

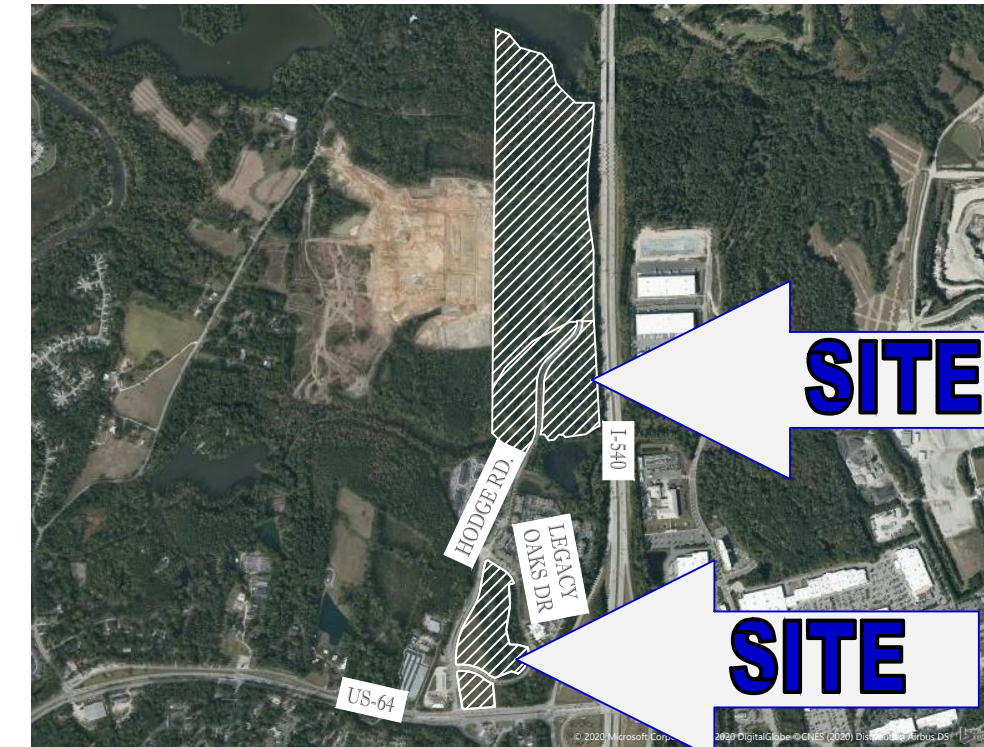
# SKETCH PLANS FOR LEGACY OAKS MIXED-USE DEVELOPMENT

## LOCATION OF SITE

0 HODGE RD, KNIGHTDALE, NC, 27604

WAKE COUNTY

PARCEL NUMBER: 1744243939, 1744255603, 1744383153,  
1744288141, 1745209095



SCALE: 1" = 2000'



LOT COUNT	
SINGLE FAMILY LOTS >60' WIDTH	98
SINGLE FAMILY LOTS <60' WIDTH	91
TOWNHOMES	149

PUBLIC STREET QUANTITIES	
LOCAL STREET (LF)	10,941
ALLEY (LF)	5,385

SITE DATA																
SITE AREA (AC.)	PIN# 1744243939: ±2.783 AC PIN# 1744255603: ±11.707 AC PIN# 1744288141: ±11.691 AC PIN# 1744383153: ±12.237 AC PIN# 1745209095: ±66.514 AC Total = ±104.93 AC															
ZONING:	HB, GR-B, UR12, NMX															
EX. LAND USE:	VACANT															
PROP. LAND USE:	PUD															
WATERSHED:	NEUSE RIVER BASIN															
FIRM MAP DATE:	05/02/2006															
FIRM MAP NUMBER:	#3720174400J & #3720174500J															
FLOODPLAIN:	NOT IN FLOODPLAIN															
PROPOSED # OF LOTS:	338 (189 HOUSE, 149 TOWNHOUSE)															
PROPOSED DENSITY:	DUA															
PROPOSED MINIMUM LOT SIZE:	3,500 SF (HOUSE), 1,100 SF (TOWNHOUSE)															
AVERAGE LOT SIZE (TOWNHOME):	1,525 SF															
AVERAGE LOT SIZE (HOUSE):	6,010 SF															
PROPOSED MINIMUM LOT WIDTH:	30 FT (HOUSE), 20 FT (TOWNHOUSE)															
SETBACKS:	<table border="0"> <tr> <td>FROM STREET RIGHT-OF-WAY (FRONT):</td> <td>HOUSE</td> <td>TOWNHOUSE</td> </tr> <tr> <td>SIDEYARD:</td> <td>10</td> <td>N/A</td> </tr> <tr> <td>REARYARD:</td> <td>25</td> <td>10' BETWEEN BLDG.</td> </tr> <tr> <td>REARYARD FROM ALLEY:</td> <td>20' FROM ALLEY CL</td> <td>15' FROM ALLEY CL</td> </tr> <tr> <td>MAX BUILDING HEIGHT:</td> <td>3 STORIES</td> <td>3 STORIES</td> </tr> </table>	FROM STREET RIGHT-OF-WAY (FRONT):	HOUSE	TOWNHOUSE	SIDEYARD:	10	N/A	REARYARD:	25	10' BETWEEN BLDG.	REARYARD FROM ALLEY:	20' FROM ALLEY CL	15' FROM ALLEY CL	MAX BUILDING HEIGHT:	3 STORIES	3 STORIES
FROM STREET RIGHT-OF-WAY (FRONT):	HOUSE	TOWNHOUSE														
SIDEYARD:	10	N/A														
REARYARD:	25	10' BETWEEN BLDG.														
REARYARD FROM ALLEY:	20' FROM ALLEY CL	15' FROM ALLEY CL														
MAX BUILDING HEIGHT:	3 STORIES	3 STORIES														
PASSIVE OPEN SPACE PROVIDED:	7.43 AC															
ACTIVE OPEN SPACE PROVIDED:	2.13 AC															

Sheet List Table	
Sheet Number	Sheet Title
C-101	COVER SHEET
C-102	GENERAL NOTES
C-201	OVERALL EXISTING CONDITIONS & DEMO PLAN
C-202	EXISTING CONDITIONS & DEMOLITION PLAN AREA A
C-203	EXISTING CONDITIONS & DEMOLITION PLAN AREA B
C-204	EXISTING CONDITIONS & DEMOLITION PLAN AREA C
C-205	EXISTING CONDITIONS & DEMOLITION PLAN AREA D
C-301	OVERALL SITE PLAN
C-302	SITE PLAN AREA A
C-303	SITE PLAN AREA B
C-304	SITE PLAN AREA C
C-305	SITE PLAN AREA D
C-306	VEHICULAR MOVEMENT PLAN AREA A
C-401	OVERALL STORMWATER MANAGEMENT PLAN
C-402	STORMWATER MANAGEMENT PLAN AREA A
C-403	STORMWATER MANAGEMENT PLAN AREA B
C-404	STORMWATER MANAGEMENT PLAN AREA C
C-405	STORMWATER MANAGEMENT PLAN AREA D
C-501	OVERALL UTILITY PLAN
C-502	UTILITY PLAN AREA A
C-503	UTILITY PLAN AREA B
C-504	UTILITY PLAN AREA C
C-505	UTILITY PLAN AREA D
C-601	ELEVATIONS

## CONTACT INFORMATION

### REFERENCES

**SURVEY:**  
"BOUNDARY AND TOPOGRAPHIC SURVEY"  
PREPARED BY BOHLER  
PROJECT NO. NS192019  
DATED: 10/17/2019

**WETLAND AND STREAM REPORT:**  
"BUFFER DETERMINATION LETTER"  
PREPARED BY S&EC  
PROJECT NO. #606.W12  
DATED: 01/20/2020

**ENVIRONMENTAL SURVEY:**  
"LEGACY OAKS ENVIRONMENTAL SURVEY"  
PREPARED BY THREE OAKS ENGINEERING  
PROJECT NO. 20-600  
DATED: 01/01/2020

### GOVERNING AGENCIES

**TOWN OF KNIGHTDALE - DEVELOPMENT**  
900 STEEPLE SQUARE CT.  
KNIGHTDALE, NC 27545  
PHONE: (919) 217-2200

**TOWN OF KNIGHTDALE - PUBLIC WORKS**  
1102 GREAT FALLS CT.  
KNIGHTDALE, NC 27545  
PHONE: (919) 217-2250

**NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT)**  
1 S. WILMINGTON ST.  
RALEIGH, NC 27601  
PHONE: (919) 368-4068

### GENERAL NOTES:

- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. BASED ON FEMA FIRM MAPS #3720174400J & #3720174500J DATED 5/2/2006.
- THERE ARE BUFFERED STREAMS, PONDS, AND A LAKE ON THE SITE PER DELINEATION OF STREAMS AND WETLANDS BY S&EC, PERFORMED ON 01/20/2020.
- ALL CONSTRUCTION SHOULD BE DONE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.

## UTILITY SERVICE CONTACTS

SERVICE	UTILITY / GOVERNING AGENCY
WATER/SEWER	RALEIGH PUBLIC UTILITIES 1 EXCHANGE PLAZA RALEIGH, NC 27601 (919) 996-3245
ELECTRIC	DUKE ENERGY 411 FAYETTEVILLE ST RALEIGH, NC 27601 (800) 452-2777

## OWNER

STC CAPPROP EAT LLC  
PO BOX 19001  
RALEIGH, NC 27619-9001

## PREPARED BY

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
NCELS P-1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

## DEVELOPER

SHENANDOAH HOMES  
3724 NATIONAL DRIVE SUITE 220  
RALEIGH, NC 27612

CONTACT: STEVEN KEIDEL -  
SKEIDEL@BOHLERENG.COM

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

### REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	200827	PER TOWN COMMENTS	TGH SJK



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### FOR CONCEPT PURPOSES ONLY

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PROJECT No.: NCR194000  
DRAWN BY: TGH  
CHECKED BY: SJK  
DATE: 03/17/2020  
CAD ID:

### PROJECT:

### SKETCH PLANS

FOR  
**LEGACY OAKS**  
SHENANDOAH HOMES

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE#: / TR#:

