR GREATER.
  - PAVERS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL.
  - CUT PAVERS AS NEEDED.
  - CONTRACTOR TO DEVELOP AND SUBMIT PLAN OF PROPOSED PAVER LAYOUT PATTERNS FOR APPROVAL PRIOR TO INSTALLATION.
  - PAVER TO MATCH BUILDING IN COLORS AND SIZES.
  - PATTERN IS RUNNING BOND

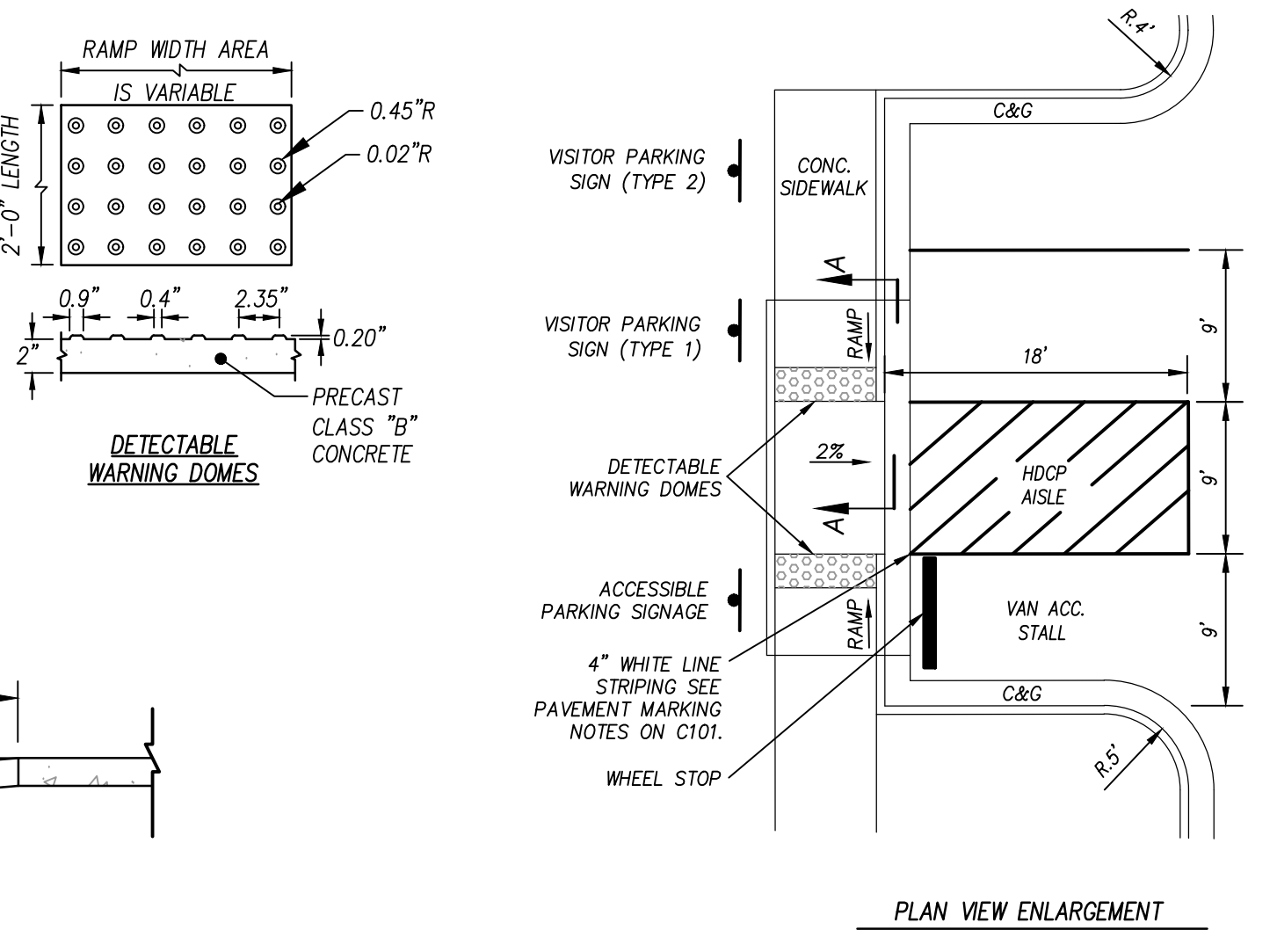


**BRICK PAVERS** N.T.S.

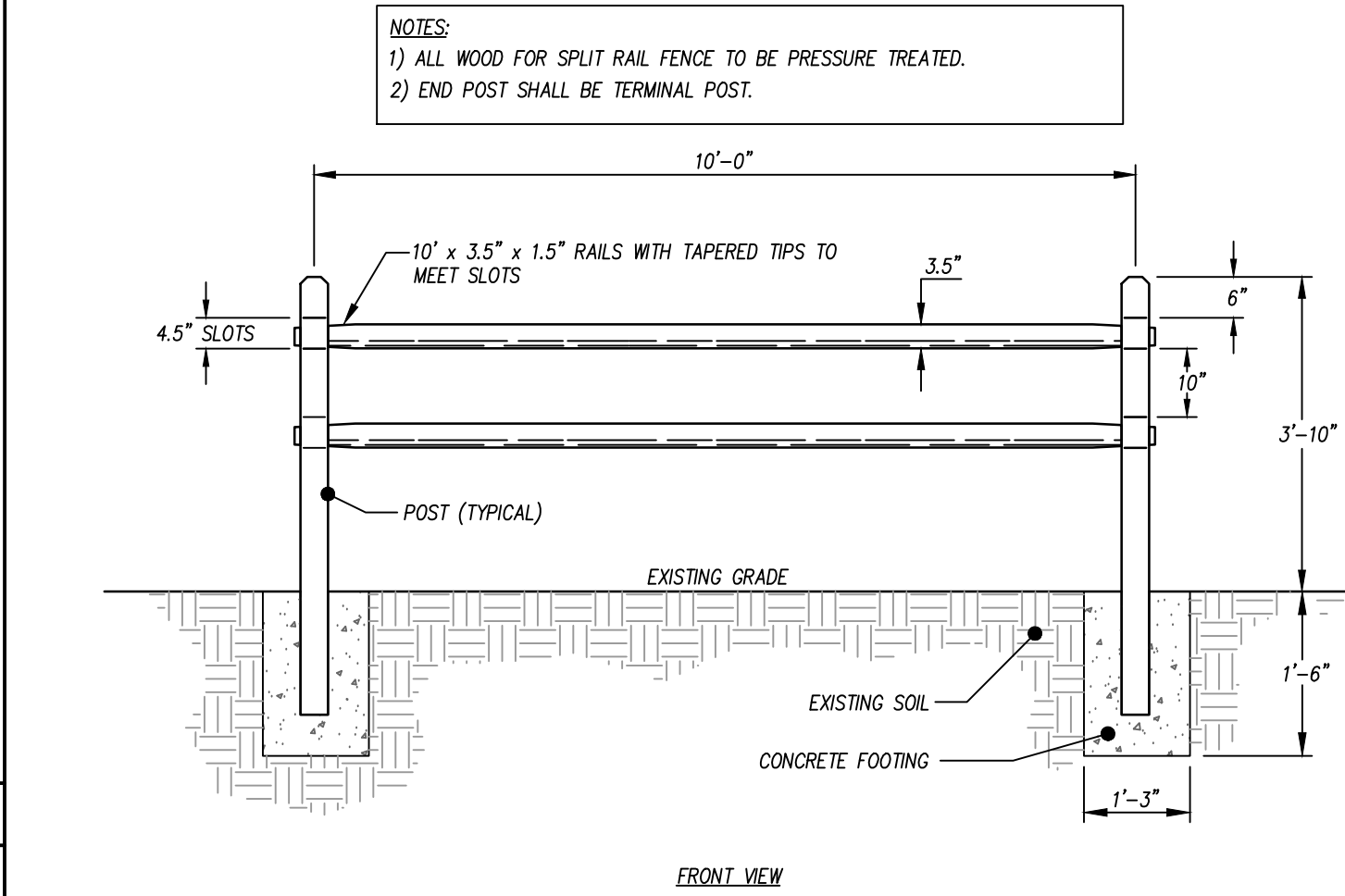


**FLAGPOLE** N.T.S.

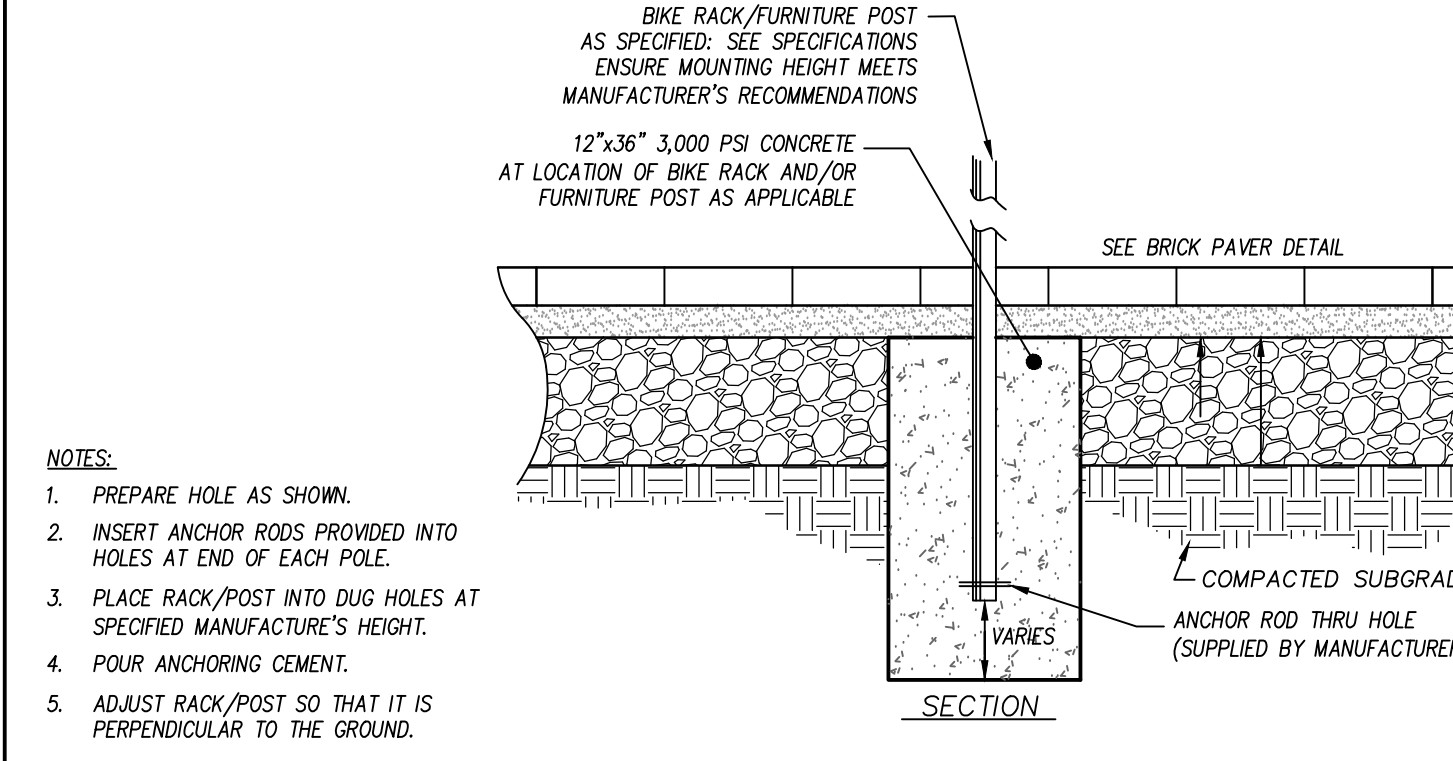
- ACCESSIBLE PARKING NOTES:**
- DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
  - REFER TO NCDOT STANDARD DETAIL 848005 FOR ADDITIONAL INFORMATION.
  - ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS.
  - WARNING DOMES COLOR AND MATERIAL SHALL CONFORM WITH LOCAL AND FEDERAL ADA STANDARDS.
  - WARNING DOMES SHALL BE INSTALLED PER PLANS OR PER LOCAL AND FEDERAL REQUIREMENTS.
  - ALL GRAPES FOR ADA STALLS AND ADA ISLE SHALL NOT EXCEED 2% IN CALL DIRECTION. SEE GRADING PLAN FOR ELEVATIONS.
  - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



**ACCESSIBLE PARKING STALL** N.T.S.



**WOODEN SPLIT RAIL FENCE** N.T.S.



**FURNITURE POST IN GROUND MOUNT WITH BRICK PAVER** N.T.S.

- NOTES:**
- PREPARE HOLE AS SHOWN.
  - INSERT ANCHOR RODS PROVIDED INTO HOLES AT END OF EACH POLE.
  - PLACE RACK/POST INTO DUG HOLES AT SPECIFIED MANUFACTURER'S HEIGHT.
  - POUR ANCHORING CEMENT.
  - ADJUST RACK/POST SO THAT IT IS PERPENDICULAR TO THE GROUND.

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

DESIGNED BY: TRO/PL  
 DRAWN BY: TRO  
 DATE: DEC 12, 2022  
 PROJECT NO: 22-150  
 FILE:  
 THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.  
 BY: TOWN ENGINEER DATE:  
 BY: ADMINISTRATOR DATE:

CLH Design, PA  
 400 Regency Forest Dr.  
 Suite 120  
 Cary, NC 27518  
 Phone: 919.319.6716  
 Fax: 919.319.7516  
 LA: C-106 PE: C-1595

DO NOT USE FOR CONSTRUCTION

SEALS

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**NEW FIRE STATION**  
 7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
**TOWN OF KNIGHTDALE**  
**22-150**