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
NCELS P-1132

4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com



### SHEET TITLE:

COVER SHEET

### SHEET NUMBER:

C-101

REVISION 1 - 200827

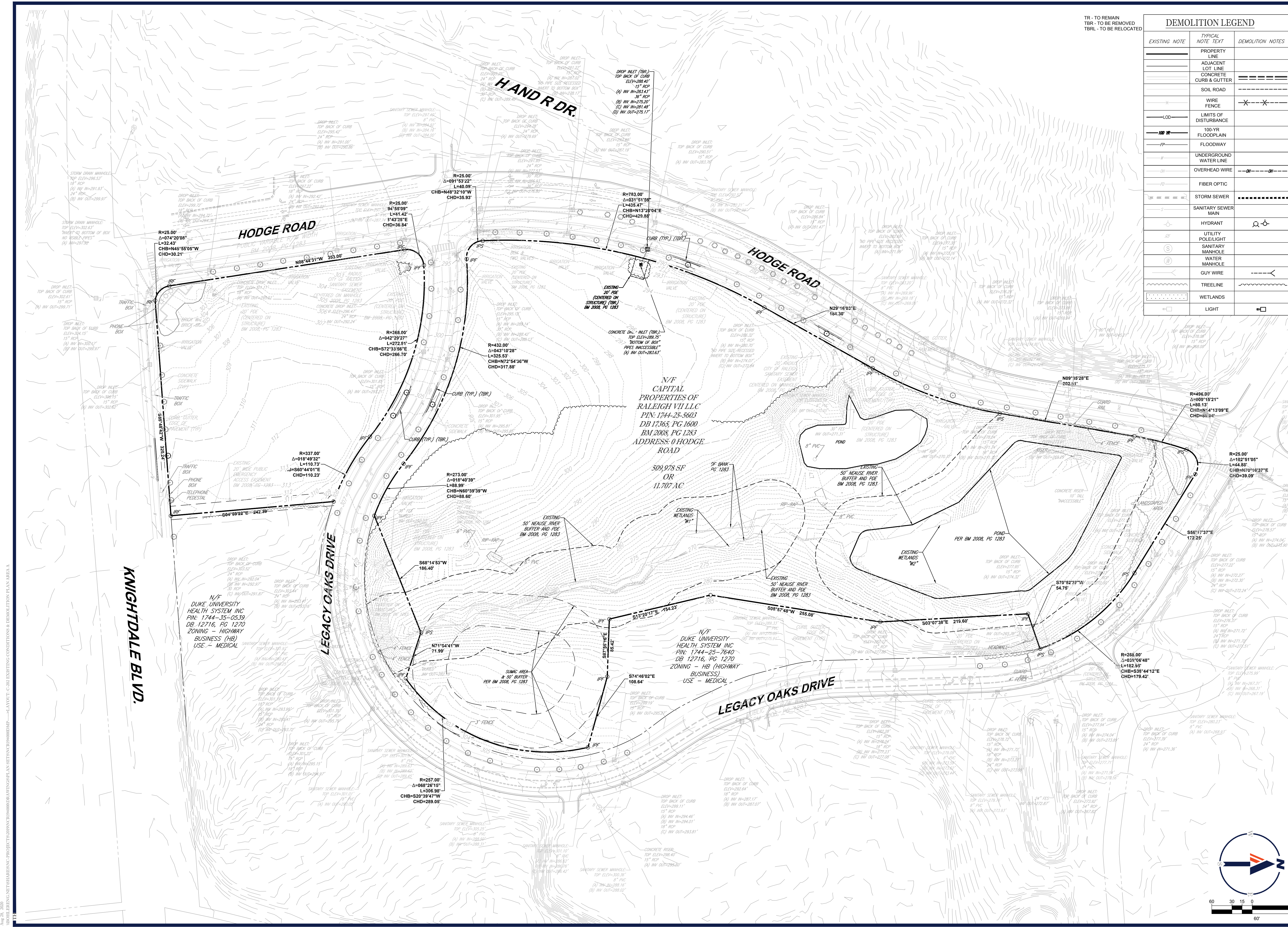












TR - TO REMAIN  
 TBR - TO BE REMOVED  
 TBLR - TO BE RELOCATED

EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	=====
---	SOIL ROAD	-----
---	WIRE FENCE	---X---X---
---	LIMITS OF DISTURBANCE	
---	100-YR FLOODPLAIN	
---	FLOODWAY	
---	UNDERGROUND WATER LINE	
---	OVERHEAD WIRE	---  ---  ---
---	FIBER OPTIC	
---	STORM SEWER	-----
---	SANITARY SEWER MAIN	-----
---	HYDRANT	⊕
---	UTILITY POLE/LIGHT	⊕
---	SANITARY MANHOLE	⊕
---	WATER MANHOLE	⊕
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---
---	LIGHT	⊕

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 LANDSCAPE ARCHITECTURE  
 PRELIMINARY DESIGN  
 TRANSPORTATION SERVICES

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			SJK

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 PROJECT No.: NCR194000  
 DRAWN BY: TGH  
 CHECKED BY: SJK  
 DATE: 03/17/2020  
 CAD I.D.:  
 PROJECT:

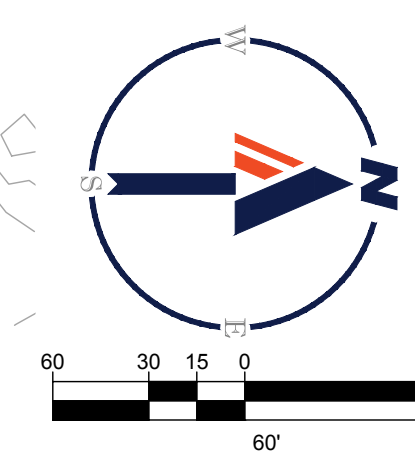
**SKETCH PLANS**  
 FOR  
**LEGACY OAKS**  
**SHENANDOAH HOMES**

0 HODGE RD  
 KNIGHTDALE, NC 27640  
 WAKE COUNTY  
 CASE#: / TR#:

**BOHLER**  
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 NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL SEAL  
 Steven J. Keiser  
 8-27-20

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN AREA A**  
 SHEET NUMBER:  
**C-202**  
 REVISION 1 - 200827

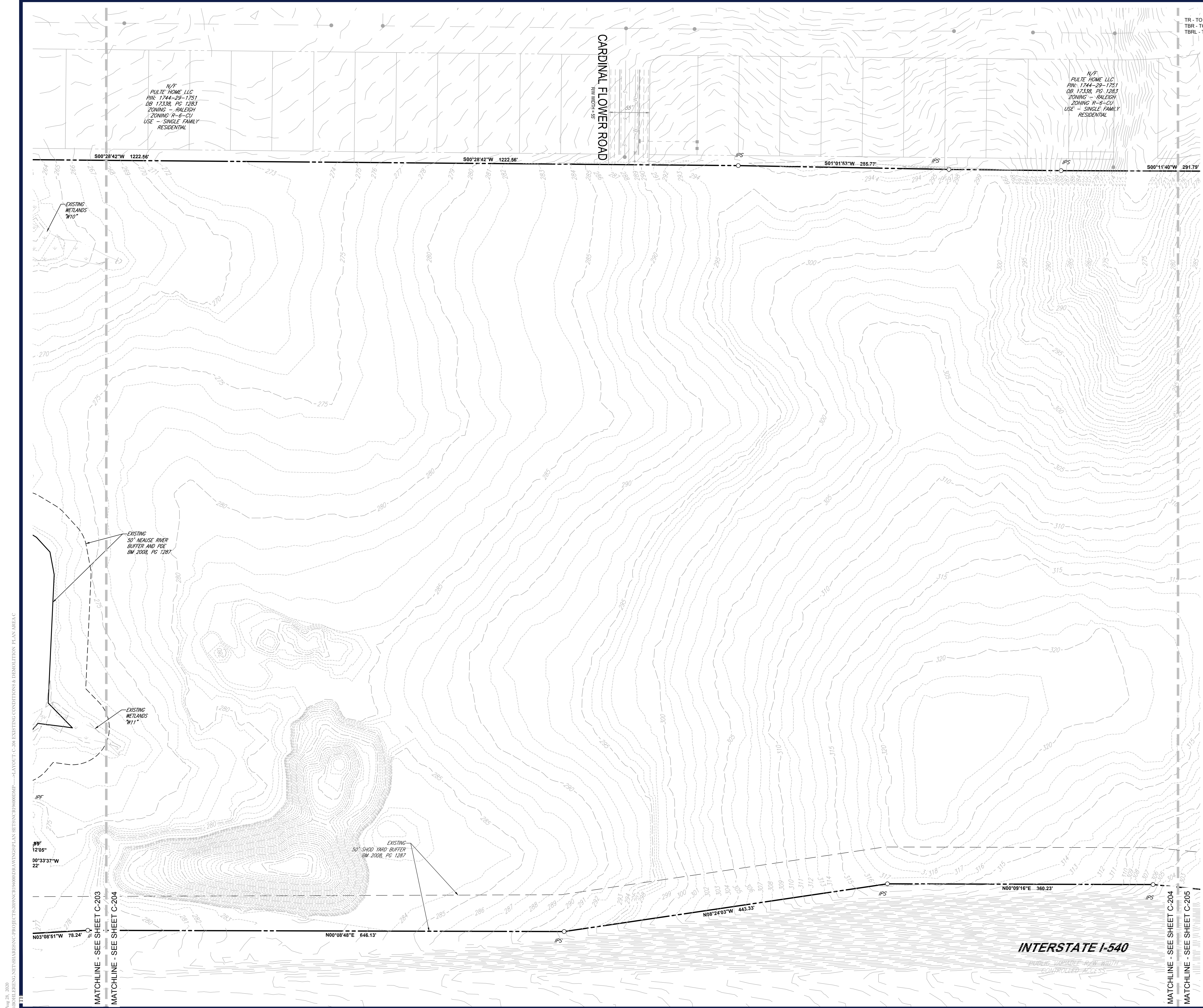


DATE: 03/17/2020  
 PROJECT: BOHLER ENGINEERING NC, PLLC  
 DRAWING: EXISTING CONDITIONS & DEMOLITION PLAN AREA A  
 LAYOUT: C-202 EXISTING CONDITIONS & DEMOLITION PLAN AREA A









TR - TO REMAIN  
 TBR - TO BE REMOVED  
 TBLR - TO BE RELOCATED

DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	=====
---	SOIL ROAD	-----
*	WIRE FENCE	*---*
LOD	LIMITS OF DISTURBANCE	
100 YR	100-YR FLOODPLAIN	
FP	FLOODWAY	
---	UNDERGROUND WATER LINE	
---	OVERHEAD WIRE	---O---O---
---	FIBER OPTIC	
---	STORM SEWER	-----
---	SANITARY SEWER MAIN	-----
⊙	HYDRANT	⊙
⊙	UTILITY POLE/LIGHT	⊙
⊙	SANITARY MANHOLE	⊙
⊙	WATER MANHOLE	⊙
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---
⊞	LIGHT	⊞

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REVISIONS			
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PROJECT No.:	NCR194000
DRAWN BY:	TGH
CHECKED BY:	SJK
DATE:	03/17/2020
CAD ID:	

PROJECT:

**SKETCH PLANS**

FOR

**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
 KNIGHTDALE, NC 27604  
 WAKE COUNTY  
 CASE#: / TR#:

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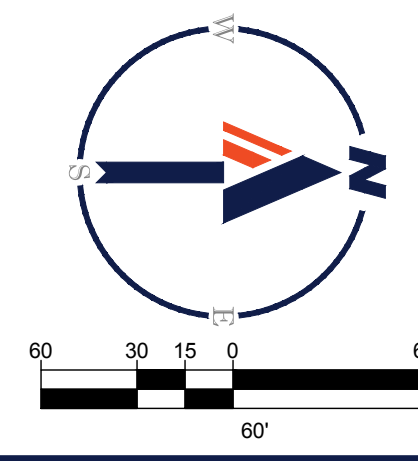
**NORTH CAROLINA PROFESSIONAL SEAL**

SEAL  
 ENGINEER  
 SEVEN J. KEIDLER  
 4-27-20

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN AREA C**

SHEET NUMBER:  
**C-204**

REVISION 1 - 200827



Aug 28, 2020  
 BOHLERENGINEERINGNC\PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000\DMT...-LAYOUT\_C-204\_EXISTING CONDITIONS & DEMOLITION PLAN AREA C





TR - TO REMAIN  
TBR - TO BE REMOVED  
TBLR - TO BE RELOCATED

DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
	CONCRETE CURB & GUTTER	
---	SOIL ROAD	
X-X-X-X	WIRE FENCE	
---	LIMITS OF DISTURBANCE	
---	100-YR FLOODPLAIN	
---	FLOODWAY	
---	UNDERGROUND WATER LINE	
---	OVERHEAD WIRE	
---	FIBER OPTIC	
---	STORM SEWER	
---	SANITARY SEWER MAIN	
⊙	HYDRANT	⊙
⊙	UTILITY POLE/LIGHT	
⊙	SANITARY MANHOLE	
⊙	WATER MANHOLE	
---	GUY WIRE	
---	TREELINE	
---	WETLANDS	
⊞	LIGHT	⊞

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REVISIONS				
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PROJECT No.: NCR194000  
DRAWN BY: TGH  
CHECKED BY: SJK  
DATE: 03/17/2020  
CAD ID:

PROJECT:

**SKETCH PLANS**

FOR  
**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE#: / TR#:

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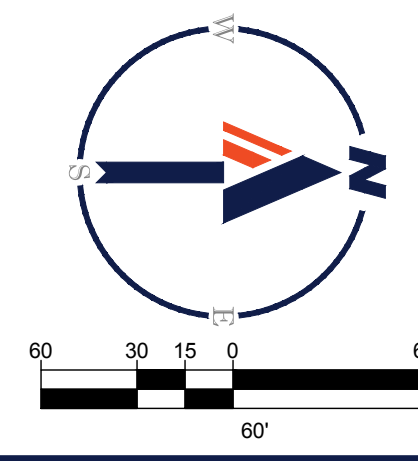
**NORTH CAROLINA PROFESSIONAL SEAL**

SEVEN J. KEIDEN  
4-27-20

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN AREA D**

SHEET NUMBER:  
**C-205**

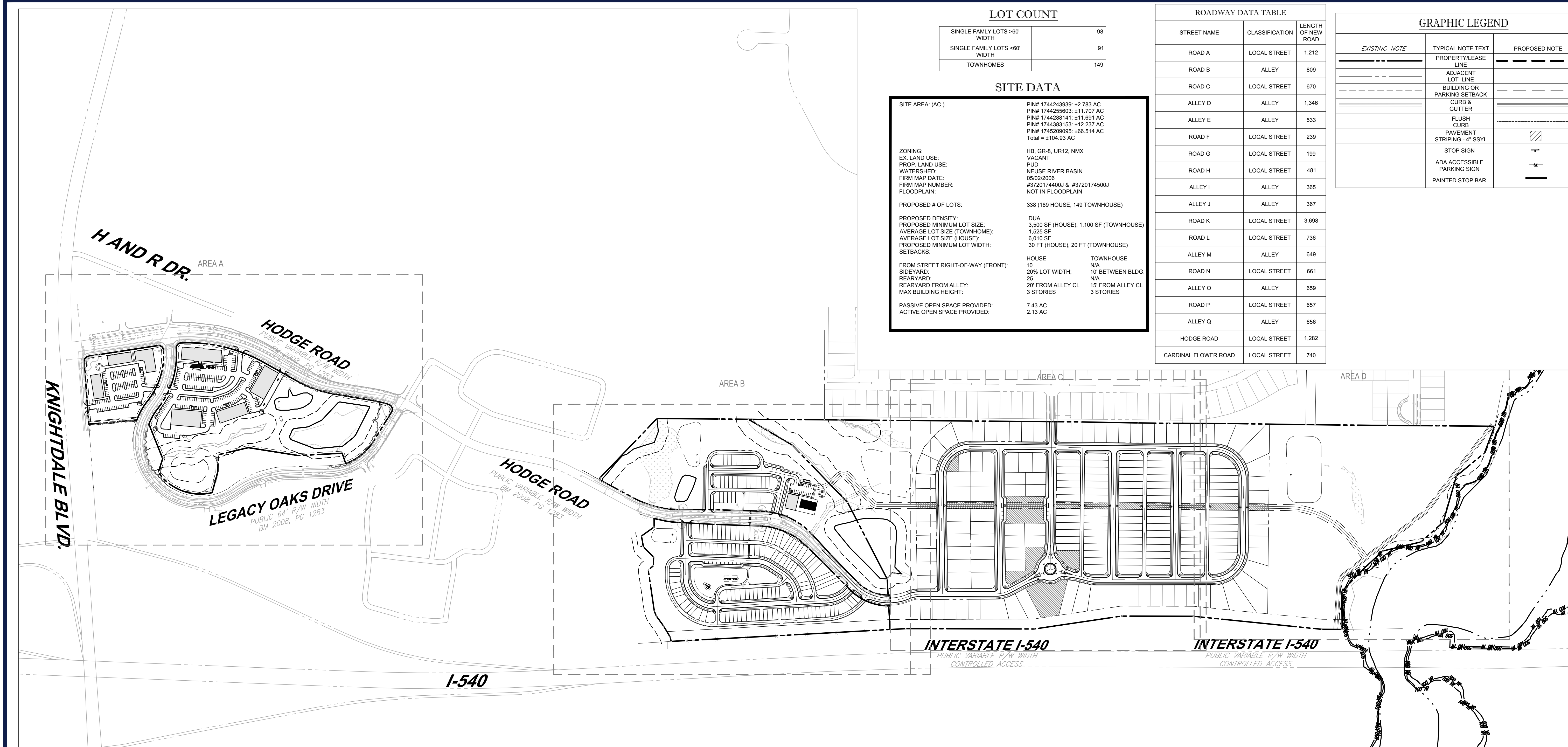
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Aug 28, 2020  
 W:\BOHLER\NET\SHARES\NC\PROJECTS\2018\NCR194000\DRAWINGS\PLAN SETS\NCR194000\DMT...-LAYOUT\_C-205 EXISTING CONDITIONS & DEMOLITION PLAN AREA D

MATCHLINE - SEE SHEET C-204  
MATCHLINE - SEE SHEET C-205





**LOT COUNT**

SINGLE FAMILY LOTS >60' WIDTH	98
SINGLE FAMILY LOTS <60' WIDTH	91
TOWNHOMES	149

**SITE DATA**

SITE AREA: (AC.)		PIN# 1744243939: ±2.783 AC
ZONING:		HB, GR-8, UR12, NMX
EX. LAND USE:		VACANT
PROP. LAND USE:		PUD
WATERSHED:		NEUSE RIVER BASIN
FIRM MAP DATE:		05/02/2006
FIRM MAP NUMBER:		#3720174400J & #3720174500J
FLOODPLAIN:		NOT IN FLOODPLAIN
PROPOSED # OF LOTS:		338 (169 HOUSE, 149 TOWNHOUSE)
PROPOSED DENSITY:		DUA
PROPOSED MINIMUM LOT SIZE:		3,500 SF (HOUSE), 1,100 SF (TOWNHOUSE)
AVERAGE LOT SIZE (TOWNHOME):		1,525 SF
AVERAGE LOT SIZE (HOUSE):		6,010 SF
PROPOSED MINIMUM LOT WIDTH:		30 FT (HOUSE), 20 FT (TOWNHOUSE)
SETBACKS:		HOUSE TOWNHOUSE
FROM STREET RIGHT-OF-WAY (FRONT):		10 N/A
SIDEYARD:		25 10' BETWEEN BLDG.
REARYARD:		N/A
REARYARD FROM ALLEY:		20' FROM ALLEY CL. 15' FROM ALLEY CL.
MAX BUILDING HEIGHT:		3 STORIES 3 STORIES
PASSIVE OPEN SPACE PROVIDED:		7.43 AC
ACTIVE OPEN SPACE PROVIDED:		2.13 AC

**ROADWAY DATA TABLE**

STREET NAME	CLASSIFICATION	LENGTH OF NEW ROAD
ROAD A	LOCAL STREET	1,212
ROAD B	ALLEY	809
ROAD C	LOCAL STREET	670
ALLEY D	ALLEY	1,346
ALLEY E	ALLEY	533
ROAD F	LOCAL STREET	239
ROAD G	LOCAL STREET	199
ROAD H	LOCAL STREET	481
ALLEY I	ALLEY	365
ALLEY J	ALLEY	367
ROAD K	LOCAL STREET	3,698
ROAD L	LOCAL STREET	736
ALLEY M	ALLEY	649
ROAD N	LOCAL STREET	661
ALLEY O	ALLEY	659
ROAD P	LOCAL STREET	657
ALLEY Q	ALLEY	656
HODGE ROAD	LOCAL STREET	1,282
CARDINAL FLOWER ROAD	LOCAL STREET	740

**GRAPHIC LEGEND**

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---

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**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	200827	PER TOWN COMMENTS	TGH	SJK

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PROJECT No.:	NCR194000
DRAWN BY:	TGH
CHECKED BY:	SJK
DATE:	03/17/2020
CAD ID:	

PROJECT:

**SKETCH PLANS**

FOR  
**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
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CASE#: / TR#:

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**SEAL**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
SEAL  
STEVEN J. KEIDLER  
#27-20

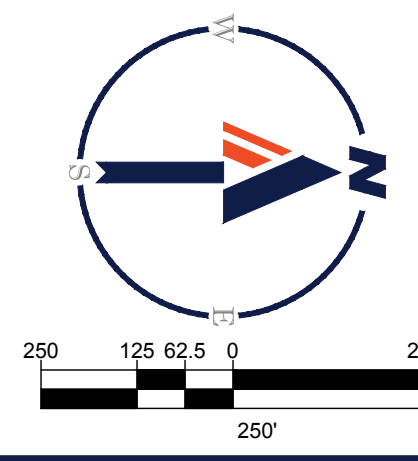
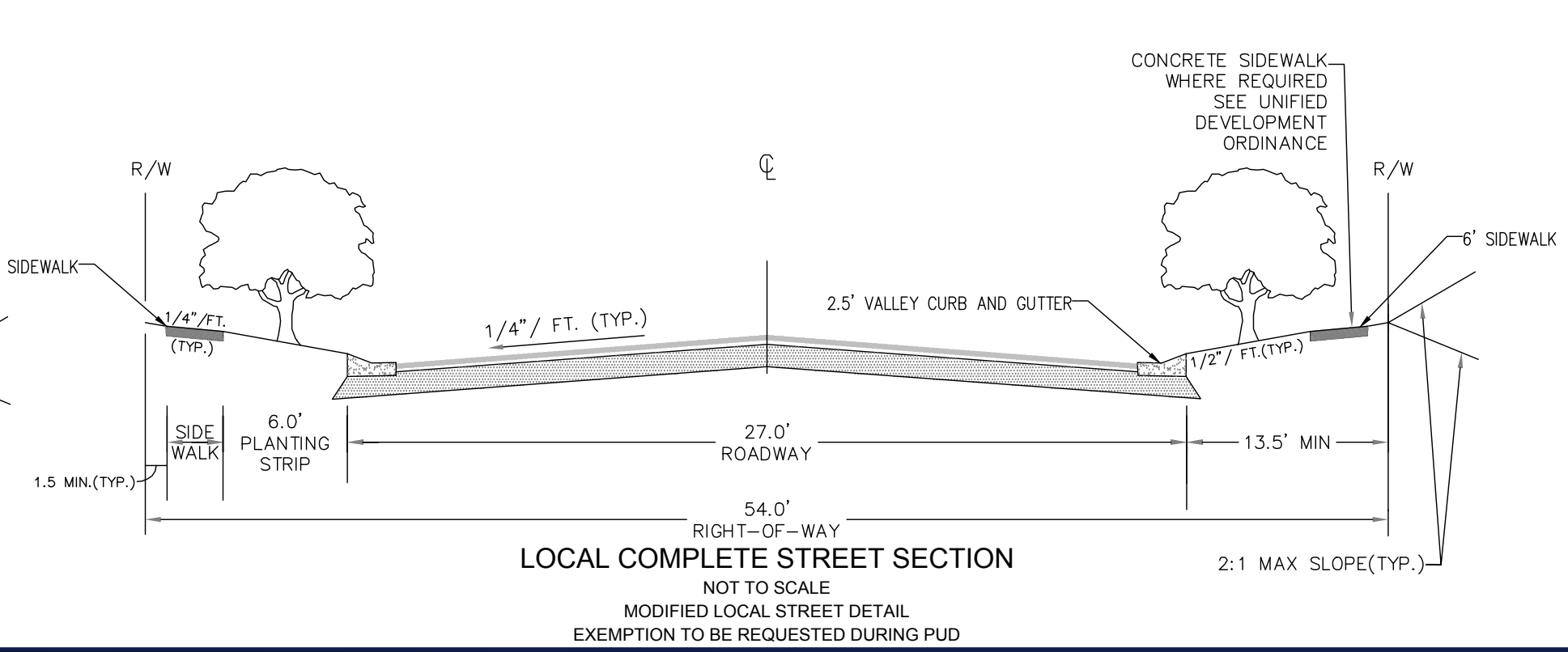
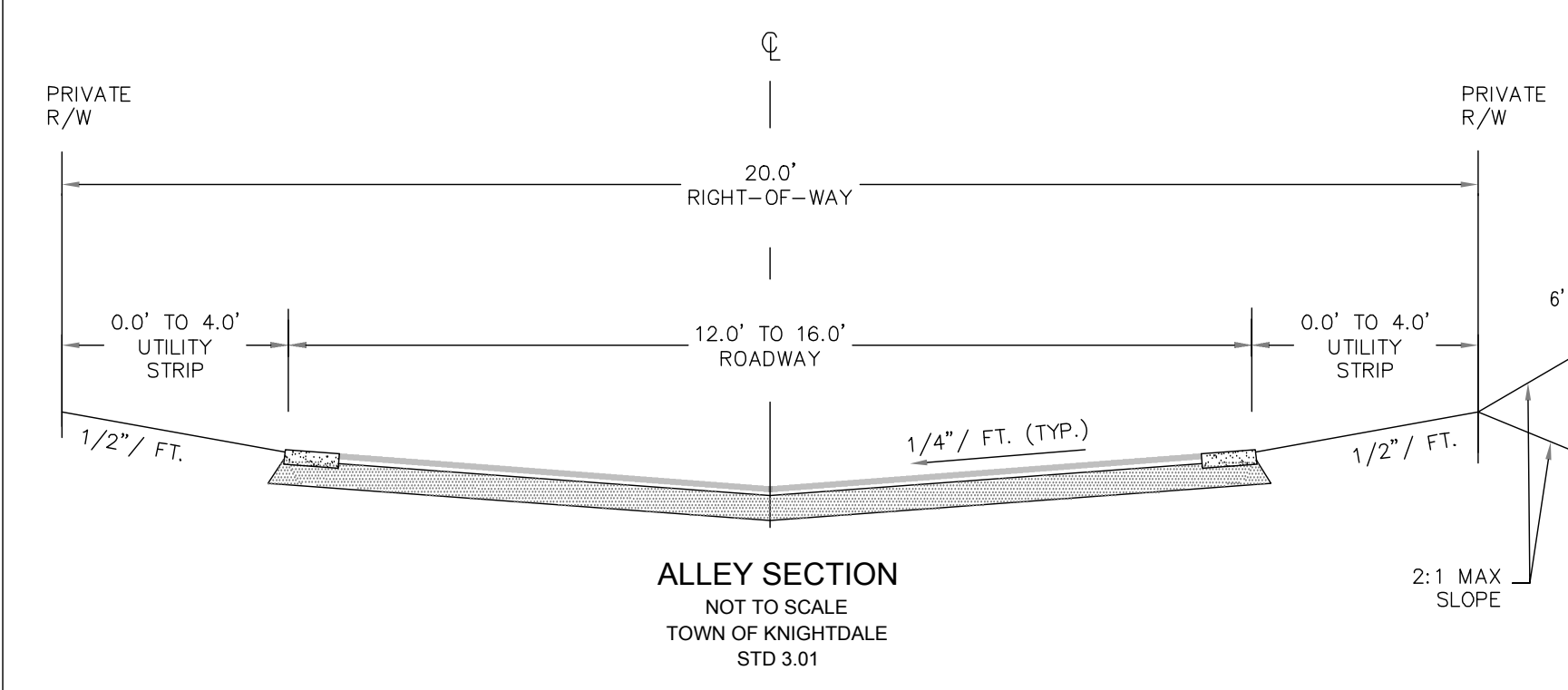
SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C-301**