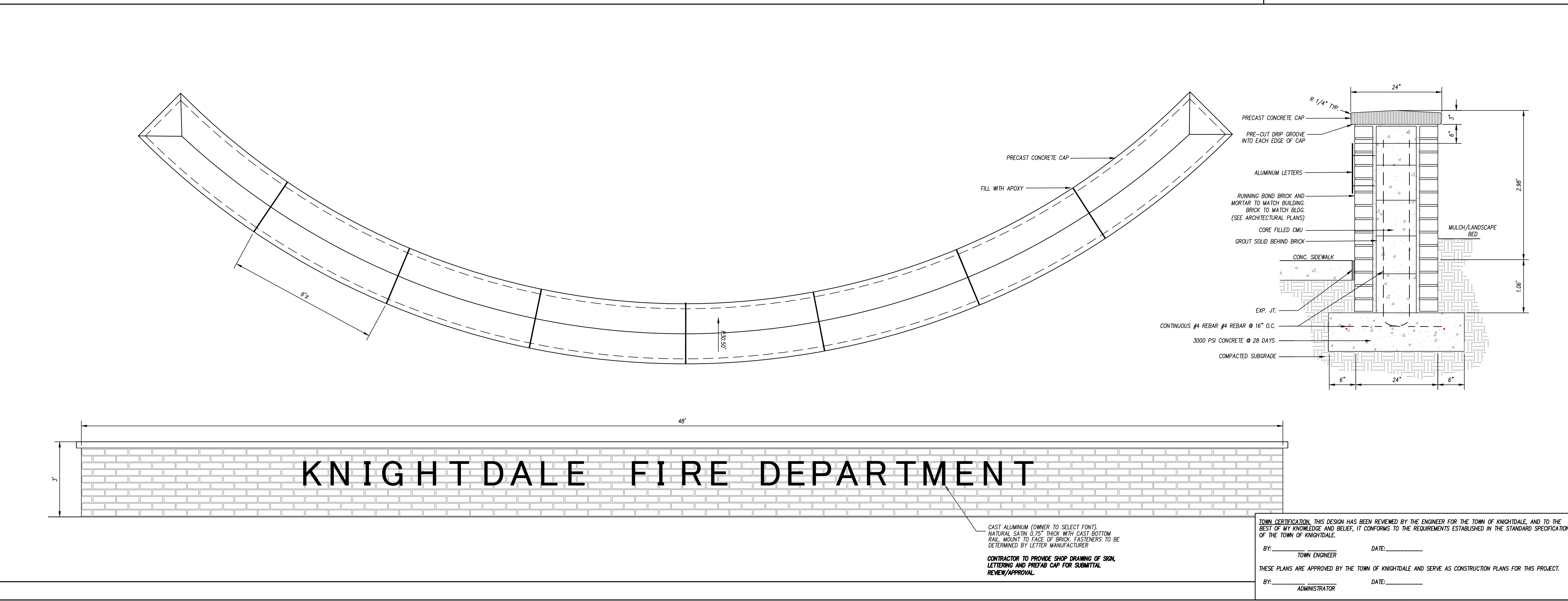
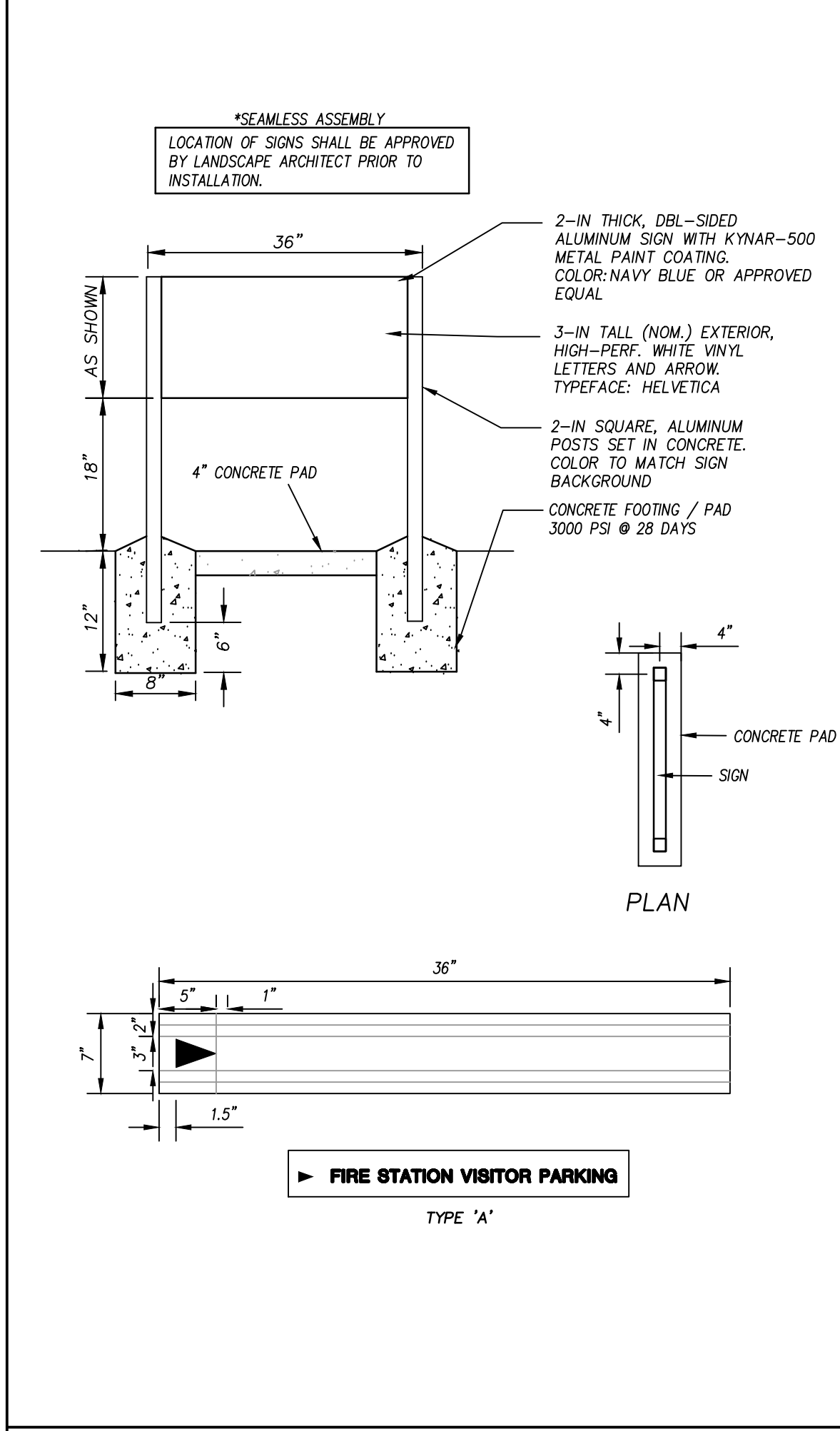
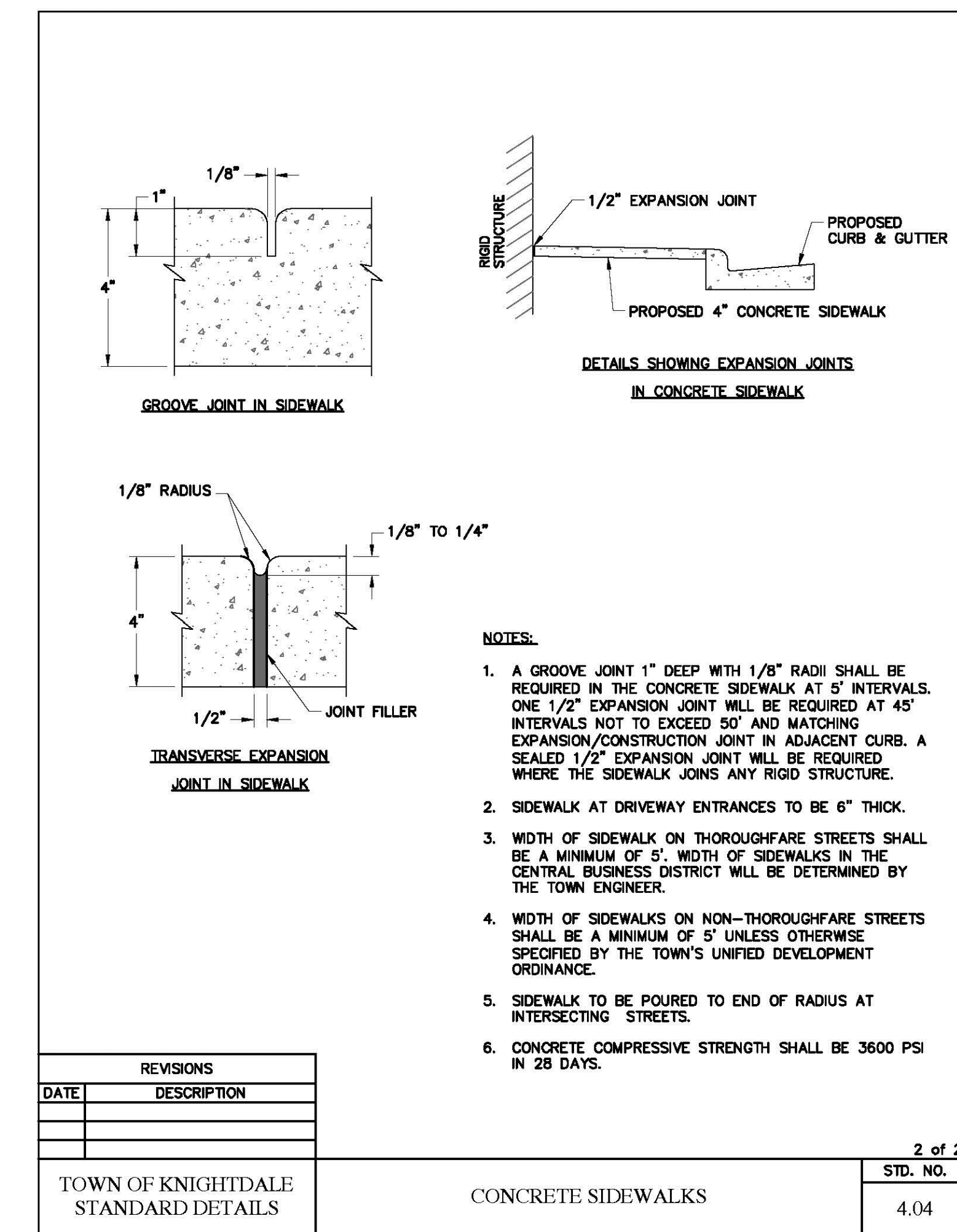
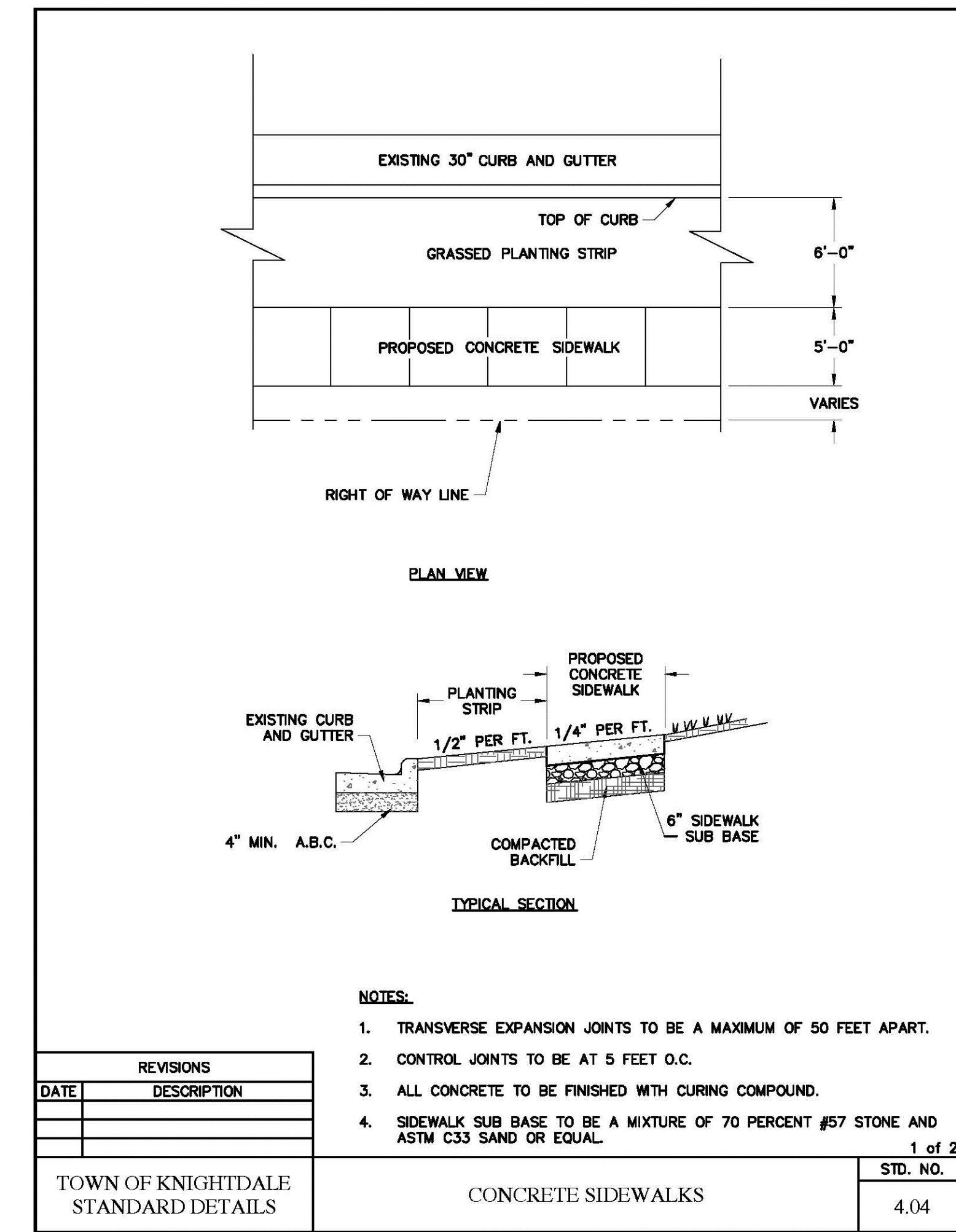
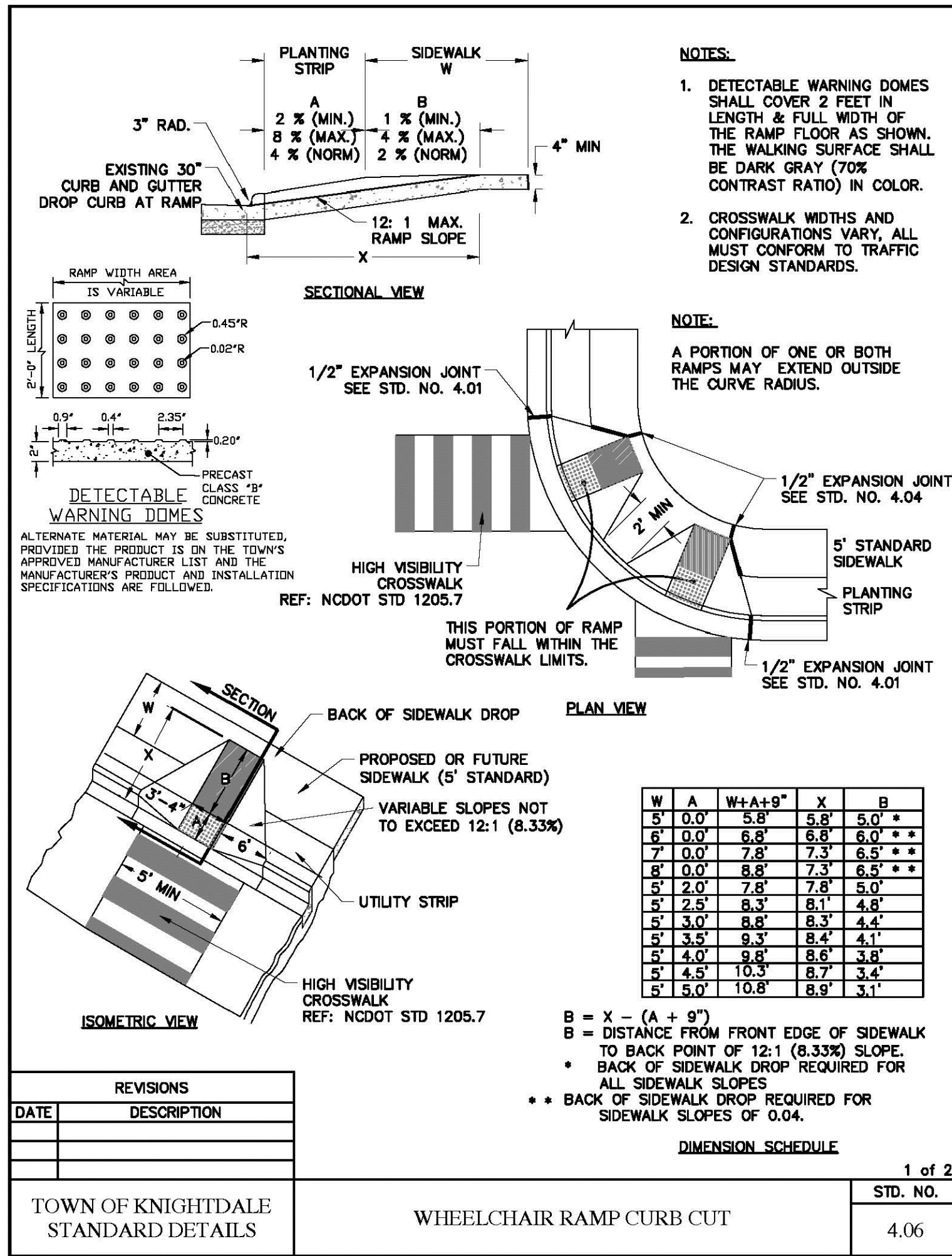
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|           |     |      |             |