REVISION 1 - 200827

**SUBDIVISION NOTES**

- REFER TO GENERAL NOTES ON SHEET C-102.
- SETBACKS ARE SHOWN IN ACCORDANCE WITH THE APPROVED TOWN OF KNIGHTDALE STANDARDS. REFER TO TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE FOR PORCHES, DECKS, GARAGES, ETC.
- ALL CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO STANDARD DETAILS OF THE TOWN OF KNIGHTDALE STREET AND STORM DRAINAGE STANDARDS & SPECIFICATIONS MANUAL.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4849) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.
- WHEELCHAIR RAMP LOCATIONS ARE APPROXIMATE ONLY. WHEELCHAIR RAMPS SHOULD BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE AND NCDOT STANDARDS AFTER THE LOCATIONS OF THE PROPOSED STOP BARS AND/OR PEDESTRIAN CROSSWALKS HAVE BEEN STAKED OUT.
- LOTS NOT SERVED BY ALLEYS SHALL HAVE A WIDTH (MEASURED ALONG THE FRONTING STREET'S RIGHT-OF-WAY) OF NO LESS THAN 65 FEET.

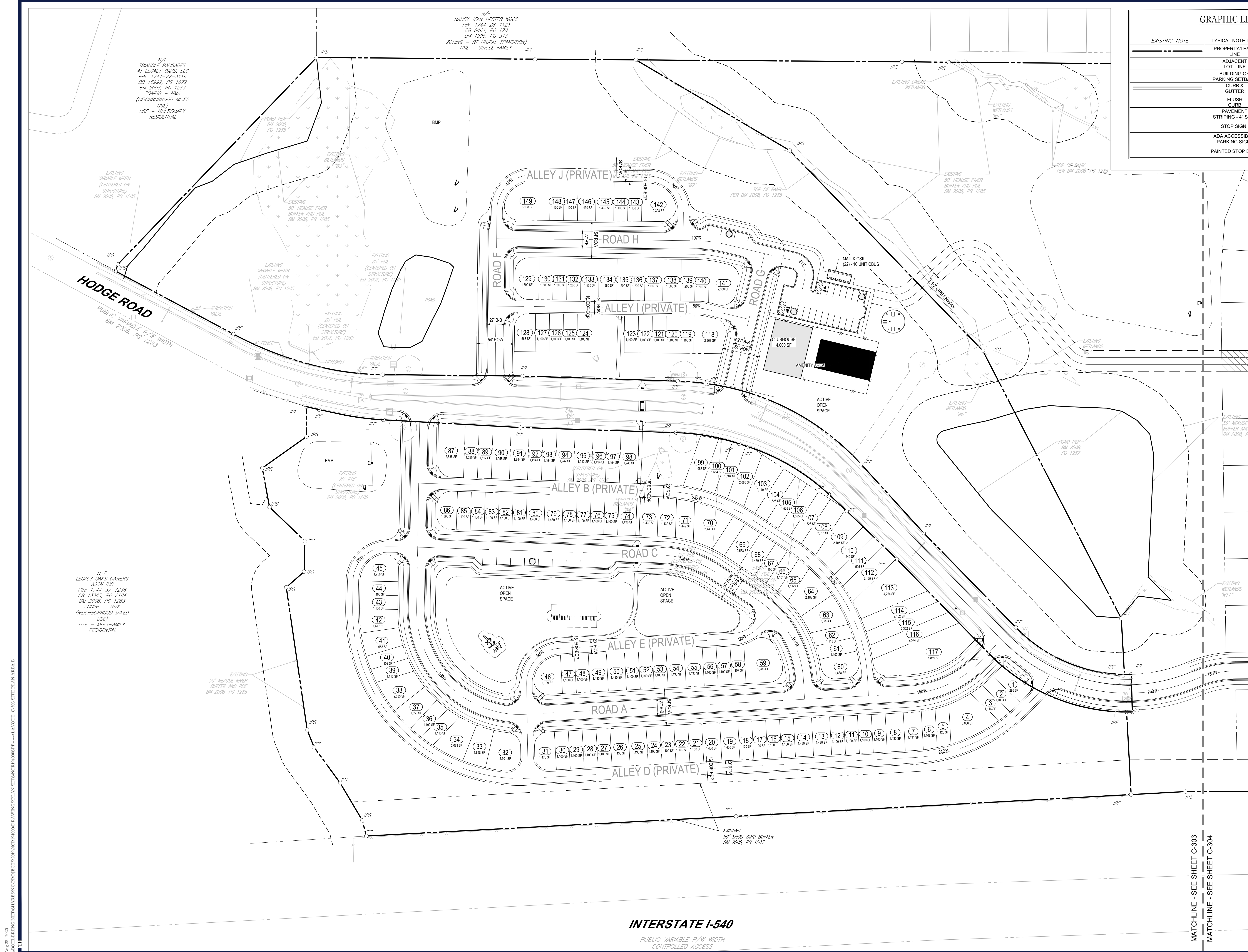


Aug 28, 2020 11:00 AM C:\PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000\01...LA\OVT\_C-301 OVERALL SITE PLAN









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LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

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**PROJECT No.:** NCR194000  
**DRAWN BY:** TGH  
**CHECKED BY:** SJK  
**DATE:** 03/17/2020  
**CAD ID:**

**SKETCH PLANS**

FOR  
**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE#: / TR#:

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
NCELS P-1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

**SEAL**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
SEVEN J. KEIDLER  
8-27-20

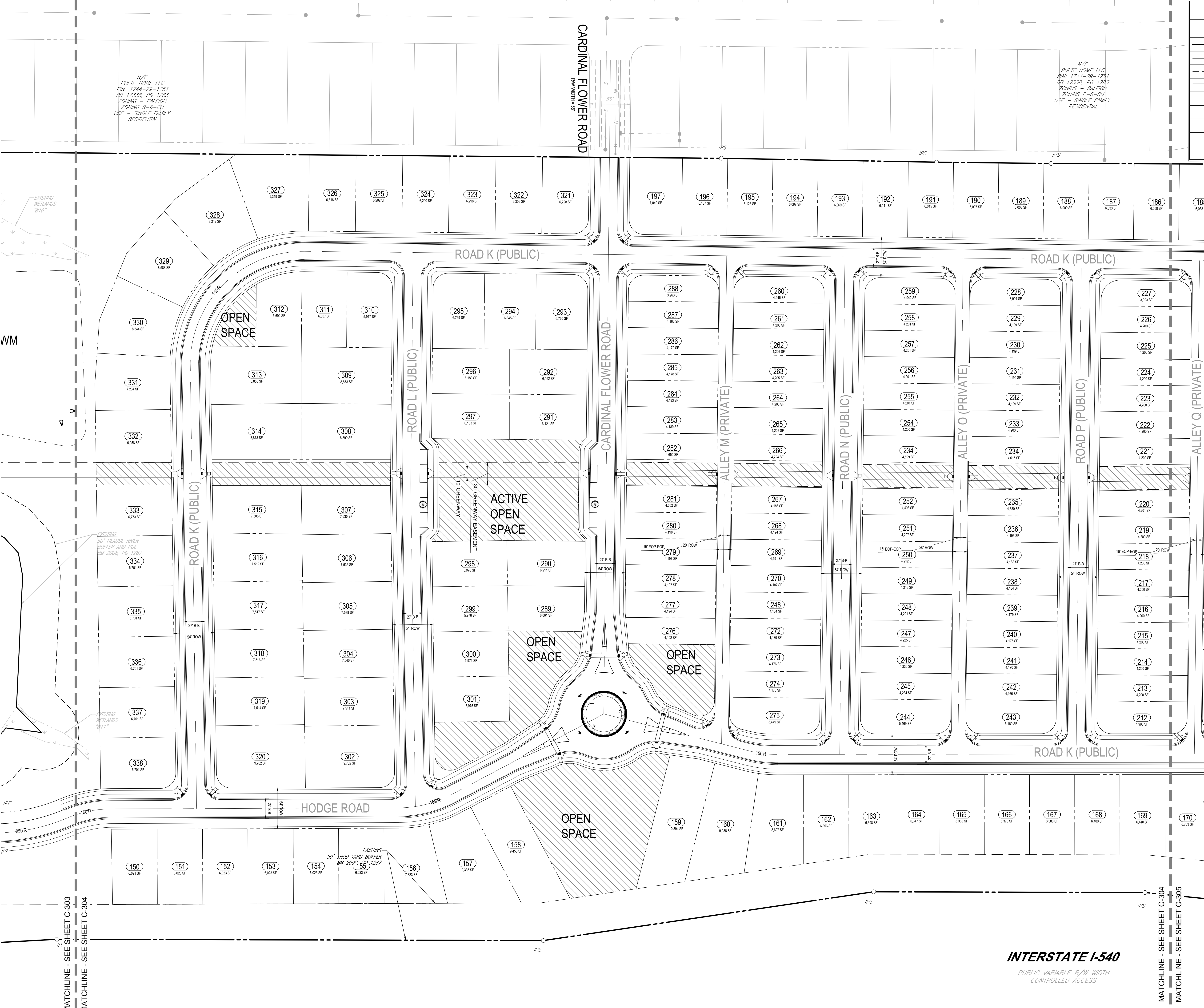
**SHEET TITLE:**  
SITE PLAN  
AREA B

**SHEET NUMBER:**  
C-303

**REVISION 1 - 200827**

Aug 28, 2020  
\\BOHLER\NET\SHARES\PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000\SP...LAYOUT: C-303 SITE PLAN AREA B





EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---

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PROJECT:

**SKETCH PLANS**

FOR

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**SHENANDOAH HOMES**

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CASE# / TR#:

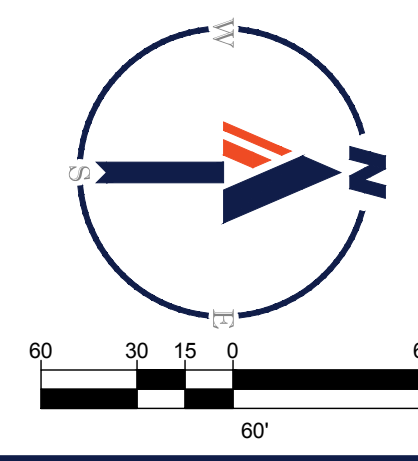
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NORTH CAROLINA PROFESSIONAL SEAL  
SEAL  
JULIEN J. KRIDER  
8-27-20

SHEET TITLE:  
**SITE PLAN AREA C**

SHEET NUMBER:  
**C-304**

REVISION 1 - 200827



**INTERSTATE I-540**  
PUBLIC VARIABLE R/W WIDTH  
CONTROLLED ACCESS

MATCHLINE - SEE SHEET C-303  
MATCHLINE - SEE SHEET C-304

MATCHLINE - SEE SHEET C-304  
MATCHLINE - SEE SHEET C-305

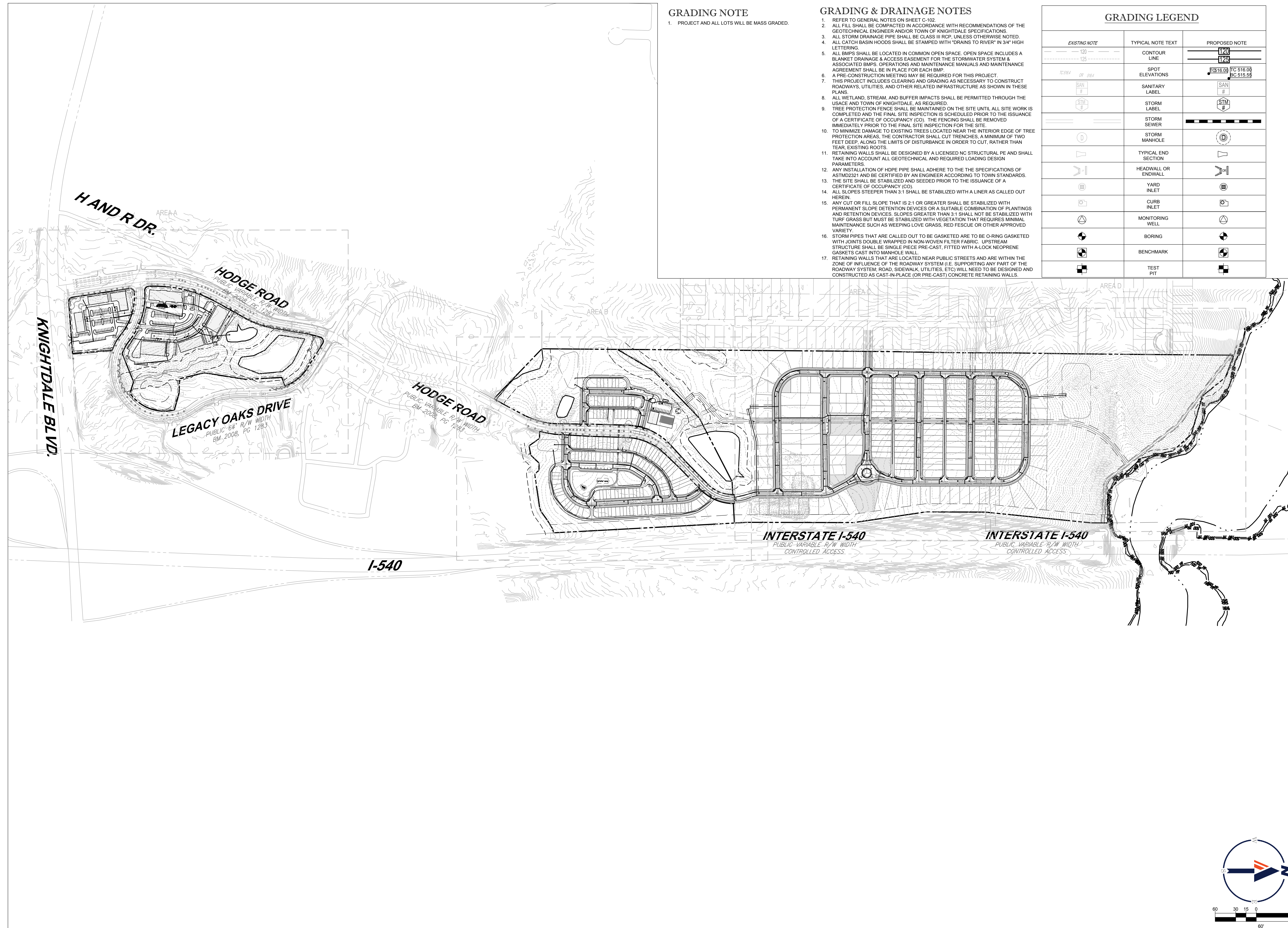












**GRADING NOTE**

1. PROJECT AND ALL LOTS WILL BE MASS GRADED.

**GRADING & DRAINAGE NOTES**

1. REFER TO GENERAL NOTES ON SHEET C-102.
2. ALL FILL SHALL BE COMPACTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR TOWN OF KNIGHTDALE SPECIFICATIONS.
3. ALL STORM DRAINAGE PIPE SHALL BE CLASS III RCP, UNLESS OTHERWISE NOTED.
4. ALL CATCH BASIN HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN 3/4" HIGH LETTERING.
5. ALL BMPs SHALL BE LOCATED IN COMMON OPEN SPACE. OPEN SPACE INCLUDES A BLANKET DRAINAGE & ACCESS EASEMENT FOR THE STORMWATER SYSTEM & ASSOCIATED BMPs. OPERATIONS AND MAINTENANCE MANUALS AND MAINTENANCE AGREEMENT SHALL BE IN PLACE FOR EACH BMP.
6. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED FOR THIS PROJECT.
7. THIS PROJECT INCLUDES CLEARING AND GRADING AS NECESSARY TO CONSTRUCT ROADWAYS, UTILITIES, AND OTHER RELATED INFRASTRUCTURE AS SHOWN IN THESE PLANS.
8. ALL WETLAND, STREAM, AND BUFFER IMPACTS SHALL BE PERMITTED THROUGH THE USAGE AND TOWN OF KNIGHTDALE, AS REQUIRED.
9. TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
10. TO MINIMIZE DAMAGE TO EXISTING TREES LOCATED NEAR THE INTERIOR EDGE OF TREE PROTECTION AREAS, THE CONTRACTOR SHALL CUT TRENCHES, A MINIMUM OF TWO FEET DEEP, ALONG THE LIMITS OF DISTURBANCE IN ORDER TO CUT, RATHER THAN TEAR, EXISTING ROOTS.
11. RETAINING WALLS SHALL BE DESIGNED BY A LICENSED NC STRUCTURAL PE AND SHALL TAKE INTO ACCOUNT ALL GEOTECHNICAL AND REQUIRED LOADING DESIGN PARAMETERS.
12. ANY INSTALLATION OF HDPE PIPE SHALL ADHERE TO THE THE SPECIFICATIONS OF ASTM D2321 AND BE CERTIFIED BY AN ENGINEER ACCORDING TO TOWN STANDARDS.
13. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
14. ALL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH A LINER AS CALLED OUT HEREIN.
15. ANY CUT OR FILL SLOPE THAT IS 2:1 OR GREATER SHALL BE STABILIZED WITH PERMANENT SLOPE DETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES. SLOPES GREATER THAN 3:1 SHALL NOT BE STABILIZED WITH TURF GRASS BUT MUST BE STABILIZED WITH VEGETATION THAT REQUIRES MINIMAL MAINTENANCE SUCH AS WEEPING LOVE GRASS, RED FESCUE OR OTHER APPROVED VARIETY.
16. STORM PIPES THAT ARE CALLED OUT TO BE GASKETED ARE TO BE O-RING GASKETED WITH JOINTS DOUBLE WRAPPED IN NON-WOVEN FILTER FABRIC. UPSTREAM STRUCTURE SHALL BE SINGLE PIECE PRE-CAST, FITTED WITH A LOCK NEOPRENE GASKETS CAST INTO MANHOLE WALL.
17. RETAINING WALLS THAT ARE LOCATED NEAR PUBLIC STREETS AND ARE WITHIN THE ZONE OF INFLUENCE OF THE ROADWAY SYSTEM (I.E. SUPPORTING ANY PART OF THE ROADWAY SYSTEM, ROAD, SIDEWALK, UTILITIES, ETC) WILL NEED TO BE DESIGNED AND CONSTRUCTED AS CAST-IN-PLACE (OR PRE-CAST) CONCRETE RETAINING WALLS.

**GRADING LEGEND**

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
72.964 OR 3164	SPOT ELEVATIONS	72.964 BC 516.00 3164 BC 515.53
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
	STORM SEWER	
D	STORM MANHOLE	D
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	MONITORING WELL	
	BORING	
	BENCHMARK	
	TEST PIT	

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PROJECT No.: NCR194000  
DRAWN BY: TGH  
CHECKED BY: SJK  
DATE: 03/17/2020  
CAD ID:

**SKETCH PLANS**

FOR  
**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE#: / TR#:

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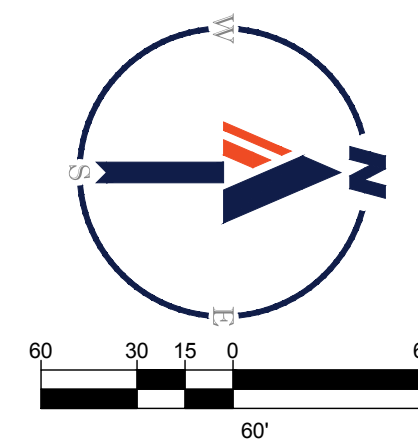
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SEAL  
BOHLER ENGINEERING NC, PLLC  
SEVEN J. KEIDEN  
4-27-20