DESIGNED BY: TRO/PL  
 DRAWN BY: TRO  
 DATE: DEC 12, 2022  
 PROJECT NO: 22-150  
 FILE:

**SITE DETAILS**

**C801**





DO NOT USE FOR CONSTRUCTION  
SEALS

**KNIGHTDALE FIRE STATION #1**  
NEW FIRE STATION  
7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
**TOWN OF KNIGHTDALE 22-150**

**REVISIONS**

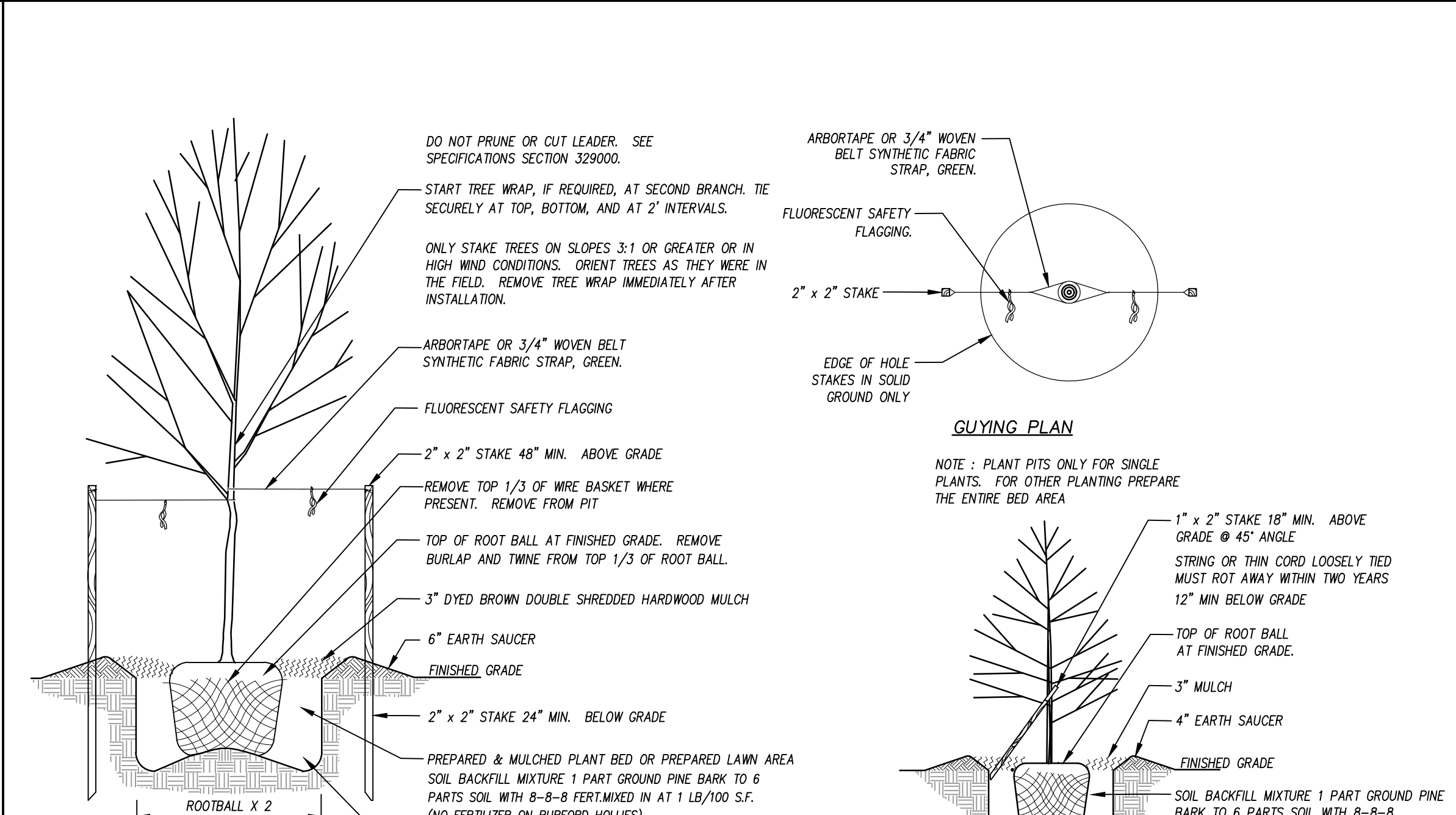
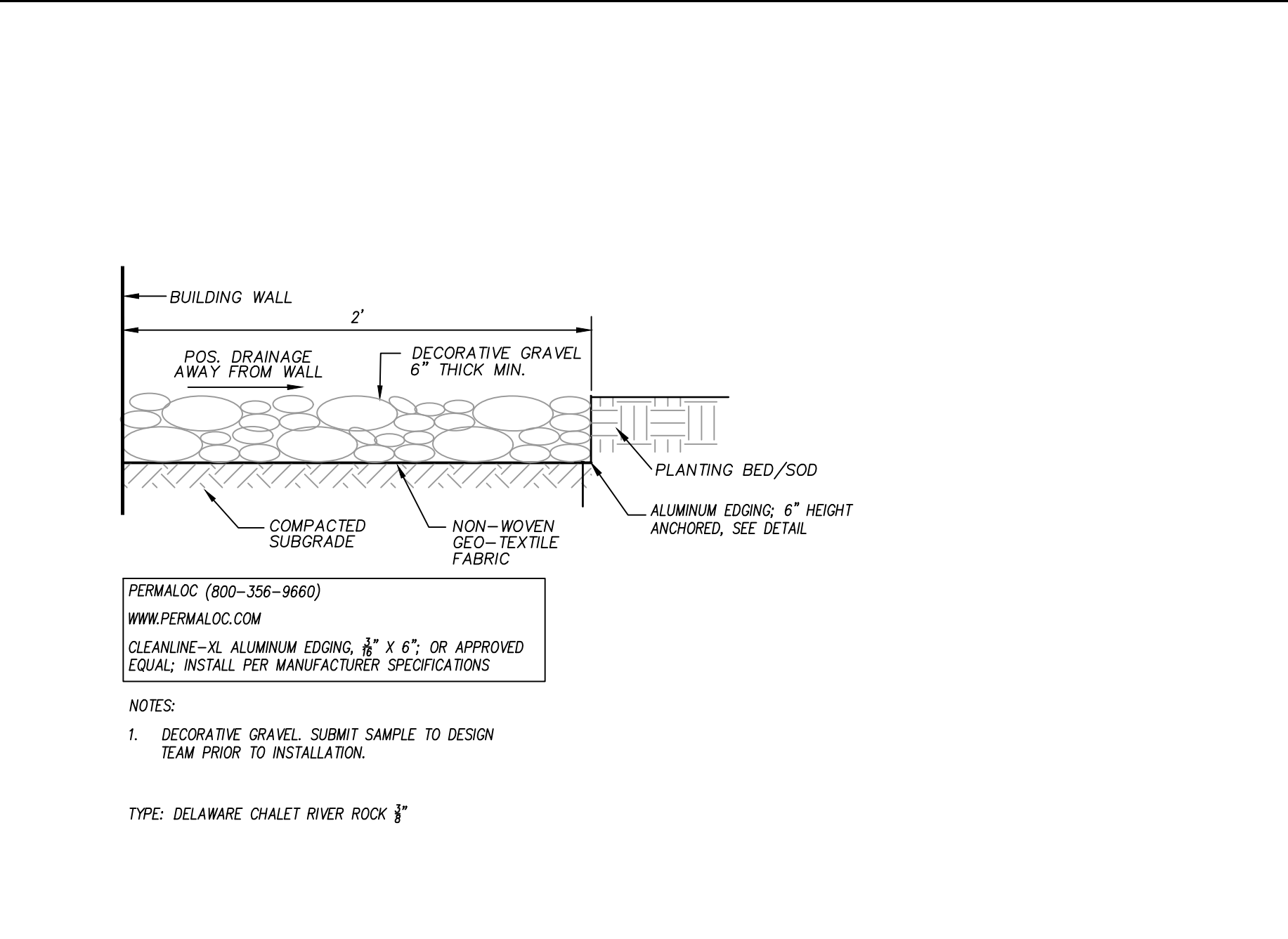
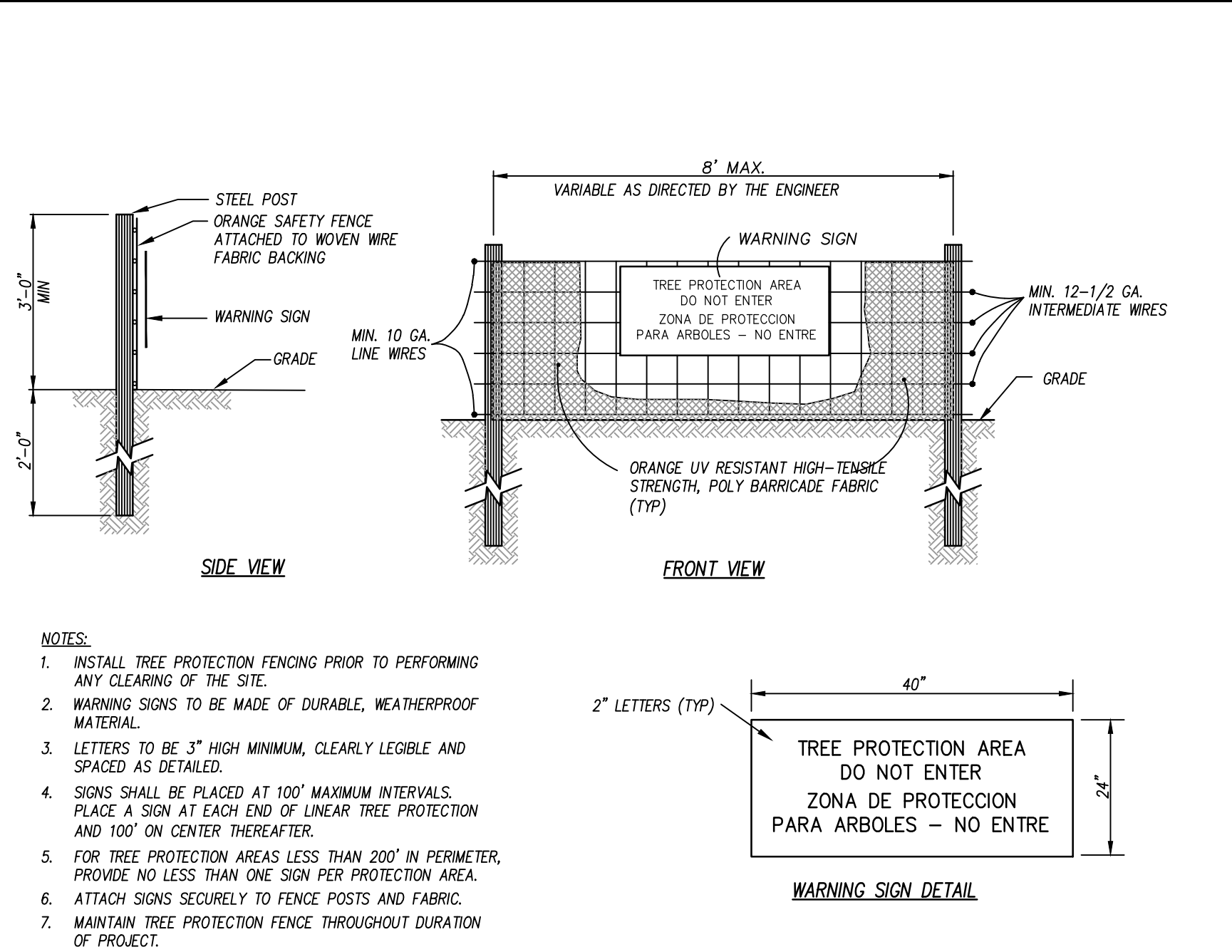
| NO. | DATE | DESCRIPTION |
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DESIGNED BY: TRO/PL  
DRAWN BY: TRO  
DATE: DEC 12, 2022  
PROJECT NO: 22-150  
FILE:

**SITE DETAILS**

**C802**





CLH Design, PA  
400 Regency Forest Dr.  
Suite 120  
Cary, NC 27518  
Phone: 919.319.6716  
Fax: 919.319.7516  
LA: C-106 PE: C-1595

DO NOT USE FOR CONSTRUCTION

SEALS

- TEMPORARY TREE PROTECTION FENCE** N.T.S.
- CHISEL ALL CUT GRADED OR COMPACTED AREAS TO A MINIMUM DEPTH OF 8"
  - DISC ALL AREAS TO RECEIVE GRASS TO A MINIMUM OF 8 INCHES, MIX AND AMEND WITH 3 INCHES OF IMPORTED TOPSOIL. REFER TO SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
  - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. CONSTRUCTION EQUIPMENT & TRAFFIC SHALL BE REMOVED PRIOR TO SEEDING.
  - APPLY AGRICULTURAL LIME, FERTILIZER, AND PHOSPHATE UNIFORMLY AS PER SPECIFICATIONS AND MIX WELL WITH SOIL.
  - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED TO A 6 INCHES DEPTH.
  - SEED AT RATE SPECIFIED. ACHIEVE AND MAINTAIN MINIMUM 95% COVERAGE PRIOR TO FINAL ACCEPTANCE, AS DETERMINED ON A PER SQUARE YARD SAMPLE BASIS.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. BEGIN THOROUGH WATERING OF GRASSED AREAS IMMEDIATELY UPON INSTALLATION. DO NOT ALLOW GRASSED AREAS TO BECOME EXCESSIVELY DRY.
  - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
  - REFER TO WRITTEN SPECIFICATIONS FOR WARRANTY AND MAINTENANCE OF LAWNS PRIOR TO OWNER'S FINAL ACCEPTANCE.
  - IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.

**PERMANENT SEEDING SCHEDULE** N.T.S.

| NURSE CROP | DATE               | TYPE  | PLANTING RATE      |
|------------|--------------------|---|--------------------|
|            | MAY 15 - AUG 15    | BROWNTOP MILLET   | 10 LBS/ACRE        |
|            | APR 15 - JULY 15** | UNHULLED SUNSTAR BERMUDA                                  | 85 LBS/ACRE*       |
|            | JULY 15 - AUG 15   | SUNSTAR BERMUDA SPRIGS (WATERING AT CONTRACTOR'S EXPENSE) |                    |
|            | AUG 15 - APR 15    | TEMPORARY SEEDING APPLIES**                               | 5 BUSHELS/1,000 SF |

\* OR AS REQUIRED TO ACHIEVE 95% COVERAGE AS DETERMINED ON A PER SQUARE YARD BASIS PRIOR TO SUBSTANTIAL COMPLETION.