SHEET TITLE:  
**OVERALL STORMWATER MANAGEMENT PLAN**

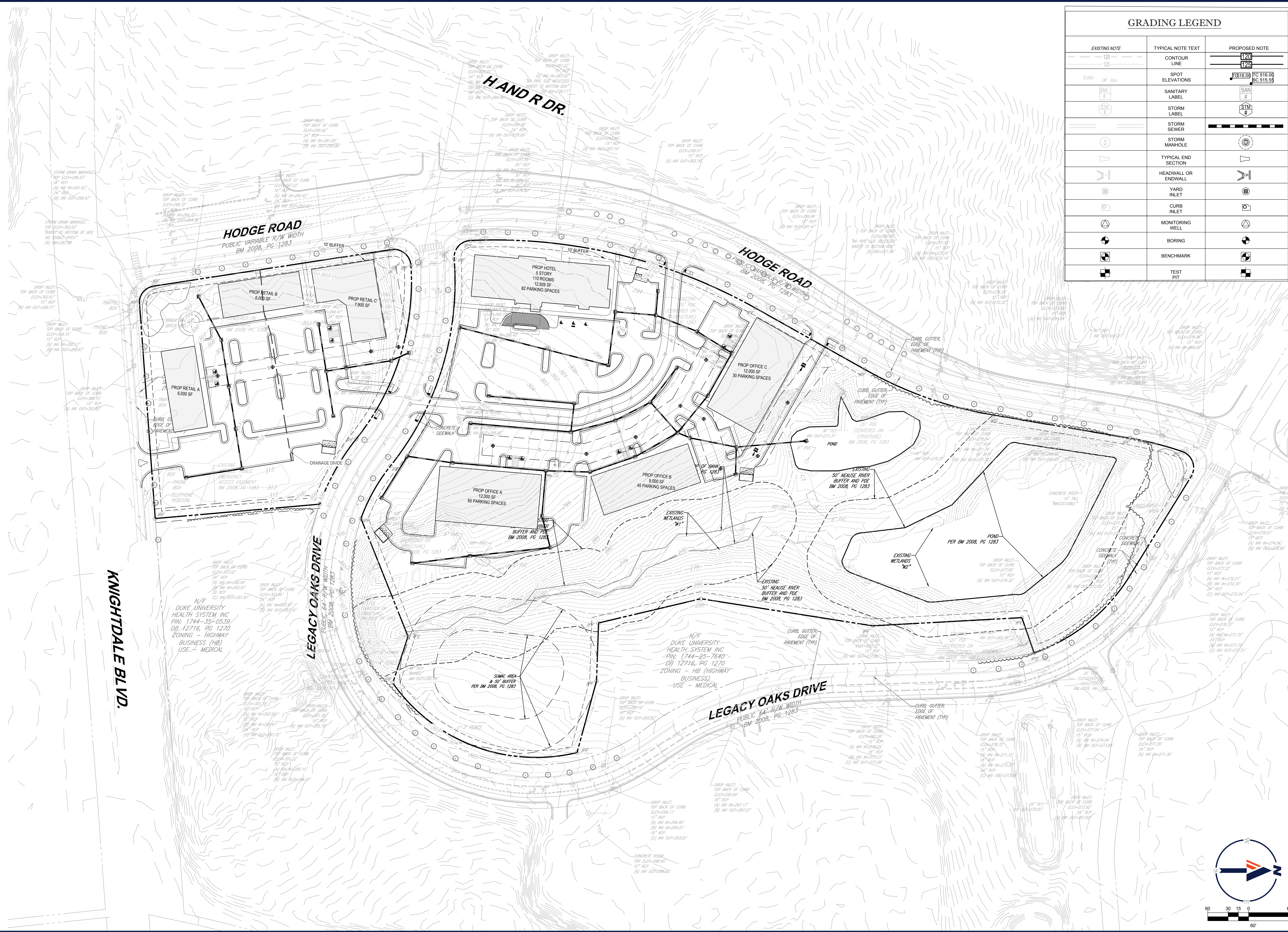
SHEET NUMBER:  
**C-401**

REVISION 1 - 200827



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GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120	CONTOUR LINE	120
125	CONTOUR LINE	125
516.00	SPOT ELEVATIONS	516.00 FC 516.00 516.50 BC 516.50
SAN #	SANITARY LABEL	SAN #
STIM #	STORM LABEL	STIM #
	STORM SEWER	
D	STORM MANHOLE	D
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	MONITORING WELL	
	BORING	
	BENCHMARK	
	TEST PIT	

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PROJECT No.: NCR194000  
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CHECKED BY: SJK  
DATE: 03/17/2020  
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**SKETCH PLANS**  
FOR  
**LEGACY OAKS**  
**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE# / TR#:

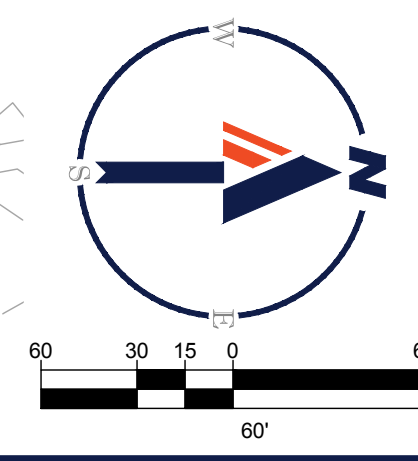
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**NORTH CAROLINA PROFESSIONAL SEAL**  
Steven J. Keidre  
4-27-20

SHEET TITLE:  
**STORMWATER MANAGEMENT PLAN AREA A**

SHEET NUMBER:  
**C-402**

REVISION 1 - 200827



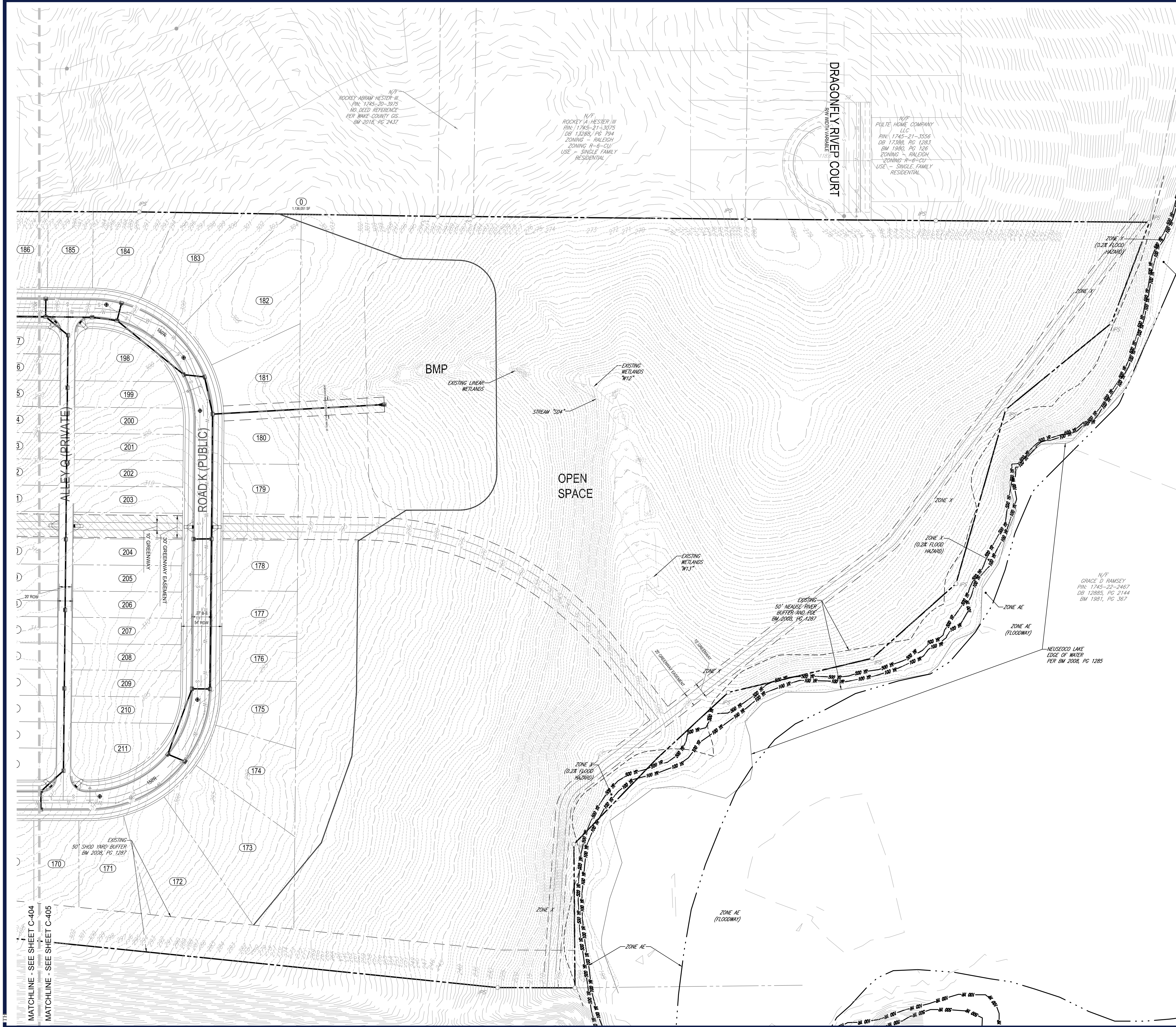












GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
TC 516.00 OR 516.55	SPOT ELEVATIONS	TC 516.00 PC 516.55
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
---	STORM SEWER	---
⊙	STORM MANHOLE	⊙
▽	TYPICAL END SECTION	▽
⊥	HEADWALL OR ENDWALL	⊥
⊙	YARD INLET	⊙
⊙	CURB INLET	⊙
⊙	MONITORING WELL	⊙
⊙	BORING	⊙
⊙	BENCHMARK	⊙
⊙	TEST PIT	⊙

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SKETCH PLANS  
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SHENANDOAH HOMES

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KNIGHTDALE, NC 27604  
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CASE#: / TR#:

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Phone: (919) 578-9000  
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NORTH CAROLINA PROFESSIONAL SEAL  
SEVEN J. KEIDLER  
4-27-20

SHEET TITLE:  
**STORMWATER MANAGEMENT PLAN AREA D**  
SHEET NUMBER:  
**C-405**  
REVISION 1 - 200827

Aug 28, 2020  
W:\BOHLER\NETS\SHARED\PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000\DPD...-LAYOUT: C-405 STORMWATER MANAGEMENT PLAN AREA D

MATCHLINE - SEE SHEET C-404  
MATCHLINE - SEE SHEET C-405

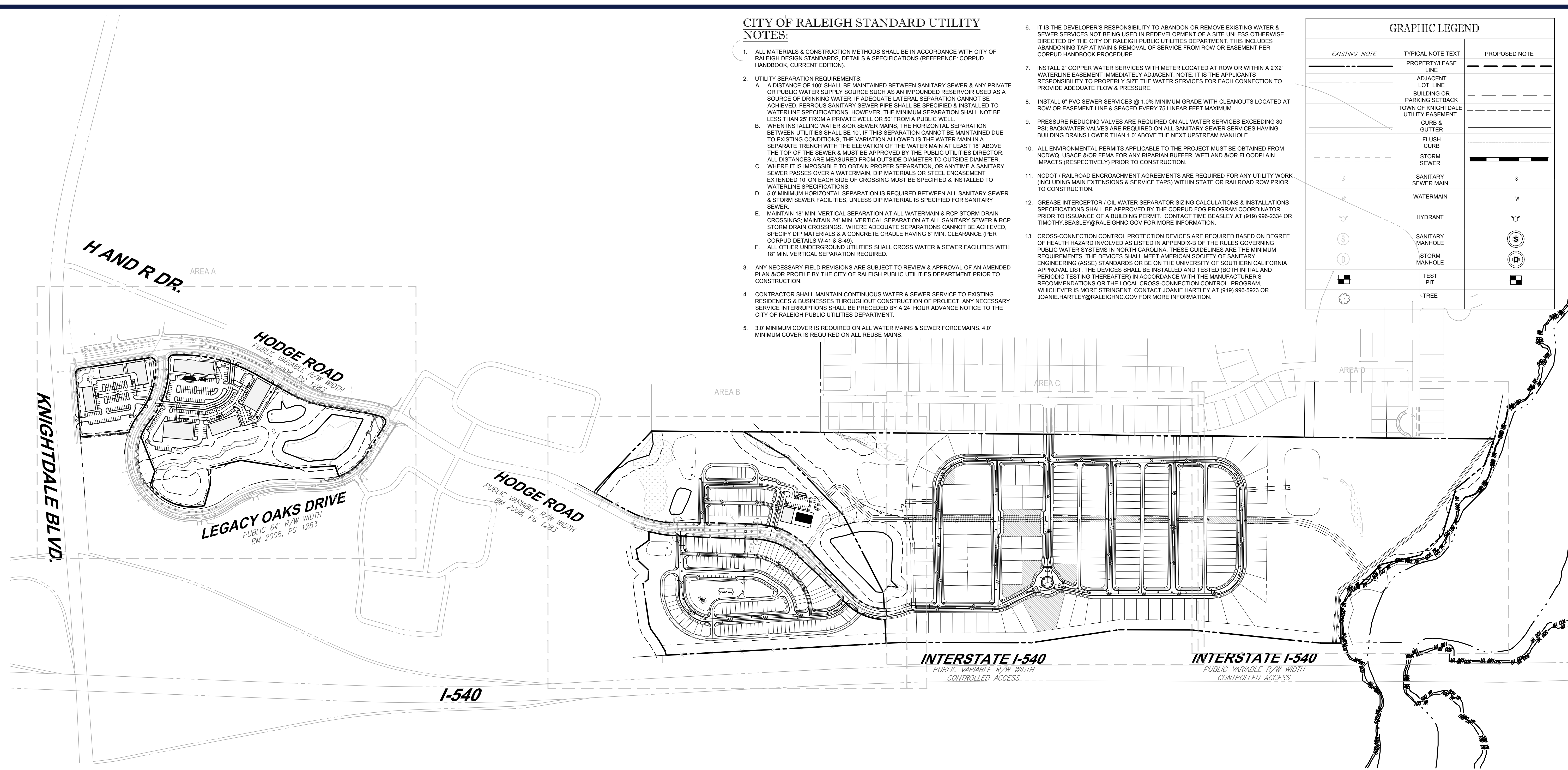


**CITY OF RALEIGH STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENGAGEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METER LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANTS RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICES FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATIONS SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIME BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**GRAPHIC LEGEND**

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK TOWN OF KNIGHTDALE UTILITY EASEMENT	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	STORM SEWER	---
S	SANITARY SEWER MAIN	S
W	WATERMAIN	W
HYDRANT	HYDRANT	HYDRANT
S	SANITARY MANHOLE	S
D	STORM MANHOLE	D
TEST PIT	TEST PIT	TEST PIT
TREE	TREE	TREE



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1100 W. HARRIS STREET, SUITE 100, RALEIGH, NC 27604  
PHONE: (919) 996-2334  
WWW.BOHLENERG.COM

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PROJECT No.: NCR194000  
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**SKETCH PLANS**

FOR  
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**NORTH CAROLINA PROFESSIONAL SEAL**

SEAL OF  
BOHLER ENGINEERING NC, PLLC  
STEVEN J. KEIDLER  
4-27-20

SHEET TITLE:  
**OVERALL UTILITY PLAN**

SHEET NUMBER:  
**C-501**

REVISION 1 - 200827

**Town of Knightdale Water Allocation Project Base Points**

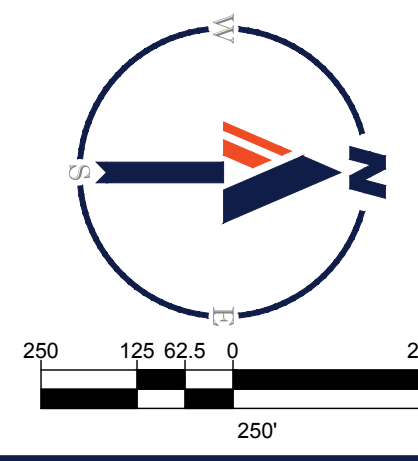
Choose Proposed Use	Mixture of Use Development (Retail/Office/Residential)	41
<b>Residential Only Subdivisions</b>	Total Number of Dwelling Units Proposed within Entire Project	338
	Total Number of SFD	189
	Total Number of TH	149
		<b>41.00</b>

**Town of Knightdale Water Allocation Policy BONUS POINTS**

<b>CATEGORY 1: Non-Conformity Abatement &amp; Public Infrastructure Improvements</b> Construct More Than 1000 Linear Feet Of 10-Foot Wide Path	4
<b>CATEGORY 2: Green Development Standards</b> Residential Architectural Standards to include the Building Types: House & Townhouse (respectively)	15
Exclusive Use Of Xeriscaping Techniques And Drought-Tolerant Species	3
<b>CATEGORY 4: Amenities (Only for Projects with Residential Components)</b> Lap Pool (Four Lane Minimum)	3
IPEMA Certified Playground Equipment	4
<b>Total Bonus Points</b>	<b>29</b>

**Town of Knightdale Water Allocation Project Totals**

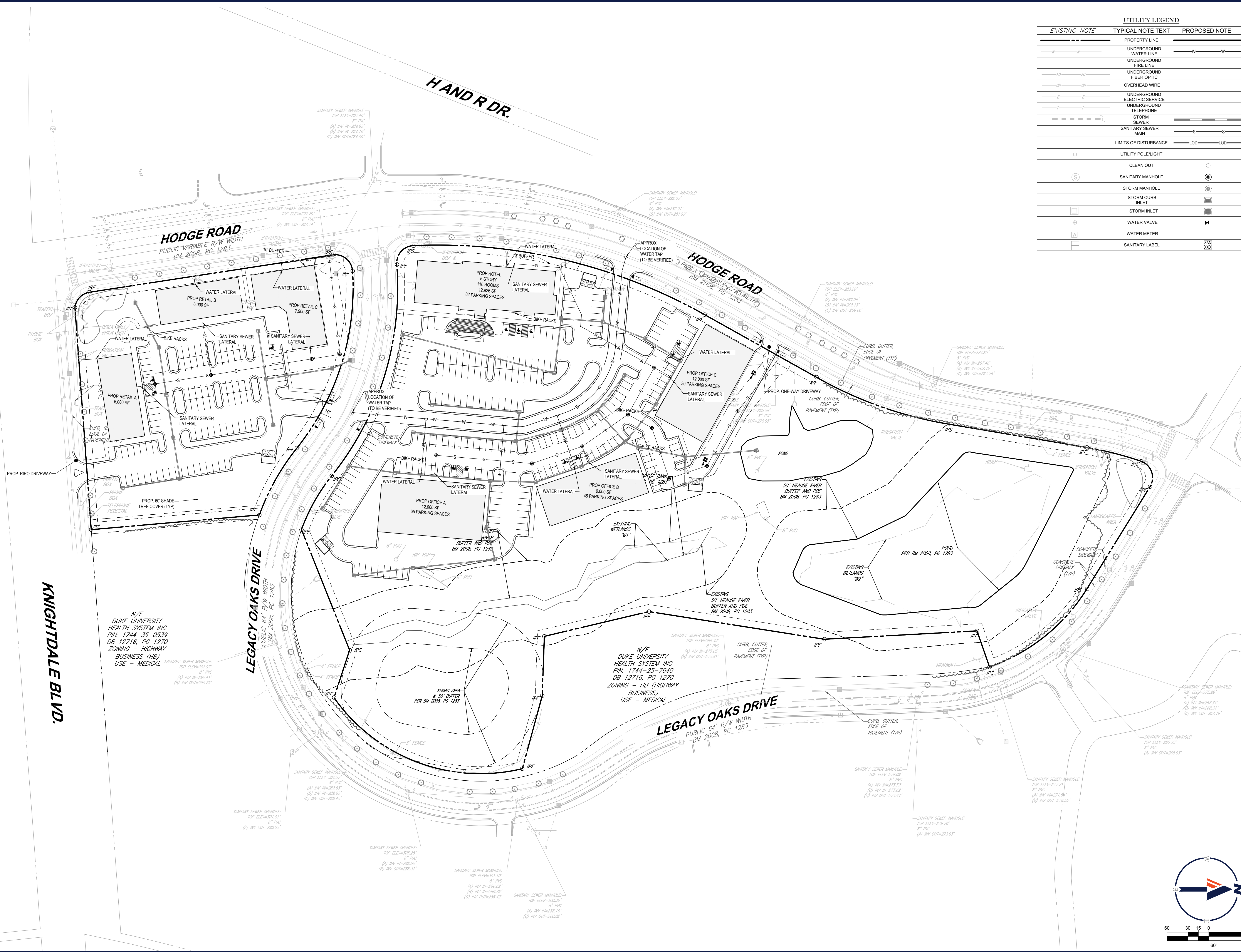
Total BASE POINTS scored	<b>41.00</b>	
Total BONUS POINTS scored	<b>29.00</b>	
Total PROJECT POINTS	<b>70.00</b>	Points Attained



Aug 28, 2020 11:00 AM BOHLER\ENGINEERING\PROJECTS\2019\NCR194000\DRAWINGS\PLAN SETS\NCR194000\TOP...LAYOUT: C-01 OVERALL UTILITY PLAN



Aug 28, 2020 BOHLER ENGINEERING NC, PROJECTS\BNCR\190000\DRAWINGS\PLAN SETS\NCR190000\11...LAYOUT\_C-502 UTILITY PLAN AREA A



UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY LINE	---
---	UNDERGROUND WATER LINE	W-W
---	UNDERGROUND FIRE LINE	---
---	UNDERGROUND FIBER OPTIC	---
---	OVERHEAD WIRE	---
---	UNDERGROUND ELECTRIC SERVICE	---
---	UNDERGROUND TELEPHONE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	S-S
---	LIMITS OF DISTURBANCE	LOD-LOD
○	UTILITY POLE/LIGHT	○
○	CLEAN OUT	○
○	SANITARY MANHOLE	○
○	STORM MANHOLE	○
○	STORM CURB INLET	○
○	STORM INLET	○
○	WATER VALVE	⊞
○	WATER METER	⊞
○	SANITARY LABEL	SUN XXX

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SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	PER TOWN COMMENTS	DRAWN BY
1	200827			TGH SJK

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PROJECT No.: NCR194000  
DRAWN BY: TGH  
CHECKED BY: SJK  
DATE: 03/17/2020  
CAD ID:

PROJECT:  
**SKETCH PLANS**  
FOR  
**LEGACY OAKS**  
**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE# / TR#:

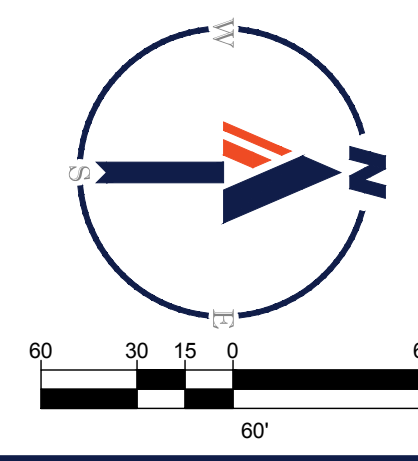
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NCELS P-1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