\*\* WHEN SEEDING MUST TAKE PLACE OUT-OF-SEASON FOR PERMANENT GRASS, APPROPRIATE TEMPORARY SEEDING SHALL BE DONE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMANENT SEEDING AS SPECIFIED IN SEASON AT NO ADDITIONAL COST TO OWNER.

**LAWN MAINTENANCE:**  
SEE SPEC SECTION 329000 FOR LAWN MAINTENANCE REQUIREMENTS.  
LAWN MUST BE AT 95% COVERAGE AT SUBSTANTIAL COMPLETION REVIEW TO BE ACCEPTED.  
IF NOT AT 95%, SUBSTANTIAL COMPLETION WILL BE DELAYED UNTIL THE FOLLOWING GROWING SEASON.

**GRAVEL SPLASH PAD / MOW STRIP** N.T.S.

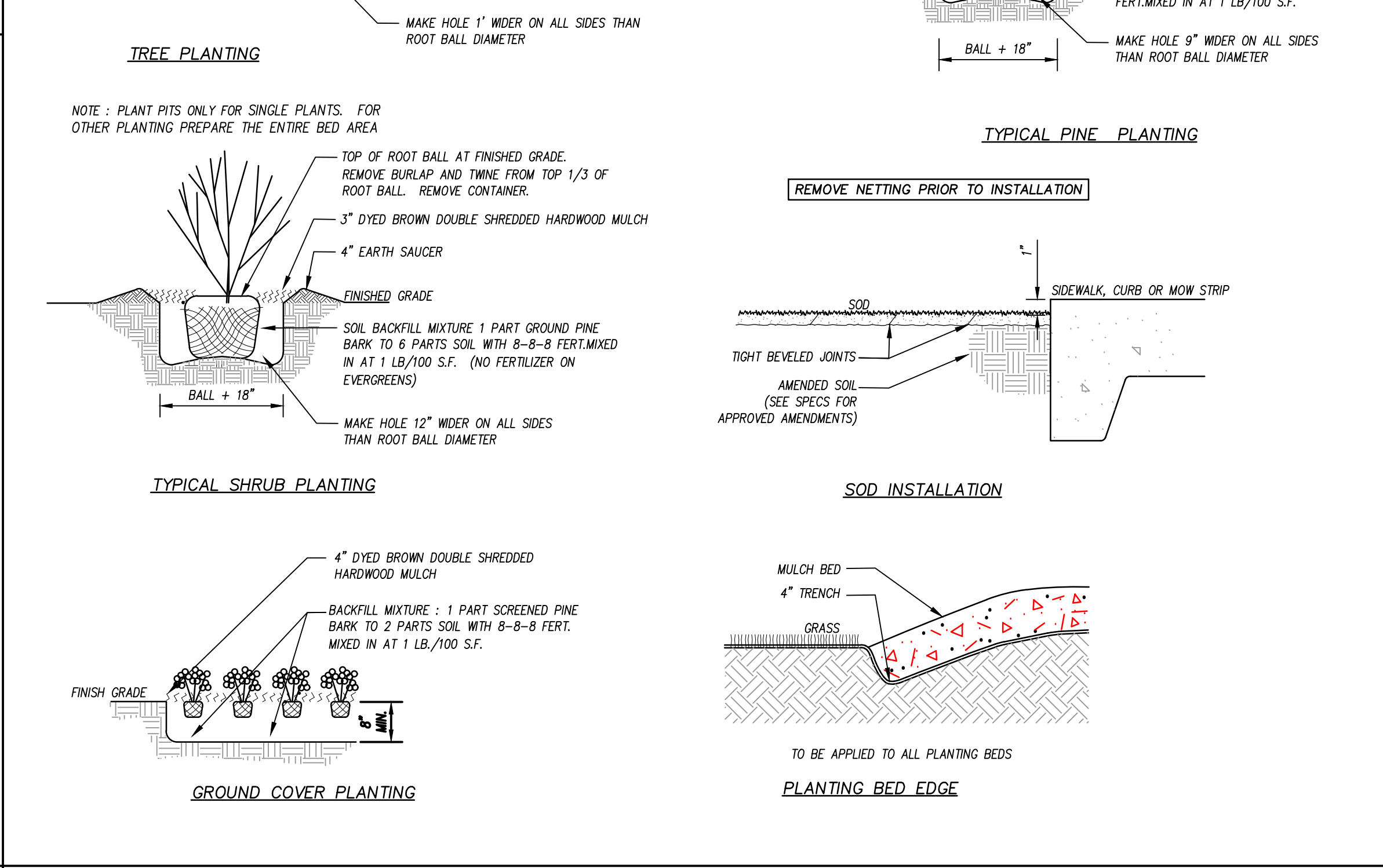
**REFORESTATION SCHEDULE - (SEEDLINGS)**

| DATE           | SEEDLINGS TO BE PLACED AT RANDOM, SPACING AT MIN 5' MAX 10' TO BE PLACED IN "NO-MOW" AREAS ONLY AS INDICATED ON LANDSCAPE SHEETS. ALL SEEDLINGS, SHALL BE TRANSPORTED, STORED AND PLANTED FOLLOWING THE STANDARDS OF THE NORTH CAROLINA FOREST SERVICE TREE PLANTING POCKET GUIDE, 8TH EDITION 2016. SEEDLINGS SHALL BE PLANTED ON A "SATISFACTORY DAY" AS BROADCAST BY THE NORTH CAROLINA FOREST SERVICE. |
|----------------|--|
| MAR 1 - JUNE 1 |  |
| OCT 1 - DEC 1  |  |

| PLANTING RATE PER ACRE       | SEEDLING SOURCE  |
|------------------------------|------------------|
| 30% PINUS ENCHINATA          | SHORT LEAF PINE  |
| 20% NYSSA SILVATICA          | BLACK GUM        |
| 10% QUERCUS ALBA 'PIEDMONT'  | WHITE OAK        |
| 10% QUERCUS RUBRA 'PIEDMONT' | NORTHERN RED OAK |
| 20% FRAXINUS AMERICANA       | WHITE ASH        |
| 10% LIRODENDRON TULIPIFERA   | TULIP TREE       |

\*\*\*PROVIDE INVOICE TO LANDSCAPE ARCHITECT UPON PLANTING

\*\*\*ALL WATERING AN MAINTENANCE SHALL BE INCLUDED IN BASE BID WORK\*\*\*



**TEMPORARY SEEDING SCHEDULE (JUNE 1 - FEB 28 EROSION CONTROL PHASE)**

| DATE            | TYPE   | PLANTING RATE                              |
|-----------------|--|--|
| AUG 15 - APR 15 | 3-WAY TALL FESCUE BLEND AND WINTER RYE (GRAIN)   | 125 LBS/ACRE<br>25 LBS/ACRE                |
| APR 15 - AUG 15 | 3-WAY TALL FESCUE BLEND AND GERMAN MILLET ***<br>OR SUDANGRASS<br>(SMALL-STEMMED VAR.) *** | 120 LBS/ACRE<br>25 LBS/ACRE<br>30 LBS/ACRE |

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

\*\*\* TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

**LIME & FERTILIZATION SCHEDULE**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY A MINIMUM 4,000 LB/ACRE (2 TONS/ACRE) GROUND AGRICULTURAL LIMESTONE IN SANDY SOILS (OR 6,000 LB/ACRE (3 TONS/ACRE) IN CLAY SOILS) AND A MINIMUM 500 LB/ACRE 10-10-10 FERTILIZER, AS NEEDED TO ESTABLISH 95% COVERAGE (AS DETERMINED ON A PER SQUARE YARD BASIS) PRIOR TO SUBSTANTIAL COMPLETION. CONTRACTOR TO SUBMIT A COPY OF ALL SOIL REPORTS TO OWNER UPON RECEIPT.

**SURFACE STABILIZATION REQUIREMENTS**

- DURING ALL PHASES OF CONSTRUCTION, GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
- FINAL PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- USE EXCELSIOR MATTING OR OTHER APPROVED CHANNEL LINING MATERIAL TO COVER THE BOTTOM OF CHANNELS.
- APPLY 4000 LB/ACRE (2 TONS LB/AC) GRAIN STRAW OVER SEEDED AREAS AND ANCHOR STRAW CRIMPING WITH HAND OR MECHANICAL CRIMPER 8" MAX. SPACING. ASPHALT TACKING OR OTHER APPROVED METHOD. ASPHALT TACKING SHALL BE 400 GAL/ACRE (9 GAL/1000 SF).
- MULCH AND ANCHORING MATERIALS MUST NOT BE ALLOWED TO WASH DOWN SLOPES AND CLOG DRAINAGE DEVICES.

**KNIGHTDALE FIRE STATION #1**  
NEW FIRE STATION  
7477 FORESTVILLE ROAD KNIGHTDALE, NC 27545  
TOWN OF KNIGHTDALE  
22-150

| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|------|-------------|
|           |     |      |             |

DESIGNED BY: TRO/PL  
DRAWN BY: TRO  
DATE: DEC 12, 2022  
PROJECT NO: 22-150  
FILE:

**SITE DETAILS**

TOWN CERTIFICATION: THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ADMINISTRATOR

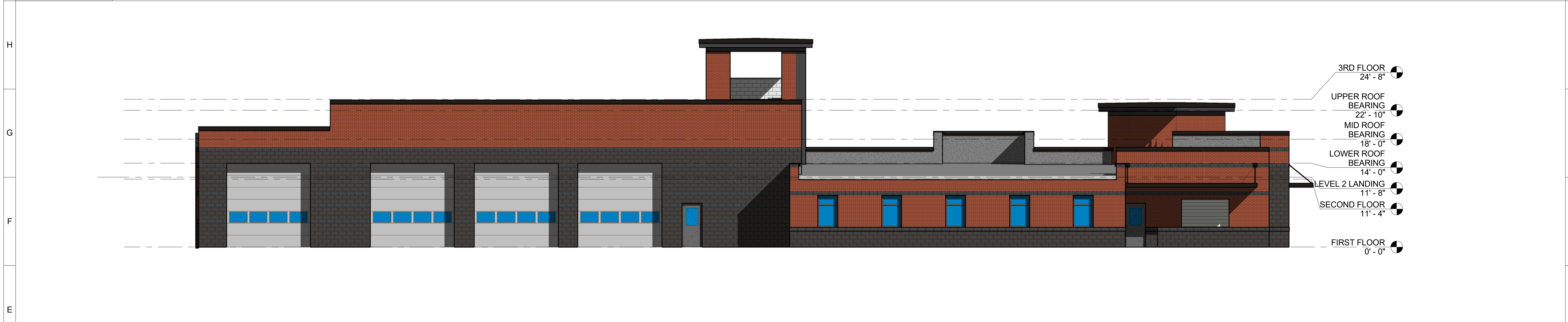
**C803**





1J SOUTH ELEVATION

1/8" = 1'-0"



1E NORTH ELEVATION

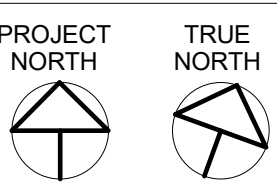
1/8" = 1'-0"



1A WEST ELEVATION

1/8" = 1'-0"

**PRELIMINARY**  
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NOT FOR CONSTRUCTION



**KNIGHTDALE FIRE STATION #1**

Enter address here  
Project Number: JAC-22047

**DUNN & DALTON**  
ARCHITECTS

401 North Heritage Street  
Kinston, North Carolina 28501  
p. 252-527-1523 | f. 252-527-0049

| Issue Date: |             | Issue Date |
|-------------|-------------|------------|
| Revisions:  |             |            |
| No.         | Description | Date       |
|             |             |            |

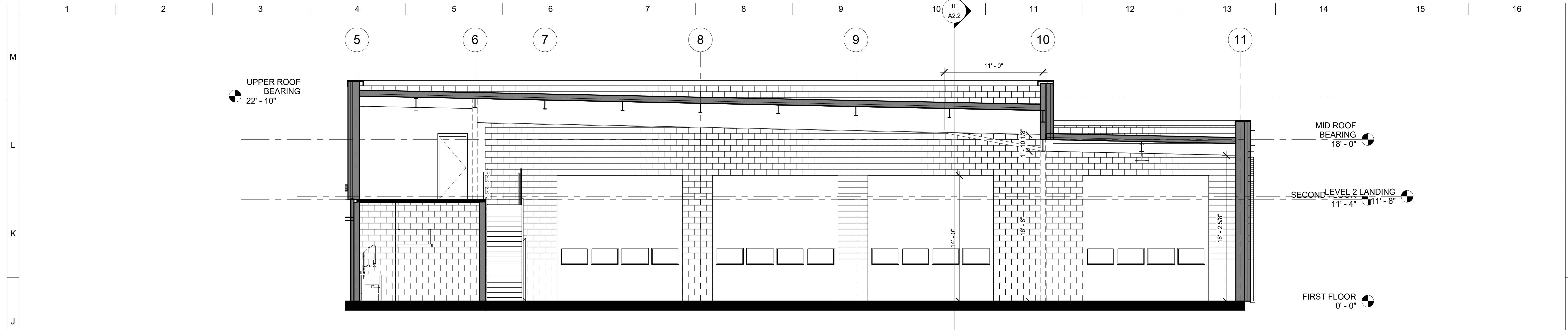
EXTERIOR ELEVATIONS

**A2.1**

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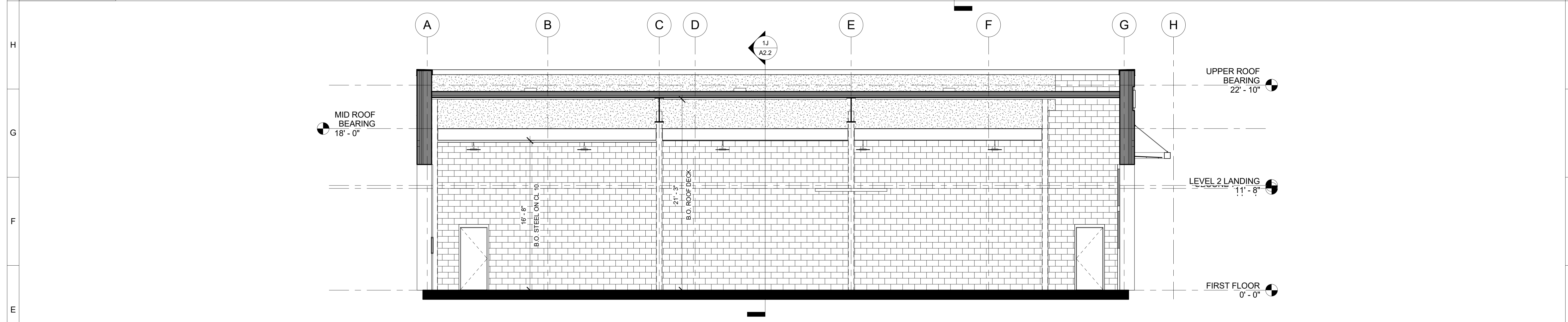
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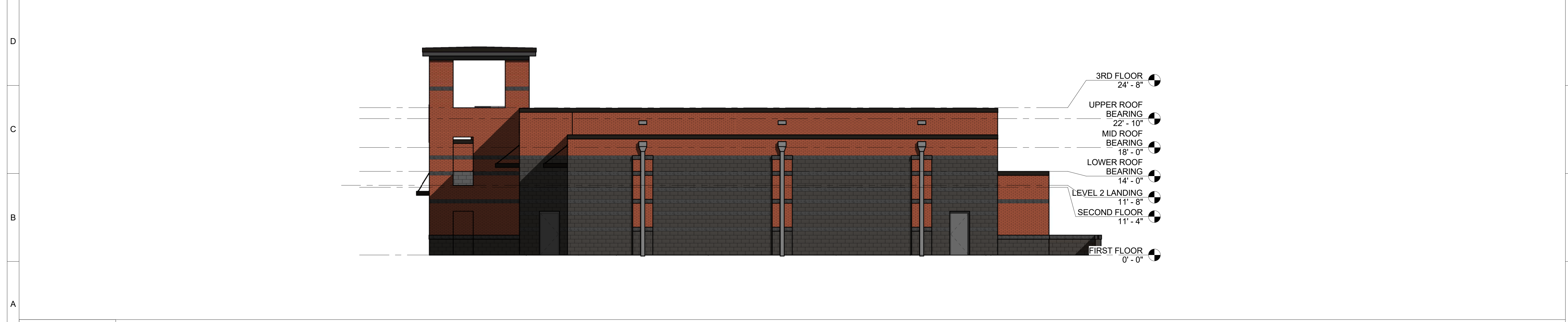
1J APPARATUS BAY SECTION E/W

3/16" = 1'-0"



1E APPARATUS BAY SECTION N/S

3/16" = 1'-0"



1A EAST ELEVATION

1/8" = 1'-0"

PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

PROJECT NORTH  
TRUE NORTH

KNIGHTDALE FIRE STATION #1

401 North Heritage Street  
Kinston, North Carolina 28501  
p. 252-527-1523 | f. 252-527-0049

DUNN & DALTON  
ARCHITECTS

| No. | Description | Date |
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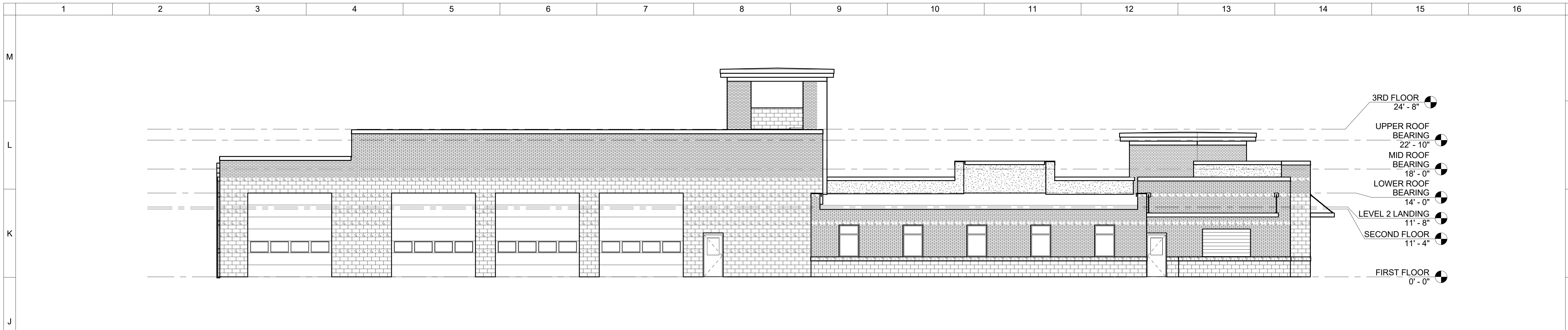
EXTERIOR ELEVATIONS