**NORTH CAROLINA PROFESSIONAL SEAL**  
SEAL  
STEVEN J. KEIDLER  
ENGINEER  
4-27-20

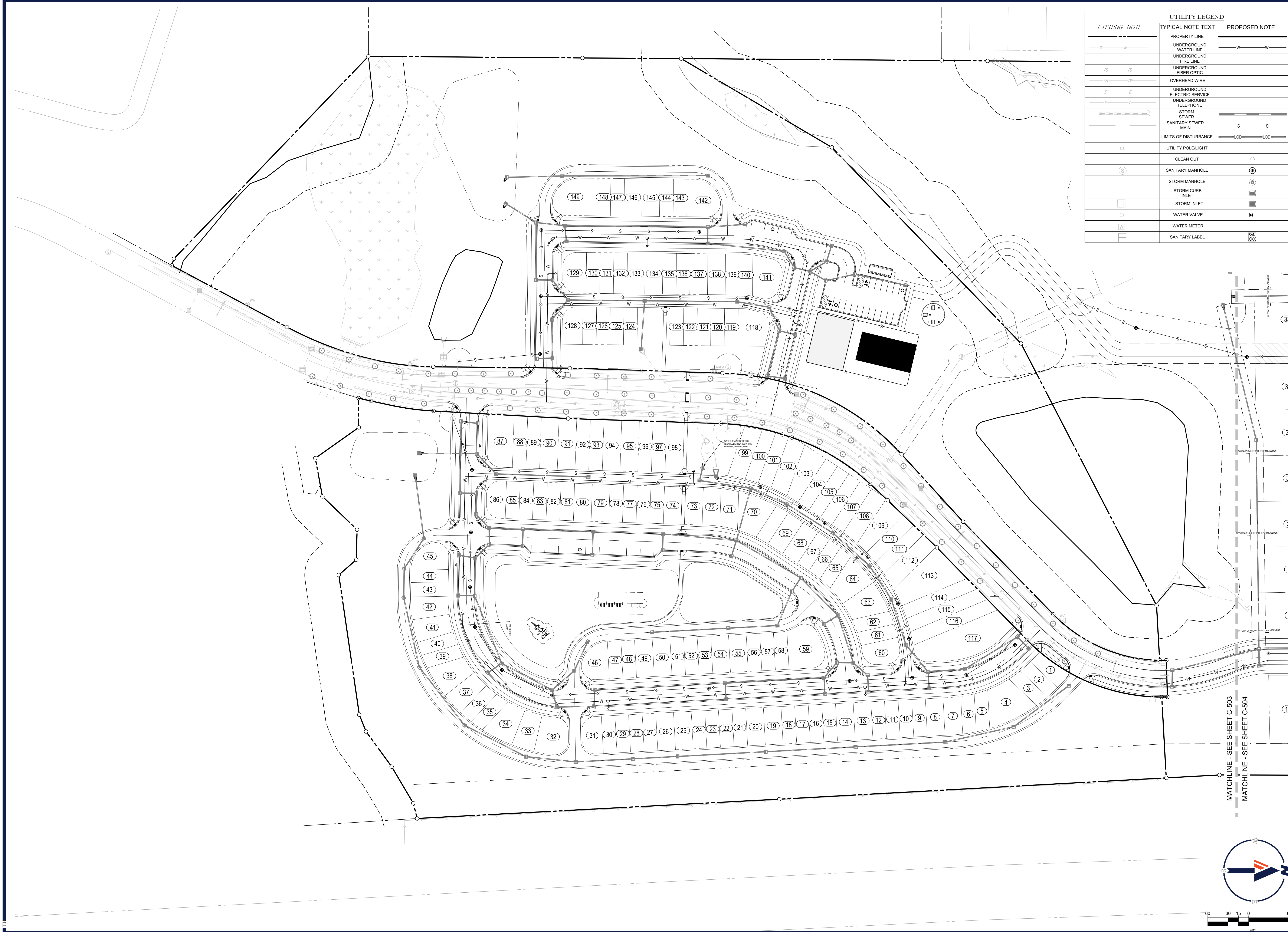
SHEET TITLE:  
**UTILITY PLAN AREA A**

SHEET NUMBER:  
**C-502**

REVISION 1 - 200827







UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY LINE	---
---	UNDERGROUND WATER LINE	W-W
---	UNDERGROUND FIRE LINE	---
---	UNDERGROUND FIBER OPTIC	---
---	OVERHEAD WIRE	---
---	UNDERGROUND ELECTRIC SERVICE	---
---	UNDERGROUND TELEPHONE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	S-S
---	LIMITS OF DISTURBANCE	LOD-LOD
○	UTILITY POLE/LIGHT	○
○	CLEAN OUT	○
○	SANITARY MANHOLE	○
○	STORM MANHOLE	○
○	STORM CURB INLET	○
○	STORM INLET	○
○	WATER VALVE	○
○	WATER METER	○
○	SANITARY LABEL	SAN XXX

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REVISIONS			
REV	DATE	COMMENT	CHECKED BY
1	200827	PER TOWN COMMENTS	TGH SJK

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PROJECT No.: NCR194000  
DRAWN BY: TGH  
CHECKED BY: SJK  
DATE: 03/17/2020  
CAD ID:

**SKETCH PLANS**

FOR  
**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE# / TR#:

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ENGINEER  
STEVEN J. KEIDLER  
4-27-20

SHEET TITLE:  
**UTILITY PLAN AREA B**

SHEET NUMBER:  
**C-503**

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UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY LINE	---
---	UNDERGROUND WATER LINE	W-W
---	UNDERGROUND FIRE LINE	---
---	UNDERGROUND FIBER OPTIC	---
---	OVERHEAD WIRE	---
---	UNDERGROUND ELECTRIC SERVICE	---
---	UNDERGROUND TELEPHONE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	LIMITS OF DISTURBANCE	LOD LOD
○	UTILITY POLE/LIGHT	○
○	CLEAN OUT	○
○	SANITARY MANHOLE	○
○	STORM MANHOLE	○
○	STORM CURB INLET	○
○	STORM INLET	○
○	WATER VALVE	○
○	WATER METER	○
○	SANITARY LABEL	○

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REVISIONS			
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1	200827	PER TOWN COMMENTS	TGH SJK

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PROJECT No.:	NCR194000
CHECKED BY:	TGH
DATE:	03/17/2020
CAD ID:	

PROJECT:

**SKETCH PLANS**

FOR

**LEGACY OAKS**

**SHENANDOAH HOMES**

0 HODGE RD  
KNIGHTDALE, NC 27604  
WAKE COUNTY  
CASE# / TR#:

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NC@BohlerEng.com

**NORTH CAROLINA PROFESSIONAL ENGINEER**

SEAL

STEVEN J. KEIDEN

4-27-20

SHEET TITLE:

**UTILITY PLAN AREA C**

SHEET NUMBER:

**C-504**

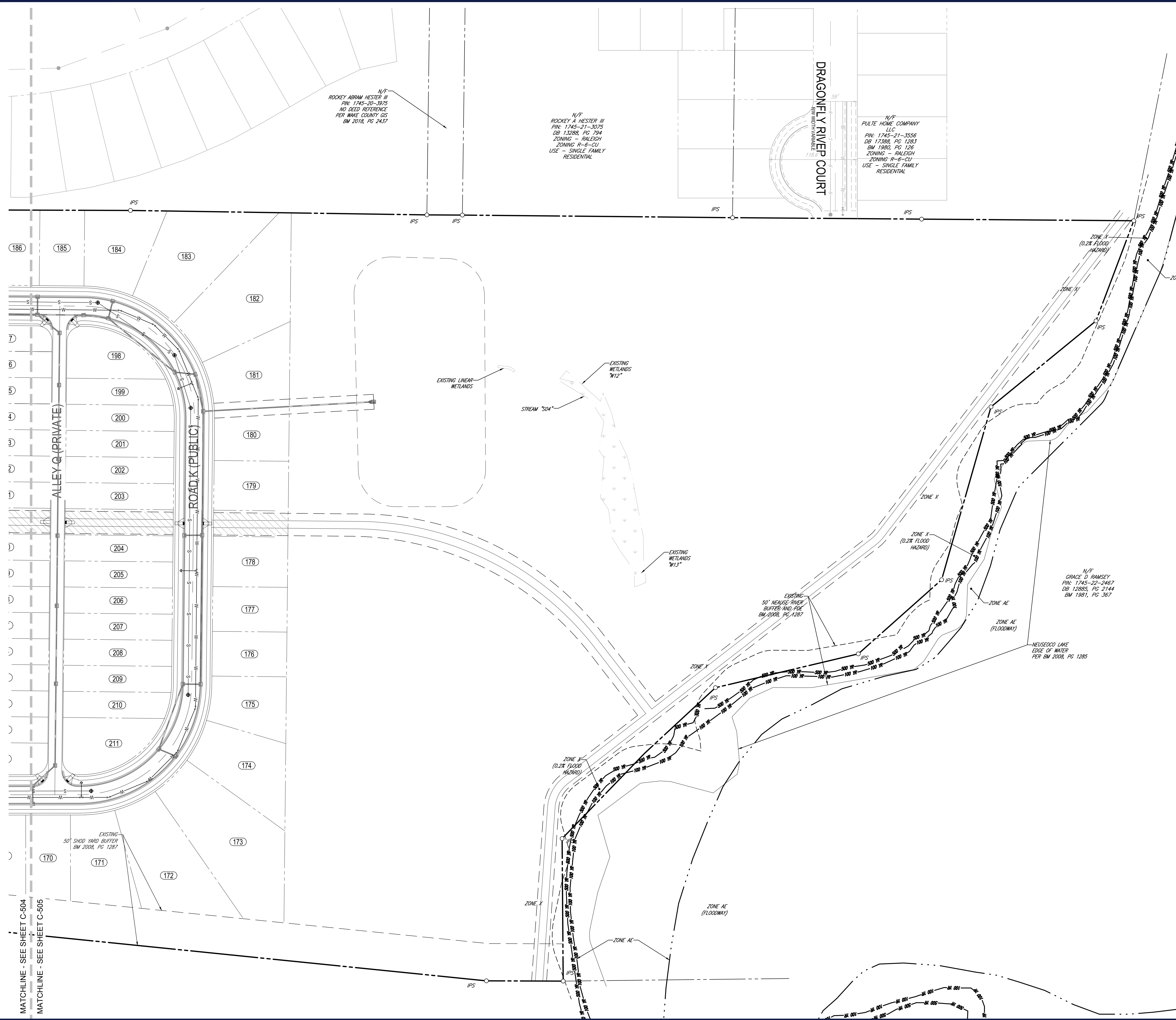
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**INTERSTATE I-540**  
PUBLIC VARIABLE R/W WIDTH  
CONTROLLED ACCESS

MATCHLINE - SEE SHEET C-504  
MATCHLINE - SEE SHEET C-505

MATCHLINE - SEE SHEET C-503  
MATCHLINE - SEE SHEET C-504





UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	PROPERTY LINE	
---	UNDERGROUND WATER LINE	W-W
---	UNDERGROUND FIRE LINE	
---	UNDERGROUND FIBER OPTIC	
---	OVERHEAD WIRE	
---	UNDERGROUND ELECTRIC SERVICE	
---	UNDERGROUND TELEPHONE	
---	STORM SEWER	
---	SANITARY SEWER MAIN	S-S
---	LIMITS OF DISTURBANCE	-LOD -LOD
---	UTILITY POLE/LIGHT	
○	CLEAN OUT	○
⊙	SANITARY MANHOLE	⊙
⊙	STORM MANHOLE	⊙
⊙	STORM CURB	⊙
⊙	STORM INLET	⊙
⊙	WATER VALVE	⊙
⊙	WATER METER	⊙
⊙	SANITARY LABEL	⊙

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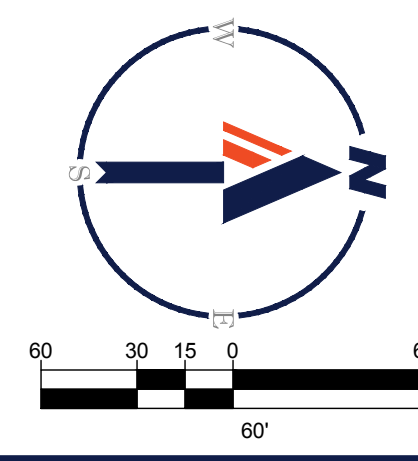
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NOV 19 2019  
ENGINEER  
SEVEN J. KEIDLER  
2-27-20

SHEET TITLE:  
**UTILITY PLAN AREA D**

SHEET NUMBER:  
**C-505**

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MATCHLINE - SEE SHEET C-504  
MATCHLINE - SEE SHEET C-505