A2.2

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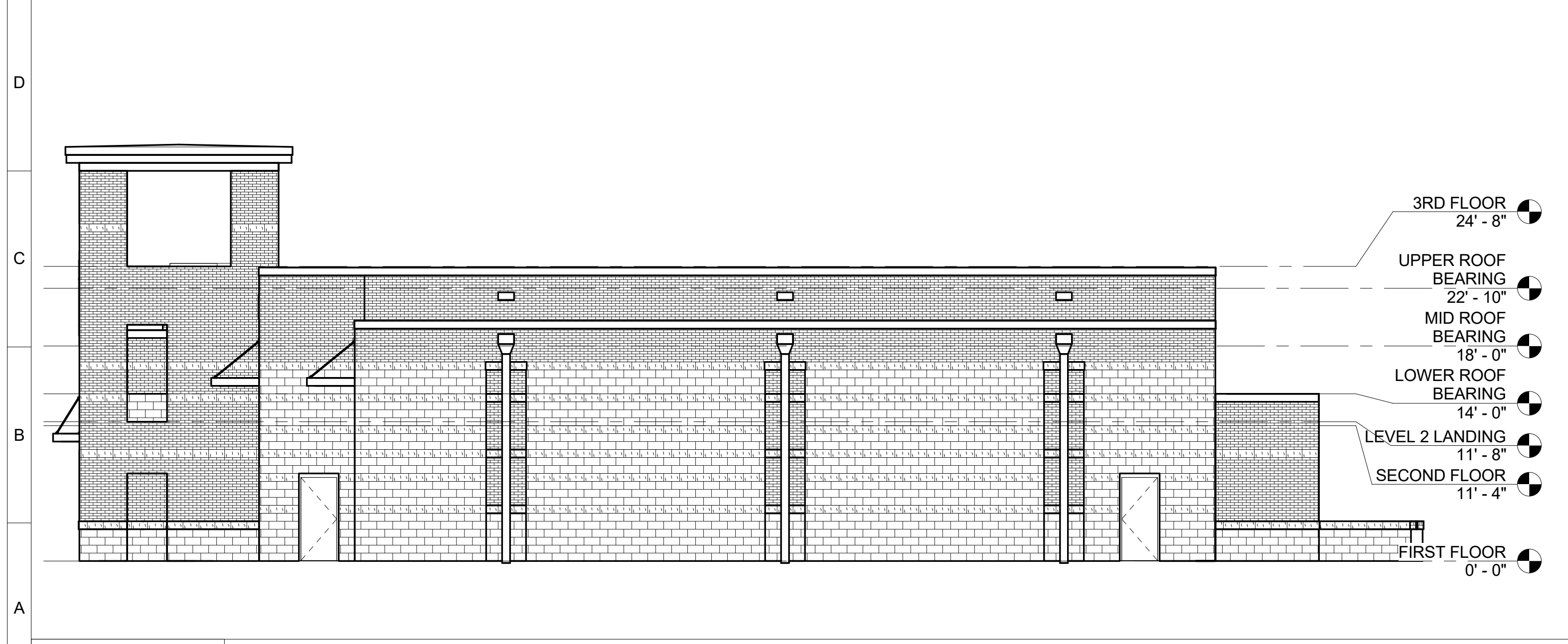
- 3RD FLOOR 24' - 8"
- UPPER ROOF BEARING 22' - 10"
- MID ROOF BEARING 18' - 0"
- LOWER ROOF BEARING 14' - 0"
- LEVEL 2 LANDING 11' - 8"
- SECOND FLOOR 11' - 4"
- FIRST FLOOR 0' - 0"

**1J** NORTH ELEVATION  
1/8" = 1'-0"



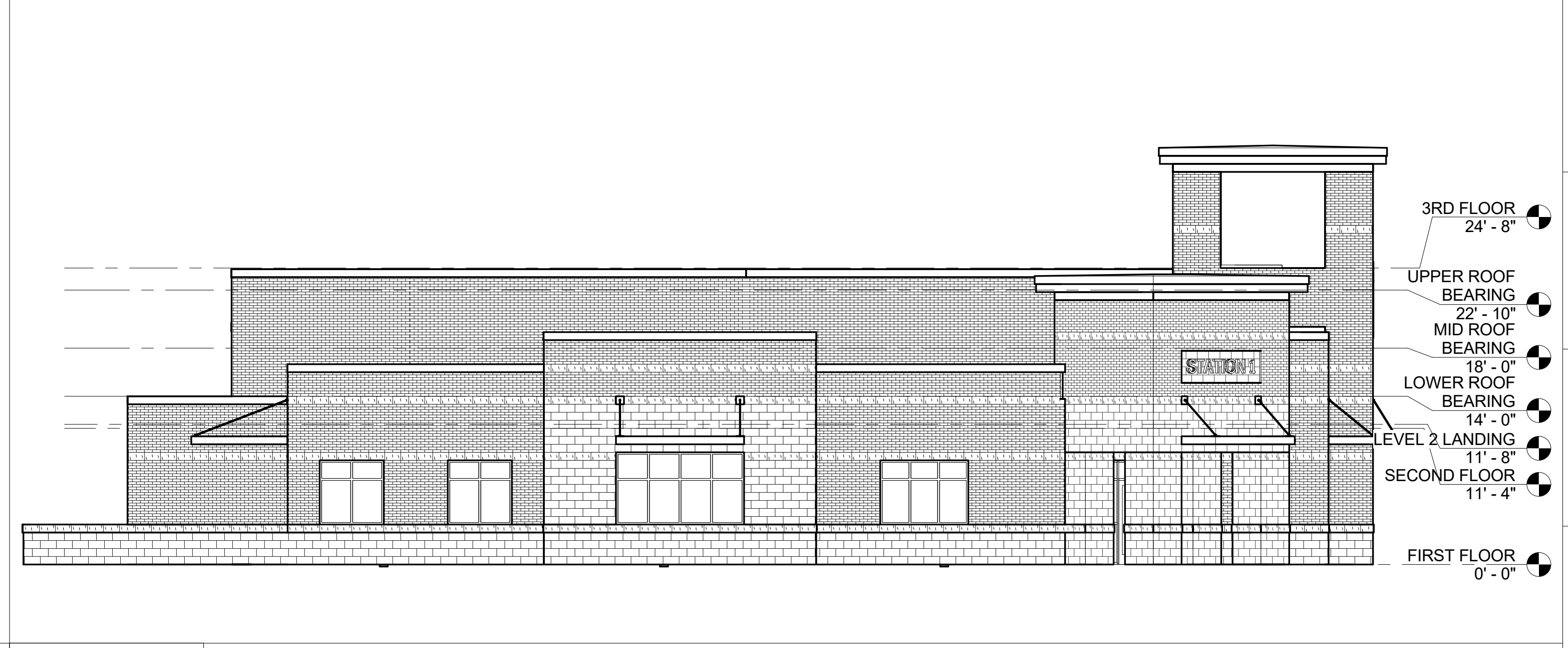
- 3RD FLOOR 24' - 8"
- UPPER ROOF BEARING 22' - 10"
- MID ROOF BEARING 18' - 0"
- LOWER ROOF BEARING 14' - 0"
- LEVEL 2 LANDING 11' - 8"
- SECOND FLOOR 11' - 4"
- FIRST FLOOR 0' - 0"

**1E** SOUTH ELEVATION  
1/8" = 1'-0"



- 3RD FLOOR 24' - 8"
- UPPER ROOF BEARING 22' - 10"
- MID ROOF BEARING 18' - 0"
- LOWER ROOF BEARING 14' - 0"
- LEVEL 2 LANDING 11' - 8"
- SECOND FLOOR 11' - 4"
- FIRST FLOOR 0' - 0"

**1A** EAST ELEVATION  
1/8" = 1'-0"



- 3RD FLOOR 24' - 8"
- UPPER ROOF BEARING 22' - 10"
- MID ROOF BEARING 18' - 0"
- LOWER ROOF BEARING 14' - 0"
- LEVEL 2 LANDING 11' - 8"
- SECOND FLOOR 11' - 4"
- FIRST FLOOR 0' - 0"

**9A** WEST ELEVATION  
1/8" = 1'-0"

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

PROJECT NORTH TRUE NORTH

**KNIGHTDALE FIRE STATION #1**

Enter address here  
Project Number: JAC-22047

401 North Heritage Street  
Kinston, North Carolina 28501  
p. 252-527-1523 | f. 252-527-0049

**DUNN & DALTON**  
ARCHITECTS

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |

Issue Date:    Issue Date  
Revisions:

BUILDING ELEVATIONS

**A2.3**

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